



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-031 P&Z DATE 8/27/19 ~~CO~~ DATE 9/10/19 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-031

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

[Signature]

CITY ENGINEER:

[Signature]
Jeremy M. White, PE, CFM

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 259 Ranch Trail - Rockwall, Texas 75032

Subdivision Rainbo Acres

Lot

22

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District

Current Use Office

Proposed Zoning

Proposed Use Office and Indoor storage

Acreage

1.244 Acres

Lots [Current]

1

Lots [Proposed]

1

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner R.D. Moorman, Inc.

Applicant

Contact Person Ryan Moorman

Contact Person

Address 259 Ranch Trail

Address

City, State & Zip Rockwall, Texas 75032

City, State & Zip

Phone 9727222408

Phone

E-Mail ryan@rdmoormaninc.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared RYAN MOORMAN [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 254.88, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of AUGUST, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of AUGUST, 20 19.

Owner's/Applicant's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]
Laurie A. Smith



My Commission Expires

9-15-19



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745
Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police


From: Planning & Zoning Department

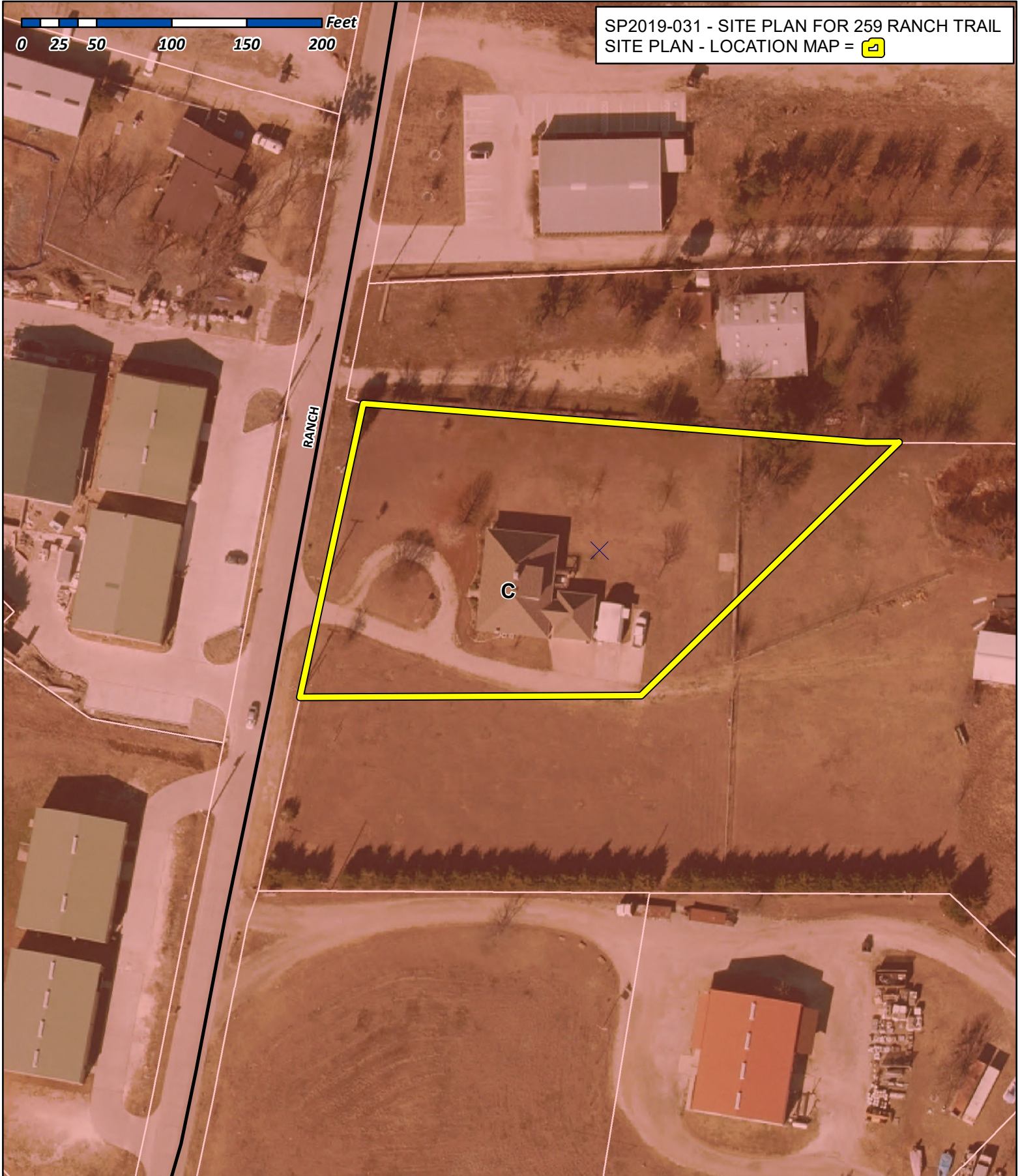
Date: 8/16/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 08/23/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 8/27/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 8/27/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-031
Project Name: Site Plan for 259 Ranch Trail
Project Type: SITE PLAN
Applicant Name: R.D. MOORMAN, INC.
Owner Name: R.D. MOORMAN, INC.
Project Description:

0 25 50 100 150 200 Feet

SP2019-031 - SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

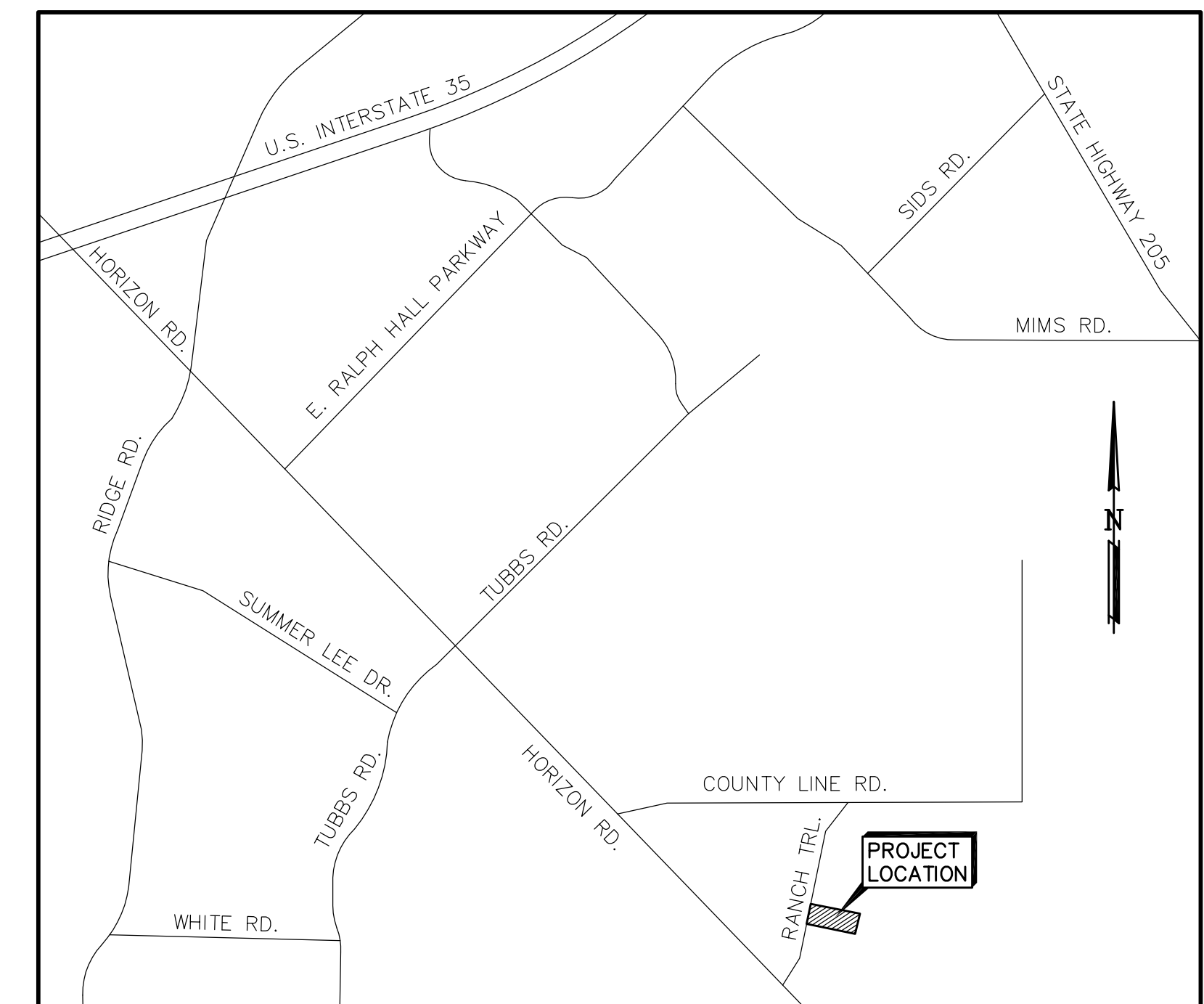
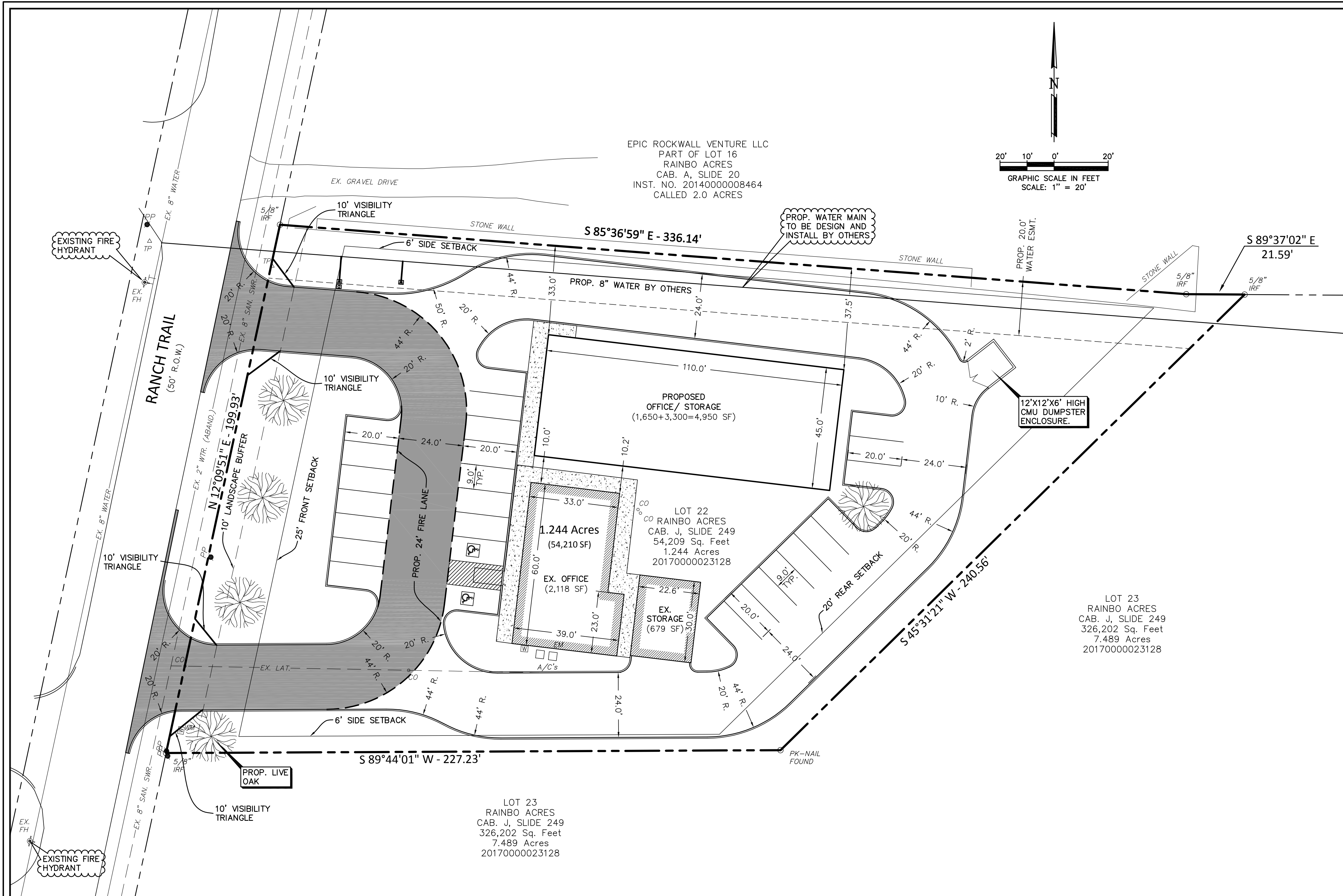


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA

LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

PARKING CALCULATION

PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	26 SPACES

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

PRELIMINARY FOR REVIEW ONLY



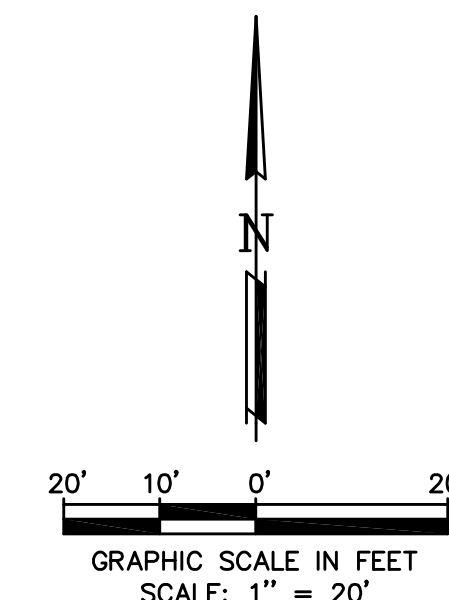
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 8/14/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

SITE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	1 of X
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	



