



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 802018-037 P&Z DATE 12/11/18 CC DATE 12/17/18 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

| ZONING APPLICATION |
|--|
| <input type="checkbox"/> SPECIFIC USE PERMIT |
| <input type="checkbox"/> ZONING CHANGE |
| <input type="checkbox"/> PD CONCEPT PLAN |
| <input type="checkbox"/> PD DEVELOPMENT PLAN |

| SITE PLAN APPLICATION |
|---|
| <input checked="" type="checkbox"/> SITE PLAN |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |
| <input type="checkbox"/> PHOTOMETRIC PLAN |
| <input type="checkbox"/> BUILDING ELEVATIONS |
| <input type="checkbox"/> MATERIAL SAMPLES |
| <input type="checkbox"/> COLOR RENDERING |

| PLATTING APPLICATION |
|--|
| <input type="checkbox"/> MASTER PLAT |
| <input type="checkbox"/> PRELIMINARY PLAT |
| <input type="checkbox"/> FINAL PLAT |
| <input type="checkbox"/> REPLAT |
| <input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT |
| <input type="checkbox"/> VACATION PLAT |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |

| |
|--|
| <input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____) |
| <input checked="" type="checkbox"/> APPLICATIONS |
| <input checked="" type="checkbox"/> RECEIPT |
| <input checked="" type="checkbox"/> LOCATION MAP |
| <input type="checkbox"/> HOA MAP |
| <input type="checkbox"/> PON MAP |
| <input type="checkbox"/> FLU MAP |
| <input type="checkbox"/> NEWSPAPER PUBLIC NOTICE |
| <input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE |
| <input type="checkbox"/> PROJECT REVIEW |
| <input type="checkbox"/> STAFF REPORT |
| <input type="checkbox"/> CORRESPONDENCE |
| <input type="checkbox"/> COPY-ALL PLANS REQUIRED |
| <input type="checkbox"/> COPY-MARK-UPS |
| <input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE |
| <input type="checkbox"/> MINUTES-LASERFICHE |
| <input type="checkbox"/> PLAT FILED DATE _____ |
| <input type="checkbox"/> CABINET # _____ |
| <input type="checkbox"/> SLIDE # _____ |
| NOTES: _____ |
| _____ |
| _____ |
| _____ |
| _____ |
| ZONING MAP UPDATED _____ |



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2019-037

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2930 Ridge Road

Subdivision Lake Ridge Estates

Lot

26

Block

General Location Northwest Corner Ridge Road and Cemetary Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-032

Current Use Residential

Proposed Zoning Same - No change

Proposed Use Retail/Restaurant

Acreage

1.162

Lots [Current]

1

Lots [Proposed]

1

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Retail Partners, LLC

Applicant Carrillo Engineering, LLC

Contact Person Eddie Martin

Contact Person Anna C. Blackwell

Address 550 Bailey Avenue

Address 301 Commerce St.

Suite 550

Suite 1410

City, State & Zip Fort Worth TX

City, State & Zip Fort Worth, TX 76102

Phone 8178709147

Phone 8176974996

E-Mail jrm@retailpartnersllc.com

E-Mail anna.blackwell@carrilloeng.com

NOTARY VERIFICATION [REQUIRED]

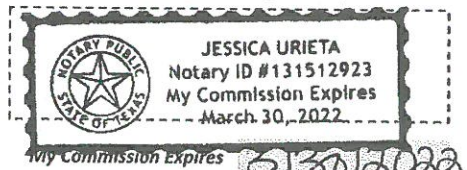
Before me, the undersigned authority, on this day personally appeared John Russell Martin [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 240.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 12 day of September, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11th day of September, 20 19.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



City of Rockwall Project Plan Review History



Project Number SP2019-037
Project Name Ridge Road Retail Center
Type SITE PLAN
Subtype
Status P&Z HEARING

Owner HUGHES, ROBERT J & PATRICK HUGHES &
Applicant CARILLO ENGINEERING, LLC

Revised Plan Submittal - Address Staff
Comments that are Highlighted

Applied 9/13/2019 KB
Approved
Closed
Expired
Status 9/20/2019 DG

Site Address
2930 RIDGE RD

City, State Zip
ROCKWALL, TX 75032

Zoning

| Subdivision | Tract | Block | Lot No | Parcel No | General Plan |
|----------------------------|-------|-------|--------|----------------------|--------------|
| MURPHY PLAZA ADDITION PH 2 | 26 | | 26 | 4210-0000-0026-00-0R | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|------------------------|------------------|------------|------------|------------|---------|----------|---------|
| BUILDING | Russell McDowell | 9/13/2019 | 9/20/2019 | 9/17/2019 | 4 | APPROVED | |
| BUILDING | Russell McDowell | 10/22/2019 | 10/29/2019 | 10/22/2019 | | APPROVED | |
| ENGINEERING | Sarah Johnston | 9/13/2019 | 9/20/2019 | 9/20/2019 | 7 | COMMENTS | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|---|-----------------------|-------------------|-------------------|-------------------|----------------|-----------------|
| (9/20/2019 11:07 AM SJ) | | | | | | |
| M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19 | | | | | | |
| M - Must dimension the distance from the driveways to the nearest driveway on either side Standards of Design 2.6 | | | | | | |
| M - All fire lane radii to be 20' min. This may remove a parking space on the center aisle. Standards of Design 2.19 | | | | | | |
| M - Driveway radii to be 20' min. Standards of Design 2.19 | | | | | | |
| M - Dumpster and screening wall must be out of easements. | | | | | | |
| M - No structures in easements. This includes retaining walls and footings. Standards of Design 6.4.1 | | | | | | |
| M - "Cemetery Road" will be named Glen Hill Way City Thoroughfare Map | | | | | | |
| M - Must have a public access easement for the property across Glen Hill Way. Standards of Design 2.19 | | | | | | |
| M - Drive across Glen Hill Way must be tied in at a 90-degree angle. Standards of Design 2.8 | | | | | | |
| M - Glen Hill Way must have 30' radii onto Ridge Road. Standards of Design 2.8 | | | | | | |
| M - The existing fire hydrant must have a 20'x20' easement established. Standards of Design 5.3.1 | | | | | | |
| M - The new 8" water line in Glen Hill Way must connect to the existing 16" water line in Ridge Road. Water Master Plan | | | | | | |
| M - Must show existing utilities and your planned service connections. | | | | | | |
| M - No trees allowed in the ROW. Standards of Design 4.4 | | | | | | |
| I - Must meet City Standards | | | | | | |
| I - 4% Inspection fee | | | | | | |
| I - Impact fees | | | | | | |
| I - Parking against the building to be 20'x9', all other to be 18'x9' minimum | | | | | | |
| I - Minimum easement is 20' width | | | | | | |
| I - Retaining walls 3' and over must be engineered | | | | | | |
| I - All retaining walls to be rock or stone face. No smooth concrete walls. | | | | | | |
| I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines | | | | | | |
| I - Concrete to have 6.5 sack mix/cy. | | | | | | |
| I - No sand allowed under paving. Add note | | | | | | |
| ENGINEERING | Sarah Johnston | 10/24/2019 | 10/31/2019 | 10/25/2019 | 1 | COMMENTS |
| (10/25/2019 10:20 AM SJ) | | | | | | |
| M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4 | | | | | | |
| M - No structures in easements. This includes retaining walls and footings, dumpster, signs, and screening wall must be out of easements. Standards of Design 6.4.1 | | | | | | |
| M - Must add a 10' utility easement along Ridge Road frontage. | | | | | | |
| M - Driveway spacing on Glen Hill Way is to be 100' from Ridge Road. You must request a variance of this standard from Council. Standards of Design 2.8 | | | | | | |
| I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines. | | | | | | |
| I - Must meet City Standards | | | | | | |
| I - 4% Inspection fee | | | | | | |
| I - Impact fees | | | | | | |
| I - Parking against the building to be 20'x9', all other to be 18'x9' minimum | | | | | | |
| I - Minimum easement is 20' width | | | | | | |
| I - Retaining walls 3' and over must be engineered | | | | | | |
| I - All retaining walls to be rock or stone face. No smooth concrete walls. | | | | | | |
| I - Concrete to have 6.5 sack mix/cy. | | | | | | |
| I - No sand allowed under paving. Add note | | | | | | |

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|---|-----------------|------------|------------|-----------|---------|----------|------------------------|
| FIRE | David Gonzales | 10/24/2019 | 10/31/2019 | | | | |
| FIRE (9/20/2019 9:53 AM AA) FDC shall be: -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. (Ord 16-31) | Ariana Hargrove | 9/13/2019 | 9/20/2019 | 9/20/2019 | 7 | COMMENTS | |
| GIS (9/17/2019 10:12 AM LS) Cemetery Road is now called GLEN HILL WAY per ordinance 16-17 (3/7/2016) | Lance Singleton | 9/13/2019 | 9/20/2019 | 9/17/2019 | 4 | APPROVED | See comment |
| Parks Department | David Gonzales | 10/24/2019 | 10/31/2019 | | | | VOIDED (DG 10/25/2019) |
| Parks Department (9/30/2019 4:10 PM DG) Travis Sales, Parks and Rec, provided the following comments: SP2019-037: Reviewed; 3" caliper trees on landscape plan need to be a minimum of 4" caliper Shrub locations not shown on plan 668 required mitigation 156 mitigated 512 to be mitigated | David Gonzales | 9/13/2019 | 10/7/2019 | 9/30/2019 | 17 | COMMENTS | See comments |
| PLANNING | David Gonzales | 9/13/2019 | 9/20/2019 | 9/20/2019 | 7 | COMMENTS | See comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|---------|
| (9/20/2019 8:44 AM DG) | | | | | | |
| SP2019-037; Site Plan for Ridge Road Retail Center (PD-32) | | | | | | |
| Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740]. | | | | | | |
| I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com. | | | | | | |
| M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages on future submittals. | | | | | | |
| I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], Resolution No. 10-40 (Design Guideline of PD-32), and the Development Standards of Article V, that are applicable to the subject property. | | | | | | |
| I.5 Please note that the property will require a replat prior to the issuance of a building permit. | | | | | | |
| I.6 Provide Site Data Table on all revised plans (i.e. landscape, treescape, photometric, and site plan). | | | | | | |
| I.7 Please relabel the proposed street section to Glen Hill Way (i.e. not Cemetery Road) on all revised plans (i.e. landscape, treescape, photometric, site plan). | | | | | | |
| M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: | | | | | | |
| 1) Please relabel the street to Glen Hill Way (i.e. not Cemetery Road). | | | | | | |
| 2) Verify the building square footage. Indicates 7,025 SF. The SF for each unit = 7,195 SF. | | | | | | |
| 3) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). | | | | | | |
| 4) Will there be a dedicated 24-ft firelane in the parking lot? If so, please label. | | | | | | |
| 5) Remove the label "to be abandoned" underneath Cemetery Road. | | | | | | |
| 6) Is the chain link fence being removed? If so, please remove label from all other plans. | | | | | | |
| 7) Under the Construction Schedule legend, No. 7 indicates a detail for the dumpster enclosure is located on the building elevations. The detail was not provided. | | | | | | |
| 8) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required if not screened or reoriented. | | | | | | |
| 9) Parking for a retail (4,592 SF) and restaurant (2603 SF) uses requires as follows: A) Retail Facility - a minimum of one (1) parking space per 250-SF (i.e. 1:250 SF = 18 parking spaces) & B) Restaurant - a minimum of one (1) parking space per 100-SF (i.e. 1:100 SF = 26 parking spaces) of gross floor area. Based on these uses, the proposed 7,025 SF facility requires a minimum of 44 parking spaces. Approval of a variance to Section 5, Off-Street Parking Requirements, of Article VI, Parking and Loading is required by the Planning and Zoning Commission. | | | | | | |
| 10) The proposed parking lot has more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) that is between the primary building façade and the right-of-way (i.e. Ridge Road) and requires a variance. (Subsection 6.02.D.2, Art. V, UDC). | | | | | | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|------------------------|---------|------|-----|----------|----------------|--|
| M.9 | | | | | | <p>Dumpster Enclosure. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, Trash/Recycling Receptacles and Dumpster Enclosures. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building.</p> <p>1) Provide detail of dumpster meeting the Scenic Overlay District's minimum standard for height, materials, etc. (Sec. 6.02.D.7, Art. V, UDC)</p> |
| M.10 | | | | | | <p>Streetscape Plan. Please provide a streetscape plan that shows conformance to the requirements of Ordinance No 17-22. According to this ordinance the required streetscape plan shall include cut sheets and product specification sheets indicating the proposed products and a plan indicating the location of all the products.</p> |
| M.11 | | | | | | <p>Building Elevations. Resolution No. 10-40 lays out three (3) architectural styles (i.e. Tuscan, Traditional, and/or Transitional) that are acceptable within Planned Development District 32 (PD-32). The proposed building elevations do not appear to adhere to any of the recommended architectural styles</p> |
| M.12 | | | | | | <p>Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the submitted building elevations does not appear to have stone incorporated into the building's design. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p> |
| M.13 | | | | | | <p>Building Elevations. Please review the articulation formulas contained in Section 4.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p> |
| I.11 | | | | | | <p>Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Indicate all HVAC units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Please provide a detail for the parapet height to determine screening of RTUs. 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage |
| M.14 | | | | | | <p>Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). 2) A minimum of two (2) canopy and four (4) accent trees are required in the 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). Please indicate conformance to this requirement on the landscape plan and relabel where needed 3) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC). 4) Please provide an exhibit showing that all parking spaces are located within 80-feet from the trunk of a large canopy tree (Sec. 5.9; Art. VIII, UDC). 5) Parking Lot Landscaping – requires one (1), three (3) inch caliper 65 gallon tree be provided for every eight (8) parking spaces and the trees are to be provided in |

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|---|---|--|-----|----------|----------------|---------|
| 5-ft x 5-ft diamond planters or island planters (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide tree leave outs. | | | | | | |
| 6) Parking Lot Landscaping – landscape buffers adjacent to public streets are to consist of trees, shrubs, perennial, and/or ornamental grasses in natural groupings (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide exhibit. | | | | | | |
| 7) Please provide an identifying symbol for each tree type to better identify what is being planted | | | | | | |
| 8) Please ghost-in the existing trees in order to distinguish between proposed plantings | | | | | | |
| 9) Under General Planting Notes, number 5 indicates the “City of Canyon”. Please change to City of Rockwall. | | | | | | |
| M.15 | Treescape Plan | According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted. | | | | |
| | (1) | Adjust mitigation inches due for all landscape trees being provided. The minimum size required for planting of a canopy tree is four (4) inches. (Sec. 4.A.2, Art VIII, UDC) | | | | |
| M.16 | Photometric Plan | Ordinance No. 17-22 stipulates a design standard for all pedestrian scale street lighting and parking lot light fixtures. The proposed pedestrian scale street light does appear to conform to the design standards for this district. | | | | |
| M.17 | Based on the submittal staff has identified the following variances | | | | | |
| | 1) | Building Materials. The proposed addition exceeds the maximum permitted percentage of secondary materials and does not include a minimum of 20% stone. | | | | |
| | 2) | Building Articulation. The proposed addition does not meet the articulation standards established by the UDC. | | | | |
| | 3) | Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street. | | | | |
| | 4) | Parking Count. The proposed site does not meet the minimum parking standards. | | | | |
| | 5) | Parking Restrictions. The proposed parking lot has more than one (1) full row of parking (i.e. two (2) rows of parking with a drive aisle) adjacent to Ridge Road and within the Scenic Overlay (SOV) District. | | | | |
| | To be able to request a variance, | an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures. | | | | |
| I.18 | Please note that failure to address all comments provided by staff by 5:00 PM on September 4, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case. | | | | | |
| I.19 | Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 8, 2019 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 24, 2019. | | | | | |
| I.20 | The Architectural Review Board (ARB) meeting will be held on September 24, 2019 and will begin at 5:00 p.m. in the City’s Council Chambers. The ARB will | | | | | |

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| forward a recommendation to the Planning and Zoning Commission | | | | | | |
| I.21 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m. | | | | | | |
| PLANNING | David Gonzales | 10/24/2019 | 10/31/2019 | 10/24/2019 | COMMENTS | Revised Submittal |

comments on next page

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|---------|
| (10/24/2019 7:21 PM DG) | | | | | | |
| SP2019-037; Revised Submittal-- Site Plan for Ridge Road Retail Center(PD-32) | | | | | | |
| Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740]. | | | | | | |
| I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com. | | | | | | |
| M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan, landscape plan, treescape plan, photometric plan, building elevations). | | | | | | |
| I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], and the Development Standards of Article V, that are applicable to the subject property. | | | | | | |
| I.5 Please note that the property will require a replat prior to the issuance of a building permit | | | | | | |
| I.6 Provide Site Data Table on all revised plans(i.e. landscape, treescape, and photometric). | | | | | | |
| I.7 Please provide a label for the proposed street section of Glen Hill Way on all plans(i.e. landscape, treescape, and photometric). | | | | | | |
| M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: | | | | | | |
| 1) Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure to indicate 8-ft. | | | | | | |
| 2) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required | | | | | | |
| 3) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director. | | | | | | |
| M.9 Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the revised building elevations do not incorporate stone on the front (east) and side (south) facing facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). | | | | | | |
| I.10 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: | | | | | | |
| 1) Indicate all HVAC units on the building elevations(i.e. dash-in RTU's) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). | | | | | | |
| 2) Please provide a detail for the parapet height to determine screening of RTUs. | | | | | | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|----------------|------------|------------|-----------|----------------|------------------------|
| 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage | | | | | | |
| M.11 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: 1) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC). | | | | | | |
| M.12 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted. (1) Total mitigation due= 336 caliper inches. Refer to Article IX, Sec. 5, Tree Mitigation Requirements in order to satisfy mitigation balance | | | | | | |
| M.13 Based on the submittal staff has identified the following variances 1) Building Materials. The proposed addition does not meet the minimum of 20% stone. 2) Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures. | | | | | | |
| I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case. | | | | | | |
| I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning & Zoning Meeting. Please note that the Planning & Zoning Work Session meeting will be held on October 29, 2019. | | | | | | |
| I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission. | | | | | | |
| I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m. | | | | | | |
| Police Department | David Gonzales | 10/24/2019 | 10/31/2019 | | | VOIDED (DG 10/25/2019) |
| Police Department | David Gonzales | 9/23/2019 | 9/23/2019 | 9/23/2019 | COMMENTS | See comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|---------|
| (9/23/2019 9:15 AM DG) | | | | | | |
| Responses from Capt. Ed Fowler 09.20.2019: | | | | | | |
| SP2019-037 Ridge Road Retail Center | | | | | | |
| Considerations. | | | | | | |
| <ul style="list-style-type: none"> • Consider Security lighting above all entrances, including rear doors, rear parking areas and dumpster(s). • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) • Add photocell to main exterior lighting and update all lighting to LED fixtures. Ensure that all lighting is positioned in a manner to minimize glare and reduce all shadows especially at the rear of business. • Consider auxiliary locking system on rear doors. • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms/bars on rear doors during closed hours. • Consider installation of solid core doors for offices inside the business including the room that houses any monies or safe Single cylinder locks for all offices and a double cylinder lock for the safe room. • Consider an additional alarm inside the safe room, either attached to the entrance door or safe • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. • Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting into the rear parking area. • Consider the addition of security cameras for the interior the business. • Ensure new or existing trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement ownership and enhance natural lines of sight at night • More than willing to speak directly with the business owners or developers about the property. | | | | | | |
| <p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p> | | | | | | |



STANDARD SITE PLAN WORDING

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:

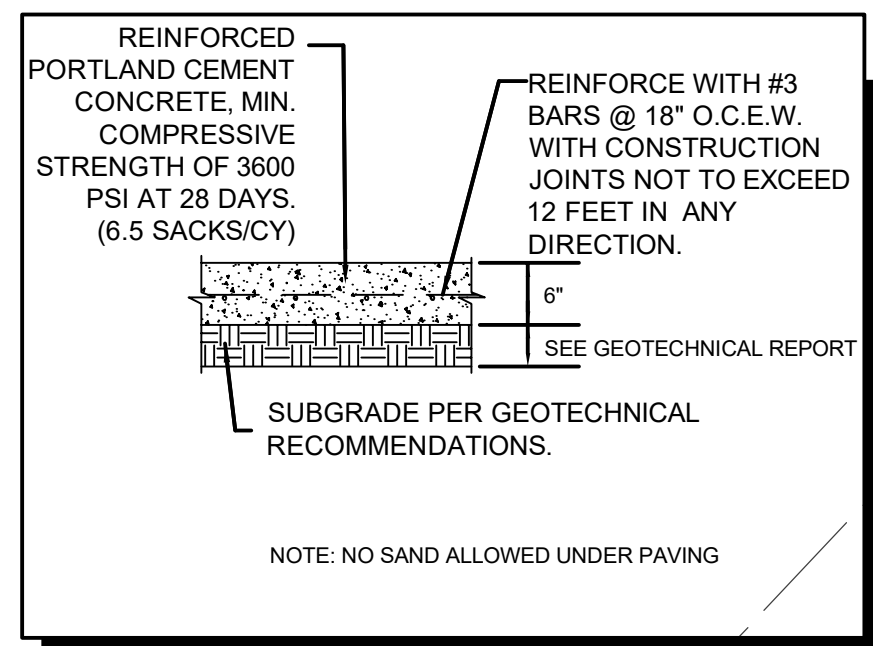
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

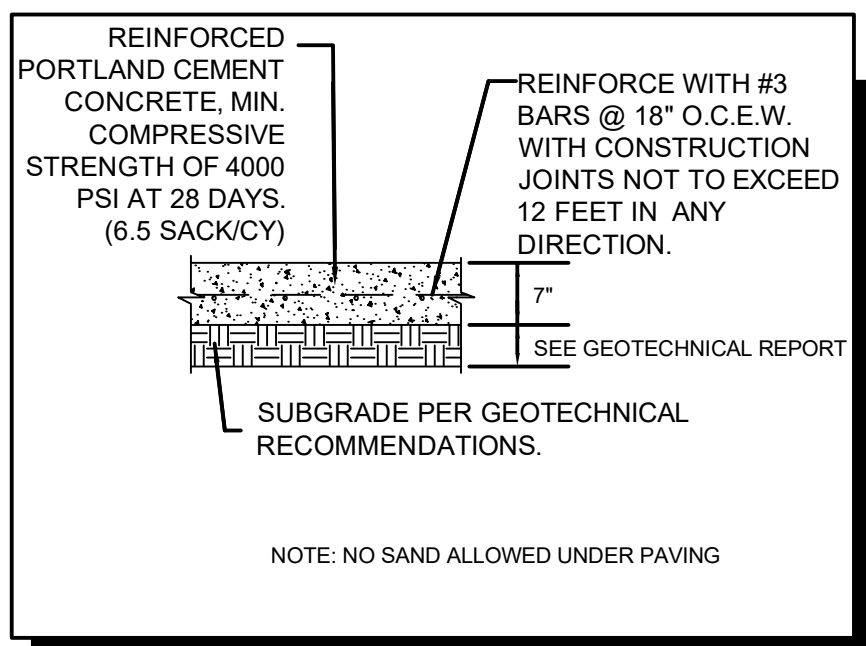
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

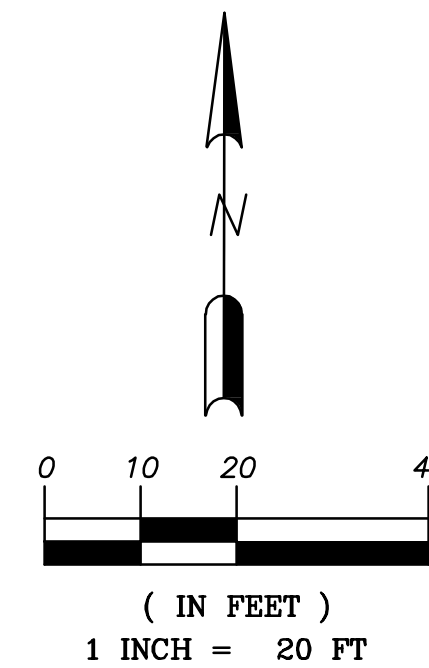
MEDIUM DUTY PAVEMENT SECTION



HEAVY DUTY PAVEMENT SECTION



LOCATION MAP N.T.S.



Must have an oil/water separator and must drain to the storm lines.

INSTALL 12 L.F. H20 LOAD RATED 6" TRENCH DRAIN AND CONNECT TO SANITARY SEWER

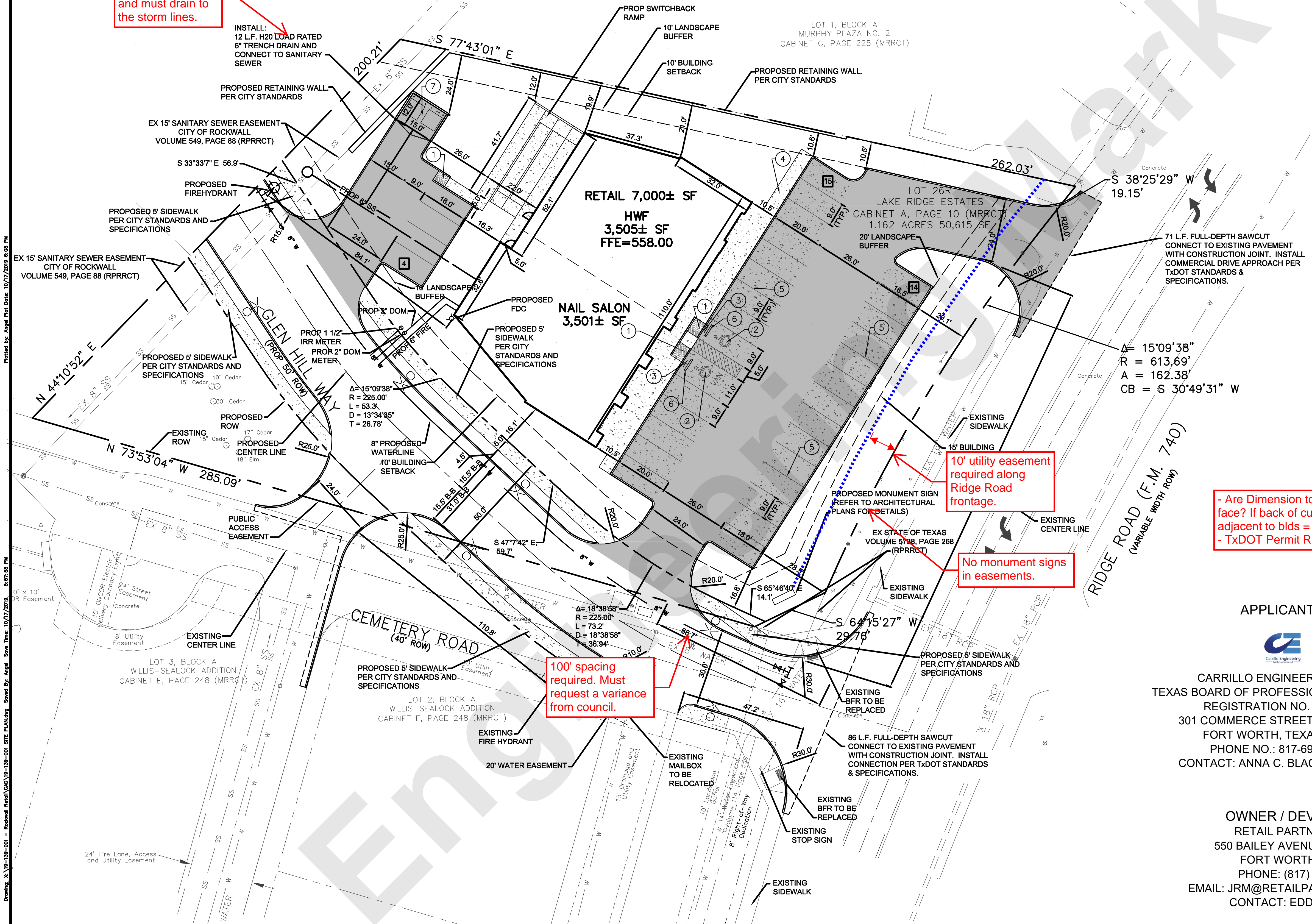
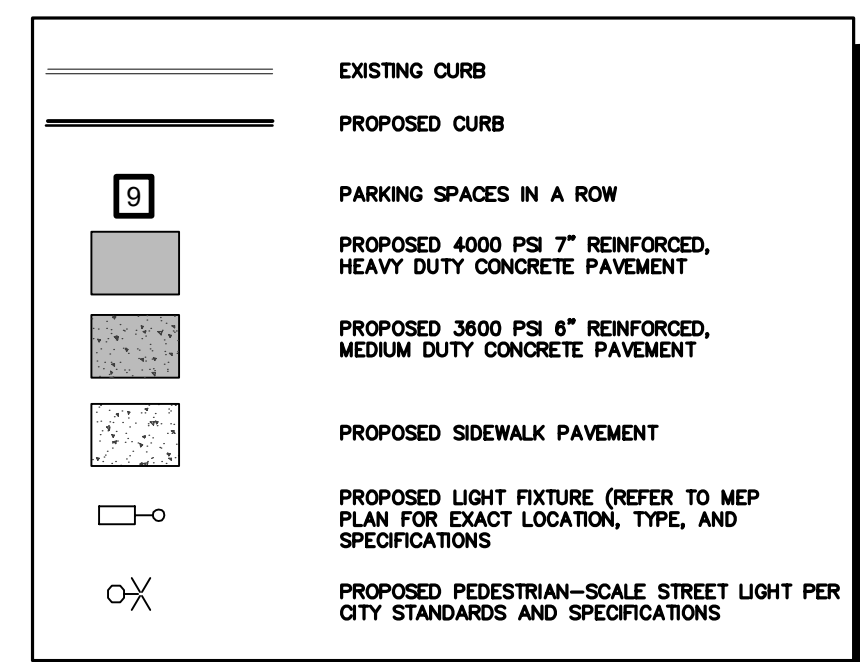


Table with 2 columns: SITE DATA and PLANNED DEVELOPMENT. Rows include Proposed Zoning, Land Use, Lot Area, Building Area, etc.

