PLANNING AND ZONING CASE CHECKLIST City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

☐ TREESCAPE PLAN

P&Z CASE # SP30 9-135 P&Z DATE 9 34 19	REDATE 10/8/19 APPROVED/DENIE
ARCHITECTURAL REVIEW BOARD DATE HPAI	B DATE PARK BOARD DATE
ZONING APPLICATION SPECIFIC USE PERMIT ZONING CHANGE PD CONCEPT PLAN PD DEVELOPMENT PLAN SITE PLAN LANDSCAPE PLAN TREESCAPE PLAN PHOTOMETRIC PLAN BUILDING ELEVATIONS MATERIAL SAMPLES COLOR RENDERING	☐ COPY OF ORDINANCE (ORD.#) ☐ APPLICATIONS ☐ RECEIPT ☐ LOCATION MAP ☐ HOA MAP ☐ PON MAP ☐ PON MAP ☐ NEWSPAPER PUBLIC NOTICE ☐ 500-FT. BUFFER PUBLIC NOTICE ☐ PROJECT REVIEW ☐ STAFF REPORT ☐ CORRESPONDENCE ☐ COPY-ALL PLANS REQUIRED ☐ COPY-MARK-UPS ☐ CITY COUNCIL MINUTES-LASERFICHE ☐ MINUTES-LASERFICHE ☐ PLAT FILED DATE ☐ CABINET # ☐ SLIDE #
PLATTING APPLICATION MASTER PLAT PRELIMINARY PLAT	NOTES:
☐ FINAL PLAT ☐ REPLAT ☐ ADMINISTRATIVE/MINOR PLAT ☐ VACATION PLAT ☐ LANDSCAPE PLAN	ZONING MAP UPDATED

Notary Public in and for the State of Texas

DEVELOPME J APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street

STAFF USE ONLY . PLANNING & ZO' 7 CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

MATTHEW MERSHAWN

M. Commission Expires

	Rockwall, Texas 75	087	CITY	ENGINEER:	Chy	_	
Please check the ap	propriate box below to inc	dicate the type of devel	opment request (Resolution No. 0:	5-22) [SELECT	ONLY ON	E BOX]:
[] Preliminary Pla [] Final Plat (\$300.00 [] Replat (\$300.00 [] Amending or M [] Plat Reinstaten Site Plan Application	00.00 + \$15.00 Acre) 1 t (\$200.00 + \$15.00 Acre) 1 0.00 + \$20.00 Acre) 1 0 + \$20.00 Acre) 1 linor Plat (\$150.00) ment Request (\$100.00)	Plan (\$100.00)	[] Specific U [] PD Develo Other Applico [] Tree Rem Notes: 1: In determining	nange (\$200.00 + \$1 se Permit (\$200.00 opment Plans (\$200 ation Fees: oval (\$75.00) og the fee, please use mount. For requests	+ \$15.00 Acre 0.00 + \$15.00 A the exact acrea	cre) ¹	tiplying by the "base
PROPERTY INFO	RMATION [PLEASE PRINT]						
Address	2581 H	orizon f	20,				
Subdivision	HORIZON	VILLAGE	5	Lot	283	Block	1
General Location							
ZONING, SITE PL	AN AND PLATTING IN	IFORMATION [PLEASI	E PRINT]				
Current Zoning	COMMERCI	AL SUP	Current Use	MINOR	AUTO	REPA	UR
Proposed Zoning	SAME		Proposed Use	5	AME		
Acreage	1.11	Lots [Current]	263	Lots	[Proposed]	26	3
	its: By checking the box at th ocal Government Code.	e left you agree to waive	the statutory time	limit for plat appro	val in accordar	ice with Sec	tion
OWNER/APPLICA	ANT/AGENT INFORM	ATION [PLEASE PRINT/CI	HECK THE PRIMARY	CONTACT/ORIGINAL	SIGNATURES AR	E REQUIRED	l
[] Owner			[36] Applicant	MERSH	NWAH	ARCH	Ä.
Contact Person			Contact Person	GREG	WALL	119	
Address			Address	1520 E	I-30	7	
				ROCKU			
City, State & Zip			City, State & Zip	79	087		
Phone			Phone	469-74	15-89	95	
E-Mail			E-Mail	75 469-74 mersha	unarc	heg	mail.
information on this application of the same of the sam	ATION [REQUIRED] and authority, on this day person cation to be true and certified the country of the country of the cover th	e following: agent of the owner, for the p	purpose of this appli	[Owner/Applicant	Name] the und	ersigned, wl	ho stated the
, 20] . By signing th the public. The City is a	nis application I agree that the Cl Iso authorized and permitted to to a request for public informati	ity of Rockwall (i.e. "City") is o reproduce any copyrighted	authorized and perm	itted to provide infor	mation contained	d within this	application to
Given under my hand and	seal of office on this the	day of	, 20 19 .		March 3, 2023		220
Owner	's/Applicant's Signature	Barallia			ry ID #1285388 ommission Expi	- 111	



DEVELOPMENT REVIEW COMMITTEE (DRC) CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review:

Wayne Carter, Charter Communications

Jim Friske, Charter Communications

Dinah Wood, Atmos Randy Voight, Oncor Phillip Dickerson, Oncor Brian Duncan, AT&T Javier Fernandez, RISD Brenda Callaway, TXDOT

Stephen Geiger, Farmer's Electric Frank Spataro, Farmer's Electric

Internal Review:

Amy Williams, Engineering

John Shannon, Building Inspections

Ariana Hargrove, Fire Andy Hesser, Parks Andy Villarreal, Police

From: Planning & Zoning Department

Date: 9/16/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 09/20/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on 9/24/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number:

SP2019-035

Project Name:

Kwik Kar

Project Type:

SITE PLAN

Applicant Name:

[APPLICANT]

Owner Name:

JUCHA, RHETT BARRY

Project Description:



RECEIPT

Project Number: SP2019-035

Job Address: 2581 HORIZON RD

ROCKWALL, TX 75032

Receipt Number: B86752 Printed: 9/16/2019 1:20 pm

Fee Description Account Number Fee Amount

SITE PLANNING

01-4280

\$ 277.50

Total Fees Paid:

Date Paid: 9/16/2019 12:00:00AM Paid By: MERSHAWN ARCHITECTS

Pay Method: CHECK 4347

Received By: KB

Notary Public in and for the State of Texas

DEVELOPME J APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street

STAFF USE ONLY . PLANNING & ZO' 7 CASE NO.

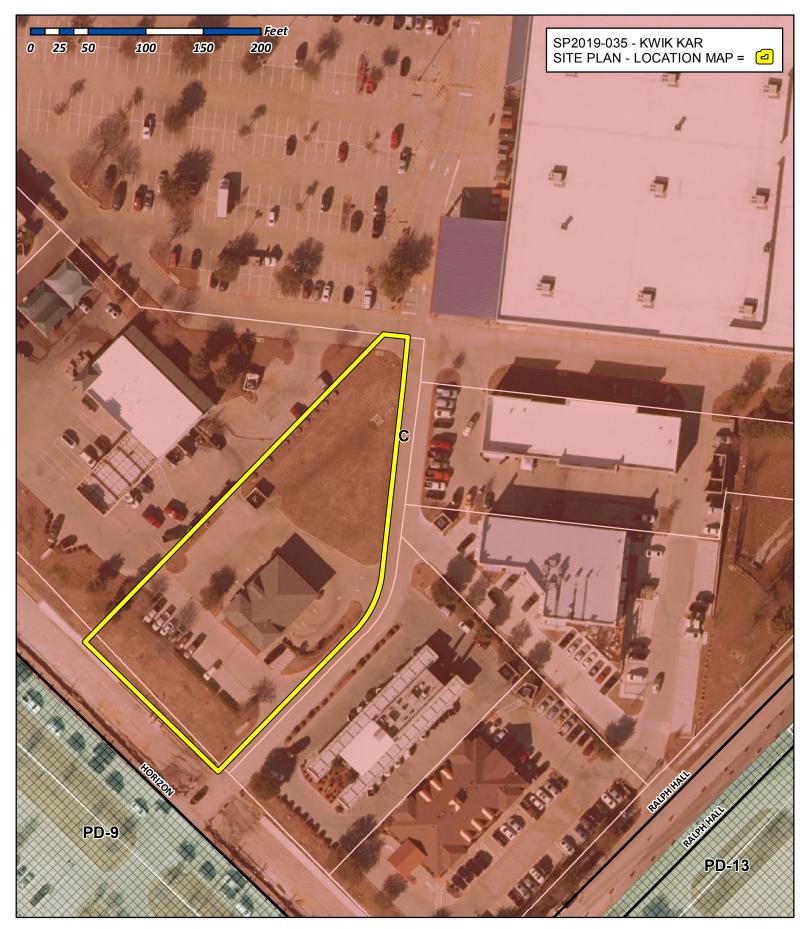
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

MATTHEW MERSHAWN

M. Commission Expires

	Rockwall, Texas 75	087	CITY	ENGINEER:	Chy	_	
Please check the ap	propriate box below to inc	dicate the type of devel	opment request (Resolution No. 0:	5-22) [SELECT	ONLY ON	E BOX]:
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Contact Person			Contact Person	GREG	WALL	119	
Address			Address	1520 E	I-30	7	
				ROCKU			
City, State & Zip			City, State & Zip	79	087		
Phone			Phone	469-74	15-89	95	
E-Mail			E-Mail	75 469-74 mersha	unarc	heg	mail.
information on this application of the same of the sam	ATION [REQUIRED] and authority, on this day person cation to be true and certified the country of the country of the cover th	e following: agent of the owner, for the p	purpose of this appli	[Owner/Applicant	Name] the und	ersigned, wl	ho stated the
, 20] . By signing th the public. The City is a	nis application I agree that the Cl Iso authorized and permitted to to a request for public informati	ity of Rockwall (i.e. "City") is o reproduce any copyrighted	authorized and perm	itted to provide infor	mation contained	d within this	application to
Given under my hand and	seal of office on this the	day of	, 20 19 .		March 3, 2023		220
Owner	's/Applicant's Signature	Barallia			ry ID #1285388 ommission Expi	- 111	

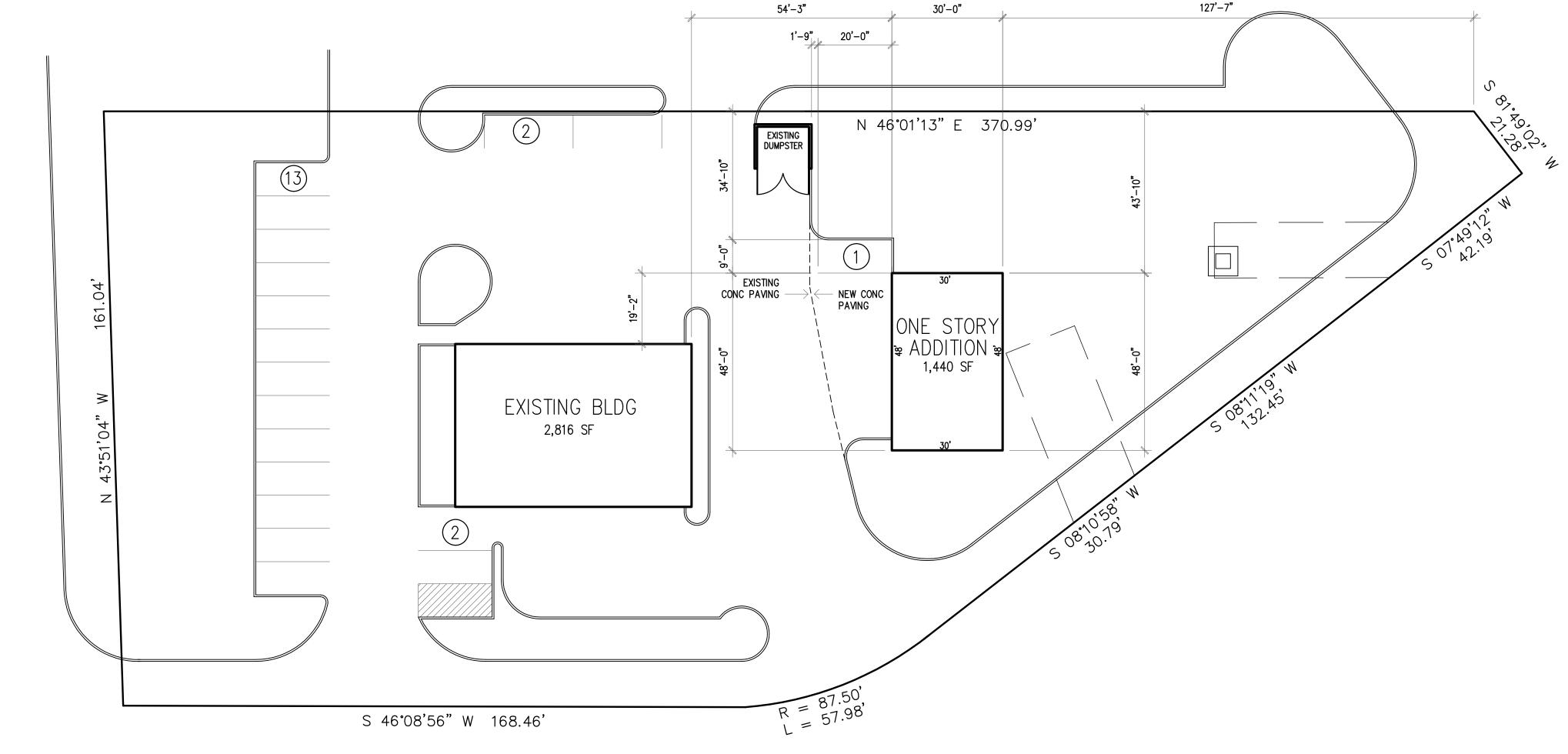


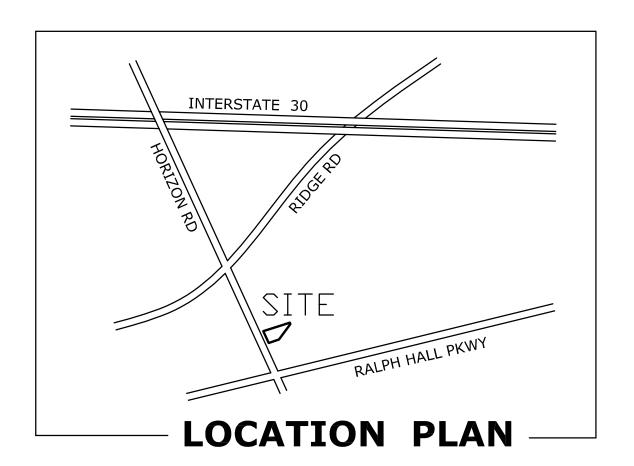


City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

I. ZONING: C

2. PROPOSED USE: OIL CHANGE
3. PROPERTY AREA (GROSS): 48,383 SF 1.11 AC

4. BUILDING AREA: 1,440 SF

5. BUILDING HEIGHT: ONE STORY - 20'-6"

6. LOT COVERAGE : 8.8% F.A.R. = 0.009:1 7. PARKING REQUIRED: 2 PER EACH BAY = 18 SPACES REQUIRED

8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

9. TOTAL PARKING PROVIDED: 18 SPACES

10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF

HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE

LOT 4 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

> OWNER IYM AUTOMOTIVE INC. 2581 HORIZON ROAD ROCKWALL, TEXAS 75032

HORIZON VILLAGE ADDITION BLOCK 1

CASE #SP2019-000

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SCALE IN FEET

PRICING & CONSTRUCTION

THESE DRAWINGS ARE DIAGRAMMATIC IN
NATURE AND ARE NOT INTENDED TO
INDICATE EACH AND EVERY FITTING, OFFSET,
OR OTHER APPURTENANCE NECESSARY TO
COMPLETE THE SYSTEM.

2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.

ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN

AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.

5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.

6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

WRITING) BEFORE BIDDING THIS PROJECT.

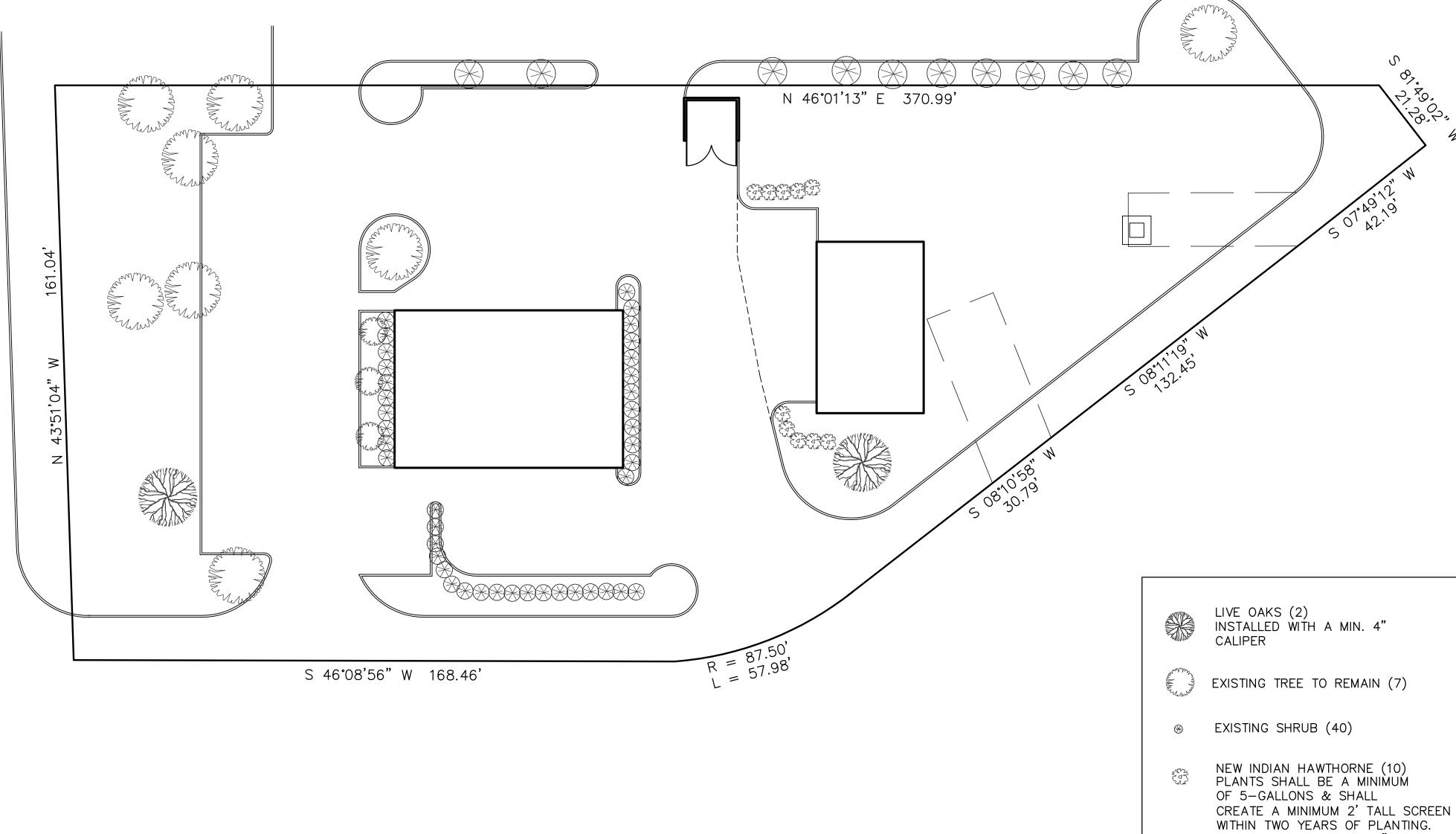
GENERAL NOTES:

KWIK KAR ROCKWALL, TEXAS Scale: 1'' = 20' - 0''MM/DD/YEAR Project No.: AAAAAA

Designed: GW

Drawn: GW

Checked: WM



EXISTING PROVIDED NEWREQUIRED STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W. LANDSCAPE BUFFER 7,257 SF 19,817 SF TOTAL LANDSCAPE AREA 15% REQUIRED



SHALL BE HYDROMULCHED, BERMUDA. IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

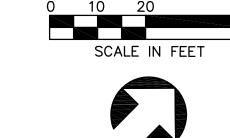
HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER IYM AUTOMOTIVE INC.