EPIC ROCKWALL VENTURE LLC
 PART OF LOT 16
 RAINBO ACRES
 CAB. A, SLIDE 20
 INST. NO. 2014000008464
 CALLED 2.0 ACRES

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ZONING	COMMERCIAL
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TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
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LANDSCAPE TABLE

1 TREE PER 50' OF FRONTAGE	200'/50 = 4 TREES
1 TREE PER 20,000 SF PARKING	4,680/20,000 = 1 TREE
TOTAL TREE REQUIRED	5 TREES
TOTAL TREE PROVIDED	5 TREES (LIVE OAK)
TOTAL LANDSCAPE REQUIRED	5,421 SF (10.0%)
TOTAL LANDSCAPE PROVIDED	22,363 SF (41.25%)

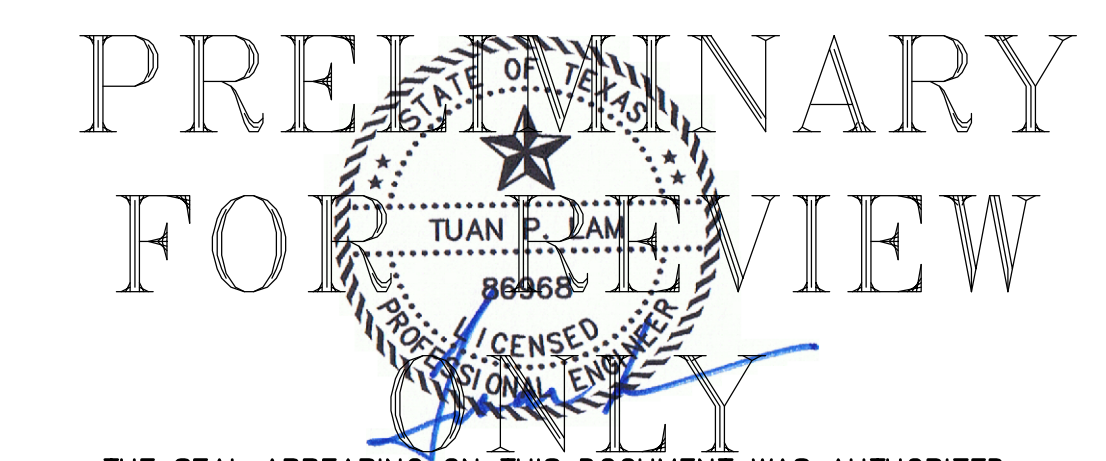
IRRIGATION WILL MEET REQUIREMENTS OF UDC.

OWNER:
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032

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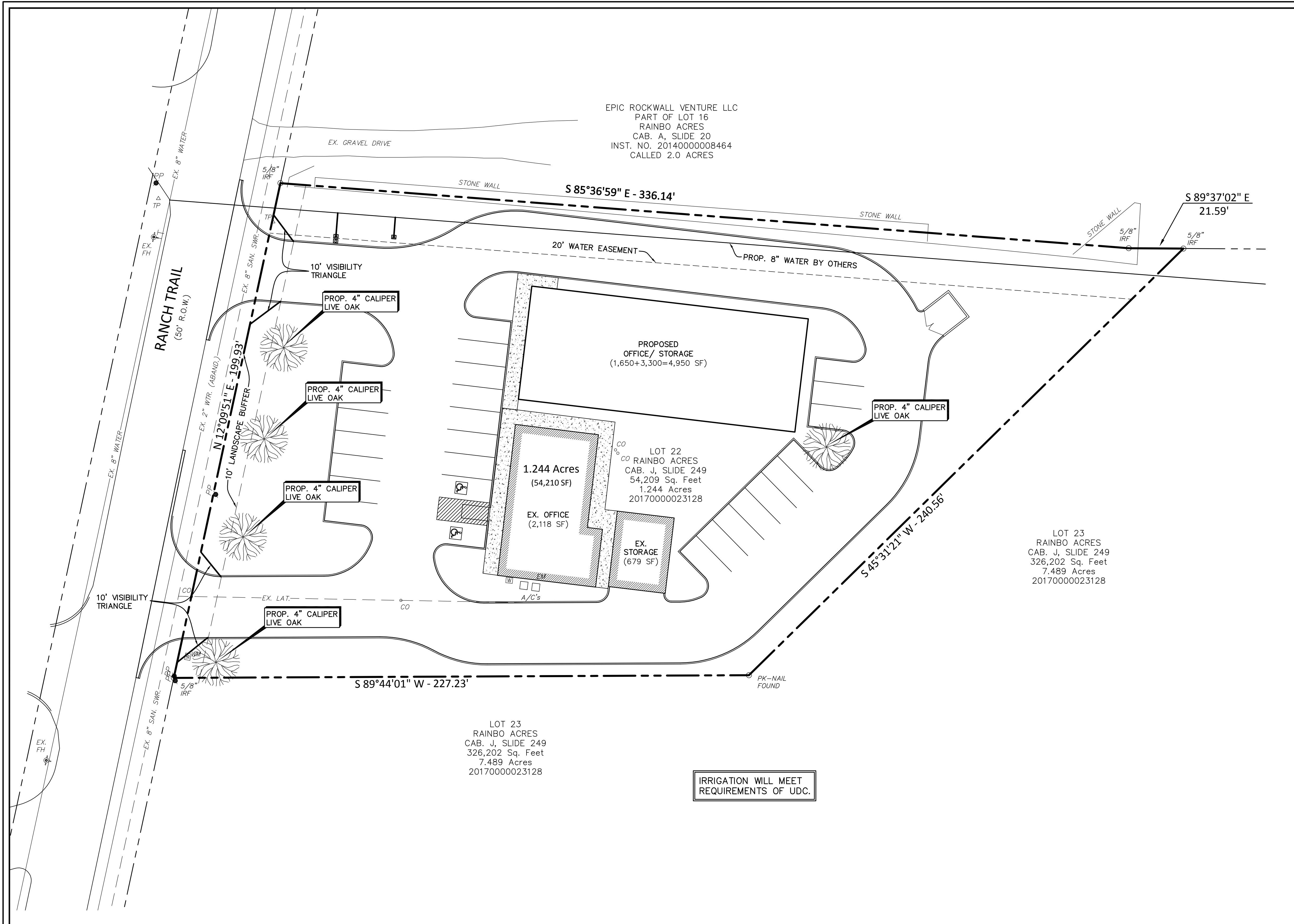
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LANDSCAPE PLAN			
RAINBO ACRES - LOT 22 R.D. MOORMAN, INC. 259 RANCH TRAIL ROCKWALL, TEXAS 75032			
LAM CONSULTING ENGINEERING	6804 WILHELMINA DRIVE SACHSE, TEXAS 75048 Phone (214) 766-1011 www.lamcivil.com Firm #F-9763		
	DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	2 OF X



REVISIONS:

THIS DOCUMENT IS FOR INTERIM REVIEW ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

RONALD G. BROWN
REGISTERED ARCHITECT
TEXAS NO. 14293

PRIZM ARCHITECTS
INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS

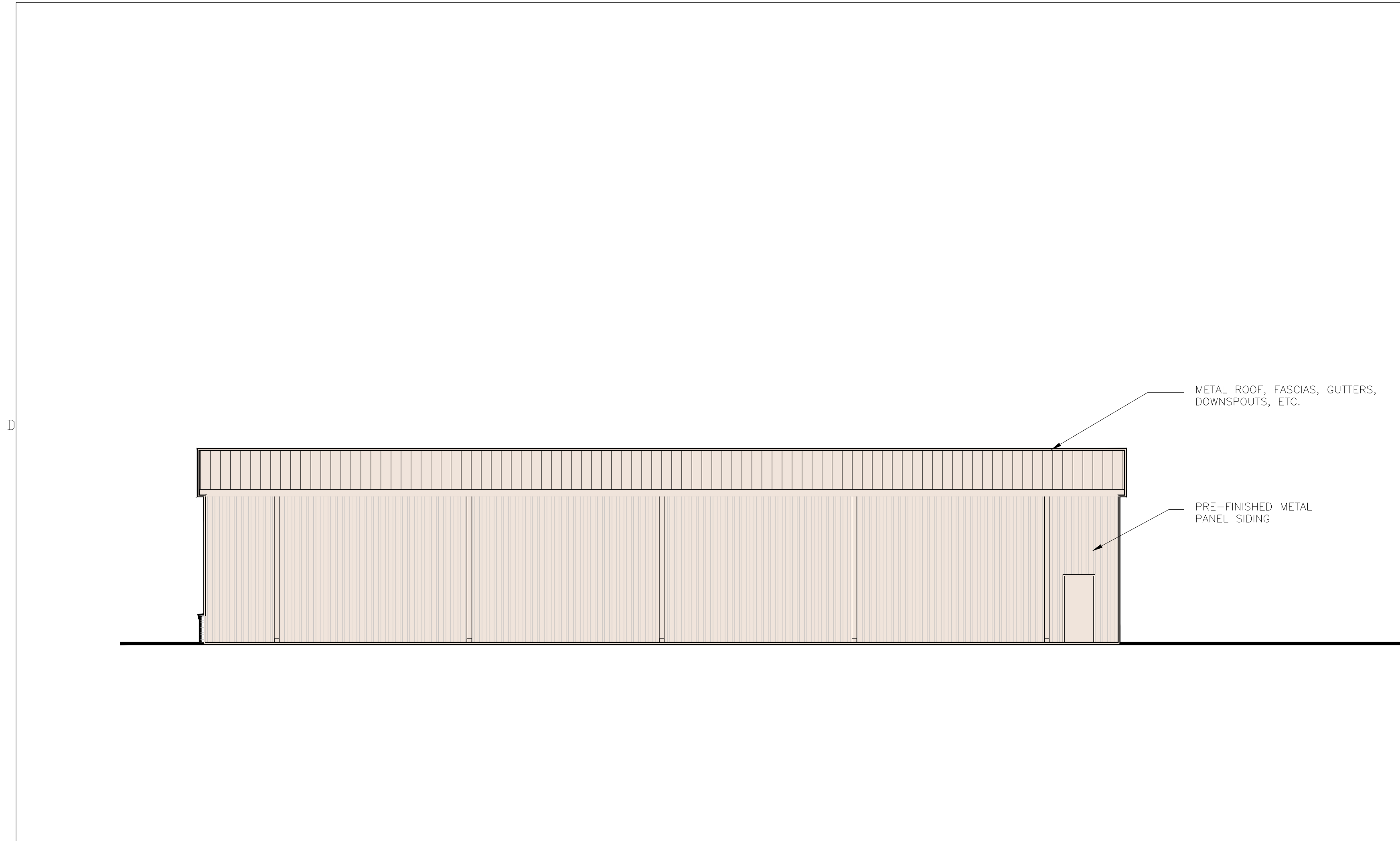
580 DECKER DRIVE, SUITE 170 IRVING, TEXAS 75062
(972) 714-0420, FAX (972) 714-0282

MINI-WAREHOUSE
COMPLEX
RANCH TRAIL
ROCKWALL, TEXAS

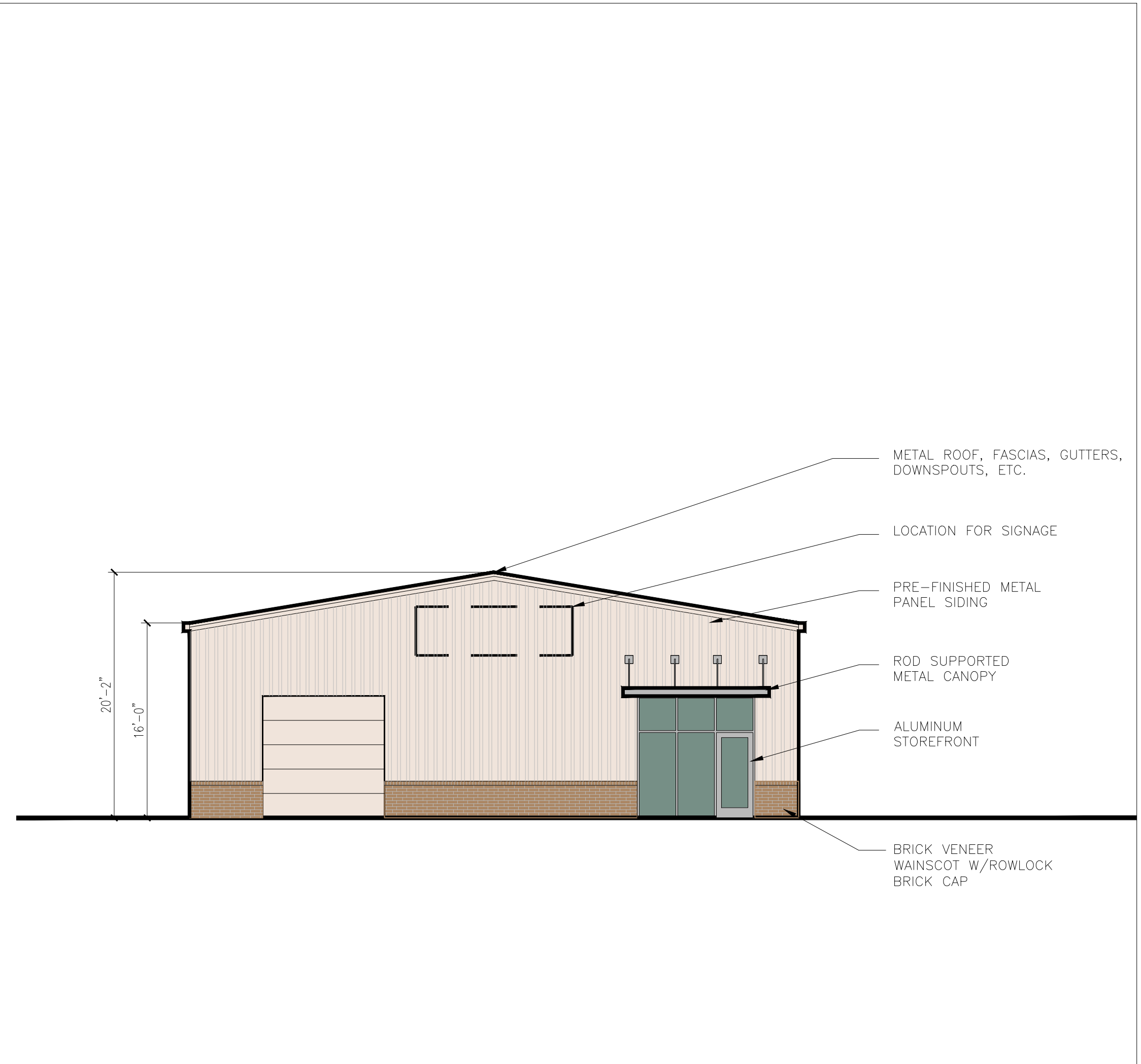
PROJECT NO.: 0.013.0817
ISSUE DATE: 09/20/2017