LEGEND



CONSTRUCTION SCHEDULE

- List of construction items with corresponding symbols: Handicap ramps, Handicap symbol, Handicap sign, 4' sidewalk, 4" white traffic striping, Wheel stop, Dumpsters.

APPLICANT:

CARRILLO ENGINEERING, LLC
TEXAS BOARD OF PROFESSIONAL ENGINEERS
REGISTRATION NO. F-15893
301 COMMERCE STREET, SUITE 1410
FORT WORTH, TEXAS 76102
PHONE NO.: 817-697-4996
CONTACT: ANNA C. BLACKWELL, P.E.

OWNER / DEVELOPER:

RETAIL PARTNERS, LLC
550 BAILEY AVENUE, SUITE 550
FORT WORTH, TEXAS
PHONE: (817) 870-9147
EMAIL: JRM@RETAILPARTNERSLLC.COM
CONTACT: EDDIE MARTIN

PROJECT BENCHMARK:
CITY OF ROCKWALL CONTROL MONUMENTATION
MONUMENT NUMBER RESET #1.

PRELIMINARY NOT FOR CONSTRUCTION
THIS DRAWING IS SUBMITTED FOR REVIEW PURPOSES ONLY. IT IS NOT INTENDED FOR PERMITTING OR BIDDING.

RIDGE ROAD RETAIL CENTER
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

SITE PLAN

Issue Dates:
SEP 13, 2019

Date

Revisions

Scale:

Drawn By:

Checked By:

Sheet

SP-1

CASE NUMBER # SP2019-037

Carrillo Engineering, LLC

301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
Phone 817-697-4996 - Firm Registration #F-15893



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RIDGE ROAD RETAIL CENTER
2930 SOUTH RIDGE ROAD
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SITE PLAN

Issue Dates:
SEP 13, 2019

Date

Revisions

Scale:

Drawn By:

Checked By:

Sheet

SP-1

CASE NUMBER # SP2019-037



SP2019-037 - RIDGE ROAD RETAIL CENTER
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**NOT FOR
CONSTRUCTION
REVIEW ONLY
JIM HERCKT
TX ARCH
19007**

**STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM**

**CONCEPTUAL
ARCHITECTURAL
ELEVATIONS**

**RIDGE ROAD
RETAIL CENTER
CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032**

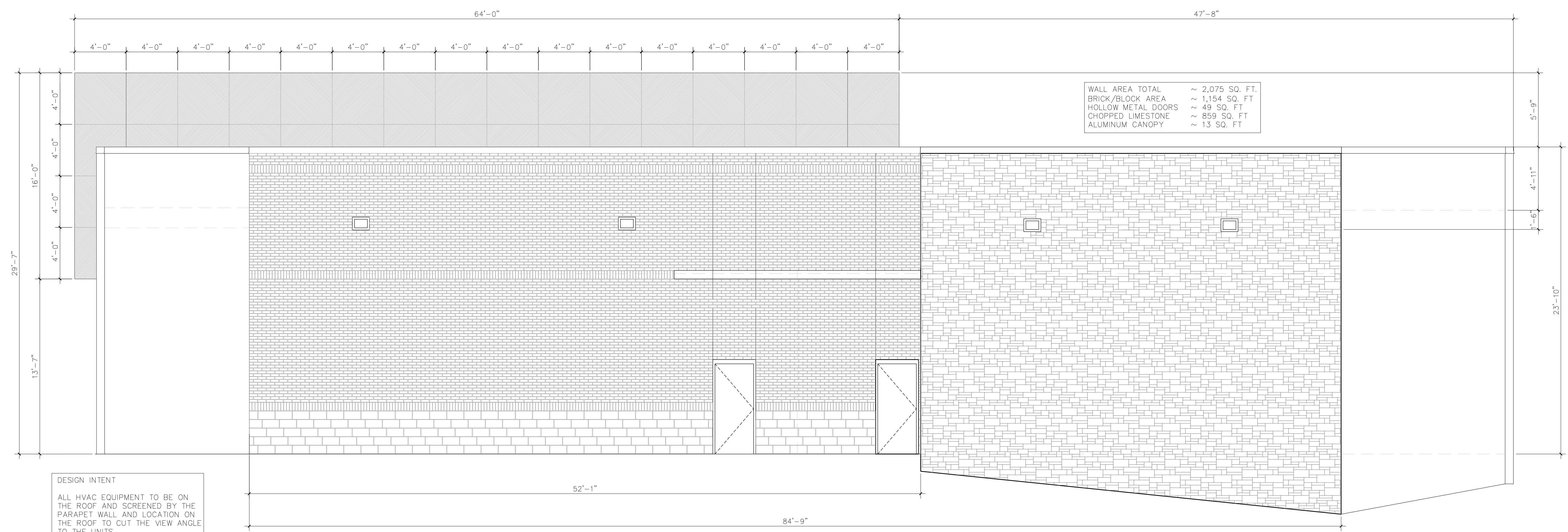
**DEVELOPMENT
SUBMITTAL**

2019.10.18

ISSUE DATE

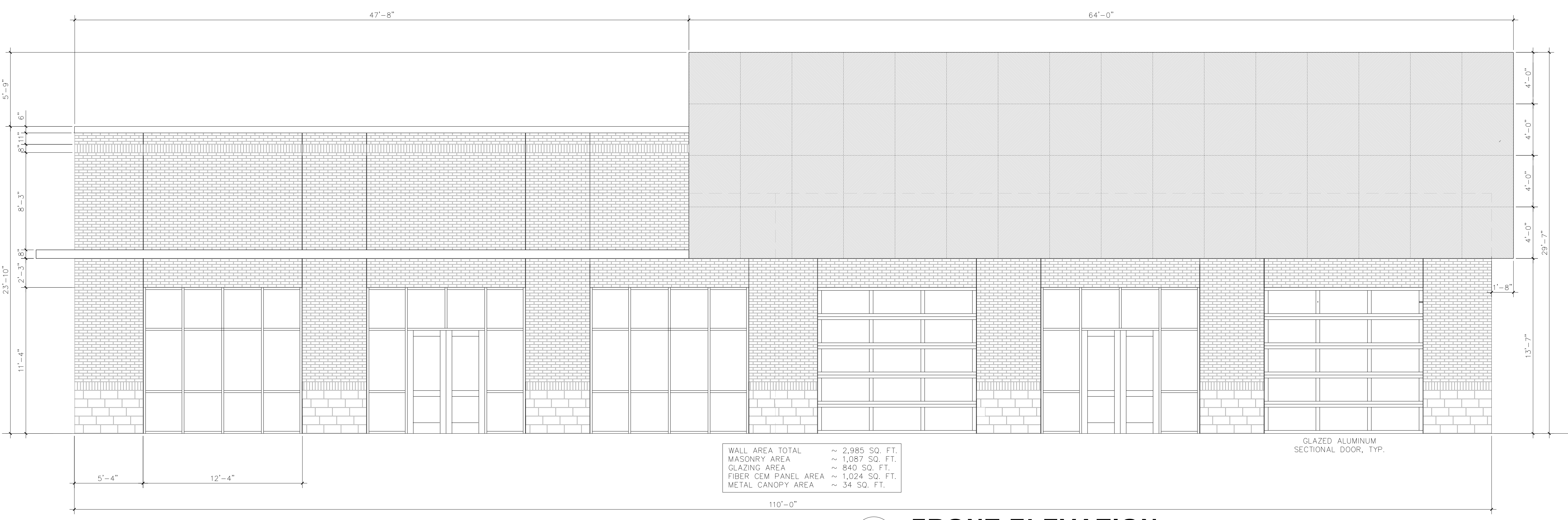
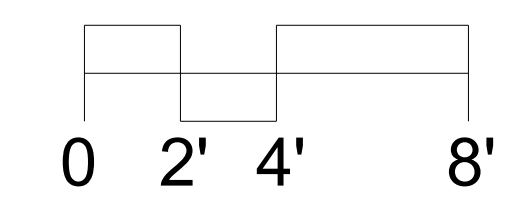
SHEET

A3.0

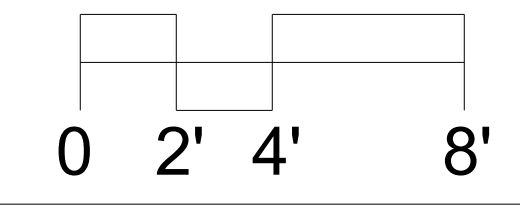


DESIGN INTENT
ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER

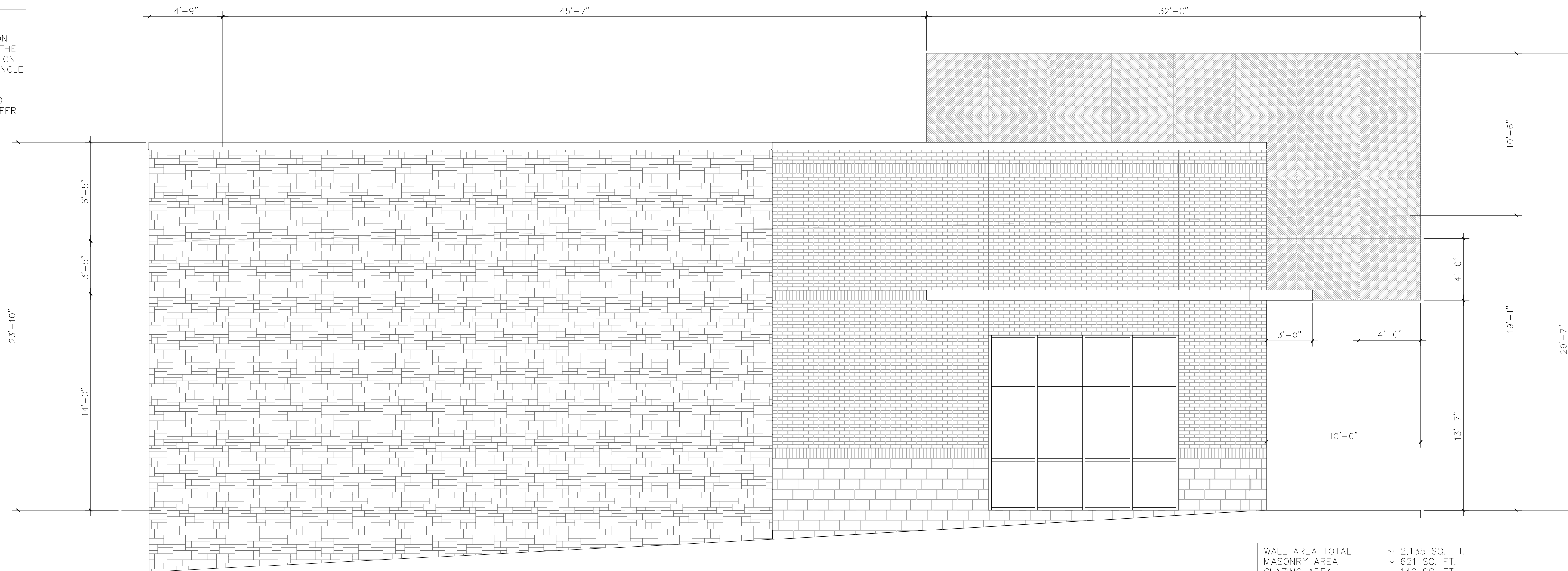
2 BACK ELEVATION
SCALE: 1/4"=1'-0"



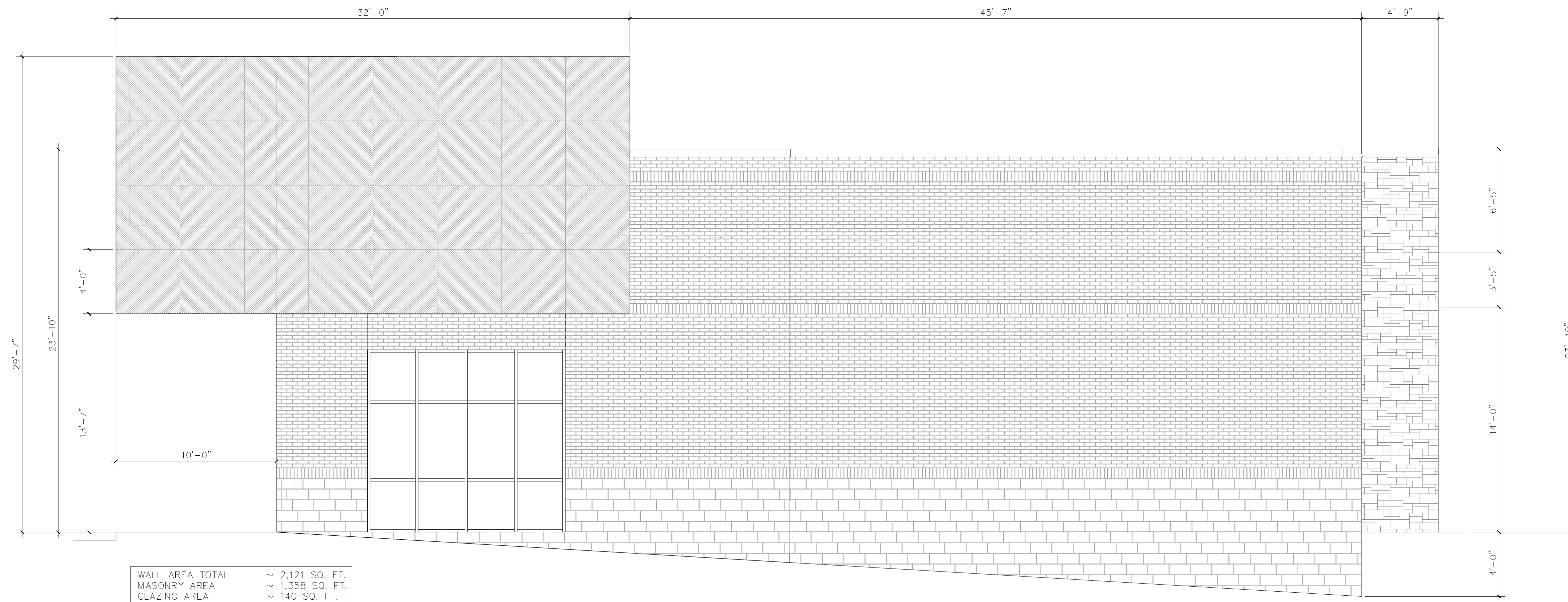
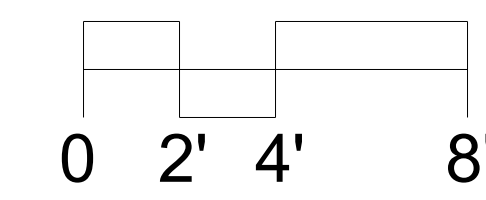
1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



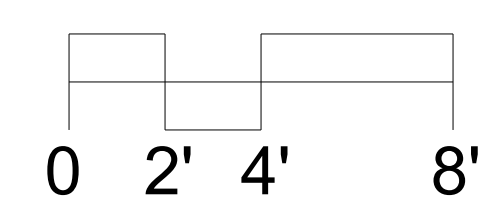
DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



2 SIDE ELEVATION
 A3.1 SCALE: 1/4"=1'-0"



1 SIDE ELEVATION
 A3.1 SCALE: 1/4"=1'-0"



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TX ARCH
19007

STUDIO HERCKT, LLC.
 1716 VIRGINIA PLACE
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 817.919.6574
 JHERCKT@GMAIL.COM

CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
 2930 RIDGE ROAD
 ROCKWALL, TX 75032

DEVELOPMENT SUBMITTAL

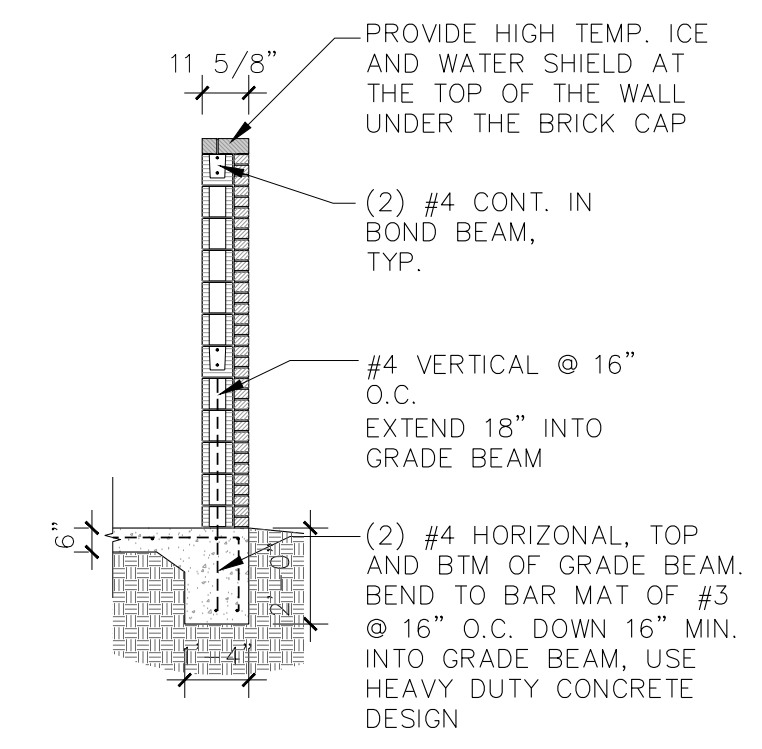
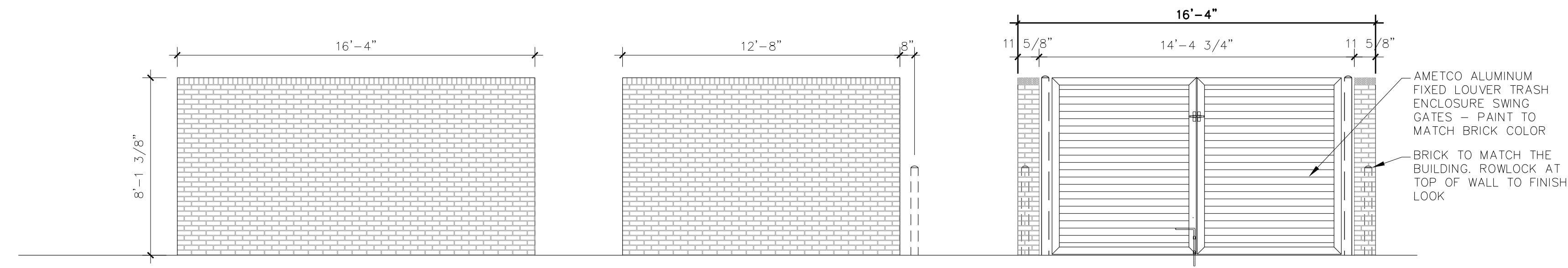
2019.10.18

ISSUE DATE

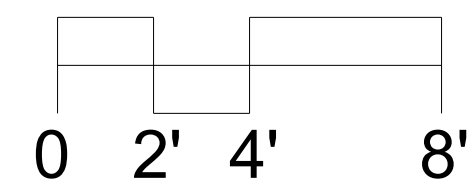
SHEET

A3.1

DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



1
 A3.2 **TRASH ENCLOSURE**
 SCALE: 1/4"=1'-0"



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CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
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ROCKWALL, TX 75032

DEVELOPMENT SUBMITTAL

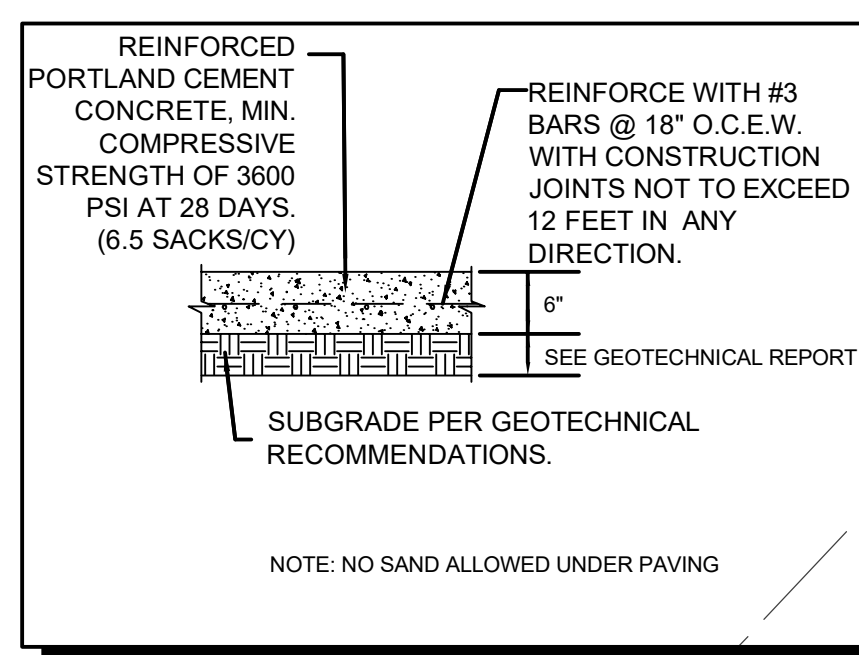
2019.10.18

ISSUE DATE

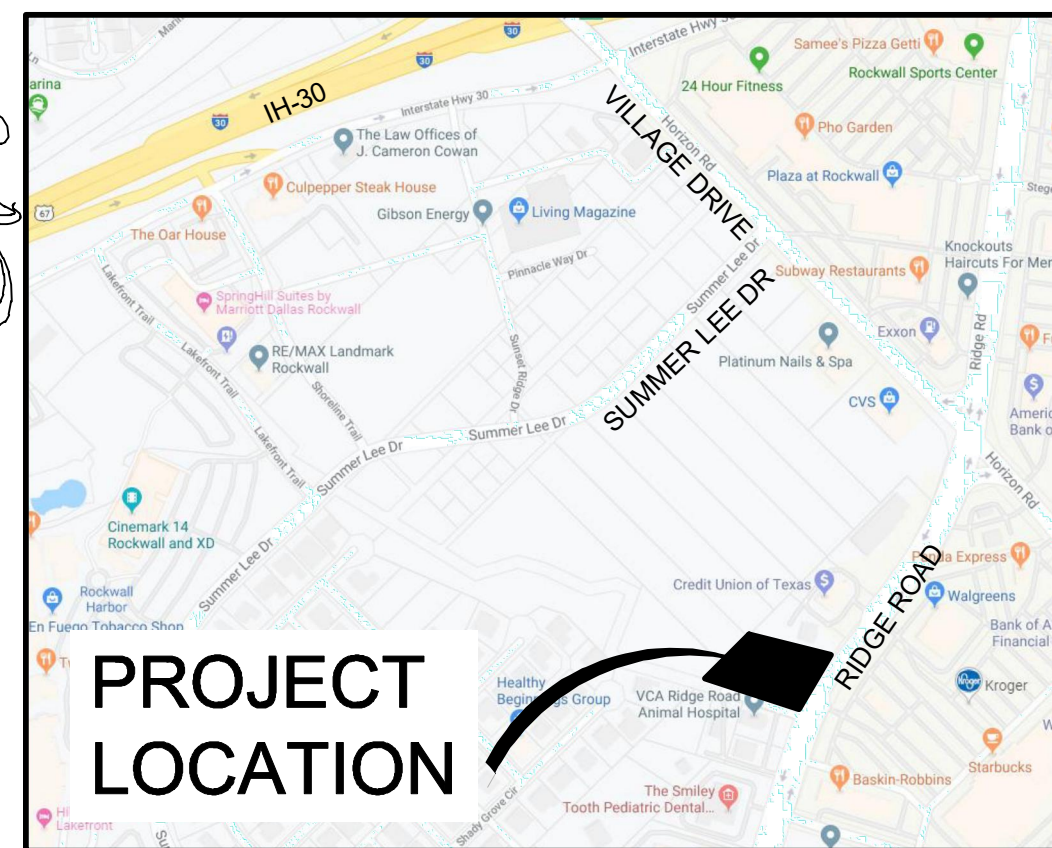
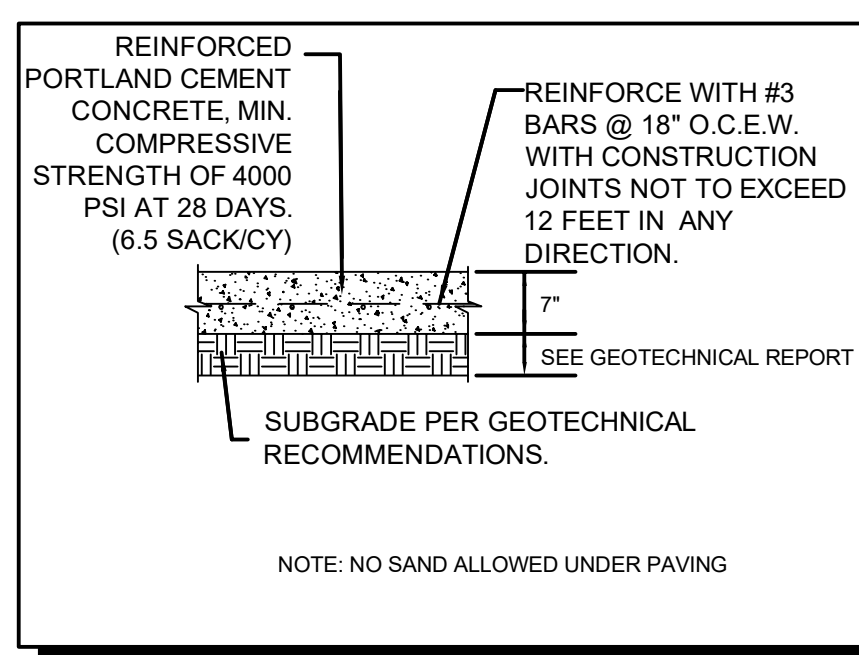
SHEET

A3.2

MEDIUM DUTY PAVEMENT SECTION



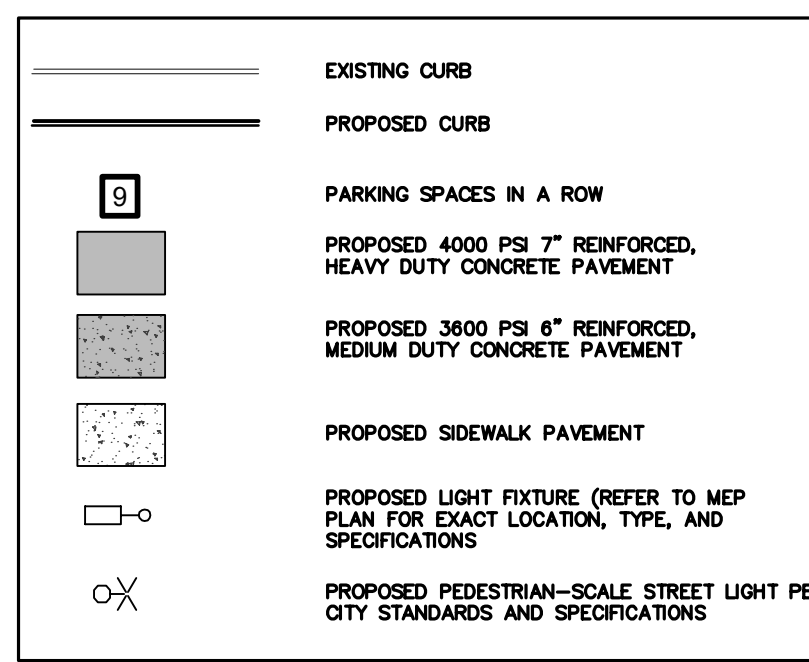
HEAVY DUTY PAVEMENT SECTION



LOCATION MAP
N.T.S.

