



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-023 P&Z DATE 8/27/19 CC DATE 9/10/19 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2019-033

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address	Harbor Heights Drive			
Subdivision	Harbor District Addition	Lot	1	Block B
General Location	Harbor Heights & Sunset Ridge Drive			

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Commercial (C) District		Current Use		
Proposed Zoning	Commercial (C) District		Proposed Use		
Acreage	2.893	Lots [Current]	1	Lots [Proposed]	1

**Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	J-BR2, LLC	<input checked="" type="checkbox"/> Applicant	Strohmeier Architects Inc
Contact Person	Dan Bobst	Contact Person	Jimmy Strohmeier
Address	2701 Sunset Ridge Suite 610	Address	2701 Sunset Ridge Suite 607
City, State & Zip	Rockwall, TX 75032	City, State & Zip	Rockwall, Texas 75032
Phone		Phone	2144972057
E-Mail		E-Mail	jimmy@strohmeierarchitects.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JIMMY STROHMEIER [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 301.84, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of August, 2019. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of August, 2019.

Owner's/Applicant's Signature

[Signature]

Notary Public in and for the State of Texas

Elizabeth A Morgan



My Commission Expires





**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 8/19/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 08/23/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 8/27/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 8/27/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number: SP2019-033**  
**Project Name: Harbor Heights**  
**Project Type: SITE PLAN**  
**Applicant Name: STROHMEYER ARCHITECTS INC**  
**Owner Name: 101 HUBBARD DR LLC**  
**Project Description:**



# RECEIPT

Project Number: SP2019-033  
Job Address: SUNSET RIDGE DR  
ROCKWALL, TX 75032

Receipt Number: B86416

Printed: 8/21/2019 2:52 pm

Fee Description	Account Number	Fee Amount
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SITE PLANNING		
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	01-4280	
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		\$ 307.86
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**Total Fees Paid:**

**\$ 307.86**

Date Paid: 8/21/2019 12:00:00AM


Paid By: STROHMEYER ARCHITECTS INC

Pay Method: CHECK 1066

Received By: LM



0 37.5 75 150 225 300 Feet

SP2019-033 - HARBOR HEIGHTS  
SITE PLAN - LOCATION MAP = 



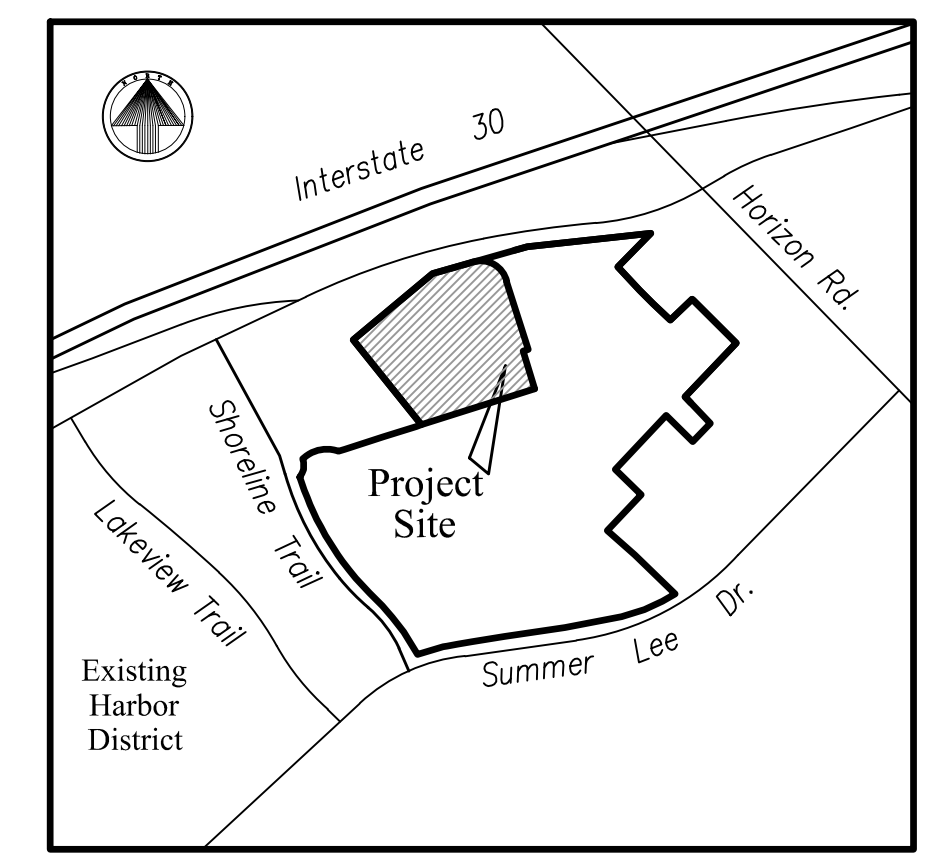
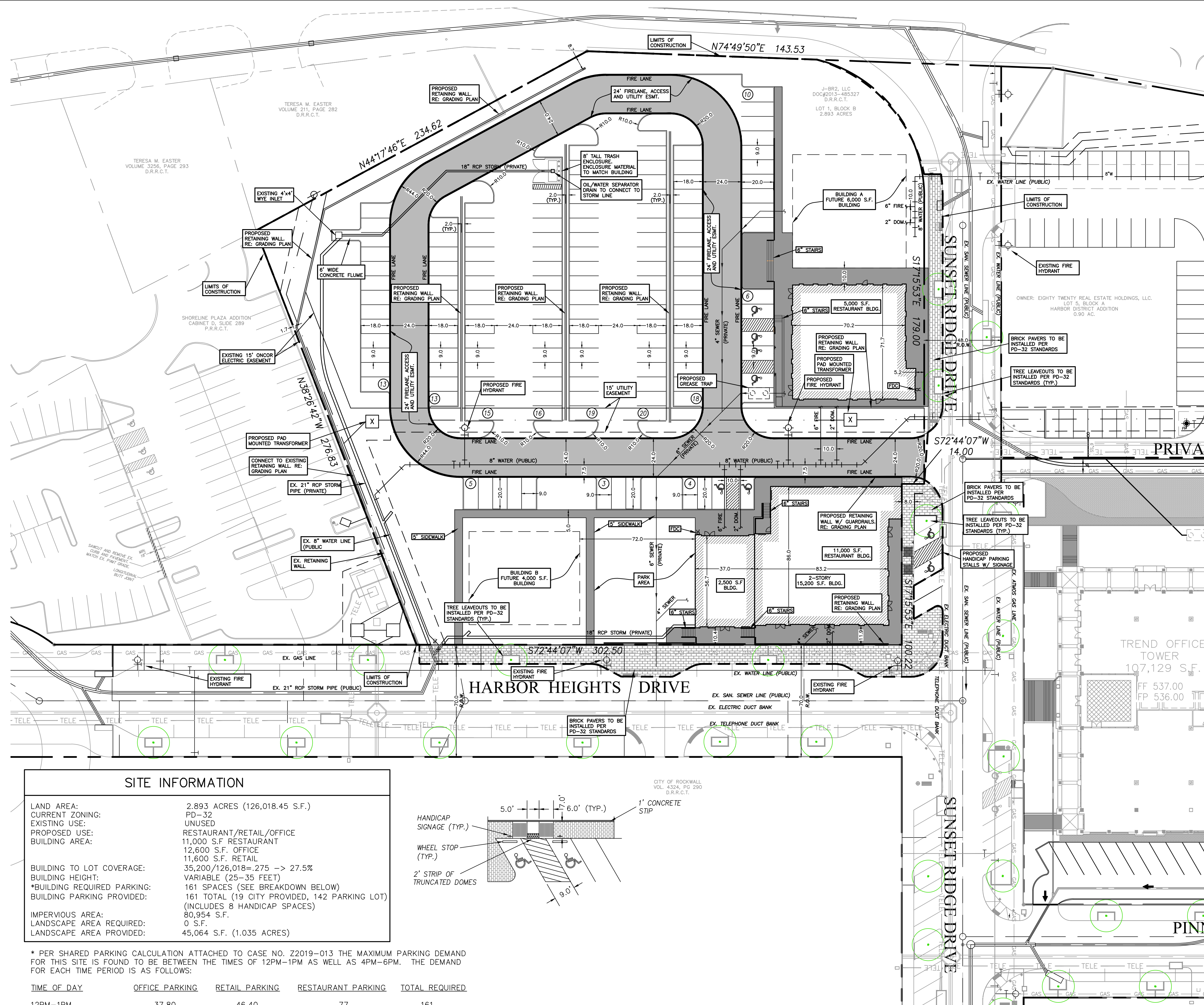
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

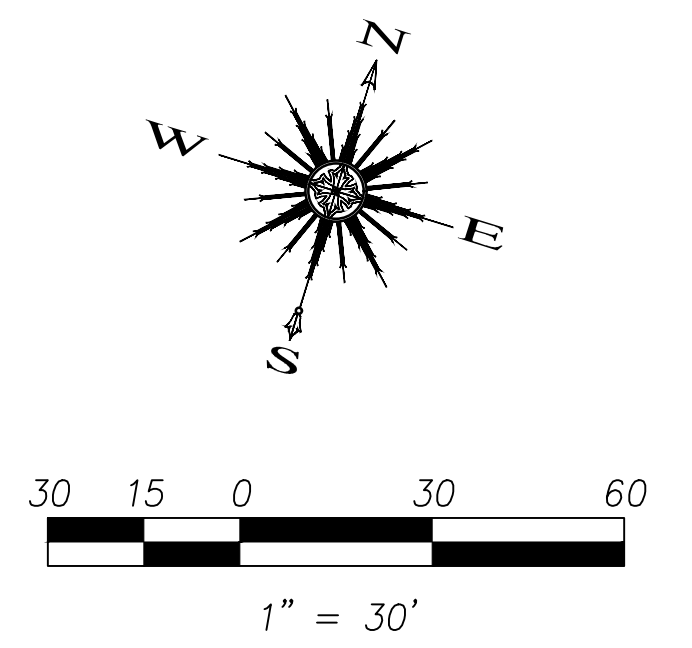
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





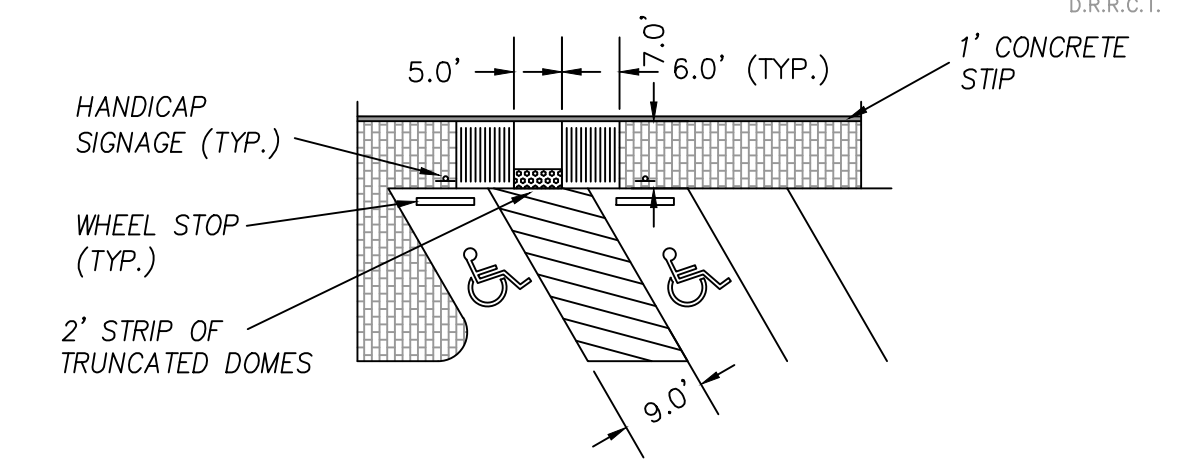


LOCATION MAP



NOTE:  
- DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RETAIL/RESTAURANT EXTERIOR.

SITE INFORMATION	
LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	11,000 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,200/126,018 = 27.5% → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)



\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

Revision	Date	Description

Owner:  
**J-BR2, LLC.**

**Harbor Heights Restaurant and Retail Site**  
Rockwall, Texas 75032

1400 Ridge Road • Rockwall, TX 75087

~ Civil Engineer ~  
**F.C. CUNY CORPORATION**  
#2 Horizon Court • Heath, Texas 75032 • (469) 402-7700  
Texas Registered Engineering Firm F-7449

8/16/2019

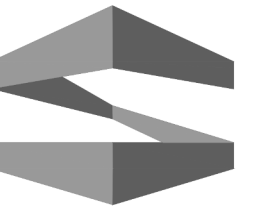
Drawn By: F.C. CUNY  
Checked By: F.C. CUNY

Date: 08/19  
Project No: -

Sheet Title:  
**Site Plan**

Scale: 1" = 30'  
Sheet No.: 1 of 1





**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

FOR SITE PLAN  
APPROVAL ONLY

**NOT FOR  
CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

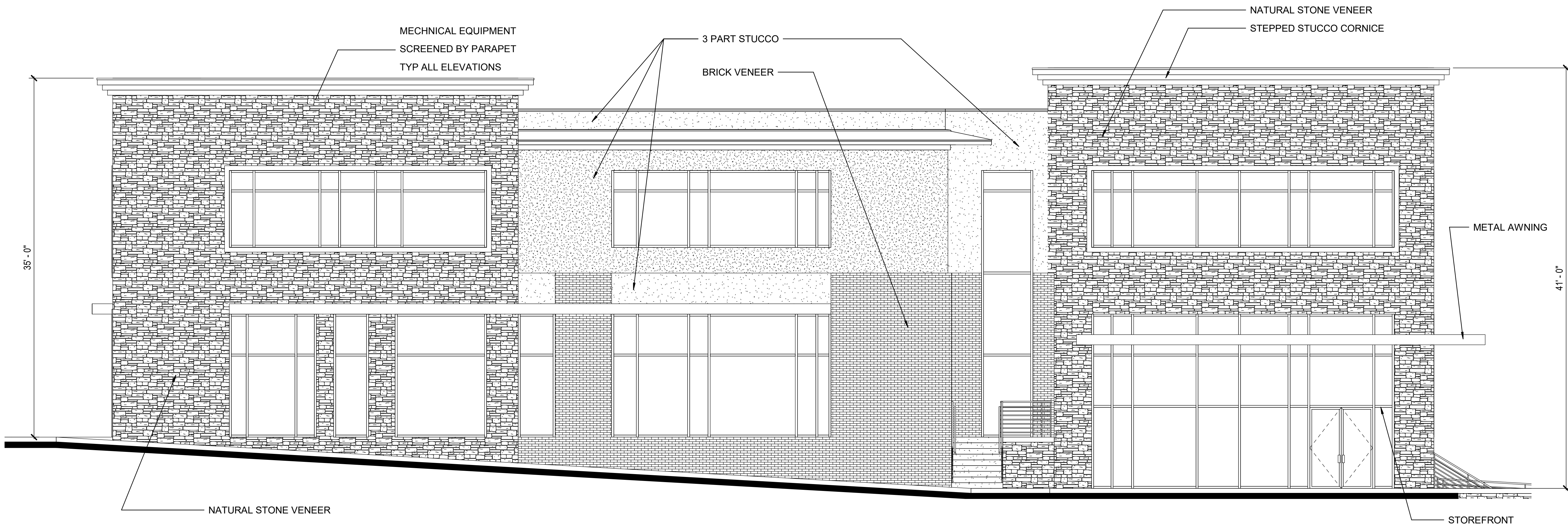
Project Number: HHRR  
Drawing Date: 8/15/2019  
Drawn: Author  
Checked: Checker  
Scale: 3/16" = 1'-0"

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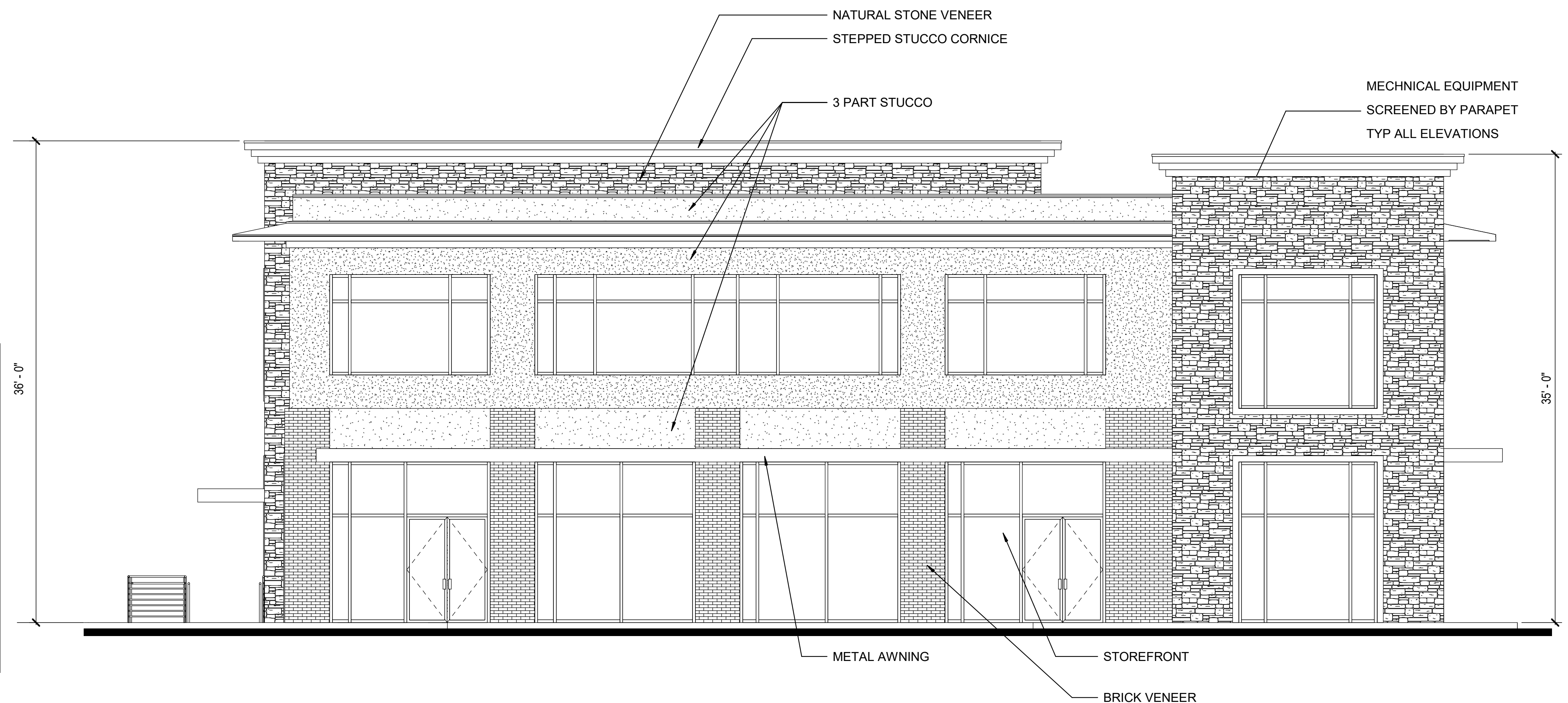
Revisions:		
#	Revision Date	Revision Description

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**ELEVATIONS -  
BUILDING "A"**

**A1**



**2 BUILDING "A" - NORTH**  
3/16" = 1'-0"



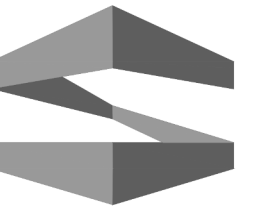
**1 BUILDING "A" - EAST**  
3/16" = 1'-0"

HHRR		8/15/19				
HARBOR HEIGHTS						
FAÇADE MATERIAL CALCULATIONS						
<b>BUILDING A</b>	<b>NORTH</b>	3,120.0	%	<b>EAST</b>	1,910.0	%
	BRICK	503.0	16.1%	BRICK	276.0	14.5%
	STONE	1,604.0	51.4%	STONE	605.0	31.7%
	METAL	184.0	5.9%	METAL	218.0	11.4%
	STUCCO	829.0	26.6%	STUCCO	811.0	42.5%
<b>BUILDING A</b>	<b>SOUTH</b>	2,890.0	%	<b>WEST</b>	2,911.0	%
	BRICK	527.0	18.2%	BRICK	430.0	14.8%
	STONE	1,306.0	45.2%	STONE	1,985.0	68.2%
	METAL	220.0	7.6%	METAL	149.0	5.1%
	STUCCO	837.0	29.0%	STUCCO	347.0	11.9%

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**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

FOR SITE PLAN  
APPROVAL ONLY

**NOT FOR  
CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: HHR  
Drawing Date: 8/15/2019  
Drawn: PC  
Checked: JS  
Scale: 3/16" = 1'-0"

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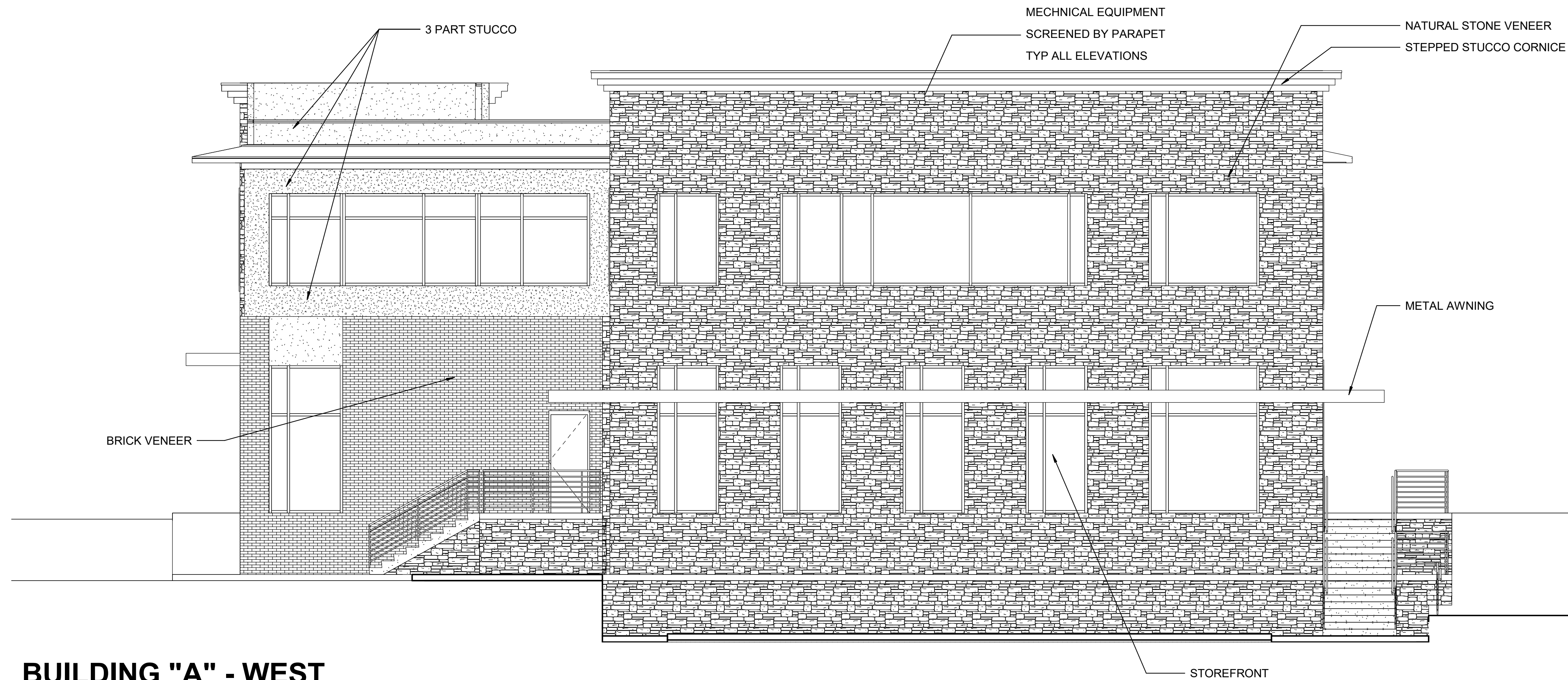
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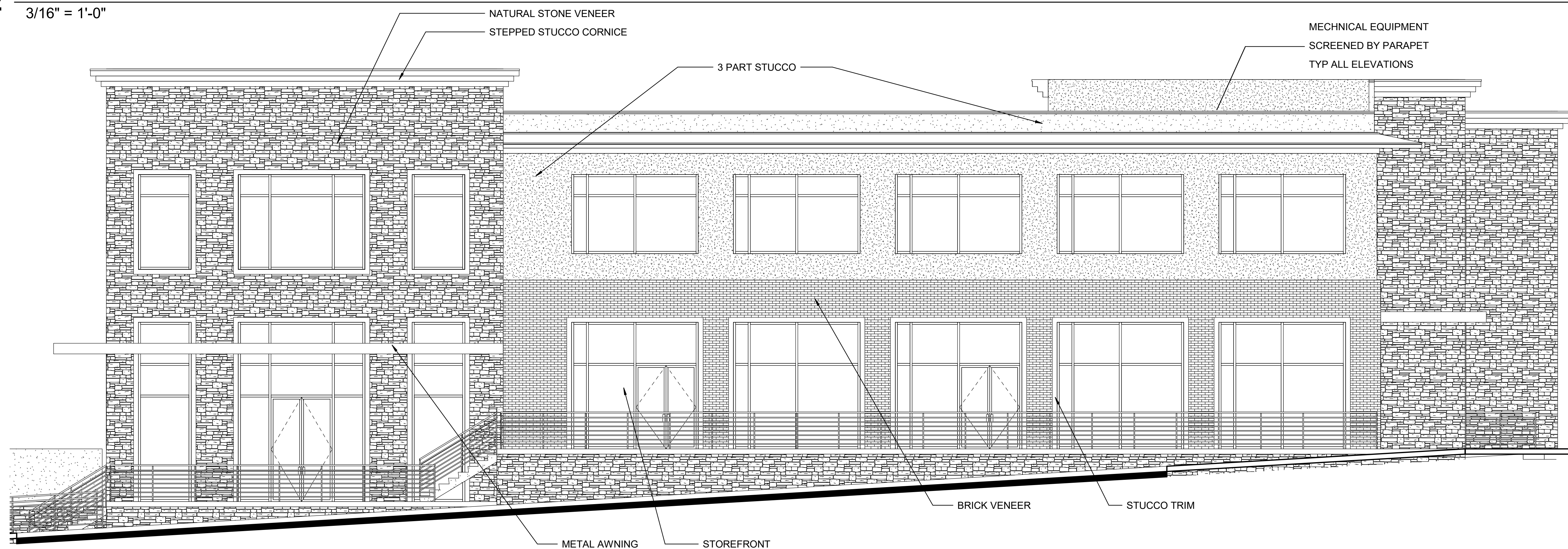
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**ELEVATIONS -  
BUILDING "A"**

**A2**



**2 BUILDING "A" - WEST**  
3/16" = 1'-0"

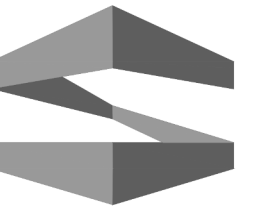


**1 BUILDING "A" - SOUTH**  
3/16" = 1'-0"

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**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

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**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

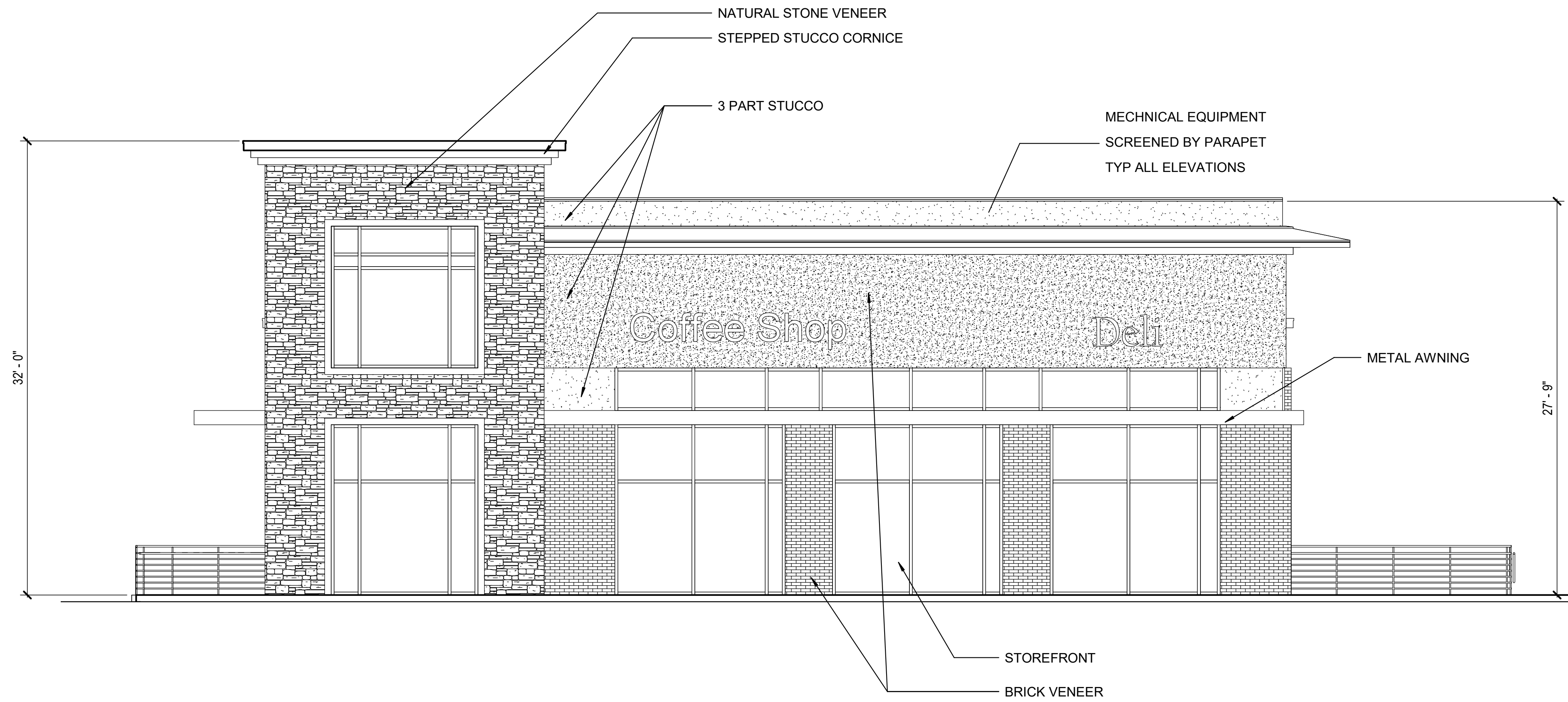
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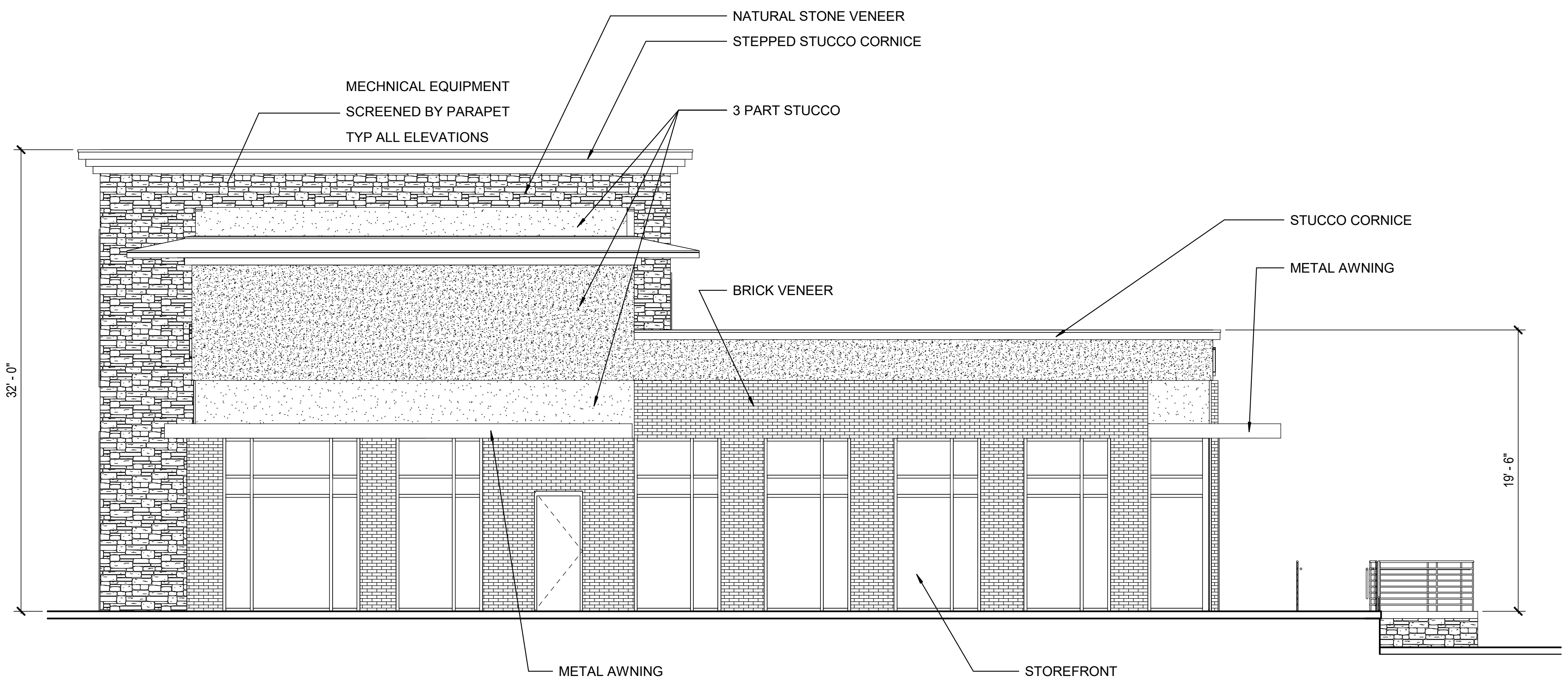
Revisions:

#	Revision Date	Revision Description

Sheet Title:  
**ELEVATIONS -  
BUILDING "B"**



**2 BUILDING "B" - EAST**  
3/16" = 1'-0"



**1 BUILDING "B" - NORTH**  
3/16" = 1'-0"

HHRR		8/15/19				
HARBOR HEIGHTS		FAÇADE MATERIAL CALCULATIONS				
<b>BUILDING B</b>	<b>NORTH</b>	1,441.0	%	<b>EAST</b>	1,286.0	%
BRICK	439.0	30.5%	BRICK	200.0	15.6%	
STONE	280.0	19.4%	STONE	333.0	25.9%	
METAL	104.0	7.2%	METAL	170.0	13.2%	
STUCCO	618.0	42.9%	STUCCO	583.0	45.3%	
<b>BUILDING B</b>	<b>SOUTH</b>	1,326.0	%	<b>WEST</b>	1,416.0	%
BRICK	122.0	9.2%	BRICK	382.0	27.0%	
STONE	845.0	63.7%	STONE	188.0	13.3%	
METAL	72.0	5.4%	METAL	138.0	9.7%	
STUCCO	287.0	21.6%	STUCCO	708.0	50.0%	

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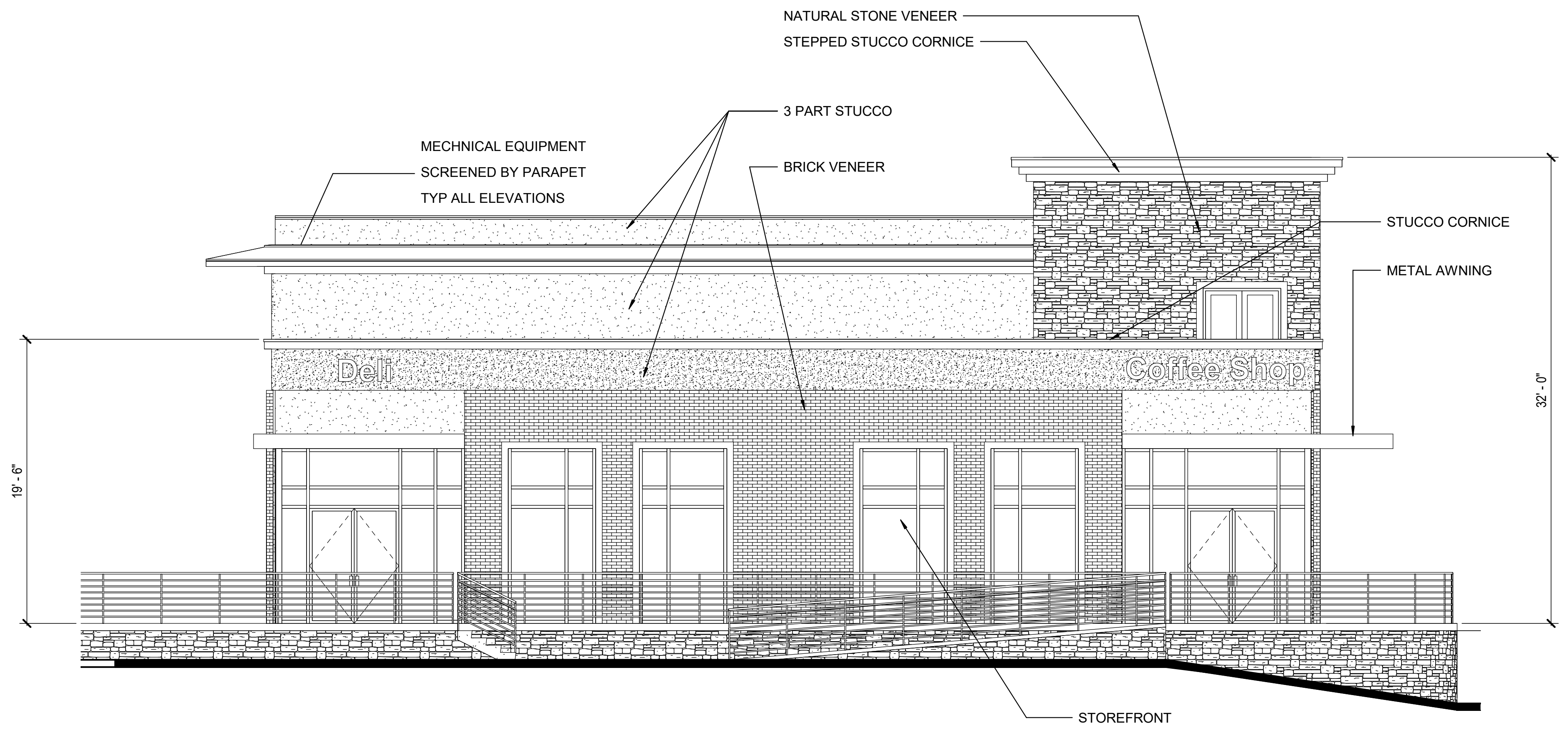
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2

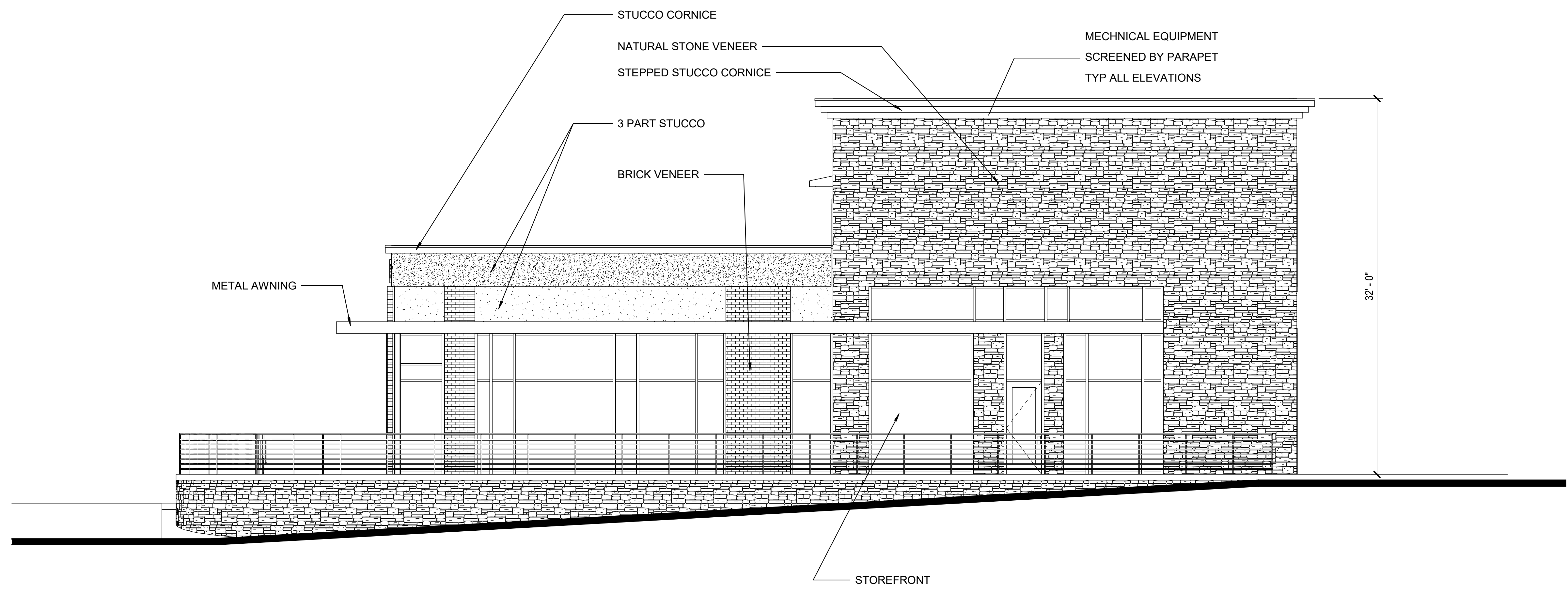
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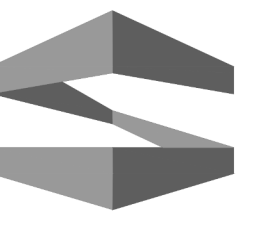
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**2 BUILDING "B" - WEST**  
3/16" = 1'-0"



**1 BUILDING "B" - SOUTH**  
3/16" = 1'-0"



**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

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**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: HHRR  
Drawing Date: 8/15/2019  
Drawn: Author  
Checked: Checker  
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Revisions:

#	Revision Date	Revision Description

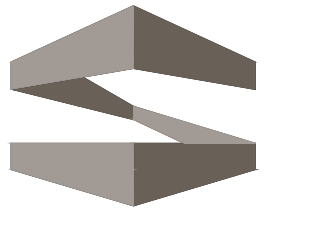
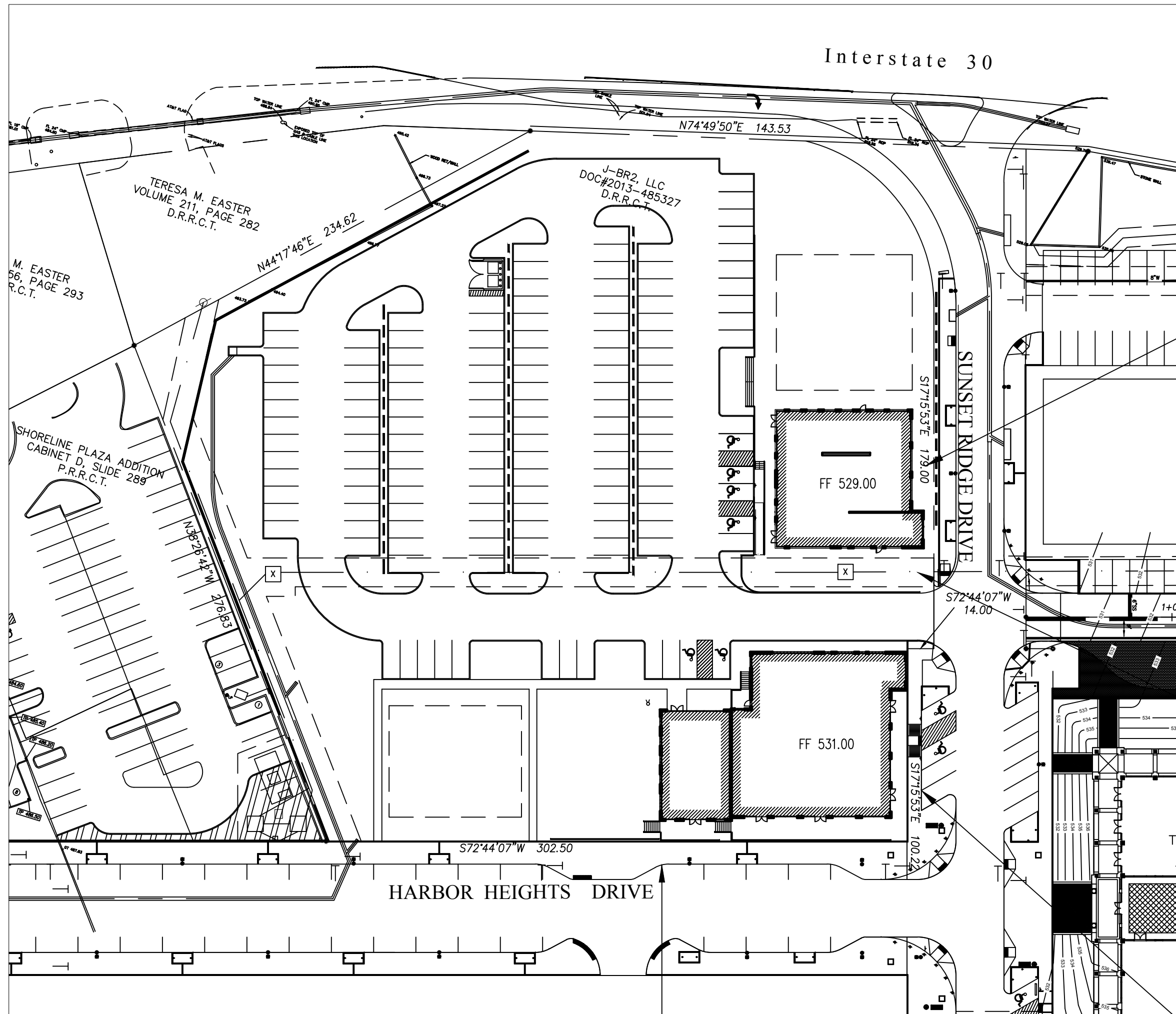
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BUILDING "B"**

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**A4**





**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

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**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: 051302

Drawing Date: 08/15/2019

Drawn:

Checked:

Scale:

ACAD File: HHRR-Photo-081619.dwg

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Revisions:

1	DESCRIPTION

Sheet Title:

**ELEVATIONS**

**A-5**

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1

2

3

4

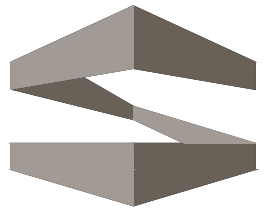
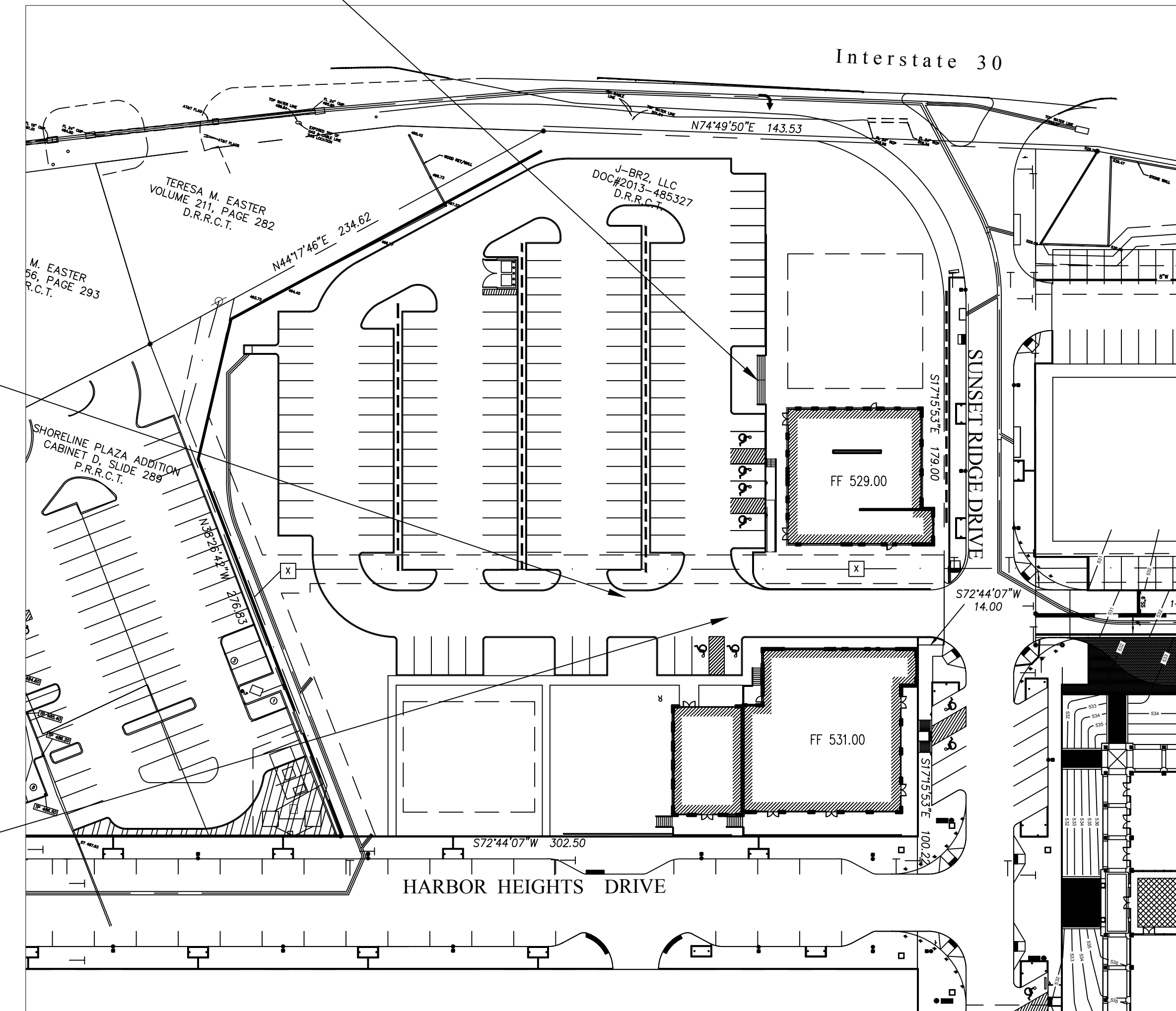
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C

B

A



**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
 CIVIL:  
 STRUCTURAL:  
 MEP:  
 FOOD SERVICE:  
 LANDSCAPING:

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**ROCKWALL, TEXAS**

Project Number: 051302  
 Drawing Date: 08/15/2019  
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 Checked:  
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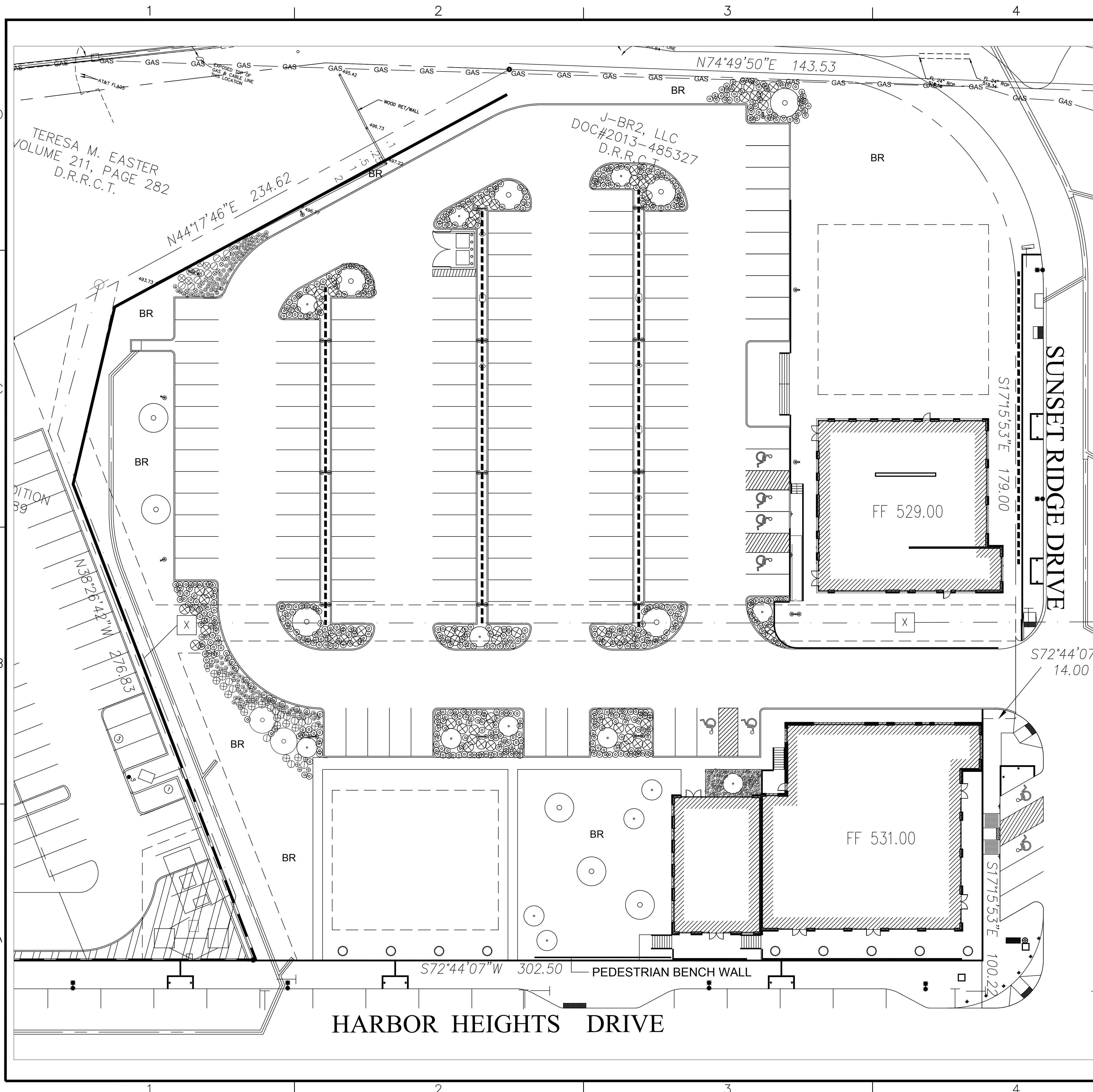
Sheet Title:

**ELEVATIONS**

**A-6**

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**LEGEND**

- CANOPY TREE
- ORNAMENTAL (ACCENT) TREE
- SHRUB
- GROUND COVER
- PERENNIAL
- BERMUDA GRASS
- PLANTING POTS AT 20' SPACING IN FRONT OF BUILDINGS ALONG HARBOR HEIGHTS DRIVE

**LANDSCAPING GENERAL REQUIREMENTS**

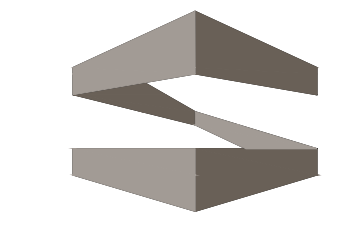
PROPOSED PARKING SPACES - 142 SPACES  
 REQUIREMENT - 1 - 3" CALIPER 65 GALLON TREE PER 8 PARKING SPOTS  
 REQUIRED TREES - 18  
 PROVIDED - 26 TREES

**LANDSCAPING GENERAL NOTES:**

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

**SITE LANDSCAPING SCHEDULE:**

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 4" CALIPER, 60 GALLON, 12'-14" HEIGHT.
2. UNDERSTORY ORNAMENTAL(ACCENT) TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10" HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
 CIVIL:  
 STRUCTURAL:  
 MEP:  
 FOOD SERVICE:  
 LANDSCAPING:

FOR SITE PLAN APPROVAL ONLY

**NOT FOR CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

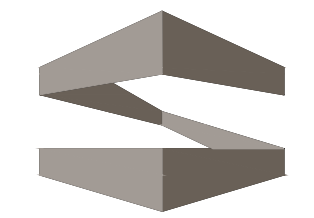
Project Number: 051302  
 Drawing Date: 08/15/2019  
 Drawn:  
 Checked:  
 Scale:  
 ACAD File: HHRR-Photo-081619.dwg  
 © 2019 Strohmeier Architects, Inc.

Revisions:	DESCRIPTION
1	

Sheet Title:

**LANDSCAPING PLAN**  
**LS-1**





**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

FOR SITE PLAN  
APPROVAL ONLY

**NOT FOR  
CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: 051302

Drawing Date: 08/15/2019

Drawn:

Checked:

Scale:

ACAD File: HHRR-Photo-081619.dwg

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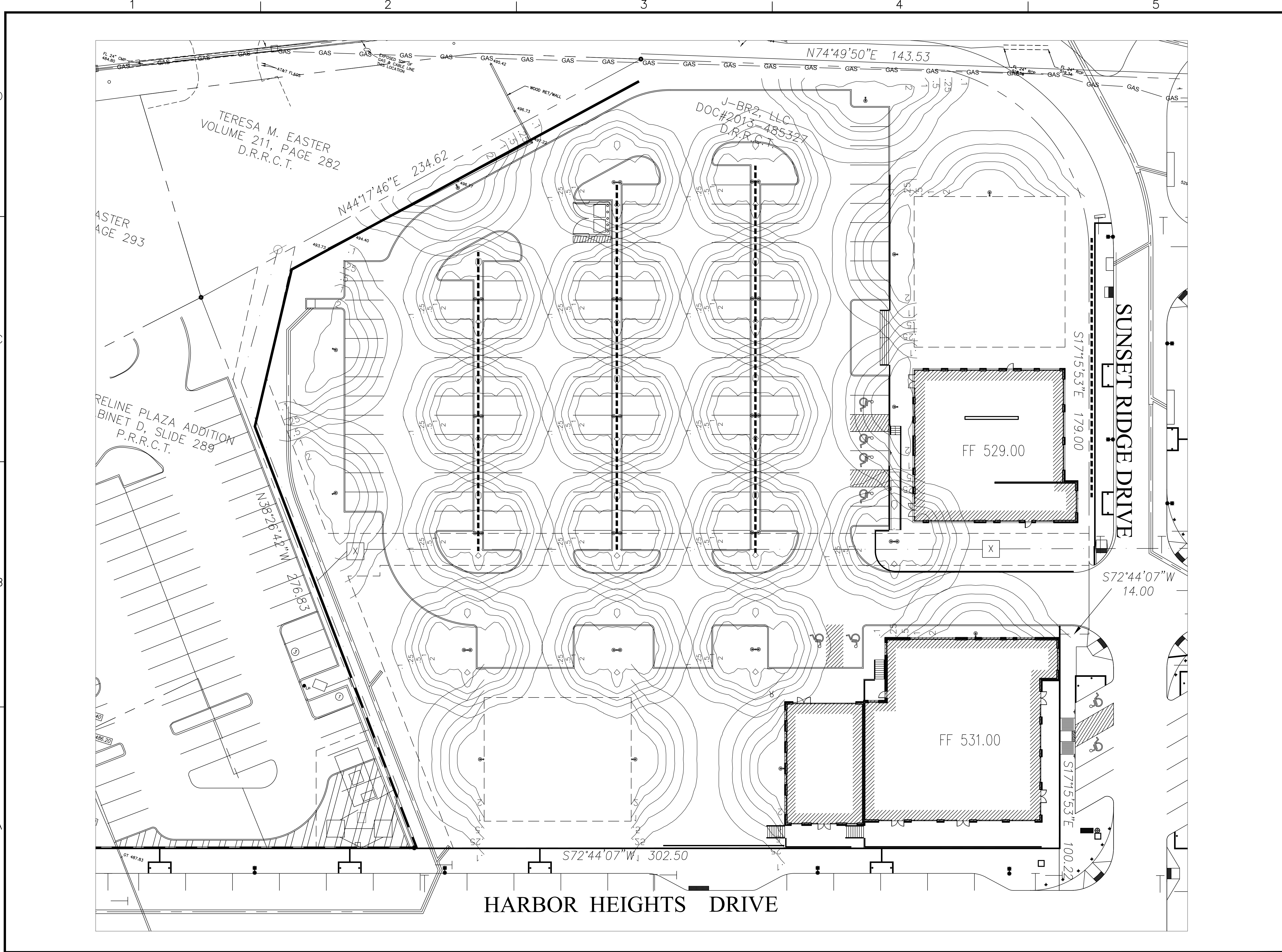
Revisions:

1 - / - / - - DESCRIPTION

Sheet Title:

**PHOTOMETRICS**

**P-1**



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800.364.0098 • Fax: 281.997.5441 • www.amerluxexterior.com

**Description**

This contemporary styled **D154-TS20 Series** combines a cast aluminum housing, a spun aluminum shade and segmented reflector to create an efficient luminaire with Type III(**HR3**) or Type V(**HR5**) light distribution. Some of the most popular brackets for use with this fixture are shown below, however there are others available in the "Brackets & Wall Luminaires" section of this catalog.

**Installation**

The luminaire will mount to the bracket as shown on the reverse page. Post top luminaire brackets will mount to a 3" OD post or tenon with (6) 5/16" stainless steel set screws. Wall bracket models have four 3/8" holes for mounting (wall mount hardware is not included).

**Electrical**

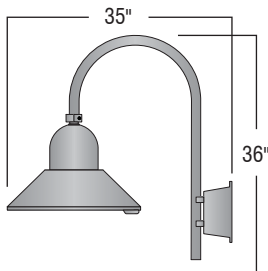
- High power factor ballast (HPF), core and coil type, pre-wired and tested
- Easy ballast pod access
- 4KV pulse rated porcelain socket
- Suitable for wet location

**Lens**

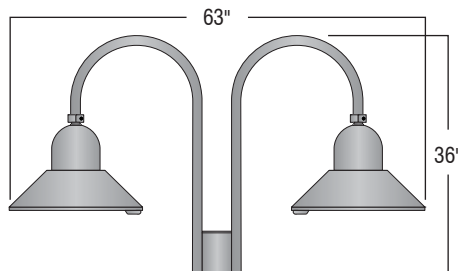
Clear smooth flat tempered glass (**GL**)

**Finish**

Premium quality thermoset polyester powdercoat (see Finish Selection)

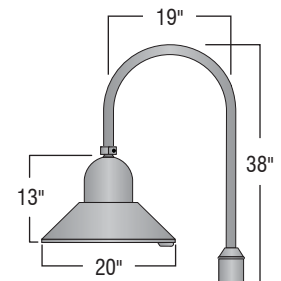


**WBR03/D154-TS20**



**PT12/D154-TS20**

EPA: 2.58  
Also available in three and four light combinations.