CONCEPTUAL ELEVATIONS
WAREHOUSE BUILDING

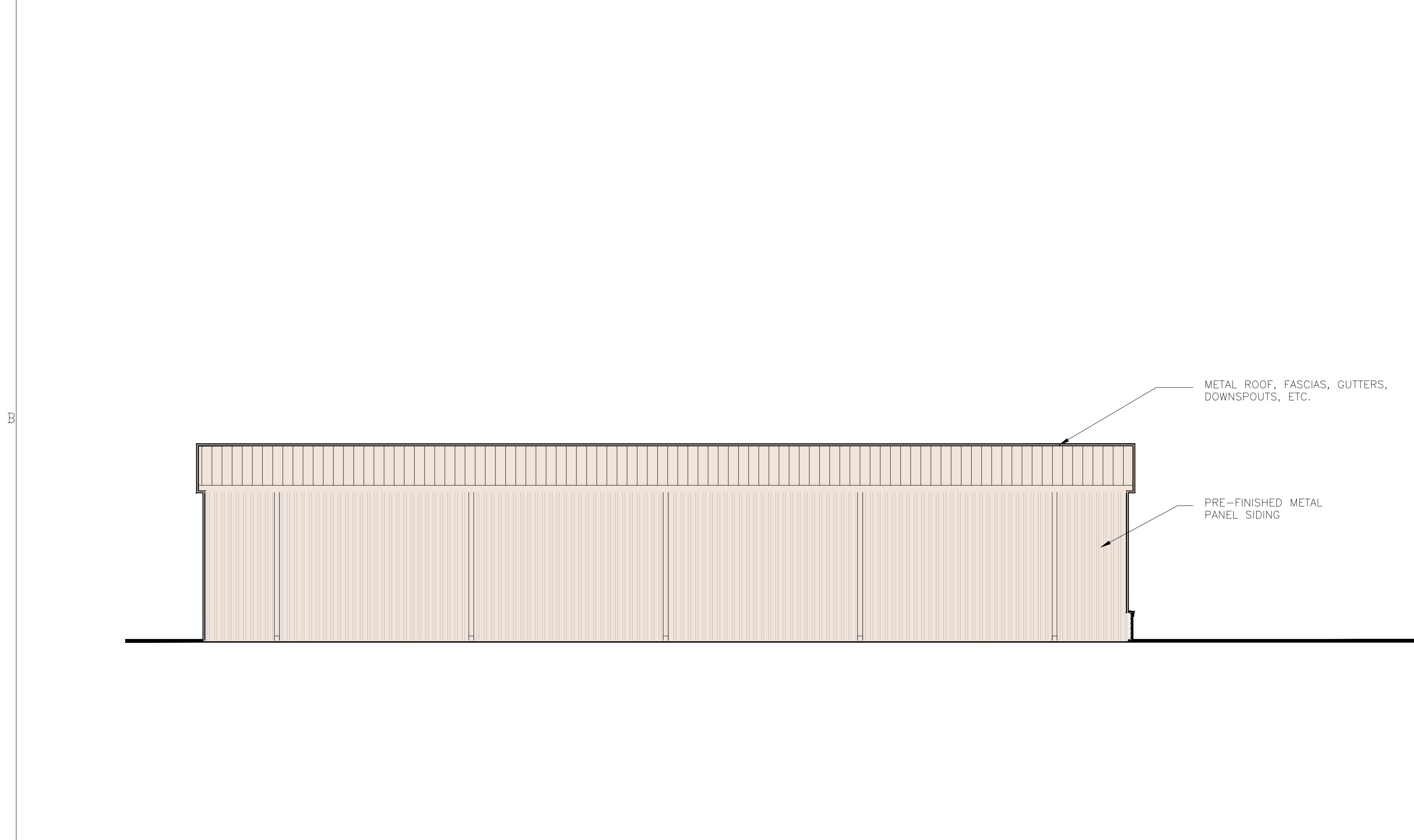
SHEET NO.:
SUP-4



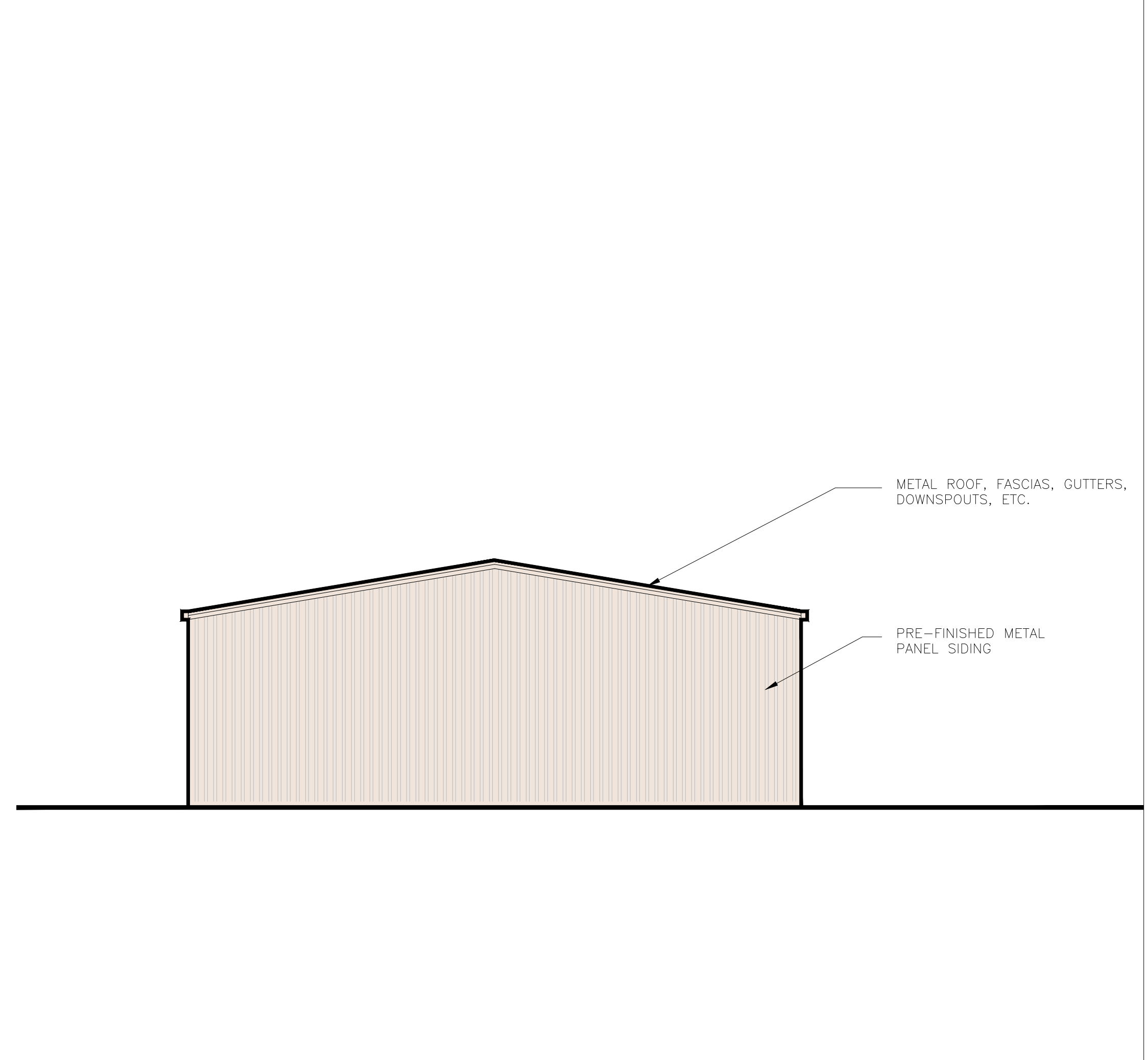
C1 WAREHOUSE - SOUTH ELEVATION (SIDE) SCALE: 1/8" = 1'-0"



C4 WAREHOUSE - WEST ELEVATION (FRONT) SCALE: 1/8" = 1'-0"



A1 WAREHOUSE - NORTH ELEVATION (SIDE) SCALE: 1/8" = 1'-0"



A4 WAREHOUSE - EAST ELEVATION (REAR) SCALE: 1/8" = 1'-0"