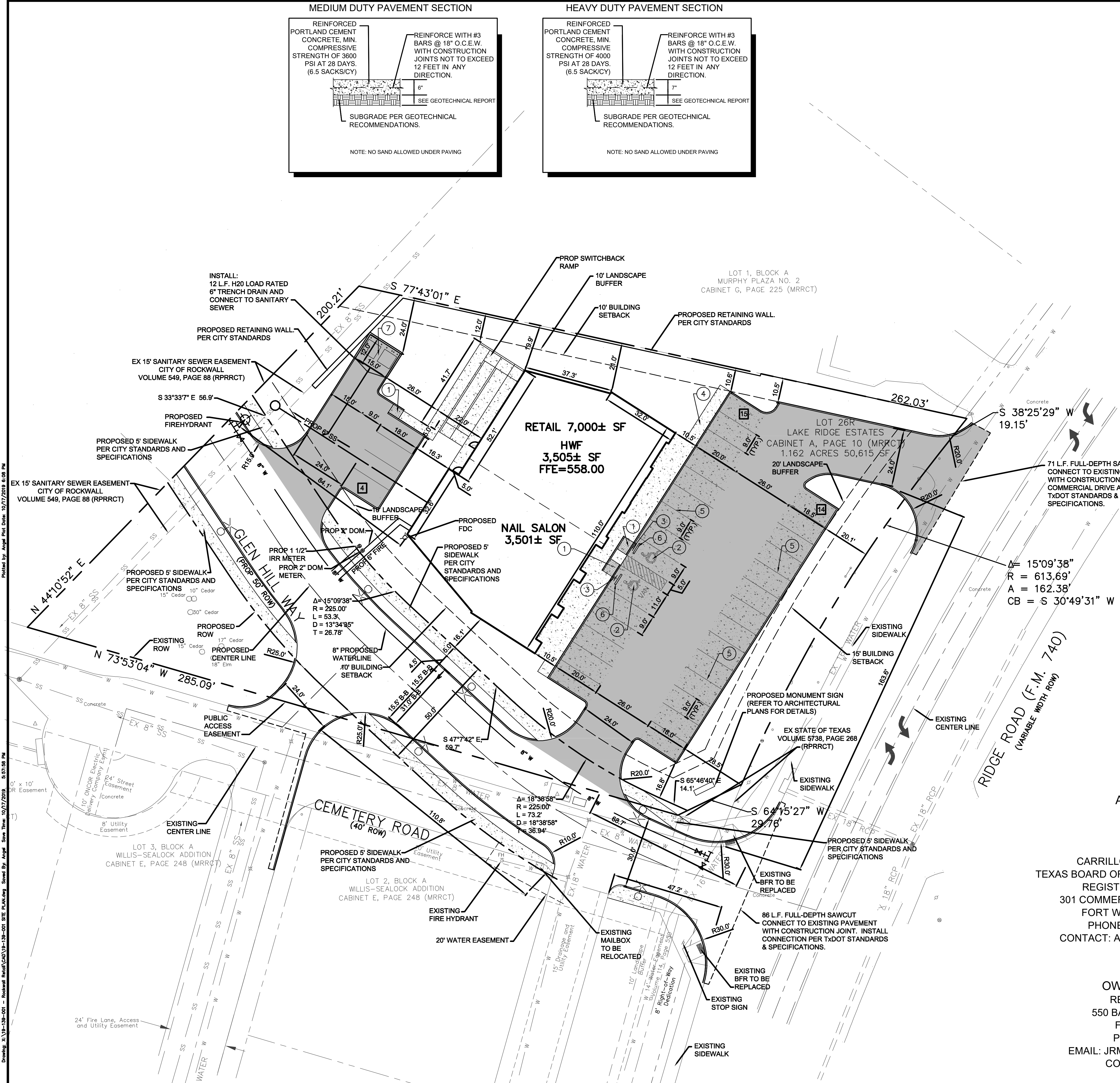
| SITE DATA | |
|---------------------------------|--------------------------------|
| PROPOSED ZONING | PLANNED DEVELOPMENT COMMERCIAL |
| PROPOSED LAND USE | RETAIL |
| LOT AREA (GROSS) | 1.162 ACRES (50,615 SQ FT) |
| LOT AREA (NET) | 0.8319 ACRES (36,239.12 SQ FT) |
| TOTAL BUILDING AREA | 7,000 SQUARE FEET |
| FLOOR AREA RATIO | 7,000 / 36,239 = 19% |
| OPEN SPACE | 13,974 / 36,239 = 39% |
| TOTAL IMPERVIOUS AREA | 22,265 / 36,239 = 61% |
| REQUIRED PARKING (1/250 RETAIL) | 28 SPACES |
| PARKING PROVIDED | 33 SPACES |
| PARKING PROVIDED (ACCESSIBLE) | 2 SPACES |
| BUILDING HEIGHT | 1 STORY, 28'-10" TOTAL HEIGHT |

LEGEND



CONSTRUCTION SCHEDULE

- ① HANDICAP RAMPS, BFRs PER CITY STANDARDS AND SPECS.
- ② HANDICAP SYMBOL
- ③ HANDICAP SIGN
- ④ 4' SIDEWALK
- ⑤ 4" WHITE TRAFFIC STRIPING
- ⑥ WHEEL STOP
- ⑦ DUMPSTER WITH 7' MASONRY ENCLOSURE PER DETAILS ON ARCHITECTURAL ELEVATIONS.



APPLICANT:



CARRILLO ENGINEERING, LLC
 TEXAS BOARD OF PROFESSIONAL ENGINEERS
 REGISTRATION NO. F-15893
 301 COMMERCE STREET, SUITE 1410
 FORT WORTH, TEXAS 76102
 PHONE NO.: 817-697-4996
 CONTACT: ANNA C. BLACKWELL, P.E.

OWNER / DEVELOPER:
 RETAIL PARTNERS, LLC
 550 BAILEY AVENUE, SUITE 550
 FORT WORTH, TEXAS
 PHONE: (817) 870-9147
 EMAIL: JRM@RETAILPARTNERSLLC.COM
 CONTACT: EDDIE MARTIN

PROJECT BENCHMARK:
 CITY OF ROCKWALL CONTROL MONUMENTATION
 MONUMENT NUMBER RESET #1.

POSTED ELEV=567.704 (NAVE88)

PRELIMINARY
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 SUBMITTED FOR REVIEW
 PURPOSES ONLY. IT IS
 NOT INTENDED FOR
 PERMITTING OR BIDDING
 ENGINEER OF RECORD:
 ANNA C. BLACKWELL, P.E.
 TX. REG. NO. 97350

RIDGE ROAD RETAIL CENTER
 2930 SOUTH RIDGE ROAD
 LAKERIDGE ESTATES, LOT 26
 ROCKWALL, TEXAS

SITE PLAN

Issue Dates:
 SEP 13, 2019

| Date | Revisions |
|------|-----------|
| | |
| | |
| | |

Scale:
 Drawn By:
 Checked By:

Sheet
SP-1

CASE NUMBER # SP2019-037



Drawn By: Angel Post Date: 10/17/2019 8:08 PM

Scale: 1/8" = 1'-0"

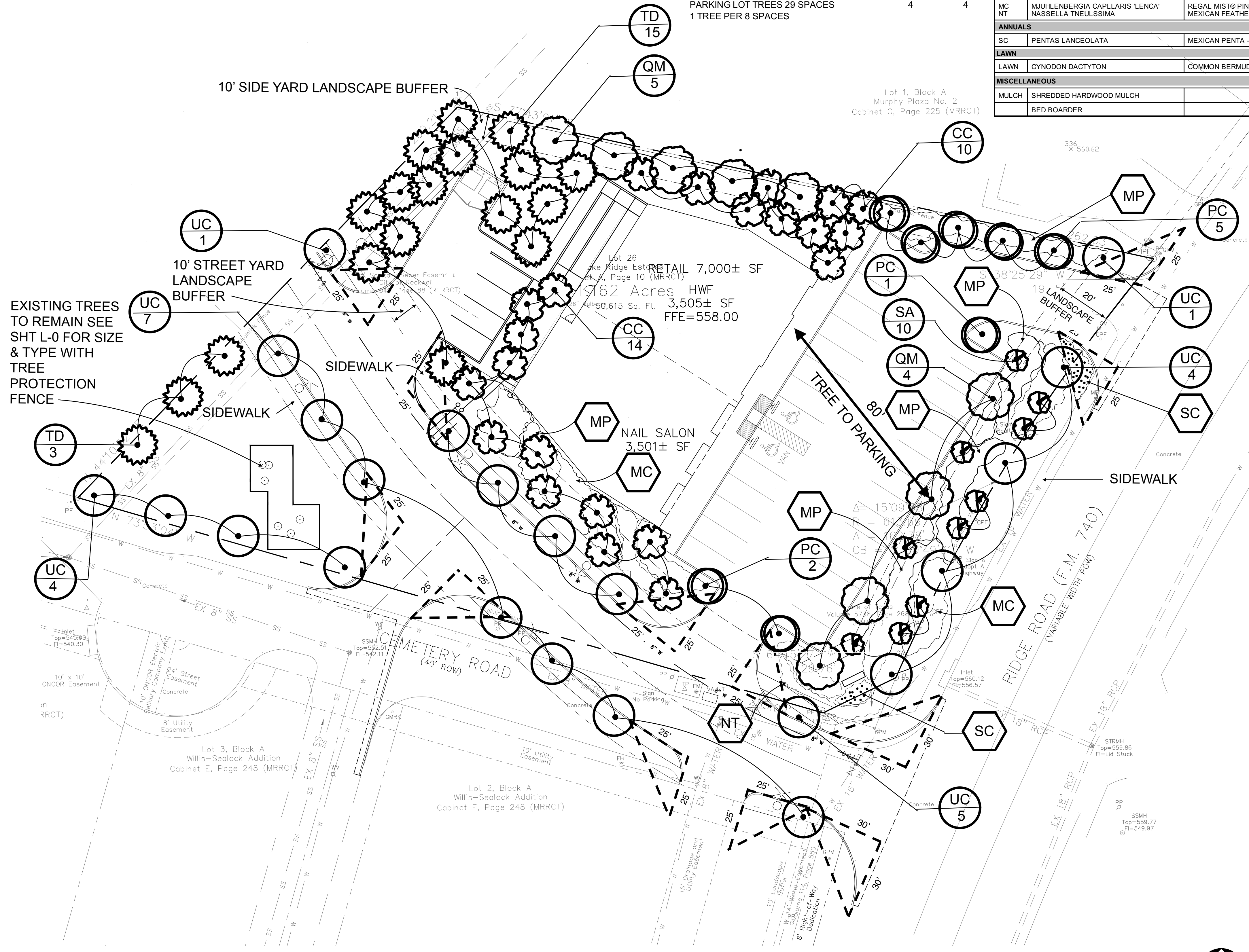
Drawn By: Angel Post Date: 10/17/2019 8:08 PM

LANDSCAPE REQUIREMENTS

| STREETScape 10 - LANDSCAPE BUFFER | REQUIRED TREES | PROPOSED TREES |
|-----------------------------------|----------------|----------------|
| CEMETERY ROAD | | |
| STREET TREES 1 PER 30 LF | | 11 |
| RIDGE ROAD | | |
| STREET TREES 1 PER 50 LF 165 LF | 4 | 4 |
| CANOPY TREE | | |
| ORNAMENTAL TREE | 8 | 10 |
| PARKING LOT TREES 29 SPACES | 4 | 4 |
| 1 TREE PER 8 SPACES | | |

PLANT LIST (IN SECTION 6)

| SYM | BOTANICAL NAME | COMMON NAME | QTY | SIZE | HEIGHT | SPREAD | ROOT BALL | REMARKS |
|---------------------------|----------------------------------|------------------------------|-----|---------|-----------|-----------|-----------|---------------------------------------|
| LARGE SIZE TREE | | | | | | | | |
| QM | QUERCUS MUEHLENBERGII | CHINKAPIN OAK | 9 | 4" CAL. | 12' - 14' | 6' - 8' | CONTAINER | SINGLE TRUNK AND FULL |
| TD | TAXODIUM DISTICUM | BALD CYPRESS | 18 | 4" CAL. | 12' - 14' | 6' - 8' | CONTAINER | SINGLE TRUNK AND FULL |
| UC | ULMUS CRASSIFOLIA | CEDAR ELM | 22 | 4" CAL. | 10' - 12' | 6' - 8' | CONTAINER | SINGLE TRUNK - BRANCHED TO GROUND |
| MEDIUM SIZE TREE | | | | | | | | |
| CC | CERCIS CANADENSIS 'TEXENSIS' | TEXAS REDBUD | 24 | 3" CAL. | 8' - 10' | 4' - 6' | CONTAINER | MULTI-TRUNKED AND FULL |
| PC | PISTACHE CHINENSIS | CHINESE PISTACHE | 8 | 3" CAL. | 8' - 10' | 4' - 6' | CONTAINER | MULTI-TRUNKED AND FULL |
| SA | STYPHNOLOBIUM AFFINE | EVE'S NECLACE | 10 | 3" CAL. | 8' - 10' | 4' - 6' | CONTAINER | MULTI-TRUNKED AND FULL |
| SHRUBS | | | | | | | | |
| MP | MYRICA PUSILLA | DWARF WAX MYRTLE | 230 | N/A | 18" | 18" | 3 GALLON | PLACED AS SHOWN ON PLAN |
| ORNAMENTAL GRASSES | | | | | | | | |
| MC | MJUHLENBERGIA CAPILLARIS 'LENCA' | REGAL MIST® PINK MUHLY GRASS | 175 | N/A | 12" - 18" | 12" - 18" | 3 GALLON | FULL MATCHED 6" O.C. TRIA. SPACED |
| NT | NASSELLA TNEULSSIMA | MEXICAN FEATHER GRASS | 150 | N/A | 6" - 8" | 6" - 8" | 1 GALLON | FULL MATCHED 6" O.C. TRIA. SPACED |
| ANNUALS | | | | | | | | |
| SC | PENTAS LANCEOLATA | MEXICAN PENTA - SOLID COLOR | 235 | N/A | 6" - 8" | 6" - 8" | 4" POT | FULL MATCHED 6" O.C. TRIA. SPACED |
| LAWN | | | | | | | | |
| LAWN | CYNODON DACTYTON | COMMON BERMUDA GRASS | | | | | | SOLID SOD STAGGARED JOINTS |
| MISCELLANEOUS | | | | | | | | |
| MULCH | SHREDDED HARDWOOD MULCH | | | | | | | 3 INCH DEPTH PLACE OVER FILTER FABRIC |
| BED BOARDER | | | | | | | | SEE BOARDER MATERIAL SHEET L-1 |

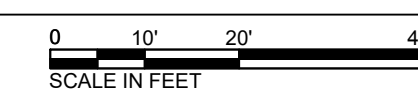
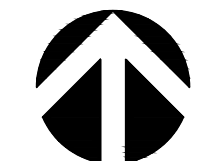


GENERAL PLANTING NOTES

- CONTRACTOR SHALL ADHERE TO CITY CONSTRUCTION REQUIREMENTS INCLUDING BUT NOT LIMITED TO ANY PERMITS, INSPECTIONS, AND METHODS OF MATERIAL INSTALLATION.
- CONTRACTOR SHALL ADHERE TO ALL AGENCY REQUIREMENTS MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE, AS WELL AS FINDING OUT EACH COMPANY'S RESTRICTIONS ON WORKING WITHIN THEIR EASEMENTS AND UTILITY LINES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING IMPROVEMENTS AND TO NOT DISTURB THOSE THAT ARE OUTSIDE OF THE SCOPE OF WORK. ANY STRUCTURES THAT ARE TO REMAIN WITHIN THE SCOPE OF WORK AREA SHALL NOT BE DAMAGED. PHOTOGRAPHS AND NOTES SHOULD BE MADE FOR ANY EXISTING DAMAGED CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND DISTRIBUTED TO OWNERS REPRESENTATIVE.
- A LANDSCAPE IRRIGATION PLAN SHALL BE PREPARED PRIOR TO LANDSCAPE CONSTRUCTION AND WILL BE DESIGNED BY A TEXAS LICENSED IRRIGATION DESIGNER. ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE AND RAIN SENSOR. THE SYSTEM SHALL BE DESIGNED TO MEET THE CITY AND THE STATE OF TEXAS IRRIGATION REQUIREMENTS. THE IRRIGATION INSTALLER SHALL BE A STATE OF TEXAS LICENSED IRRIGATION DESIGNER.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IF THERE ARE ANY WATER RESTRICTIONS AND WHAT IF ANY IMPACT THIS MAY HAVE ON THE INSTALLATION OF PLANT MATERIAL.
- QUANTITIES SHOWN IN PLANT LIST FOR PLANT MATERIAL AREA PROVIDED AS A COURTESY FOR THE CONTRACTOR. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THAT THE QUANTITY WILL COVER THE SPECIFIED AREAS AT THE SPACING STATED IN THE PLANT LIST UNDER THE REMARKS COLUMN. IF THERE IS A DIFFERENCE, THE CONTRACTOR SHALL MAKE NOTE ON THEIR BID AND SHOW THE ADDED OR REDUCED COST.
- CONTRACTOR SHALL ESTABLISH SOURCES FOR ALL PLANT MATERIAL ON PLANT LIST WHEN BIDDING PROJECT. NO PLANTS SUBSTITUTIONS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS FOR THIS PROJECT PRIOR TO INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL NEW PLANTING BEDS SHALL HAVE A MINIMUM SIX (6") INCHES OF BED PREPARATION.
- LAWN AREA SHALL HAVE FERTILE AND CLEAN TOP SOIL TILLED 4" DEEP.
- GRADING IN PLANTING BEDS SHALL BE SMOOTH AND PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL TREES, AND SHRUBS FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING.
- MULCHING OF SHRUB AND ANY GROUND COVER AREAS SHALL HAVE 3 INCHES OF SHREDDED HARDWOOD MULCH.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- THE PROPERTY OWNER, TENANT AND ANY AGENT THEREOF SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING MATERIALS IN GOOD CONDITION AT ALL TIMES SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE. ANY LANDSCAPING MATERIAL THAT DIES SHALL BE REPLACED WITH HEALTHY MATERIAL WITHIN A REASONABLE TIME. ALL LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. WEEDS AND NATURAL UNCULTIVATED GRASS SHALL NOT BE CONSIDERED LANDSCAPING.

LANDSCAPE LEGEND

- LARGE CANOPY TREE
- LARGE NON-CANOPY TREE
- ORNAMENTAL TREE
- SHRUB MASSING
- LAWN AND IRRIGATED AREAS
- STEEL EDGING



1 LANDSCAPE PLAN
 1"=20'-0"



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 THIS DRAWING IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF REGISTERED LANDSCAPE ARCHITECT STEPHEN C BERKENBILE, LIC. #1783 ON 10-16-2019. IT IS NOT INTENDED FOR BIDDING, PERMITTING, OR CONSTRUCTION PURPOSES.

ROCKWALL RETAIL
2930 SOUTH RIDGE ROAD
LAKERIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

Issue Dates:
 10-16-2019

| Date | Revisions |
|------|-----------|
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| | |
| | |


Scale:
 Drawn By:
 Checked By:

Sheet
L-1

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 Southlake, TX 76092

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 Printed by: Steve Plot Date: 10/16/2019 8:03 PM

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 Southlake, TX 76092 (817) 379-9853

Carrillo Engineering, LLC
 301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-697-4996 - Firm Registration #1-15893


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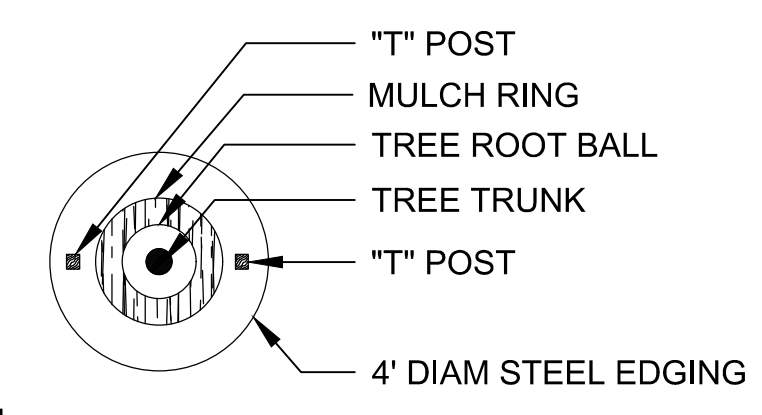
ROCKWALL RETAIL
 2930 SOUTH RIDGE ROAD
 LAKEVIEW ESTATES, LOT 26
 ROCKWALL, TEXAS

Issue Dates:
 10-16-2019

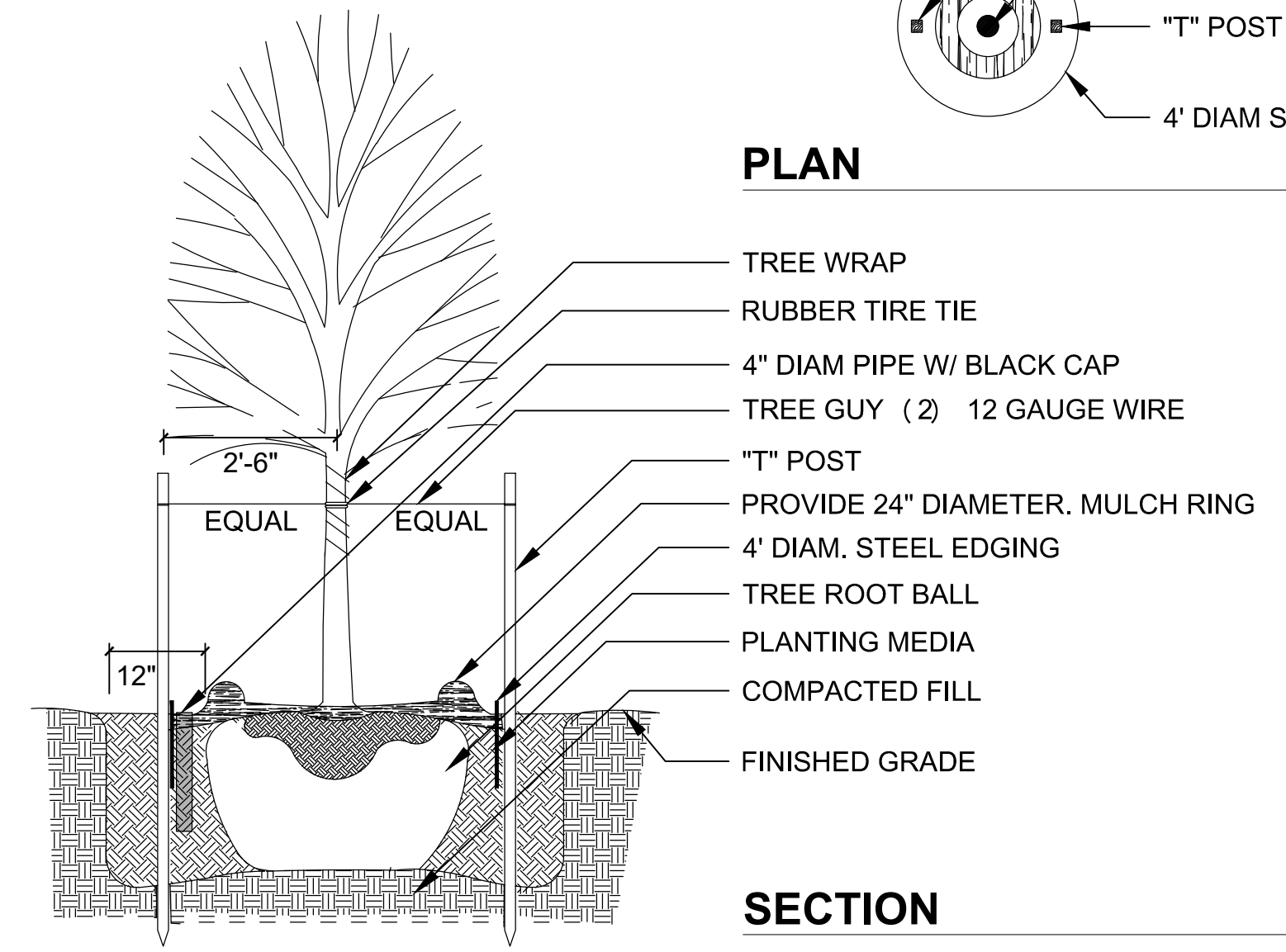
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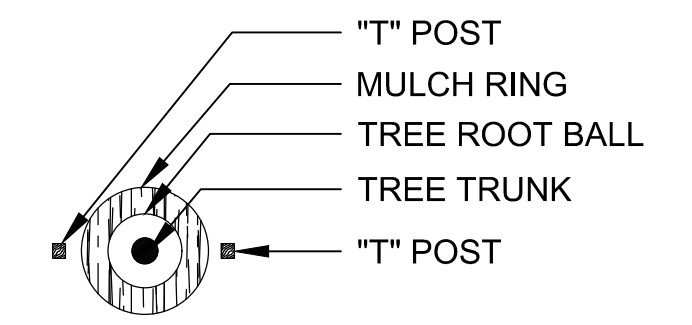