2581 HORIZON ROAD ROCKWALL, TEXAS 75032 CASE #SP2019-000



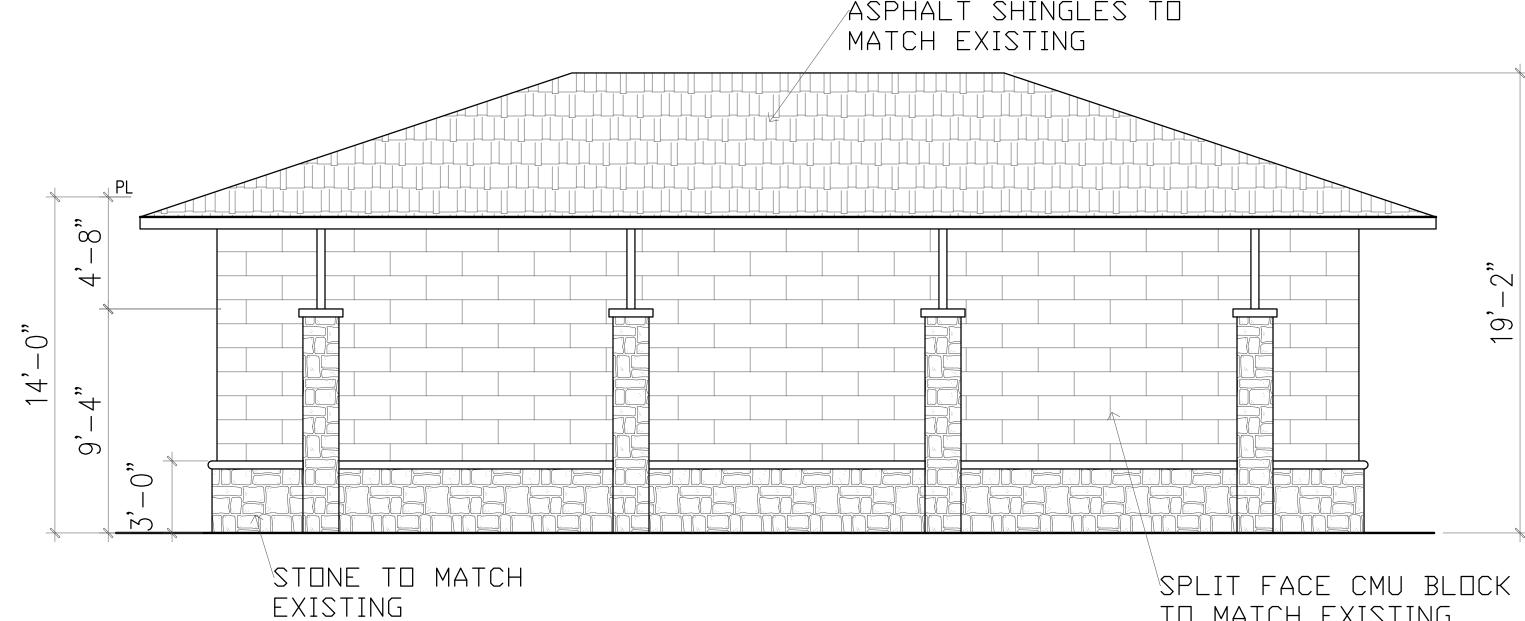
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- WRITING) BEFORE BIDDING THIS PROJECT. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
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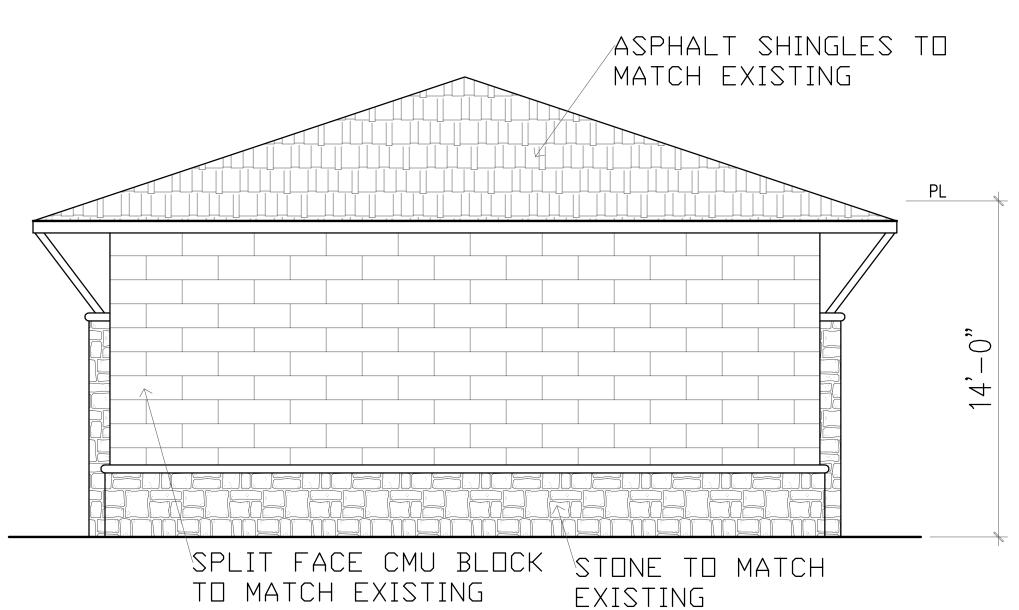
Z

Scale: 1'' = 20'-0''MM/DD/YEAR Project No.: AAAAAA Designed: GW Drawn: GW Checked: WM

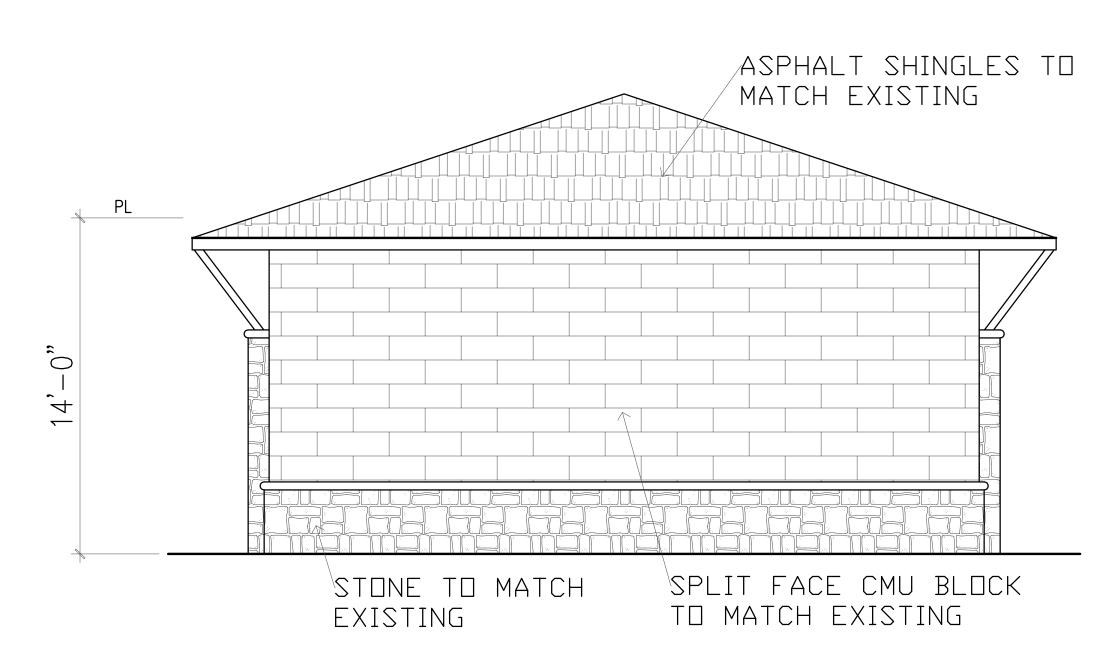


TO MATCH EXISTING

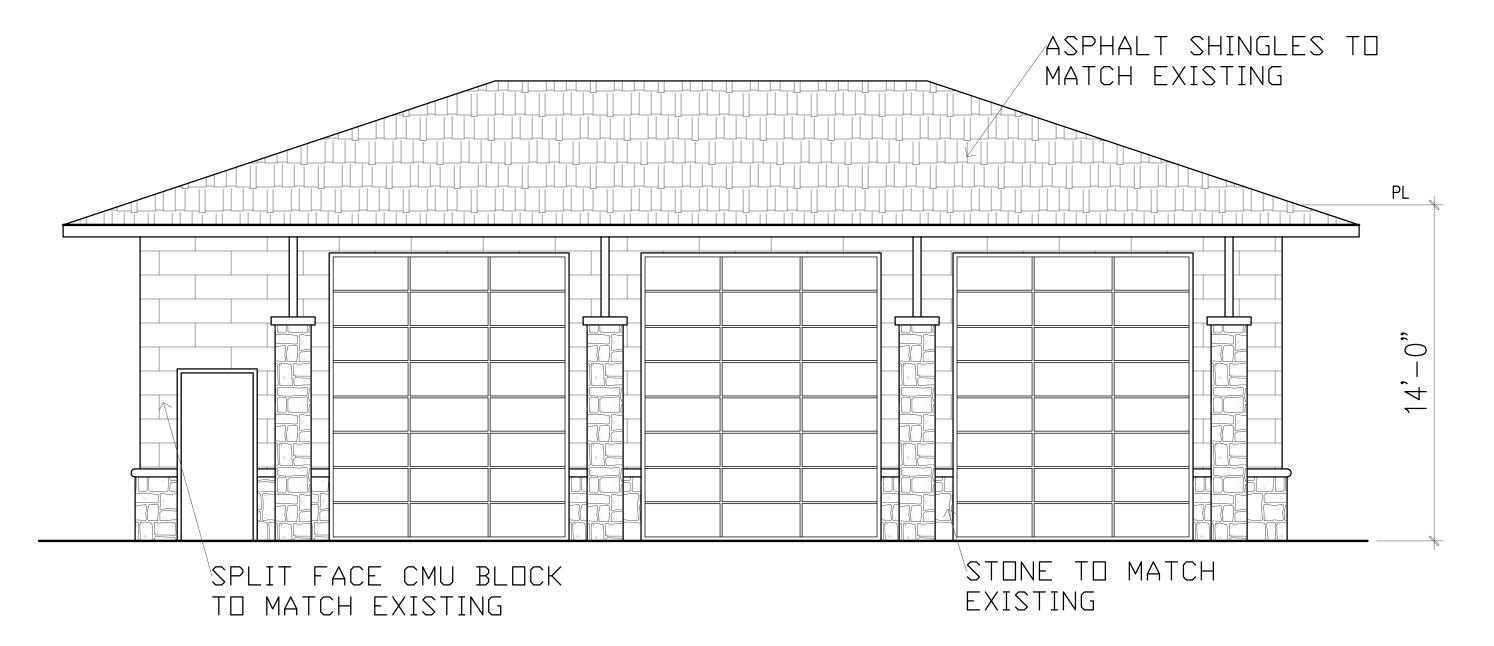
NORTH ELEVATION **100% MASONRY 30% STONE 70% BLOCK**



EAST ELEVATION **100% MASONRY 24% STONE 76% BLOCK**



WEST ELEVATION **100% MASONRY 24% STONE 76% BLOCK**



SOUTH ELEVATION 100% MASONRY 38% STONE 62% BLOCK

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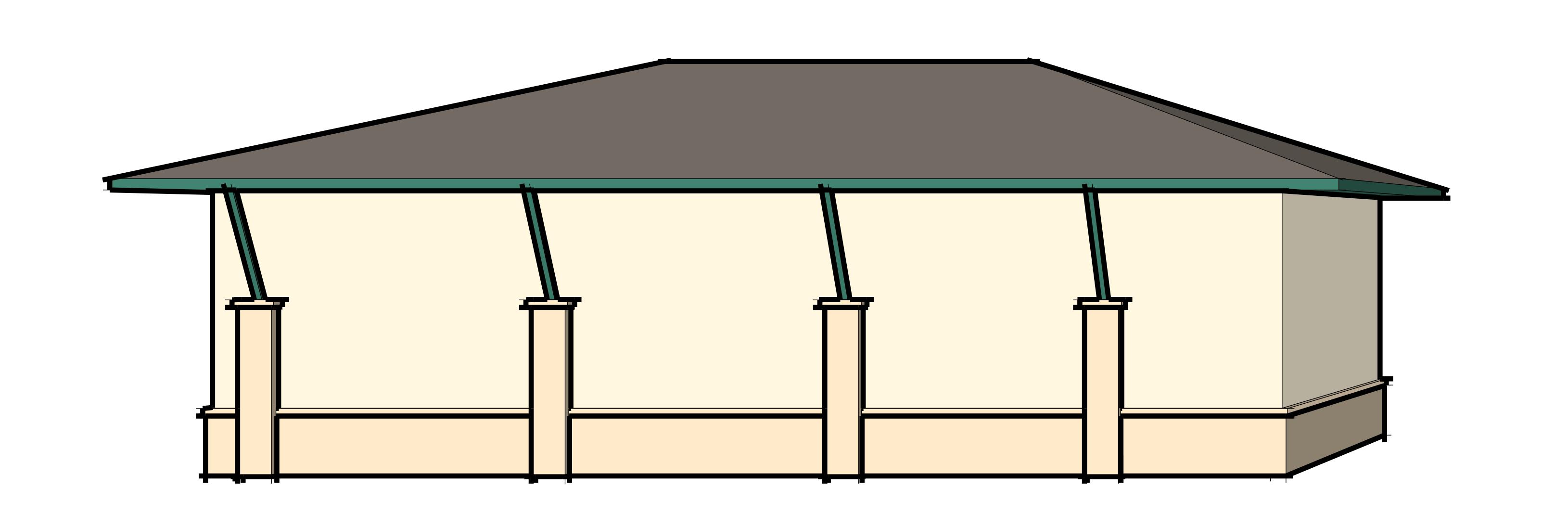
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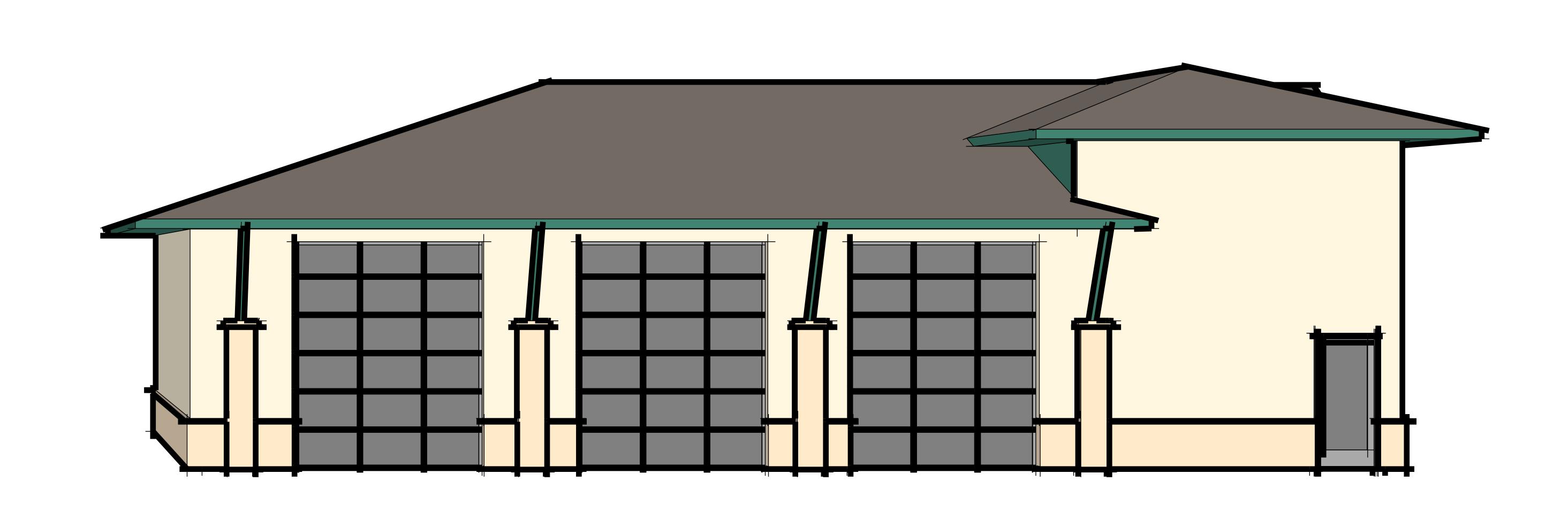
Project No.:

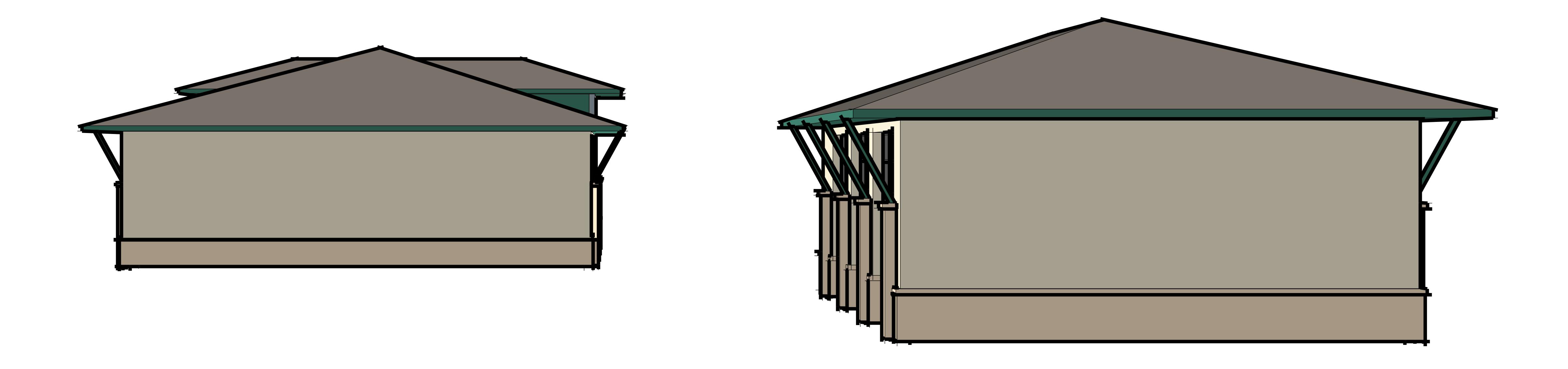
Designed: GW

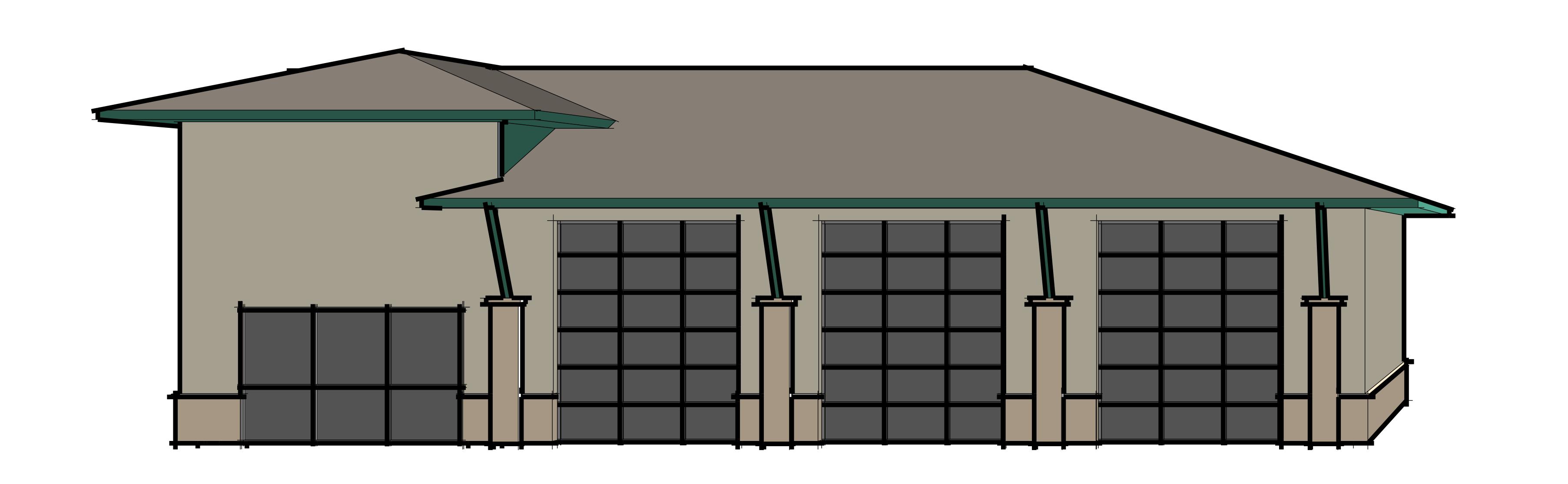
Drawn: GW

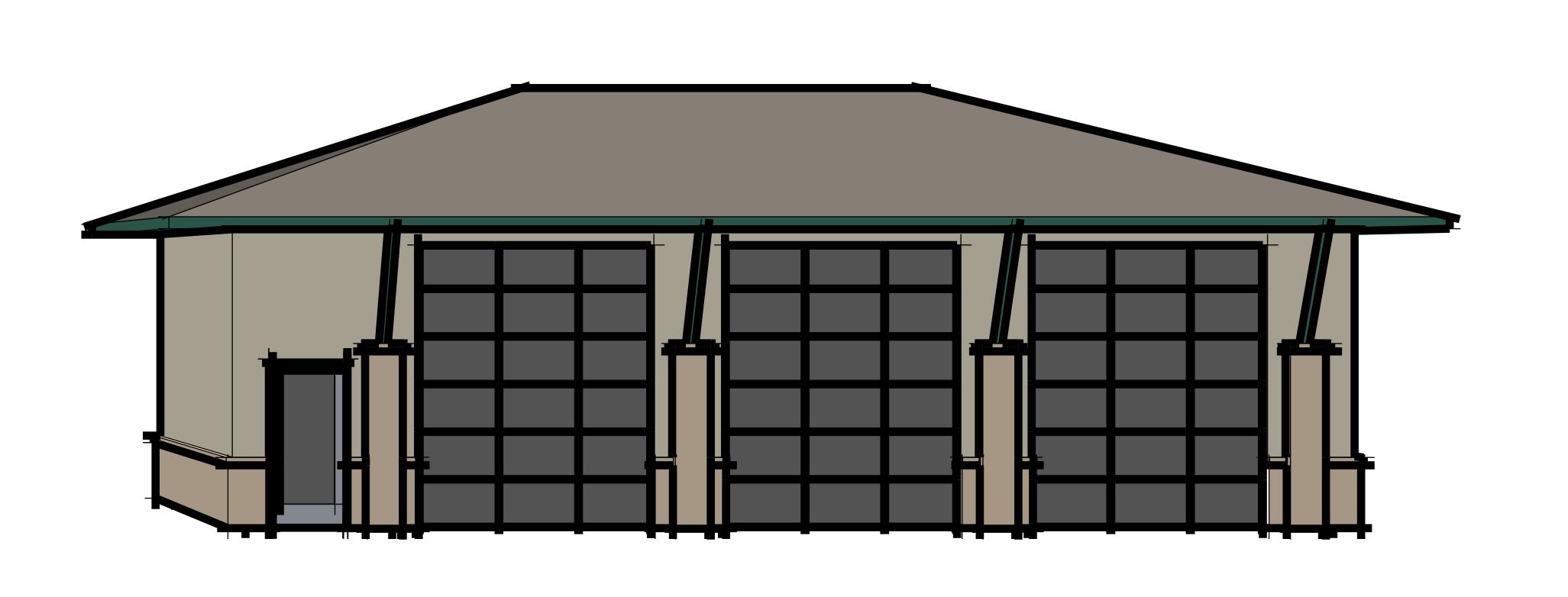
Checked: WM

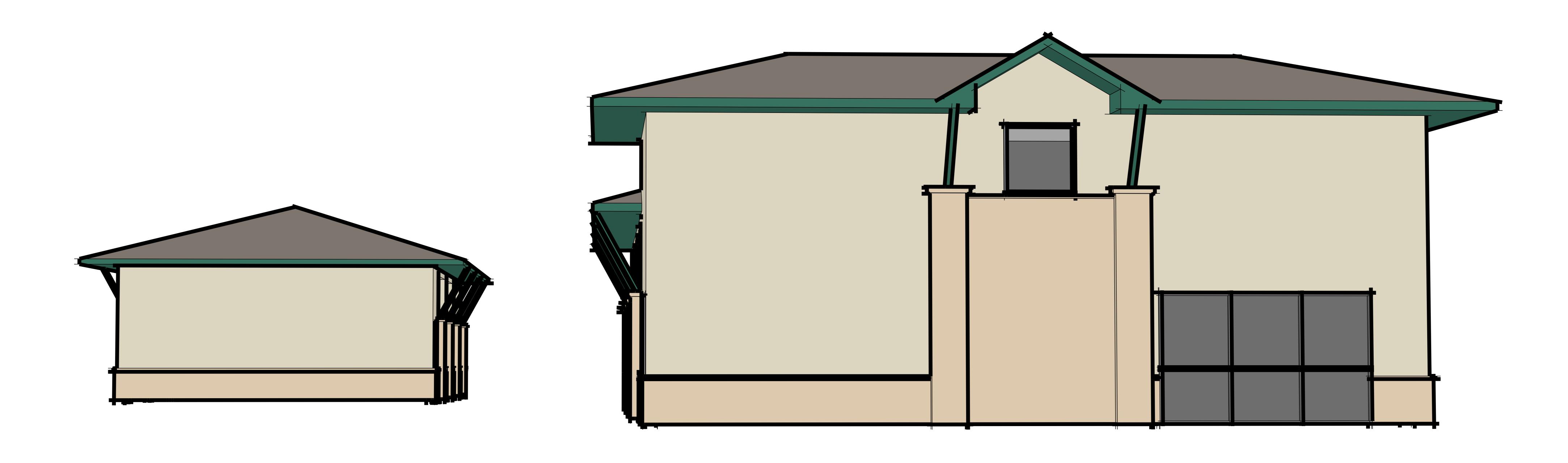


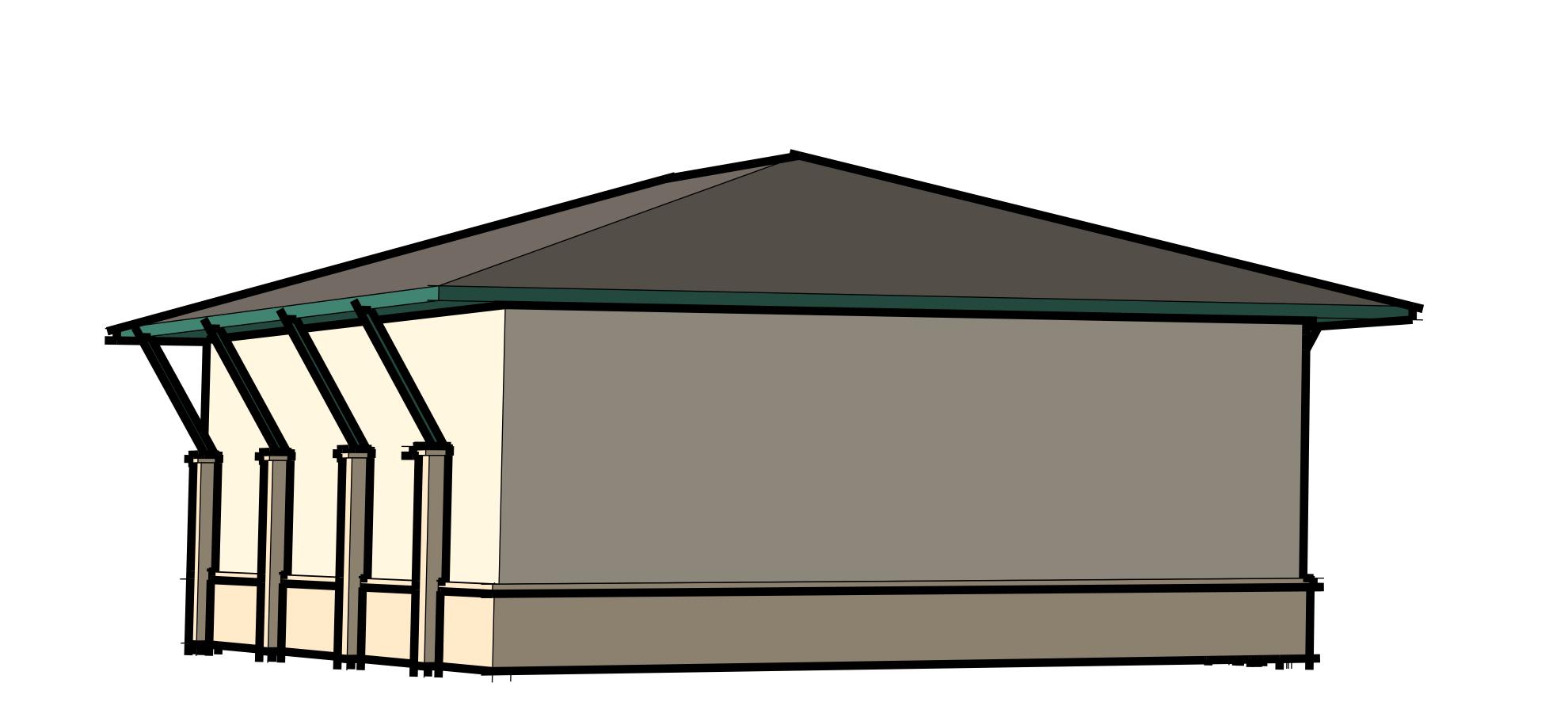


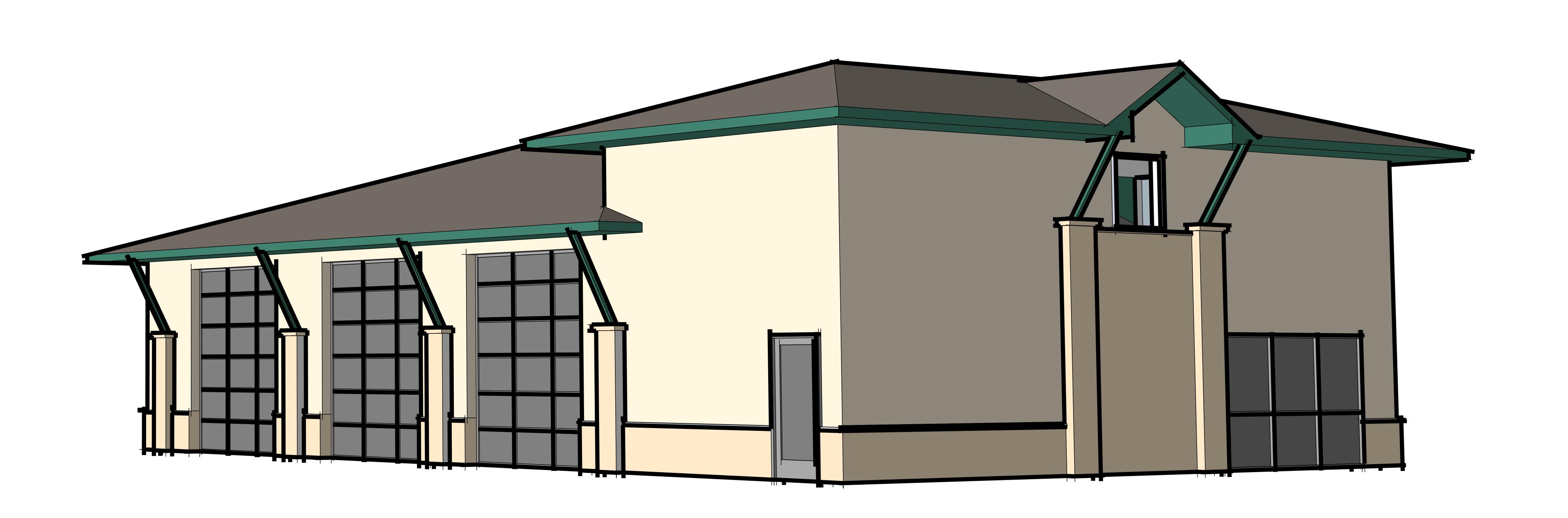


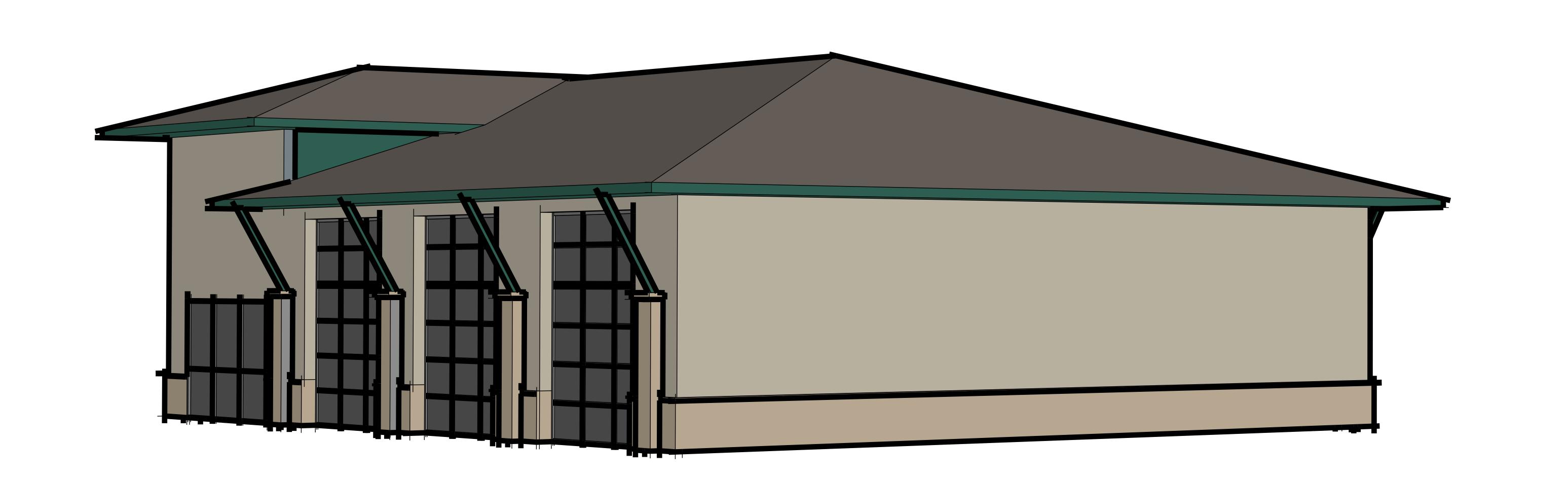


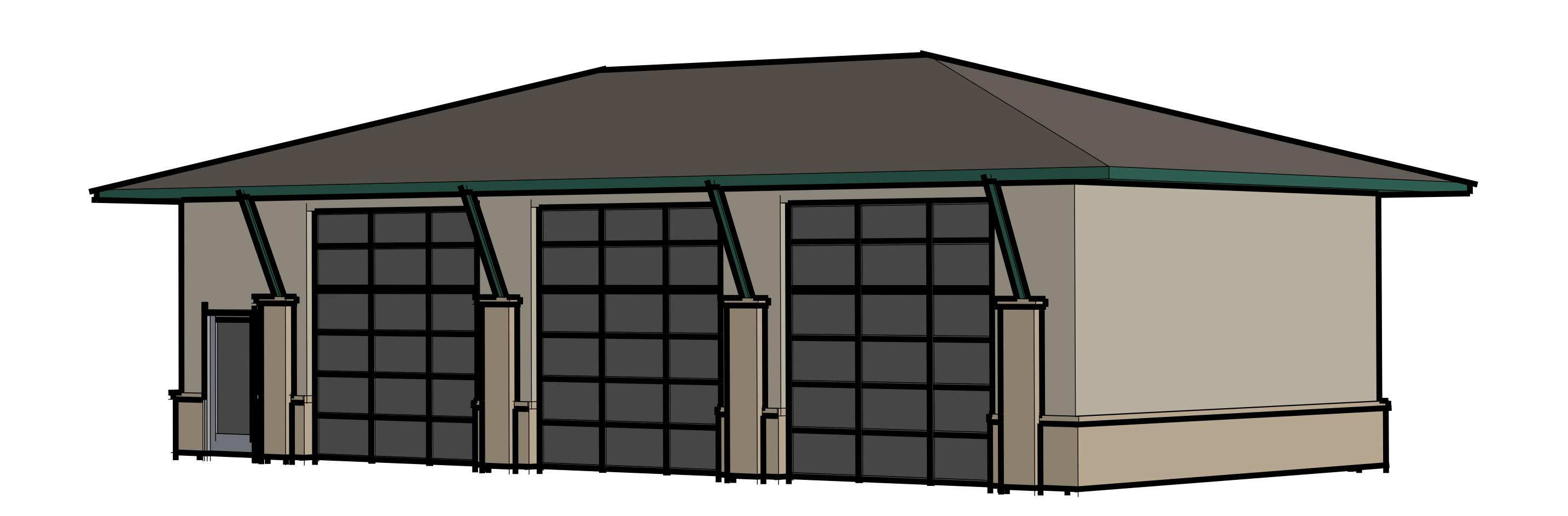












City of Rockwall



ΚB

RM

9/13/2019

9/20/2019

Applied

Closed

Expired

Status

Zoning

Approved

Project Plan Review History

JUCHA, RHETT BARRY

Project Number
Project Name

SP2019-035

Kwik Kar SITE PLAN

Subtype

Type

Status NEED REVISIONS

Site Address City, State Zip

2581 HORIZON RD ROCKWALL, TX 75032

Subdivision Tract Block Lot No Parcel No General Plan

Owner

Applicant

HORIZON CARWASH ADDITION 4 1 4 4011-0001-0004-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	9/13/2019	9/20/2019	9/17/2019	4	APPROVED	
ENGINEERING	Sarah Johnston	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	
(9/20/2019 11:21 A	M SJ)						
M - Label the area i	n front of the new additi	on as no park	ing or the pa	arking must be 20	'x9'. Star	ndards of Design 2.19	
I - Drainage to dum	pster must have an oil/w	ater separato	r, then drain	to the storm syst	em.		
I - Must have a curb	cut in the one parking s	pace to allow	drainage to	pass through.			
FIRE	Ariana Hargrove	9/13/2019	9/20/2019	9/20/2019	7	COMMENTS	
(9/20/2019 9:26 AN	ΛAA)						
Show location of an	y proposed or existing fi	re hydrants a	nd fire appar	atus roadway (fire	e lane).		
See our Civil Plans,	Commercial Developme	nt Guidelines	for further in	nformation, availa	ble here	:	
http://www.rockwa	III.com/documents/fire/F	PermitGuideli	nes/Civil%20	Plans,%20Comme	ercial%20	DDevelopment.pdf	
GIS	Lance Singleton	9/13/2019	9/20/2019	9/17/2019	4	APPROVED	
PLANNING	Korey Brooks	9/13/2019	9/20/2019	9/18/2019	5	COMMENTS	Comments

SP2019-35; Site Plan for Kwik Kar

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Greg Wallis of Mershawn Architects on behalf of the owner for the approval of a site plan for the expansion of an existing Minor Auto Repair Garage on a 1.1107-acre parcel of land identified as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097].
- I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.

 M.3 For reference, include the case number (SP2019-035) in the lower right-hand corner of all pages on future submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).
- M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] a site plan, [2] landscape plan, [3] building elevations and this submittal is complete.
- M.6 Site Plan. Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

Article IV, Permissible Uses, of the Unified Development Code (UDC)

1.7 Subsection 2.03.H.2, Minor Auto Repair Garage, of Section 2, Conditional Land Use Standards and Definitions, of Article IV, Permissible Uses, of the Unified Development Code (UDC).