City of Rockwall
Project Plan Review History



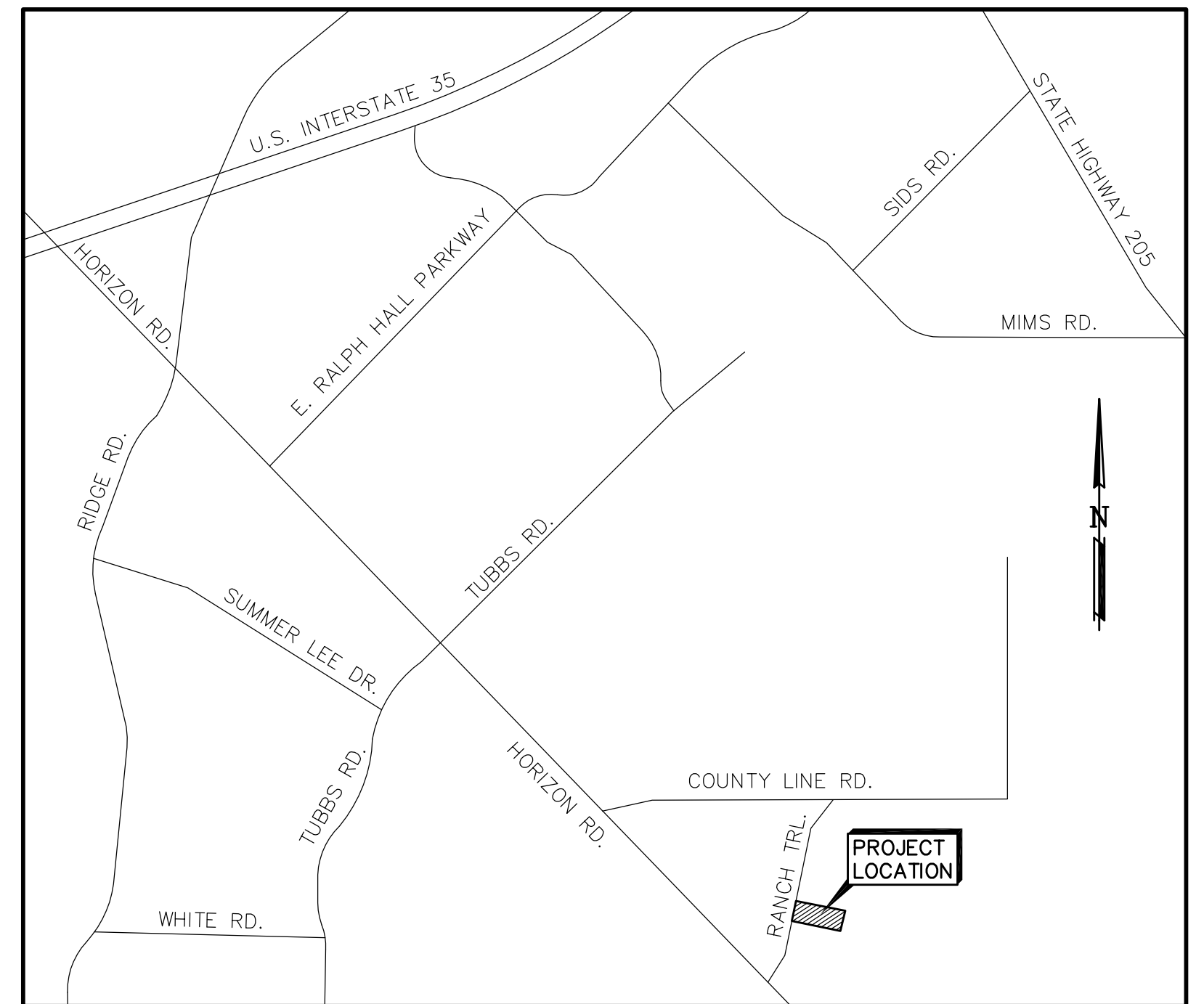
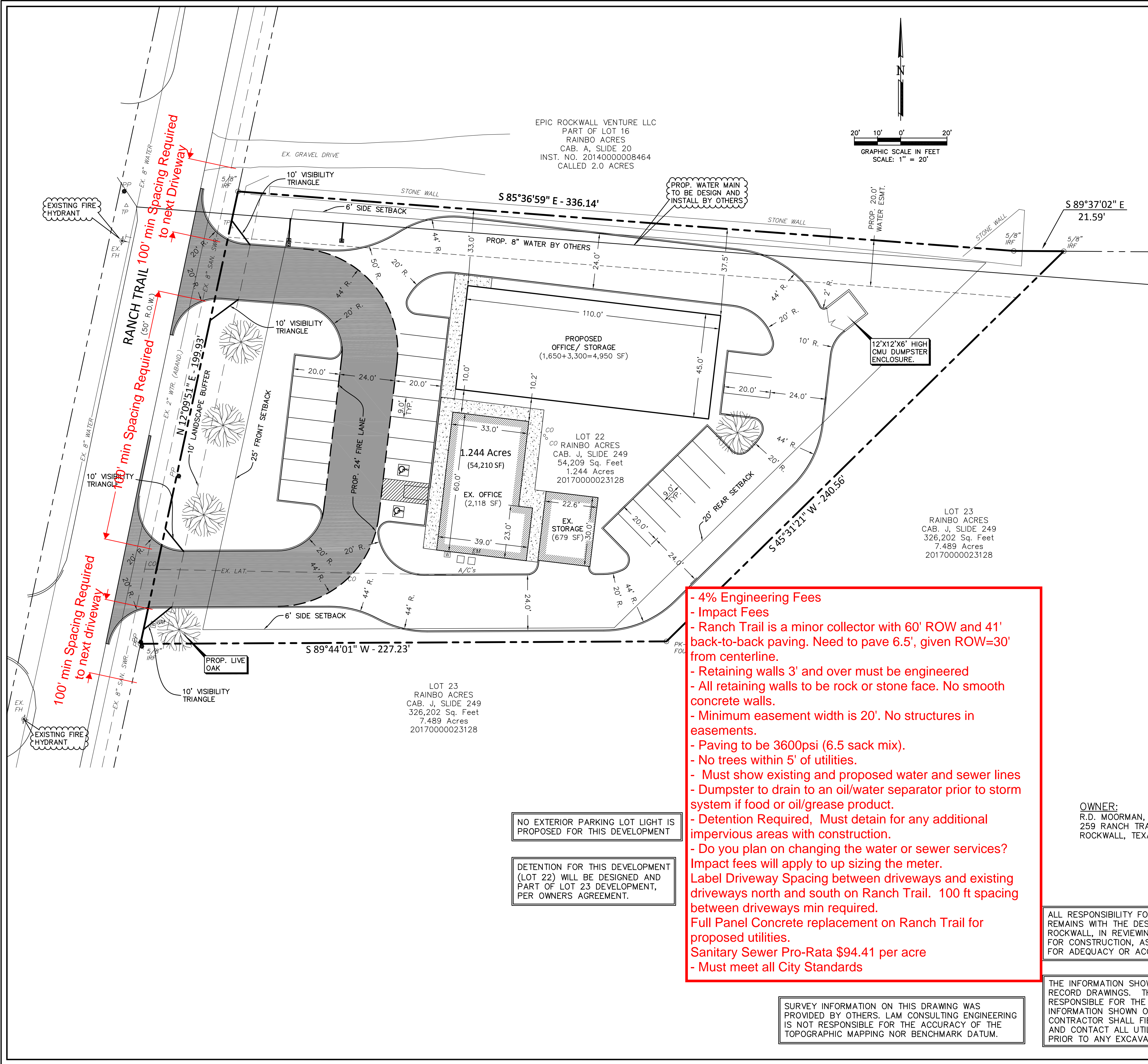
Project Number SP2019-031	Owner R.D. MOORMAN, INC.	Applied 8/16/2019	LM
Project Name Site Plan for 259 Ranch Trail	Applicant R.D. MOORMAN, INC.	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 259 RANCH TRAIL		City, State Zip ROCKWALL, TX 75032	
		Zoning	
Subdivision RAINBOW ACRES	Tract 22	Block	Lot No 22
			Parcel No 4720-0000-0022-00-OR
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	8/16/2019	8/23/2019	8/20/2019	4	APPROVED	
ENGINEERING	JEREMY WHITE	8/16/2019	8/23/2019	8/22/2019	6	COMMENTS	See Comments
<p>(8/22/2019 1:17 PM JMW)</p> <ul style="list-style-type: none"> - 4% Engineering Fees - Impact Fees - Ranch Trail is a minor collector with 60' ROW and 41' back-to-back paving. Need to pave 6.5', given ROW=30' from centerline. - Retaining walls 3' and over must be engineered - All retaining walls to be rock or stone face. No smooth concrete walls. - Minimum easement width is 20'. No structures in easements. - Paving to be 3600psi (6.5 sack mix). - No trees within 5' of utilities. - Must show existing and proposed water and sewer lines - Dumpster to drain to an oil/water separator prior to storm system if food or oil/grease product. - Detention Required, Must detain for any additional impervious areas with construction. - Do you plan on changing the water or sewer services? Impact fees will apply to up sizing the meter. <p>Label Driveway Spacing between driveways and existing driveways north and south on Ranch Trail. 100 ft spacing between driveways min required.</p> <p>Full Panel Concrete replacement on Ranch Trail for proposed utilities.</p> <p>Sanitary Sewer Pro-Rata \$94.41 per acre</p> <ul style="list-style-type: none"> - Must meet all City Standards 							
FIRE	Kevin Clark	8/16/2019	8/23/2019	8/22/2019	6	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.</p> <p>a) Exceptions:</p> <p>i) For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet.</p> <p>ii) For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet.</p> <p>Approved, unobstructed fire department access (fire lanes) shall be provided such that all portions of the exterior of the building shall be within 150-feet (as the hose lays) of a fire lane and/or other approved fire apparatus access roadway. The path of measurement shall be along a minimum of a ten feet (10') wide unobstructed pathway.</p> <p>Exceptions: The fire code official is authorized to increase the dimension of 150 feet where:</p> <p>(1) The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.</p> <p>(2) Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.</p>							
GIS	Lance Singleton	8/16/2019	8/23/2019	8/22/2019	6	APPROVED	
PLANNING	Korey Brooks	8/16/2019	8/23/2019	8/23/2019	7	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-031; Site Plan for 259 Ranch Trail						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ryan Moorman of R. D. Moorman, Inc. for the approval of a site plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-031) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] a site plan and [2] landscape/treescape plan. This submittal is complete.						
M.6 Site Plan. Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please note that that the existing metal building will need to be removed in order to construct the proposed building.						
2) Please check with the Engineering Department to ensure that the proposed driveway meets the driveway spacing requirements.						
3) Please note that all of the existing asphalt will need to be removed and replaced with concrete conforming to the Engineering Standards of Design in the Municipal Code of Ordinances.						
4) Please provide pavement materials and thickness						
5) In order to prevent trees from interfering with the overhead utilities, please provide accent trees in the landscape buffer adjacent to Ranch Trail Road and move the canopy trees to the interior.						
6) Please note that outside storage is prohibited						
M.7 Site Plan. No equipment screening shown. According to Subsection 1.05, Screening Standards, of Article V, District Development Standards, of the Unified Development Code (UDC), utility equipment and air conditioning units shall be screened from view from any adjacent street or property utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. Please show and label how the mechanical equipment will be screened on the existing building and the proposed building.						
M.8 Dumpster Enclosure. No detail of the dumpster enclosure was provided. According to Subsection 1.05, General Standards, of Article V, District Development Standards, of the UDC, trash and recycling enclosures shall be screened by a minimum six (6) foot tall, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Please provide the required detail.						
M.9 Building Elevations. The building elevations do not meet the horizontal articulation requirements. According to Subsection 4.01, General Commercial District Standards, of Article V, District Development Standards, of the Unified Development Code (UDC), facades shall have a maximum wall length of three (3) times the wall height or an exception to the articulation standards is required to be approved by the Planning and Zoning Commission. According to Subsection 9.01 Exceptions to the General Standards, of Article XI, Zoning Related Applications of the Unified Development Code, of the Unified Development Code (UDC), in cases where an exception(s) are being requested, the applicant shall provide compensatory measures that directly offset the request exception. These may include –but not limited to – a masonry wainscot on all four [4] sides of the building, increased landscaping (i.e. additional canopy trees, accent trees, landscaping percentage, etc.). Additionally the Unified Development Code (UDC) requires the applicant to provide[1] a written appeal outlining the reasons for the exception, [2] the unique or extraordinary condition, and/or undue hardship created by the strict adherence to the technical requirements, and [3] the proposed compensatory measures as detailed above.						
I.10 Please note that failure to address all comments provided by staff by 5:00 PM on September 4, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
to resubmit the case.						I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 4, 2019; The Planning & Zoning Meeting September 10, 2019.



VICINITY MAP
N.T.S.

SITE DATA

LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
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IMPERVIOUS AREA – PAVING	24,100 SF
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- 4% Engineering Fees
- Impact Fees
- Ranch Trail is a minor collector with 60' ROW and 41' back-to-back paving. Need to pave 6.5', given ROW=30' from centerline.
- Retaining walls 3' and over must be engineered
- All retaining walls to be rock or stone face. No smooth concrete walls.
- Minimum easement width is 20'. No structures in easements.
- Paving to be 3600psi (6.5 sack mix).
- No trees within 5' of utilities.
- Must show existing and proposed water and sewer lines
- Dumpster to drain to an oil/water separator prior to storm system if food or oil/grease product.
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- Do you plan on changing the water or sewer services? Impact fees will apply to up sizing the meter.
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- Full Panel Concrete replacement on Ranch Trail for proposed utilities.
- Sanitary Sewer Pro-Rata \$94.41 per acre
- Must meet all City Standards

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

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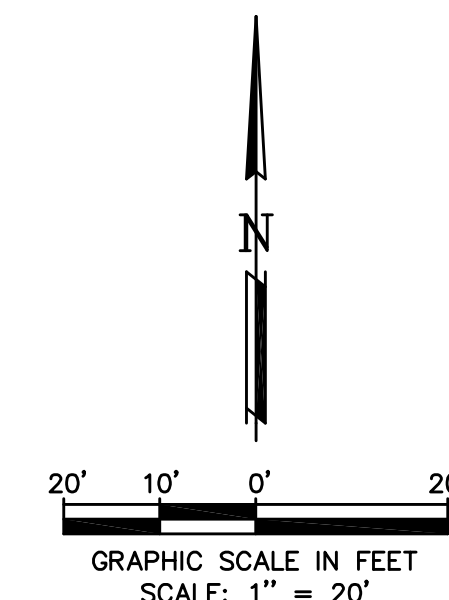
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SITE PLAN

RAINBO ACRES – LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED
DRAWN:	CTL	DATE:	AUGUST 2019	PROJECT:	0643-19



EPIC ROCKWALL VENTURE LLC
PART OF LOT 16
RAINBO ACRES
CAB. A, SLIDE 20
INST. NO. 2014000008464
CALLED 2.0 ACRES

SITE DATA

LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

LANDSCAPE TABLE

1 TREE PER 50' OF FRONTAGE	200'/50 = 4 TREES
1 TREE PER 20,000 SF PARKING	4,680/20,000 = 1 TREE
TOTAL TREE REQUIRED	5 TREES
TOTAL TREE PROVIDED	5 TREES (LIVE OAK)
TOTAL LANDSCAPE REQUIRED	5,421 SF (10.0%)
TOTAL LANDSCAPE PROVIDED	22,363 SF (41.25%)

IRRIGATION WILL MEET REQUIREMENTS OF UDC.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