PLAN

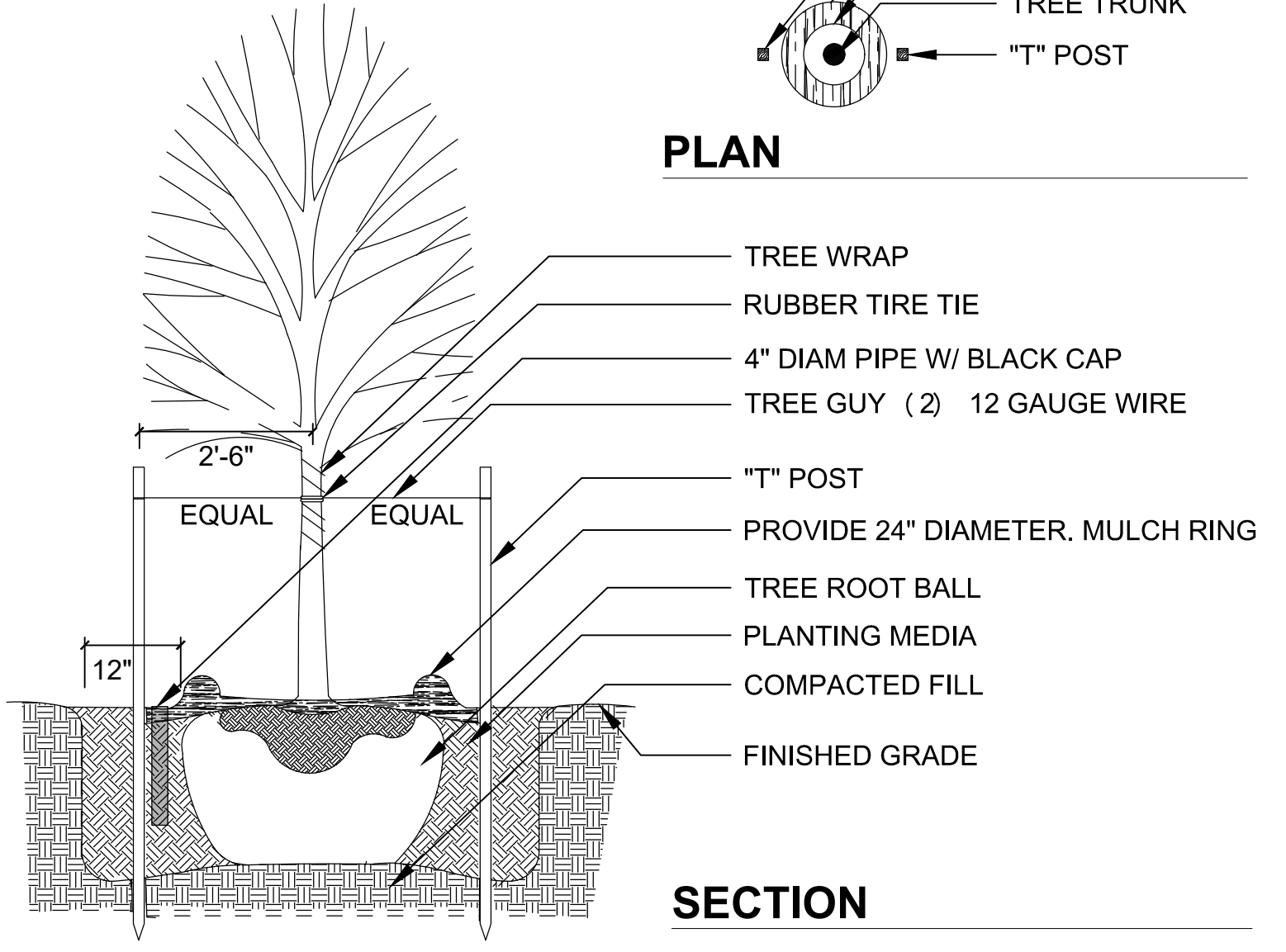


SECTION

1 TREE PLANTING IN LAWN WITH 4' DIAMETER STEEL EDGING
 NOT TO SCALE

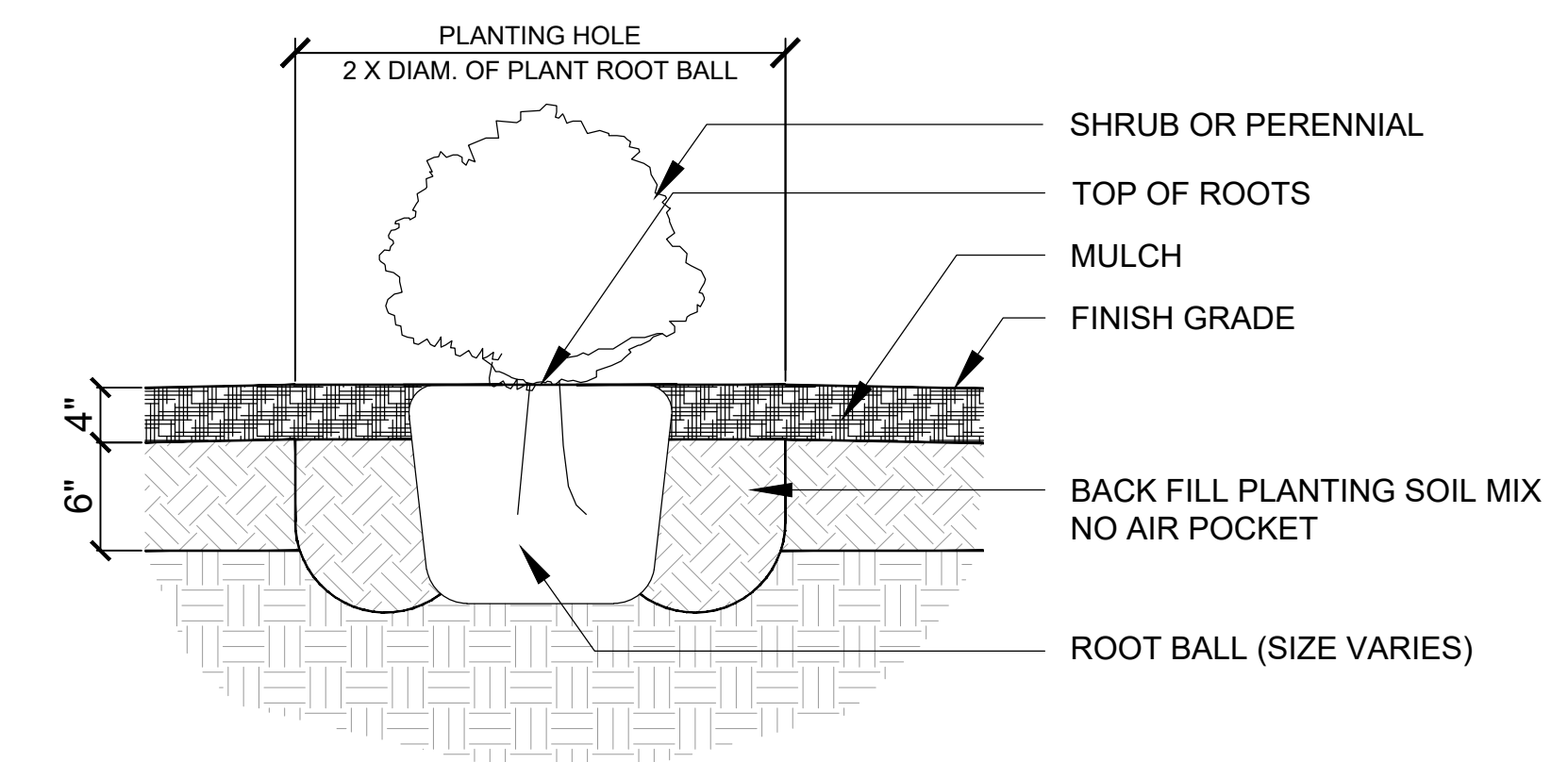


PLAN

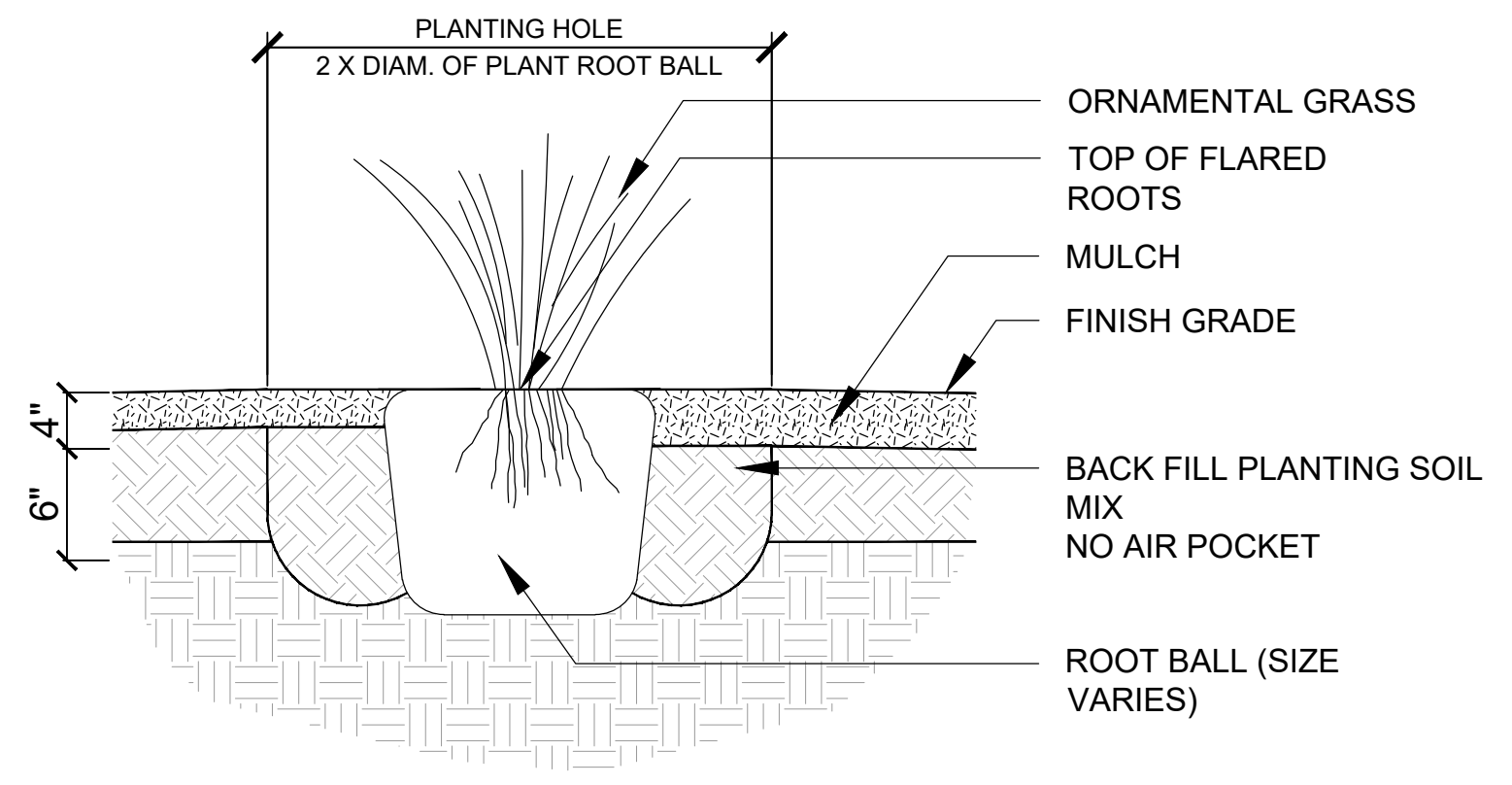


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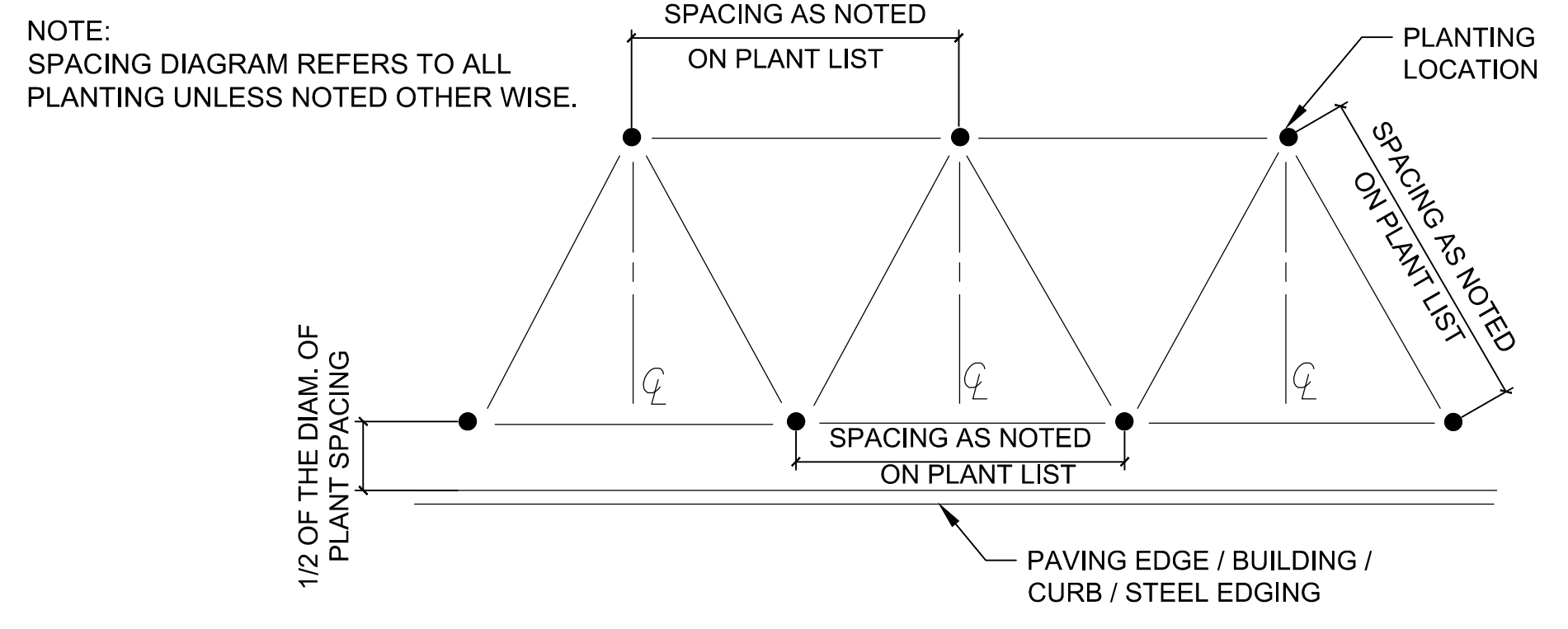
2 TREE PLANTING IN MULCH
 NOT TO SCALE



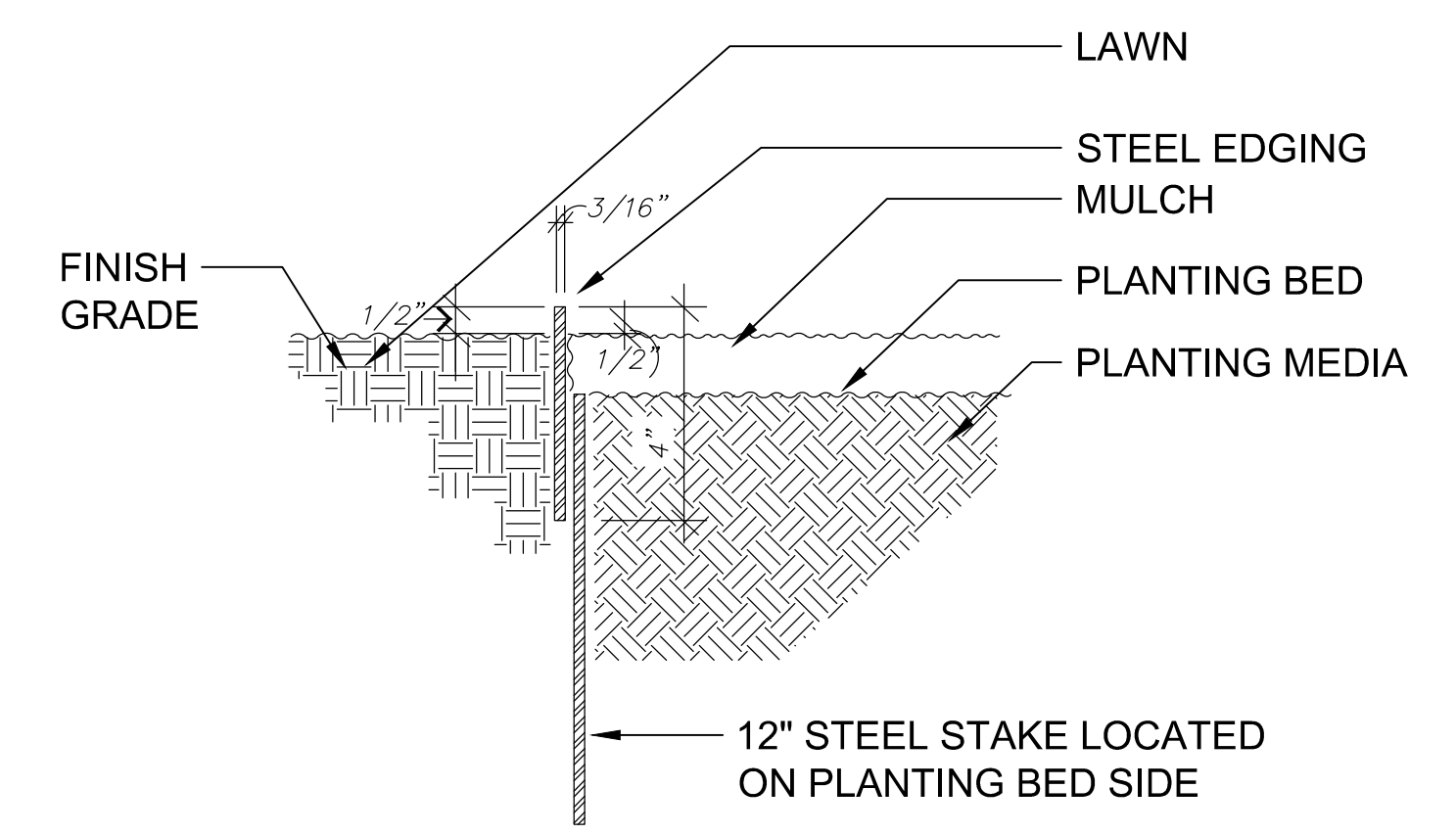
3 SHRUB PLANTING DETAIL
 NOT TO SCALE



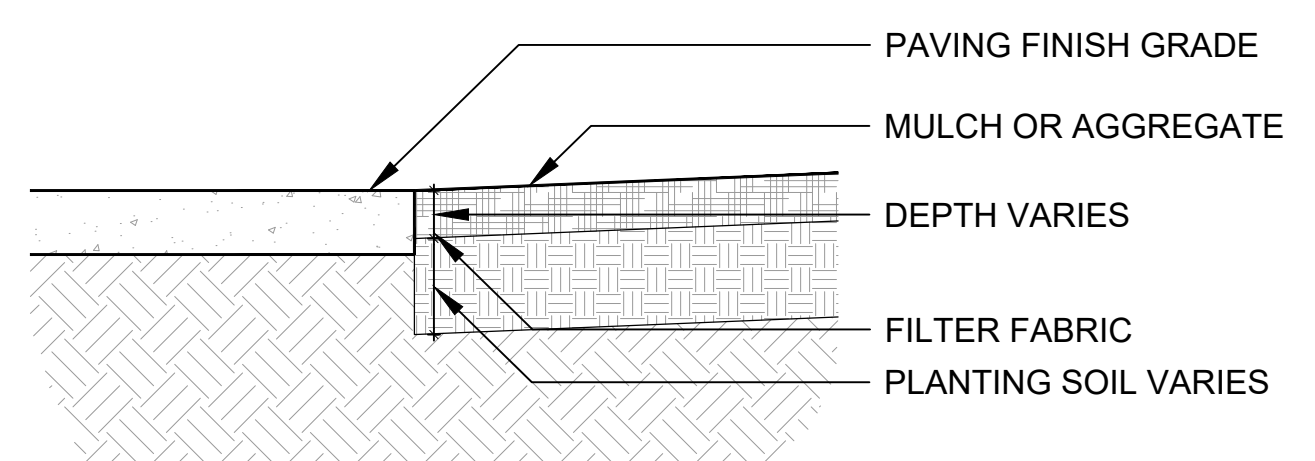
4 GRASS PLANTING DETAIL
 NOT TO SCALE



5 TRIANGULAR SPACING
 NOT TO SCALE

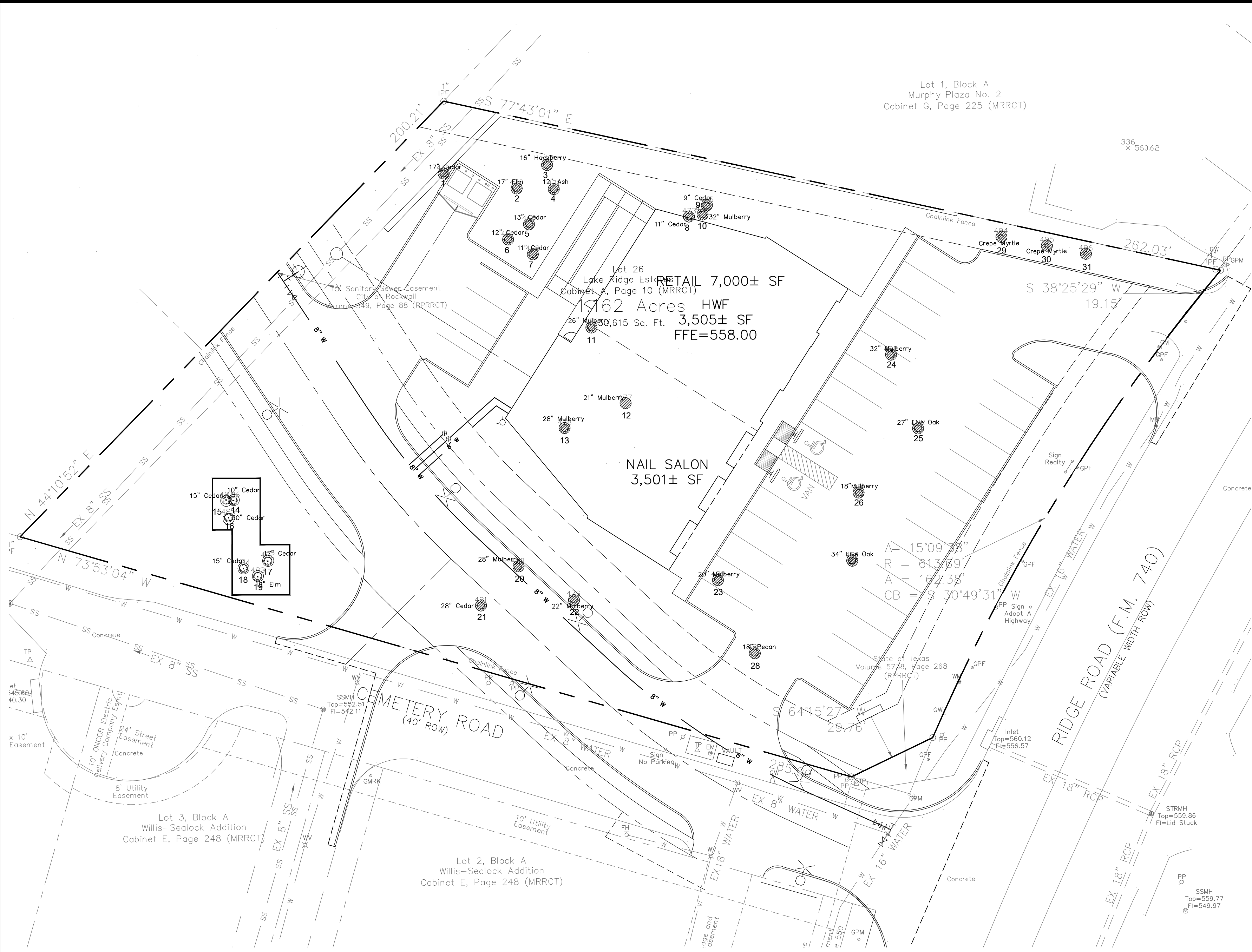


6 STEEL EDGING DETAIL
 NOT TO SCALE

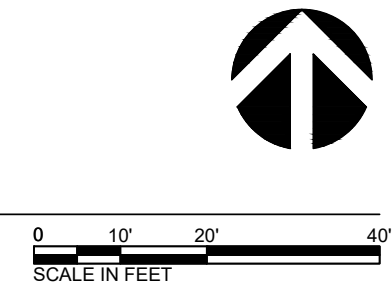


7 BED AT EDGE OF PAVING
 NOT TO SCALE

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 Drawing: C:\Users\Steve\Dropbox (BLA, Inc)\BLA, Inc Team Folder\Cre Carrillo Engineering\Cre-190801 Rockwall Retail\04-CD DD\Sheet Files\CD\Cre-190801 Rockwall Retail Planting.dwg
 Plotted By: Steve Plot Date: 10/18/2019 7:20 AM



1 TREESCAPE PLAN
1"=20'-0"



EXISTING TREE CHART

| TREE NO. | TREE NAME | TREE LOCATION | CALIPER INCHES | PROTECTED TREES PRESERVED | PROTECTED TREES REMOVED NOT REQUIRING MITIGATION | PROTECTED TREES REPLACE INCH PER INCH | SECONDARY PROTECTED TREE 11-25" 1/2 CAL REPLACE | TREE GREATER 25" CAL. 1:2 REPLACE |
|---|--------------|---------------|----------------|---------------------------|--|---------------------------------------|---|-----------------------------------|
| 1 | CEDAR | LOAD DOCK | 17 | | | | 8.5 | |
| 2 | ELM | RAMP | 17 | | | 17.0 | | |
| 3 | HACKBERRY | RAMP | 16 | | | | 8.0 | |
| 4 | ASH | RAMP | 12 | | | 12.0 | | |
| 5 | CEDAR | RAMP | 13 | | | | 6.5 | |
| 6 | CEDAR | RAMP | 12 | | | | 6.0 | |
| 7 | CEDAR | BUILDING | 11 | | | 9.0 | 5.5 | |
| 8 | CEDAR | BUILDING | 11 | | | | 5.5 | |
| 9 | CEDAR | BUILDING | 9 | | | | 5.5 | |
| 10 | MULBERRY | BUILDING | 32 | | | | | 64.0 |
| 11 | MULBERRY | BUILDING | 26 | | | | | 52.0 |
| 12 | MULBERRY | BUILDING | 21 | | | | | 42.0 |
| 13 | MULBERRY | BUILDING | 28 | | | | | 56.0 |
| 14 | CEDAR | LANDS AREA | 10 | 10 | | | | |
| 15 | CEDAR | LANDS AREA | 15 | 15 | | | | |
| 16 | CEDAR | LANDS AREA | 30 | 30 | | | | |
| 17 | CEDAR | LANDS AREA | 17 | 17 | | | | |
| 18 | CEDAR | LANDS AREA | 15 | 15 | | | | |
| 19 | ELM | LANDS AREA | 18 | 18 | | | | |
| 20 | MULBERRY | CEMETERY ST. | 28 | | | | | 56.0 |
| 21 | CEDAR | CEMETERY ST. | 28 | | | | | 56.0 |
| 22 | MULBERRY | CEMETERY ST. | 22 | | | 22.0 | | |
| 23 | MULBERRY | PARKING LOT | 20 | | | 20.0 | | |
| 24 | MULBERRY | PARKING LOT | 32 | | | | | 64.0 |
| 25 | LIVE OAK | PARKING LOT | 27 | | | | | 54.0 |
| 26 | MULBERRY | PARKING LOT | 18 | | | 18.0 | | |
| 27 | LIVE OAK | PARKING LOT | 34 | | | | | 68.0 |
| 28 | PECAN | PARKING LOT | 18 | | | 18.0 | | |
| 29 | CRAPE MYRTLE | LANDS AREA | <4 | | LESS THAN 4" | | | |
| 30 | CRAPE MYRTLE | LANDS AREA | <4 | | LESS THAN 4" | | | |
| 31 | CRAPE MYRTLE | LANDS AREA | <4 | | LESS THAN 4" | | | |
| TOTALS | | | 557 | 105 | | 116 | 40 | 512 |
| TOTAL REQUIRED TREE MITIGATION CALIPER INCHES | | | | | | | | 668.0 |
| PROVIDED REPLACEMENT 49 TREES AT 4" CALIPER 42 AT 3" CALIPER | | | | | | | | 322.0 |

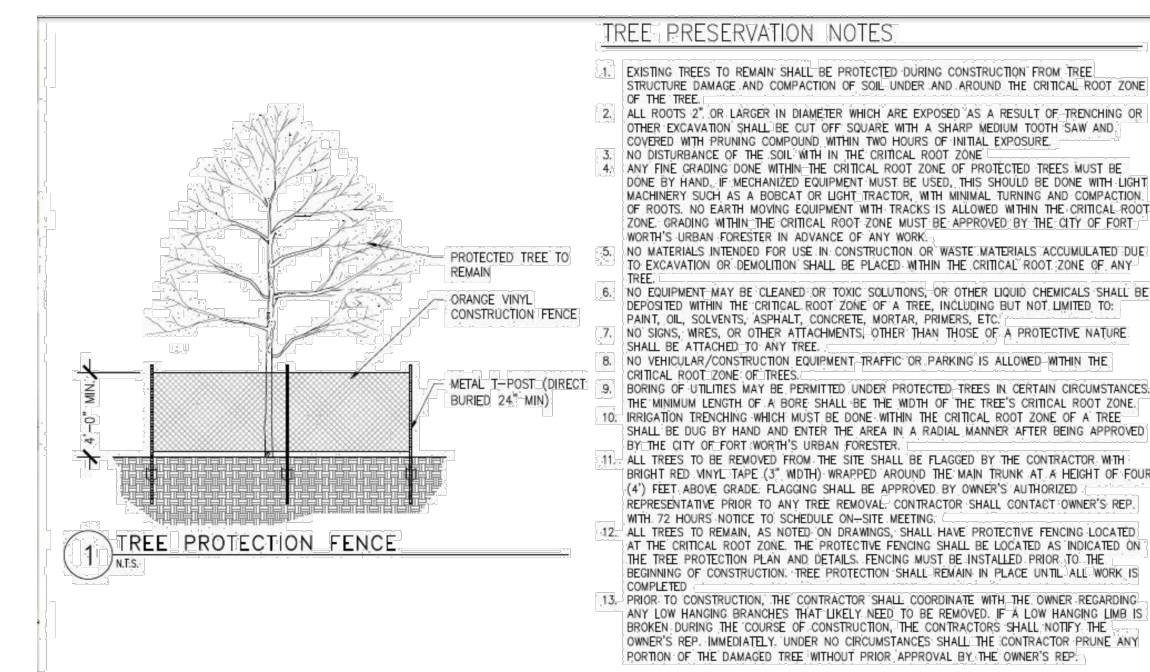
PRIMARY PROTECTED TREES - 4 INCHES - 25 INCHES - REPLACED WITH INCH FOR INCH REMOVED

SECONDARY PROTECTED TREES - HACKBERRY & CEDAR TREES MEASURED 11 INCHES - 25 INCHES DBH - REPLACED WITH 1/2 INCH FOR EVERY INCH REMOVED.

FEATURED TREES - ALL TREES GREAT THAN 25 INCHES SAHLL BE REPLACED WITH TWICE THE NUMBER OF INCHES BEING REMOVED.

EXISTING LANDSCAPE LEGEND


- 21 ● EXISTING TREE TO BE REMOVED
- 21 ○ SAVED TREE
- TREE PROTECTION FENCE



2 TREE PROTECTION DETAIL
NOT TO SCALE

Carrillo Engineering, LLC

301 Commerce Street, Ste. 1410 - Fort Worth, Texas 76102
Phone 817-697-4996 - Firm Registration #F-15893



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ROCKWALL RETAIL
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

Issue Dates:
10-16-2019

| Date | Revisions |
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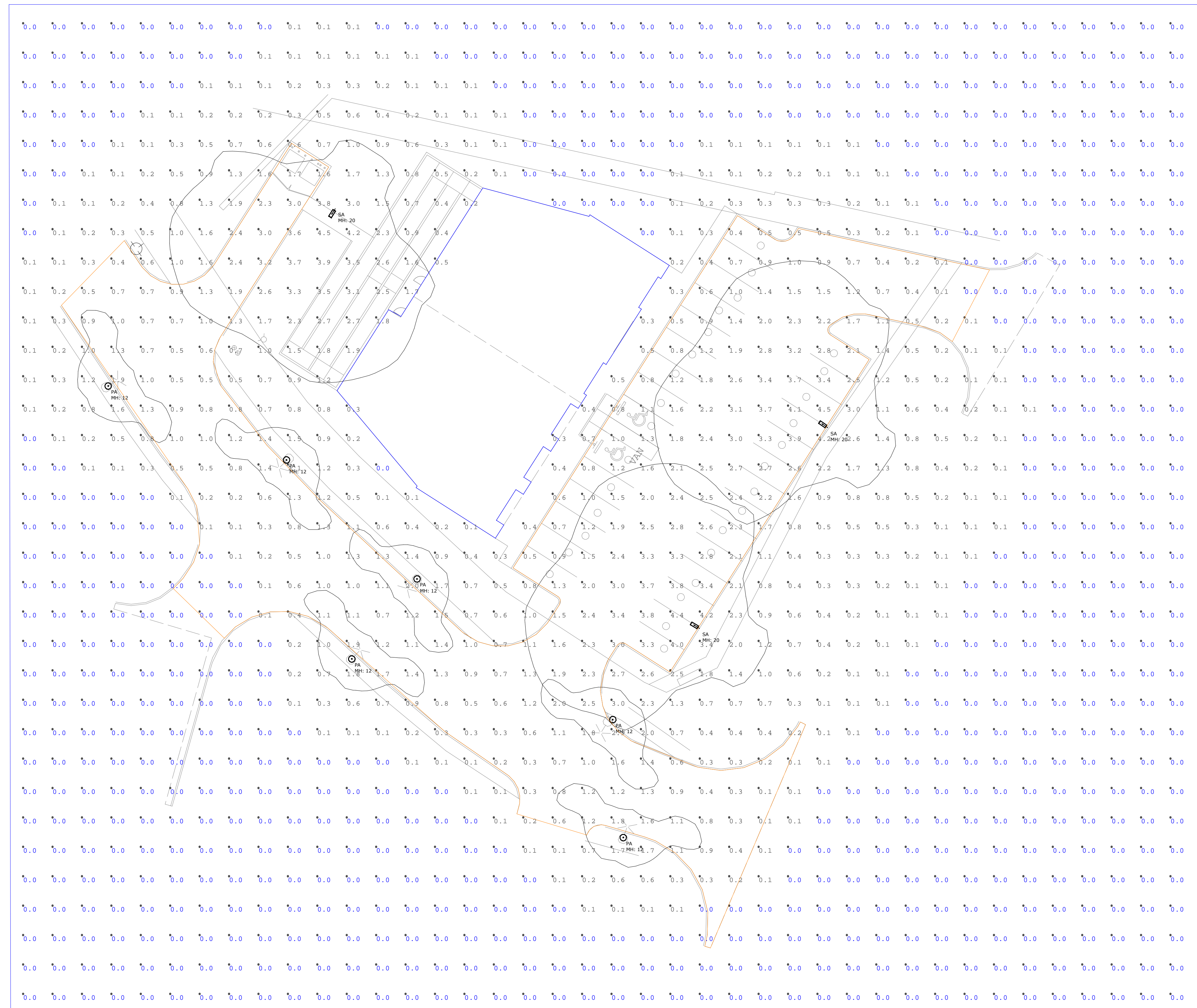
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SOUTH LAKE OFFICE
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Southlake, TX 76092 (817) 379-8853



| Luminaire Schedule | | | | | | | | |
|--------------------|------|-----|---|--------------------|-------------------|----------------|-------------------|---------------------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
| ☉ | PA | 6 | BEGA_77 911 FINISH | 2548 | 50 | 1.000 | 0.808 | 1.000 |
| ☐ | SA | 3 | LITHONIA_DSX1 LED P7 40K TFTM VOLTAGE MOUNTING FINISH | 20732 | 183 | 1.000 | 0.808 | 1.000 |

| Calculation Summary | | | | | | |
|---------------------------|--------------------|-------|------|-----|-----|---------|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min |
| GRADE_Planar | 0 | Fc | 0.45 | 4.5 | 0.0 | N.A. |
| PARKING & DRIVEWAY | | Fc | 1.46 | 4.5 | 0.0 | N.A. |

PARKING & DRIVEWAY
 Illuminance (Fc)
 Average = 1.46
 Maximum = 4.5
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

Pole top luminaires with asymmetrical light distribution

Housing: Two interlocking die-cast aluminum housings. Heavy gauge .080" spun aluminum shade with rolled edge, finished white inside. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Arm: Fabricated from .125" wall aluminum extrusion formed into a continuous smooth radius, terminating and welded into a one piece die-cast aluminum fitter. Fitter slip fits a 3" O.D. pole top and is secured by six (6) socket head stainless steel set screws threaded into stainless steel inserts.