**PT01/D154-TS20**

EPA: 1.23

Ordering Guide							
Bracket	Luminaire	Light Distribution	Lens	Light Source	Voltage	Finish	Option
<b>PT01</b>	<b>D154-TS20</b>	<b>HR5</b>	<b>GL</b>	<b>100HPS</b>	<b>120v</b>	<b>BLK</b>	<b>PCL</b>
		<b>HR3</b>		<b>50MH,70MH</b>	<b>208v</b>	<b>CLB,GRN</b>	
				<b>100MH,50HPS</b>	<b>240v</b>	<b>WHT,TBK</b>	
				<b>70HPS</b>	<b>277v</b>	<b>ATC,GTG</b>	

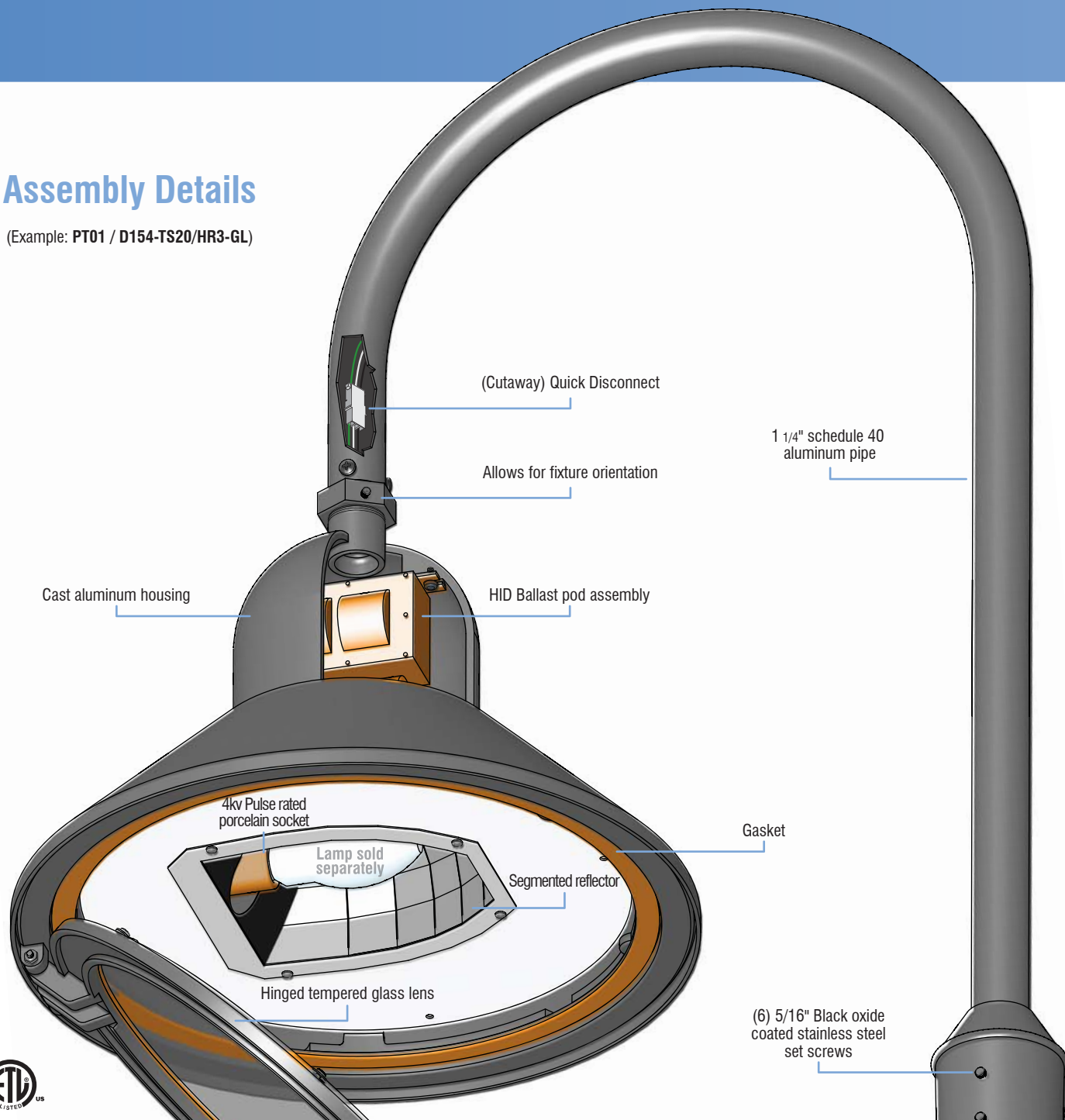
Additional light sources, voltages, and custom colors are available. Contact factory for details.

Light Sources	
Wattage	Socket Type
<b>50MH, 70MH, 100MH, 150MH</b>	Medium
<b>50HPS, 70HPS, 100HPS, 150HPS</b>	Medium
<b>PL-13</b>	2-pin
<b>CFL 26, 32, or 42</b>	4-pin



## Assembly Details

(Example: PT01 / D154-TS20/HR3-GL)

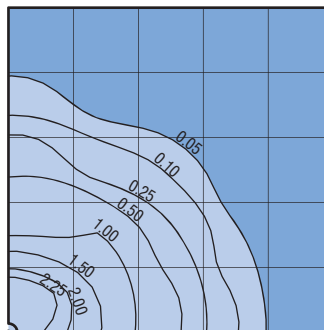


### Optical Systems

Standard  
**(HR3-GL)** - Type III segmented reflector with a clear flat tempered glass.

**(HR5-GL)** - Type V segmented reflector with a clear flat tempered glass.

### Standard Photometry



**PT01/D154-TS20/HR5**  
 Typical HID light source  
 8,500 Lumen  
 12' Mounting Height  
 Grid Spacing is 12'



## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2019-033	<b>Owner</b> 101 HUBBARD DR LLC	<b>Applied</b> 8/19/2019	<b>LM</b>
<b>Project Name</b> Harbor Heights	<b>Applicant</b> STROHMEYER ARCHITECTS INC	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b>		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
<b>Site Address</b> SUNSET RIDGE DR		<b>City, State Zip</b> ROCKWALL, TX 75032	
<b>Subdivision</b> SHORELINE PLAZA ADDITION		<b>Tract</b> 1	<b>Block</b> B
		<b>Lot No</b> 1	<b>Parcel No</b> 3812-000B-0001-00-0R
			<b>General Plan</b>
			<b>Zoning</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	8/19/2019	8/26/2019	8/20/2019	1	APPROVED	
ENGINEERING	JEREMY WHITE	8/19/2019	8/26/2019	8/22/2019	3	APPROVED	See Comments
(8/22/2019 9:25 AM JMW) - 4% Engineering Inspection Fees - Impact Fees - Must meet City Standards. - Minimum easement width is 20' - Maximum 4:1 slope for grades - Must loop water - Retaining walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls. - Must meet all standards of design and construction - Full panel concrete replacement for utility ties in streets. - No grate inlets allowed. - 5 ft separation between Storm and Water/Sewer. - 10 ft separation from Water and Sewer.							
FIRE	Kevin Clark	8/19/2019	8/26/2019	8/22/2019	3	APPROVED	See Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(8/22/2019 10:51 AM KC) General comment notes:						
1. Two means of fire apparatus access shall be provided for the following a)Buildings or facilities exceeding 30-feet or three stories in height b)Buildings or facilities having a gross building area of more than 62,000 square feet (Exception: Projects having a gross building area of up to 124,000 square feet that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems) c)Multiple-family residential projects having more than 100 dwelling units (Exception: Projects having up to 200 dwelling units may have a single approved fire apparatus access road when all buildings, including nonresidential occupancies, are equipped throughout with approved automatic sprinkler systems) d)Multiple-family residential projects having more than 200 dwelling units.						
2. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses. (Exception: Fire Marshal shall approve layout for multiple-family residential projects.)						
3. Fire lane cannot exceed 10 % in grade change, 5% cross slope, and angles of approach and departure not to exceed 8%.						
4. For buildings 30-feet or more and/or 3 or more stories in height minimum interior turning radius of 30 feet.						
5. All adopted fire codes and 2015 International Fire Code requirements are enforced						
GIS	Lance Singleton	8/19/2019	8/26/2019	8/22/2019	3 APPROVED	See Comments
(8/22/2019 12:02 PM LS) Addressing will be:						
Bldg A (6000sf)- 2620 Sunset Ridge Dr, Rockwall, TX 75032						
Restaurant (5000sf)- 2640 Sunset Ridge Dr, Rockwall, TX 75032						
Restaurant (11000sf)- 2688 Sunset Ridge Dr, Rockwall, TX 75032						
Retail (2500sf)- 2375 Harbor Heights Dr. Rockwall, TX 75032						
Park Area- 2363 Harbor Heights Dr. Rockwall, TX 75032						
Bldg B (4000sf)- 2351 Harbor Heights Dr. Rockwall, TX 75032						
PLANNING	Ryan Miller	8/19/2019	8/26/2019	8/20/2019	1 APPROVED	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-033; Site Plan for Harbor Heights Restaurant and Retail						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a strip retail center and restaurant on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Sub-District of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, and located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 For reference, include the case number (SP2019-033) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by Ordinance No. 19-25 -- the approved PD Development Plan for this property--, Resolution No. 10-40 -- the design guidelines for PD-32 --, Ordinance No. 17-22 -- Planned Development District 32 (PD-32) --, and the Unified Development Code (UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] a site plan, [2] building elevations, [3] a landscape plan, [4] photometric plan, [5] lighting cut sheets, and a [6] material sample board. In addition, Ordinance No. 19-25 requires that an open space master plan be submitted for the proposed park area and pedestrian accessways and Ordinance No. 17-22 requires a streetscape plan be submitted. The current submittal did not contain a material sample board, streetscape plan or open space master plan. These will be required prior to the case being taken to the Planning and Zoning Commission for action.						
I.6 Please note that the property will require a replat prior to the issuance of a building permit						
I.7 Please note that the two (2) buildings that are labeled as future buildings will require site plan approval and that the approval of this site plan does not constitute approval of these pad sites.						
M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) On the site plan Building 'A' and Building 'B' are identified as future building pads; however, the building elevations are also labeled Building 'A' and Building 'B'. Please clarify and standardize the labeling of the proposed and future buildings across all plan sets						
2) Please provide a note adjacent to the retaining wall that runs parallel to the northern and eastern boundary indicating that it will have a rock face in conformance with Ordinance No. 17-22.						
M.9 Site Plan. The proposed dumpster enclosure is facing IH-30. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, dumpster enclosures shall be located to the side or rear of the buildings and shall not front onto a public right-of-way. Please reposition the dumpster enclosure so that it is not visible from public right-of-way or provide a screening plan showing how the proposed dumpster enclosure can be screened utilizing landscaping.						
M.10 Dumpster Enclosure. No detail of the dumpster enclosure was provided. According to Subsection 6.02, General Overlay District Standards, of Article V, District Development Standards, of the UDC, trash and recycling enclosures shall be screened by a minimum eight (8) foot tall, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Please provide the required detail.						
M.11 Seat Wall and Pedestrian Access Easement. According to Ordinance No. 19-25 a seat wall and two (2) pedestrian access easements are required to be constructed that are consistent with the design guidelines contained in Resolution No. 10-40. Please review the design guidelines and revise the site plan to show these elements. In addition, please provide an elevation of the seat wall for staff's review.						
I.12 Building Elevations. Resolution No. 10-40 lays out three (3) architectural styles (i.e. Tuscan, Traditional, and/or Transitional) that are acceptable within Planned Development District 32 (PD-32). The proposed building elevations do not appear to adhere to any of the recommended architectural styles.						
M.13 Building Elevations. According to Ordinance No. 19-25, "(a) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32). Please redesign the buildings using elements of one (1) of the approved three (3) architectural styles, and indicate the style on the elevations. Any variation to these architectural styles will require approval by the Planning and Zoning Commission upon recommendation by the Architectural Review Board (ARB).						

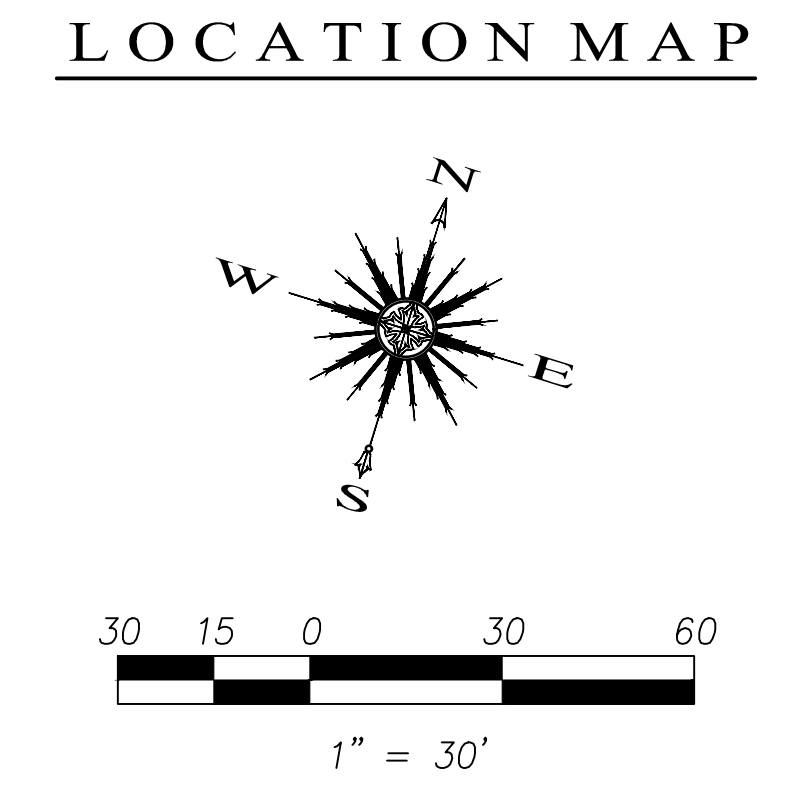
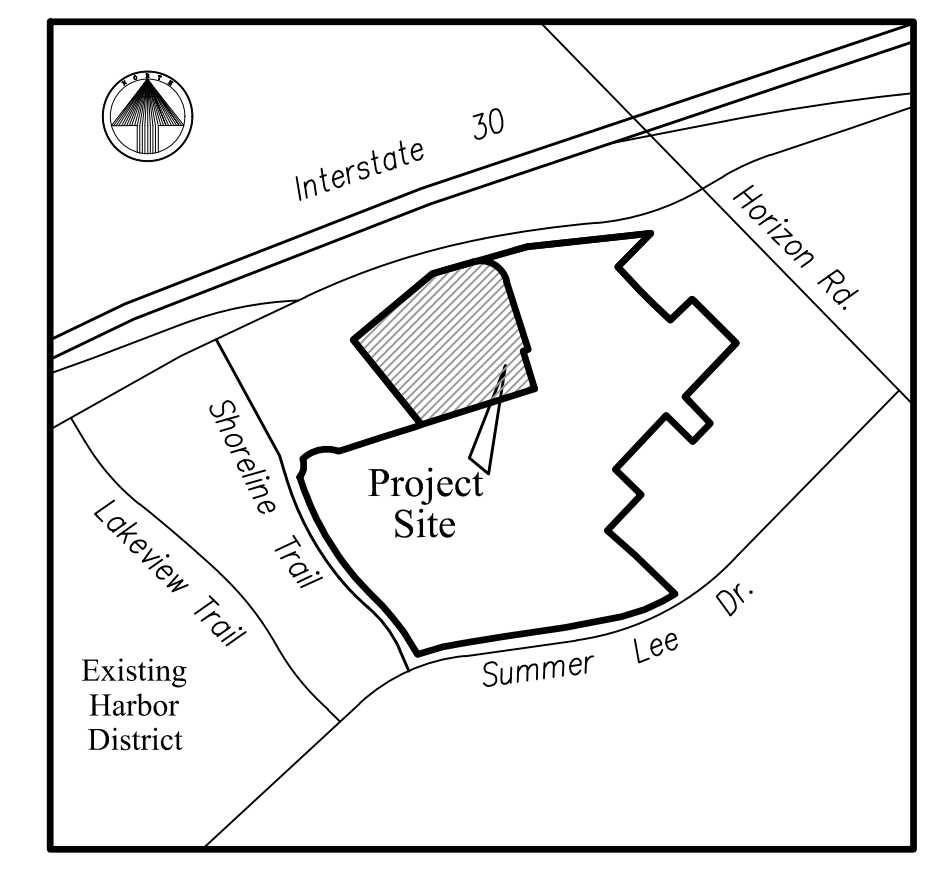
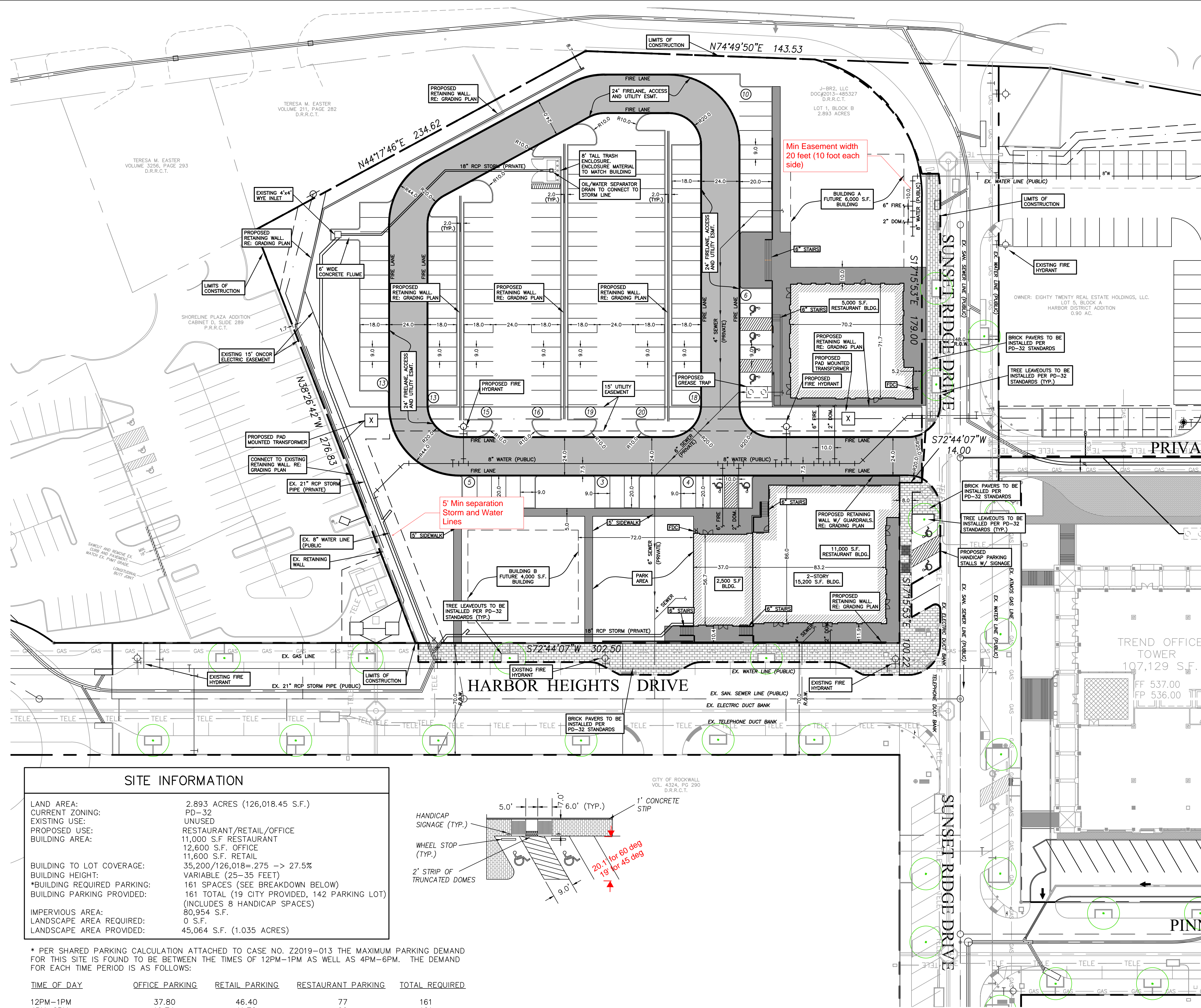


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.14 Building Elevations.						According to Section 6.2, General Overlay District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 90% primary materials and ten (10) percent secondary materials. In this case, the east façade of Building 'A' incorporates 11.4% metal and the east façade of Building 'B' incorporates 13.2%, which is identified as a secondary material. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
M.15 Building Elevations.						Please review the articulation formulas contained in Section 4.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. To demonstrate conformance please include the calculations adjacent to the facades depicted on the building elevations.
M.16 Building Elevations.						Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> <li>1) Indicate all HVAC units on the building elevations so that staff can ensure that they meet the screening requirements dictated by the UDC (Sec. 6.C.3; Art. V; UDC).</li> <li>2) Please add a note indicating that parapets on tower elements shall be finished on both sides utilizing the same exterior materials and that no bituminous or flat membrane-type of finish will be visible from public right-of-way (Sec. 6.C.2; Art. V; UDC).</li> <li>3) Indicate the height of all retaining walls adjacent to public right-of-way. According to the conditions of approval associated with Case No. Z2019-013, no retaining wall adjacent to public right-of-way shall exceed seven (7) feet in height.</li> </ol>
M.17 Streetscape Plan.						Please provide a streetscape plan that shows conformance to the requirements of Ordinance No. 17-22. According to this ordinance the required streetscape plan shall include cut sheets and product specification sheets indicating the proposed products and a plan indicating the location of all the products.
M.18 Landscape Plan.						Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> <li>1) Please label a 20-foot landscape buffer adjacent to IH-30 (Sec. 6.02.E; Art. V; UDC).</li> <li>2) A minimum of two (2) canopy and four (4) accent trees are required in the 20-foot landscape buffer adjacent to IH-30 (Sec. 6.02.E; Art. V; UDC). Please indicate conformance to this requirement on the landscape plan. As a note these plantings can be clustered inside the landscape buffer.</li> <li>3) Please provide an exhibit showing that all parking spaces are located within 80-feet from the trunk of a large canopy tree (Sec. 5.9; Art. VIII, UDC).</li> <li>4) Please indicate the types of canopy trees, ornamental trees, shrubs, ground cover, and perennials being proposed.</li> <li>5) Please provide an exhibit of the proposed landscaping pots and plantings.</li> <li>6) Please provide landscape screening on all four (4) sides of the transformer adjacent to the western property line and the transformer adjacent to the proposed entry drive.</li> </ol>
M.19 Photometric Plan.						Ordinance No. 17-22 stipulates a design standard for all pedestrian scale street lighting and parking lot light fixtures. The proposed pedestrian scale street light does appear to conform to the design standard; however, the parking lot light fixture does not appear to conform to the light standard. Please revise and provide a cut sheet for the proposed parking lot light fixture.
M.20 Photometric Plan.						According to Section 3.3, Minimum Requirements, of Article VII, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan exceeds these maximum values along the north, west and east property lines. Please revise the photometric plan to show conformance with the code requirements.
M.21						Based on the submittal staff has identified the following variances: <ol style="list-style-type: none"> <li>1) Building Materials. Both buildings exceed the maximum permitted percentage of secondary materials.</li> <li>2) Lighting Standards. The proposed plan exceeds 0.2 FC at the property line and is utilizing the wrong light fixture style for parking lot lighting.</li> <li>3) Landscaping. The proposed landscaping plan does not adhere to the General Overlay District Requirements.</li> </ol>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a 3/4 majority vote for approval.</p>						
<p>I.22 Please note that failure to address all comments provided by staff by 5:00 PM on September 4, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p>						
<p>I.23 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 10, 2019 Planning &amp; Zoning Meeting. The Planning &amp; Zoning Work Session meeting will be held on August 27, 2019.</p>						



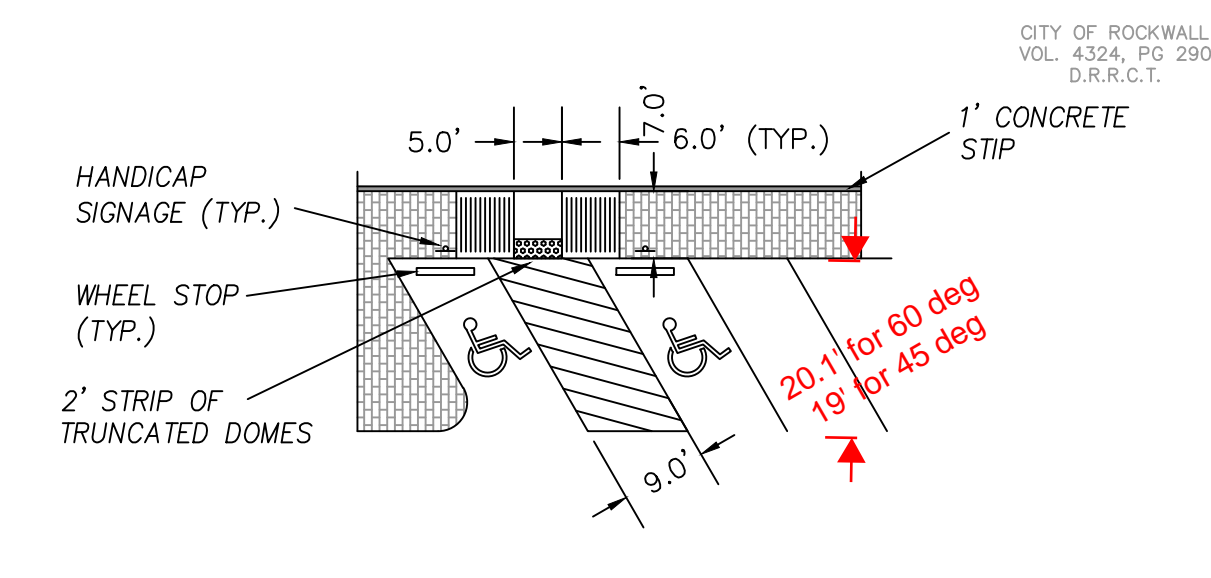
Z:\Projects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\4 - HARBOR RR-SITE PLAN.dwg, 8/16/2019 10:47:26 AM



NOTE:  
- DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RETAIL/RESTAURANT EXTERIOR.

- 4% Engineering Inspection Fees
- Impact Fees
- Must meet City Standards.
- Minimum easement width is 20'
- Maximum 4:1 slope for grades
- Must loop water
- Retaining walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.
- Must meet all standards of design and construction
- Full panel concrete replacement for utility ties in streets.
- No grate inlets allowed.
- 5 ft separation between Storm and Water/Sewer.
- 10 ft separation from Water and Sewer.

SITE INFORMATION	
LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	11,000 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,200/126,018 = 27.5% → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)



\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

Revision	Date	Description

Owner:  
**J-BR2, LLC.**

**Harbor Heights Restaurant and Retail Site**  
Rockwall, Texas 75032

1400 Ridge Road • Rockwall, TX 75087

~ Civil Engineer ~  
**F.C. CUNY CORPORATION**  
#2 Horizon Court • Heath, Texas 75032 • (469) 402-7700  
Texas Registered Engineering Firm F-7449

8/16/2019

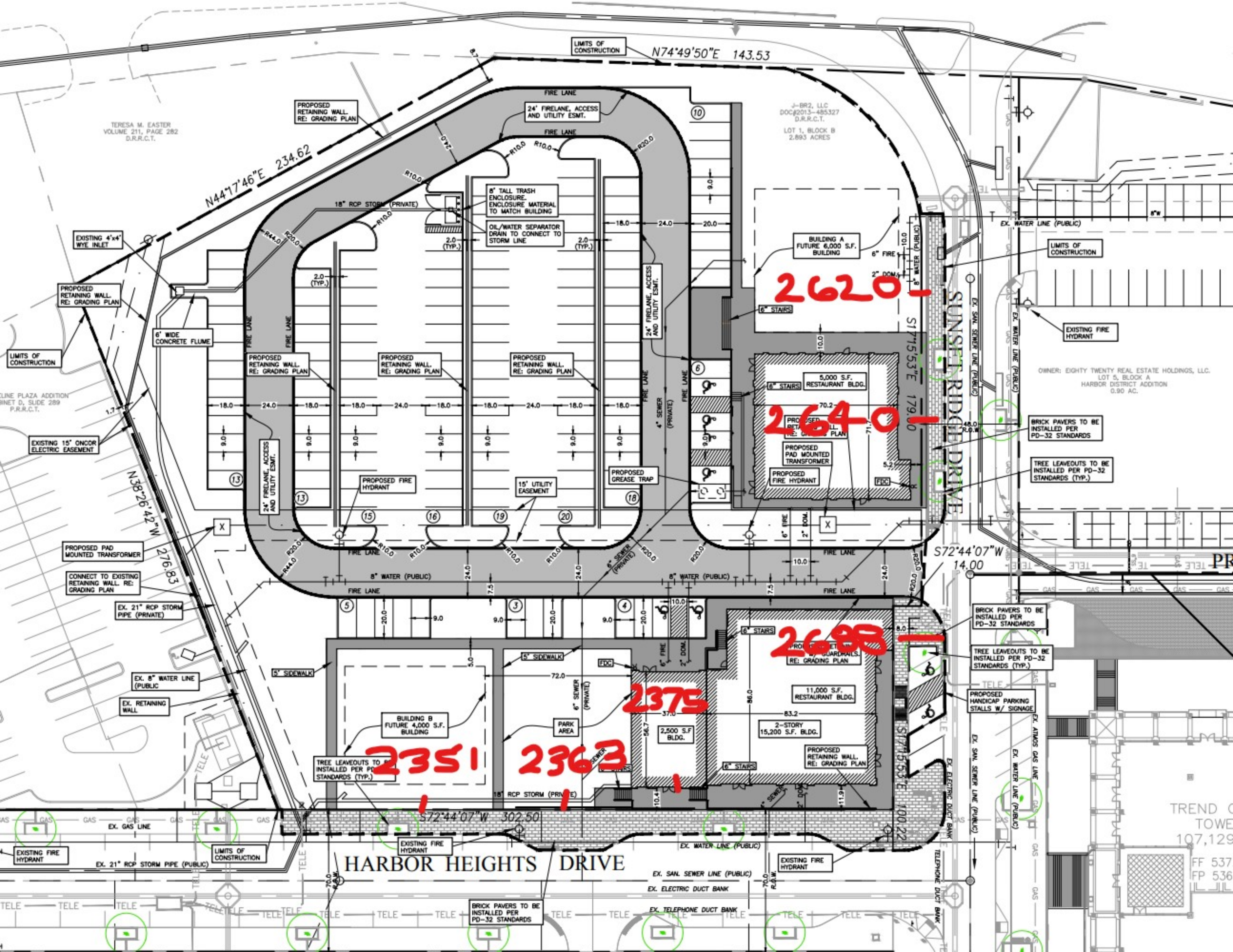
Drawn By: F.C. CUNY  
Checked By: F.C. CUNY

Date: 08/19  
Project No: -

Sheet Title:  
**Site Plan**

Scale: 1" = 30'  
Sheet No: 1 of 1





TERESA M. EASTER  
VOLUME 211, PAGE 282  
D.R.R.C.T.

J-BR2, LLC  
DOC#2013-485327  
D.R.R.C.T.  
LOT 1, BLOCK B  
2.893 ACRES

OWNER: EIGHTY TWENTY REAL ESTATE HOLDINGS, LLC.  
LOT 5, BLOCK A  
HARBOR DISTRICT ADDITION  
0.90 AC.