The proposed use, a Minor Auto Repair Garage is defined as the following:

- a. The replacement of any part or repair of any part that does not require removal of the engine head or pan engine transmission or differential incidental body and fender work, minor painting and upholstering service. It also includes quick lube type businesses. This applies to only to passenger automobiles and trucks not in excess of 7,000 pounds gross weight.
- b. In a General Retail (GR) District, a Minor Auto Repair Garage is permitted as an accessory to a retail use, when the gross floor area of the auto repair and related storage does not exceed 30 percent of the retail sales floor area. If it is a stand-alone use, it shall require a Specific Use Permit (SUP).
- c. In a Commercial (C) District, a Minor Auto Repair Garage is permitted as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building. If it is a stand-alone use, it shall require a Specific Use Permit (SUP).
- d. Garage doors or bays shall not face the street or a residential lot
- e. Vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). If permitted all stored items shall be screened from public right-of-way, sidewalks and open space, and any residentially zoned or used property in accordance with the requirements of Article IV, Permissible Uses, and Article VIII, Landscape and Fence Standards.
- f. A site plan must be approved prior to issuance of any building permit

Article V, District Development Standards, of the Unified Development Code (UDC)

M.8 SUBSECTION 1.05: SCREENING STANDARDS

All development shall adhere to the following screening standards

(2) Trash/Recycling Enclosures. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The opaque, self-latching gate shall not be constructed utilizing wood fencing materials. If the primary building does not use masonry materials, a masonry material that is complimentary in color

Project Reviews.rpt Page 2 of 8

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

and scale shall be utilized. These enclosures shall be located to the side or rear of the primary building, and shall not front on to apublic right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. All trash/recycling enclosures shall be constructed in conformance to the diagram shown in this section unless otherwise approved/required by the City and/or its contractor for trash services. Please indicate on site plan.

- (3) Utility Equipment and Air Condition Units. Pad or roof mounted utility equipment and air conditioning units shall be screened from the view from of any adjacent public streets or properties. Roof mounted utility equipment and air conditioning units shall be screened using a parapet wall that completely impairs the visibility of the equipment, and is constructed on all sides of the building. Ground mounted Utility equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the buildings design. Please indicate on site plan.
- (4) Aboveground Storage Tanks Aboveground storage tanks shall be screened utilizing walls matching the main structure Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening -- screening wall -- and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan. Will this project have any aboveground storage tanks?

M.9 SUBSECTION 1.08: PUBLIC RIGHT-OF-WAY VISIBILITY

- (A) Street/drive intersection visibility obstruction triangles. A landscape plan showing the plan of the street on both sides of each proposed drive/street to the proposed development with the grades, curb elevations, proposed street/drive locations, and all items (both natural and manmade) within the visibility triangles as prescribed below shall be provided with all site plans, if they are not on engineering plans that are submitted at the same time this plan shall show no horizontal or vertical restrictions (either existing or future) within the areas defined below. Please show visibility triangles on the site plan and landscape plan.
- (B) Obstruction/interference triangles defined. No fence, wall screen, billboard, sign face, tree or shrub foliage, berm, or any other item, either manmade or natural, shall be erected, planted, or maintained in such a position or place so as to obstruct or interfere within the following minimum standards however, on non-residentially zoned lots, a single pole for mounting a sign may be placed within this area provided the pole does not exceed 12-inches in diameter, and provided every portion of the sign has a minimum height clearance of nine (9) feet:
- 1. Visibility Triangles. Vision at all intersections which intersect at or near right angles shall be clear at elevations between 24-inches and nine (9) feet above the top of the curb elevation, within a triangular area formed by extending the two (2) curblines from their point of intersection, for the following minimum distances for the applicable intersection, and connecting these points with an imaginary line, thereby making a triangle. If there are no curbs existing, the triangular area shall be formed by extending the property lines from their point of intersection for a distance as prescribed below, and connecting these points with an imaginary line, thereby making a triangle as shown below.
- 2. Intersection of two (2) public streets. The minimum required distance from the curb shall be 30-feet and the minimum distance from the property line on streets without a curb shall be 20-feet.
- 3. Intersection of a public street and an alley. The minimum required distance measured from the property line shall be 15-feet, or 25-feet from street curb.
- 4. Intersection of private drive and public street. The minimum required distance from the curb shall be 15-feet and the minimum distance from the property line on streets without a curb shall be ten (10) feet. Subsection B is informative

M.10 SECTION 4: COMMERCIAL DISTRICTS SUBSECTION 4.01: GENERAL COMMERCIAL DISTRICT STANDARDS All commercial development shall conform to the following standards

- (C) Building Articulation.
- (1) Primary Building Façades. A primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property. All commercial buildings shall meet the following standards for articulation on primary building façades

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- Wall Length. The maximum wall length shall not exceed three (3) times the wall height without a secondary entryway/architectural element
- Secondary Entryway/Architectural Element Length. The minimum length of the secondary entryway or projecting architectural element shall be 25% of the wall length
- Wall Projection. The minimum wall projection for a primary and/or secondary entryway/architectural element shall be 25% of the wall height
- Primary and/or Secondary Entryway/Architectural Element Width. The minimum width of the primary and/or secondary entryway/architectural element shall extend for twice the required wall projection
- Projection Height. The primary and secondary entryways/architectural element shall extend a minimum of 25% of the wall height above the top of the wall
- Primary Entryway/Architectural Element Length. The primary entryway/architectural element shall meet all of the same projections as the secondary entryway/architectural element, but shall extend for a minimum of twice the length of the secondary element. Currently, you will need an exception to the building articulation standards for the front and the rear facades.

M.11 SUBSECTION 7.03: NON-RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

Please see the below table and make revisions to include this data on the site data table on each page

Non-Residential District Development Standards

*: For development in the Downtown (DT) District see the standards in Section 4.8, Downtown (DT) District. Commercial (C) District Zoning Districts? **Development Standards?**

Abbreviation C

Maximum Building Size (SF) N/A

Minimum Lot Requirements Area (SF) 10.000

Width (Feet) 60

Depth (Feet) 100

Minimum Setbacks Front (Feet) 154, 5 Rear (Feet) 10 w/o FRW & Alley 0 w/ FRW & Alley Rear Adjacent Residential (Feet) 6 20 + 1/2H>36 7 Side (Feet) 10 w/o FRW 0 w/ FRW Side Adjacent Residential (Feet) 6 20 + 1/2H>36 7

Between Buildings (Feet) 15 w/o FRW

0 w/ FRW

Building Height [H] (Feet) 609 Maximum Lot Coverage (%) Floor Area Ratio (FAR) 4:1 Maximum Impervious Parking (%) 85-90

Project Reviews.rpt Page 4 of 8 Minimum Landscaping (%)

25%

M.12 ARTICLE VIII, LANDSCAPE AND FENCE STANDARDS, of the Unified Development Code (UDC)

SECTION 2: APPLICATION OF ARTICLE SUBSECTION 2.01: APPLICABILITY

- (A) Landscape and Screening.
- (1) The landscape and screening provisions of this Article shall apply to:
- (a) All new residential or non-residential development within the corporate limits of the City of Rockwall with the exception of the exemptions listed in Subsection 2.01.(A)(2).
- (b) The expansion of a non-residential building or structure that increases the existing floor area by 30% or that adds 2,000 SF of floor area.
- (c) The expansion of a non-residential parking lot that increases the existing impervious area by 30% or that adds 2,000 SF of impervious coverage. Please note, since b and/or c apply, the landscaping will have to meet standards.

M.13 SECTION 4: APPROVED LANDSCAPING MATERIALS

In satisfying the landscape requirements of this Article, it is recommended that all landscaping utilize high-quality, hardy plant materials. Such plant materials shall adhere to the following requirements:

- (A) Approved Planting Materials.
- (1) All planting materials should conform to the recommended planting materials outlined in Appendix F, Landscape Guidelines and Requirements; however, alternative tree, shrub, and grass varieties may be approved by the Director of Planning and Zoning pending the submission of a Landscape Plan and or a written request.

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(2) Unless otherwise noted in this Unified Development Code (UDC), the minimum tree and shrub size at the time of installation shall be as follows:

- (a) Canopy Trees shall be a minimum of four (4) caliper inches at DBH.
- (b) Accent Trees shall be a minimum of four (4) feet in total height.
- (c) Shrubs shall be a minimum of three (3) gallons in size. Please note.

M.14 SECTION 5: LANDSCAPE STANDARDS

SUBSECTION 5.01: LANDSCAPE BUFFERS

The minimum requirements for landscape buffers shall be as follows

- (B) Non-Residential Landscape Buffers
- (1) Abutting a Public Right-of-Way. A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any nonresidential lot that abuts a public right-of-way (i.e. collector street, arterial roadway, or alleyway) or a residentially zoned or used property that is located directly across a public street (regardless of the size of the street). All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer. Please incorporate into landscape plan.

M.15 SUBSECTION 5.02: LANDSCAPE SCREENING

- (C) Headlight Screening. Head-in parking adjacent to a street shall incorporate one (1) of the following screening methods to mitigate the potential hazard that headlights may pose for on-streetvehicular traffic
- (1) Alternative #1. A minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking areas
- (2) Alternative #2. A minimum of a three (2) foot masonry wall with mature shrubs situated between the wall and the right-of-way along the entire adjacency of the parking areas. Please provide one of the options above on landscape plan.
- (D) General Screening Requirements. All screening shall meet the following requirements:
- (1) Approval of a Screening Plan. Prior to construction of any required screening, a site plan and landscape plan shall be approved by the Planning and Zoning Commission showing the type of screening, the proposed materials, and the plant spacing. In approving screening plans, the Planning and Zoning Commission shall determine:
- (a) If the proposed screening plan will adequately screen the non-residential land use.
- (b) If the proposed screening plantings will withstand the pressures of time and nature Please note.

M.16 SUBSECTION 5.03: LANDSCAPE REQUIREMENTS

(A) Amount of Landscaping. The following landscaping percentages shall be required and shall apply to the total site area to be developed Please note required landscaping below and revise landscape plan accordingly.

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Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

ZONING DISTRICTREQUIRED LANDSCAPING (%) REQUIRED LANDSCAPING WITH MAXIMUM ELIGIBLE CREDITS (%)

Multi-Family 14 (MF-14) District 35 22½

Downtown (DT) District See Subsection 4.07, Downtown (DT) District, of Article V, District Development Standards

Residential Office (RO) District 30 17½

Neighborhood Services (NS) District 25 12½

General Retail (GR) District 20 7½

Commercial (C) District 20 7½

Heavy Commercial (HC) District 15 2½

Light Industrial (LI) District 15 2½

Heavy Industrial (HI) District 10 2½

- (F) Protection of Landscape Areas. Required landscape areas must be protected from vehicular traffic through the use of a concrete curb or other permanent barrier. Please note
- (G) Landscaping in Landscape Buffers and Public Right-of-Way. All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). In addition, it shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in public right-of-way is watered and maintained, and to ensure that minimal water will be shed on to the street. The designer of the irrigation system shall base the systems design on the ultimate proposed width of the street. The plans for design of the irrigation system shall be approved by the Building Inspections Department prior to installation and acceptance of the project Please note. Your landscape plan references hydromulch Please make revisions in accordance to this standard

Additional Comments -Site Plan.

- M.18 Please greyscale all existing pavement, buildings, etc.
- M.19 Please show utilities and easements.
- M.20 Please dimension typical parking space. Is any new parking being added?
- M.21 Please label property line.
- M.22 Please show firelane.
- M.23 Please dimension all drive aisles.
- M.24 Please differentiate existing/proposed on the site data table.
- M.25 Please show centerline of Horizon Road.
- M.26 Please show and label front setback and landscape buffer.
- M.27 Please show actual footprint of new building.
- M.28 Please show and label adjacent properties.

Additional Comments – Landscape Plan

- M.29 Please label the property line
- M.30 Please show and label adjacent properties.
- M.31 Please provide vicinity map.
- M.32 Please provide site data table.
- M.33 Please note, the landscape % for Commercial (C) District is 25% as show above.
- M.34 Please same items as site plan such as parking, utilities, etc. and greyscale.
- M.35 Please note hydromulch is not allowed in ROW landscaping.
- M.36 Please note, the property line adjacent to Horizon Road appears to be off scale. Please check scale.

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- M.37 Please show and label the 10-foot landscape buffer adjacent to Horizon Road
- I.38 Please note that failure to address all comments provided by staff by5:00 PM on October 1, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
- I.39 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2019.
- M.40 Based on your request, your development cycle will consist of meetings with Architectural Review Board(ARB) and the Planning and Zoning Commission. The following is a description of each meeting:
- At the ARB Meeting the Board will review building elevations and make recommendations and discuss any variances exceptions. This meeting is typically appropriate for the architect and owner. The Board may ask for revisions that will be discussed at the next meeting. The Board may approve your request as submitted. In this case, there will be no additional ARB Meetings.
- At the Planning and Zoning Worksession, your representative will present your request to the Commission and answer any question that may be asked The Commission may ask for additional information. It is recommended that the owner and/or a representative who is familiar with the project attends this meeting
- At the Planning and Zoning Meeting, staff will present your request and discuss relevant ordinances with the Commission The Commission may ask you additional questions. Following, the Commission takes action. If approved, you will be able to move to the Engineering Phase of the Development Process. It is recommended that the owner and/or a representative who is familiar with the project attends this meeting
- M.41 Below are the meeting dates for your request A representative is required to attend all meetings
- September 24, 2019 Architectural Review Board (ARB) Meeting 5:00 p.m.—immediately before the Planning and Zoning Worksession
- September 24, 2019 Planning and Zoning Worksession 6:00 p.m. immediately following the ARB Meeting.
- October 8, 2019 2nd Architectural Review Board (ARB) Meeting (at the discretion of the ARB) 5:00 p.m. immediately before the Planning and Zoning Meeting.
- October 8, 2019 Planning and Zoning Meeting 6:00 p.m. immediately following the ARB Meeting. M.42 Please see standard site plan wording below.

SITE PLAN SIGNATURE BLOCK

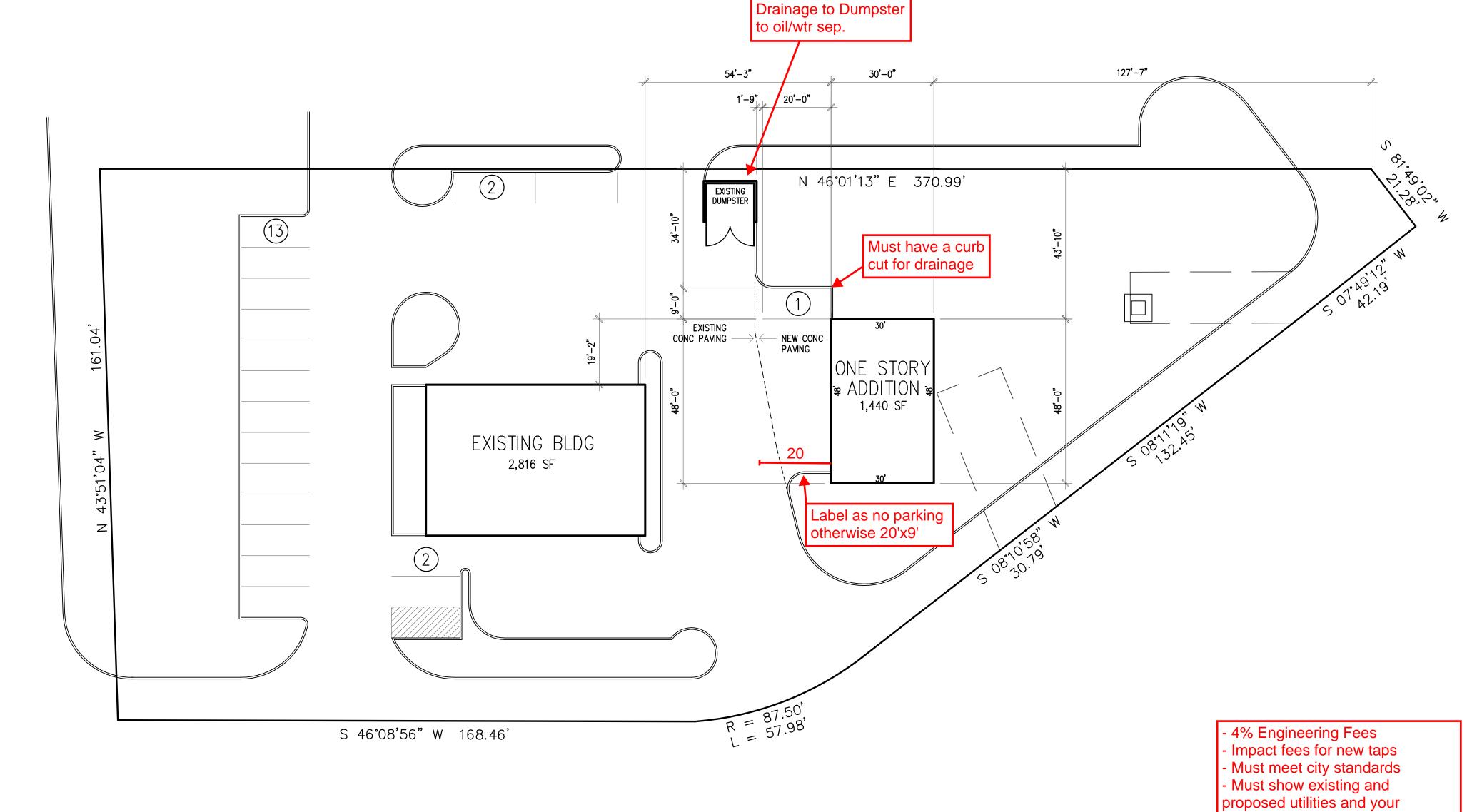
APPROVED:

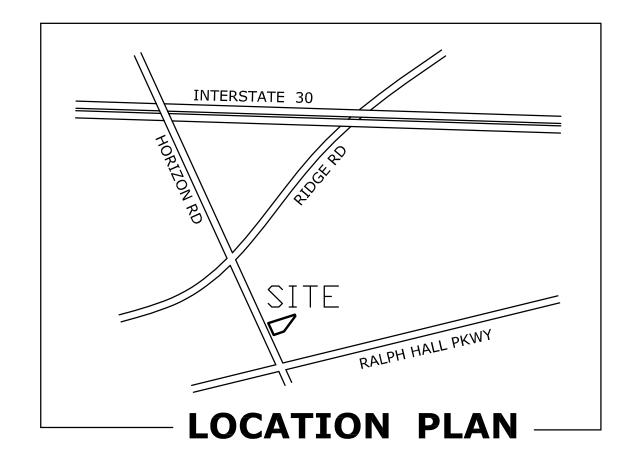
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

Project Reviews.rpt Page 8 of 8





ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

I. ZONING: C

2. PROPOSED USE: OIL CHANGE
3. PROPERTY AREA (GROSS): 48,383 SF 1.11 AC

4. BUILDING AREA: 1,440 SF

5. BUILDING HEIGHT: ONE STORY - 20'-6"

6. LOT COVERAGE : 8.8% F.A.R. = 0.009:1 7. PARKING REQUIRED: 2 PER EACH BAY = 18 SPACES REQUIRED

8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

9. TOTAL PARKING PROVIDED: 18 SPACES

10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF



- WRITING) BEFORE BIDDING THIS PROJECT.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER IYM AUTOMOTIVE INC. 2581 HORIZON ROAD ROCKWALL, TEXAS 75032

CASE #SP2019-000

connection.

HORIZON VILLAGE

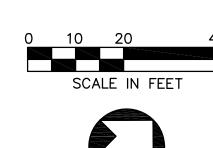
BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1

LOT 4

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- Label and show all easements.