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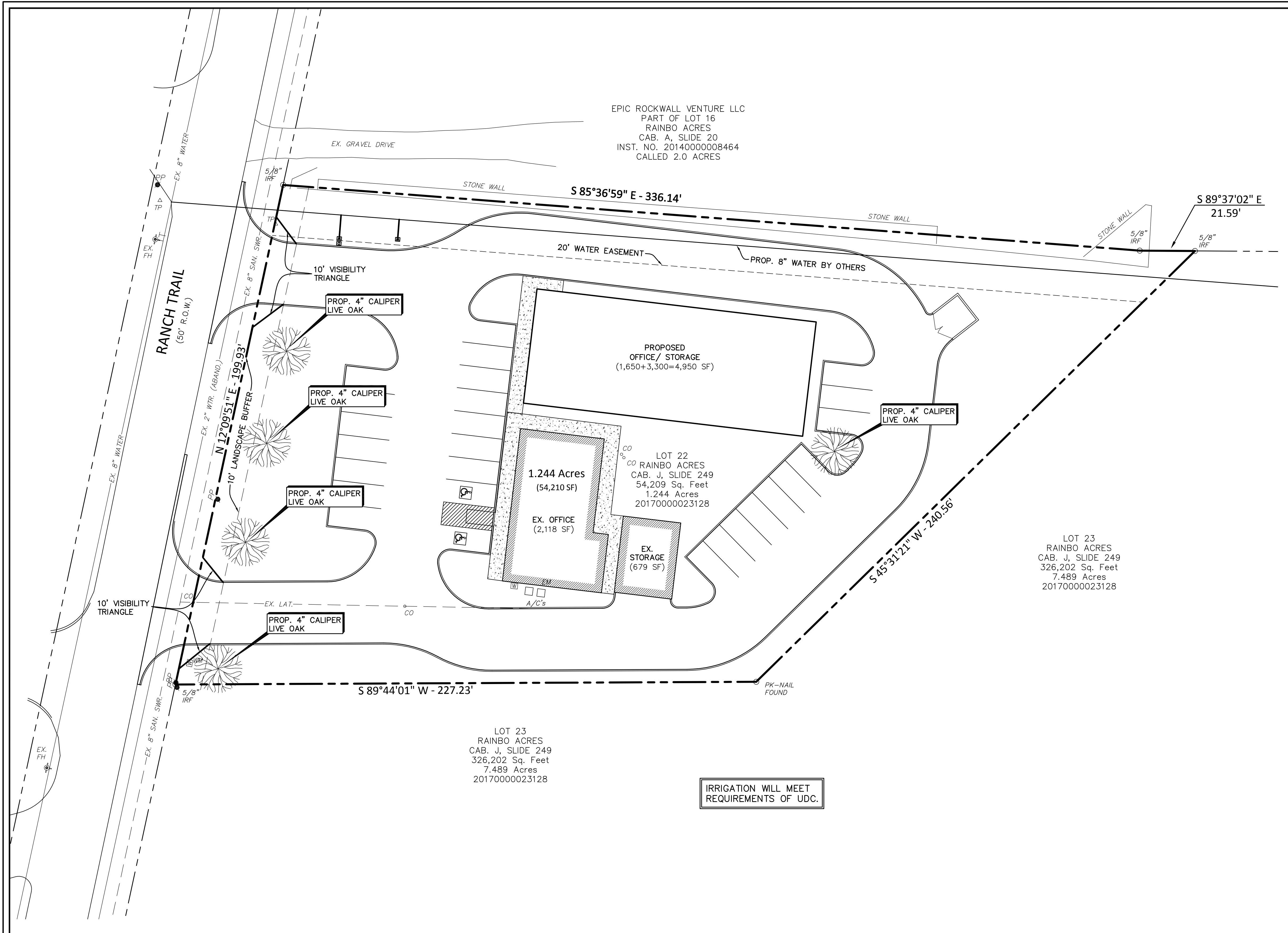
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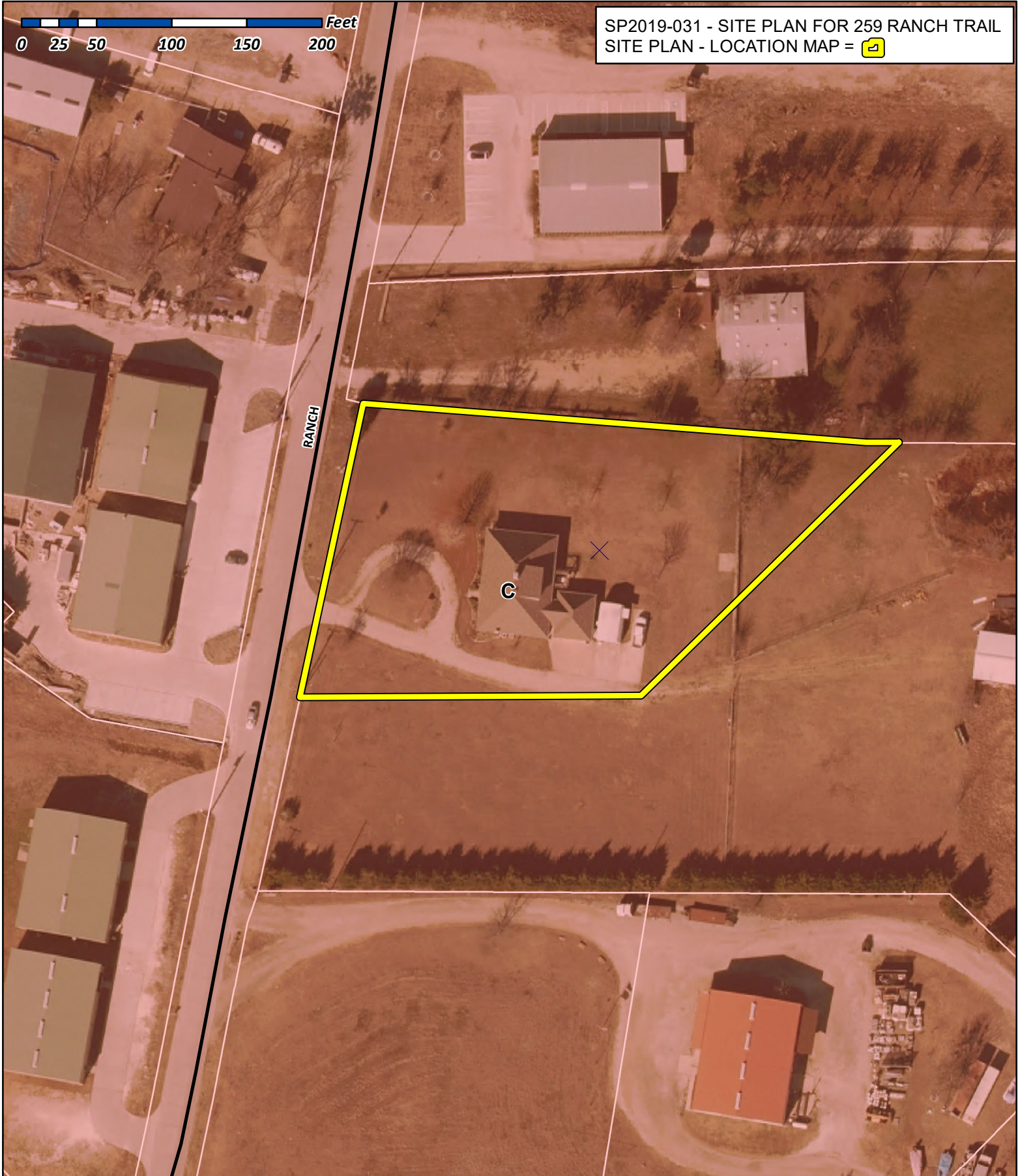
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LANDSCAPE PLAN			
RAINBO ACRES - LOT 22 R.D. MOORMAN, INC. 259 RANCH TRAIL ROCKWALL, TEXAS 75032			
LAM	LAM CONSULTING ENGINEERING 6804 WILHELMINA DRIVE SACHSE, TEXAS 75048 Phone (214) 766-1011 www.lamcivil.com Firm #F-9763		
	DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	2 OF X



0 25 50 100 150 200 Feet

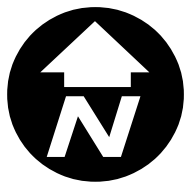
SP2019-031 - SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

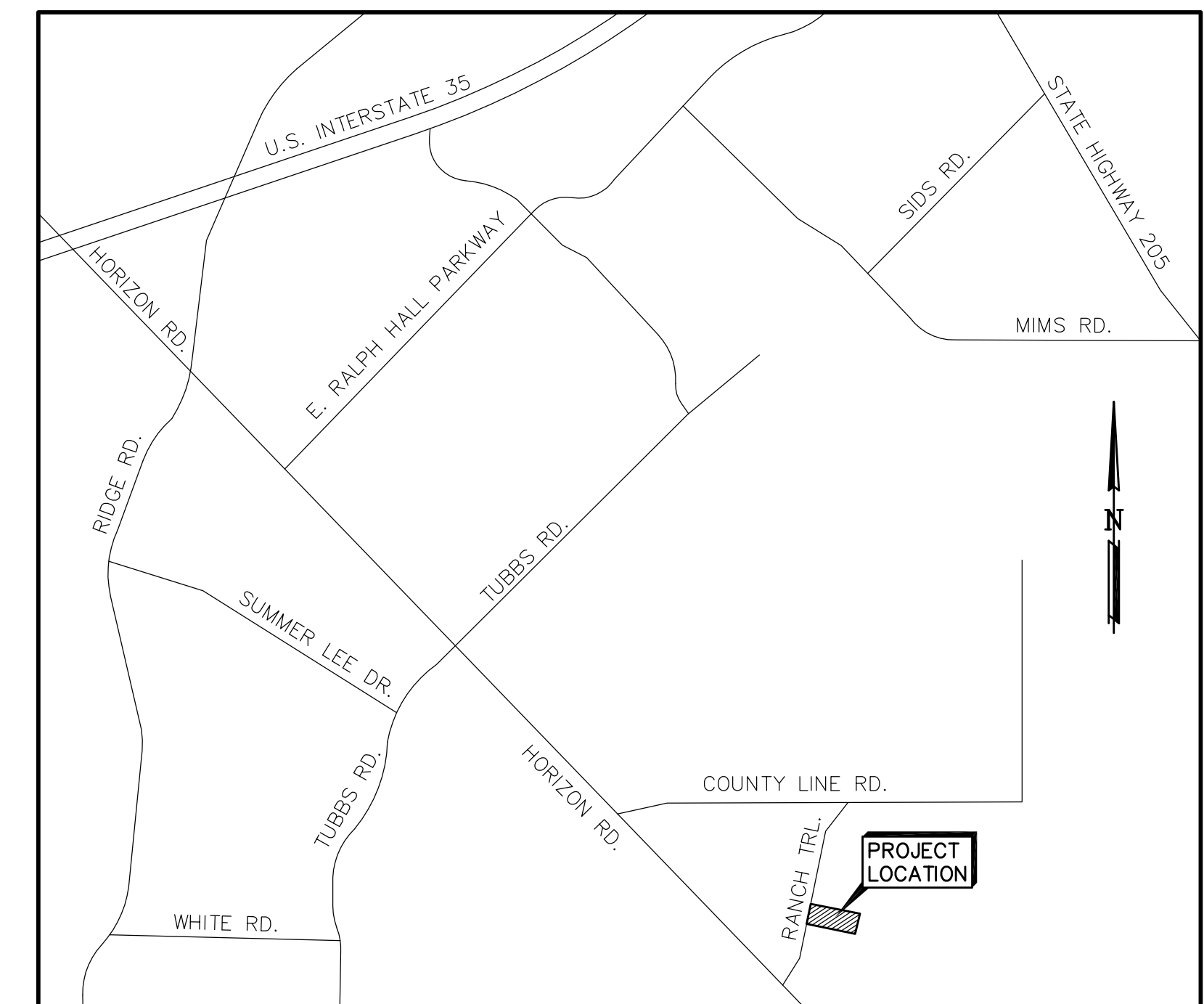
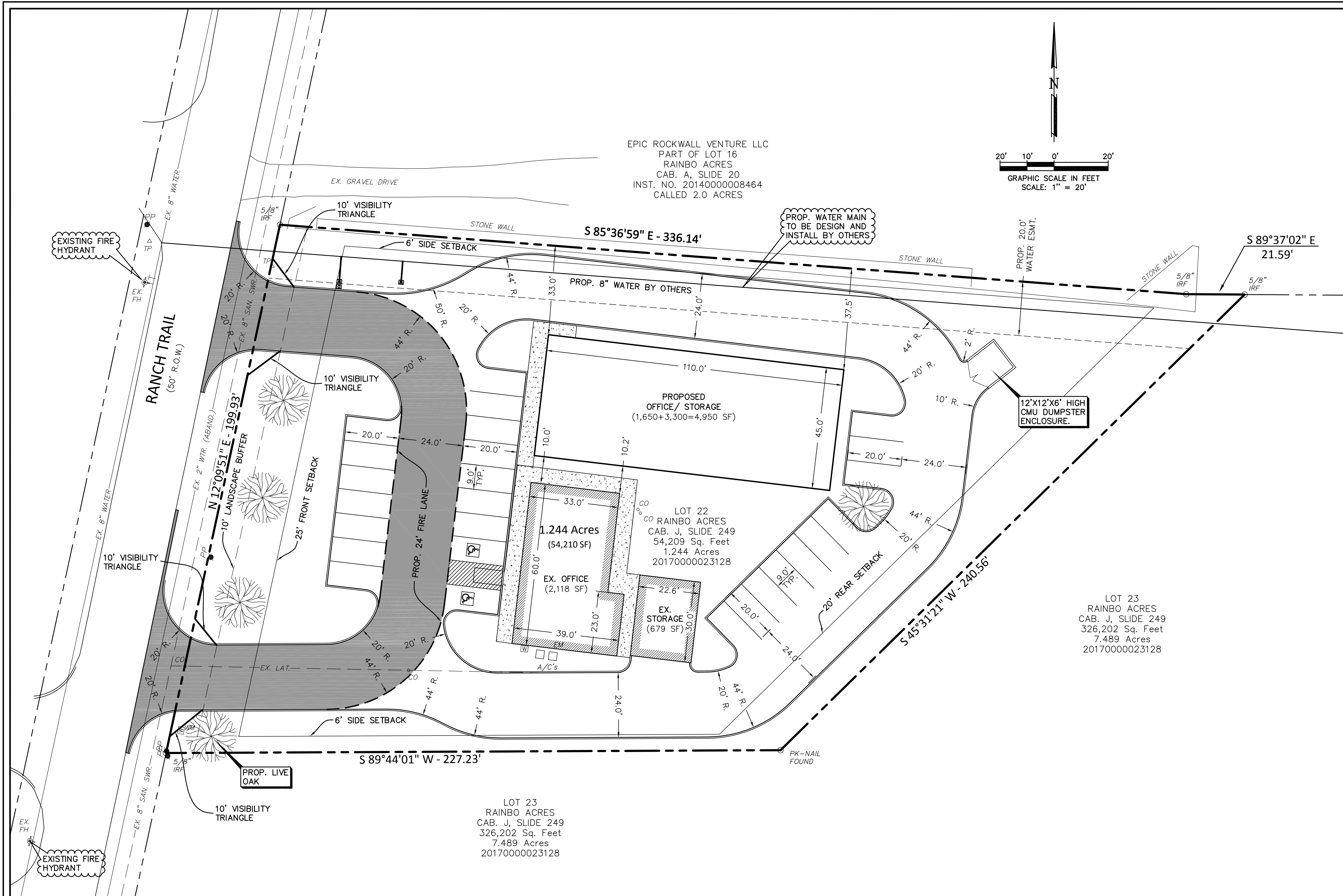


City of Rockwall

Planning & Zoning Department
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PARKING CALCULATION

PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	26 SPACES

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT.