N74°49'50"E 143.53

N44°17'46"E 234.62

S72°44'07"W 14.00

S72°44'07"W 302.50

HARBOR HEIGHTS DRIVE

2620

2640

2688

2375


2351

2363

TREND C  
TOWE  
107,129  
FF 537  
FP 536



0 37.5 75 150 225 300 Feet

SP2019-033 - HARBOR HEIGHTS  
SITE PLAN - LOCATION MAP = 



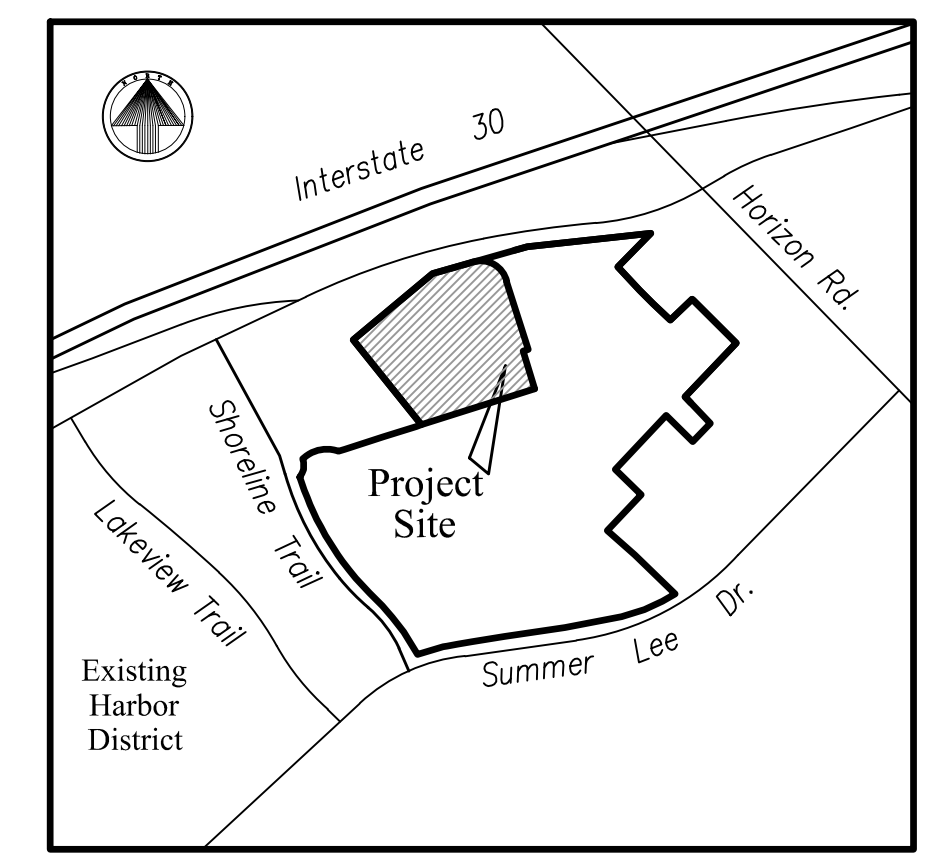
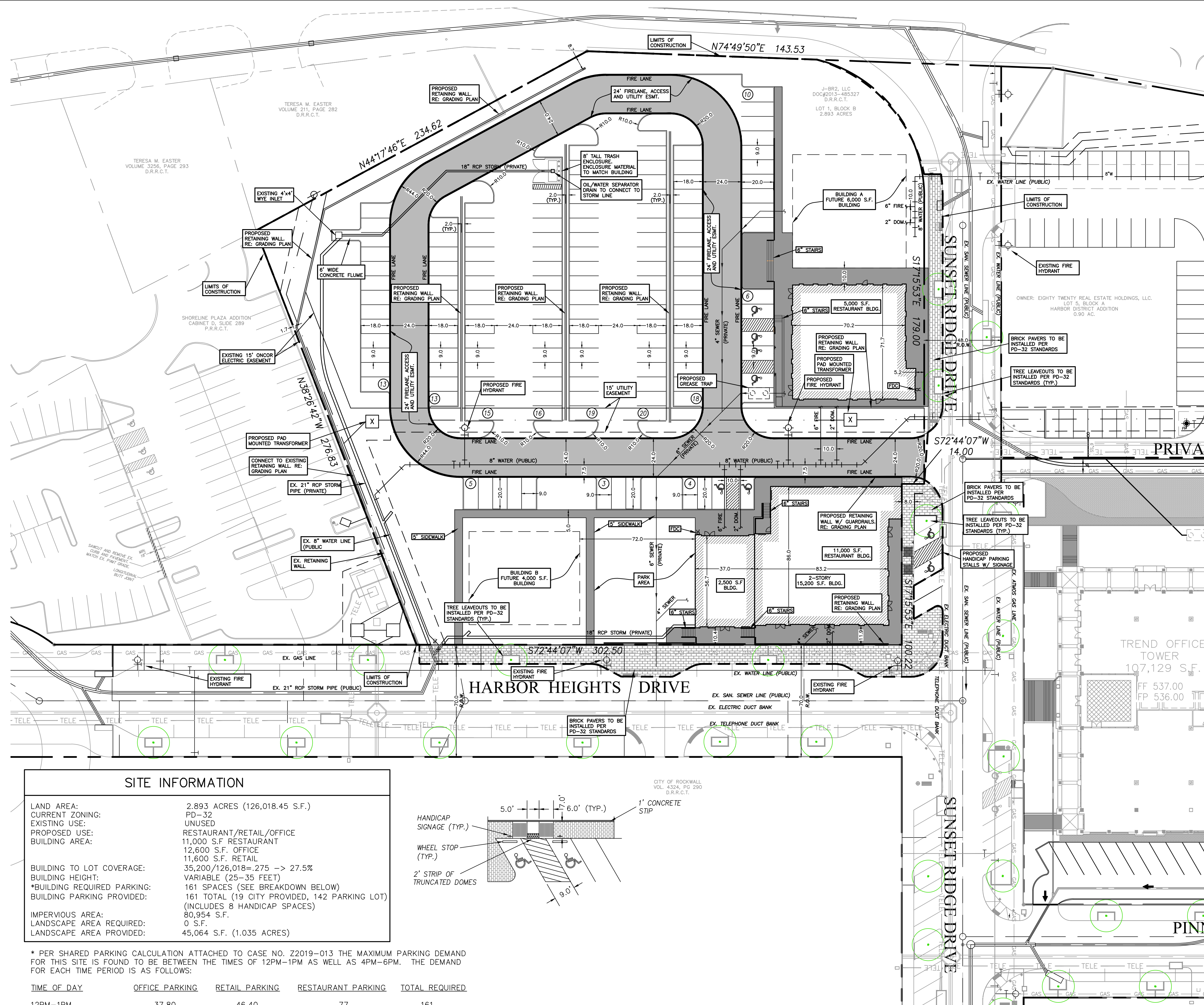
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

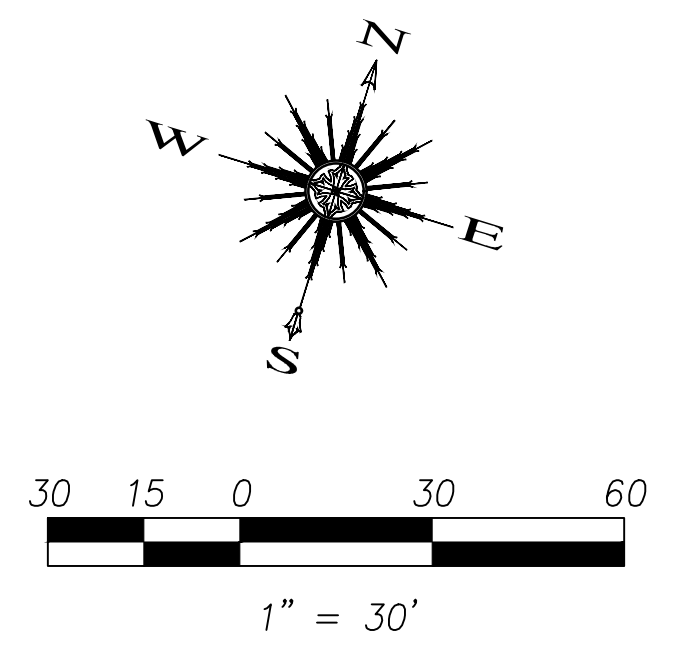
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





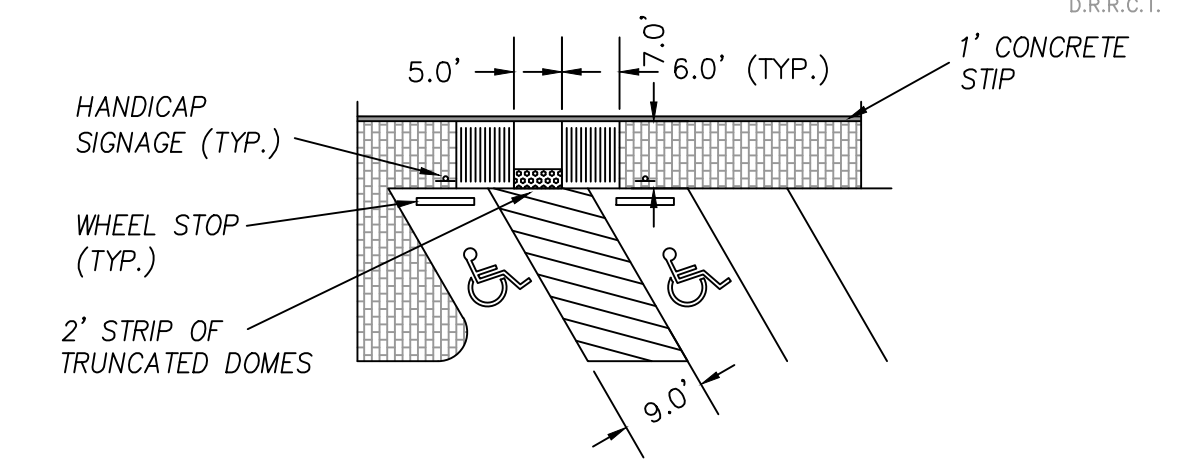


LOCATION MAP



NOTE:  
- DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RETAIL/RESTAURANT EXTERIOR.

SITE INFORMATION	
LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	11,000 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,200/126,018 = 27.5% → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)



\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

Revision	Date	Description

Owner:  
**J-BR2, LLC.**

**Harbor Heights Restaurant and Retail Site**  
Rockwall, Texas 75032

1400 Ridge Road • Rockwall, TX 75087

~ Civil Engineer ~  
**F.C. CUNY CORPORATION**  
#2 Horizon Court • Heath, Texas 75032 • (469) 402-7700  
Texas Registered Engineering Firm F-7449

8/16/2019

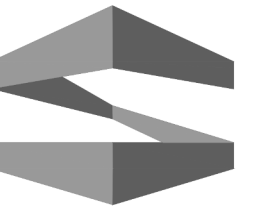
Drawn By: F.C. CUNY  
Checked By: F.C. CUNY

Date: 08/19  
Project No.: -

Sheet Title:  
**Site Plan**

Scale: 1" = 30'  
Sheet No.: 1 of 1





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CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

FOR SITE PLAN  
APPROVAL ONLY

**NOT FOR  
CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

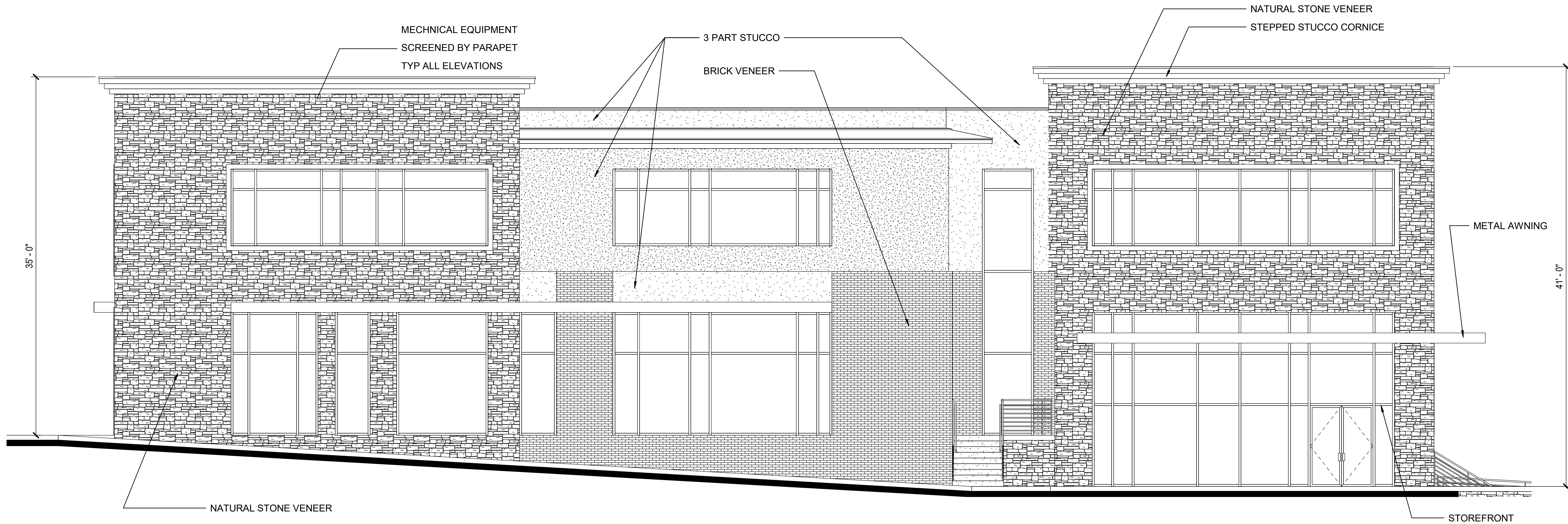
Project Number: HHRR  
Drawing Date: 8/15/2019  
Drawn: Author  
Checked: Checker  
Scale: 3/16" = 1'-0"

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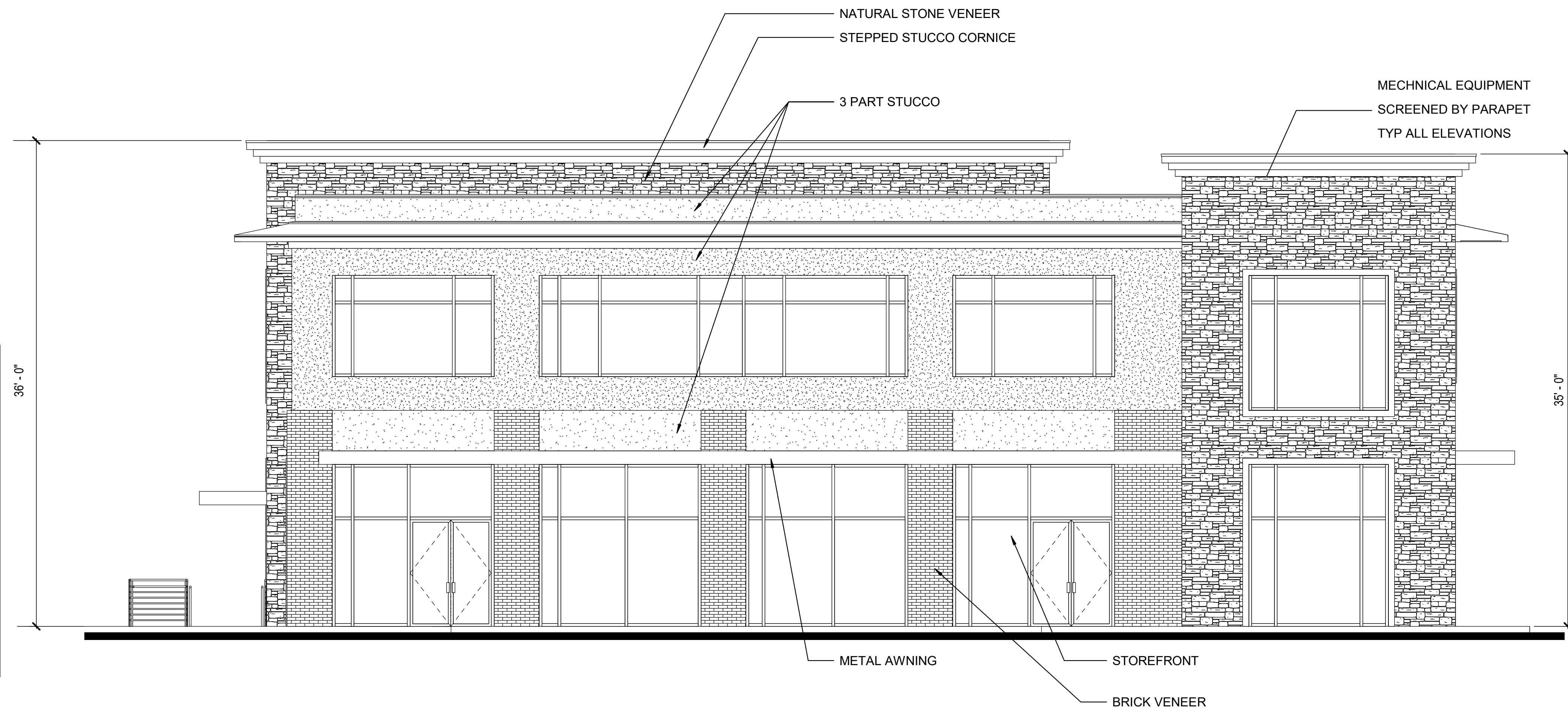
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**ELEVATIONS -  
BUILDING "A"**

**A1**



**2 BUILDING "A" - NORTH**  
3/16" = 1'-0"



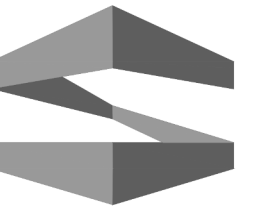
**1 BUILDING "A" - EAST**  
3/16" = 1'-0"

HHRR		8/15/19	
HARBOR HEIGHTS			
FAÇADE MATERIAL CALCULATIONS			
<b>BUILDING A</b>	<b>NORTH</b>		<b>EAST</b>
	3,120.0	%	1,910.0
			%
BRICK	503.0	16.1%	276.0
STONE	1,604.0	51.4%	605.0
METAL	184.0	5.9%	218.0
STUCCO	829.0	26.6%	811.0
	<b>SOUTH</b>		<b>WEST</b>
	2,890.0	%	2,911.0
			%
BRICK	527.0	18.2%	430.0
STONE	1,306.0	45.2%	1,985.0
METAL	220.0	7.6%	149.0
STUCCO	837.0	29.0%	347.0

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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
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Project Number: HHRR  
Drawing Date: 8/15/2019  
Drawn: PC  
Checked: JS  
Scale: 3/16" = 1'-0"

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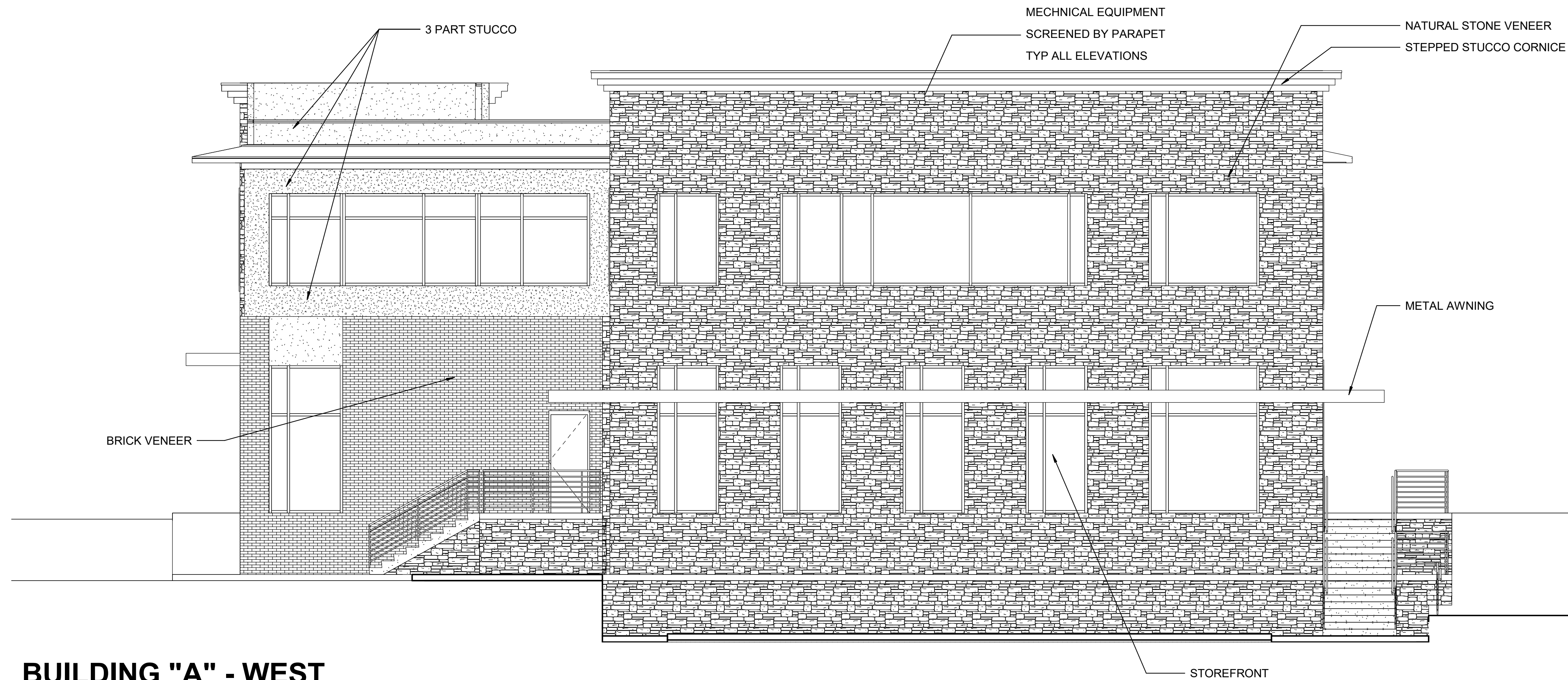
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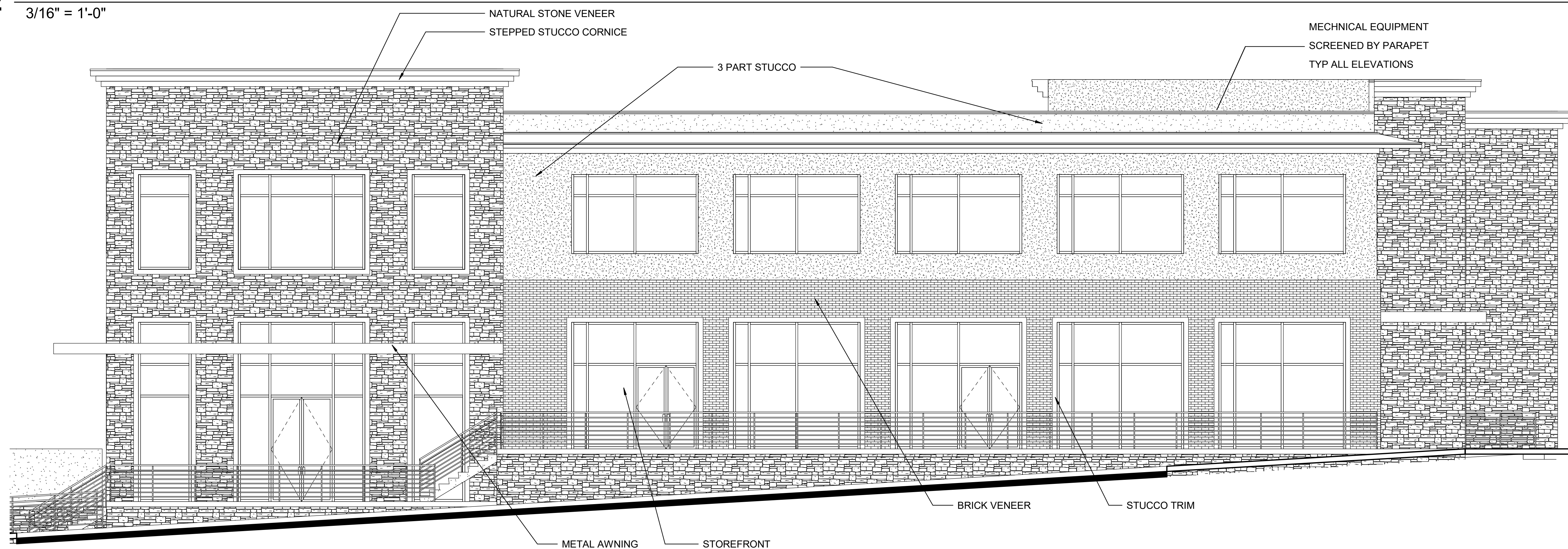
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**ELEVATIONS -  
BUILDING "A"**

**A2**



**2 BUILDING "A" - WEST**  
3/16" = 1'-0"

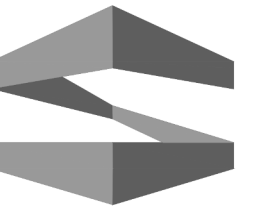


**1 BUILDING "A" - SOUTH**  
3/16" = 1'-0"

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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: HHRR  
Drawing Date: 8/15/2019  
Drawn: BJ  
Checked: PC  
Scale: 3/16" = 1'-0"

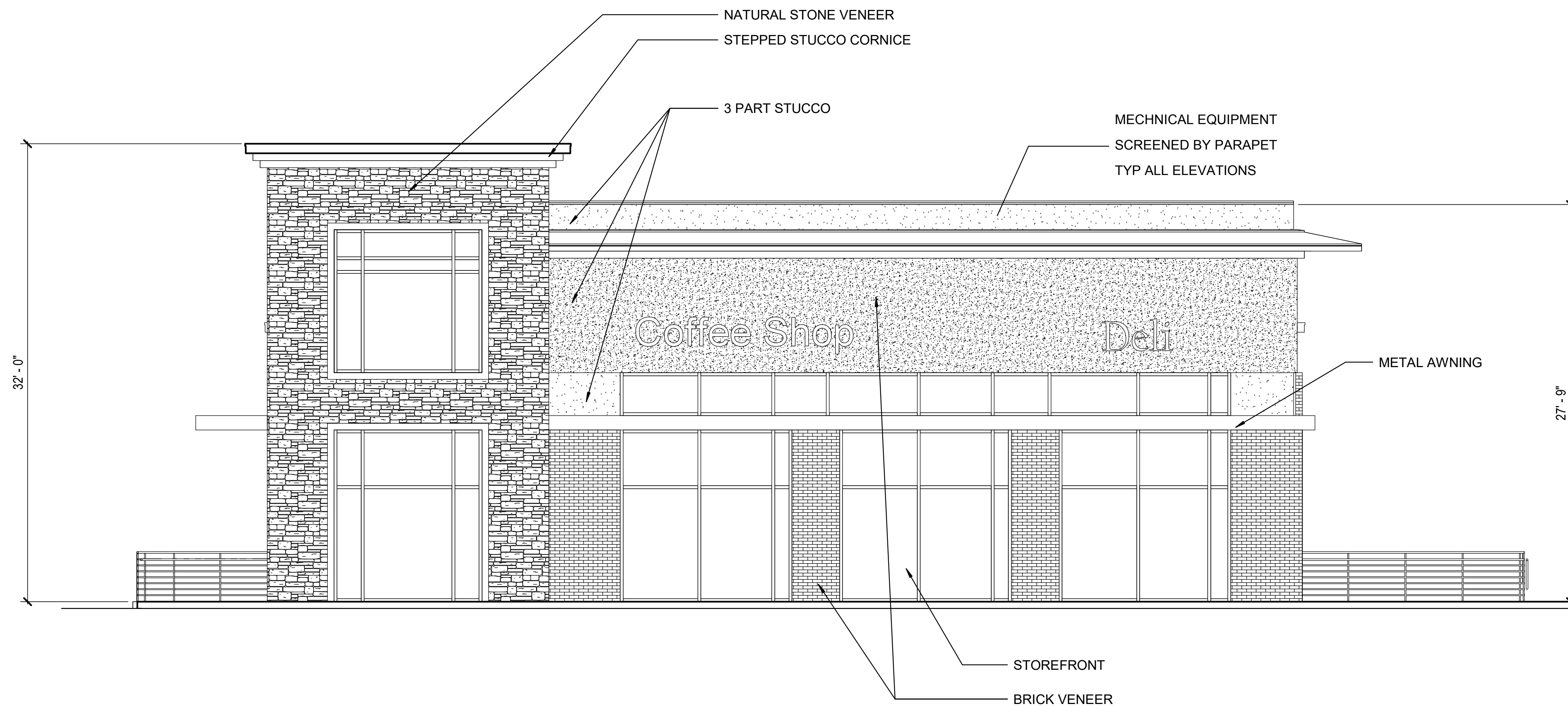
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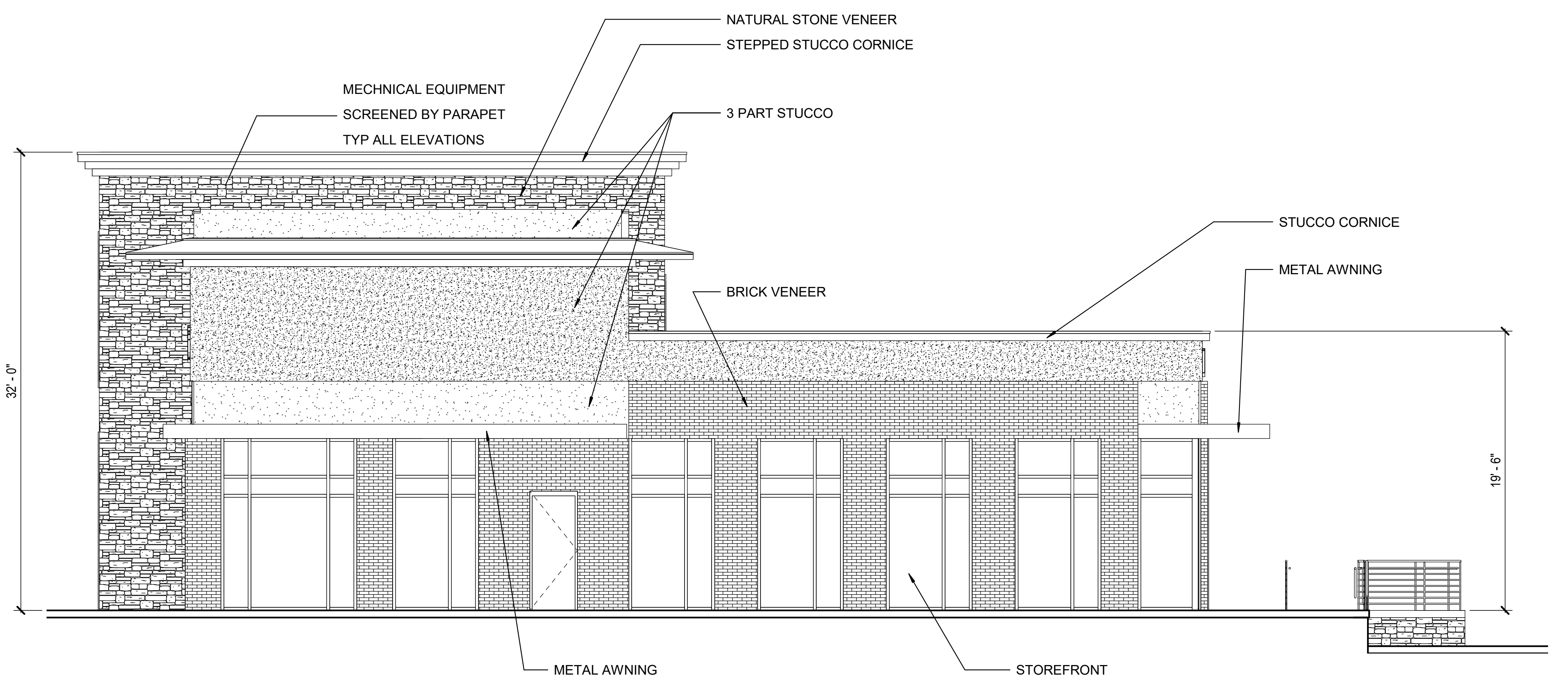
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Sheet Title:

**ELEVATIONS -  
BUILDING "B"**



**2 BUILDING "B" - EAST**  
3/16" = 1'-0"



**1 BUILDING "B" - NORTH**  
3/16" = 1'-0"

HHRR		8/15/19			
HARBOR HEIGHTS		FAÇADE MATERIAL CALCULATIONS			
<b>NORTH</b>	1,441.0	%	<b>EAST</b>	1,286.0	%
BRICK	439.0	30.5%	BRICK	200.0	15.6%
STONE	280.0	19.4%	STONE	333.0	25.9%
METAL	104.0	7.2%	METAL	170.0	13.2%
STUCCO	618.0	42.9%	STUCCO	583.0	45.3%
<b>SOUTH</b>	1,326.0	%	<b>WEST</b>	1,416.0	%
BRICK	122.0	9.2%	BRICK	382.0	27.0%
STONE	845.0	63.7%	STONE	188.0	13.3%
METAL	72.0	5.4%	METAL	138.0	9.7%
STUCCO	287.0	21.6%	STUCCO	708.0	50.0%