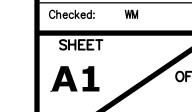
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PRICING & CONSTRUCTION GENERAL NOTES:

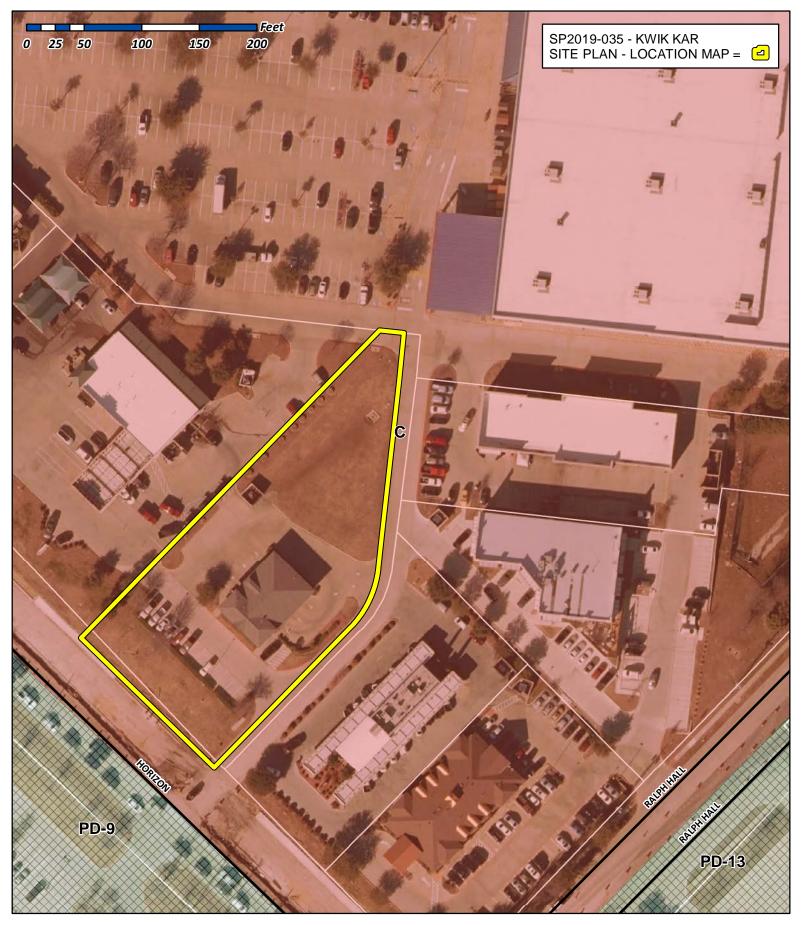
- THESE DRAWINGS ARE DIAGRAMMATIC IN
 NATURE AND ARE NOT INTENDED TO
 INDICATE EACH AND EVERY FITTING, OFFSET,
 OR OTHER APPURTENANCE NECESSARY TO
 COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN
- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.



KWIK KAR ROCKWALL, TEXAS

Scale: 1'' = 20' - 0''MM/DD/YEAR

Project No.: AAAAAA Designed: GW Drawn: GW

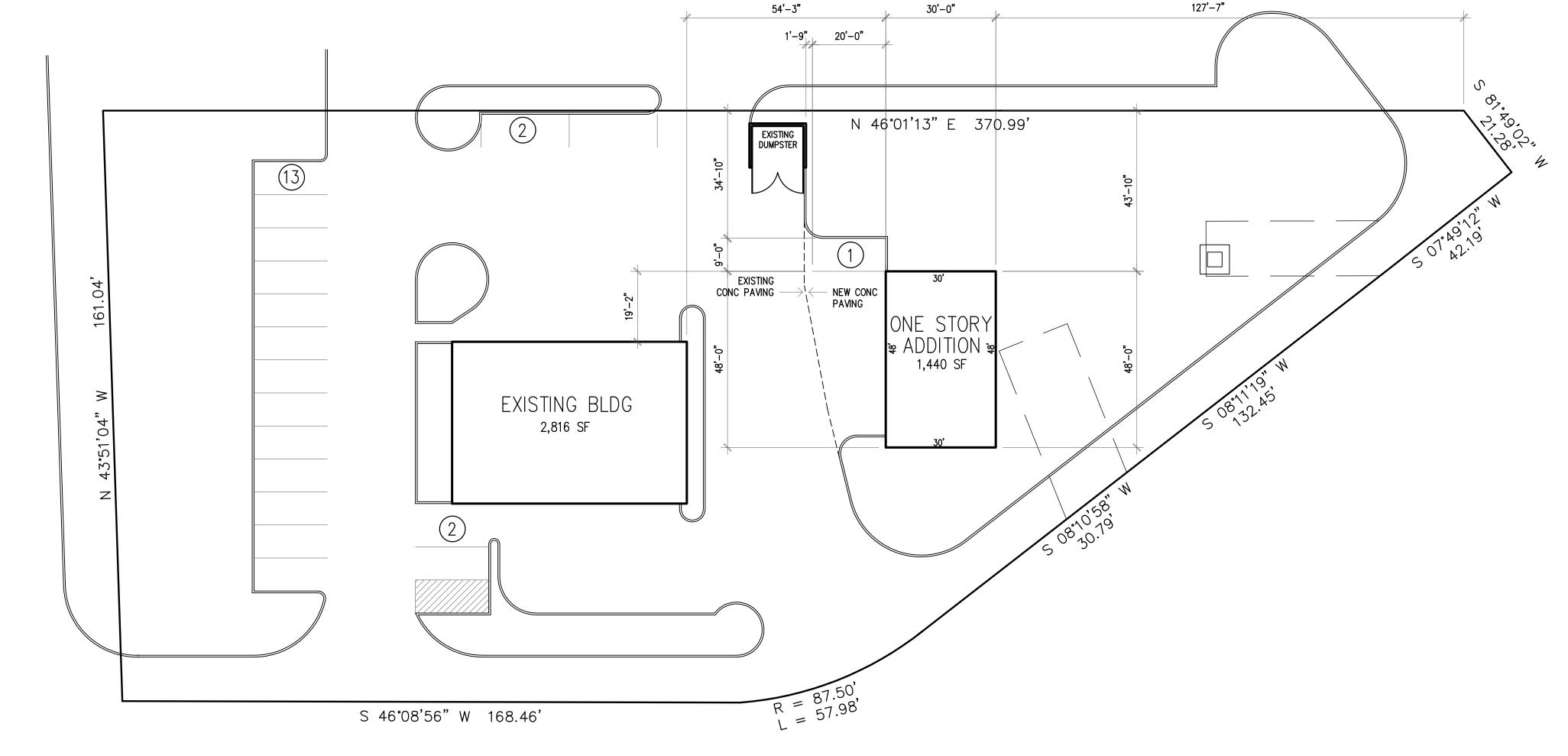


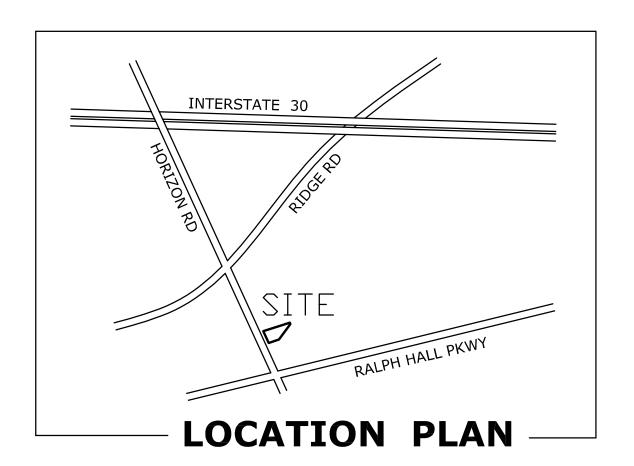


City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







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HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

2581 HORIZON ROAD ROCKWALL, TEXAS 75032

CASE #SP2019-000

OWNER IYM AUTOMOTIVE INC.

LOT 4

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SCALE IN FEET

PRICING & CONSTRUCTION

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6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

WRITING) BEFORE BIDDING THIS PROJECT.

GENERAL NOTES:

KWIK KAR ROCKWALL, TEXAS Scale: 1'' = 20' - 0''MM/DD/YEAR Project No.: AAAAAA Designed: GW Drawn: GW Checked: WM SHEET

STONE TO MATCH EXISTING

SPLIT FACE CMU BLOCK TO MATCH EXISTING

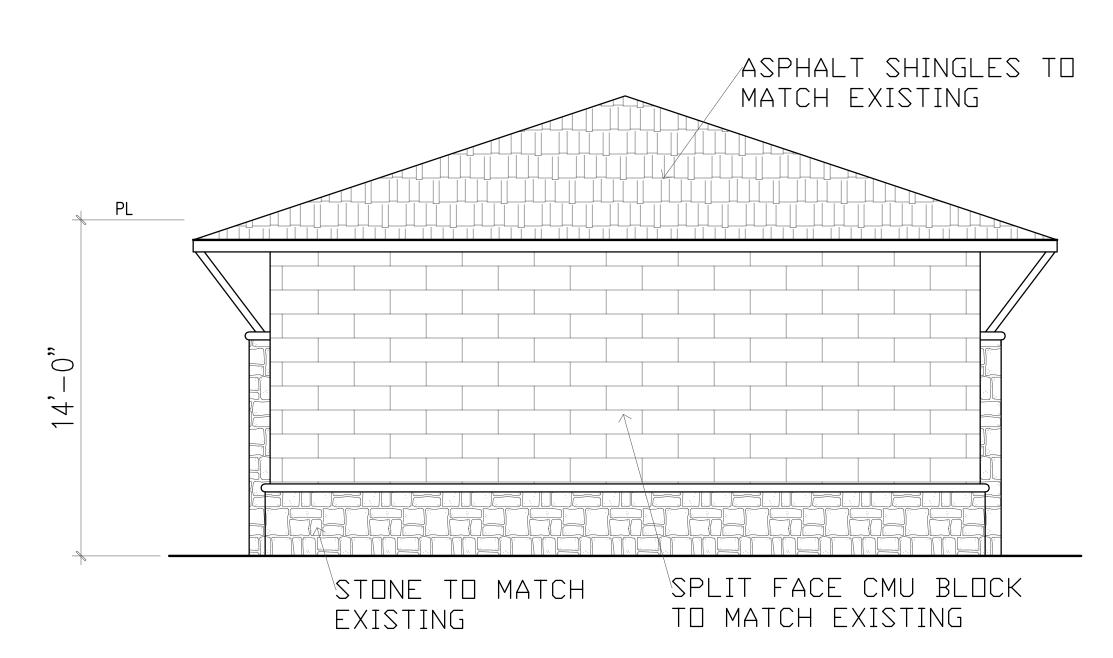
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SPLIT FACE CMU BLOCK STONE TO MATCH
TO MATCH EXISTING EXISTING

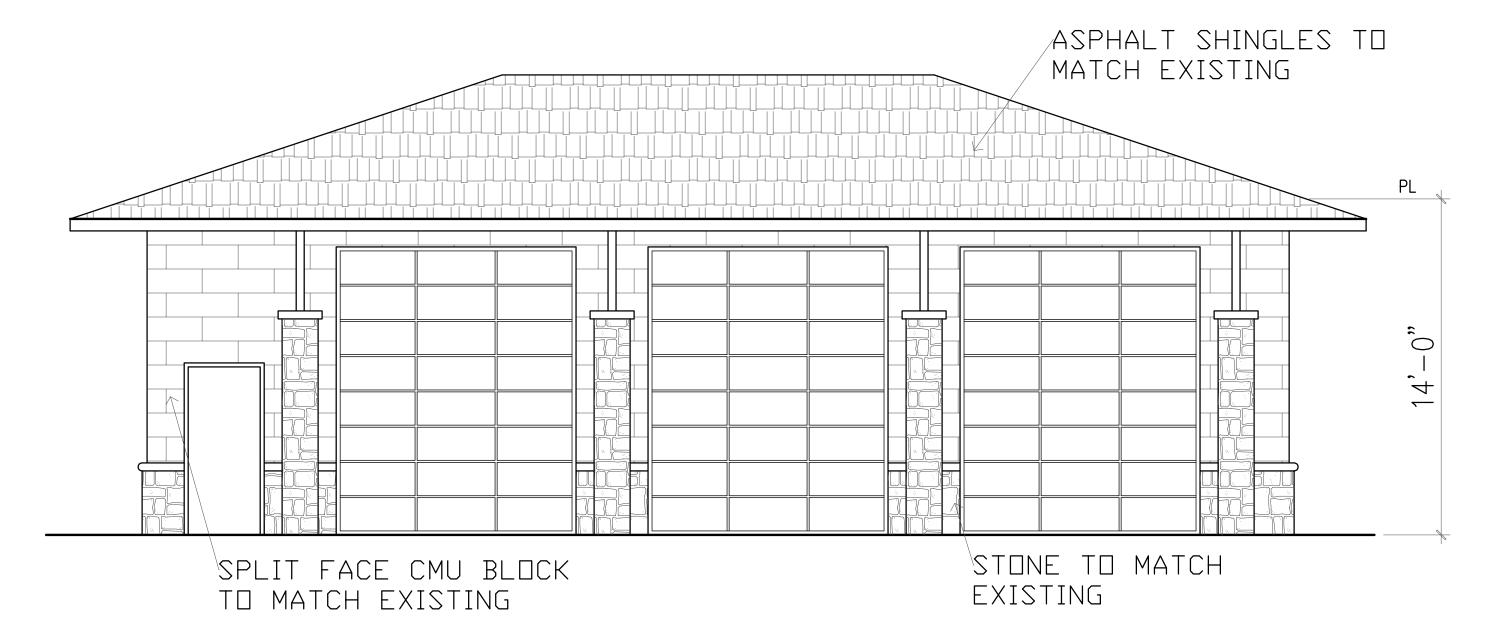
ASPHALT SHINGLES TO

MATCH EXISTING

EAST ELEVATION 100% MASONRY 24% STONE 76% BLOCK



WEST ELEVATION
100% MASONRY 24% STONE 76% BLOCK



SOUTH ELEVATION100% MASONRY 38% STONE 62% BLOCK

PRICING & CONSTRUCTION

GENERAL NOTES:

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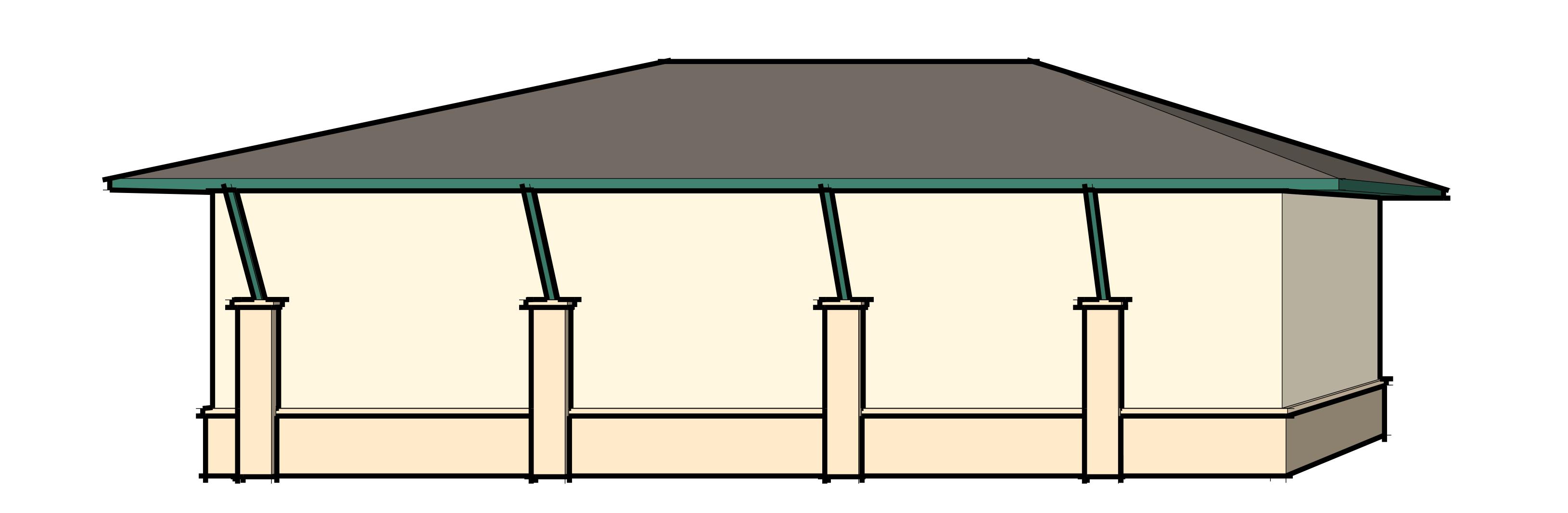
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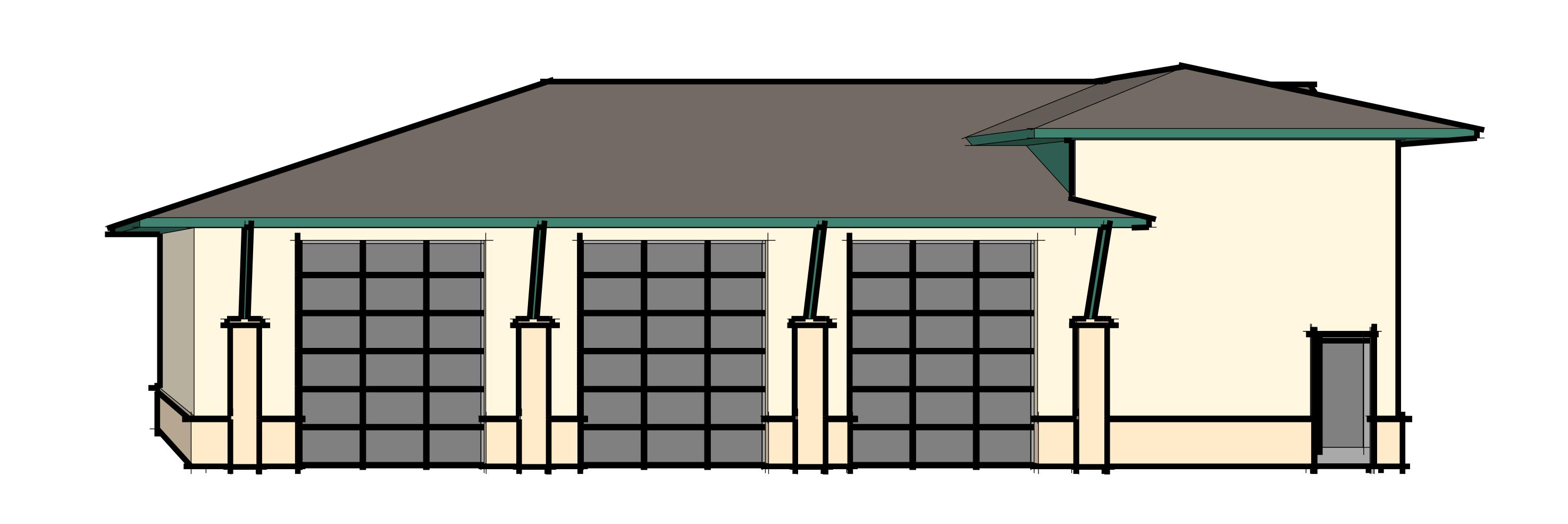
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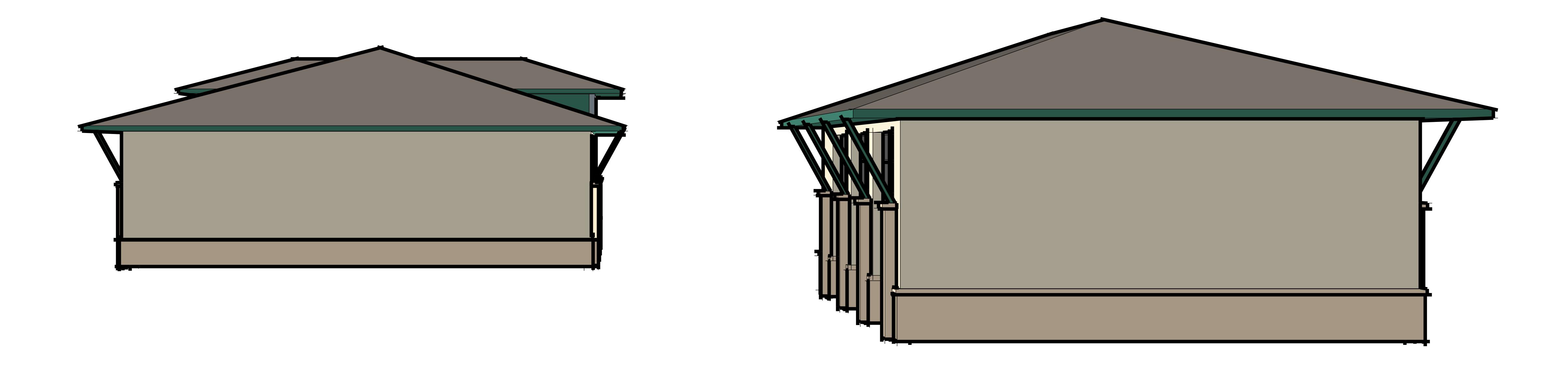
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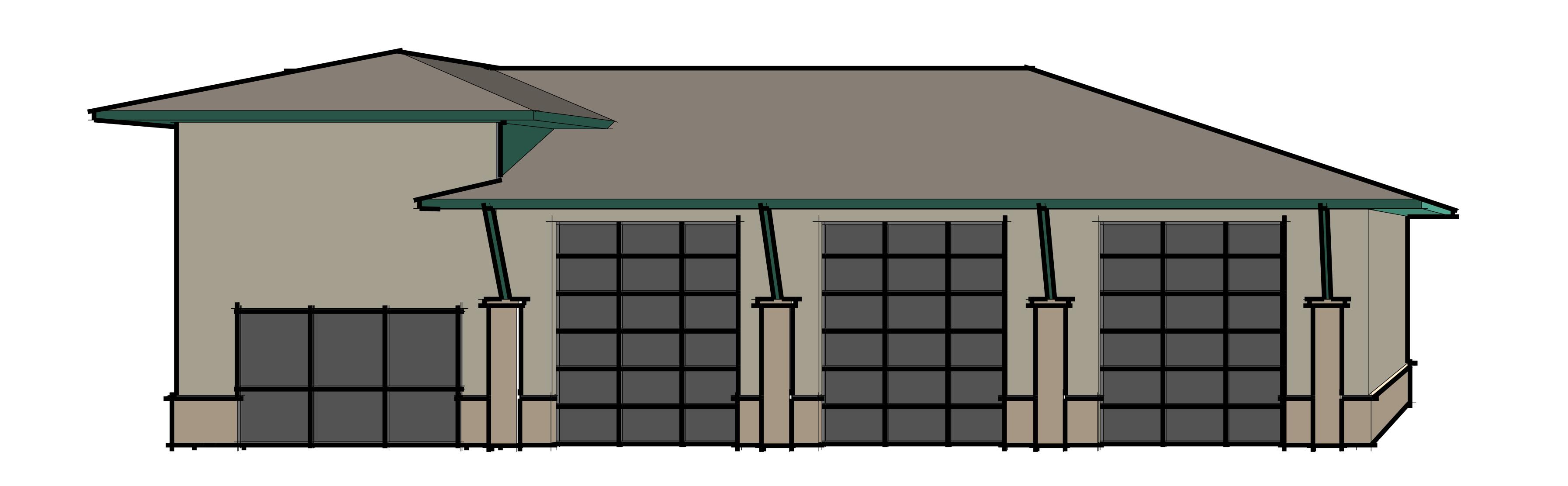
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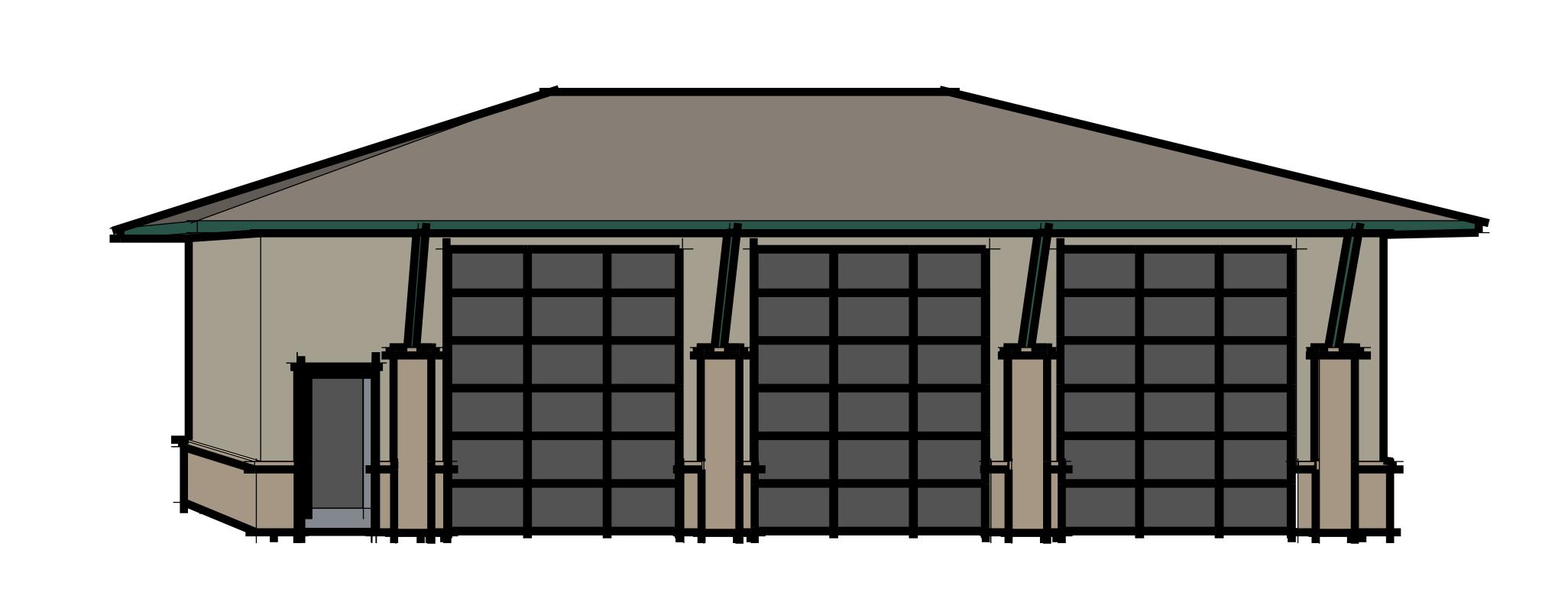
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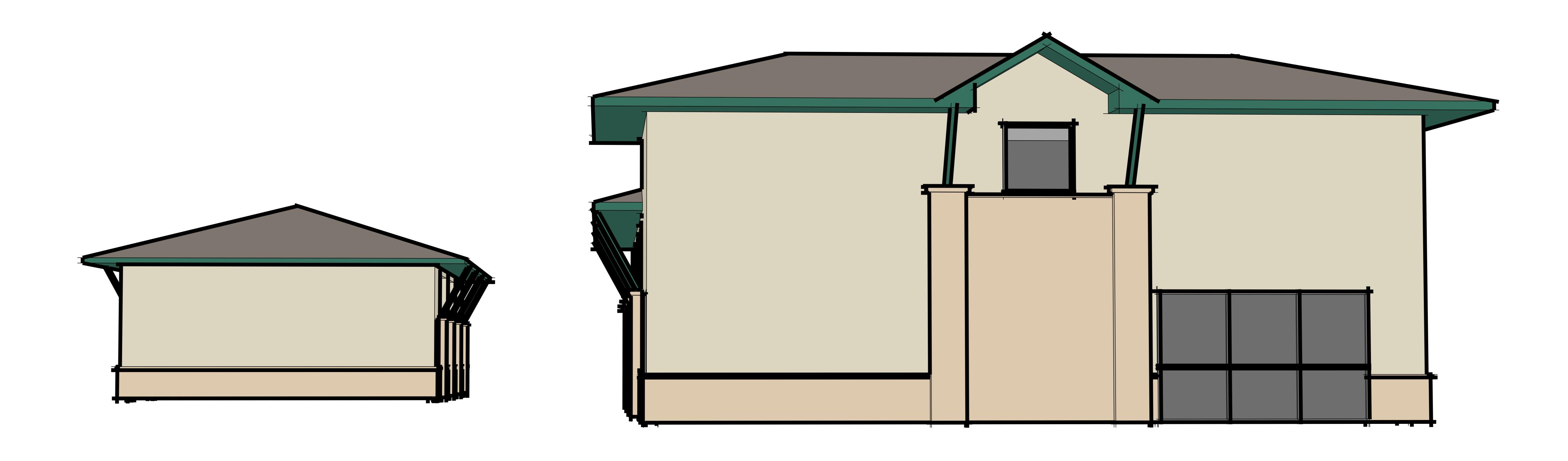


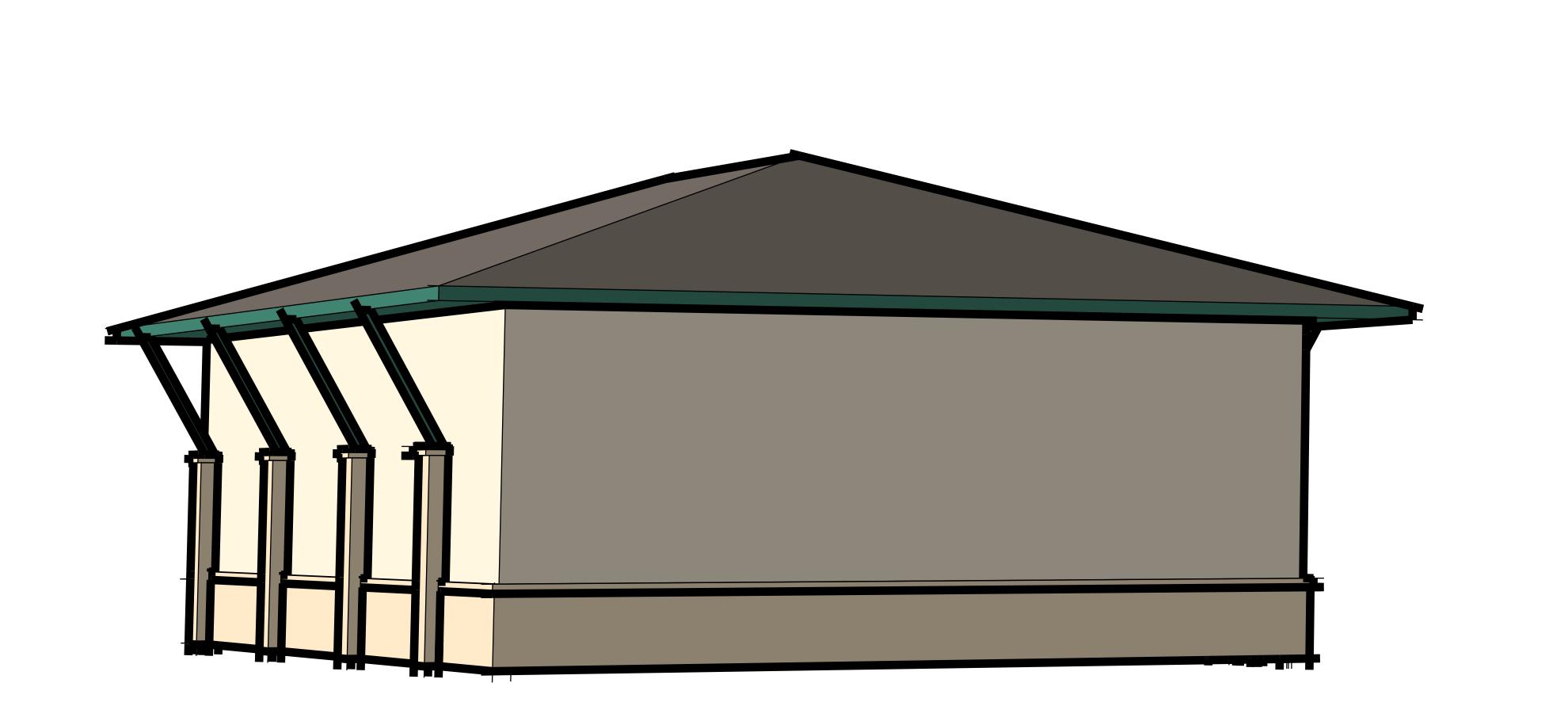


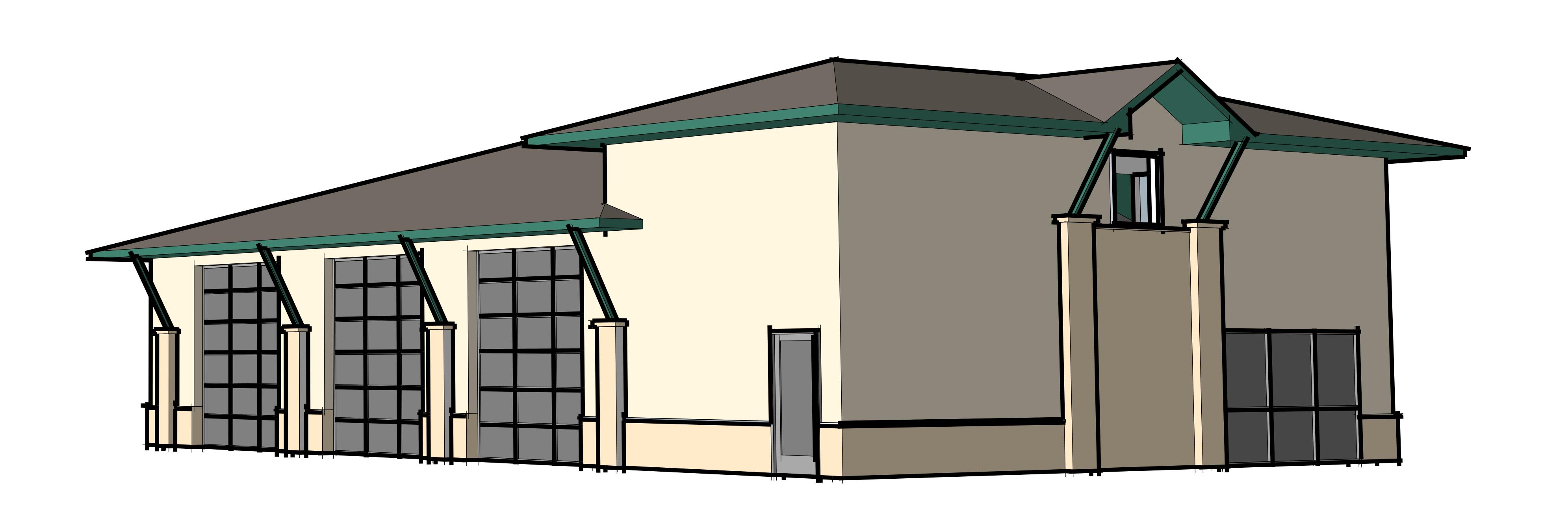


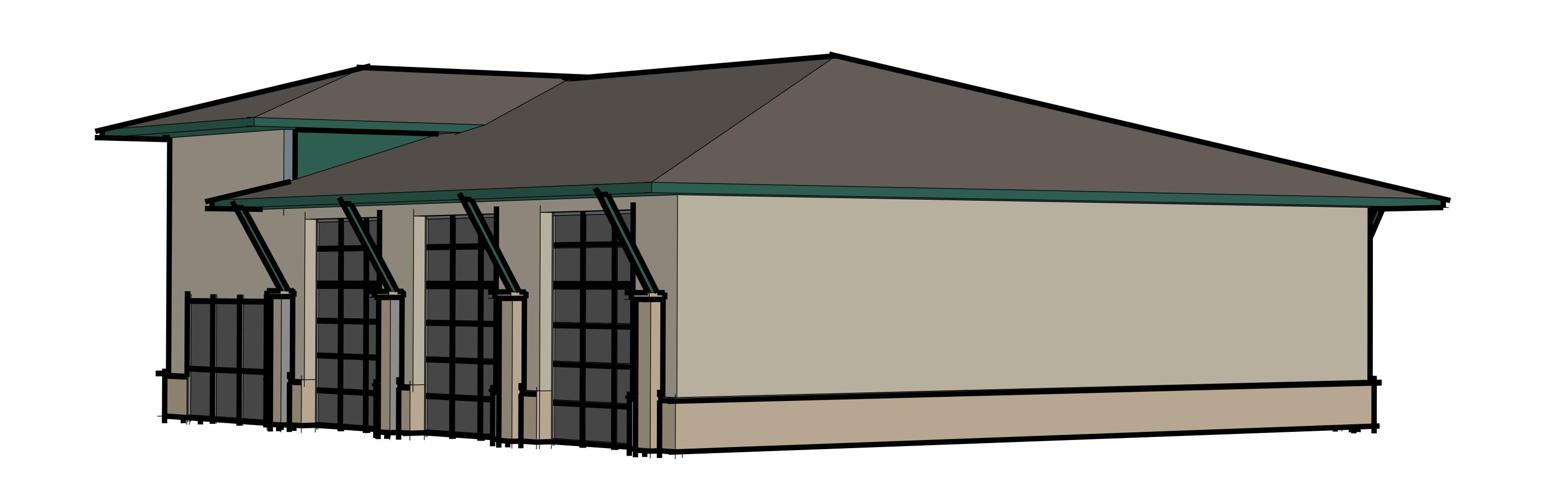


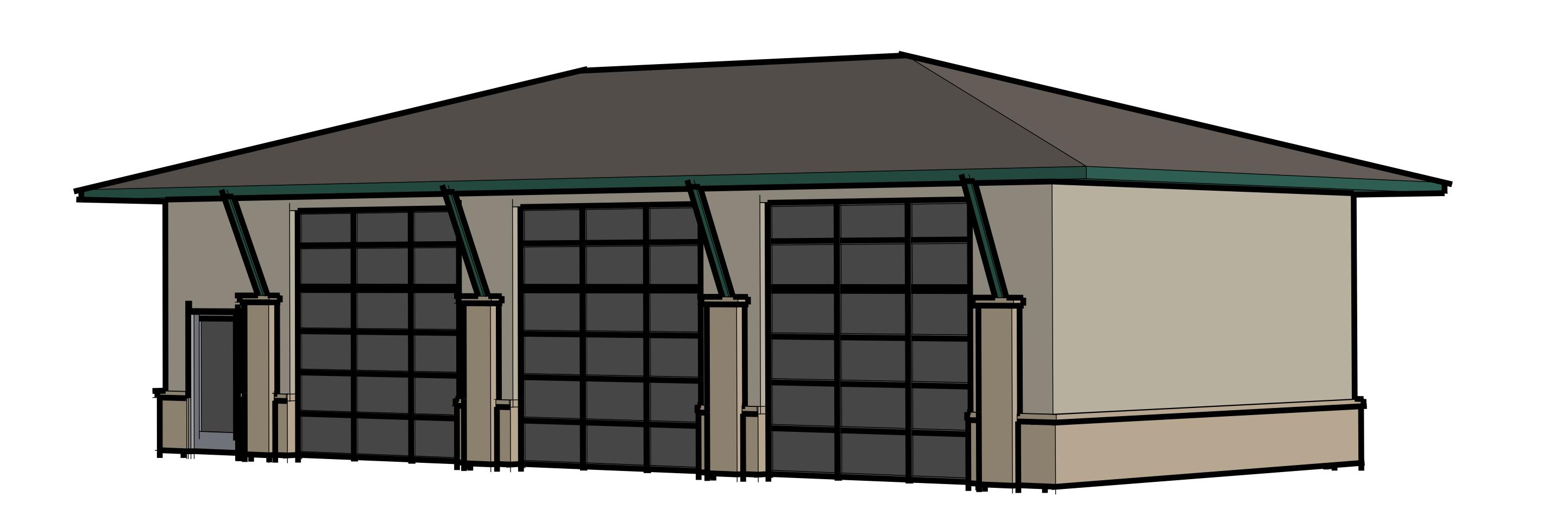


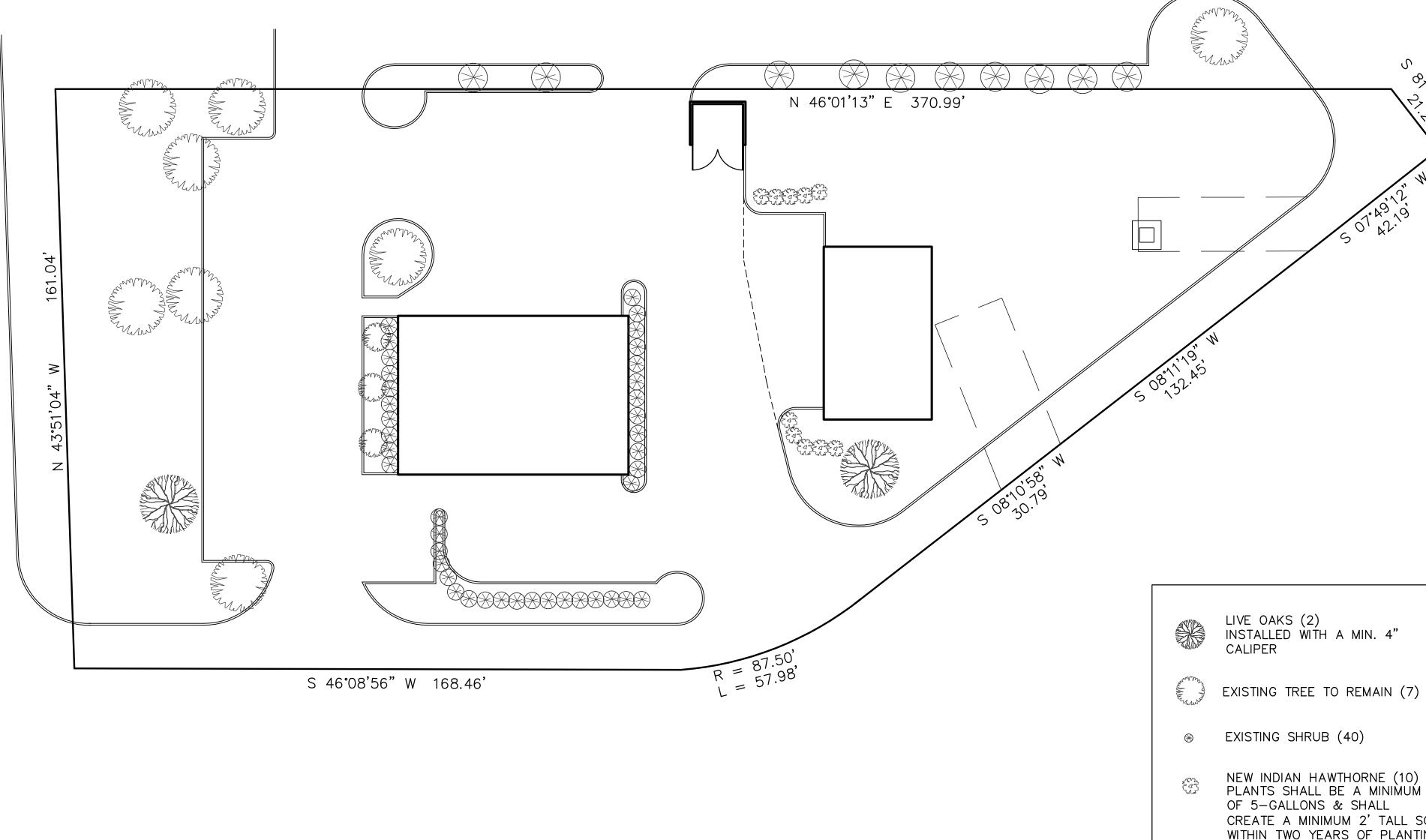












EXISTING PROVIDED NEWREQUIRED STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W. LANDSCAPE BUFFER 7,257 SF 19,817 SF TOTAL LANDSCAPE AREA 15% REQUIRED