OWNER:
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259 RANCH TRAIL
ROCKWALL, TEXAS 75032

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PRELIMINARY FOR REVIEW ONLY



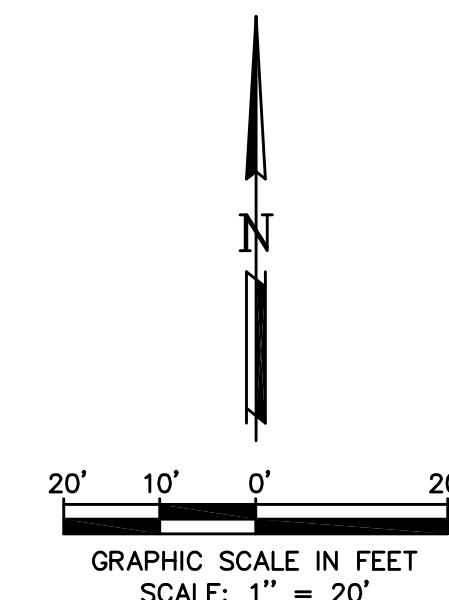
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DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	1 of X
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	



EPIC ROCKWALL VENTURE LLC
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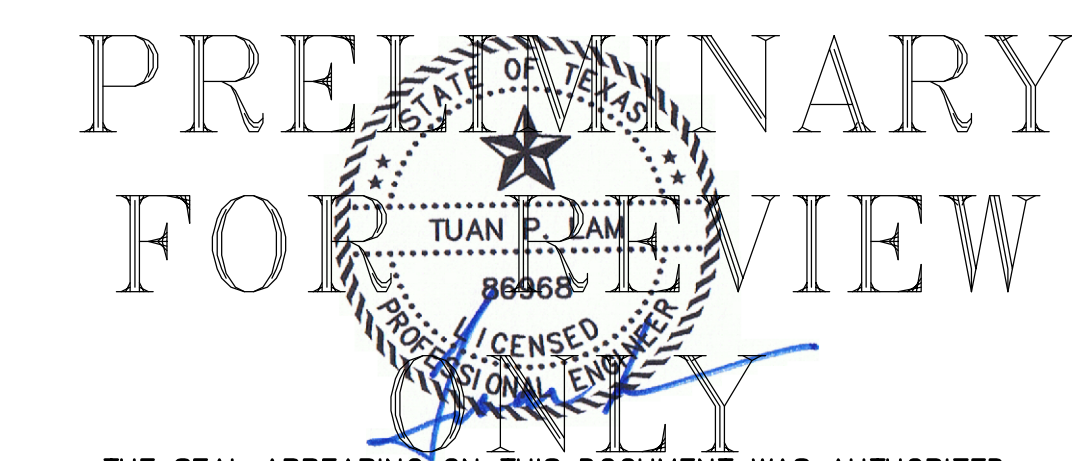
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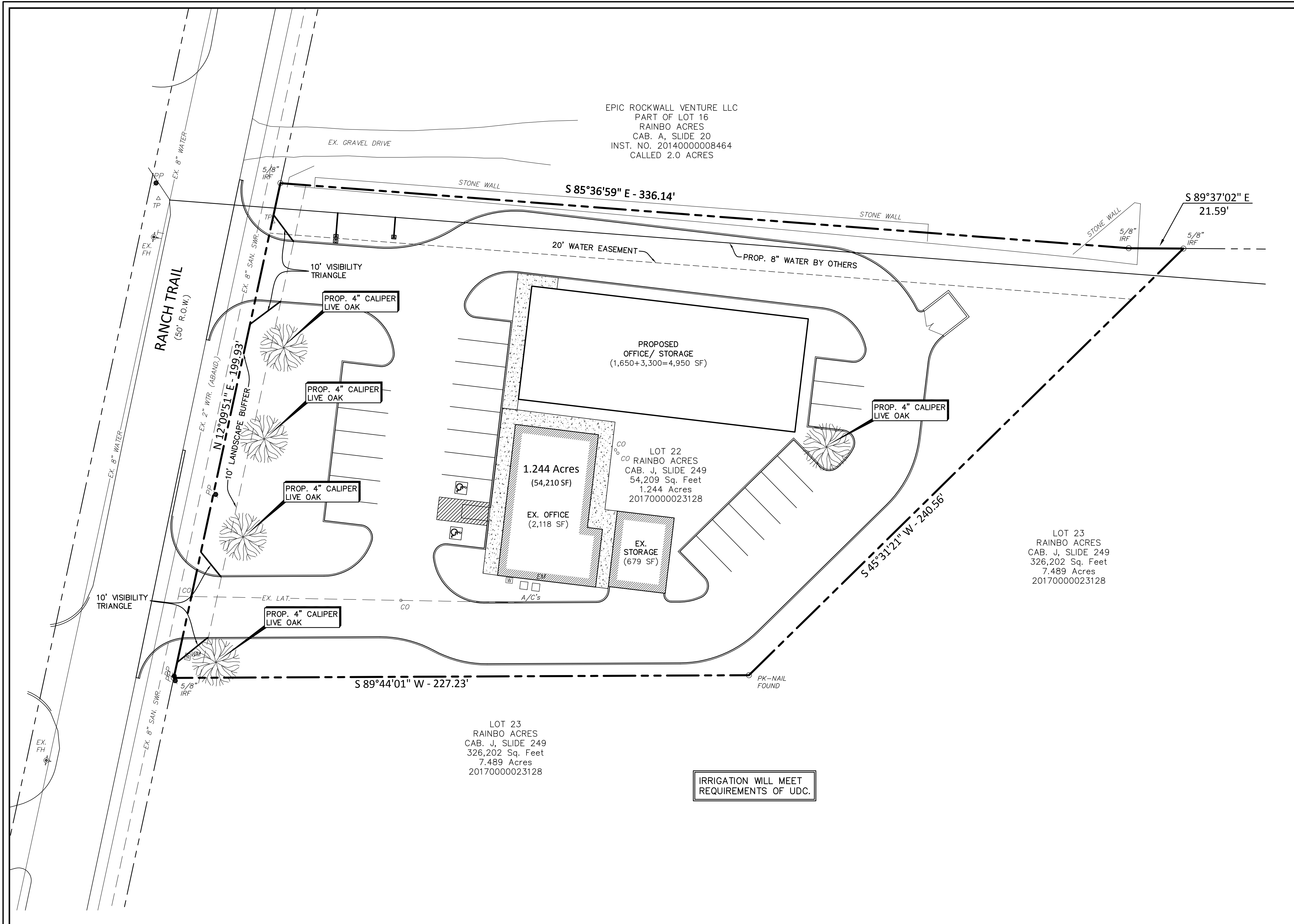
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RAINBO ACRES - LOT 22 R.D. MOORMAN, INC. 259 RANCH TRAIL ROCKWALL, TEXAS 75032			
LAM	LAM CONSULTING ENGINEERING 6804 WILHELMINA DRIVE SACHSE, TEXAS 75048 Phone (214) 766-1011 www.lamcivil.com Firm #F-9763		
	DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	2 OF X



REVISIONS:

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RONALD G. BROWN
REGISTERED ARCHITECT
TEXAS NO. 14293

PRIZM ARCHITECTS
INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS

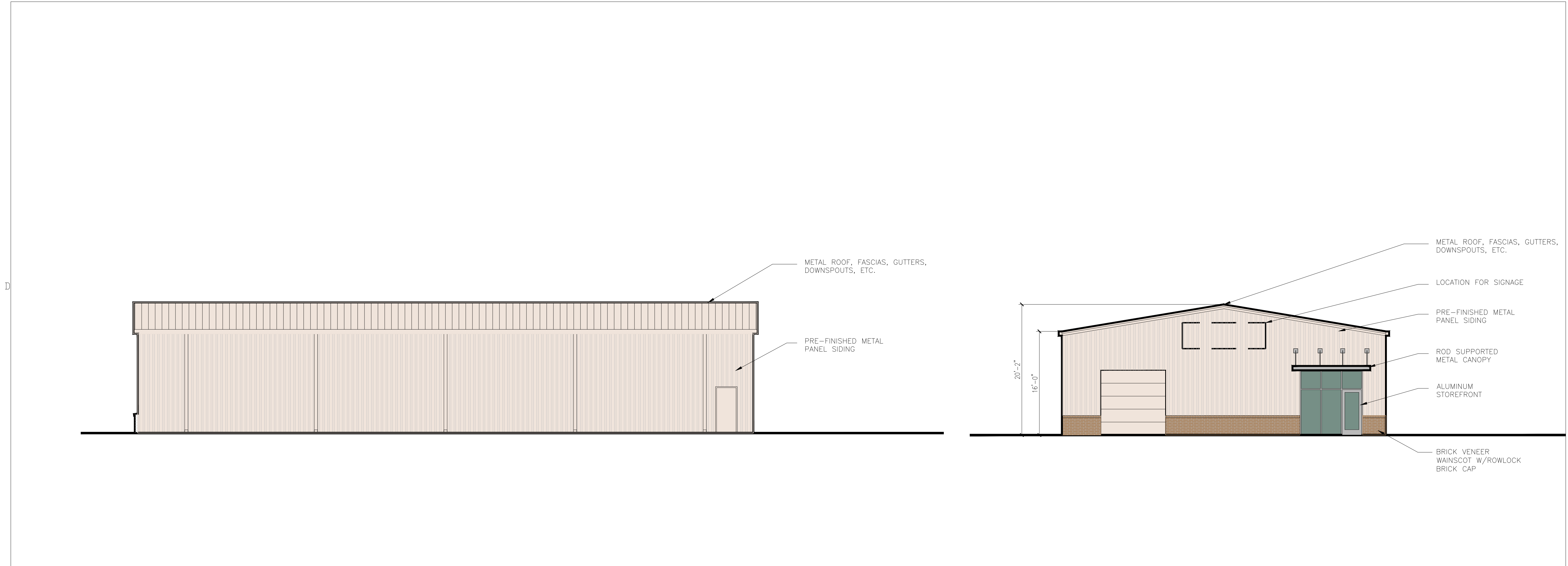
580 DECKER DRIVE, SUITE 170 IRVING, TEXAS 75062
(972) 714-0420, FAX (972) 714-0282

**MINI-WAREHOUSE
COMPLEX
RANCH TRAIL
ROCKWALL, TEXAS**

PROJECT NO.: 0.013.0817
ISSUE DATE: 09/20/2017

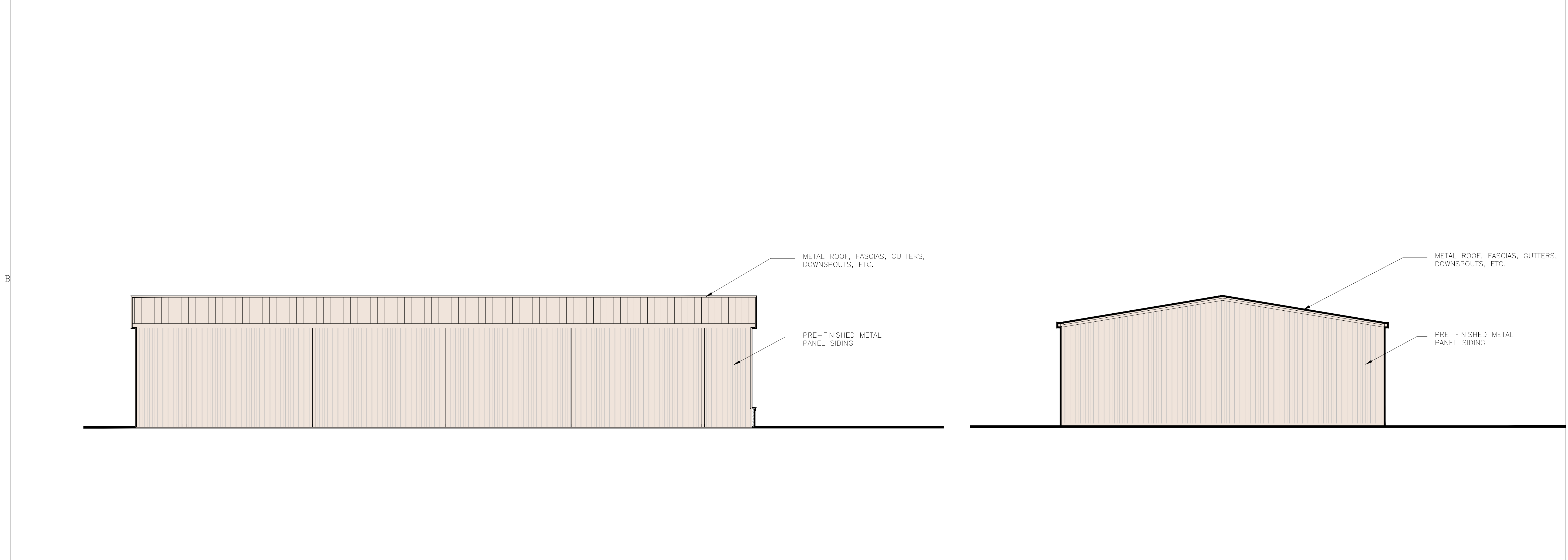
CONCEPTUAL ELEVATIONS
WAREHOUSE BUILDING

SHEET NO.:
SUP-4



C1 WAREHOUSE - SOUTH ELEVATION (SIDE) SCALE: 1/8" = 1'-0"

C4 WAREHOUSE - WEST ELEVATION (FRONT) SCALE: 1/8" = 1'-0"



A1 WAREHOUSE - NORTH ELEVATION (SIDE) SCALE: 1/8" = 1'-0"

A4 WAREHOUSE - EAST ELEVATION (REAR) SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 10, 2019
APPLICANT: Ryan Moorman; *R. D. Moorman, Inc.*
CASE NUMBER: SP2019-031; *Site Plan for 259 Ranch Trail*

SUMMARY

Discuss and consider a request by Ryan Moorman of R. D. Moorman, Inc. for the approval of a site plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

BACKGROUND

The subject property was annexed in 2004 [*Ordinance No. 04-34*] and zoned Commercial (C) District. In 2017, the City Council approved a replat [*Case No. P2017-050*] to subdivide the subject property (*i.e. Lots 22 and 23*) from the adjacent property in order for it to be developed for the construction of a mini-warehouse facility on Lot 23. Currently situated on the subject property is a single-family home that has been converted into an office building. In addition, the subject property has a detached garage and a metal accessory building located behind the primary structure.