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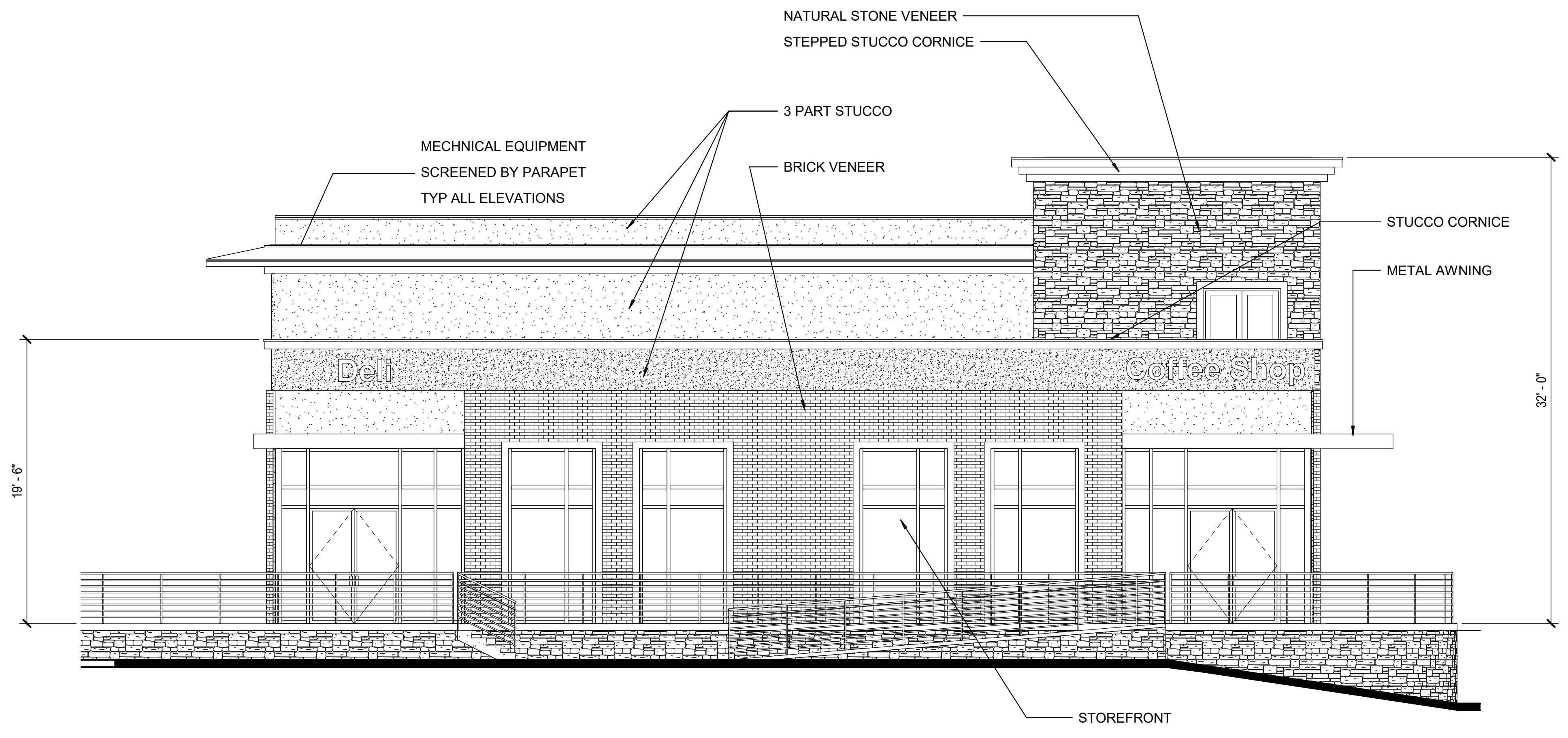
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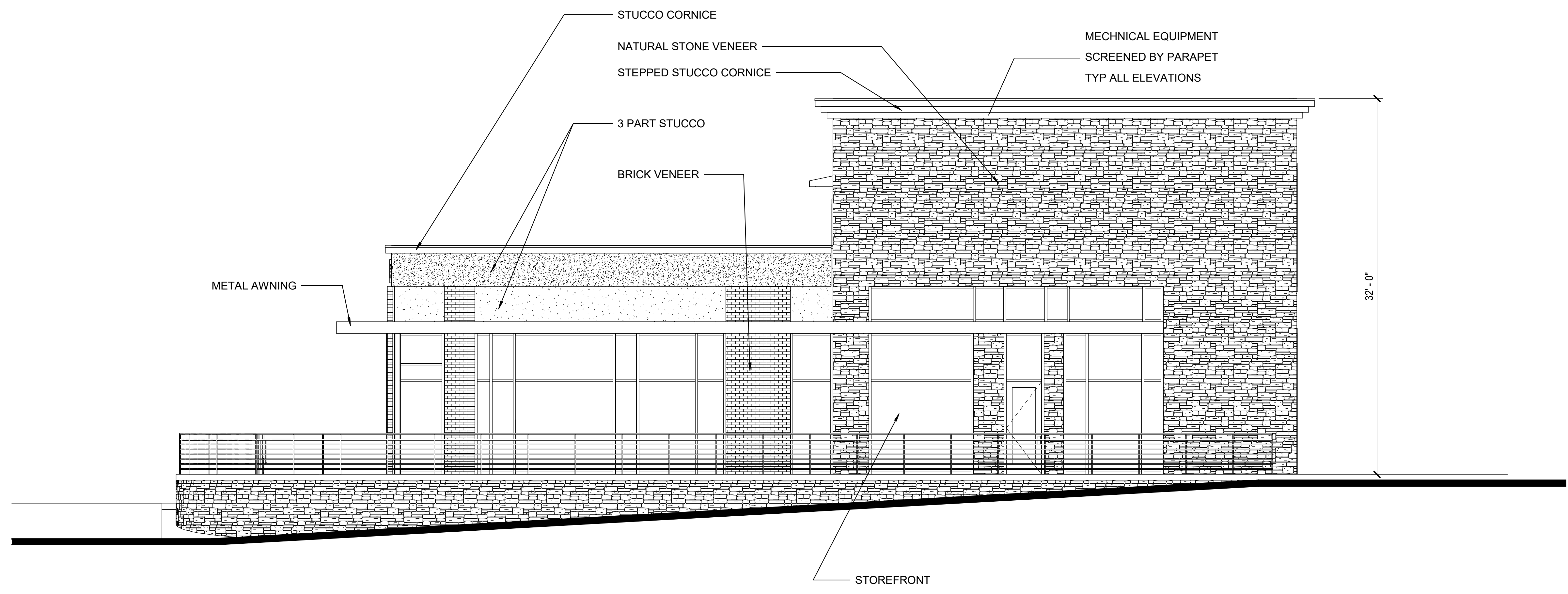
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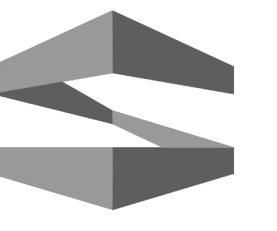
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**2 BUILDING "B" - WEST**  
3/16" = 1'-0"



**1 BUILDING "B" - SOUTH**  
3/16" = 1'-0"



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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
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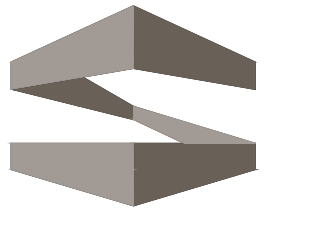
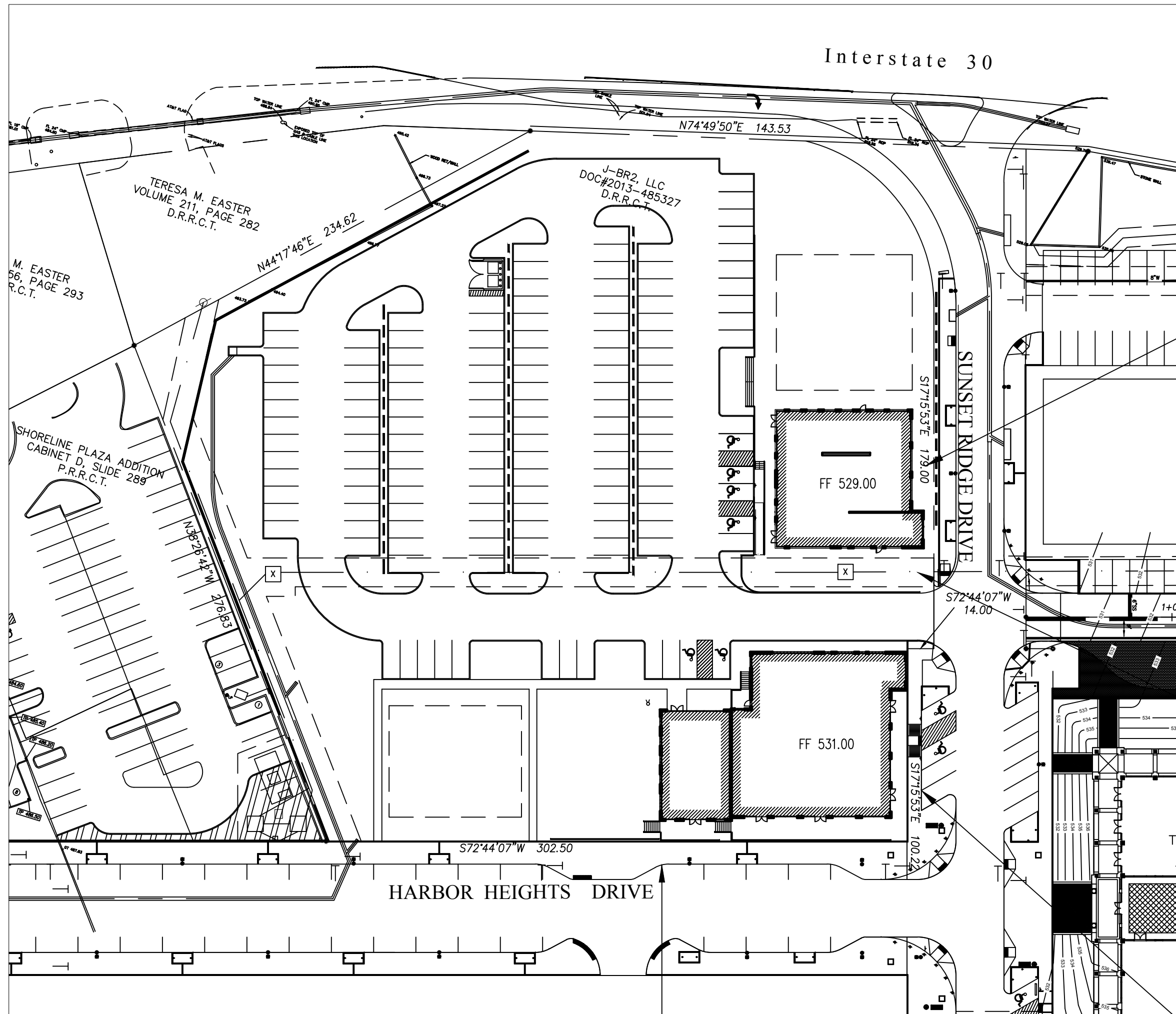
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Sheet Title:  
**ELEVATIONS -  
BUILDING "B"**

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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
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Revisions:

1	DESCRIPTION

Sheet Title:

**ELEVATIONS**

**A-5**

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1

2

3

4

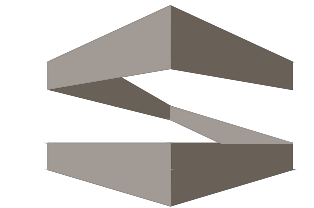
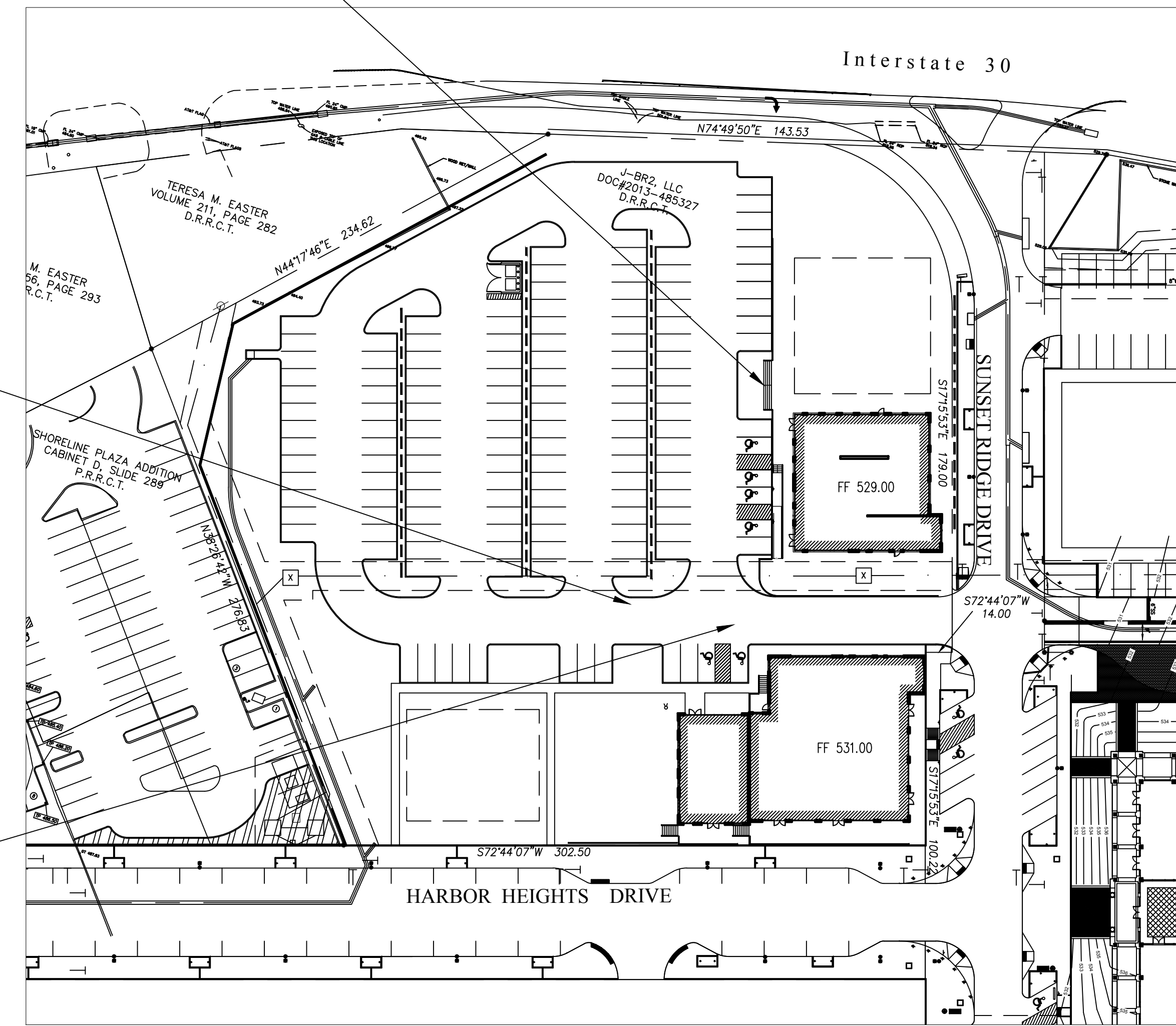
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D

C

B

A



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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

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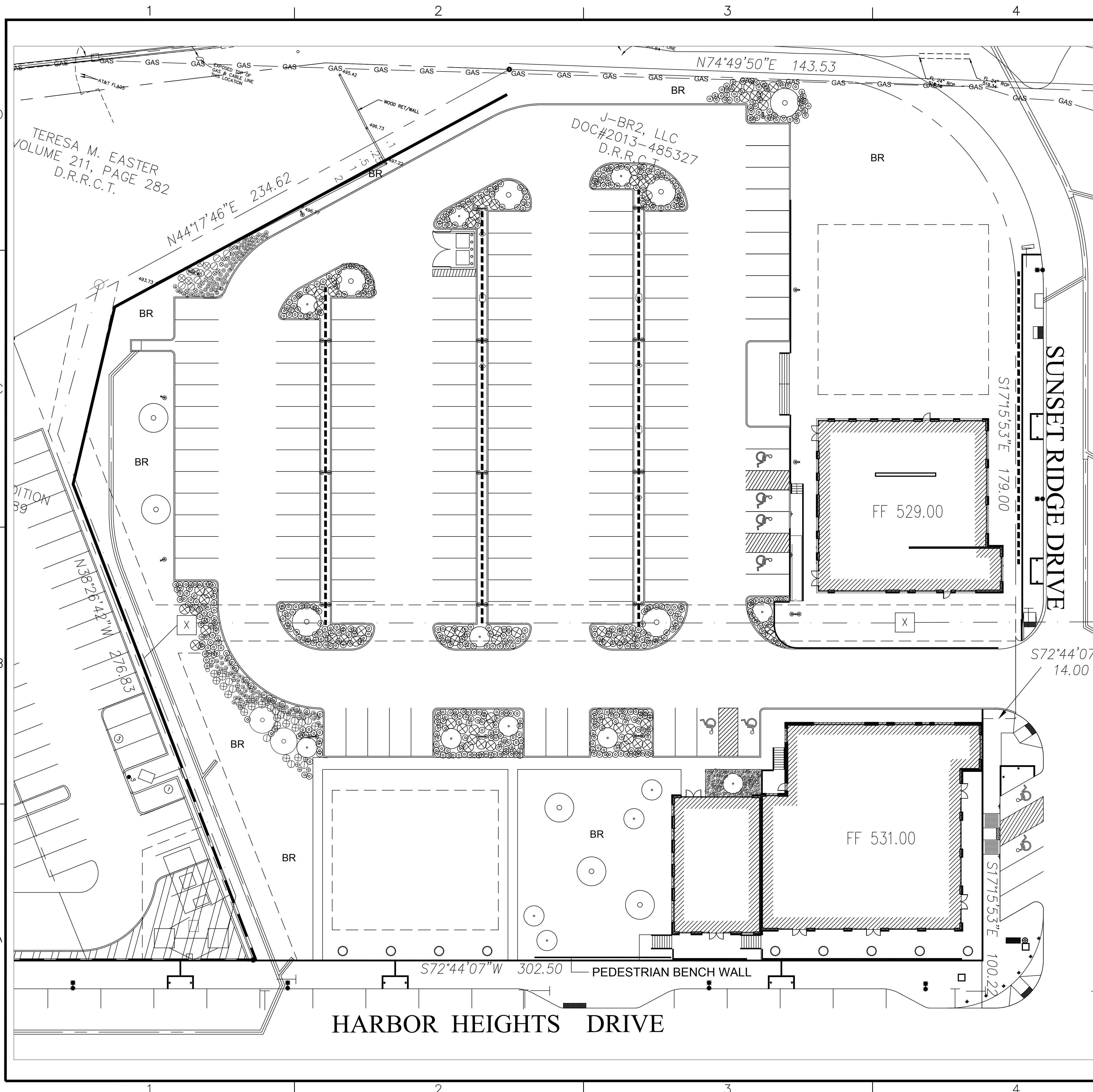
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**ELEVATIONS**

**A-6**

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**LEGEND**

- CANOPY TREE
- ORNAMENTAL (ACCENT) TREE
- SHRUB
- GROUND COVER
- PERENNIAL
- BERMUDA GRASS
- PLANTING POTS AT 20' SPACING IN FRONT OF BUILDINGS ALONG HARBOR HEIGHTS DRIVE

**LANDSCAPING GENERAL REQUIREMENTS**

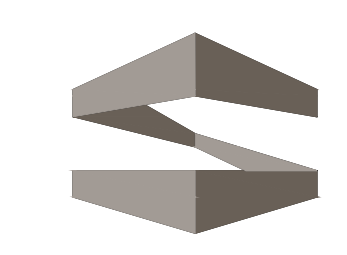
PROPOSED PARKING SPACES - 142 SPACES  
 REQUIREMENT - 1 - 3" CALIPER 65 GALLON TREE PER 8 PARKING SPOTS  
 REQUIRED TREES - 18  
 PROVIDED - 26 TREES

**LANDSCAPING GENERAL NOTES:**

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

**SITE LANDSCAPING SCHEDULE:**

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 4" CALIPER, 60 GALLON, 12'-14" HEIGHT.
2. UNDERSTORY ORNAMENTAL(ACCENT) TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10" HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



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 CIVIL:  
 STRUCTURAL:  
 MEP:  
 FOOD SERVICE:  
 LANDSCAPING:

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**NOT FOR CONSTRUCTION**

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**2701 SUNSET RIDGE**  
**SUITE 610**  
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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: 051302  
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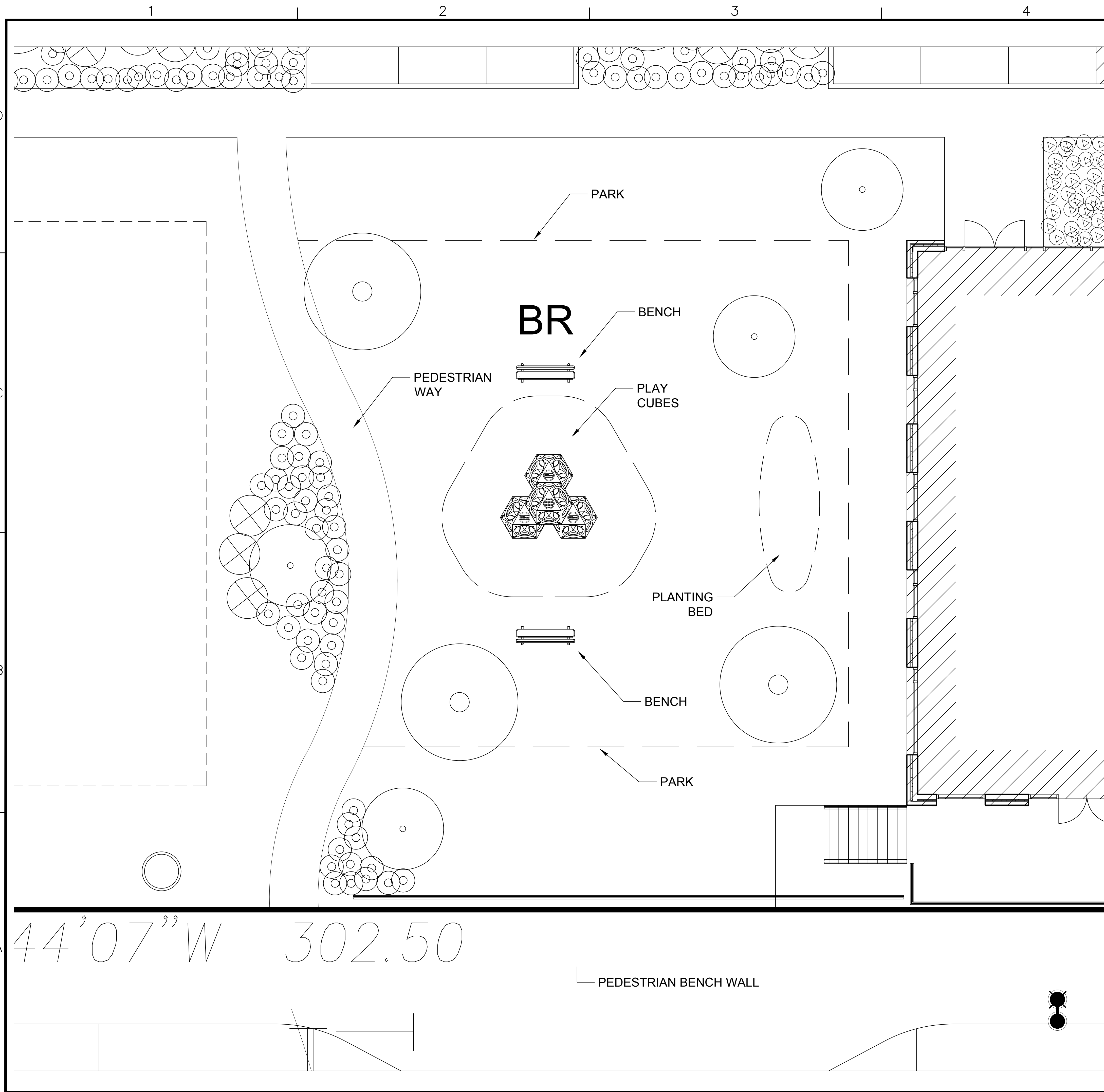
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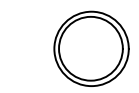

**LANDSCAPING PLAN**  
**LS-1**

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**LEGEND**

-  CANOPY TREE
-  ORNAMENTAL (ACCENT) TREE
-  SHRUB
-  GROUND COVER
-  PERENNIAL
-  BERMUDA GRASS
-  PLANTING POTS AT 20' SPACING IN FRONT OF BUILDINGS ALONG HARBOR HEIGHTS DRIVE

**LANDSCAPING GENERAL REQUIREMENTS**

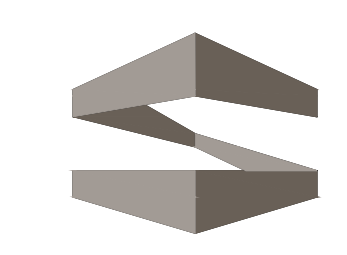
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**SITE LANDSCAPING SCHEDULE:**

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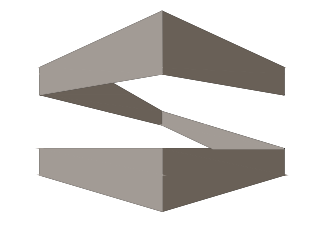
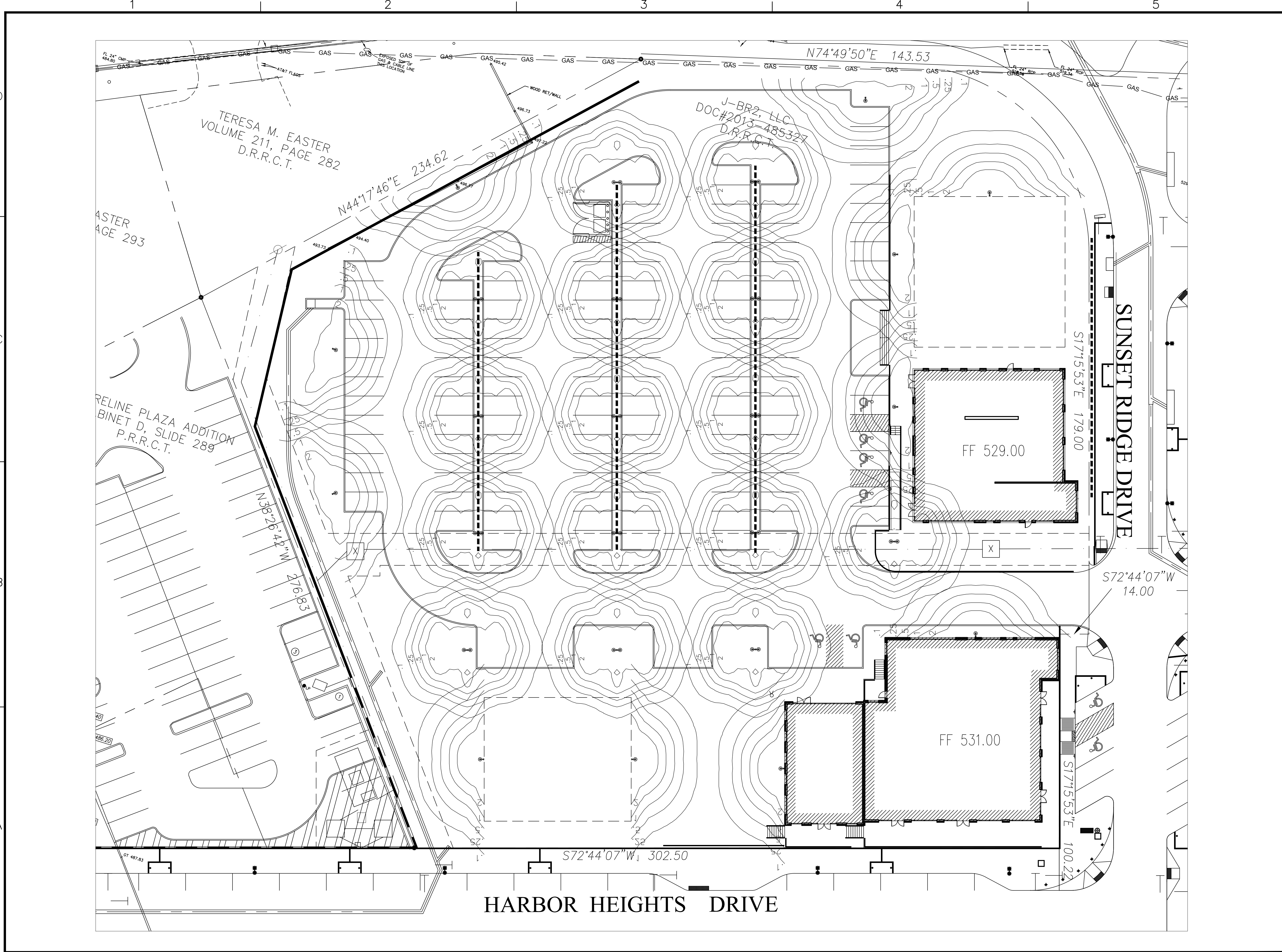
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Sheet Title:

**PARK  
PLAN  
PK-1**

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**HARBOR HEIGHTS  
RESTAURANT &  
RETAIL PADS**  
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**PHOTOMETRICS**

**P-1**

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**Description**

This contemporary styled **D154-TS20 Series** combines a cast aluminum housing, a spun aluminum shade and segmented reflector to create an efficient luminaire with Type III(**HR3**) or Type V(**HR5**) light distribution. Some of the most popular brackets for use with this fixture are shown below, however there are others available in the "Brackets & Wall Luminaires" section of this catalog.

**Installation**

The luminaire will mount to the bracket as shown on the reverse page. Post top luminaire brackets will mount to a 3" OD post or tenon with (6) 5/16" stainless steel set screws. Wall bracket models have four 3/8" holes for mounting (wall mount hardware is not included).

**Electrical**

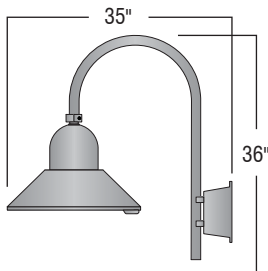
- High power factor ballast (HPF), core and coil type, pre-wired and tested
- Easy ballast pod access
- 4KV pulse rated porcelain socket
- Suitable for wet location

**Lens**

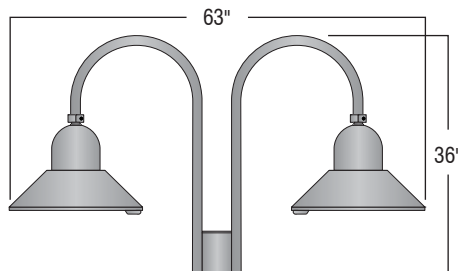
Clear smooth flat tempered glass (**GL**)

**Finish**

Premium quality thermoset polyester powdercoat (see Finish Selection)

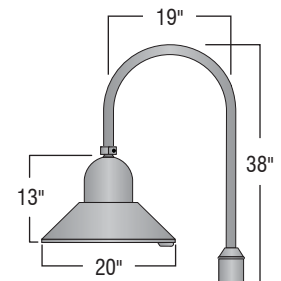


**WBR03/D154-TS20**



**PT12/D154-TS20**

EPA: 2.58  
Also available in three and four light combinations.



**PT01/D154-TS20**

EPA: 1.23

Ordering Guide							
Bracket	Luminaire	Light Distribution	Lens	Light Source	Voltage	Finish	Option
<b>PT01</b>	<b>D154-TS20</b>	<b>HR5</b>	<b>GL</b>	<b>100HPS</b>	<b>120v</b>	<b>BLK</b>	<b>PCL</b>
		<b>HR3</b>		<b>50MH,70MH</b>	<b>208v</b>	<b>CLB,GRN</b>	
				<b>100MH,50HPS</b>	<b>240v</b>	<b>WHT,TBK</b>	
				<b>70HPS</b>	<b>277v</b>	<b>ATC,GTG</b>	

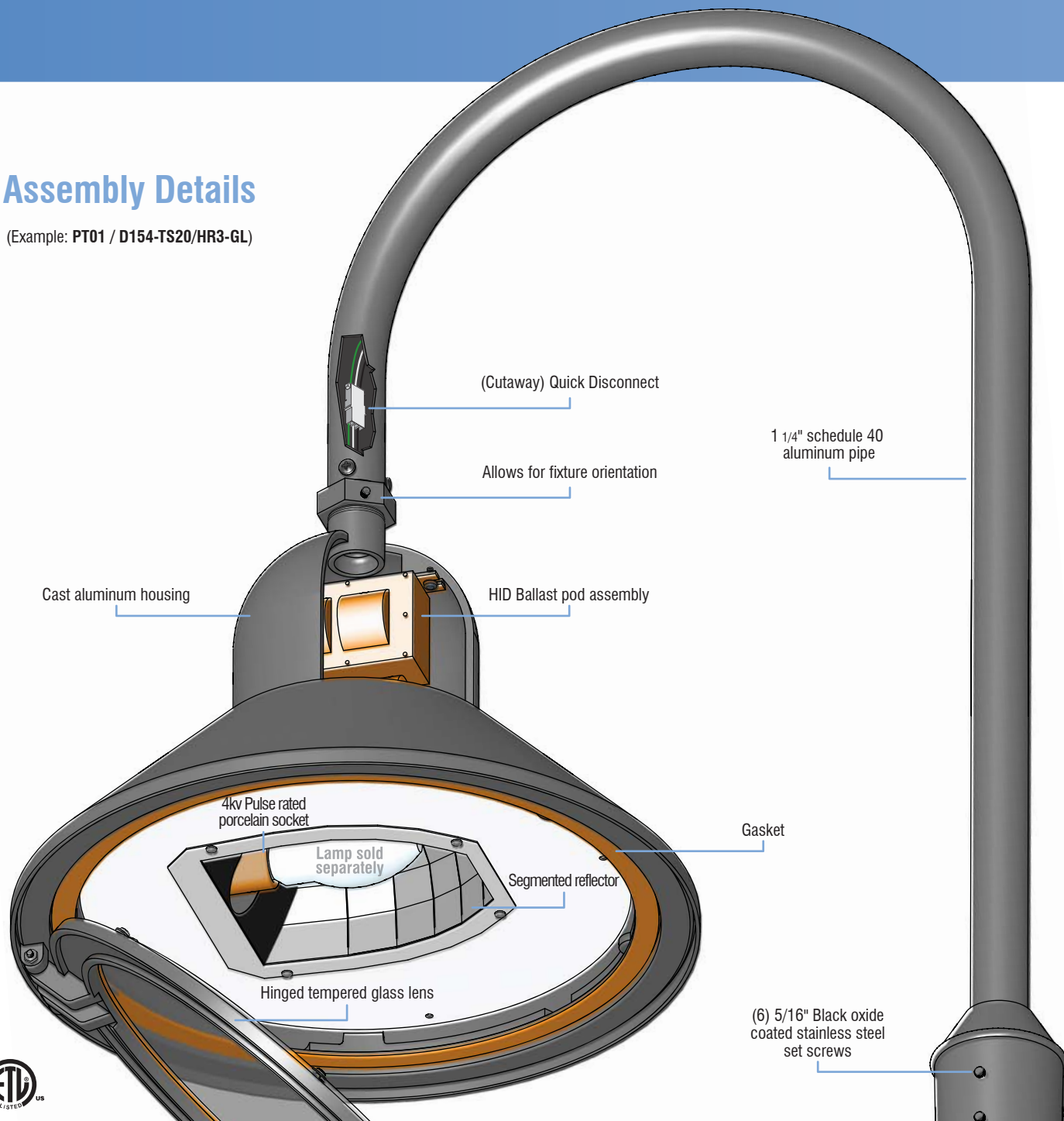
Additional light sources, voltages, and custom colors are available. Contact factory for details.