NEW INDIAN HAWTHORNE (10) PLANTS SHALL BE A MINIMUM CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

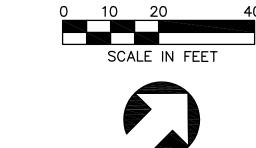
HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER IYM AUTOMOTIVE INC. 2581 HORIZON ROAD ROCKWALL, TEXAS 75032

CASE #SP2019-000



PRICING & CONSTRUCTION GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN
 NATURE AND ARE NOT INTENDED TO
 INDICATE EACH AND EVERY FITTING, OFFSET,
 OR OTHER APPURTENANCE NECESSARY TO
 COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
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- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWNICS FOR COMPLIANCE
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

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Scale: 1'' = 20'-0''

Project No.: AAAAAA

Designed: GW

Drawn: GW

Checked: WM

SHEET

MM/DD/YEAR



PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 8, 2019

APPLICANT: Greg Wallis; Mershawn Architects

CASE NUMBER: SP2019-035; Site Plan for Kwik Kar

SUMMARY

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of the owner for the approval of a site plan for the expansion of an existing Minor Auto Repair Garage on a 1.1107-acre parcel of land identified as Lot 4, Block 1, Horizon Village Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 2581 Horizon Road [FM-3097], and take any action necessary.

BACKGROUND

The subject property was annexed on May 19, 1986 by *Ordinance No. 86-37*. On May 16, 2005, the City Council approved a Specific Use Permit (SUP) [*Ordinance 05-20; Case No. Z2005-012; S-019*] to allow a minor automotive repair garage on the subject property. On September 3, 2019, the City Council approved a Specific Use Permit (SUP) [*Ordinance 19-31; Case No. Z2019-015; S-211*] to allow the expansion of an existing minor auto repair garage on the subject property.

PURPOSE

The applicant is requesting approval of a site plan for the purpose of expanding an existing minor automotive repair garage (*i.e.* Kwik Kar). The applicant has stated that constructing a second building on the subject property will help manage the current volume of vehicles being serviced.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2581 Horizon Road [FM-3097]. The land uses adjacent to the subject property are as follows:

<u>North</u>: Directly north of the subject property is a hardware store (*i.e. Lowes Improvement Store*) followed by Steger Towne Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this is a commercial shopping center (*i.e. Steger Towne Crossing*) followed by IH-30, which is identified as a TxDOT6D (*Texas Department of Transportation, principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

<u>South</u>: Directly south of the subject property is Horizon Road [FM-3097], which is identified as a *TxDOT4D* (*Texas Department of Transportation principle arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Following this roadway is a financial institution (*i.e. Well Fargo Bank*) and a rehabilitation facility (*i.e. Horizon Ridge Rehabilitation Management*). These areas are zoned Commercial (C) District and Planned Development District 9 (PD-9) for General Retail (GR) District land uses.

<u>East</u>: Directly east of the subject property is a restaurant (*i.e.* Sonic) followed by several commercial businesses (*e.g.* National Tire & Battery, Standard Service, Bel Fiore Salon). Beyond this is Ralph Hall Parkway, which is identified as a M4D (major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

<u>West</u>. Directly west of the subject property is a carwash facility (*i.e. Horizon Car Wash*) followed by Horizon Road [FM-3097], which is identified as a TxDOT4D (*Texas Department of Transportation principle arterial, six* [6] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this there are several commercial businesses (*e.g. Bank of America, Pizza Hut, Kroger*). These areas are zoned Commercial (C) District and Planned Development District 9 (PD-9) for General Retail (GR) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, Land Use Schedule, of Article IV, Permissible Uses, of the Unified Development Code (UDC), a Minor Auto Repair Garage is permitted by Specific Use Permit (SUP) in a Commercial (C) District. In this case, on September 3, 2019, the City Council approved a Specific Use Permit (SUP) [Ordinance 05-20; Case No. Z2005-012; S-019] and no additional approvals regarding land use are necessary. Currently, there is an 8,431 SF building on the subject property and the applicant is proposing to construct a second building that will be approximately 1,440 SF and located behind the existing building. According to the submitted building elevations, the new structure will match the existing structure with regard to design and materials. With the exception of the exceptions being requested the submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	48,383 SF; In Compliance
Minimum Lot Frontage	60-Feet	161-Feet; In Compliance
Minimum Lot Depth	100-Feet	371-Feet; In Compliance
Minimum Front Yard Setback	15-Feet	15-Feet; In Compliance
Minimum Rear Yard Setback	10-Feet	10-Feet; In Compliance
Minimum Side Yard Setback	10-Feet	10-Feet; In Compliance
Maximum Building Height	60-Feet	20-Feet; In Compliance
Max Building/Lot Coverage	60%	9%; In Compliance
Minimum Number of Parking Spaces	18-Spaces	18-Spaces; In Compliance
Minimum Landscaping Percentage	25%	41%; In Compliance
Maximum Impervious Coverage	85-90%	59%; In Compliance

TREESCAPE PLAN

This request does not require a treescape plan since there are no protected trees being removed.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 4.05, Commercial (C) District, of Section 4, Commercial Districts, of Article V, District Development Standards, of the Unified Development Code (UDC), the Commercial (C) District is the "...proper zoning classification for most types of commercial development..." and "...excludes land uses that are not compatible with retail shopping..." The Unified Development Code (UDC) goes on to state that the Commercial (C) District is a "...general business zoning and is intended to service most commercial land uses..." In this case, since the minor auto repair garage is a general commercial operation, the applicant's request appears to conform to the district development standards stipulated in the Unified Development Code (UDC).

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) Conditional Land Use Standards

According to Subsection 2.03(H)(2), *Minor Auto Repair Garage*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), garage doors or bays shall not face the street or a residential lot. In this case, since the bays of proposed building face the street, approval of an exception to the *Conditional Land Use Standards* is required.

(2) Building Articulation

(a) According to Subsection 4.01.C, *Building Articulation*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the maximum wall length of primary building facades shall not exceed three (3) times the wall height (*i.e. 14-feet x 3 = 42-feet in length*) without incorporating a secondary entryway/architectural element. In this case, the south (front) and north (rear) elevations are 48-feet in length and do not incorporate a secondary entryway/architectural element. Since this exceeds the maximum allowable wall length of 42-feet in length, approval of an exception to the building articulation standards is required. In this case, the applicant is providing additional canopy trees and plants on site adjacent to the new building. Additionally, the applicant is including 24-38% natural stone on each façade. Staff should note, the front of the building will consist of bay doors, which provide some relief on the façade. Since there is an existing building on the property, it seems appropriate for the design and materials of the new building to be consistent.

Section 9, Exceptions and Variances, of Article XI, Development Applications and Review Procedures, of the Unified Development Code (UDC), gives the Planning and Zoning Commission the ability to grant exceptions to the general standards should the request meet one (1) of the following; [1] where unique or extraordinary conditions exist or [2] where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. When exceptions are being requested, the applicant shall provide two (2) compensatory measures that directly offset each requested exception. In this case, the applicant is providing a combination of a berm, shrubs and plants in the landscape buffer and is utilizing 100% masonry. In addition, the applicant is incorporating 24%-38% natural stone on each building facade. Staff should note, that the property is adiacent to other automotive land uses. The proposed building will be located behind the main structure, which will limit visibility of the bays; however, the bays may still be slightly visible from the street. It should also be noted, that the bay doors on the front of the building provide some relief to the buildings' façade. Since there is an existing building on the property, it seems appropriate for the design and materials of the new building be consistent with the existing building. With this being said these exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a supermajority vote (i.e. three-fourths vote of those members present) . In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Southwest Residential District. This district contains a mixture of low and medium density residential, commercial/industrial and commercial/retail land uses. It is expected that in the future, the district will continue to function as it does today with low density master planned communities being developed on the remaining vacant land. The subject property is considered to be a commercial/retail land use, which is characterized by single to multi-tenant commercial retail centers along major intersections. Primary land uses of the commercial/retail land use include restaurants, neighborhood centers, convenience centers, and commercial retail buildings. Secondary land uses are comprised of

office/financial institutions, parks, open space, and institutional/civic land uses. Typically, commercial/retail land uses are zoned Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts. In this case, the property is zoned Commercial (C) District and the proposed minor automotive repair garage can be considered a neighborhood/convenience use. Taking these factors into consideration, the applicant's request appears to conform to the OURHometown Vision 2040 Comprehensive Plan.

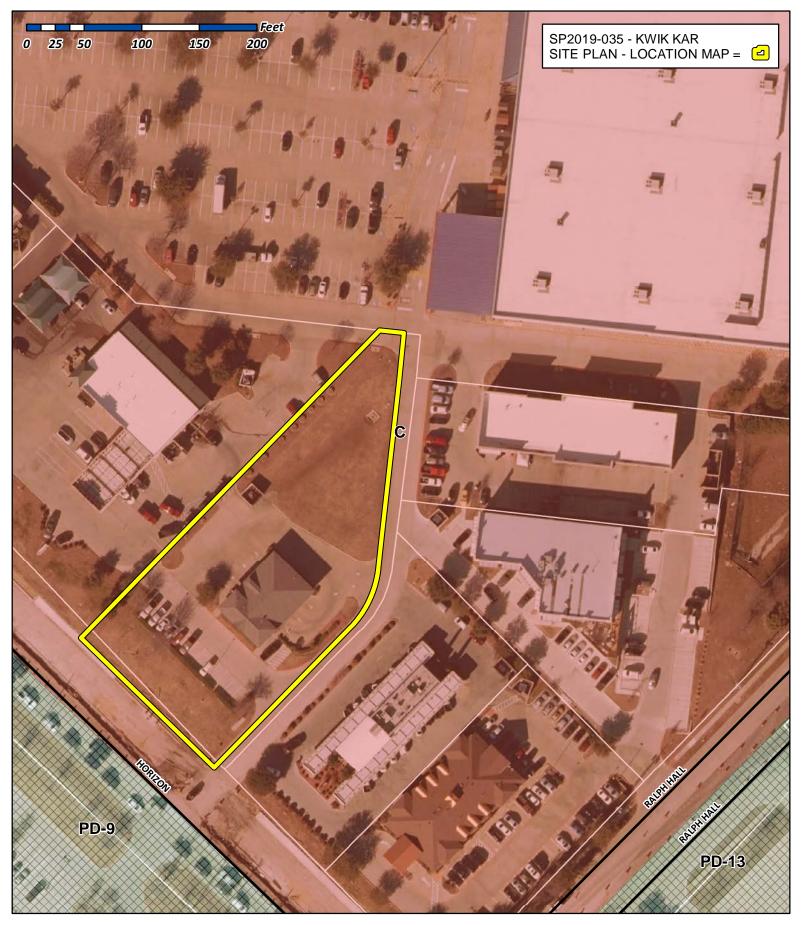
ARCHITECTURAL REVIEW BOARD (ARB):

On September 24, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to approve by a vote of 5-0 with Board Members Mitchell and Johnson absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The minor automotive repair garage shall generally conform to the concept plan and building elevations depicted in Exhibits 'B' and 'C' of the approved Specific Use Permit (SUP) ordinance;
- (2) Vehicles, equipment, parts, and/or inventory shall not be stored outside overnight;
- (3) All work must be performed within an enclosed building;
- (4) The addition shall match the design and materials of the existing buildings;
- (5) A ten (10)-foot landscape buffer consisting of ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage; and
- (6) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

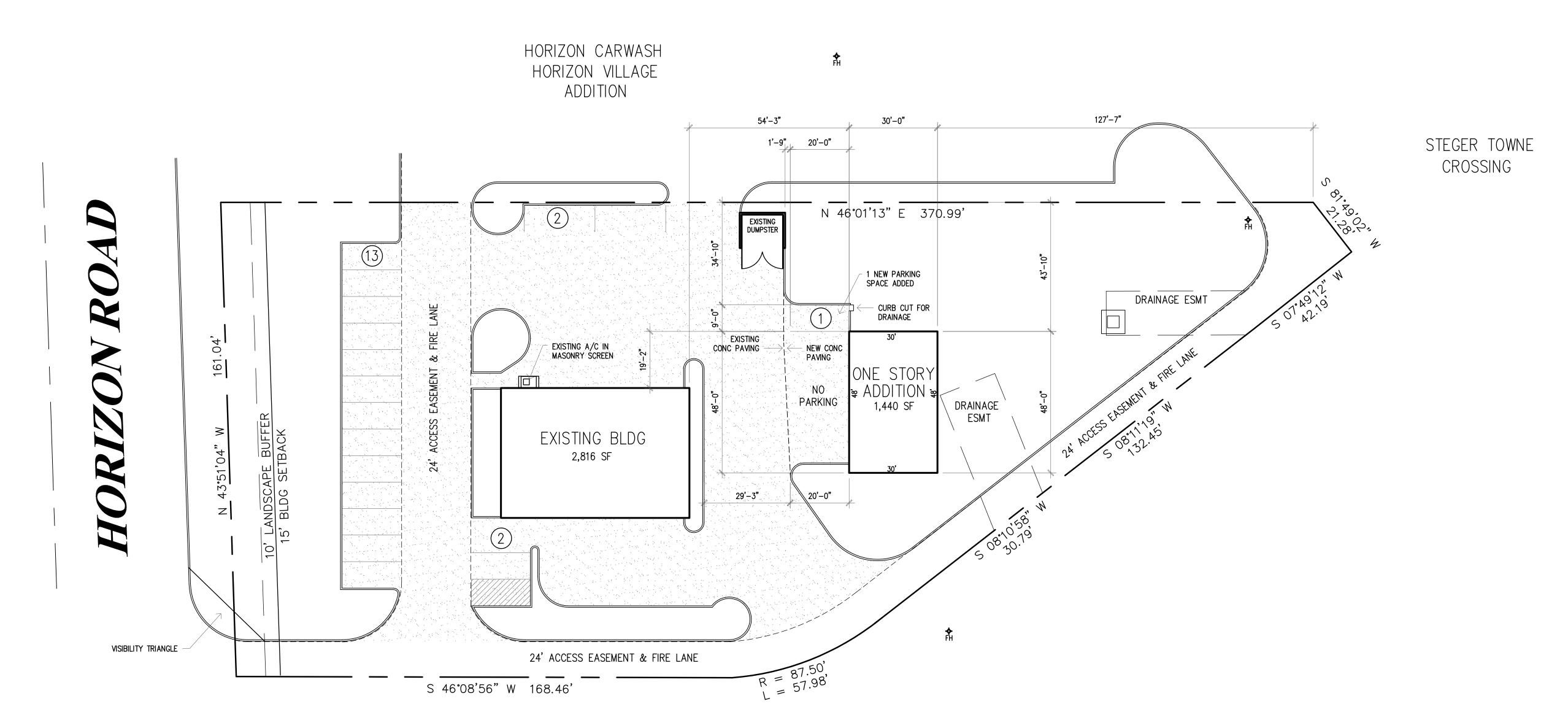




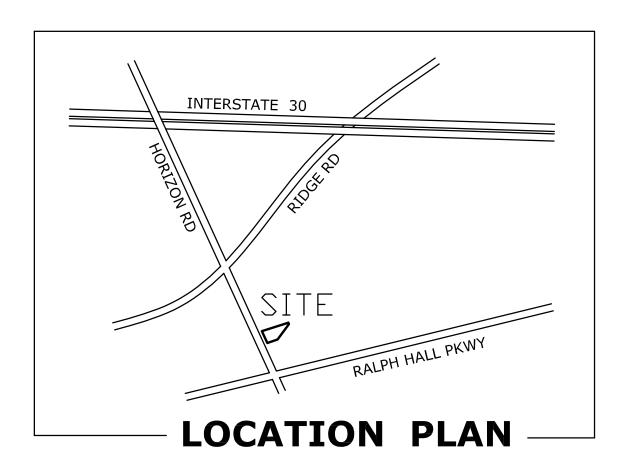
City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





HORIZON VILLAGE ADDITION



MINIMUM LANDSCAPE AREA 25% REQUIRED	12,096 SF	19,817 SF
MINIMUM LOT AREA	10,000 SF	48,383 SF
MINIMUM LOT WIDTH	60 LF	161 LF
MINIMUM LOT DEPTH	100 LF	371 LF
MINIMUM FRONT SETBACK	15 LF	15 LF
MINIMUM REAR SETBACK	10 LF	10 LF
MINIMUM SIDE SETBACK	10 LF	10 LF
MINIMUM DISTANCE BETWEEN BUILDINGS	15 LF	54′ LF
MAXIMUM BUILDING HEIGHT	60 LF	20′ LF
MAXIMUM LOT COVERAGE	60%	9%
MAXIMUM FLOOR AREA RATIO	4:1	.009:1
MAXIMUM IMPERVIOUS AREA	85%	59%

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: C 2. PROPOSED USE: OIL CHANGE

3. PROPERTY AREA (GROSS): 48,383 SF 1.11 AC 4. BUILDING AREA: PROPOSED 1,440 SF

5. BUILDING HEIGHT: ONE STORY - 20'-6" 6. LOT COVERAGE : 8.8% F.A.R. = 0.009:1

7. PARKING REQUIRED: 2 PER EACH BAY = 18 SPACES REQUIRED

8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

9. TOTAL PARKING PROVIDED: 17 EXISTING SPACES/1 NEW SPACE=18 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF

HORIZON VILLAGE

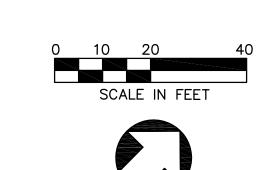
BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1

LOT 4 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER IYM AUTOMOTIVE INC.