Enclosure: Lamp enclosure/optical system comprises an assembly of two pure anodized aluminum asymmetrical main beam reflectors with clear impact resistant acrylic lens with optical texture fixed to a heavy gauge .080" spun aluminum shade with rolled edge, finished white inside and rigidly fastened to the luminaire housing. Fasteners are stainless steel.

Electrical: 42.8W LED luminaire, 48 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver located in luminaire head, 0-10V dimming. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI); add suffix K3 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

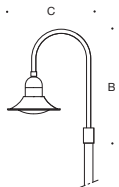
Weight: 27.6 lbs.

EPA (Effective projection area): 2.37 sq. ft.

Luminaire Lumens: 2548

Tested in accordance with LM-79-08

Type:
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:



| Single pole-top luminaires | | | | | |
|----------------------------|-----------|------|------------------|------------------|------------------|
| | Lamp | LEED | A | B | C |
| 77911 | 42.8W LED | LZ-2 | 26 $\frac{5}{8}$ | 46 $\frac{1}{4}$ | 40 $\frac{1}{8}$ |

Recommended for use with 14' to 18' poles.

D-Series LED, Size 1

Area Luminaire

Refined Styling. Sophisticated Technology.

The modern styling of the D-Series LED Area, Size 1 luminaire is striking yet unobtrusive—making a bold, progressive statement even as it blends seamlessly with its environment. Its outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density.

Key Features:

- Energy savings of up to 75% vs. comparable metal halide luminaires; saves \$263 per luminaire, per year over 750W metal halide
- 20+ years expected service life (with lumen maintenance up to L99/100,000 hours at 25°C)
- Proprietary precision optics deliver exceptional uniformity and allow for increased spacing, resulting in fewer poles and lower overall cost
- Control options from Acuity Controls include standalone photocell, switched bi-level, part-night scheduled dimming, multi-level motion sensor, and ROAM® wireless monitoring and control

| DSX1 | | | |
|---------------------|-------------|--------|--------------------------|
| Model | Input Watts | Lumens | Metal Halide Replacement |
| DSX1 LED P5 40k T3M | 138W | 15,377 | 400W |
| DSX1 LED P7 40k T3M | 209W | 20,141 | 650W |
| DSX1 LED P9 40k T3M | 241W | 26,791 | 750W |



Quick Facts:

- Up to 750W MH replacement
- Lumen packages from 4,000 to 29,000 lumens up to L92/50,000 hours
- Efficacies up to 136 lumens per watt
- 14 factory-rotatable distributions available
- Available in 3000K, 4000K & 5000K CCT and Amber LED
- Weight: 27 lbs; EPA: 1.0 ft²

D-Series LED Area Luminaire, Size 1

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

| Series | LEDs | Color temperature | Distribution | Voltage | Mounting |
|----------|--|--|---|---|---|
| DSX1 LED | Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10 P12 P11 P13 | 30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted | T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control LCCO Left corner cutoff RCCO Right corner cutoff | MVOLT 120 208 240 277 347 480 | Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) |

| Control options | Other options | Finish (required) |
|--|---|---|
| Shipped installed PER NEMA twist-lock receptacle only (no controls) PERS Five-wire receptacle only (no controls) PER7 Seven-wire receptacle only (no controls) DMG 0-10V dimming extend out back of housing for external control (no controls) DS Dual switching PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc | BL30 Bi-level switched dimming, 30% BL50 Bi-level switched dimming, 50% PNMTDD3 Part night, dim till dawn PNMT5D3 Part night, dim 5 hrs PNMT6D3 Part night, dim 6 hrs PNMT7D3 Part night, dim 7 hrs FAO Field adjustable output | Shipped installed HS House-side shield SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) L90 Left rotated optics R90 Right rotated optics BS Bird spikes DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white |

Accessories *Ordered and shipped separately.*

Controls & Shields

| | |
|--------------------|---|
| DLL127F 1.5 JU | Photocell - SSL twist-lock (120-277V) |
| DLL347F 1.5 CUL JU | Photocell - SSL twist-lock (347V) |
| DLL480F 1.5 CUL JU | Photocell - SSL twist-lock (480V) |
| DSHORT SBK U | Shorting cap |
| DSX1HS 30C U | House-side shield for 30 LED unit |
| DSX1HS 40C U | House-side shield for 40 LED unit |
| DSX1HS 60C U | House-side shield for 60 LED unit |
| PUMBA DDBXD U | Square and round pole universal mounting bracket adaptor (specify finish) |
| KMA8 DDBXD U | Mast arm mounting bracket adaptor (specify finish) |

Please use the spec sheet at www.acuitybrands.com when ordering to ensure component compatibility for your desired configuration.

DSX2

400W - 1000W MH Replacement



DSX1

250W - 750W MH Replacement



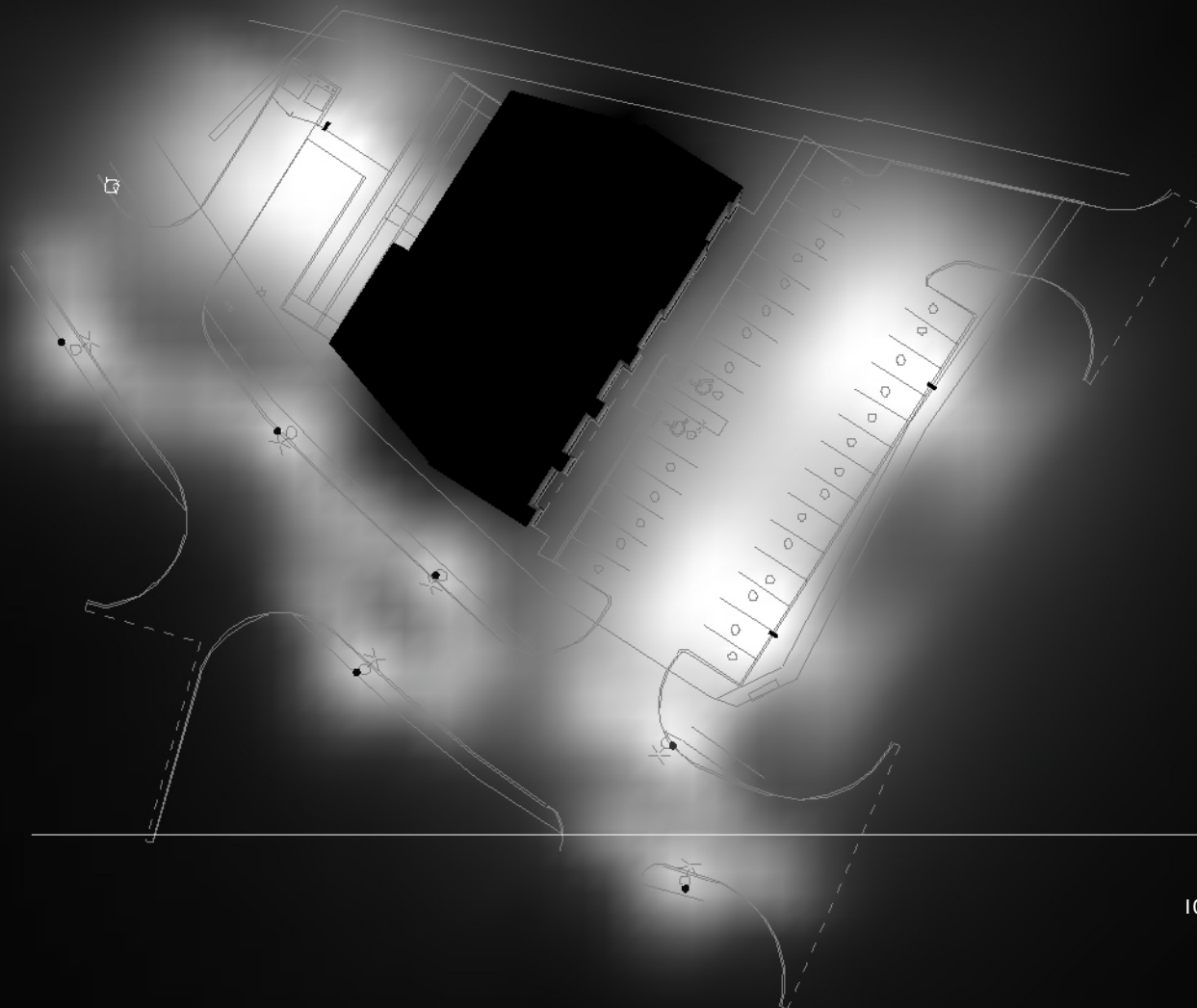
DSX0

175W - 400W MH Replacement



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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 12, 2019
APPLICANT: Anna C. Blackwell; *Carrillo Engineering, LLC*
CASE NUMBER: SP2019-037; *Site Plan for Strip Retail Center on Ridge Road*

SUMMARY

Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [*FM-740*], and take any action necessary.

BACKGROUND

The subject property was annexed in to the City of Rockwall on June 7, 1982 by *Ordinance No. 82-27*. According to the City's historic zoning maps, the subject property was zoned Agricultural (AG) District at the time of annexation. On February 17, 2003, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to a General Retail (GR) District by *Ordinance No. 03-08 (Case No. PZ2002-095-01)*. This designation was changed to Planned Development District 32 (PD-32) on September 20, 2010 by *Ordinance No. 10-21*.

PURPOSE

On October 18, 2019, the applicant -- *Anna C. Blackwell; Carrillo Engineering, LLC* -- submitted an application requesting the approval of a site plan for the purpose of constructing a ~7,000 SF multi-tenant commercial/retail building.

ADJACENT LAND USES AND ACCESS

The subject property is located at the northwest corner of Ridge Road [*FM-740*] and Glen Hill Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several properties zoned General Retail (GR) District (*i.e. Minth Dentistry, Credit Union of Texas, Park Venue Cleaners, etc.*). Beyond this are properties zoned Planned Development District 32 (PD-32).

South: Directly south of the subject property are several properties zoned General Retail (GR) District (*i.e. Ridge Road Animal Hospital, Willis Building, etc.*). Beyond this are properties zoned Planned Development District 18 (PD-18) for General Retail (GR) District and Single Family 10 (SF-10) District land uses, and two (2) properties zoned Agricultural (AG) District that have single-family homes situated on them.

East: Directly east of the subject property is Ridge Road, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is Planned Development District 9 (PD-9), which includes the Kroger Shopping Center. PD-9

has an underlying zoning of General Retail (GR) District and Single Family Residential (*i.e.* SF-10, SF-12.5, SF-22.5) District land uses.

West: Directly west of the subject property is Planned Development District 32 (PD-32), which is a design district with various land uses. Also, west of the subject property is Planned Development District 18 (PD-18), which allows for General Retail (GR) District and Single Family 10 (SF-10) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the subject property is located within the *Ridge Road Retail Subdistrict*, which allows general retail land uses *by-right*. The intent of this subdistrict (*i.e. Ridge Road Retail Subdistrict*) is to provide retail or restaurant land uses with Ridge Road frontage. The proposed development will construct a single-story retail facility totaling ~7,000 SF. The development will provide 33 surface parking spaces that can be accessed from Ridge Road and Glen Hill Way. The proposed sidewalks -- *which located on both sides of Glen Hill Way* -- will incorporate streetscape elements required by PD-32 [*Ordinance No. 17-22*], and provide decorative trees and pedestrian scaled lighting features. The sidewalks are intended to provide access to the Harbor District and the associated amenities within PD-32. With the exception of the variances being requested, the submitted site plan, landscape plan, photometric plan, and building elevations, generally conform to the technical requirements contained within PD-32 [*Ordinance No. 17-22*], the Scenic Overlay (SOV) District, and the Unified Development Code (UDC). It should be noted that since the subject property is adjacent to Ridge Road, the Scenic Overlay (SOV) District would be considered the regulating ordinance with regard to the design of the subject property. A summary of the applicable requirements for this case are as follows:

| <i>Ordinance Provisions</i> | <i>Ridge Road Retail Subdistrict Standards</i> | <i>Conformance to the Standards</i> |
|--|--|---|
| <i>Setback Distance from ROW (Glen Hill Way)</i> | 10-Feet | x>10-ft; In Conformance |
| <i>Building Form</i> | 40% Maximum Lot Coverage | X=19%; In Conformance |
| <i>Ground Floor Land Uses</i> | Retail and/or, Restaurant | Retail; In Conformance |
| <i>Upper Floor Land Uses</i> | N/A | N/A |
| <i>Maximum Building Height</i> | 1-Story or 35-Feet | x=1-Story/29'7" Height; In Conformance |
| <i>First Floor Minimum Commercial Height</i> | 20-Feet | x<20-ft; In Conformance |
| <i>Encroachments to Street</i> | 5-Feet | 0-Feet; In Conformance |
| <i>Surface Parking Setbacks from ROW</i> | 10-Feet | x>10-ft; In Conformance |
| <i>Maximum Surface Parking</i> | Surface Parking | Surface Parking Required; In Conformance |
| <i>Minimum Number of Pedestrian Ways</i> | 1 Per Block Face | 2; In Conformance |
| <i>Minimum Masonry Percentage</i> | 90% | x>90%; In Conformance |
| <i>Minimum Stone Requirement</i> | 20% Each Façade | X<20%; Variance Required |
| <i>Minimum Landscaping Percentage</i> | With Streetscape Plan Elements | Streetscape Elements Incorporated with Landscape Plan; In Conformance |
| <i>Maximum Lot Coverage</i> | 40% | x<40%; In Conformance |

TREESCAPE AND LANDSCAPE PLAN

According to the *Tree Preservation Plan* provided by the applicant, a total of 557-inches of trees will be removed from the site, while a total of 105-inches of trees will be preserved. Additionally, the applicant has indicated that nine (9) trees greater than 25-inch caliper will be removed. These nine (9) trees are considered to be *Feature Trees*, which require replacement at double the caliper inch being removed (*i.e. 256 inches x 2 = 512 inches*). With this being said, the *Tree Preservation Plan* shows that 105-inches of trees will be preserved on-site, which entitles the applicant to a total *Tree Preservation Credit* of 21-inches. This means that taking into account the proposed Landscape Plan -- *which shows that*

156-inches of additional trees will be added to the site -- and a Tree Preservation Credit of 21-inches the applicant's total mitigation balance would be 491-inches. This balance will need to be satisfied prior to the submission of a final plat.

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], provides flexibility in order to create high quality projects for the *Harbor District*. Non-residentially zoned projects are to generally conform with the Commercial (C) District standards. In this case, the subject property is located within the Scenic Overlay (SOV) District, which is more restrictive than the Design Guidelines [*Resolution No. 10-40*] required by PD-32. With this being said, the standards of the SOV and Subsection 4.05, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) shall apply to the development of the subject property. The Commercial (C) District is a district intended to provide commercial land uses such as retail, large shopping centers, office, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district. In addition, these areas may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent than lower intensity districts [*e.g. Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts*]. In this case, the applicant's proposal is adjacent to Ridge Road, which is identified as a M4D (*i.e. major collector, four (4) lane, divided roadway*) on the City's Master Thoroughfare Plan. In addition, retail buildings are not typically high-volume water/wastewater users. With regard to the land use, a retail facility is permitted *by-right* in Planned Development District 32 (PD-32).

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of Subsection 6.02, *General Overlay District Standards*, of Article V, *District Development Standards*, of the *Unified Development Code* (UDC):

(1) Materials and Masonry Composition.

- (a) *Primary Materials.* According to Subsection 6.02(C)(1)(a)(1) of Article V, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building facades ..." In this case, the applicant's proposed building elevations do not incorporate stone on the front (east = 0.0%) and side (south = 5.76%) facing facades. Since the building design does not meet the standard for the east and south facing façades, a variance to the stone requirements is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) Trash/Recycling Receptacles and Dumpster Enclosures.

- (b) *Dumpster Enclosure.* According to Subsection 6.02(D)(7) of Article V, *District Development Standards*, of the Unified Development Code (UDC), "these enclosures [*i.e. Trash/Recycling Enclosures*] shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building." In this case, the applicant has stated that due to site constraints, they are unable to orient the dumpster in a way that both complies to the ordinance and allows the necessary maneuverability needed by the waste management truck. As a result, the applicant has oriented the dumpster at the rear of the building, but facing onto the public right-of-way of Glen Hill Road. As a compensatory measure the applicant has increased the landscape screening around the dumpster.

According to Section 9, *Exceptions and Variances*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(u)unless otherwise specified by the Unified

Development Code (UDC), an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in Subsection 06.02, *General Overlay District Standards*, of Article V, *District Development Standards*, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.” In this case, the applicant has provided a letter explaining the requested variances and proposing to construct the entire roadway for Glen Hill Way. Staff should point out that the applicant would be required to dedicated the right-of-way for Glen Hill Way based on a proportionality study prepared by staff for the current owner; however, that proportionality study did not require the applicant to build the roadway. Based on the cost of construction of that roadway, this proposal does appear to be a sufficient compensatory measure for the requested variances; however, this request does remain a discretionary decision for the Planning and Zoning Commission and will require approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Harbor District. The Harbor District is considered an entry portal to the City of Rockwall and is intended to provide a pedestrian oriented, mixed use district accommodating residential and non-residential land uses. The Harbor District is a live, work, and play district that offers professional offices, scenic condominiums, with restaurants, shopping and entertainment venues, and is intended to be a regional commercial center. When reviewing the mixed use strategies for this district, the applicant’s site plan is targeted at providing a pedestrian friendly and walkable environment by providing streetscape elements along both sides of Glen Hill Way and connecting this area from Ridge Road to the Harbor District.

ARCHITECTURAL REVIEW BOARD (ARB)

On October 29, 2019, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. Upon review, the Architectural Review Board (ARB) recommended that the applicant incorporate false windows and increase the parapet height on the southern and western façades of the building. The applicant has revised the building elevations to incorporate the recommendations. The Architectural Review Board (ARB) will review the applicant’s revised building elevations at the November 12, 2019 meeting and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The applicant will be required to dedicate, design and build the right-of-way for Glen Hill Way adjacent to the subject property.
- (3) The applicant shall be required to satisfy the outstanding tree mitigation balance prior to the filing of the final plat; and,

(4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Staff Comments Highlighted

Project Number SP2019-037
Project Name Ridge Road Retail Center
Type SITE PLAN
Subtype
Status P&Z HEARING