PURPOSE

The applicant is requesting to construct a 4,950 SF metal office building in conjunction with and adjacent to the existing office building. The subject property is a 1.244-acre parcel of land that is zoned Commercial (C) District. According to the applicant, the purpose of the building is to provide additional office space and storage.

ADJACENT LAND USES AND ACCESS

The subject property is located at 259 Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several commercial structures. Beyond this is vacant tract of land adjacent to County Line Road. County Line Road is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are all zoned Commercial (C) District.

South: Directly south of the subject property several are commercial structures. Beyond this is vacant tract of land that is adjacent to FM-3097. FM-3097 is identified as a *M4D (Major Collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a 7.489-acre parcel of land where a mini-warehouse facility has been proposed to be constructed. This is followed by a 131.39-acre tract of vacant land (*i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80 – commonly referred to as the Wallace Tract*). These areas are zoned Commercial (C) and Agricultural (AG)

District. Beyond this are two (2) single-family residential subdivisions (*i.e. the Oaks of Buffalo Way and Willowcrest Estates Subdivisions*), which are zoned Single-Family Estates 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the City’s Master Thoroughfare Plan. Beyond this are several commercial structures, that are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1.1, *Land Use and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), an office building is permitted by-right in a Commercial (C) District and no additional approvals are necessary with regard to the proposed land use. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=54,210 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=200-Feet-In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=227-336-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X=15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=16-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=14%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>17 Parking Spaces</i>	<i>X=26 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=41%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=41%; In Conformance</i>

The proposed office building will be approximately 4,950 SF, 16-feet in height, and be situated adjacent to the north façade of the existing office building. The structure will be constructed of metal and utilize a four (4) foot brick wainscot, storefront glass, and a roll-up door on the front façade. According to the applicant, the existing metal accessory building will be removed. Staff should note that most of the surrounding buildings are metal and this office building will be located directly in front of a proposed mini-warehouse facility that will consist of 575 units within 19 metal buildings.

TREESCAPE PLAN

The submitted landscape plan identifies that there are no protected trees being removed from the site.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 4.05, *Commercial (C) District*, of Section 4, *Commercial Districts*, Article V, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is a district “...intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district...” In addition, these areas “...may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts...” In this case, the applicant’s request appears to conform to the requirements of the Unified Development Code (UDC). Specifically, the subject property is adjacent to Ranch Trail

Road -- identified as a Minor Collector on the City's Master Thoroughfare Plan --, and the proposed land use (i.e. office) is not typically a high-volume water/wastewater user. With regard to the land use, an office building is permitted by-right in a Commercial (C) District.

Subsection 5.2, *Screening of Off-Street Loading Docks*, of Section 5, *Mandatory Provisions*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), off-street loading docks in commercial zoning classification must be screened from public streets and any residential district that abuts or is directly across a public street or alley from the lot. In this case, the proposed office building incorporates one (1) roll-up door (i.e. loading dock) that will face Ranch Trail. The applicant is proposing to screen the loading dock by providing additional landscaping directly in front of the roll-up door to limit visibility from Ranch Trail. Additionally, the landscape buffer adjacent to Ranch Trail will also provide screening from the street. Staff should note, although screening is being provided, it is possible that the roll-up door will still have limited visibility from Ranch Trail. In addition, this seems to be similar to other buildings that are located along Ranch Trail. The Planning and Zoning Commission is tasked with reviewing the proposed screening and determining additional screening is necessary. Approval of this request is a discretionary decision for the Planning and Zoning Commission.

EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) Building Articulation

- (a) *Maximum Wall Length*. Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), stipulates that the maximum wall length shall not exceed more than three (3) times the wall's height without a recess or projection of an architectural element. In this case the maximum wall length is approximately 48-feet; however, the length of the north and south façade of the proposed metal building will be 110-feet and will not utilize a projection, recess, or architectural element. Since this exceeds the maximum wall length, an exception to the building articulation standards is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). Section 9, *Exceptions and Variances*, of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC), gives the Planning and Zoning Commission the ability to grant an exception to the building articulation standards where unique or extraordinary conditions exists or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where an exception is being requested the applicant is required to provide a letter to staff outlining [1] the reason for the exception being requested, [2] the unique or extraordinary conditions that exists, and [3] the proposed compensatory measures (e.g. *increased landscaping, masonry building materials in percentages equal to or greater than the surrounding properties, etc.*). The applicant has provided staff with a letter outlining the proposed compensatory measures; however, did not provide [1] the reason for the exception being requested or [2] the unique or extraordinary circumstance that exists. In this case, the Planning and Zoning Commission is tasked with reviewing the proposed compensatory measures and determining if additional compensatory measures are necessary to offset the exception being requested.

This exception is a discretionary decision for the Planning and Zoning Commission and requires a super-majority vote with a minimum of four (4) votes in the affirmative for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OUR HOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Southwest Residential District and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, this use and the proposed metal buildings are similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.

The Comprehensive Plan aims to encourage quality commercial development throughout the city by ensuring that industrial/office uses are adequately buffered and/or screening from residential land uses. Roadways and open space serve as a natural separation between non-residential areas and residential subdivisions. Landscape buffers utilizing a combination of berms and mature landscaping should be utilized for non-residential properties that area adjacent to residential or agricultural land. In this case, the subject property is largely surrounded by commercial/industrial uses. The applicant is also providing a landscape buffer adjacent to Ranch Trail. Due to these reasons, this request seems to generally conform to the policies of the Comprehensive Plan regarding screening of non-residential properties.

ARCHITECTURAL REVIEW BOARD (ARB):


On August 28, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval of the site plan by a vote of 3-1 with Board Member Neill dissenting and Board Members Meyrat, Wacker, and Johnson absent.

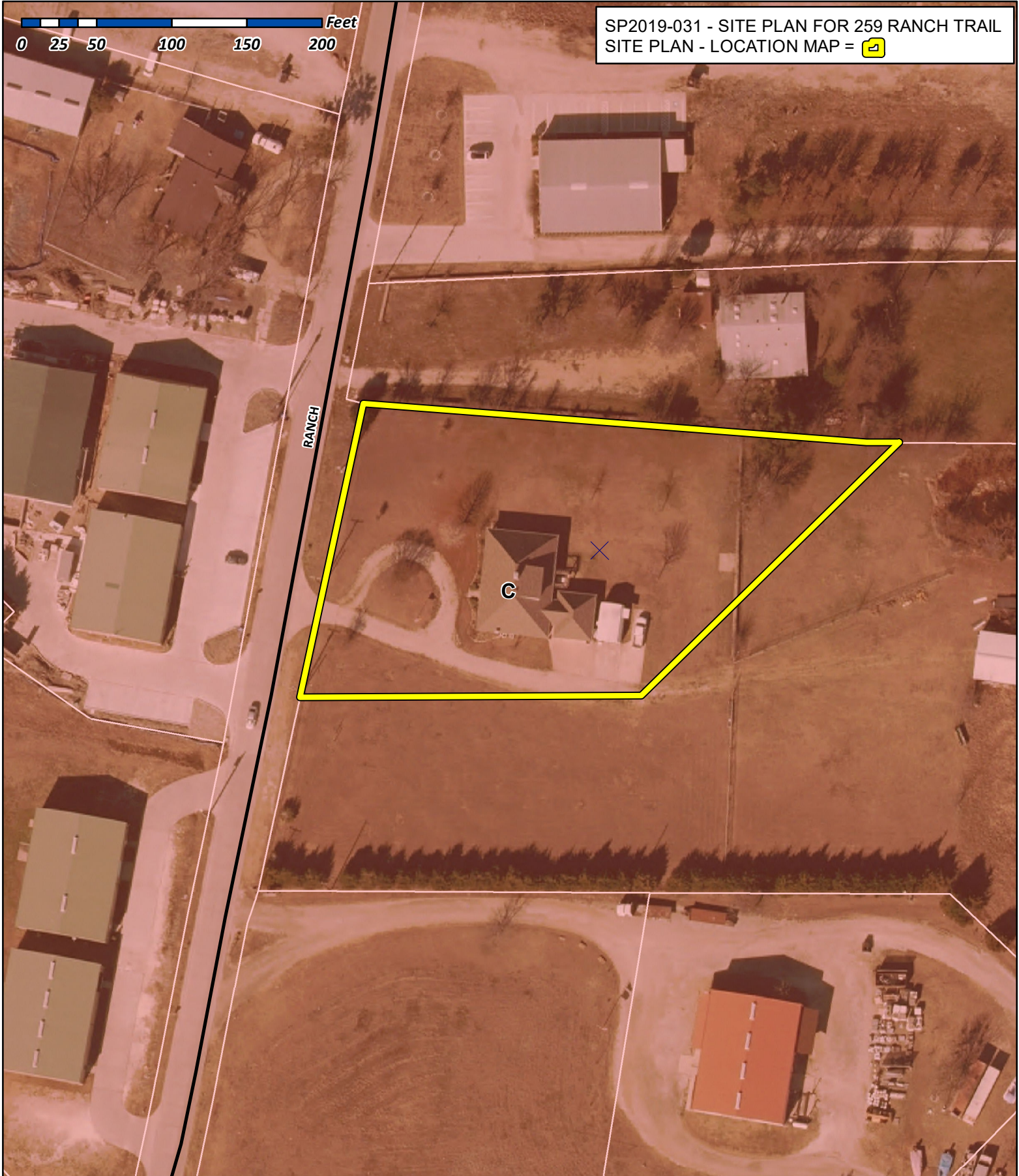
CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's site plan then staff would propose the following conditions of approval:

- (1) The existing metal accessory building shall be removed prior to issuance of a Certificate of Occupancy (CO). This requirement is due to the change of use on the property and the non-conforming nature of the structure.
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

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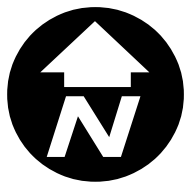
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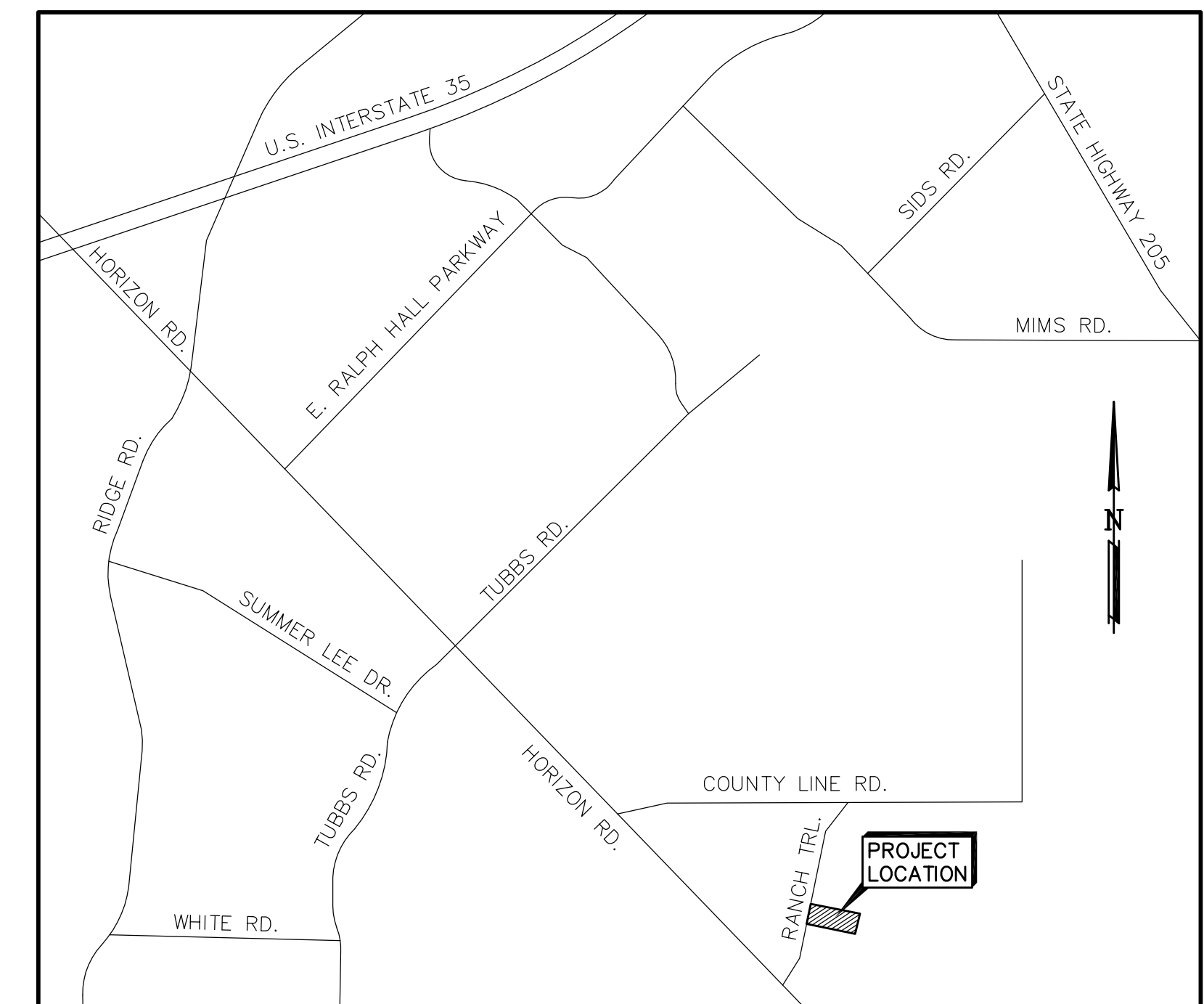
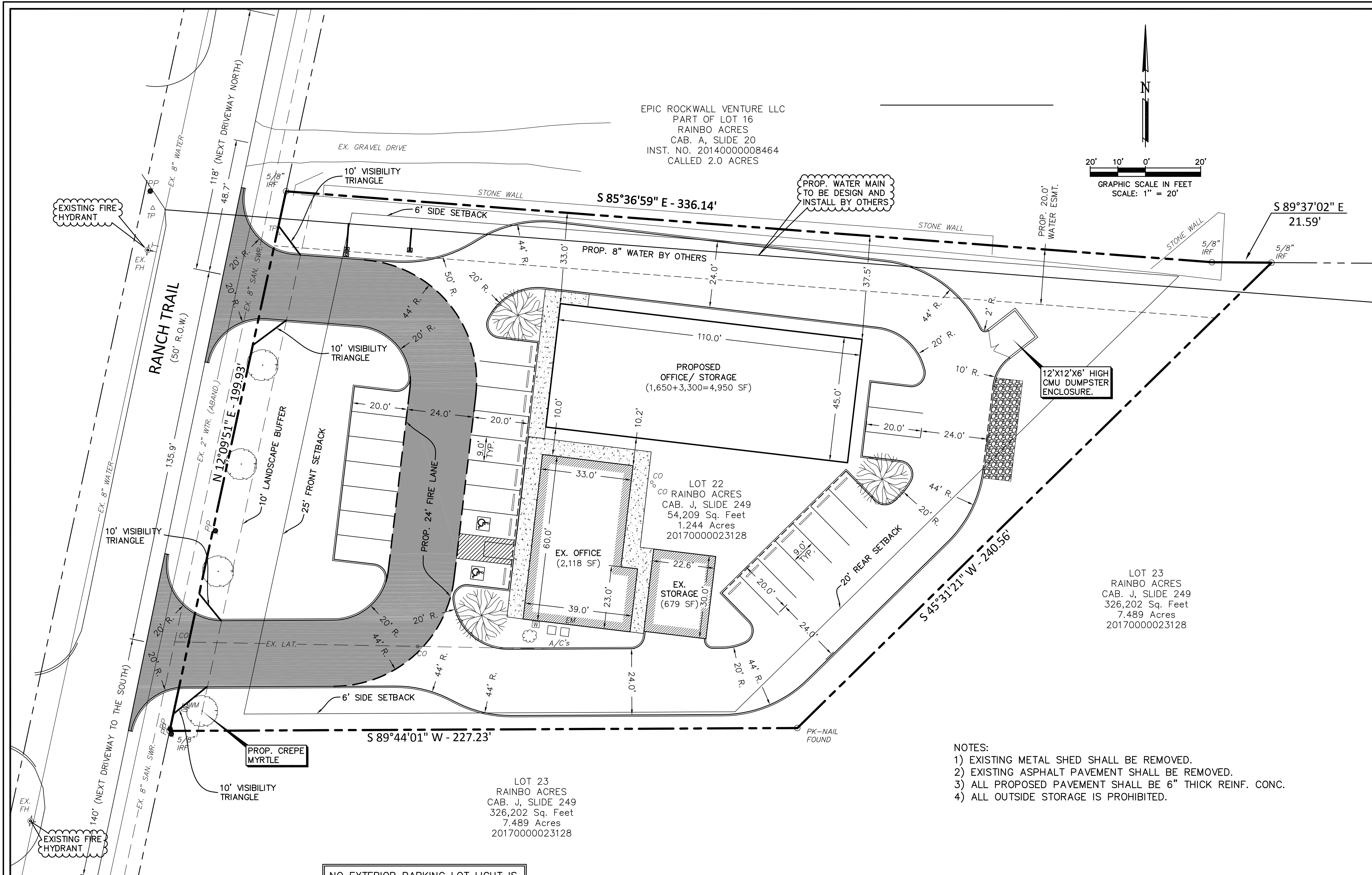