2581 HORIZON ROAD ROCKWALL, TEXAS 75032 CASE #SP2019-035

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SHEET

KWIK KAR ROCKWALL, TEXAS

Checked: WM

Scale: 1'' = 20'-0''

Project No.: AAAAAA

Designed: GW

Drawn: GW

MM/DD/YEAR

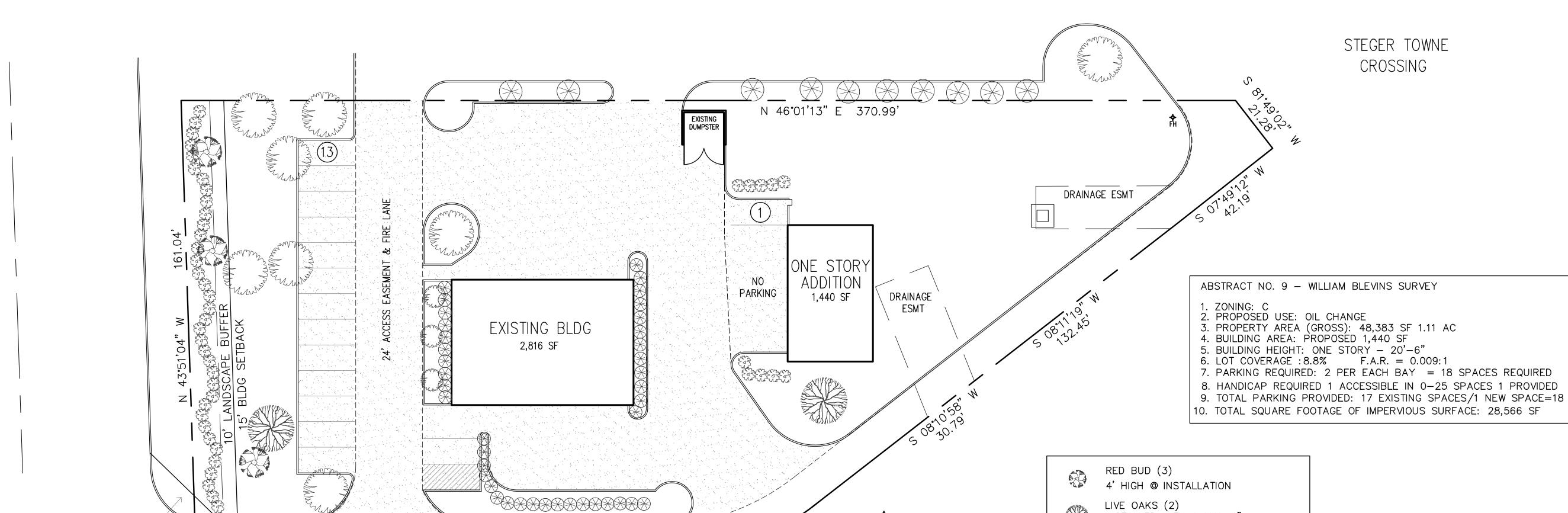
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Scale: 1'' = 20' - 0''MM/DD/YEAR Project No.: AAAAAA

Designed: GW Drawn: GW Checked: WM

SHEET

HORIZON CARWASH HORIZON VILLAGE ADDITION

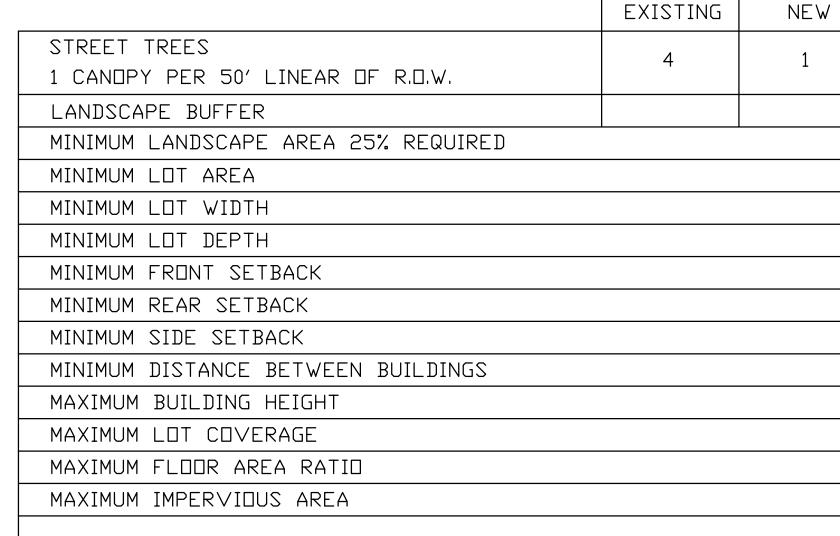


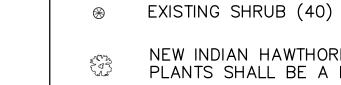
= 57.98

HORIZON VILLAGE ADDITION

24' ACCESS EASEMENT & FIRE LANE

S 46°08'56" W 168.46'





PROVIDED

35′

19,817 SF

48,383 SF

161 LF

371 LF

15 LF

10 LF

10 LF

54' LF

20' LF

9%

.009:1

59%

REQUIRED

12,096 SF

10,000 SF

60 LF

100 LF

15 LF

10 LF

10 LF

15 LF

60 LF

60%

85%

NEW INDIAN HAWTHORNE (46) PLANTS SHALL BE A MINIMUM OF 3-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

EXISTING TREE TO REMAIN (7)

INSTALLED WITH A MIN. 4"

CALIPER

ALL REQUIRED LANDSCAPE AND SCREENING SHALL BE MAINTAINED IN A HEALTHY MANOR OR REPLACED AS NEEDED ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SOD, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES. ALL CONCRETE PAVING SHALL HAVE A 6" CURB

HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

2581 HORIZON ROAD ROCKWALL, TEXAS 75032 CASE #SP2019-035

OWNER IYM AUTOMOTIVE INC.

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SCALE IN FEET

PRICING & CONSTRUCTION

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WORKING SYSTEMS AS NEEDED.

COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL

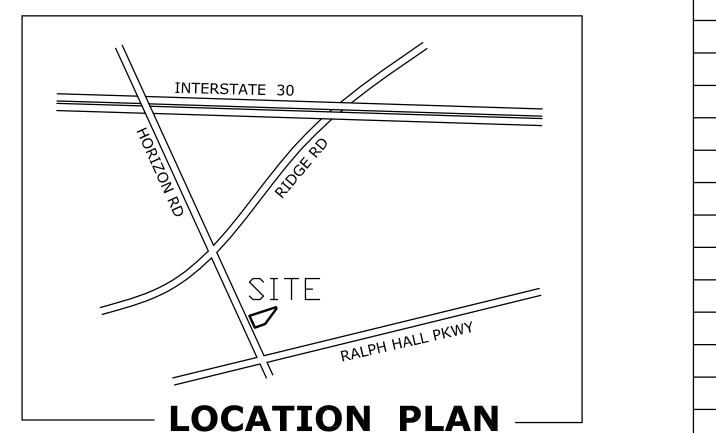
AND INSTALL ANY COMPONENTS MISSED FOR

THE ATTENTIONS OF THE ARCHITECT (IN

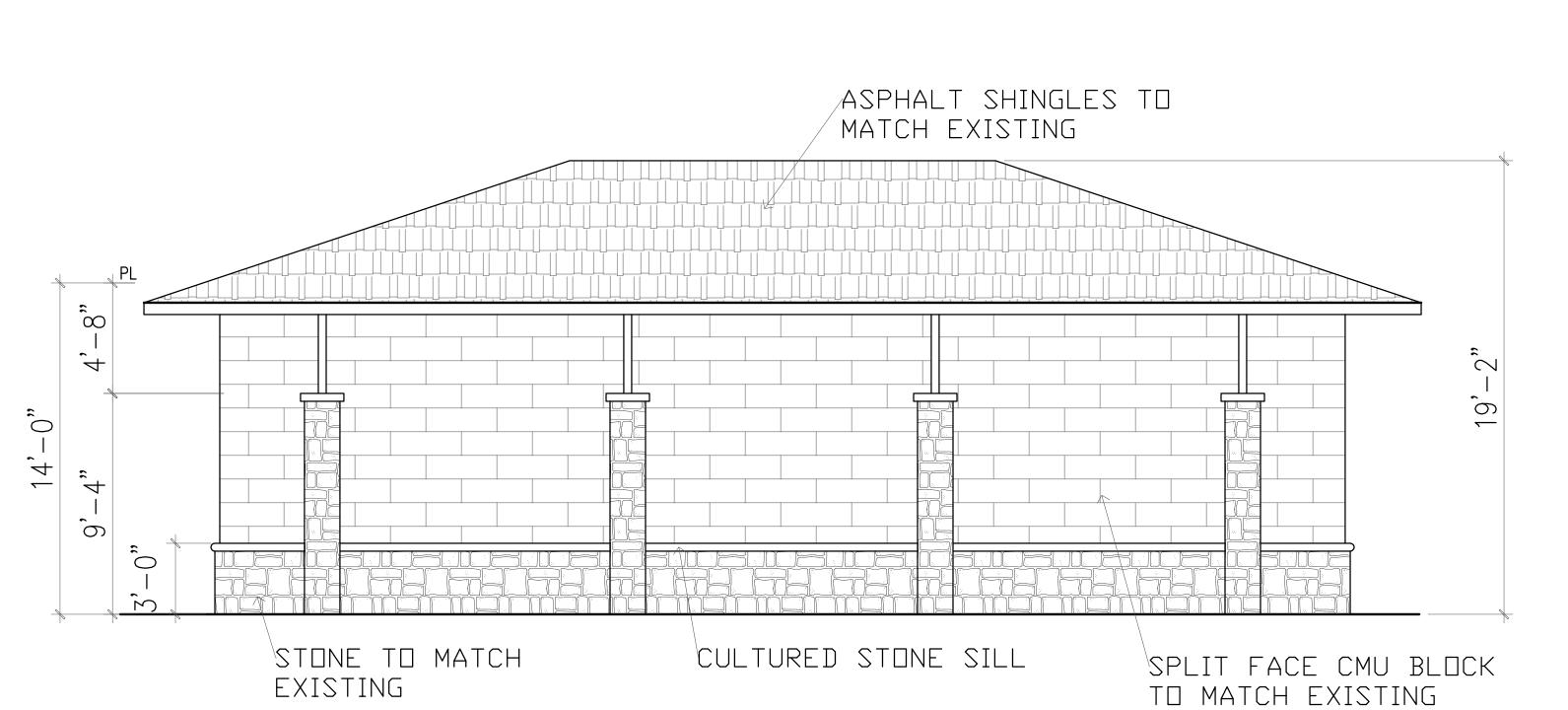
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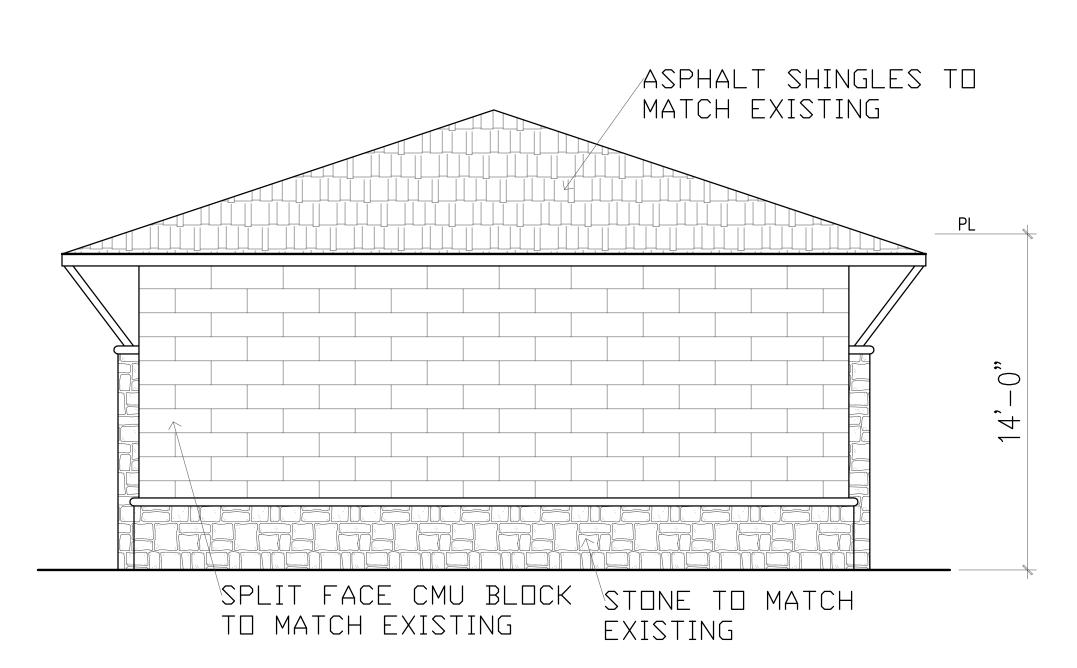
GENERAL NOTES:



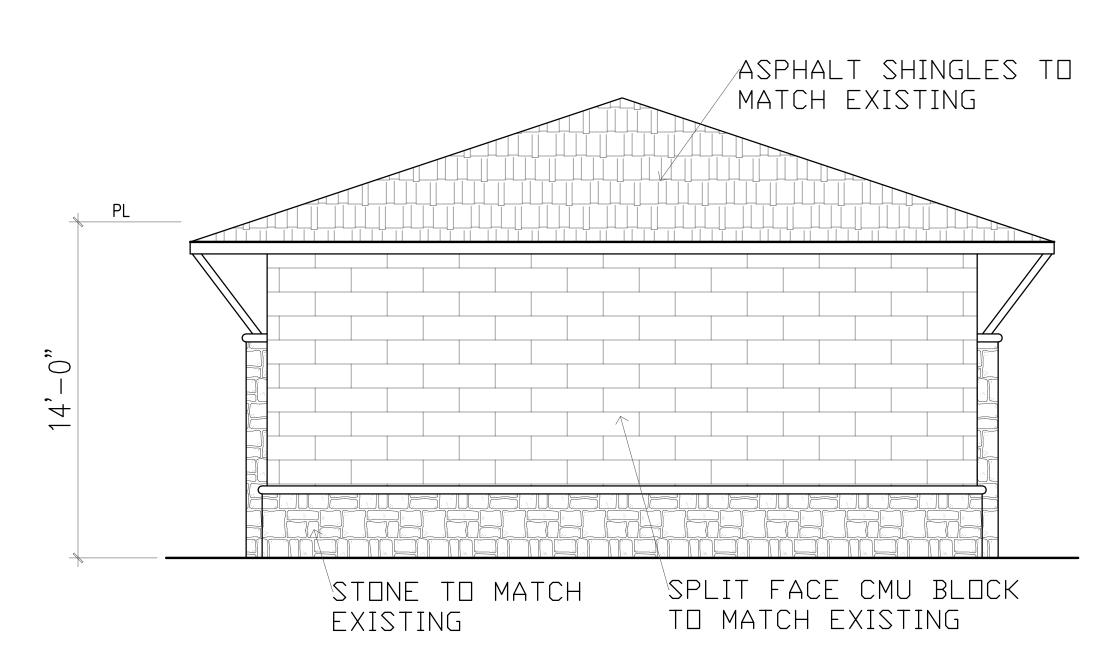
VISIBILITY TRIANGLE



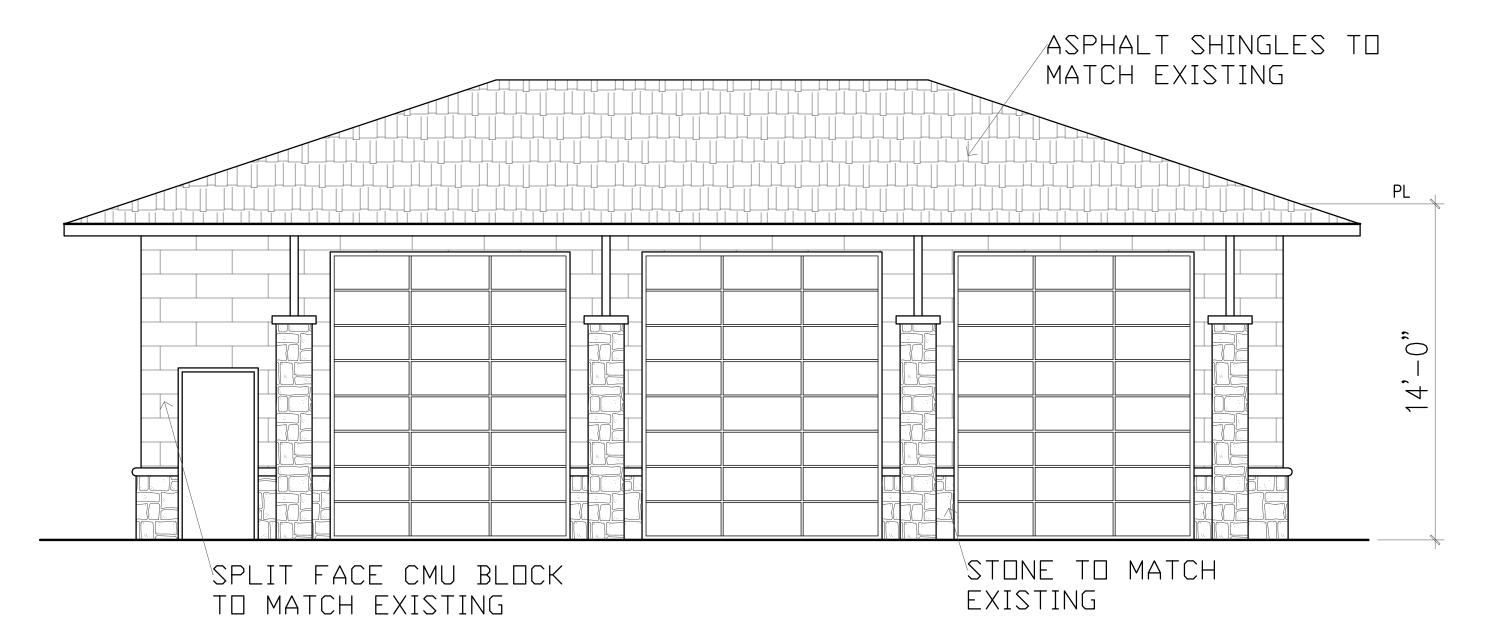
NORTH ELEVATION **100% MASONRY 30% STONE 70% BLOCK**



EAST ELEVATION **100% MASONRY 24% STONE 76% BLOCK**



WEST ELEVATION **100% MASONRY 24% STONE 76% BLOCK**



SOUTH ELEVATION **100% MASONRY 38% STONE 62% BLOCK**

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DRAWINGS FOR COMPLIANCE.

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Scale: 1/4" = 1'-0"

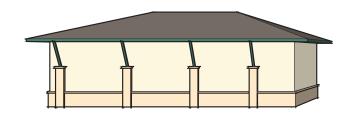
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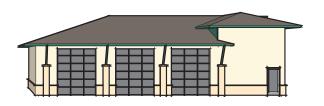
Designed: GW

Drawn: GW

Checked: WM

SHEET

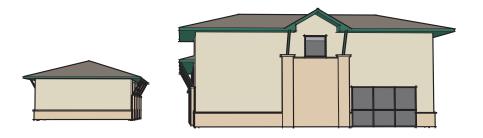


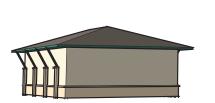




















October 14, 2019

ATTN: GREG WALLIS MERSHAWN ARCHITECTS 1520 E. IH-30, ROCKWALL, TX 75087

RE:

SITE PLAN (SP2019-035), Kwik Kar

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 10/08/2019. The following is a record of all recommendations, voting records and conditions of approval:

ARCHITECTURAL REVIEW BOARD (ARB):

On September 24, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to approve by a vote of 5-0 with Board Members Mitchell and Johnson absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The minor automotive repair garage shall generally conform to the concept plan and building elevations depicted in Exhibits 'B' and 'C' of the approved Specific Use Permit (SUP) ordinance;
- (2) Vehicles, equipment, parts, and/or inventory shall not be stored outside overnight;
- (3) All work must be performed within an enclosed building;
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- (5) A ten (10)-foot landscape buffer consisting of ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage; and
- (6) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On October 8, 2019, the Planning and Zoning Commission's motion to approve the applicant's request passed by a vote of 7-0.

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely

Korey Brooks, AICP

Senior Planner
Planning & Zoning Department

City of Rockwall, TX