Owner HUGHES, ROBERT J & PATRICK HUGHES &
Applicant CARILLO ENGINEERING, LLC

Applied 9/13/2019 KB
Approved
Closed
Expired
Status 9/20/2019 DG

Site Address 2930 RIDGE RD
City, State Zip ROCKWALL, TX 75032

Zoning

| Subdivision | Tract | Block | Lot No | Parcel No | General Plan |
|----------------------------|-------|-------|--------|----------------------|--------------|
| MURPHY PLAZA ADDITION PH 2 | 26 | | 26 | 4210-0000-0026-00-OR | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|------------------------|------------------|------------|------------|------------|---------|----------|---------|
| BUILDING | Russell McDowell | 9/13/2019 | 9/20/2019 | 9/17/2019 | 4 | APPROVED | |
| BUILDING | Russell McDowell | 10/22/2019 | 10/29/2019 | 10/22/2019 | | APPROVED | |
| ENGINEERING | Sarah Johnston | 9/13/2019 | 9/20/2019 | 9/20/2019 | 7 | COMMENTS | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|---|----------------|------------|------------|------------|----------------|----------|
| (9/20/2019 11:07 AM SJ) | | | | | | |
| M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19 | | | | | | |
| M - Must dimension the distance from the driveways to the nearest driveway on either side Standards of Design 2.6 | | | | | | |
| M - All fire lane radii to be 20' min. This may remove a parking space on the center aisle. Standards of Design 2.19 | | | | | | |
| M - Driveway radii to be 20' min. Standards of Design 2.19 | | | | | | |
| M - Dumpster and screening wall must be out of easements. | | | | | | |
| M - No structures in easements. This includes retaining walls and footings. Standards of Design 6.4.1 | | | | | | |
| M - "Cemetery Road" will be named Glen Hill Way City Thoroughfare Map | | | | | | |
| M - Must have a public access easement for the property across Glen Hill Way. Standards of Design 2.19 | | | | | | |
| M - Drive across Glen Hill Way must be tied in at a 90-degree angle. Standards of Design 2.8 | | | | | | |
| M - Glen Hill Way must have 30' radii onto Ridge Road. Standards of Design 2.8 | | | | | | |
| M - The existing fire hydrant must have a 20'x20' easement established. Standards of Design 5.3.1 | | | | | | |
| M - The new 8" water line in Glen Hill Way must connect to the existing 16" water line in Ridge Road. Water Master Plan | | | | | | |
| M - Must show existing utilities and your planned service connections. | | | | | | |
| M - No trees allowed in the ROW. Standards of Design 4.4 | | | | | | |
| I - Must meet City Standards | | | | | | |
| I - 4% Inspection fee | | | | | | |
| I - Impact fees | | | | | | |
| I - Parking against the building to be 20'x9', all other to be 18'x9' minimum | | | | | | |
| I - Minimum easement is 20' width | | | | | | |
| I - Retaining walls 3' and over must be engineered | | | | | | |
| I - All retaining walls to be rock or stone face. No smooth concrete walls. | | | | | | |
| I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines | | | | | | |
| I - Concrete to have 6.5 sack mix/cy. | | | | | | |
| I - No sand allowed under paving. Add note | | | | | | |
| ENGINEERING | Sarah Johnston | 10/24/2019 | 10/31/2019 | 10/25/2019 | 1 | COMMENTS |
| (10/25/2019 10:20 AM SJ) | | | | | | |
| M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4 | | | | | | |
| M - No structures in easements. This includes retaining walls and footings, dumpster, signs, and screening wall must be out of easements. Standards of Design 6.4.1 | | | | | | |
| M - Must add a 10' utility easement along Ridge Road frontage. | | | | | | |
| M - Driveway spacing on Glen Hill Way is to be 100' from Ridge Road. You must request a variance of this standard from Council. Standards of Design 2.8 | | | | | | |
| I - Dumpster to drain to oil/water separator or grease trap before entering the storm lines. | | | | | | |
| I - Must meet City Standards | | | | | | |
| I - 4% Inspection fee | | | | | | |
| I - Impact fees | | | | | | |
| I - Parking against the building to be 20'x9', all other to be 18'x9' minimum | | | | | | |
| I - Minimum easement is 20' width | | | | | | |
| I - Retaining walls 3' and over must be engineered | | | | | | |
| I - All retaining walls to be rock or stone face. No smooth concrete walls. | | | | | | |
| I - Concrete to have 6.5 sack mix/cy. | | | | | | |
| I - No sand allowed under paving. Add note | | | | | | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|---|-----------------|------------|------------|-----------|---------|----------|------------------------|
| FIRE | Ariana Hargrove | 10/24/2019 | 10/31/2019 | | | | |
| FIRE (9/20/2019 9:53 AM AA) FDC shall be: -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. (Ord 16-31) | Ariana Hargrove | 9/13/2019 | 9/20/2019 | 9/20/2019 | 7 | COMMENTS | |
| GIS (9/17/2019 10:12 AM LS) Cemetery Road is now called GLEN HILL WAY per ordinance 16-17 (3/7/2016) | Lance Singleton | 9/13/2019 | 9/20/2019 | 9/17/2019 | 4 | APPROVED | See comment |
| Parks Department | David Gonzales | 10/24/2019 | 10/31/2019 | | | | VOIDED (DG 10/25/2019) |
| Parks Department (9/30/2019 4:10 PM DG) Travis Sales, Parks and Rec, provided the following comments: SP2019-037: Reviewed; 3" caliper trees on landscape plan need to be a minimum of 4" caliper Shrub locations not shown on plan 668 required mitigation 156 mitigated 512 to be mitigated | David Gonzales | 9/13/2019 | 10/7/2019 | 9/30/2019 | 17 | COMMENTS | See comments |
| PLANNING | David Gonzales | 9/13/2019 | 9/20/2019 | 9/20/2019 | 7 | COMMENTS | See comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|---------|
| (9/20/2019 8:44 AM DG) | | | | | | |
| SP2019-037; Site Plan for Ridge Road Retail Center (PD-32) | | | | | | |
| Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740]. | | | | | | |
| I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com. | | | | | | |
| M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages on future submittals. | | | | | | |
| I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], Resolution No. 10-40 (Design Guideline of PD-32), and the Development Standards of Article V, that are applicable to the subject property. | | | | | | |
| I.5 Please note that the property will require a replat prior to the issuance of a building permit. | | | | | | |
| I.6 Provide Site Data Table on all revised plans (i.e. landscape, treescape, photometric, and site plan). | | | | | | |
| I.7 Please relabel the proposed street section to Glen Hill Way (i.e. not Cemetery Road) on all revised plans (i.e. landscape, treescape, photometric, site plan). | | | | | | |
| M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: | | | | | | |
| 1) Please relabel the street to Glen Hill Way (i.e. not Cemetery Road). | | | | | | |
| 2) Verify the building square footage. Indicates 7,025 SF. The SF for each unit = 7,195 SF. | | | | | | |
| 3) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). | | | | | | |
| 4) Will there be a dedicated 24-ft firelane in the parking lot? If so, please label. | | | | | | |
| 5) Remove the label "to be abandoned" underneath Cemetery Road. | | | | | | |
| 6) Is the chain link fence being removed? If so, please remove label from all other plans. | | | | | | |
| 7) Under the Construction Schedule legend, No. 7 indicates a detail for the dumpster enclosure is located on the building elevations. The detail was not provided. | | | | | | |
| 8) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required if not screened or reoriented. | | | | | | |
| 9) Parking for a retail (4,592 SF) and restaurant (2603 SF) uses requires as follows: A) Retail Facility - a minimum of one (1) parking space per 250-SF (i.e. 1:250 SF = 18 parking spaces) & B) Restaurant - a minimum of one (1) parking space per 100-SF (i.e. 1:100 SF = 26 parking spaces) of gross floor area. Based on these uses, the proposed 7,025 SF facility requires a minimum of 44 parking spaces. Approval of a variance to Section 5, Off-Street Parking Requirements, of Article VI, Parking and Loading is required by the Planning and Zoning Commission. | | | | | | |
| 10) The proposed parking lot has more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) that is between the primary building façade and the right-of-way (i.e. Ridge Road) and requires a variance. (Subsection 6.02.D.2, Art. V, UDC). | | | | | | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|------------------------|---------|------|-----|----------|----------------|--|
| M.9 | | | | | | <p>Dumpster Enclosure. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, Trash/Recycling Receptacles and Dumpster Enclosures. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building.</p> <p>1) Provide detail of dumpster meeting the Scenic Overlay District's minimum standard for height, materials, etc. (Sec. 6.02.D.7, Art. V, UDC)</p> |
| M.10 | | | | | | <p>Streetscape Plan. Please provide a streetscape plan that shows conformance to the requirements of Ordinance No 17-22. According to this ordinance the required streetscape plan shall include cut sheets and product specification sheets indicating the proposed products and a plan indicating the location of all the products.</p> |
| M.11 | | | | | | <p>Building Elevations. Resolution No. 10-40 lays out three (3) architectural styles (i.e. Tuscan, Traditional, and/or Transitional) that are acceptable within Planned Development District 32 (PD-32). The proposed building elevations do not appear to adhere to any of the recommended architectural styles</p> |
| M.12 | | | | | | <p>Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the submitted building elevations does not appear to have stone incorporated into the building's design. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p> |
| M.13 | | | | | | <p>Building Elevations. Please review the articulation formulas contained in Section 4.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).</p> |
| I.11 | | | | | | <p>Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Indicate all HVAC units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Please provide a detail for the parapet height to determine screening of RTUs. 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage |
| M.14 | | | | | | <p>Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> 1) Please label a 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). 2) A minimum of two (2) canopy and four (4) accent trees are required in the 20-foot landscape buffer adjacent to Ridge Road (Sec. 6.02.E; Art. V; UDC). Please indicate conformance to this requirement on the landscape plan and relabel where needed 3) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC). 4) Please provide an exhibit showing that all parking spaces are located within 80-feet from the trunk of a large canopy tree (Sec. 5.9; Art. VIII, UDC). 5) Parking Lot Landscaping – requires one (1), three (3) inch caliper 65 gallon tree be provided for every eight (8) parking spaces and the trees are to be provided in |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|---|---|--|-----|----------|----------------|---------|
| 5-ft x 5-ft diamond planters or island planters (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide tree leave outs. | | | | | | |
| 6) Parking Lot Landscaping – landscape buffers adjacent to public streets are to consist of trees, shrubs, perennial, and/or ornamental grasses in natural groupings (Ord. No. 17-22, Exhibit 'F-1', of PD-32) Provide exhibit. | | | | | | |
| 7) Please provide an identifying symbol for each tree type to better identify what is being planted | | | | | | |
| 8) Please ghost-in the existing trees in order to distinguish between proposed plantings | | | | | | |
| 9) Under General Planting Notes, number 5 indicates the “City of Canyon”. Please change to City of Rockwall. | | | | | | |
| M.15 | Treescape Plan | According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted. | | | | |
| | (1) | Adjust mitigation inches due for all landscape trees being provided. The minimum size required for planting of a canopy tree is four (4) inches. (Sec. 4.A.2, Art VIII, UDC) | | | | |
| M.16 | Photometric Plan. | Ordinance No. 17-22 stipulates a design standard for all pedestrian scale street lighting and parking lot light fixtures. The proposed pedestrian scale street light does appear to conform to the design standards for this district. | | | | |
| M.17 | Based on the submittal staff has identified the following variances | | | | | |
| | 1) | Building Materials. The proposed addition exceeds the maximum permitted percentage of secondary materials and does not include a minimum of 20% stone. | | | | |
| | 2) | Building Articulation. The proposed addition does not meet the articulation standards established by the UDC. | | | | |
| | 3) | Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street. | | | | |
| | 4) | Parking Count. The proposed site does not meet the minimum parking standards. | | | | |
| | 5) | Parking Restrictions. The proposed parking lot has more than one (1) full row of parking (i.e. two (2) rows of parking with a drive aisle) adjacent to Ridge Road and within the Scenic Overlay (SOV) District. | | | | |
| | To be able to request a variance, | an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures. | | | | |
| I.18 | Please note that failure to address all comments provided by staff by 5:00 PM on September 4, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case. | | | | | |
| I.19 | Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 8, 2019 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on September 24, 2019. | | | | | |
| I.20 | The Architectural Review Board (ARB) meeting will be held on September 24, 2019 and will begin at 5:00 p.m. in the City’s Council Chambers. The ARB will | | | | | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|---|----------------|------------|------------|------------|----------------|-------------------|
| forward a recommendation to the Planning and Zoning Commission | | | | | | |
| I.21 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m. | | | | | | |
| PLANNING | David Gonzales | 10/24/2019 | 10/31/2019 | 10/24/2019 | COMMENTS | Revised Submittal |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|---------|
| (10/24/2019 7:21 PM DG) | | | | | | |
| SP2019-037; Revised Submittal-- Site Plan for Ridge Road Retail Center(PD-32) | | | | | | |
| Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| I.1 This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740]. | | | | | | |
| I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com. | | | | | | |
| M.3 For reference, include the case number (SP2019-037) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan, landscape plan, treescape plan, photometric plan, building elevations). | | | | | | |
| I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], and the Development Standards of Article V, that are applicable to the subject property. | | | | | | |
| I.5 Please note that the property will require a replat prior to the issuance of a building permit. | | | | | | |
| I.6 Provide Site Data Table on all revised plans (i.e. landscape, treescape, and photometric). | | | | | | |
| I.7 Please provide a label for the proposed street section of Glen Hill Way on all plans (i.e. landscape, treescape, and photometric). | | | | | | |
| M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: | | | | | | |
| 1) Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure to indicate 8-ft. | | | | | | |
| 2) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required. | | | | | | |
| 3) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director. | | | | | | |
| M.9 Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the revised building elevations do not incorporate stone on the front (east) and side (south) facing facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). | | | | | | |
| I.10 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: | | | | | | |
| 1) Indicate all HVAC units on the building elevations (i.e. dash-in RTU's) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection 1.05.C.3; Art. V; UDC). | | | | | | |
| 2) Please provide a detail for the parapet height to determine screening of RTUs. | | | | | | |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|---|----------------|-----------|------------|-----------|----------------|----------------------------|
| 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage | | | | | | |
| M.11 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: 1) Please provide an exhibit showing headlight screening for the head-in parking adjacent to the street (Subsection 5.02(C), Art. VIII, UDC). | | | | | | |
| M.12 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted (1) Total mitigation due= 336 caliper inches. Refer to Article IX, Sec. 5, Tree Mitigation Requirements in order to satisfy mitigation balance | | | | | | |
| M.13 Based on the submittal staff has identified the following variances 1) Building Materials. The proposed addition does not meet the minimum of 20% stone. 2) Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures | | | | | | |
| I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case. | | | | | | |
| I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning & Zoning Meeting. Please note that the Planning & Zoning Work Session meeting will be held on October 29, 2019. | | | | | | |
| I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission. | | | | | | |
| I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m. | | | | | | |
| PLANNING | David Gonzales | 11/6/2019 | 11/13/2019 | 11/6/2019 | COMMENTS | Revision 1 - Revised Plans |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|---|---------|------|-----|----------|----------------|---|
| (11/6/2019 2:12 PM DG) | | | | | | |
| SP2019-037; REVISION 1 - Revised Submittal-- Site Plan for Ridge Road Retail Center (PD-32) | | | | | | |
| Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| I.1 | | | | | | This is a request for the approval of a site plan for a strip retail center on a 1.1755-acre parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County, Texas, situated within the Ridge Road Retail Subdistrict of Planned Development District 32 (PD-32), located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740]. |
| I.2 | | | | | | For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com. |
| I.3 | | | | | | This project is subject to all requirements stipulated by the Unified Development Code (UDC); including the regulations pertaining to Planned Development District 32 (PD-32) [i.e. Ordinance No. 17-22], and the Development Standards of Article V, that are applicable to the subject property. |
| I.4 | | | | | | Please note that the property will require a replat prior to the issuance of a building permit. |
| M.5 | | | | | | Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: |
| | | | | | | <ol style="list-style-type: none"> 1) Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure to indicate 8-ft. 2) The proposed dumpster enclosure is facing Glen Hill Way. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the primary building and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. Variance required. 3) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director. |
| M.6 | | | | | | Building Elevations. According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 20% natural or quarried stone. In this case, the revised building elevations do not incorporate stone on the front (east) and side (south) facing facades. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). |
| I.7 | | | | | | Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: |
| | | | | | | <ol style="list-style-type: none"> 1) Indicate all HVAC units on the building elevations (i.e. dash-in RTU's) so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC). 2) Please provide a detail for the parapet height to determine screening of RTUs. 3) Please provide a label for each building elevation's facing direction (i.e. north, south, east, west). 4) Provide calculation of building materials as a percentage. |
| M.8 | | | | | | Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted. |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|---|----------------|------------|------------|-----------|---------|----------|------------------------|
| (1) Total mitigation due= 512 caliper inches. Refer to Article IX, Sec. 5, Tree Mitigation Requirements in order to satisfy mitigation balance | | | | | | | |
| M.9 Based on the submittal staff has identified the following variances | | | | | | | |
| 1) Building Materials. The proposed addition does not meet the minimum of 20% stone. | | | | | | | |
| 2) Dumpster Enclosure. The proposed relocation of the dumpster enclosure faces a public street | | | | | | | |
| To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures. LANDSCAPING PROVIDED. | | | | | | | |
| I.10 Please note that the Planning & Zoning Commission Meeting will be held on November 12, 2019. | | | | | | | |
| I.11 The Architectural Review Board (ARB) meeting will be held on November 12, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission | | | | | | | |
| I.12 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m. | | | | | | | |
| Police Department | David Gonzales | 10/24/2019 | 10/31/2019 | | | | VOIDED (DG 10/25/2019) |
| Police Department | David Gonzales | 9/23/2019 | 9/23/2019 | 9/23/2019 | | COMMENTS | See comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|---------|
| (9/23/2019 9:15 AM DG) | | | | | | |
| Responses from Capt. Ed Fowler 09.20.2019: | | | | | | |
| SP2019-037 Ridge Road Retail Center | | | | | | |
| Considerations. | | | | | | |
| <ul style="list-style-type: none"> • Consider Security lighting above all entrances, including rear doors, rear parking areas and dumpster(s). • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) • Add photocell to main exterior lighting and update all lighting to LED fixtures. Ensure that all lighting is positioned in a manner to minimize glare and reduce all shadows especially at the rear of business. • Consider auxiliary locking system on rear doors. • Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors • Consider motion sensor alarms inside the business and motion activated lighting for the interior. • Consider installation of locking mechanisms/bars on rear doors during closed hours. • Consider installation of solid core doors for offices inside the business including the room that houses any monies or safe Single cylinder locks for all offices and a double cylinder lock for the safe room. • Consider an additional alarm inside the safe room, either attached to the entrance door or safe • Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. • Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting into the rear parking area. • Consider the addition of security cameras for the interior the business. • Ensure new or existing trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement ownership and enhance natural lines of sight at night • More than willing to speak directly with the business owners or developers about the property. | | | | | | |
| <p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p> | | | | | | |



STANDARD SITE PLAN WORDING

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:


I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0 25 50 100 150 200 Feet

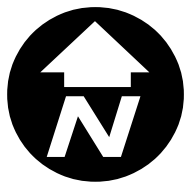
SP2019-037 - RIDGE ROAD RETAIL CENTER
SITE PLAN - LOCATION MAP = 

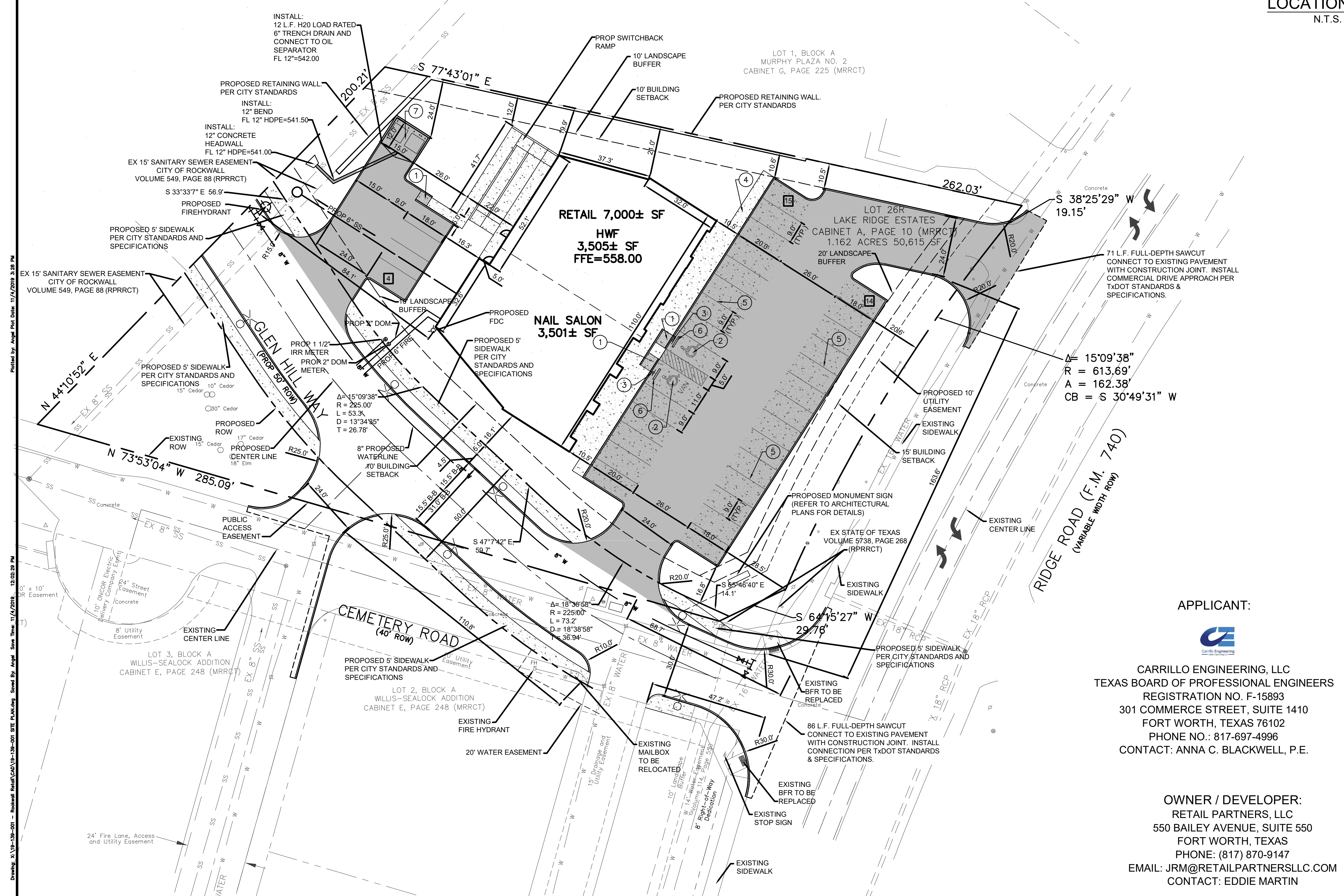
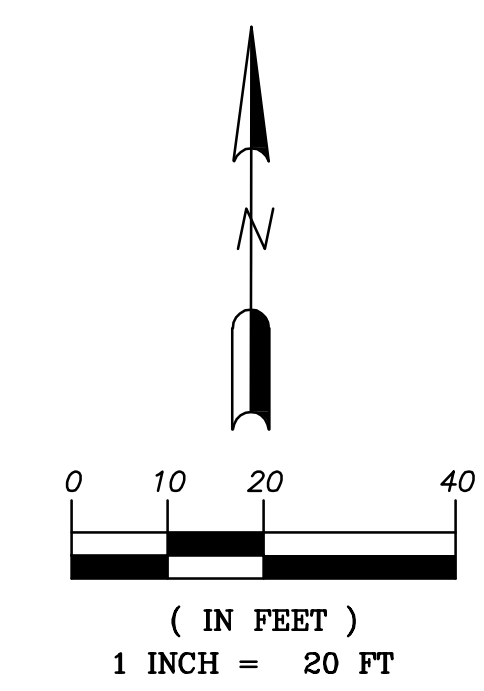
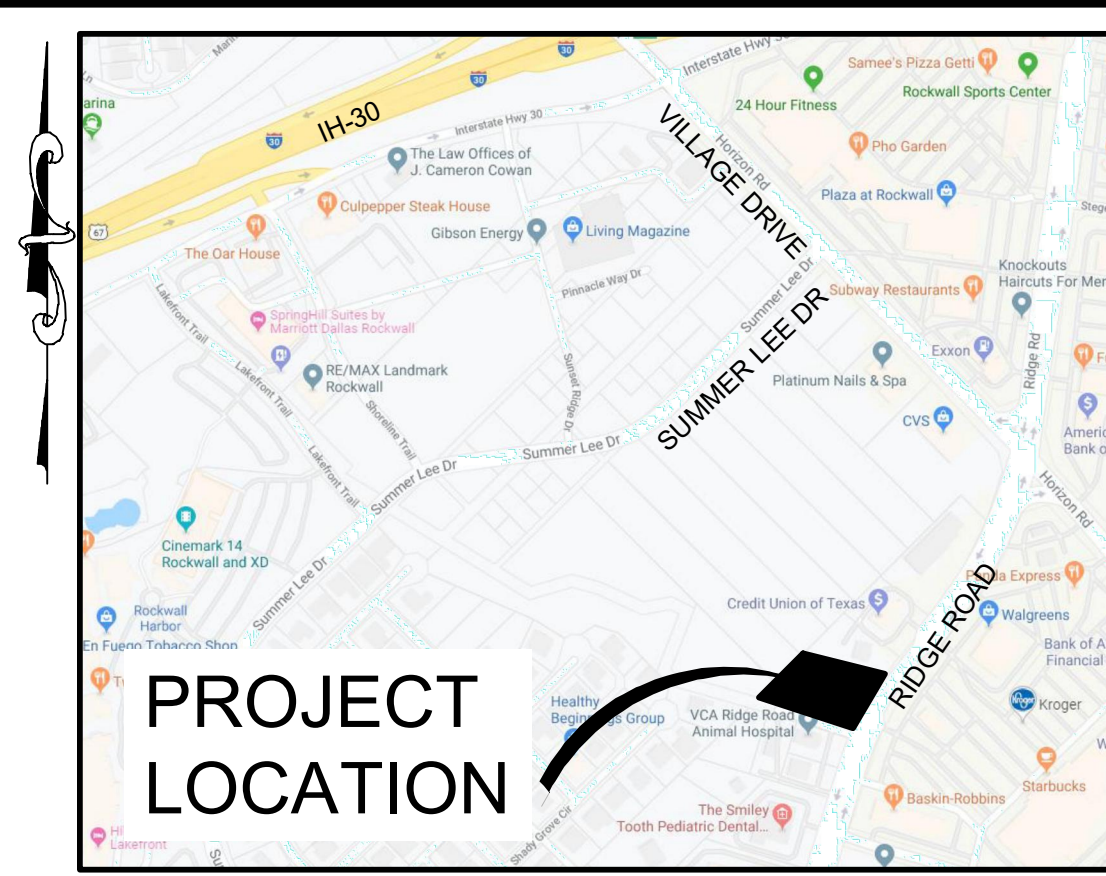
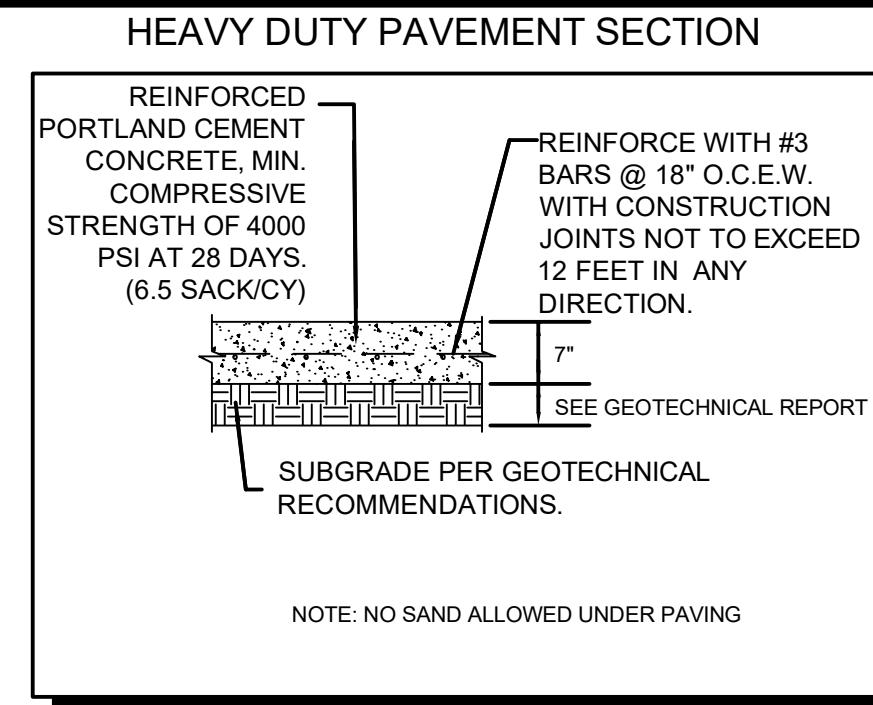
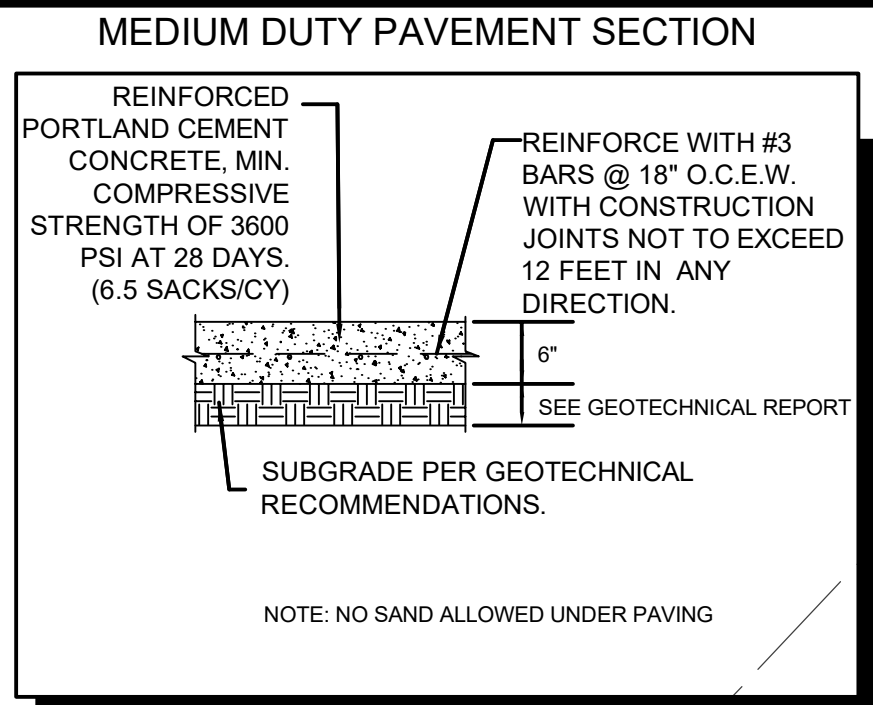


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



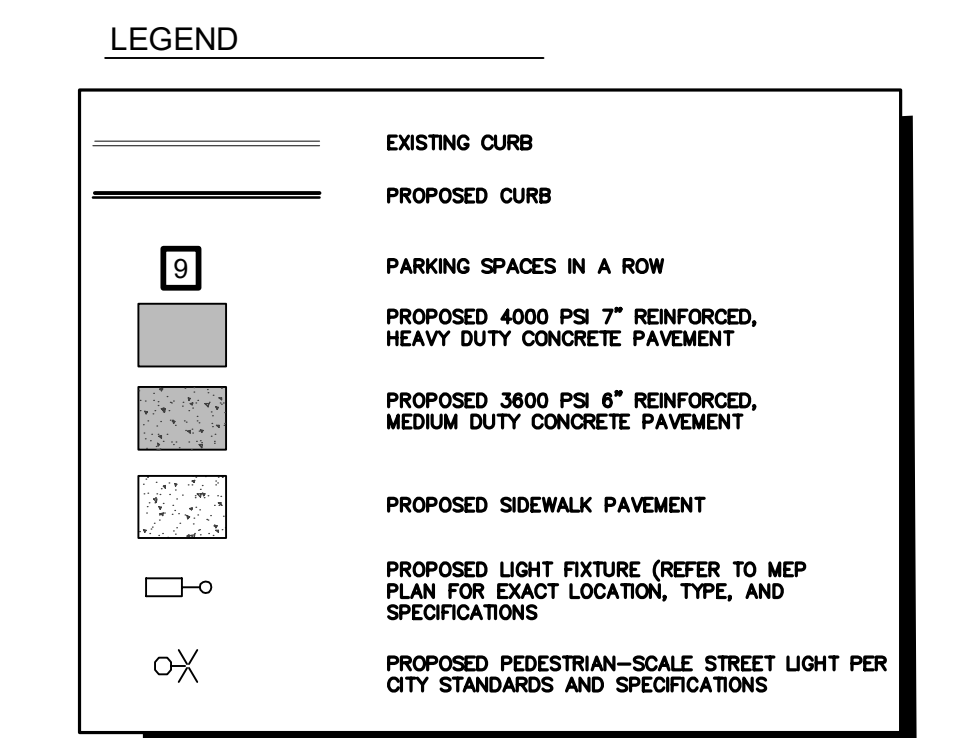


SITE DATA

| | |
|---------------------------------|--------------------------------|
| PROPOSED ZONING | PLANNED DEVELOPMENT COMMERCIAL |
| PROPOSED LAND USE | RETAIL |
| LOT AREA (GROSS) | 1.162 ACRES (50,615 SQ FT) |
| LOT AREA (NET) | 0.8319 ACRES (36,239.12 SQ FT) |
| TOTAL BUILDING AREA | 7,000 SQUARE FEET |
| FLOOR AREA RATIO | 7,000 / 36,239 : 19% |
| OPEN SPACE | 13,974 / 36,239 : 39% |
| TOTAL IMPERVIOUS AREA | 22,265 / 36,239 : 61% |
| REQUIRED PARKING (1/250 RETAIL) | 28 SPACES |
| PARKING PROVIDED | 33 SPACES |
| PARKING PROVIDED (ACCESSIBLE) | 2 SPACES |
| BUILDING HEIGHT | 1 STORY, 28'-10" TOTAL HEIGHT |

NOTE:

1. ALL DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS NOTED OTHERWISE.



CONSTRUCTION SCHEDULE

| | |
|---|---|
| ① | HANDICAP RAMPS, BFRs PER CITY STANDARDS AND SPECS. |
| ② | HANDICAP SYMBOL |
| ③ | HANDICAP SIGN |
| ④ | 4' SIDEWALK |
| ⑤ | 4" WHITE TRAFFIC STRIPING |
| ⑥ | WHEEL STOP |
| ⑦ | DUMPSTER WITH 7' MASONRY ENCLOSURE PER DETAILS ON ARCHITECTURAL ELEVATIONS. |

APPLICANT:

CARRILLO ENGINEERING, LLC
TEXAS BOARD OF PROFESSIONAL ENGINEERS
REGISTRATION NO. F-15893
301 COMMERCE STREET, SUITE 1410
FORT WORTH, TEXAS 76102
PHONE NO.: 817-697-4996
CONTACT: ANNA C. BLACKWELL, P.E.

OWNER / DEVELOPER:

RETAIL PARTNERS, LLC
550 BAILEY AVENUE, SUITE 550
FORT WORTH, TEXAS
PHONE: (817) 870-9147
EMAIL: JRM@RETAILPARTNERSLLC.COM
CONTACT: EDDIE MARTIN

PROJECT BENCHMARK:

CITY OF ROCKWALL CONTROL MONUMENTATION MONUMENT NUMBER RESET #1.

POSTED ELEV=567.704 (NAVE88)

Carrillo Engineering, LLC
301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
Phone 817-697-4996 - Firm Registration #F-15893

Carrillo Engineering, LLC

PRELIMINARY
NOT FOR CONSTRUCTION
THIS DRAWING IS SUBMITTED FOR REVIEW PURPOSES ONLY. IT IS NOT INTENDED FOR PERMITTING OR BIDDING ENGINEER OF RECORD: ANNA C. BLACKWELL, P.E. TX. REG. NO. 97350

RIDGE ROAD RETAIL CENTER
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

SITE PLAN

Issue Dates:
SEP 13, 2019

| Date | Revisions |
|------|-----------|
| | |
| | |
| | |
| | |

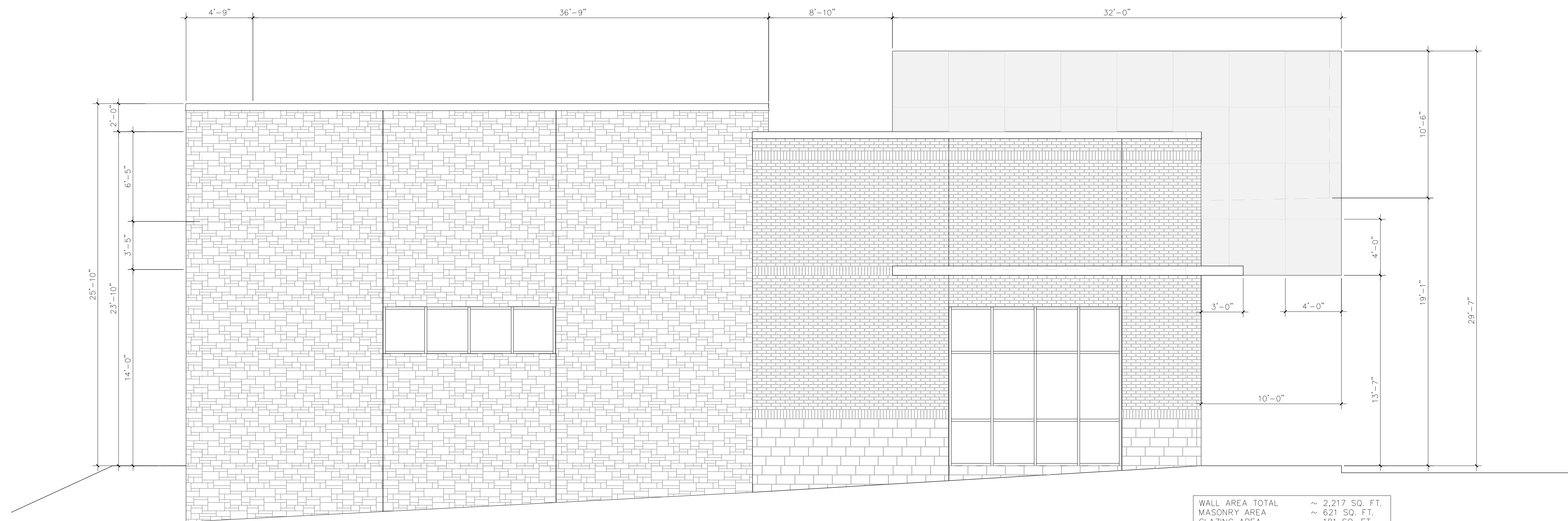
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Drawn By:
Checked By:

Sheet
SP-1

PROJECT BENCHMARK:
CITY OF ROCKWALL CONTROL MONUMENTATION MONUMENT NUMBER RESET #1.