Light Sources	
Wattage	Socket Type
<b>50MH, 70MH, 100MH, 150MH</b>	Medium
<b>50HPS, 70HPS, 100HPS, 150HPS</b>	Medium
<b>PL-13</b>	2-pin
<b>CFL 26, 32, or 42</b>	4-pin



## Assembly Details

(Example: PT01 / D154-TS20/HR3-GL)

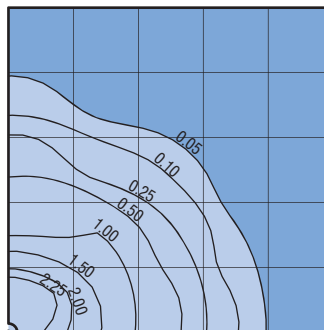


### Optical Systems

Standard  
**(HR3-GL)** - Type III segmented reflector with a clear flat tempered glass.

**(HR5-GL)** - Type V segmented reflector with a clear flat tempered glass.

### Standard Photometry



**PT01/D154-TS20/HR5**  
 Typical HID light source  
 8,500 Lumen  
 12' Mounting Height  
 Grid Spacing is 12'





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 10, 2019  
**APPLICANT:** Jimmy Strohmeyer, *Strohmeyer Architects, Inc.*  
**CASE NUMBER:** SP2019-033; *Site Plan for the Harbor Height Retail and Restaurants*

---

### **SUMMARY**

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of J-BR2, LLC for the approval of a site plan for a strip retail center and restaurant on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Sub-District of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive, and take any action necessary.

### **BACKGROUND**

On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as *PD-32* or the *Harbor District*. Within the approved concept plan, *PD-32* was divided into ten (10) subdistricts that contained individual development and land use standards. On November 17, 2014, the City Council adopted *Ordinance No. 14-51*, which contained a PD Development Plan for a 2.893-acre tract of land located in the *Hillside Subdistrict (i.e. the subject property)*. This PD Development Plan showed a series of buildings would be constructed along Harbor Heights Drive in conformance to the requirements of *Ordinance No. 10-21*. With the approval of *Ordinance No. 14-51*, the City Council also approved waivers to the building placement requirements and pedestrian access requirements to allow retaining walls ranging from seven (7) to nine (9) feet in height to be established along Harbor Heights Drive. The approval of these walls were tied to building elevations submitted by the applicant and which were tied down as apart of the City Council's approval. On May 1, 2017, the City Council adopted *Ordinance No. 17-22*, which amended *Ordinance No. 10-21* to update various exhibits in the ordinance; however, no changes were made to the requirements of the *Hillside Subdistrict* or for the subject property.

On May 15, 2019, the applicant -- *Jimmy Strohmeyer of Strohmeyer Architects, Inc.* -- submitted an application requesting to amend *Ordinance No. 14-51* to change the PD Development Plan approved for the subject property (*i.e. Case No. Z2019-013*). The new PD Development Plan showed additional buildings being added along Sunset Ridge Drive and a central green space being incorporated adjacent to Harbor Heights Drive. This request was approved on July 1, 2019 by *Ordinance No. 19-25*.

### **PURPOSE**

Based on the approval of *Ordinance No. 19-25*, the applicant -- *Jimmy Strohmeyer of Strohmeyer Architects, Inc.* -- submitted a site plan for the proposed retail and restaurant development on the 2.893-acre subject property on May 15, 2019.



**ADJACENT LAND USES AND ACCESS**

The subject property is located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.293-acre tract of land zoned Planned Development District 32 (PD-32), which is located within the *Hillside Subdistrict*. Currently situated on this property is a ~3,743 SF multi-tenant office building. Beyond this are the frontage roads and main lanes of IH-30.

South: Directly south of the subject property is Harbor Heights Drive, which is classified as a *Street Type 'D'* according to Planned Development District 32 (PD-32) [*Ordinance No. 17-22*]. Beyond this is a 6.1978-acre tract of land owned by the City of Rockwall, and which currently has a parking lot that serves the greater *Harbor District*. This property is zoned Planned Development District 32 (PD-32) and is located within the *Hillside Mixed-Use Subdistrict*.

East: Directly east of the subject property is Sunset Ridge Drive, which is identified as a *Street Type 'B'* and *'E'* according to Planned Development District 32 (PD-32) [*Ordinance No. 17-22*]. East of this roadway is a seven (7) story office building (*i.e. Trend Tower*), which is situated on a 2.0617-acre parcel of land that is located within the *Summit Office Subdistrict*.

West: Directly east of the subject property is a restaurant (*i.e. Culpepper Steakhouse*), which is situated on a 1.40-acre parcel of land that is located within the *Hillside Subdistrict*. Beyond this is Shoreline Trail, which is identified as a *Street Type 'A'* according to Planned Development District 32 (PD-32) [*Ordinance No. 17-22*]. Beyond this is a restaurant (*i.e. the Oar House*), which is situated on a 0.65-acre parcel of land that is located within the *Freeway Frontage Subdistrict*.

All property within these areas are zoned Planned Development District 32 (PD-32) and are subject to the requirements of *Ordinance No. 17-22*.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

The site plan submitted by the applicant shows the construction of two (2) buildings (*i.e. a 5,000 SF restaurant along Sunset Ridge Drive, and a two [2] story 13,500 SF restaurant and office building at the corner of the intersection of Sunset Ridge Drive and Harbor Heights Drive*) and the addition of two (2) retail/restaurant pad sites (*i.e. a pad site for a 6,000 SF building at the corner of the intersection of Sunset Ridge Drive and the IH-30 frontage road, and a 4,000 SF building along Harbor Heights Drive*). In addition, the site plan depicts the incorporation of a private park area that will be provided in between the proposed pad site and proposed building adjacent to Harbor Heights Drive. A park plan for this area showing the provision of small amenities (*i.e. play cubes -- similar to the ones situated in the Harbor retail areas --, park benches, and landscaping*) was submitted for the Parks and Recreation Board's review.

With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the PD Development Plan approved with *Ordinance No. 19-25*, the design guidelines contained in *Resolution No. 10-40*, the technical requirements contained within *Ordinance No. 17-22*, and the UDC for a property located within the *Hillside Subdistrict* of Planned Development District 32 (PD-32). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Build-To-Line (Distance from ROW Line)</i>	<i>8' (Harbor Heights Drive) 4' (Sunset Ridge Drive)</i>	<i>Approved Per Ord. 19-25</i>



<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Setback from ROW</i>	250' (IH-30 Frontage Road) 5' (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25
<i>Minimum Building Façade along ROW</i>	85% (Harbor Heights) 100% (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25
<i>Maximum Lot Coverage</i>	30%	27.5%; In Conformance
<i>Ground Floor Uses</i>	Retail/Restaurant	Approved Per Ord. 19-25
<i>Second Floor Uses</i>	Retail/Restaurant/Office	Approved Per Ord. 19-25
<i>Maximum Building Height</i>	2 Stories or 35'	In Conformance
<i>Surface Parking Setbacks</i>	20' (IH-30 Frontage Road) 10' (All Other Roads)	x>20'/x>10'; In Conformance
<i>Surface Parking</i>	100%	100%; In Conformance
<i>Minimum Pedestrian Ways</i>	2	2; In Conformance
<i>Minimum Stone Requirement</i>	20%	x<20%; <i>Variance Requested</i>

## **TREESCAPE PLAN**

The subject property does not currently have any trees on it, and as a result the Treescape Plan requirement was waived for this case.

## **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following exceptions and variances to the requirements of the Unified Development Code (UDC):

- (1) *Building Materials*. The material percentages included with the building elevations incorporated the glazing in the calculations, which -- according to the procedures for calculating building material percentages -- should be excluded from the formula. The revised percentages are as follows:

<u>Building A</u>	North		East		South		West	
Brick	934	34.14%	640	36.72%	364	12.01%	480	30.32%
Stone	817	29.86%	295	16.92%	1,683	55.51%	114	7.20%
Metal	101	3.69%	71	4.07%	57	1.88%	34	2.15%
Stucco	884	32.31%	737	42.28%	928	30.61%	955	60.33%
	2,736	100.00%	1,743	100.00%	3,032	100.00%	1,583	100.00%

<u>Building B</u>	North		East		South		West	
Brick	450	30.30%	195	14.86%	125	9.12%	414	28.26%
Stone	310	20.88%	333	25.38%	871	63.53%	201	13.72%
Metal	45	3.03%	51	3.89%	91	6.64%	39	2.66%
Stucco	680	45.79%	733	55.87%	284	20.71%	811	55.36%
	1,485	100.00%	1,312	100.00%	1,371	100.00%	1,465	100.00%

**RED:** Variance to the Material Requirements

- (a) *Stone Percentage Requirement*. According to Section 6, *General Overlay District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, the applicant is showing percentages less than 20% on the east (16.92%) and west (7.20%) façades of *Building A* and the west (13.72%) façade of *Building B*.
- (b) *Natural Stone Requirement*. According to Section 6, *General Overlay District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Planning and Zoning Commission, upon recommendation from the Architectural Review Board



(ARB), may grant the use of a high quality manufactured or cultured stone in lieu of natural or quarried stone if it is determined that the application of the manufactured or cultured stone will be complimentary and integral to the design of the building. In making this determination the shape, texture, size, quality and warranty of the product should be considered. In this case, the applicant is proposing to use a *natural stone veneer*, which does not meet this requirement. Staff has requested a material sample of the veneer for the Architectural Review Board (ARB) to review and provide a recommendation to the Planning and Zoning Commission.

(2) *Articulation Requirements.*

- a) *Primary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, primary façades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of four (4) time the walls height without an architectural/entryway element. In this case, the proposed building does not meet the required vertical or horizontal projections on the primary façades.
- b) *Secondary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, secondary façades require projections associated with entryways and architectural elements. Specifically, the secondary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does not meet the required vertical or horizontal projections on the secondary façades.

The applicant has stated that the reason for the articulation variance is tied to the topography of the site, which has a dramatic grade change along Harbor Heights Drive. Based on this grade change the applicant asserts that the site will be highly articulated in ways that the formulas cannot capture. In addition, the design and footprints of the buildings were referenced as part of *Case No. Z2019-013*; however, the variance was not specifically stated in the case memo nor was it addressed in *Ordinance No. 19-25*. With regard to the variances and exceptions relating to stone staff should point out that alternative stone products have been approved in various percentages (*i.e. less than 20%*) on other buildings in the Harbor District. As compensatory measures to requested variances, the applicant has provided additional landscaping and a private park amenity.

These variances and exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a  $\frac{3}{4}$ -majority vote of the Planning and Zoning Commission. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

By virtue of being in Planned Development District 32 (PD-32), generally conforming to *Ordinance No. 17-22* and the approved PD Development Plan (*i.e. Ordinance No. 19-25*), the proposed site plan conforms to the majority of the district strategies intended for properties in the *Harbor District* as stipulated by the *Land Use Plan* outlined in the OURHometown Vision 2040 Comprehensive Plan. In addition, the incorporation of the park/central green space conforms to the goals and policies contained in Chapter 3, *Parks, Open Space, and Trails*, of the OURHometown Vision 2040 Comprehensive Plan. Specifically, this section states that staff should, "(e)ncourage the creation of small, private greens and common areas in new neighborhoods, commercial shopping centers, and industrial developments for the purpose of enhancing the character, desirability and quality of social interaction in the city." The programing and layout of the proposed park/central green space will be reviewed by the Parks and Recreation Board and any recommendations shall be approved with the final plat.



## **ARCHITECTURAL REVIEW BOARD (ARB):**

On August 27, 2019, the applicant met with the Architectural Review Board (ARB) to discuss the proposed building elevations. At this meeting the applicant introduced two (2) different design schemes. Based on the proposed design schemes, the ARB requested that the applicant utilize the contrasting building material scheme (*i.e. the scheme that proposed elements that contrasted with the colors and materials used on the Trend Tower elevations*). In addition, the ARB requested that the applicant better conform to the vertical articulation requirements and revise the tower element on the building at the corner of the intersection of Sunset Ridge Drive and Harbor Heights Drive. The ARB also requested a material sample board for the purpose of reviewing the proposed stone veneer and providing a recommendation to the Planning and Zoning Commission. The applicant has since submitted building elevations conforming with the majority of the ARB's recommendations; however, the applicant is requesting a variance to the articulation requirements. The applicant has stated that a stone sample will be provided to the ARB at the meeting on September 10, 2019.


## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's site plan and associated variances/exceptions, then staff would propose the following conditions of approval:

- (1) All of the conditions required by *Ordinance No. 19-25* and that were established with *Case No. Z2019-013* shall be conditions of approval of this site plan.
- (2) The Parks and Recreation Board shall review the private park/open space amenity package and make recommendations in conjunction with the approval of the final plat.
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



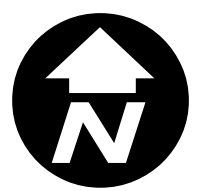
0 37.5 75 150 225 300 Feet

SP2019-033 - HARBOR HEIGHTS  
SITE PLAN - LOCATION MAP = 



**C R**  
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







September 4, 2019

Mr. Ryan Miller  
Director of Planning  
City of Rockwall  
385 South Goliad  
Rockwall, TX. 75087

Re: Harbor Heights Restaurant Retail – SP2019-033

Ryan,

I am requesting a variance on the above-referenced project for the following items:

1. Stone requirement for each building façade – While we do not meet the 20% per façade, overall we exceed the 20% stone for the total of all facades. Stone is provided on all facades for consistency.
2. Building articulation formulas – Due to the natural topography of the site, the buildings have extreme vertical articulation that is not captured by the formula calculations.

Compensatory measures provided:

1. Park and green space with amenities
2. Additional landscaping beyond required

Thank you for your consideration of these variances. If you need further information, please let us know.

Sincerely,

A handwritten signature in black ink that reads 'Jimmy Strohmeier, Jr.' in a cursive script.

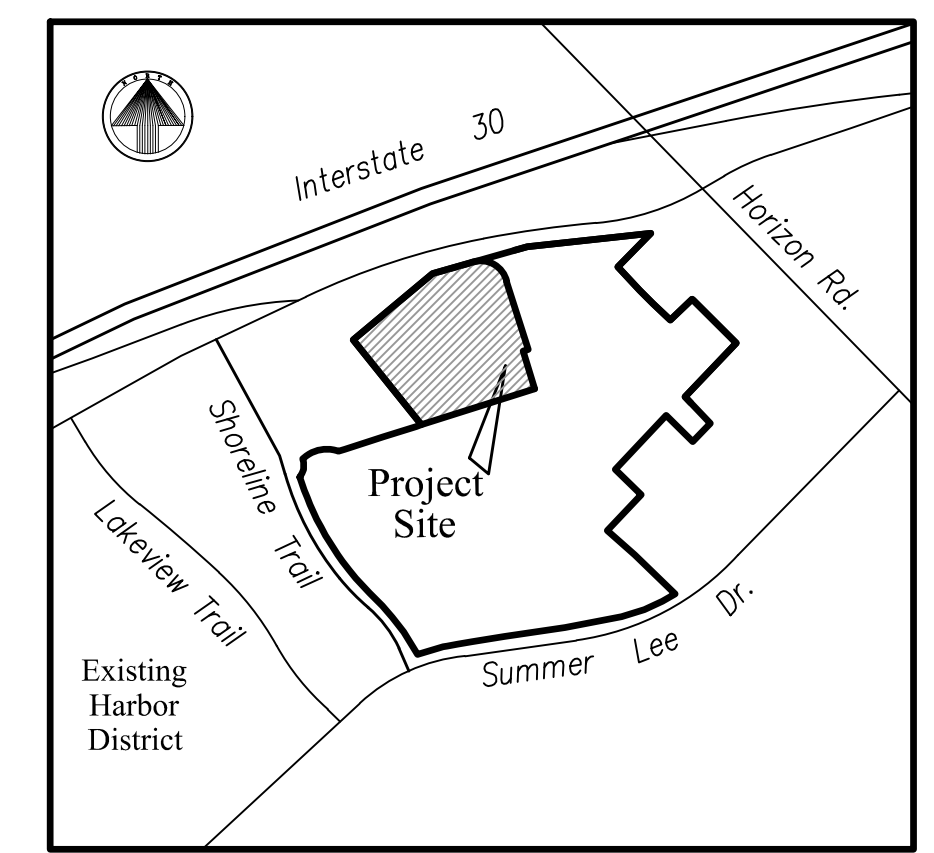
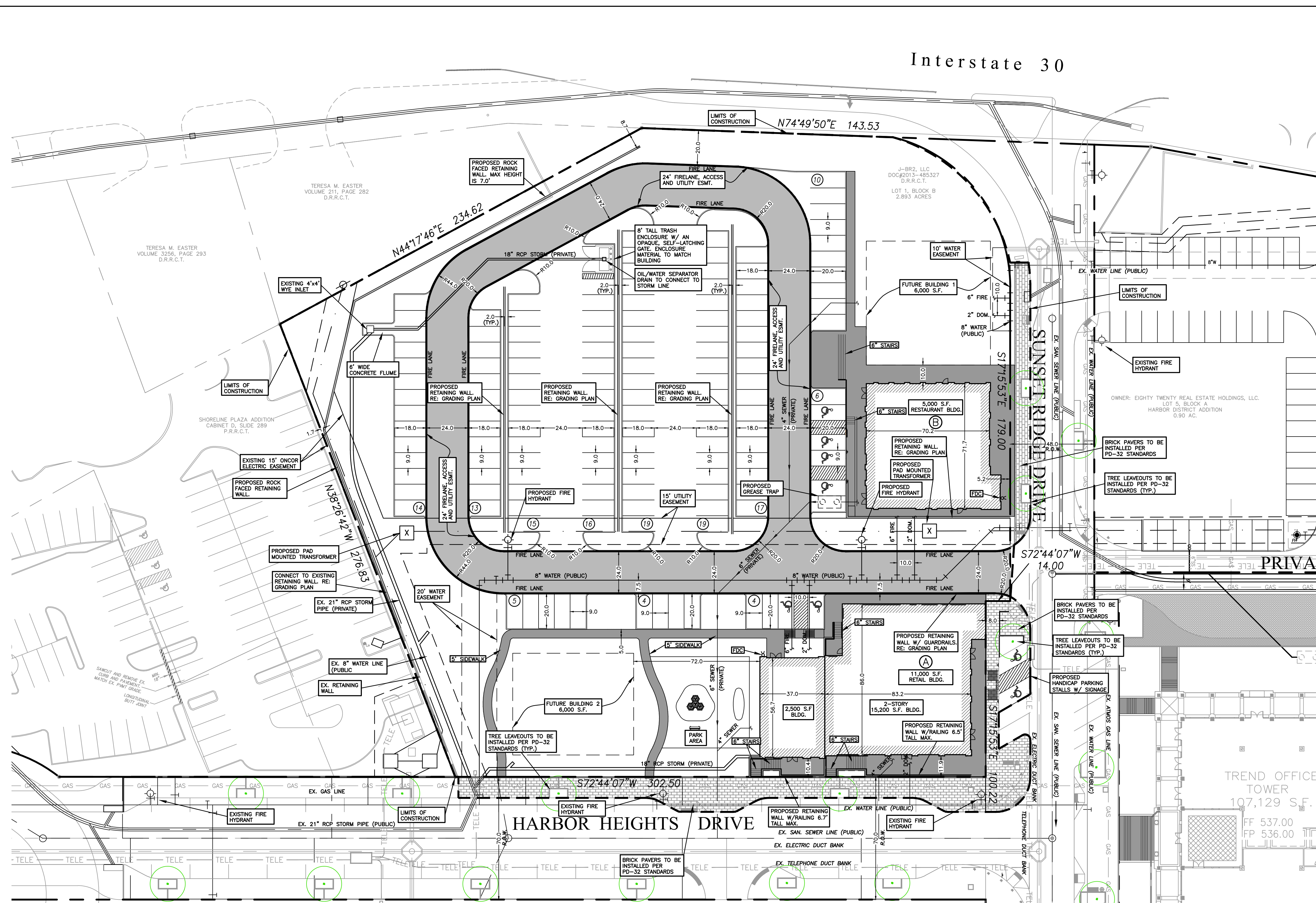
Jimmy Strohmeier, AIA, NCARB  
President & CEO

Creating Quality Client Experiences

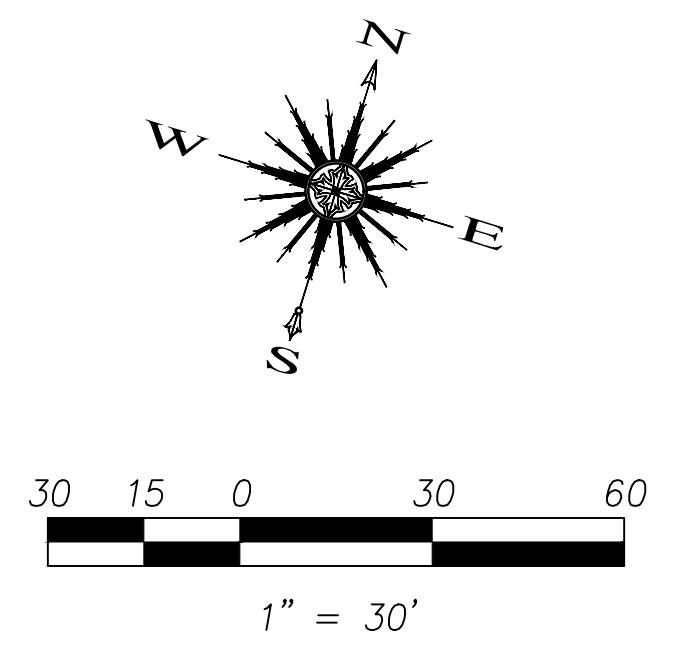
Rockwall: 2701 Sunset Ridge, Suite 607, Rockwall, Texas 75032 | Dallas: 4101 McEwen, Suite 448, Dallas, Texas 75244



Z:\Projects\6-Commercial\Harbor District - Restaurant Pad Sites\1-DRAWINGS\1-DESIGN-CURRENT\4 - HARBOR RR-SITE PLAN.dwg, 9/4/2019 1:15:53 PM



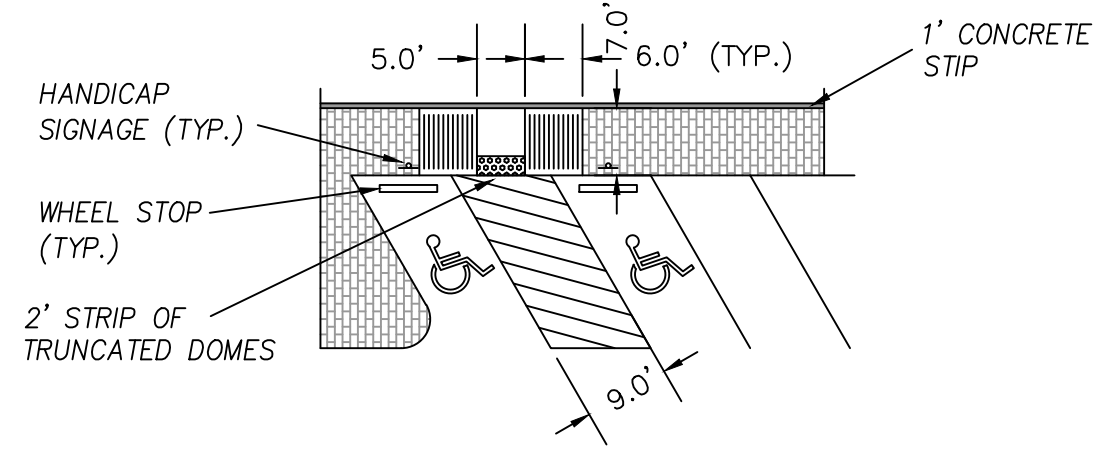
LOCATION MAP



NOTE:  
- DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RETAIL/RESTAURANT EXTERIOR.

**SITE INFORMATION**

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	11,000 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,200/126,018 = .275 → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)



\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

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CASE NUMBER: SP2019-033

Revision	Date	Description

Owner:  
**J-BR2, LLC.**  
1400 Ridge Road • Rockwall, TX 75087

**Harbor Heights  
Restaurant and Retail Site**  
Rockwall, Texas 75032

~ Civil Engineer ~  
**F.C. CUNY CORPORATION**  
#2 Horizon Court • Heath, Texas 75032 • (469) 402-7700  
Texas Registered Engineering Firm F-7449

9/4/2019

Drawn By: F.C. CUNY  
Checked By: F.C. CUNY

Date: 08/19  
Project No: -

Sheet Title:  
**Site Plan**

Scale: 1" = 30'  
Sheet No.: 1 of 1





**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

FOR SITE PLAN  
APPROVAL ONLY

**NOT FOR  
CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: HHRR  
Drawing Date: 8/31/2019  
Drawn: Author  
Checked: Checker  
Scale: 3/16" = 1'-0"

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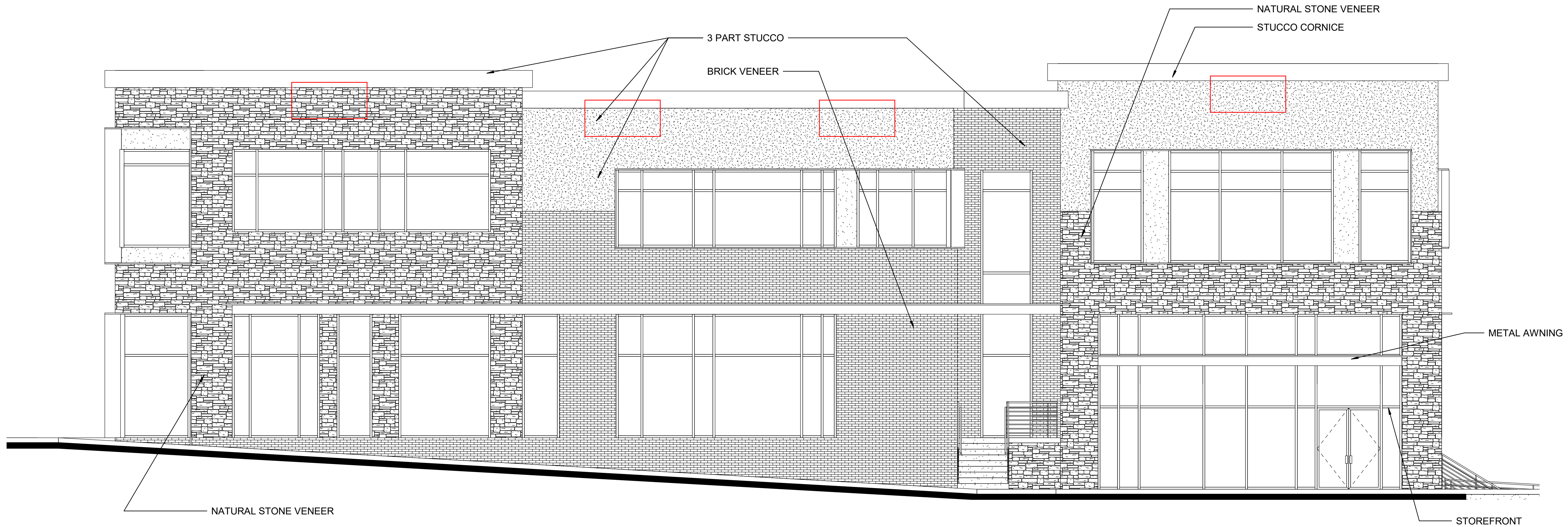
Revisions:

#	Revision Date	Revision Description

Sheet Title:  
**ELEVATIONS -  
BUILDING "A"**

SP2019-033

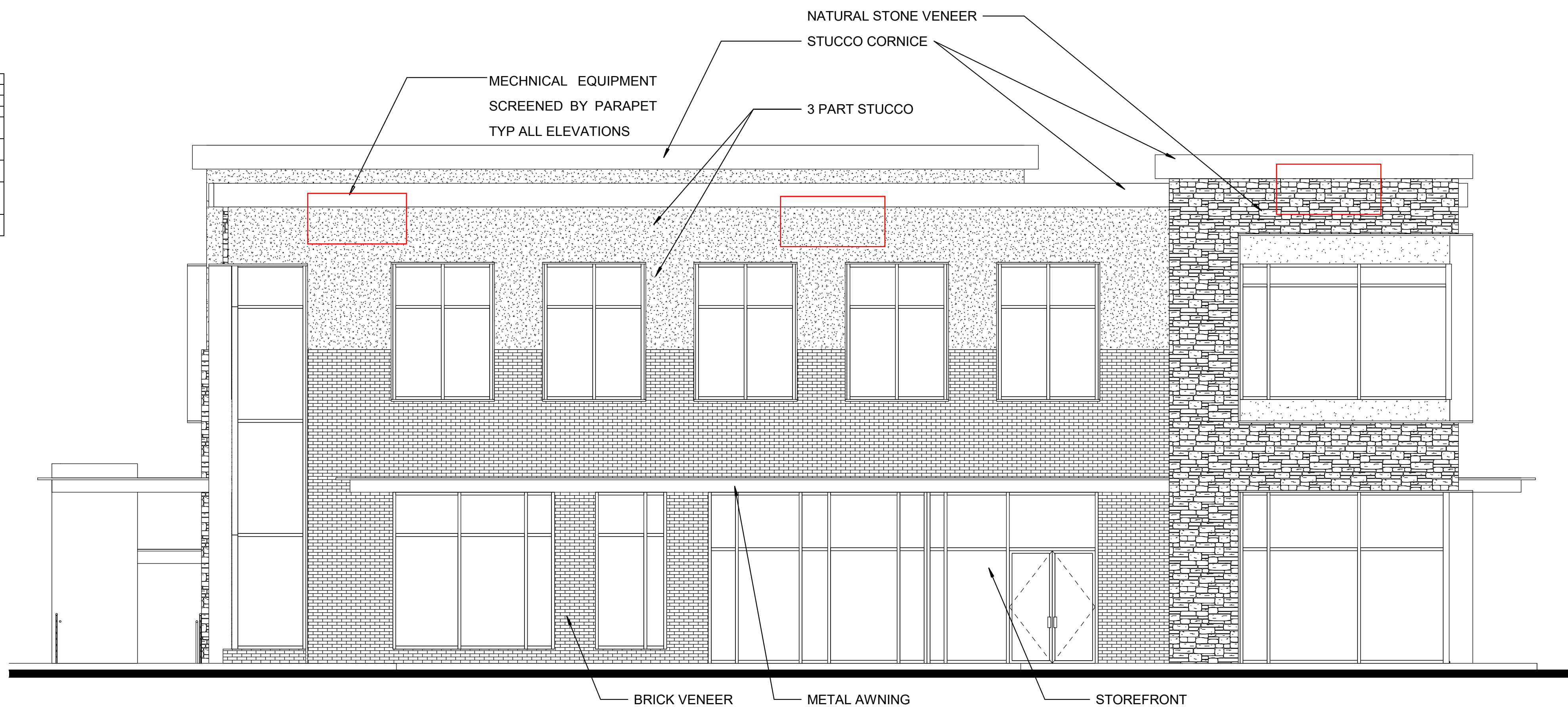
A1



**2 BUILDING "A" - NORTH**  
3/16" = 1'-0"

Building A	Measurement	East		North		South		West	
		Provided	Required	Provided	Required	Provided	Required	Provided	Required
Wall Height	1	34.1		34.1		40.2		40.2	
Maximum Wall Length/Wall Length	2	66.5	102.3	81.5	102.3	81.5	120.6	58	120.6
Minimum Length Secondary Entrance/Arch Element	3	20.25	16.625	11.5	20.375	8	20.375	10.5	14.5
Minimum Wall Projection Secondary Entrance/Arch Element	4	8	8.525	28	8.525	66.5	10.05	37.1	10.05
Minimum Width Secondary Entrance/Arch Element	5	20.25	17.05	56.5	17.05	20.25	20.1	40	20.1
Minimum Height above top of wall for Secondary Entrance/Arch Element	6	2	8.525	2	8.525	2	10.05	2	10.05
Minimum Length of Primary Entrance/Arch Element	7	20.25	40.5	37	23	37	16	29.1	21