POSTED ELEV=567.704 (NAVE88)

CARRILLO ENGINEERING, LLC



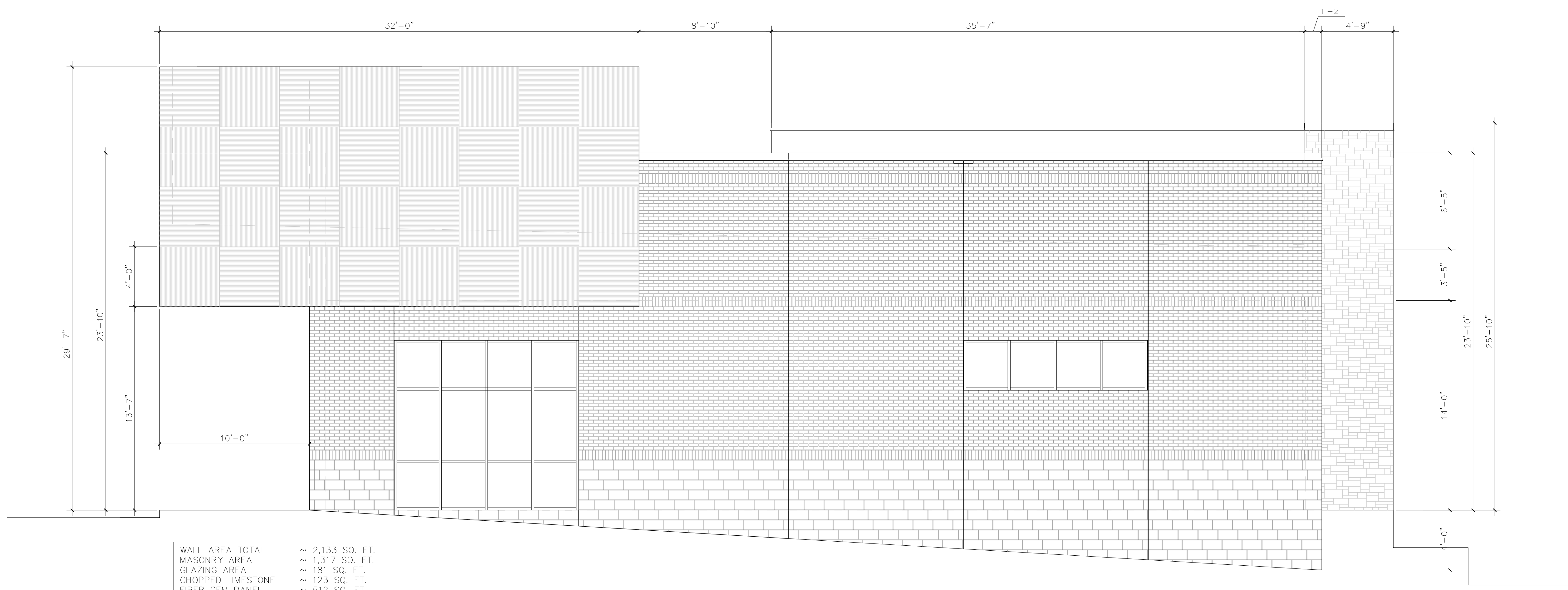
DESIGN INTENT

ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS

RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER

2 SIDE ELEVATION
SCALE: 1/4"=1'-0"

| | |
|----------------------|-----------------|
| WALL AREA TOTAL | ~ 2,217 SQ. FT. |
| MASONRY AREA | ~ 621 SQ. FT. |
| GLAZING AREA | ~ 181 SQ. FT. |
| FIBER CEM PANEL AREA | ~ 296 SQ. FT. |
| METAL CANOPY AREA | ~ 17 SQ. FT. |
| CHOPPED LIMESTONE | ~ 1,102 SQ. FT. |



| | |
|-------------------|-----------------|
| WALL AREA TOTAL | ~ 2,133 SQ. FT. |
| MASONRY AREA | ~ 1,317 SQ. FT. |
| GLAZING AREA | ~ 181 SQ. FT. |
| CHOPPED LIMESTONE | ~ 123 SQ. FT. |
| FIBER CEM PANEL | ~ 512 SQ. FT. |

1 SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION REVIEW ONLY
JIM HERCKT
TX ARCH
19007

STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM

CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032

DEVELOPMENT SUBMITTAL

2019.11.02

ISSUE DATE

SHEET

A3.1

**NOT FOR
CONSTRUCTION
REVIEW ONLY
JIM HERCKT
TX ARCH
19007**

**STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM**

**CONCEPTUAL
ARCHITECTURAL
ELEVATIONS**

**RIDGE ROAD
RETAIL CENTER
CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032**

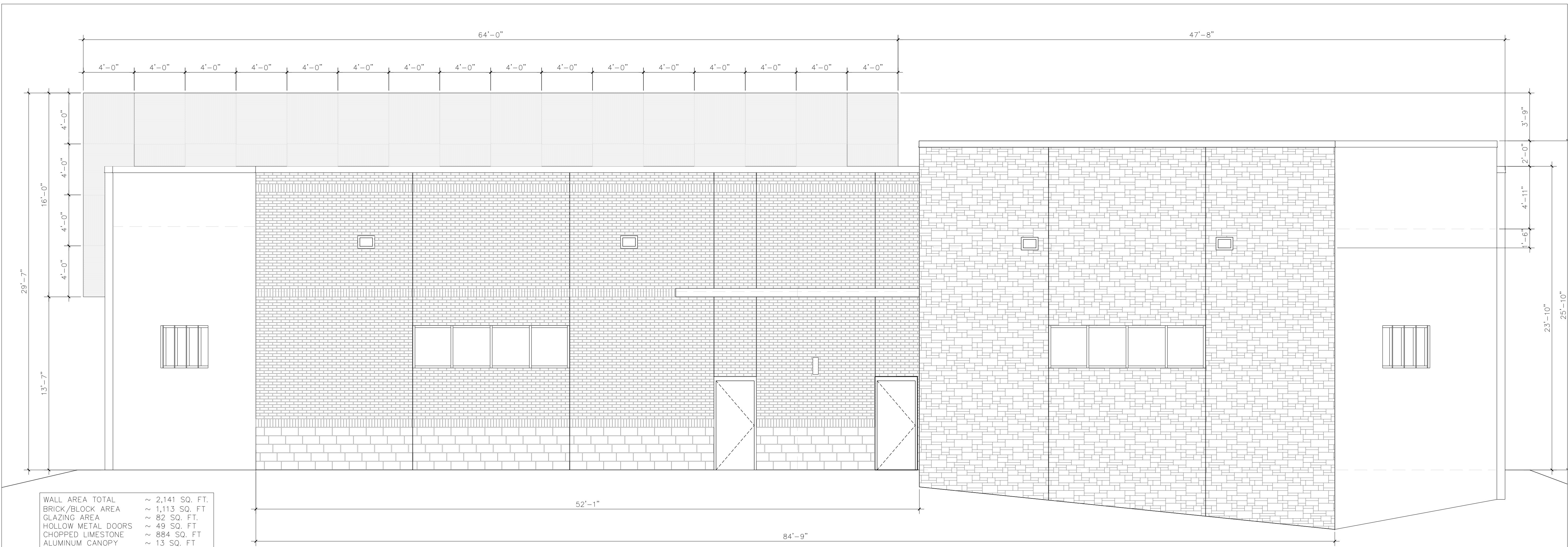
**DEVELOPMENT
SUBMITTAL**

2019.11.02

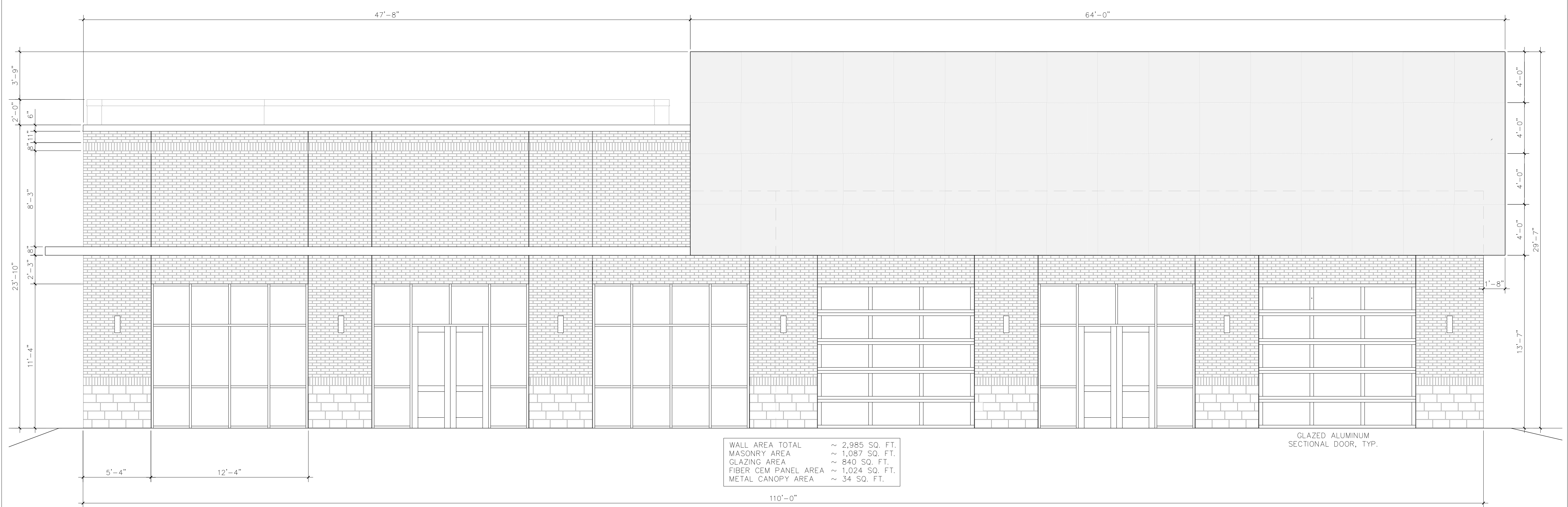
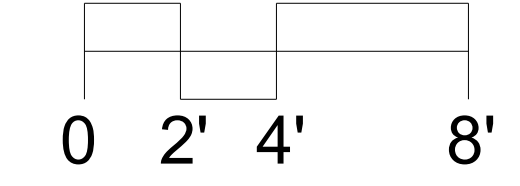
ISSUE DATE

SHEET

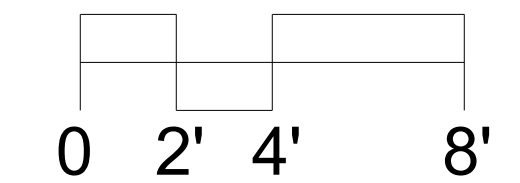
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2 BACK ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



DESIGN INTENT
ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER







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LANDSCAPE REQUIREMENTS

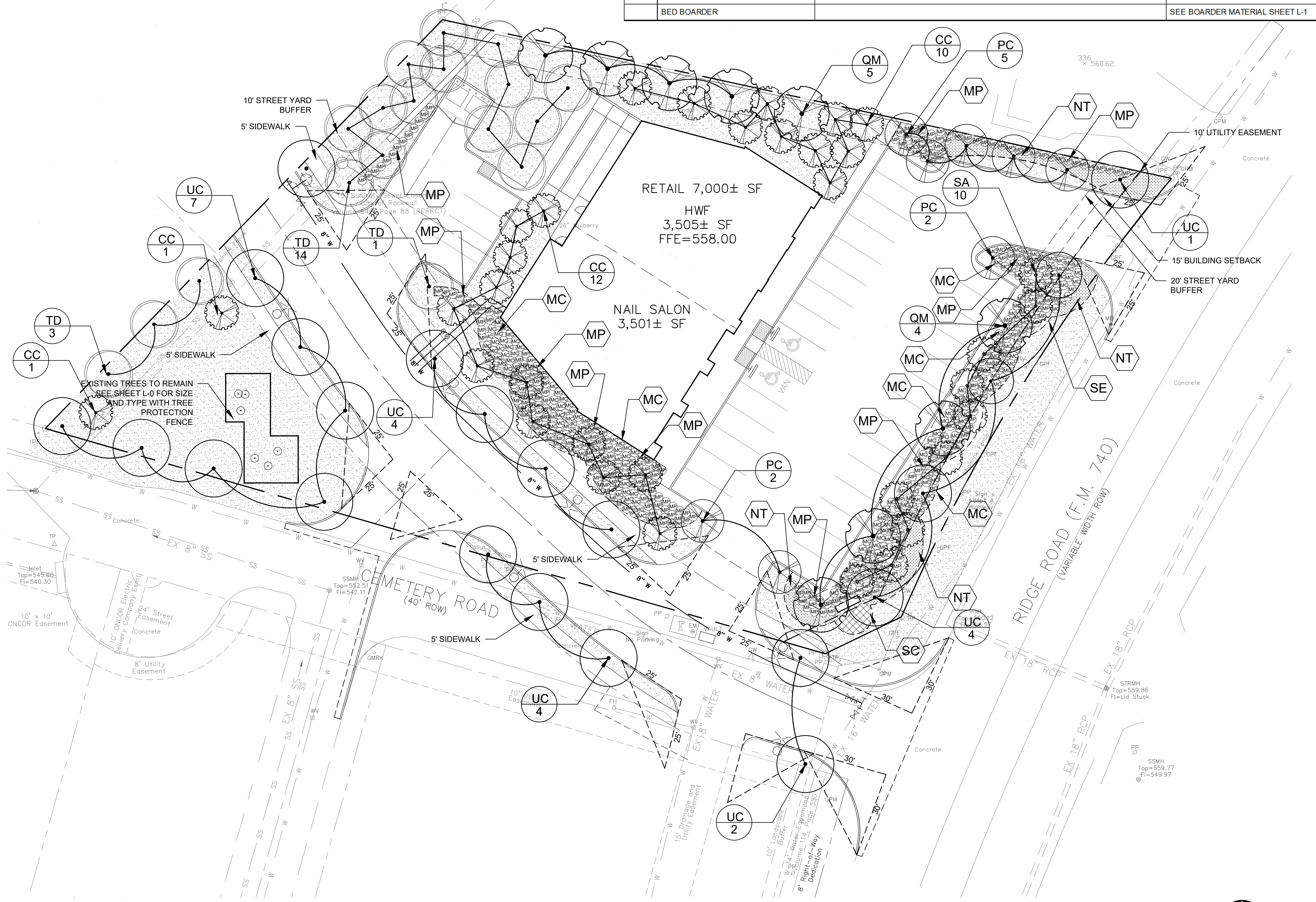
| STREETScape 10 - LANDSCAPE BUFFER | REQUIRED TREES | PROPOSED TREES |
|--|----------------|----------------|
| CEMETERY ROAD STREET TRESS 1 PER 30 LF | 11 | 11 |
| RIDGE ROAD STREET TREES 1 PER 50 LF 165 LF CANOPY TREE | 4 | 4 |
| ORNAMENTAL TREE | 8 | 10 |
| PARKING LOT TREES 29 SPACES 1 TREE PER 8 SPACES | 4 | 4 |

PLANT LIST (IN SECTION 6)

| SYM | BOTANICAL NAME | COMMON NAME | QTY | SIZE | HEIGHT | SPREAD | ROOT BALL | REMARKS |
|---------------------------|---------------------------------|------------------------------|-----|--------|-----------|-----------|-----------|---------------------------------------|
| LARGE SIZE TREE | | | | | | | | |
| QM | QUERCUS MUEHLENBERGII | CHINKAPIN OAK | 9 | 4" CAL | 12' - 14' | 6' - 8' | CONTAINER | SINGLE TRUNK AND FULL |
| TD | TAXODIUM DISTICUM | BALD CYPRESS | 18 | 4" CAL | 12' - 14' | 6' - 8' | CONTAINER | SINGLE TRUNK AND FULL |
| UC | ULMUS CRASSIFOLIA | CEDAR ELM | 22 | 4" CAL | 10' - 12' | 6' - 8' | CONTAINER | SINGLE TRUNK - BRANCHED TO GROUND |
| MEDIUM SIZE TREE | | | | | | | | |
| CC | CERCIS CANADENSIS 'TEXENSIS' | TEXAS REDBUD | 24 | 3" CAL | 8' - 10' | 4' - 6' | CONTAINER | MULTI-TRUNKED AND FULL |
| PC | PISTACHE CHINENSIS | CHINESE PISTACHE | 8 | 3" CAL | 8' - 10' | 4' - 6' | CONTAINER | MULTI-TRUNKED AND FULL |
| SA | STYPHNOLOBIUM AFFINE | EVE'S NECLACE | 10 | 3" CAL | 8' - 10' | 4' - 6' | CONTAINER | MULTI-TRUNKED AND FULL |
| SHRUBS | | | | | | | | |
| MP | MYRICA PUSILLA | DWARF WAX MYRTLE | 299 | N/A | 18" | 18" | 3 GALLON | PLACED AS SHOWN ON PLAN |
| ORNAMENTAL GRASSES | | | | | | | | |
| MC | MJHLENBERGIA CAPILLARIS 'LENCA' | REGAL MIST® PINK MUHLY GRASS | 224 | N/A | 12" - 18" | 12" - 18" | 3 GALLON | FULL MATCHED 36" O.C. TRIA. SPACED |
| NT | NASSELLA TNEULSSIMA | MEXICAN FEATHER GRASS | 797 | N/A | 6" - 8" | 6" - 8" | 1 GALLON | FULL MATCHED 18" O.C. TRIA. SPACED |
| ANNUALS | | | | | | | | |
| SC | PENTAS LANCEOLATA | MEXICAN PENTA - SOLID COLOR | 304 | N/A | 6" - 8" | 6" - 8" | 4" POT | FULL MATCHED 8" O.C. TRIA. SPACED |
| LAWN | | | | | | | | |
| LAWN | CYNODON DACTYTON | COMMON BERMUDA GRASS | | | | | | SOLID SOD STAGGARED JOINTS |
| MISCELLANEOUS | | | | | | | | |
| MULCH | SHREDDED HARDWOOD MULCH | | | | | | | 3 INCH DEPTH PLACE OVER FILTER FABRIC |
| | BED BOARDER | | | | | | | SEE BOARDER MATERIAL SHEET L-1 |

GENERAL PLANTING NOTES

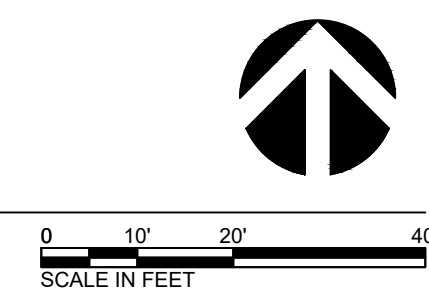
- CONTRACTOR SHALL ADHERE TO CITY CONSTRUCTION REQUIREMENTS INCLUDING BUT NOT LIMITED TO ANY PERMITS, INSPECTIONS, AND METHODS OF MATERIAL INSTALLATION.
- CONTRACTOR SHALL ADHERE TO ALL AGENCY REQUIREMENTS MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE, AS WELL AS FINDING OUT EACH COMPANY'S RESTRICTIONS ON WORKING WITHIN THEIR EASEMENTS AND UTILITY LINES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING IMPROVEMENTS AND TO NOT DISTURB THOSE THAT ARE OUTSIDE OF THE SCOPE OF WORK. ANY STRUCTURES THAT ARE TO REMAIN WITHIN THE SCOPE OF WORK AREA SHALL NOT BE DAMAGED. PHOTOGRAPHS AND NOTES SHOULD BE MADE FOR ANY EXISTING DAMAGED CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND DISTRIBUTED TO OWNERS REPRESENTATIVE.
- A LANDSCAPE IRRIGATION PLAN SHALL BE PREPARED PRIOR TO LANDSCAPE CONSTRUCTION AND WILL BE DESIGNED BY A TEXAS LICENSED IRRIGATION DESIGNER. ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE AND RAIN SENSOR. THE SYSTEM SHALL BE DESIGNED TO MEET THE CITY AND THE STATE OF TEXAS IRRIGATION REQUIREMENTS. THE IRRIGATION INSTALLER SHALL BE A STATE OF TEXAS LICENSED IRRIGATION DESIGNER.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IF THERE ARE ANY WATER RESTRICTIONS AND WHAT IF ANY IMPACT THIS MAY HAVE ON THE INSTALLATION OF PLANT MATERIAL.
- QUANTITIES SHOWN IN PLANT LIST FOR PLANT MATERIAL AREA PROVIDED AS A COURTESY FOR THE CONTRACTOR. CONTRACTOR SHALL VERIFY PRIOR TO BIDDING THAT THE QUANTITY WILL COVER THE SPECIFIED AREAS AT THE SPACING STATED IN THE PLANT LIST UNDER THE REMARKS COLUMN. IF THERE IS A DIFFERENCE, THE CONTRACTOR SHALL MAKE NOTE ON THEIR BID AND SHOW THE ADDED OR REDUCED COST.
- CONTRACTOR SHALL ESTABLISH SOURCES FOR ALL PLANT MATERIAL ON PLANT LIST WHEN BIDDING PROJECT. NO PLANTS SUBSTITUTIONS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS FOR THIS PROJECT PRIOR TO INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL NEW PLANTING BEDS SHALL HAVE A MINIMUM SIX (6") INCHES OF BED PREPARATION.
- LAWN AREA SHALL HAVE FERTILE AND CLEAN TOP SOIL TILLED 4" DEEP.
- GRADING IN PLANTING BEDS SHALL BE SMOOTH AND PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL TREES, AND SHRUBS FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING.
- MULCHING OF SHRUB AND ANY GROUND COVER AREAS SHALL HAVE 3 INCHES OF SHREDDED HARDWOOD MULCH.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- THE PROPERTY OWNER, TENANT AND ANY AGENT THEREOF SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING MATERIALS IN GOOD CONDITION AT ALL TIMES SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE. ANY LANDSCAPING MATERIAL THAT DIES SHALL BE REPLACED WITH HEALTHY MATERIAL WITHIN A REASONABLE TIME. ALL LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. WEEDS AND NATURAL UNCULTIVATED GRASS SHALL NOT BE CONSIDERED LANDSCAPING.



LANDSCAPE LEGEND

- PROPOSED TREES
- CHINKAPIN OAK
- BALD CYPRESS
- CEDAR ELM
- REDBUD
- CHINESE PISTACHE
- EVE'S NECLACE
- SHRUB MASSING
- LAWN
- SEASONAL COLOR
- ORNAMENTAL GRASS
- STEEL EDGING
- MATERIAL CALL OUT
- TREE CALL OUT
- TYPE QUANTITY

1 LANDSCAPE PLAN
 1"=20'-0"



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 Southlake, TX 76092

Carrillo Engineering, LLC
 301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102
 Phone 817-697-4996 - Firm Registration #1-15893

PRELIMINARY
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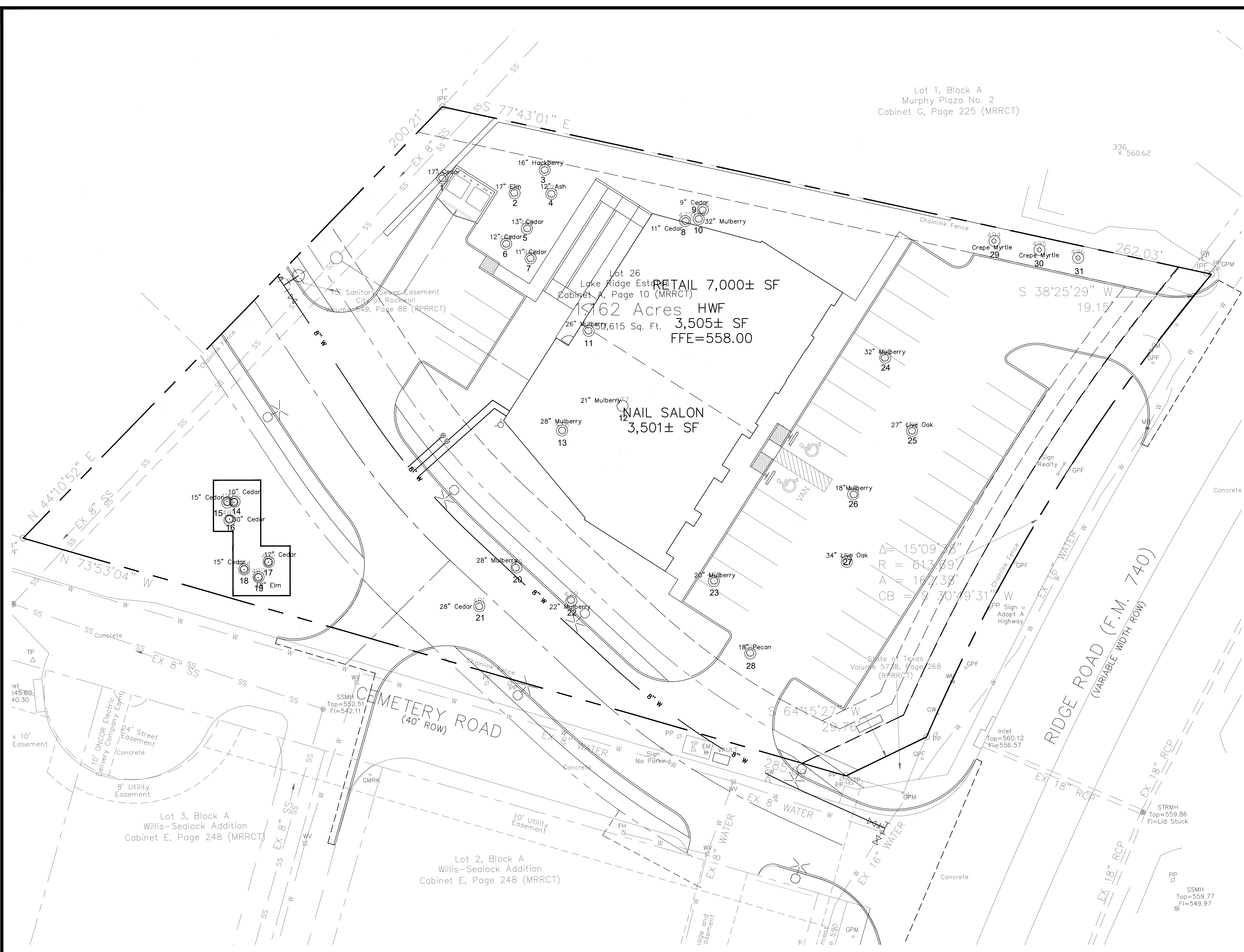
ROCKWALL RETAIL
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

Issue Dates:
 11-05-2019

| Date | Revisions |
|------|-----------|
| | |
| | |
| | |
| | |

Scale:
 Drawn By:
 Checked By:

Sheet
L-1



EXISTING TREE CHART

| TREE NO. | TREE NAME | TREE LOCATION | CALIPER INCHES | PROTECTED TREES PRESERVED | PROTECTED TREES REMOVED NOT REQUIRING MITIGATION | PROTECTED TREES REMOVED REPLACE INCH PER INCH | SECONDARY PROTECTED TREE 11-25" 1/2 CAL REPLACE | TREE GREATER 25" CAL. 1:2 REPLACE | |
|--|--------------|---------------|----------------|---------------------------|--|---|---|-----------------------------------|--------------|
| 1 | CEDAR | LOAD DOCK | 17 | | | | 8.5 | | |
| 2 | ELM | RAMP | 17 | | | | 8.0 | | |
| 3 | HACKBERRY | RAMP | 16 | | | | | | |
| 4 | ASH | RAMP | 12 | | | | 12.0 | | |
| 5 | CEDAR | RAMP | 13 | | | | 6.5 | | |
| 6 | CEDAR | RAMP | 12 | | | | 6.0 | | |
| 7 | CEDAR | BUILDING | 11 | | | | 5.5 | | |
| 8 | CEDAR | BUILDING | 11 | | | | 5.5 | | |
| 9 | CEDAR | BUILDING | 9 | | | | 9.0 | | |
| 10 | MULBERRY | BUILDING | 32 | | | | | 64.0 | |
| 11 | MULBERRY | BUILDING | 26 | | | | | 52.0 | |
| 12 | MULBERRY | BUILDING | 21 | | | | | 42.0 | |
| 13 | MULBERRY | BUILDING | 28 | | | | | 56.0 | |
| 14 | CEDAR | LANDS AREA | 10 | 10 | | | | | |
| 15 | CEDAR | LANDS AREA | 15 | 15 | | | | | |
| 16 | CEDAR | LANDS AREA | 30 | 30 | | | | | |
| 17 | CEDAR | LANDS AREA | 17 | 17 | | | | | |
| 18 | CEDAR | LANDS AREA | 15 | 15 | | | | | |
| 19 | ELM | LANDS AREA | 18 | 18 | | | | | |
| 20 | MULBERRY | CEMETERY ST. | 28 | | | | | 56.0 | |
| 21 | CEDAR | CEMETERY ST. | 28 | | | | | 56.0 | |
| 22 | MULBERRY | CEMETERY ST. | 22 | | | 22.0 | | | |
| 23 | MULBERRY | PARKING LOT | 20 | | | 20.0 | | | |
| 24 | MULBERRY | PARKING LOT | 32 | | | | | 64.0 | |
| 25 | LIVE OAK | PARKING LOT | 27 | | | | | 54.0 | |
| 26 | MULBERRY | PARKING LOT | 18 | | | | 18.0 | | |
| 27 | LIVE OAK | PARKING LOT | 34 | | | | | 68.0 | |
| 28 | PECAN | PARKING LOT | 18 | | | 18.0 | | | |
| 29 | CRAPE MYRTLE | LANDS AREA | <4 | | LESS THAN 4" | | | | |
| 30 | CRAPE MYRTLE | LANDS AREA | <4 | | LESS THAN 4" | | | | |
| 31 | CRAPE MYRTLE | LANDS AREA | <4 | | LESS THAN 4" | | | | |
| TOTALS | | | 557 | 105 | | 116 | 40 | 512 | |
| TOTAL REQUIRED TREE MITIGATION CALIPER INCHES | | | | | | | | | 668.0 |
| PROVIDED REPLACEMENT 52 TREES AT 3" CALIPER | | | | | | | | | 156.0 |

PRIMARY PROTECTED TREES - 4 INCHES - 25 INCHES - REPLACED WITH INCH FOR INCH REMOVED

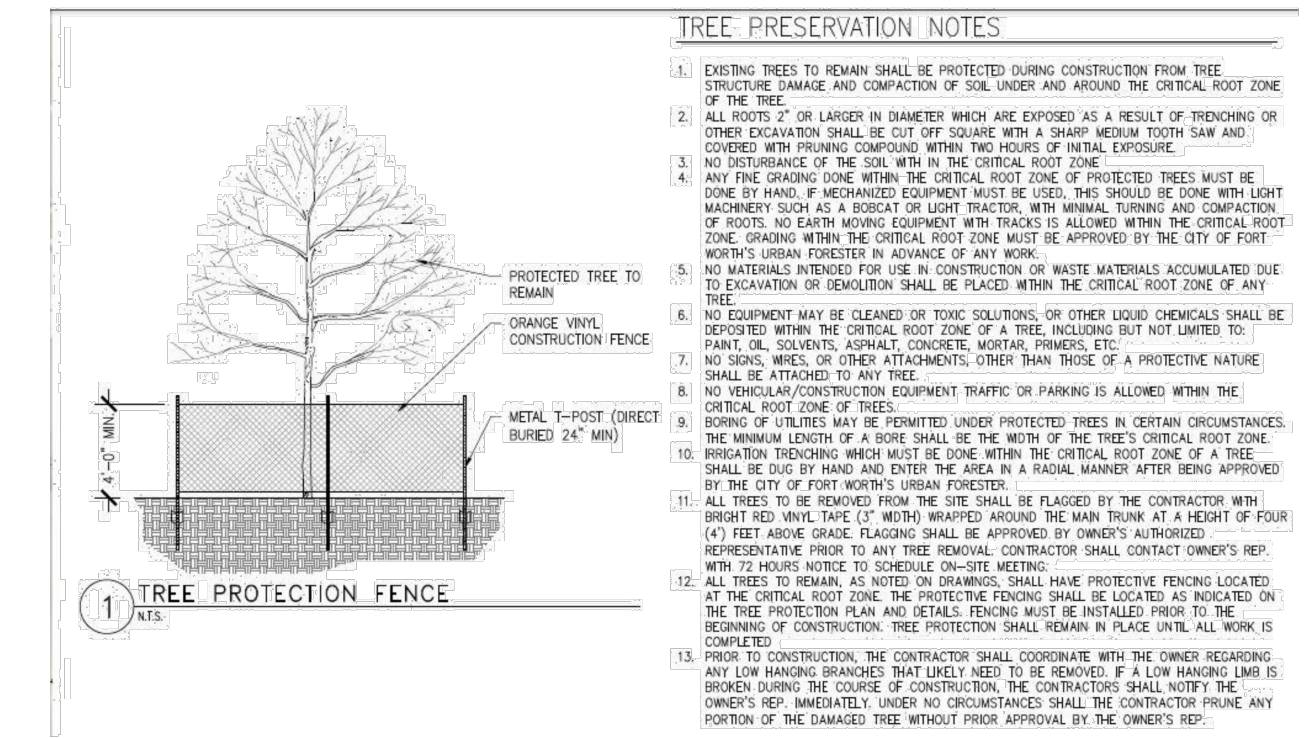
SECONDARY PROTECTED TREES - HACKBERRY & CEDAR TREES MEASURE 11 INCHES - 25 INCHES DBH - REPLACED WITH 1/2 INCH FOR EVERY INCH REMOVED.

FEATURED TREES - ALL TREES GREAT THAN 25 INCHES SHALL BE REPLACED WITH TWICE THE NUMBER OF INCHES BEING REMOVED.

EXISTING LANDSCAPE LEGEND

- 21 ● EXISTING TREE TO BE REMOVED
- 21 ○ SAVED TREE
- TREE PROTECTION FENCE

1 TREESCAPE PLAN
1"=20' 0"



2 TREE PROTECTION DETAIL
NOT TO SCALE

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE DAMAGE AND COMPACTED SOIL UNDER AND AROUND THE CRITICAL ROOT ZONE OF THE TREE.
- ALL ROOTS 2" OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF REMOVAL OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH FRESH COMPOST WITHIN TWO HOURS OF EXPOSURE.
- NO DISTURBANCE OF THE SOIL WITHIN THE CRITICAL ROOT ZONE.
- ANY TREE GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE. GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE. GRUBBING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR REMOVAL SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TUNE SOLUTIONS OR OTHER LIQUID CHEMICALS SHALL BE DISPOSED WITHIN THE CRITICAL ROOT ZONE OF A TREE INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, GRINDERS, ETC.
- NO BRACKS, WREES, OR OTHER ATTACHMENTS, OTHER THAN BRACKS OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO REMOVAL OF CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF TREES.
- SPACING OF CALIPERS MAY BE MONITORED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES.
- THE MINIMUM LENGTH OF A ROOT SHALL BE THE Girth OF THE TREE'S CRITICAL ROOT ZONE.
- IRIGATION TRENCHING SHALL BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE. SHALL BE DONE BY HAND AND ENTER THE AREA AS A RESULT OF THE TREE BEING REMOVED BY THE CITY OF FORT WORTH URBAN FORESTRY.
- ALL TREES TO BE REMOVED SHALL BE FLAGGED BY THE CONTRACTOR WITHIN 10 FEET OF THE TREE'S CRITICAL ROOT ZONE. THE FLAG SHALL BE PLACED BY THE CONTRACTOR WITHIN 10 FEET OF THE TREE'S CRITICAL ROOT ZONE. THE FLAG SHALL BE PLACED BY THE CONTRACTOR WITHIN 10 FEET OF THE TREE'S CRITICAL ROOT ZONE. THE FLAG SHALL BE PLACED BY THE CONTRACTOR WITHIN 10 FEET OF THE TREE'S CRITICAL ROOT ZONE.
- ANY LOW HANGING BRANCHES THAT ARE IN NEED OF BEING REMOVED IF A LOW HANGING BRANCH IS OBSERVED DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REP. IMMEDIATELY UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE BRANCHES TREE WITHOUT PRIOR APPROVAL BY THE OWNER'S REP.

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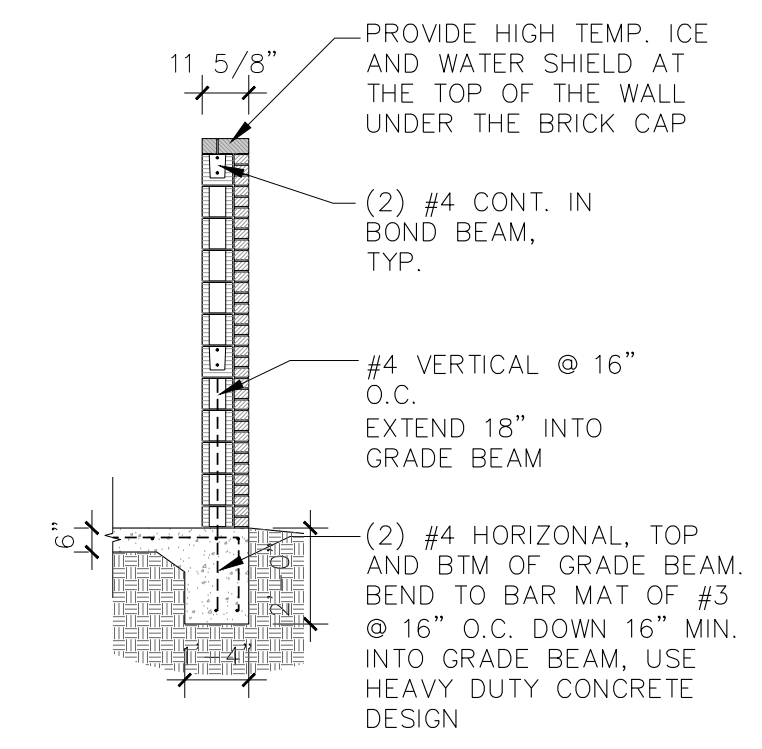
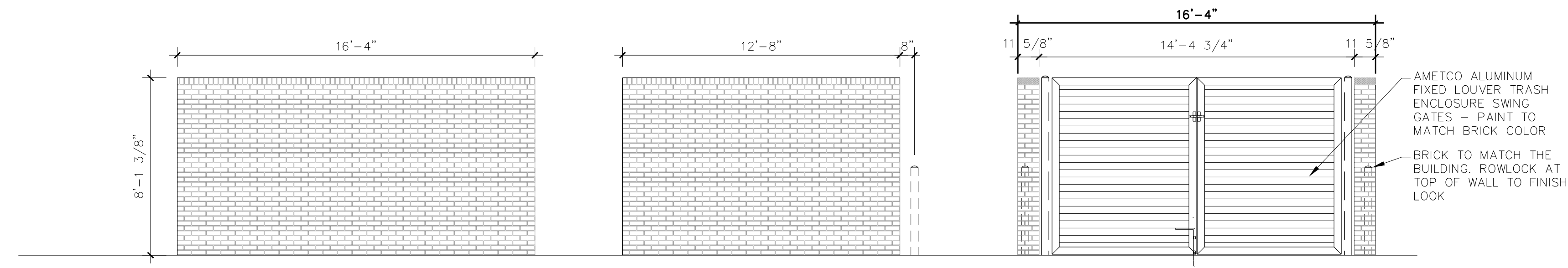
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ROCKWALL RETAIL
2930 SOUTH RIDGE ROAD
LAKE RIDGE ESTATES, LOT 26
ROCKWALL, TEXAS

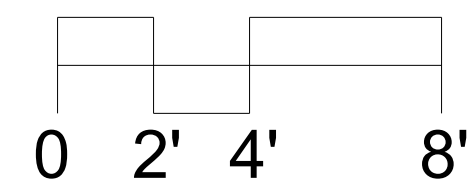
Issue Dates:
11-05-2019

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Drawn By:
Checked By:
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DESIGN INTENT
 ALL HVAC EQUIPMENT TO BE ON THE ROOF AND SCREENED BY THE PARAPET WALL AND LOCATION ON THE ROOF TO CUT THE VIEW ANGLE TO THE UNITS
 RETAINING WALLS TO BE FACED WITH CHOPPED LIMESTONE VENEER



1
 A3.2 **TRASH ENCLOSURE**
 SCALE: 1/4"=1'-0"



NOT FOR CONSTRUCTION REVIEW ONLY
JIM HERCKT
TX ARCH
19007

STUDIO HERCKT, LLC.
1716 VIRGINIA PLACE
FORT WORTH, TX 76107
817.919.6574
JHERCKT@GMAIL.COM

CONCEPTUAL ARCHITECTURAL ELEVATIONS

RIDGE ROAD RETAIL CENTER CORE AND SHELL
2930 RIDGE ROAD
ROCKWALL, TX 75032

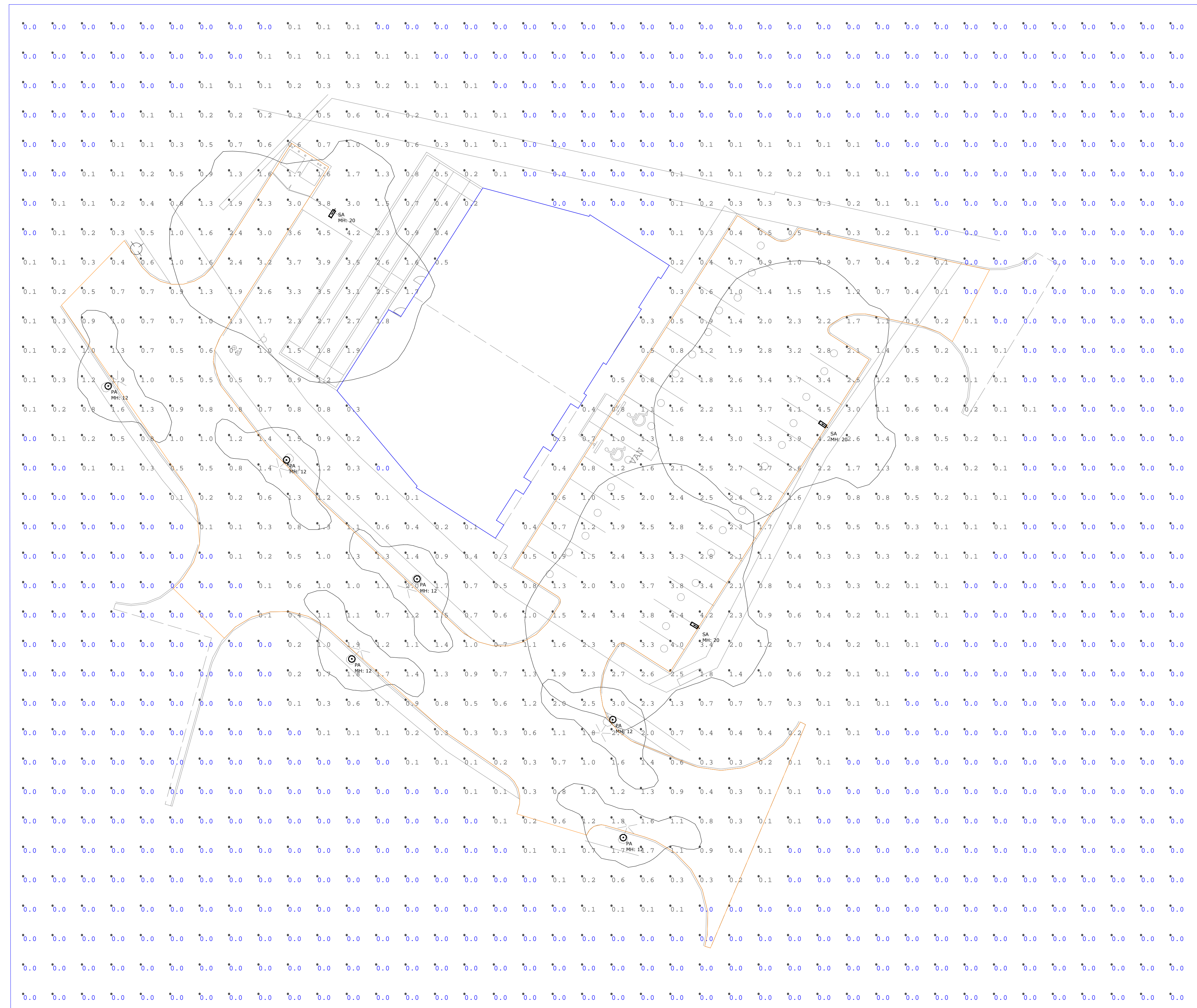
DEVELOPMENT SUBMITTAL

2019.10.18

ISSUE DATE

SHEET

A3.2



| Luminaire Schedule | | | | | | | | |
|--------------------|------|-----|---|--------------------|-------------------|----------------|-------------------|---------------------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
| | PA | 6 | BEGA_77 911 FINISH | 2548 | 50 | 1.000 | 0.808 | 1.000 |
| | SA | 3 | LITHONIA_DSX1 LED P7 40K TFTM VOLTAGE MOUNTING FINISH | 20732 | 183 | 1.000 | 0.808 | 1.000 |

| Calculation Summary | | | | | | |
|---------------------------|--------------------|-------|------|-----|-----|---------|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min |
| GRADE_Planar | 0 | Fc | 0.45 | 4.5 | 0.0 | N.A. |
| PARKING & DRIVEWAY | | Fc | 1.46 | 4.5 | 0.0 | N.A. |

PARKING & DRIVEWAY
 Illuminance (Fc)
 Average = 1.46
 Maximum = 4.5
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Notes:
 1. Surface reflectance: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Dynamic lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

D-Series LED, Size 1

Area Luminaire

Refined Styling. Sophisticated Technology.

The modern styling of the D-Series LED Area, Size 1 luminaire is striking yet unobtrusive—making a bold, progressive statement even as it blends seamlessly with its environment. Its outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density.

Key Features:

- Energy savings of up to 75% vs. comparable metal halide luminaires; saves \$263 per luminaire, per year over 750W metal halide
- 20+ years expected service life (with lumen maintenance up to L99/100,000 hours at 25°C)
- Proprietary precision optics deliver exceptional uniformity and allow for increased spacing, resulting in fewer poles and lower overall cost
- Control options from Acuity Controls include standalone photocell, switched bi-level, part-night scheduled dimming, multi-level motion sensor, and ROAM® wireless monitoring and control

DSX1

| Model | Input Watts | Lumens | Metal Halide Replacement |
|---------------------|-------------|--------|--------------------------|
| DSX1 LED P5 40k T3M | 138W | 15,377 | 400W |
| DSX1 LED P7 40k T3M | 209W | 20,141 | 650W |
| DSX1 LED P9 40k T3M | 241W | 26,791 | 750W |



Quick Facts:

- Up to 750W MH replacement
- Lumen packages from 4,000 to 29,000 lumens up to L92/50,000 hours
- Efficacies up to 136 lumens per watt
- 14 factory-rotatable distributions available
- Available in 3000K, 4000K & 5000K CCT and Amber LED
- Weight: 27 lbs; EPA: 1.0 ft²

D-Series LED Area Luminaire, Size 1

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

DSX1 LED

| Series | LEDs | Color temperature | Distribution | Voltage | Mounting | | |
|----------|-----------------------|-------------------|---|--|---|---|--------------------------------|
| DSX1 LED | Forward optics | | T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short | T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control LCCO Left corner cutoff RCCO Right corner cutoff | MVOLT 120 208 240 277 347 480 | Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) | |
| | P1 P4 P7 | 30K 3000 K | | | | | |
| | P2 P5 P8 | 40K 4000 K | | | | | |
| | P3 P6 P9 | 50K 5000 K | | | | | |
| | Rotated optics | | | | | | AMBPC Amber phosphor converted |
| | P10 P12 | | | | | | |
| | P11 P13 | | | | | | |

| Control options | Other options | Finish (required) |
|--|---|---|
| Shipped installed PER NEMA twist-lock receptacle only (no controls) PERS Five-wire receptacle only (no controls) PER7 Seven-wire receptacle only (no controls) DMG 0-10V dimming extend out back of housing for external control (no controls) DS Dual switching PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc | BL30 Bi-level switched dimming, 30% BL50 Bi-level switched dimming, 50% PNMTDD3 Part night, dim till dawn PNMT5D3 Part night, dim 5 hrs PNMT6D3 Part night, dim 6 hrs PNMT7D3 Part night, dim 7 hrs FAO Field adjustable output | Shipped installed HS House-side shield SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) L90 Left rotated optics R90 Right rotated optics BS Bird spikes DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white |

Accessories Ordered and shipped separately.

Controls & Shields

| | |
|--------------------|---|
| DLL127F 1.5 JU | Photocell - SSL twist-lock (120-277V) |
| DLL347F 1.5 CUL JU | Photocell - SSL twist-lock (347V) |
| DLL480F 1.5 CUL JU | Photocell - SSL twist-lock (480V) |
| DSHORT SBK U | Shorting cap |
| DSX1HS 30C U | House-side shield for 30 LED unit |
| DSX1HS 40C U | House-side shield for 40 LED unit |
| DSX1HS 60C U | House-side shield for 60 LED unit |
| PUMBA DDBXD U | Square and round pole universal mounting bracket adaptor (specify finish) |
| KMA8 DDBXD U | Mast arm mounting bracket adaptor (specify finish) |

Please use the spec sheet at www.acuitybrands.com when ordering to ensure component compatibility for your desired configuration.

DSX2

400W - 1000W MH Replacement



DSX1

250W - 750W MH Replacement



DSX0

175W - 400W MH Replacement



DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

Visit www.lithonia.com for more information

Pole top luminaires with asymmetrical light distribution

Housing: Two interlocking die-cast aluminum housings. Heavy gauge .080" spun aluminum shade with rolled edge, finished white inside. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Arm: Fabricated from .125" wall aluminum extrusion formed into a continuous smooth radius, terminating and welded into a one piece die-cast aluminum fitter. Fitter slip fits a 3" O.D. pole top and is secured by six (6) socket head stainless steel set screws threaded into stainless steel inserts.

Enclosure: Lamp enclosure/optical system comprises an assembly of two pure anodized aluminum asymmetrical main beam reflectors with clear impact resistant acrylic lens with optical texture fixed to a heavy gauge .080" spun aluminum shade with rolled edge, finished white inside and rigidly fastened to the luminaire housing. Fasteners are stainless steel.

Electrical: 42.8W LED luminaire, 48 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver located in luminaire head, 0-10V dimming. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI); add suffix K3 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

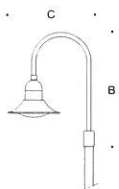
Weight: 27.6 lbs.

EPA (Effective projection area): 2.37 sq. ft.

Luminaire Lumens: 2548

Tested in accordance with LM-79-08

Type:
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:



Single pole-top luminaires

| | Lamp | LEED | A | B | C |
|--------------|-----------|------|-----|---------|---------|
| 77911 | 42.8W LED | LZ-2 | 26% | 46 1/4" | 40 1/8" |

Recommended for use with 14' to 18' poles.

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com

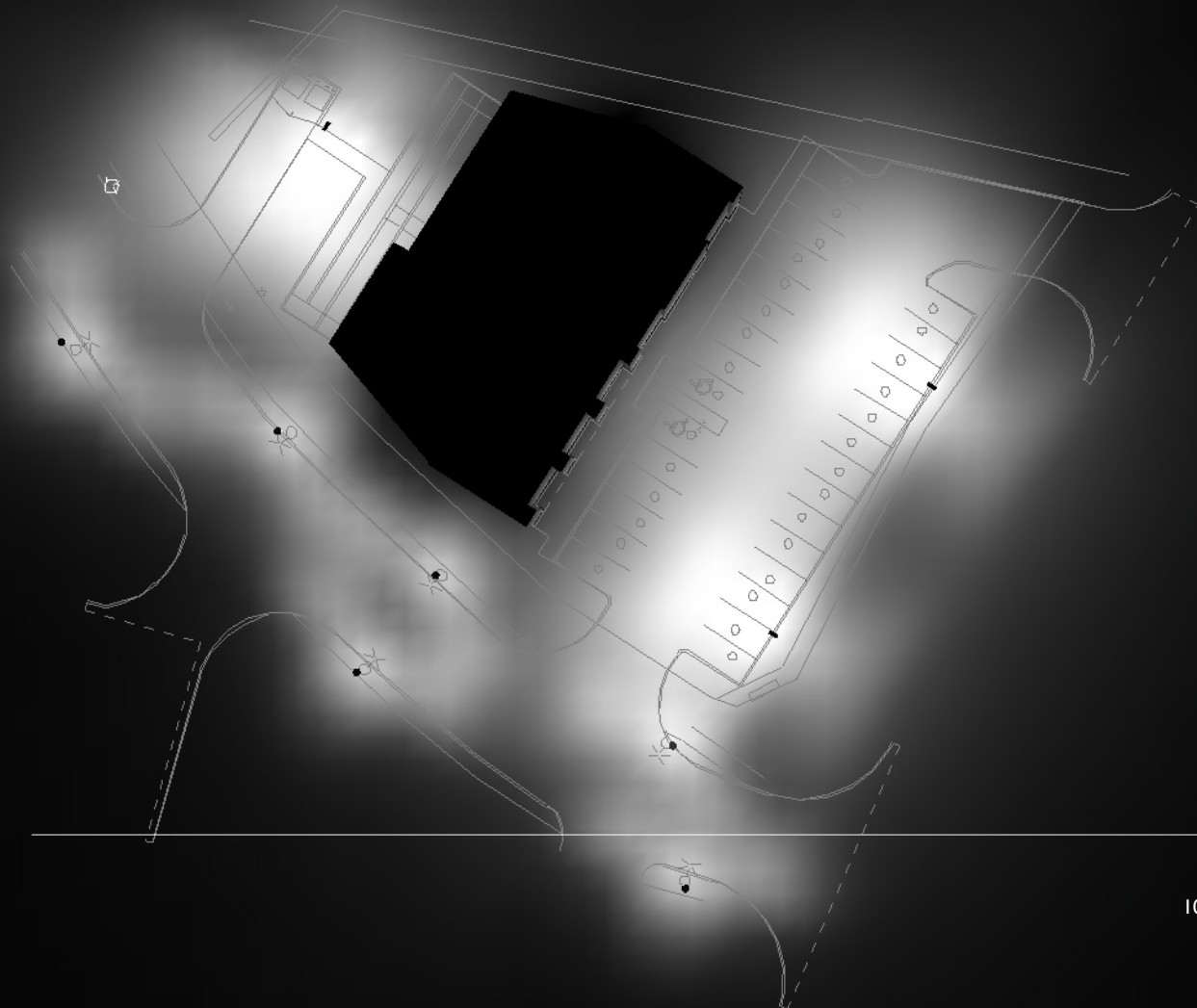
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301 Commerce Street, Ste. 1410
Fort Worth, TX 76102
817-896-0976
anna.blackwell@carrilloeng.com

November 7, 2019

Mr. Ryan C. Miller, AICP
Director Planning & Zoning
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Proposed Ridge Road Retail

Dear Ryan:

As part of the proposed Ridge Road Retail Development, we are requesting approval of the following variances:

1. Dumpster Orientation:

Reason for Variance Request: As part of this project, Glen Hill Way will be realigned to provide a gateway into the future PD32 master planned area. Right-of-Way is being dedicated for Glen Hill Way out of this property. Because the alignment of Glen Hill Way has been previously in PD32, this results in various challenges and site constraints, especially in the rear of the property. The site in the rear becomes very narrow and does not provide enough space for a trash pickup truck to enter the site and turn.

2. Driveway Spacing:

Reason for Variance Request: As with the variance request above, the reason for this variance request is due to the site constraints resulting from the Right-of-Way dedication of Glen Hill Way and its pre-determined alignment. Because of the site constraints and narrow nature of the rear portion of the site, it makes more sense for the building and front parking lot to be closer to Ridge Road. This also allows to maintain only two rows of parking in the front. The resulting spacing is 68.7 feet and not the 100 feet that is required.

3. Stone Percentage Requirement:

Reason for Variance Request: The siting of this building is a bit of a challenge. We are working with a constrained site that is remote to the rest of the buildings covered under this PD. Working with the Architectural Design Committee on a final solution we discussed how stone might be implemented on this project in a unique way. We have provided more than 20% of the façade material as a whole. However as this material is not equally applied to all 4 elevations we need a variance. We have introduced a dark gray burnished CMU in the base courses of the project to ground the building to the ground, which works the same stone would traditionally be used.

As a concession, the developer will construct the relocated Glen Hill Way along the length of the property.

Please contact me if you have any questions or need any additional information.

Very truly yours,

CARRILLO ENGINEERING, LLC

A handwritten signature in blue ink that reads "Anna C. Blackwell". The signature is written in a cursive style with a large initial 'A'.

Anna C. Blackwell, P.E



November 26, 2019

TO: Anna Blackwell
Carillo Engineering, LLC
301 Commerce Street, Suite 1410
Fort Worth, TX 76102

CC: Retail Partners, LLC
C/O Eddie Martin
550 Bailey Avenue, Suite 550
Fort Worth, TX 76102

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2019-037; *Site Plan for Strip Retail Center on Ridge Road*

Ms. Blackwell:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on November 12, 2019. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The applicant will be required to dedicate, design and build the right-of-way for Glen Hill Way adjacent to the subject property.
- (3) The applicant shall be required to satisfy the outstanding tree mitigation balance prior to the filing of the final plat; and,
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 12, 2019, the Planning and Zoning Commission's motion to approve the site plan with ARB recommendations and staff conditions passed by a vote of 5-0, with Commissioners Welch and Fishman absent. Additionally, the motion included approval of the variances requested for 1) primary materials, 2) driveway spacing, and 3) the dumpster enclosure as outlined in staff's report.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding departmental comments have been addressed. Specifically, the following comments will need to be addressed:

Outstanding Department Comments

Planning and Zoning

- (1) Site Plan.

- A. Under the Construction Schedule legend No. 7, change the minimum dumpster enclosure height to indicate 8-ft. (*Subsection 6.02(D)(7), Article V, Unified Development Code*)
- B. Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director (see attached signature block page).

Fire Department

- (1) FDC shall be: a) facing and visible from the fire lane, b) within 100-feet of a fire hydrant, c) clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access, and d) installed 18-48 inches above grade. (*Ord 16-31*)

Engineering Department

- (1) Include a 15'x24' turnaround for the vehicles. This will be paved but striped as no parking. (*Standards of Design and Construction 2.20*)
- (2) Parking against the building or nose-to-nose must be 20'x9', all other parking can be 18'x9' min. (*Standards of Design and Construction 2.20*)

Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request a least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning and Zoning Manager