HHRR		FAÇADE MATERIAL CALCULATIONS				9/4/19
HARBOR HEIGHTS		NORTH		EAST		
	4,909.0	%		3,165.0	%	
BRICK	934.0	19.0%	BRICK	640.0	20.2%	
STONE	817.0	16.6%	STONE	295.0	9.3%	
METAL	101.0	2.1%	METAL	71.0	2.2%	
STUCCO	884.0	18.0%	STUCCO	737.0	23.3%	
GLAZING	2,173.0	44.3%	GLAZING	1,422.0	44.9%	
	4,983.0	%		3,555.0	%	
BRICK	364.0	7.3%	BRICK	480.0	13.5%	
STONE	1,683.0	33.8%	STONE	1,114.0	31.3%	
METAL	57.0	1.1%	METAL	34.0	1.0%	
STUCCO	928.0	18.6%	STUCCO	955.0	26.9%	
GLAZING	1,951.0	39.2%	GLAZING	972.0	27.3%	



**1 BUILDING "A" - EAST**  
3/16" = 1'-0"





**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
CIVIL:  
STRUCTURAL:  
MEP:  
FOOD SERVICE:  
LANDSCAPING:

FOR SITE PLAN  
APPROVAL ONLY

**NOT FOR  
CONSTRUCTION**

**OWNER**  
**J-BR2, LLC**  
**2701 SUNSET RIDGE**  
**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: HHRR  
Drawing Date: 8/31/2019  
Drawn: PC  
Checked: JS  
Scale: 3/16" = 1'-0"

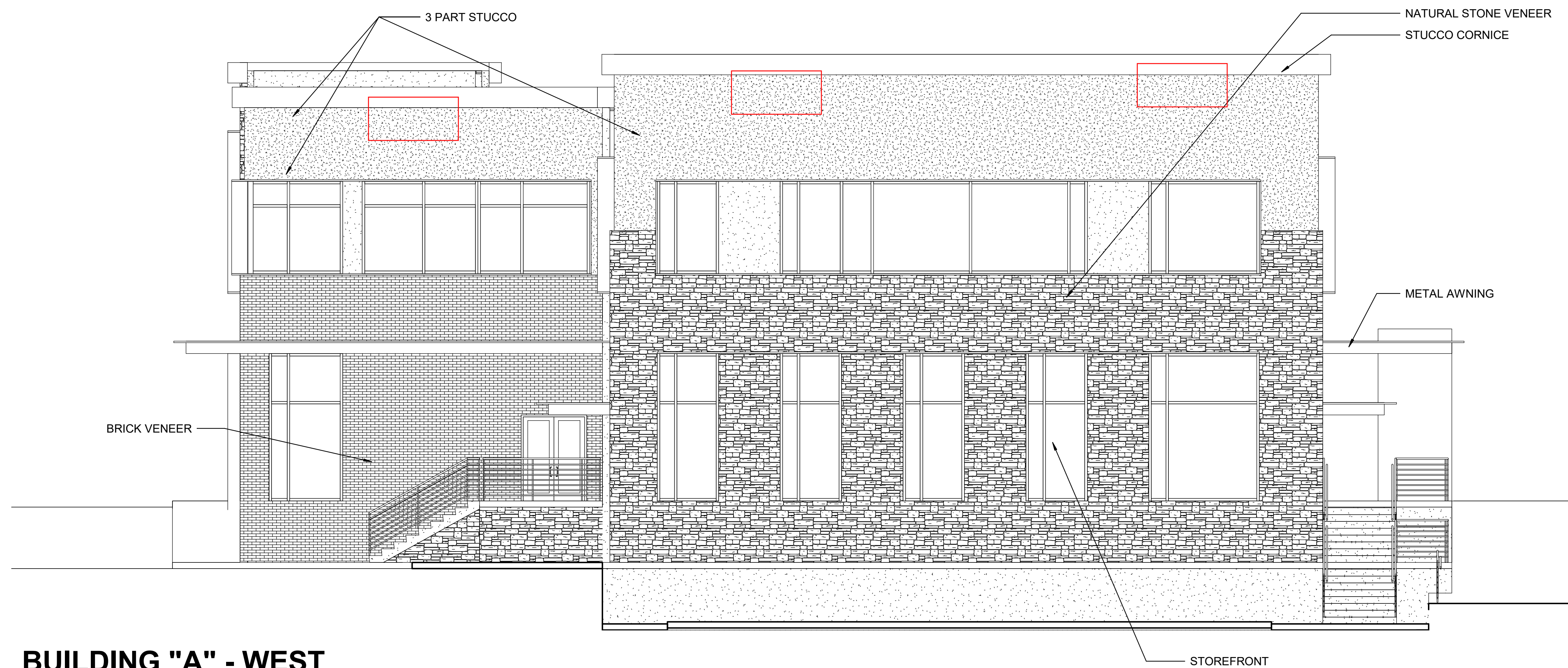
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#	Revision Date	Revision Description

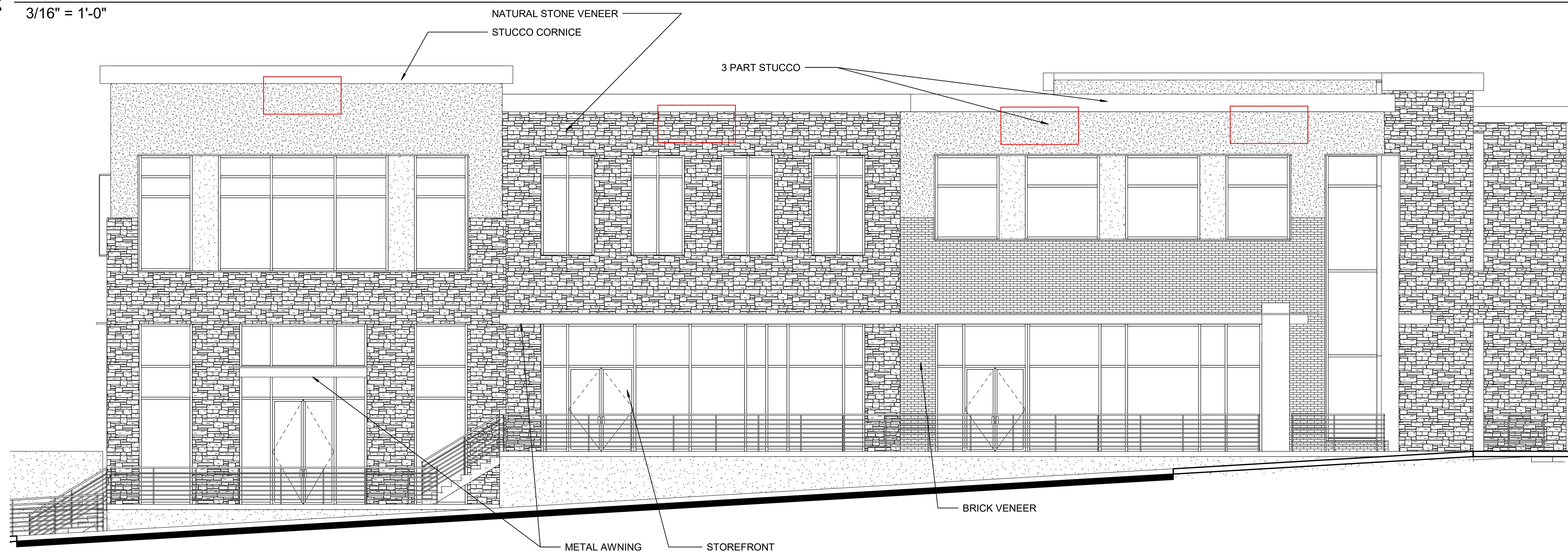
Sheet Title:  
**ELEVATIONS -  
BUILDING "A"**

SP2019-033

A2



**2 BUILDING "A" - WEST**  
3/16" = 1'-0"



**1 BUILDING "A" - SOUTH**  
3/16" = 1'-0"

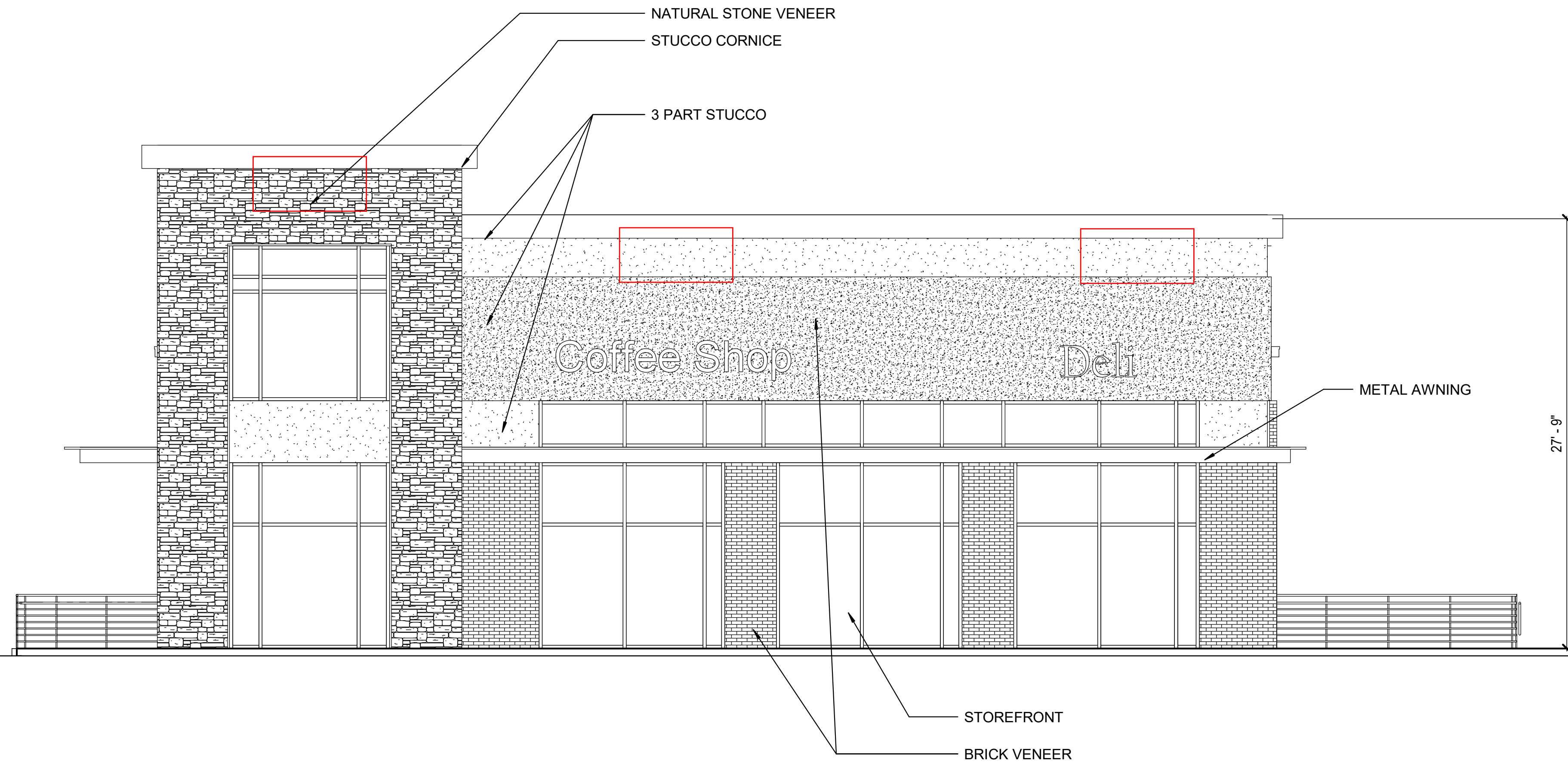
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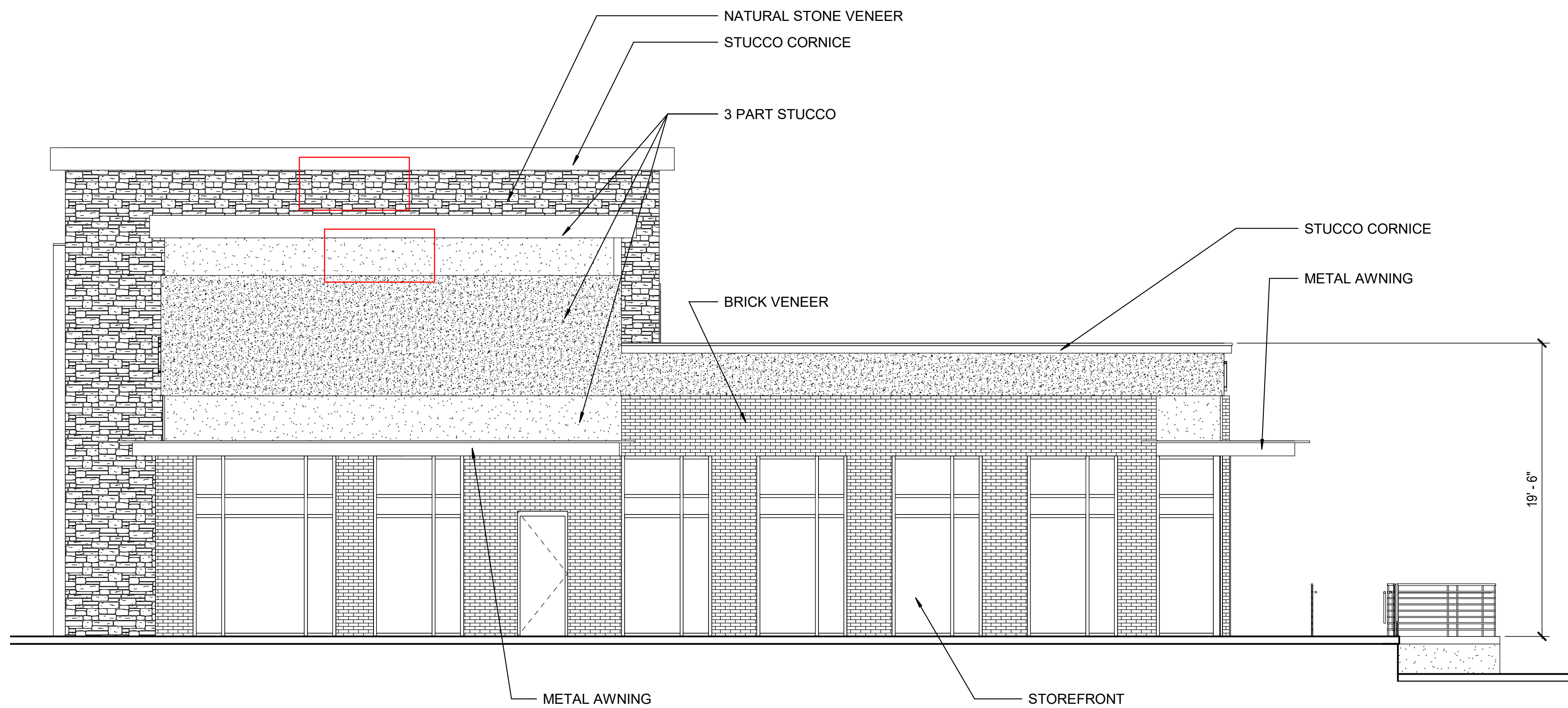


Building B	Measurement	East		North		South		West	
		Provided	Required	Provided	Required	Provided	Required	Provided	Required
Wall Height	1	27.75		19.25		19.25		19.25	
Maximum Wall Length/Wall Length	2	52	83.25	40	57.75	40	57.75	72	57.75
Minimum Length Secondary Entrance/Arch Element	3	19.75	13	30.75	10	39.5	10	19.8	18
Minimum Wall Projection Secondary Entrance/Arch Element	4	6.7	6.9375	4	4.8125	19.75	4.8125	37.5	4.8125
Minimum Width Secondary Entrance/Arch Element	5	39.75	13.875	52	9.625	39.5	9.625	19.8	9.625
Minimum Height above top of wall for Secondary Entrance/Arch Element	6	4.5	6.9375	8.25	4.8125	13	4.8125	11.75	4.8125
Minimum Length of Primary Entrance/Arch Element	7	19.75	39.5	39	61.5	39.5	79	19.75	39.6

HHRR		9/4/19				
HARBOR HEIGHTS		FAÇADE MATERIAL CALCULATIONS				
<b>BUILDING B</b>	<b>NORTH</b>	2,027.0	%	<b>EAST</b>	2,118.0	%
	BRICK	450.0	22.2%	BRICK	195.0	9.2%
	STONE	310.0	15.3%	STONE	333.0	15.7%
	METAL	45.0	2.2%	METAL	51.0	2.4%
	STUCCO	680.0	33.5%	STUCCO	733.0	34.6%
	GLAZING	542.0	26.7%	GLAZING	806.0	38.1%
	<b>SOUTH</b>	2,031.0	%	<b>WEST</b>	2,121.0	%
	BRICK	125.0	6.2%	BRICK	414.0	19.5%
	STONE	871.0	42.9%	STONE	201.0	9.5%
	METAL	91.0	4.5%	METAL	39.0	1.8%
STUCCO	284.0	14.0%	STUCCO	811.0	38.2%	
GLAZING	660.0	32.5%	GLAZING	656.0	30.9%	



**2 BUILDING "B" - EAST**  
3/16" = 1'-0"



**1 BUILDING "B" - NORTH**  
3/16" = 1'-0"



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**SUITE 610**  
**ROCKWALL, TEXAS**  
**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

Project Number: HHRR  
Drawing Date: 8/31/2019  
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Scale: 3/16" = 1'-0"

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Revisions:	
#	Revision Description

Sheet Title:  
**ELEVATIONS -  
BUILDING "B"**

SP2019-033

A3



1 | 2 | 3 | 4 | 5

D

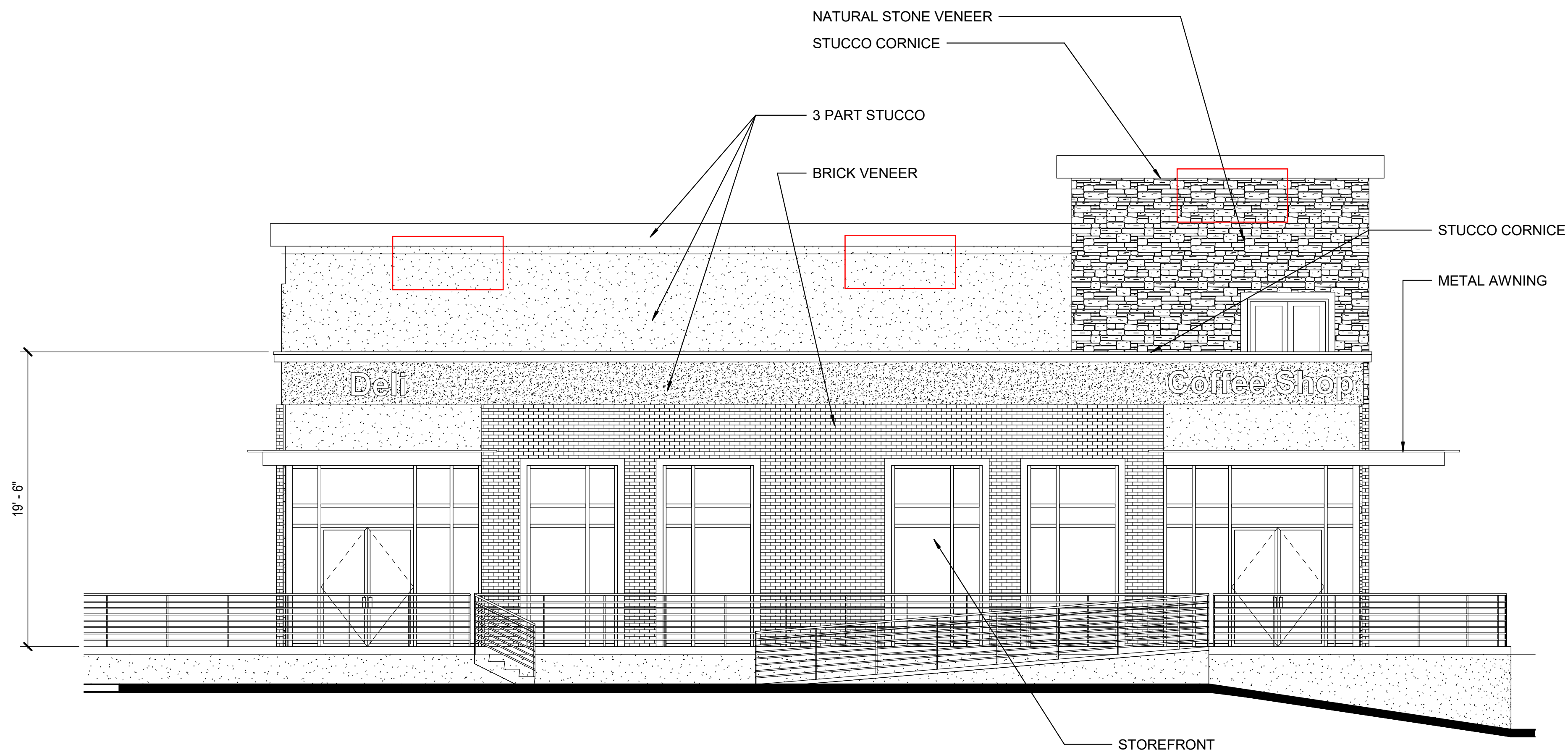
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B

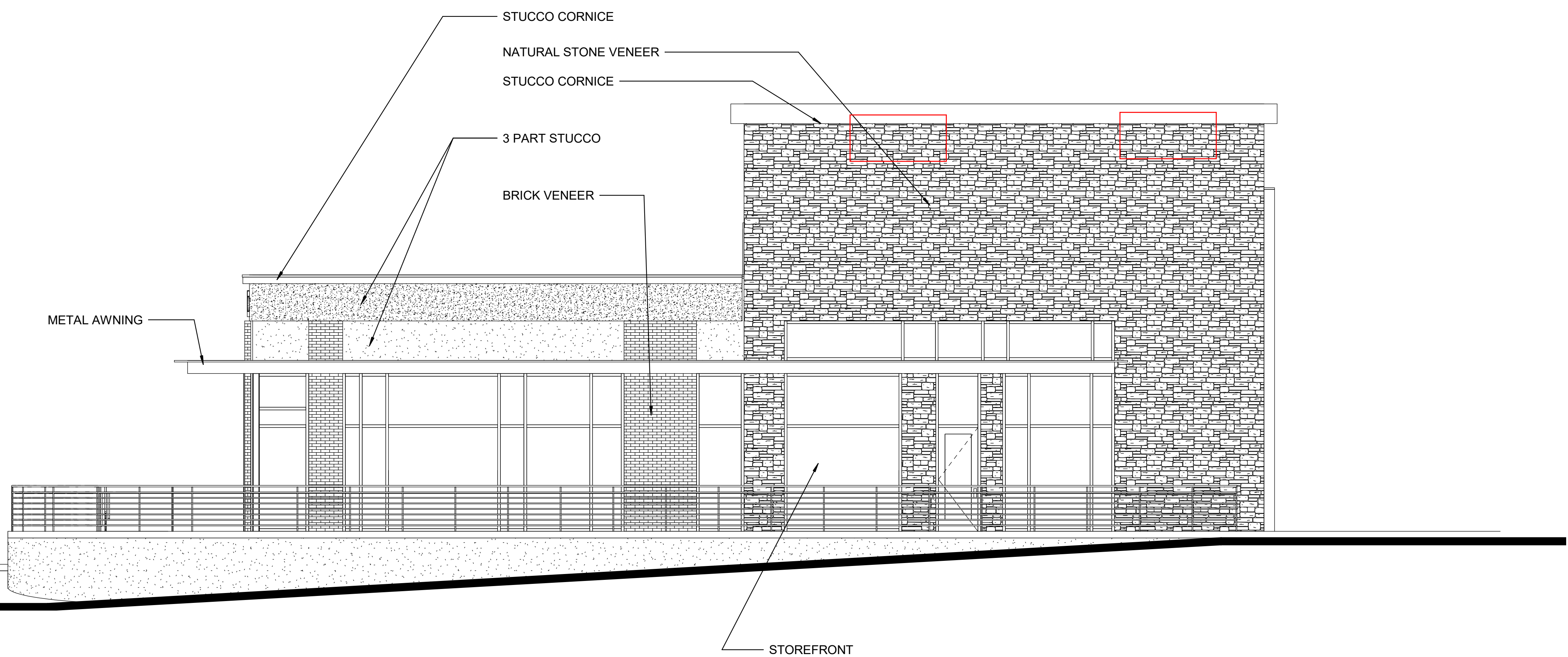
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**2 BUILDING "B" - WEST**  
3/16" = 1'-0"



**1 BUILDING "B" - SOUTH**  
3/16" = 1'-0"



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**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
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Revisions:

#	Revision Date	Revision Description

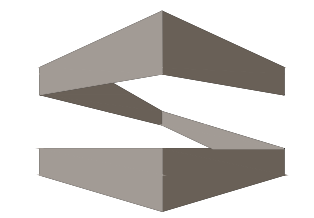
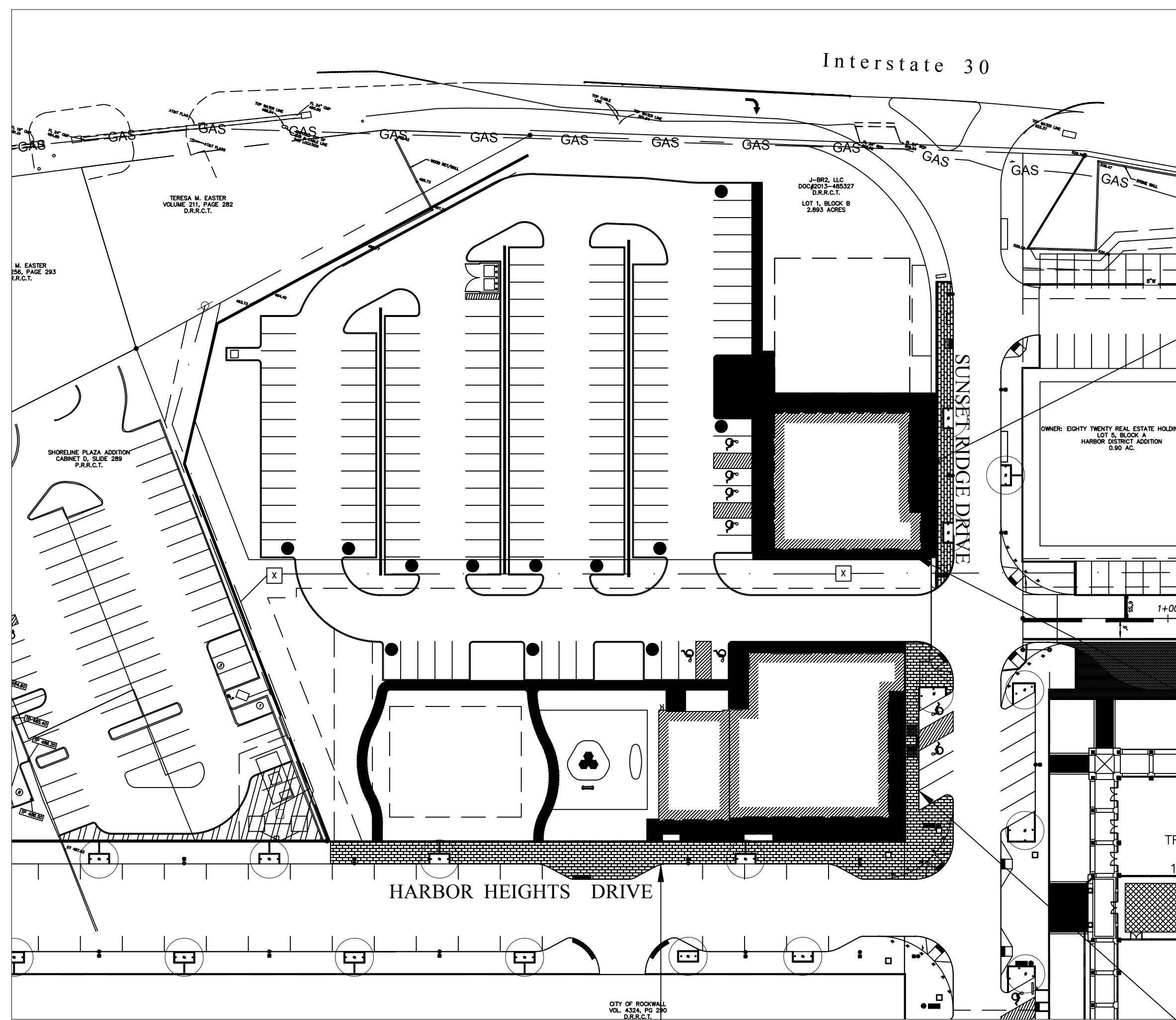
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**ELEVATIONS -  
BUILDING "B"**

SP2019-033

**A4**

1 | 2 | 3 | 4 | 5





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**RESTAURANT &**  
**RETAIL PADS**  
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Revisions:

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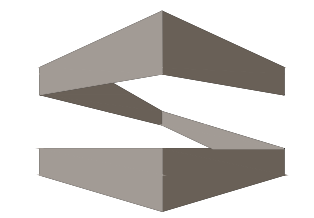
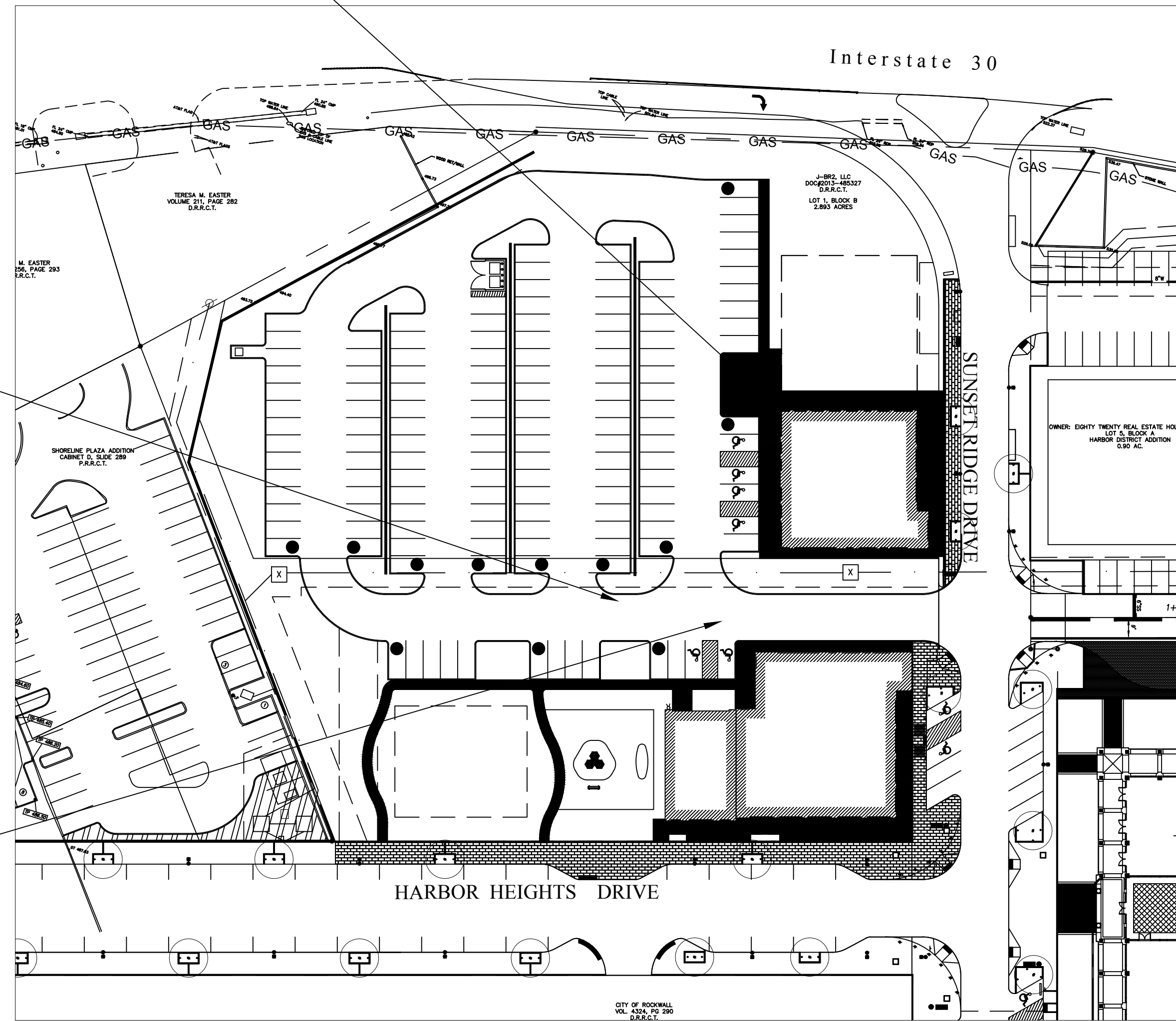
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**ELEVATIONS**

**A-5**

SP2019-033





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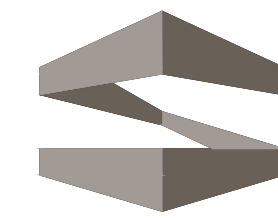
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**ELEVATIONS**

**A-6**

SP2019-033





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Sheet Title:

**ELEVATIONS**

**A-7**

**SP2019-033**



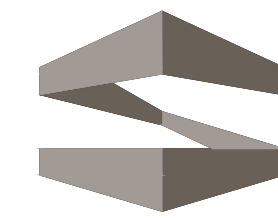
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**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

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Sheet Title:

**SITE PLAN  
DETAILS**

**DT-1**

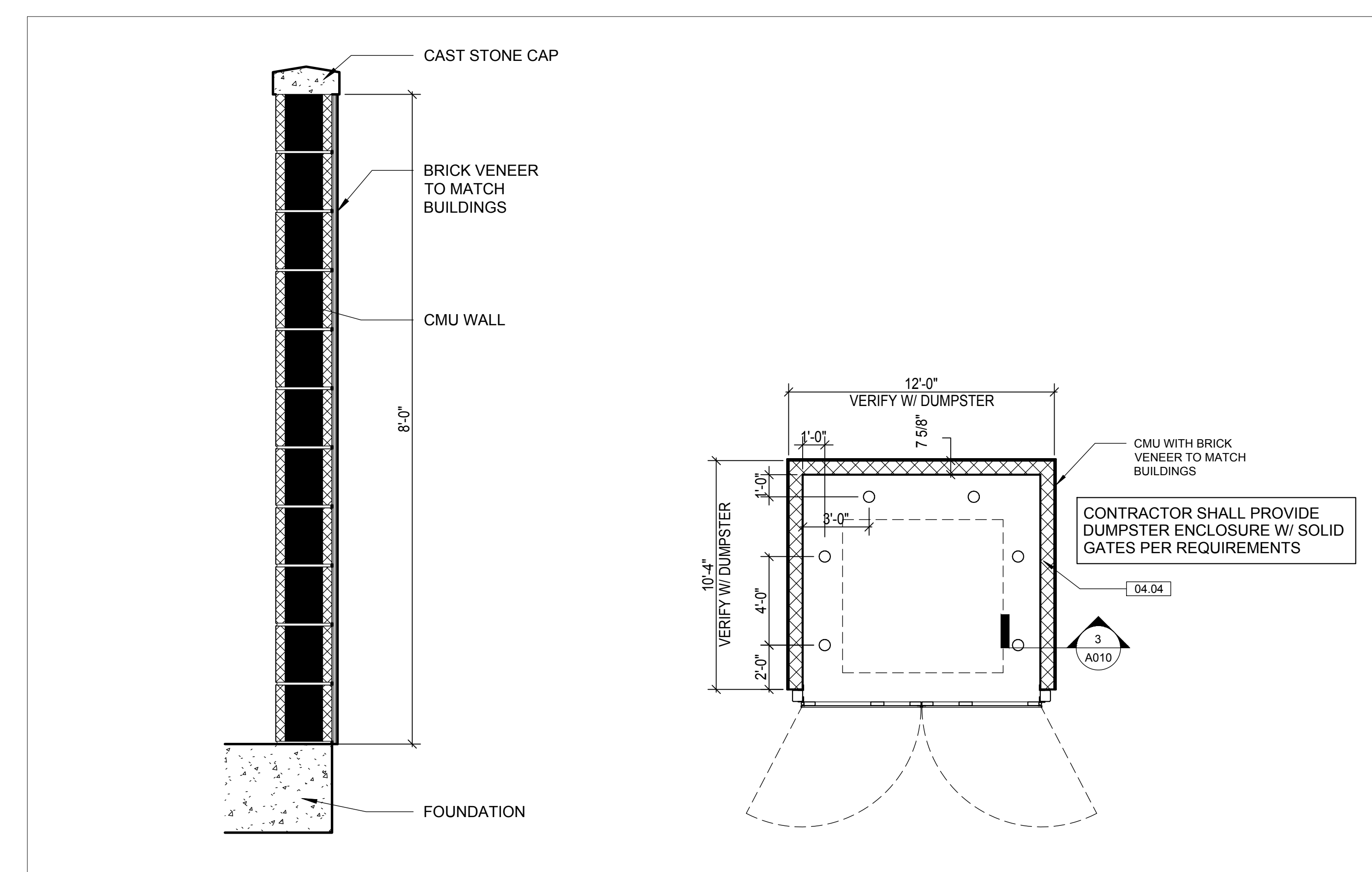
SP2019-033



**4 STONEWARE GRECIAN  
SERIES OR EQUAL  
PLANTING POT**  
NTS



**1 STONE WALL BENCH**  
NTS

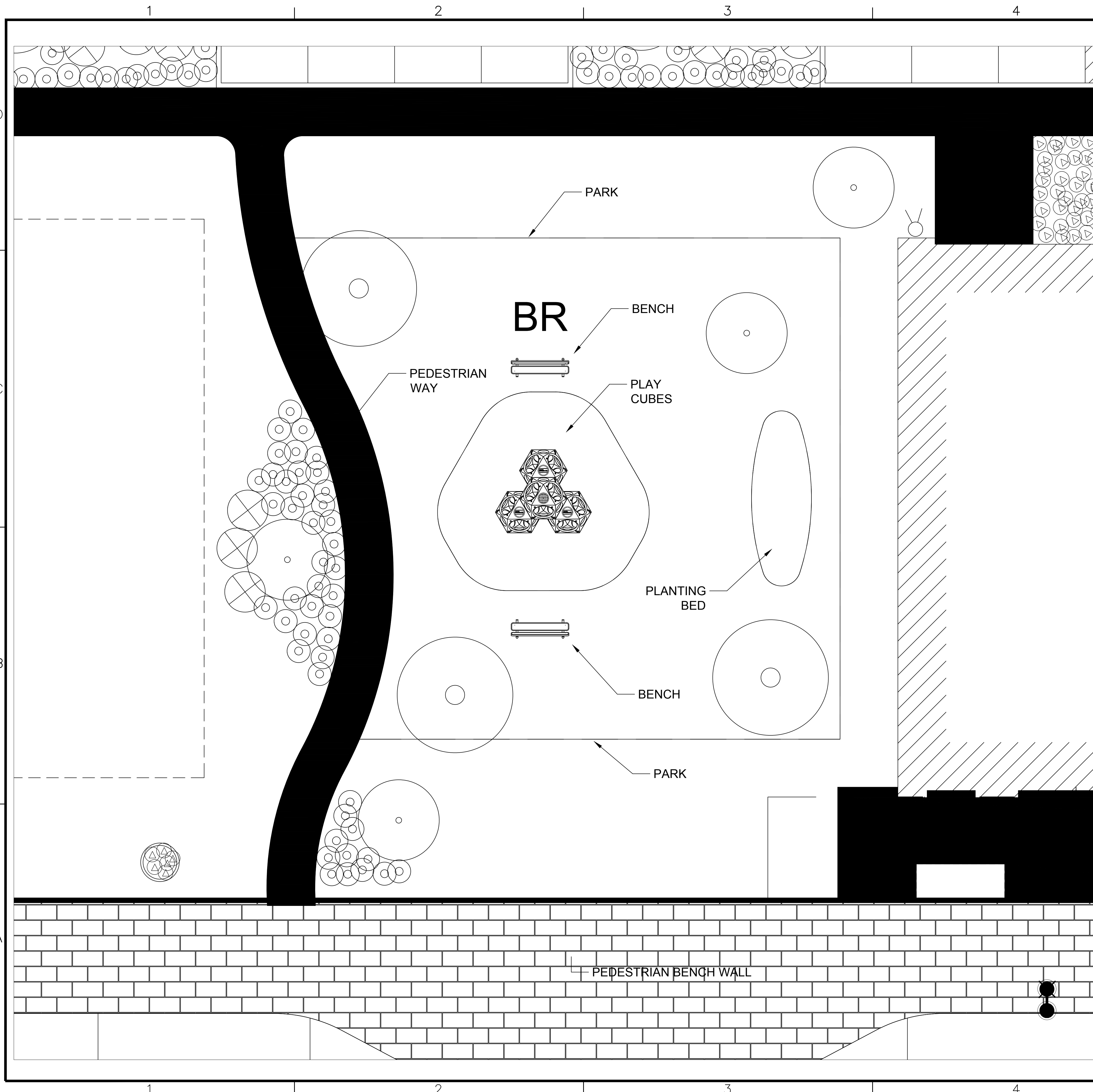


**3 SECTION @ DUMPSTER ENC.**  
3/4" = 1'-0"

**2 DUMPSTER ENLARGED PLAN**  
1/4" = 1'-0"

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**LEGEND**

- CANOPY TREE  
LIVE OAK "LC" 100 GAL. 4.0"-4.5" CAL. 14-16 FT. HIGH, CLEAR TRUNK TO 8 FEET  
CEDAR ELM "CA" 100 GAL. 4.0"-4.5" CAL. 12-14 FT. HIGH, CLEAR TRUNK TO 8 FEET
- ORNAMENTAL (ACCENT) TREE  
DWARF MAGNOLIA LITTLE GEM 65 GAL. 8-10 FT. FULL TO GROUND, MAIN LEADER FORM  
SAVANNAH HOLLY 65 GAL. 8-10 FT. TREE FORM.
- ⊗ SHRUB  
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING  
DWARF BURFORD HOLLY 5 GAL. 36" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- ⊙ GROUND COVER  
CREEPING LILY TURF 4" POTS, 12" O.C. MAX.  
ROSEMARY WOODY 1 GAL. 24" O.C. MAX.
- ⊕ PERENNIAL  
DAYLILIES, RED VELVET, EVERGREEN 1 GAL., 18" O.C. MAX.  
LANTANA "TRAILING", WHITE JAP" 1 GAL., 18" O.C. MAX.
- BG BERMUDA GRASS
- PLANTING POTS AT 20' SPACING  
IN FRONT OF BUILDINGS ALONG  
HARBOR HEIGHTS DRIVE

LANDSCAPING GENERAL REQUIREMENTS

PROPOSED PARKING SPACES - 142 SPACES  
 REQUIREMENT - 1 - 3" CALIPER 65 GALLON TREE PER 8 PARKING SPOTS  
 REQUIRED TREES - 18  
 PROVIDED - 36 TREES

IH 30 OVER LAY REQUIREMENTS

20' LANDSCAPE BUFFER  
 2 CANOPY TREES & 4 ACCENT TREES PER 100 FEET OF IH30 FRONTAGE.

IH 30 FRONTAGE = 170 LF  
 CANOPY TREES REQUIRED: 4  
 CANOPY TREES PROVIDED: 4  
 ACCENT TREES REQUIRED: 7  
 ACCENT TREES PROVIDED: 7

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 4" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL(ACCENT) TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



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 MEP:  
 FOOD SERVICE:  
 LANDSCAPING:

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**75032**

**HARBOR HEIGHTS**  
**RESTAURANT &**  
**RETAIL PADS**  
**ROCKWALL, TEXAS**

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**PK-1**  
**SP2019-033**

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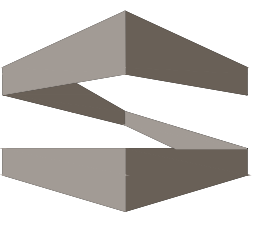
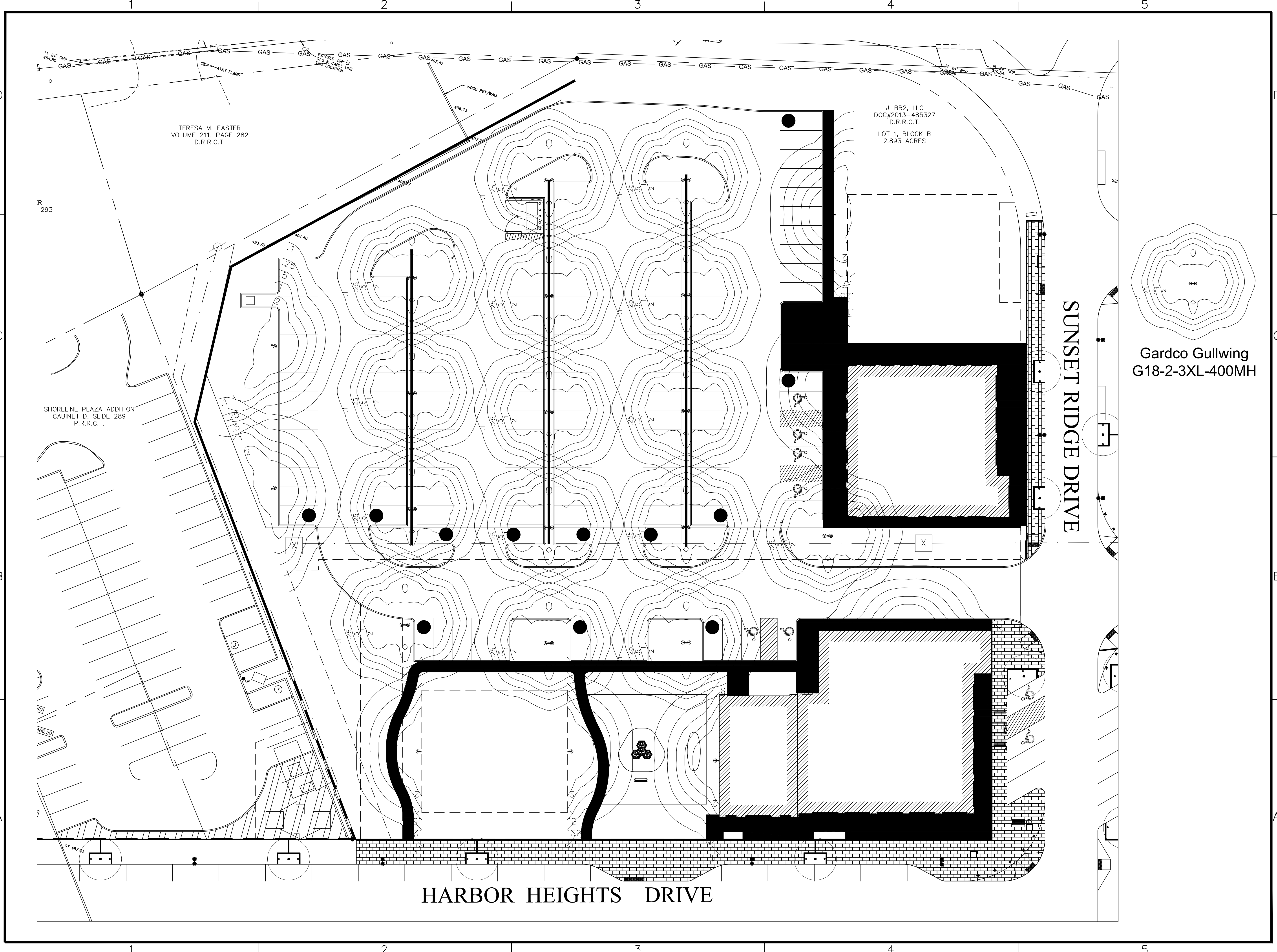












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Revisions:	DESCRIPTION
1	

Sheet Title:

**PHOTOMETRICS**

**P-1**

SP2019-033

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Type:  
Notes:

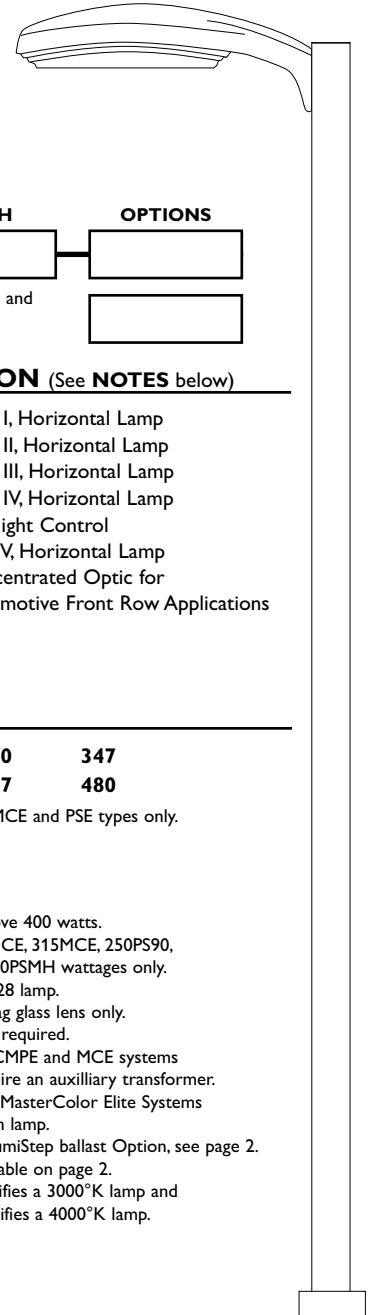
# Gullwing

## Featuring CosmoPolis and MasterColor Elite Electronic HID Systems

Page 1 of 3

## G18 Area Luminaires

The Philips Gardco Gullwing is an area luminaire defined by its sleek profile and rugged construction. The housing is one-piece, die cast aluminum and mounts directly to a pole or wall without the need of a separate support arm. The multifaceted arc-image duplicating optical systems provide IES Types I, II, III, IV and V distributions. The door frame is single-piece diecast aluminum and retains an optically clear tempered flat glass lens. The luminaire is completely sealed and gasketed preventing intrusion from moisture, dust and insects. Gullwing luminaires are finished with a fade and abrasion resistant TGIC powdercoat. Flat glass lens luminaires provide full cutoff performance. Sag Lens luminaires provide cutoff performance.



PREFIX	MOUNTING	DISTRIBUTION	WATTAGE	VOLTAGE	FINISH	OPTIONS
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Enter the order code into the appropriate box above. Note: Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX	MOUNTING	DISTRIBUTION (See NOTES below)
<b>G18</b> 18" Gullwing Luminaire	<b>1</b> Single Pole Mount <b>2</b> Twin Pole Mount at 180° <b>2@90</b> Twin Pole Mount at 90° <b>3</b> 3-way Pole Mount at 90° <b>3@120°</b> 3-way Pole Mount at 120° <b>4</b> 4-way Pole Mount <b>W</b> Wall Mount, Recessed J-Box <b>WS</b> Wall Mount, Surface Conduit	<b>1<sup>1</sup></b> Type I, Horizontal Lamp <b>2XL</b> Type II, Horizontal Lamp <b>3XL</b> Type III, Horizontal Lamp <b>4XL</b> Type IV, Horizontal Lamp <b>BLC<sup>1</sup></b> Backlight Control <b>Q<sup>1</sup></b> Type V, Horizontal Lamp <b>AF<sup>2</sup></b> Concentrated Optic for Automotive Front Row Applications

### WATTAGE

Pulse Start MH Magnetic Ballast	<b>100MH<sup>3</sup></b> <b>150MH<sup>3</sup></b> <b>175PSMH<sup>3</sup></b> <sup>Ⓔ</sup>	<b>250PSMH<sup>3</sup></b> <sup>Ⓔ</sup> <b>250PS90**</b> <sup>Ⓔ</sup> <b>320PSMH<sup>3</sup></b> <sup>Ⓔ</sup>	<b>350PSMH<sup>3</sup></b> <sup>Ⓔ</sup> <b>400PSMH<sup>3</sup></b> <sup>Ⓔ</sup> <b>750PSMH<sup>3</sup></b> <sup>Ⓔ</sup>	<b>875PSMH<sup>3</sup></b> <sup>Ⓔ</sup>
Standard MH Magnetic Ballast	<b>175MH<sup>3</sup></b>	<b>250MH<sup>3</sup></b>	<b>400MH<sup>3</sup></b> <sup>3</sup>	
CosmoPolis Electronic System (See Notes 6,7,8,9)	<b>60CMPE</b>	<b>90CMPE</b> <b>140CMPE</b>		
MasterColor Elite Electronic System (See Notes 6,7,9,10)	<b>210MCE-3K</b> <sup>Ⓔ</sup> <b>210MCE-4K</b> <sup>Ⓔ</sup>	<b>315MCE-3K</b> <sup>Ⓔ</sup> <b>315MCE-4K</b> <sup>Ⓔ</sup>		
Pulse Start MH Electronic Ballast (See Note 9)	<b>150PSE<sup>3</sup></b> <sup>Ⓔ</sup>	<b>175PSE</b> <sup>Ⓔ</sup>	<b>250PSE</b> <sup>Ⓔ</sup>	<b>320PSE<sup>3</sup></b> <sup>Ⓔ</sup>
High Pressure Sodium Magnetic Ballast	<b>70HPS</b> <b>100HPS</b>	<b>150HPS</b> <b>250HPS</b>	<b>400HPS</b> <b>600HPS</b>	<b>750HPS<sup>3</sup></b>
Low Pressure Sodium Magnetic Ballast	<b>35LPS</b>			

\* 175MH, 250MH and 400MH not available for sale in the United States.  
 \*\* 250PS90 includes a 90% efficient magnetic PSMH ballast, meeting the requirements of California Title 20, effective 1/1/2010. Available in 120, 208, 240, 277V only.

**E** Wattages marked with Circle "E" meet federal energy efficiency standards applicable to 150 watt through 500 watt metal halide luminaires only.

### VOLTAGE

<b>120</b>	<b>240</b>	<b>347</b>
<b>208</b>	<b>277</b>	<b>480</b>

**200-277** CMPE, MCE and PSE types only.

### NOTES:

- Not available above 400 watts.
- Available in 210MCE, 315MCE, 250PS90, 250PSMH and 400PSMH wattages only.
- Requires E28/BT28 lamp.
- Furnished with sag glass lens only.
- Mogul base lamp required.
- 347V and 480V CMPE and MCE systems include and require an auxiliary transformer.
- CosmoPolis and MasterColor Elite Systems are supplied with lamp.
- Available with LumiStep ballast Option, see page 2.
- See QS / Q924 Table on page 2.
- "-3K" suffix specifies a 3000°K lamp and "-4K" suffix specifies a 4000°K lamp.



### FINISH

<b>BRP</b>	Bronze Paint
<b>BLP</b>	Black Paint
<b>WP</b>	White Paint
<b>NP</b>	Natural Aluminum Paint
<b>OC</b>	Optional Color Paint Specify Optional Color or RAL ex: OC-LGP or OC-RAL7024.
<b>SC</b>	Special Paint Specify. Must supply color chip.

### OPTIONS

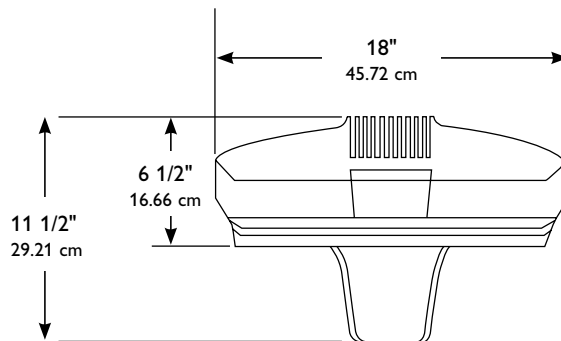
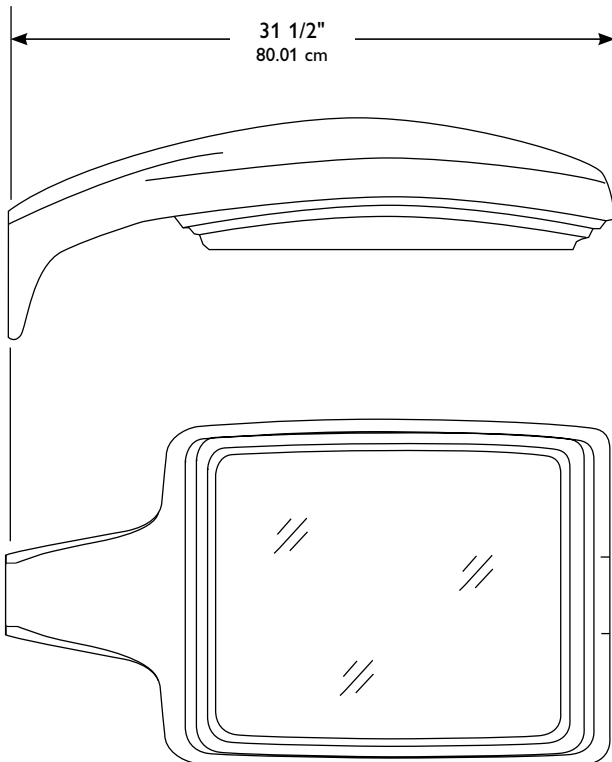
<b>F<sup>11</sup></b>	Fusing In Head
<b>LF</b>	In-Line/In-Pole Fusing
<b>PC<sup>12</sup></b>	Photocontrol and Receptacle
<b>PCR</b>	Photocontrol Receptacle only
<b>POLY<sup>13</sup></b>	Polycarbonate Sag Lens
<b>SG<sup>14</sup></b>	Sag Glass Lens
<b>HS</b>	Internal Houseside Shield
<b>QS<sup>9</sup></b>	Quartz Standby
<b>QST<sup>9</sup></b>	Quartz Standby - Timed Delay
<b>Q924<sup>9</sup></b>	Quartz Emergency
<b>QT924<sup>9</sup></b>	Quartz Emergency - Timed Delay
<b>RPA1<sup>15</sup></b>	3" Round Pole Adapter
<b>RPA2<sup>16</sup></b>	4" and 5" Round Pole Adapter
<b>MA<sup>17</sup></b>	Mast Arm Fitter

<b>TR1<sup>18</sup></b>	Single Transition
<b>TR2<sup>18</sup></b>	Twin Transition
<b>PTF2<sup>19</sup></b>	Pole Top Fitter - 2 3/8" - 3" Dia. Tenon
<b>PTF3<sup>19</sup></b>	Pole Top Fitter - 3" - 3 1/2" Dia. Tenon
<b>PTF4<sup>19</sup></b>	Pole Top Fitter - 3 1/2" - 4" Dia. Tenon
<b>SQPTF<sup>20</sup></b>	Square Pole Top Fitter
<b>GMR<sup>21</sup></b>	Provision for Gardco Motion Response
<b>L6<sup>22</sup></b>	LumiStep Ballast 6 hour
<b>L8<sup>22</sup></b>	LumiStep Ballast 8 hour
<b>L10<sup>22</sup></b>	LumiStep Ballast 10 hour

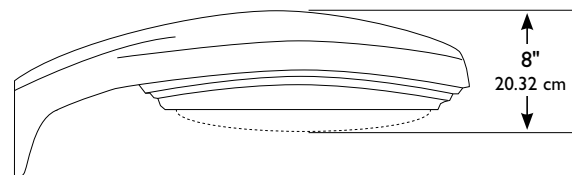
- 9. See QS/Q924 Table.
- 11. Not available above 400 watt.
- 12. Not available in 480V.  
Provide specific input voltage.
- 13. 250W maximum. Polycarbonate lenses carry a 1 year warranty only.
- 14. In lieu of flat glass. Supplied standard and required with 750 watt and higher wattages.
- 15. Required for 3" O.D. round or tapered round poles where top O.D. is less than 4".
- 16. Required for 4"- 5" O.D. round poles.
- 17. Mounts to a 2-3/8" O.D. mast arm.
- 18. Mounts to a 2-3/8" Top Tenon. Specify a pole with a 4.50" O.D. for a smooth transition.
- 19. Not available in 120° mounting configurations.
- 20. Requires a 2-3/8" O.D. x 4" tenon or a 2.4" round pole top O.D. Specify Drilling (1, 2, 2@90, 3 or 4 only.)
- 21. Available only with 175PSMH through 400PSMH and 150HPS through 400HPS wattages. Includes dual-level capacitor and wiring to connect to Gardco Motion Response System.
- 22. Available with CosmoPolis system only. See submittal sheet GE200-005 for complete information on LumiStep ballasts.

(Note 9) QS / Q924 Table	
HID Lamp Watts	Maximum Quartz Lamp Watts
175 watts or less	100 Watts
Above 175 watts up to 400 watts	150 Watts
QS, QST, Q924, QT924 are not available with CMPE, MCE or PSE wattages or in luminaires above 400 watts HID.	

### DIMENSIONS AND EPA



With Sag Glass Lens



EPA Data

1	2	3-4
1.2 ft <sup>2</sup>	2.4 ft <sup>2</sup>	3.2 ft <sup>2</sup>
.11 m <sup>2</sup>	.22 m <sup>2</sup>	.30 m <sup>2</sup>



**SPECIFICATIONS**

**GENERAL DESCRIPTION:** The Philips Gardco Gullwing is an area luminaire defined by its sleek profile and rugged construction. The housing is one-piece, diecast aluminum and mounts directly to a pole or wall without the need of a separate support arm. The multifaceted arc-image duplicating optical systems provide IES Types I, II, III, IV and V distributions. The door frame is single-piece diecast aluminum and retains an optically clear tempered flat glass lens. The luminaire is completely sealed and gasketed preventing intrusion from moisture, dust and insects. The Gullwing luminaires are finished with a fade and abrasion resistant TGIC powdercoat.

**HOUSING:** A one-piece die cast aluminum housing mounts directly to a pole or wall without the need for a support arm. The low profile rounded form reduces the effective projected area of the luminaire to only 1.2 ft<sup>2</sup> / .11 m<sup>2</sup>.

**LENS ASSEMBLY:** A single-piece diecast aluminum lens frame hinges down from the housing and is secured by a stainless steel lanyard and hinge pin.

An optically clear, heat and impact resistant tempered flat glass lens is mechanically secured with eight retainers. The electrical and optical chambers are thoroughly sealed with a one-piece memory retentive hollow-core EPDM gasket to prevent intrusion by moisture, dust, and insects.

**OPTICAL SYSTEMS:** The segmented optical systems are manufactured from homogenous sheet aluminum which has been electrochemically brightened, anodized and sealed. The multifaceted arc image duplicating systems are designed to produce IES Types I (1), II (2XL), III (3XL), IV (4XL and BLC), and V (Q). With the 2XL, 3XL and 4XL luminaires, the reflector facets form a conical fan around the arc tube with each facet positioned to be precisely tangent to the top of the arc tube.

The lampholder is glazed porcelain with a nickel plated screw shell. Position-oriented mogul base sockets to accept high output horizontal metal halide lamps are supplied standard.

**ELECTRICAL:** All electrical components are UL recognized and factory tested. Electronic and magnetic HID ballasts are high power factor and mounted on a unitized tray with quick electrical disconnects. Magnetic HID ballasts are the separate component type. Electronic and magnetic HID ballasts are capable of providing reliable lamp starting down to -20°F / -29°C.

Luminaires provided with the CosmoPolis or MasterColor Elite high performance ceramic metal halide electronic systems include high power factor electronic ballasts, designed specifically for the system selected.

**FINISH:** Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WVP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

**LABELS:** All luminaires bear UL or CUL (where applicable) Wet Location labels.

**WARRANTY:** 5 year limited warranty. See [philips.com/warranties](http://philips.com/warranties) for complete details and exclusions.

**FULL CUTOFF PERFORMANCE:** Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle at or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.

**CUTOFF PERFORMANCE:** Cutoff performance means a luminaire distribution where the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle at or above 90° above nadir, and 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.

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