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VICINITY MAP
N.T.S.

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PARKING CALCULATION

PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	26 SPACES

- NOTES:
- 1) EXISTING METAL SHED SHALL BE REMOVED.
 - 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - 4) ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

PRELIMINARY
FOR REVIEW



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 8/27/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

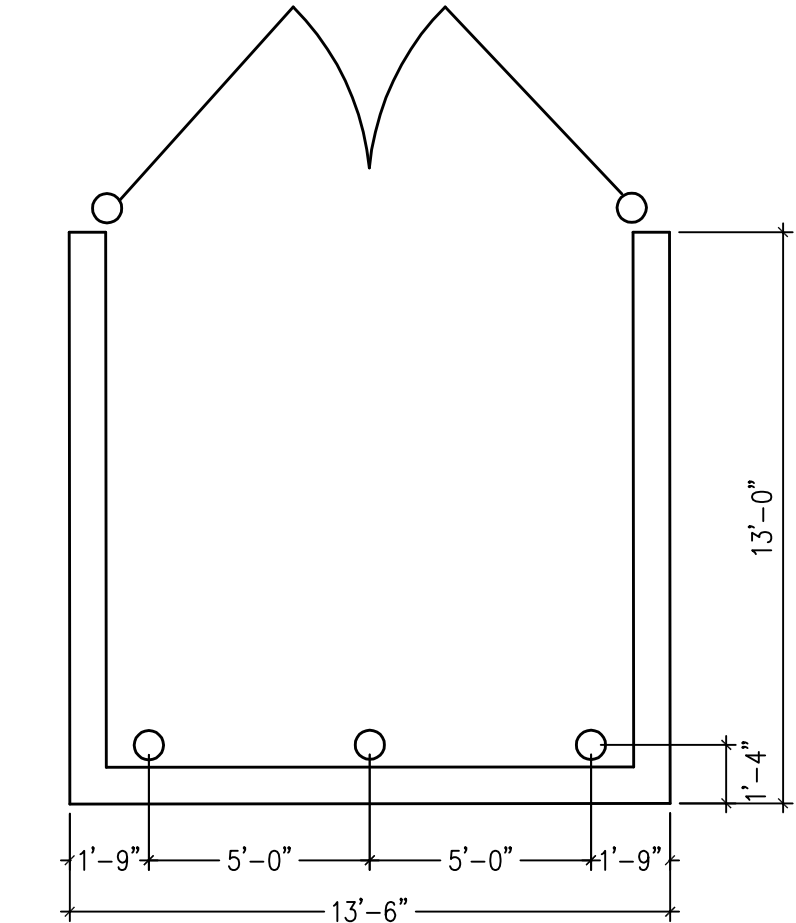
CASE# SP2019-031

SITE PLAN

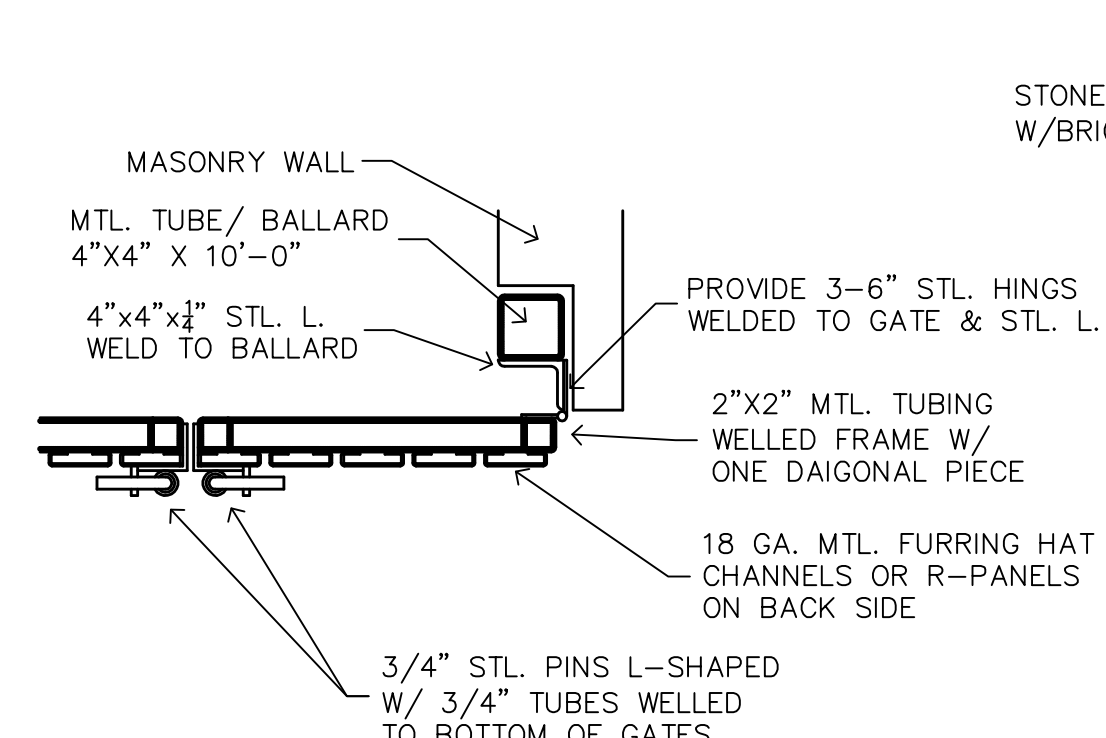
RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

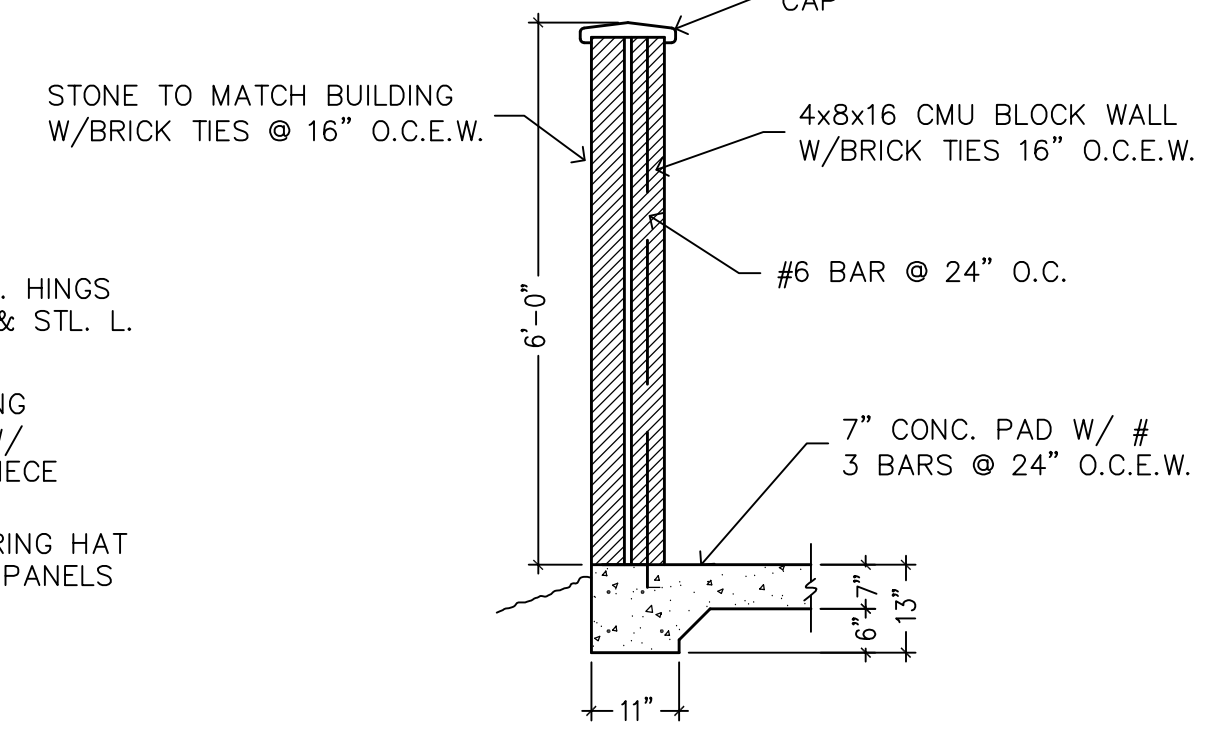
DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED
DRAWN:	CTL	DATE:	AUGUST 2019	PROJECT:	0643-19



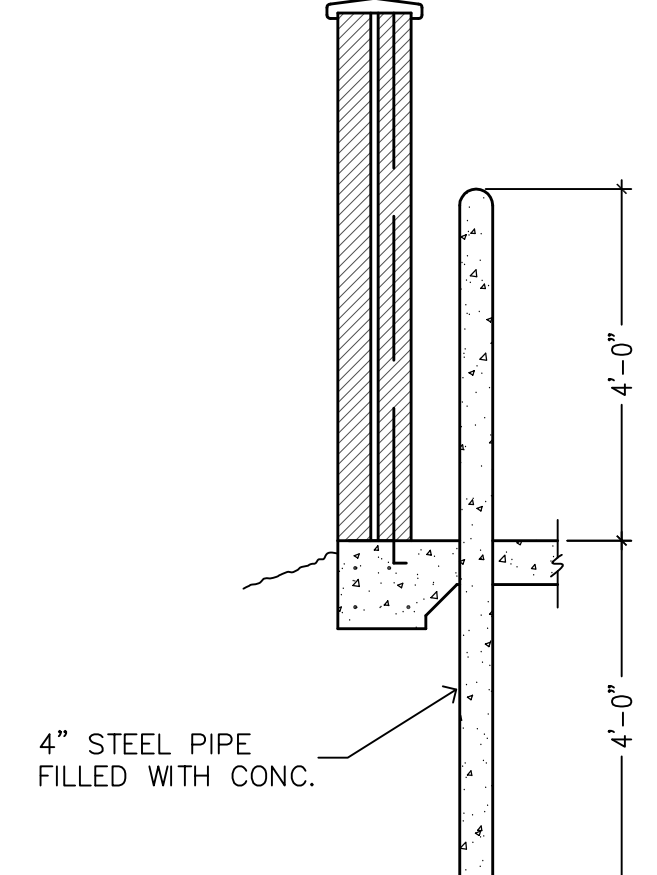
1 DUMPSTER PLAN
N.T.S.



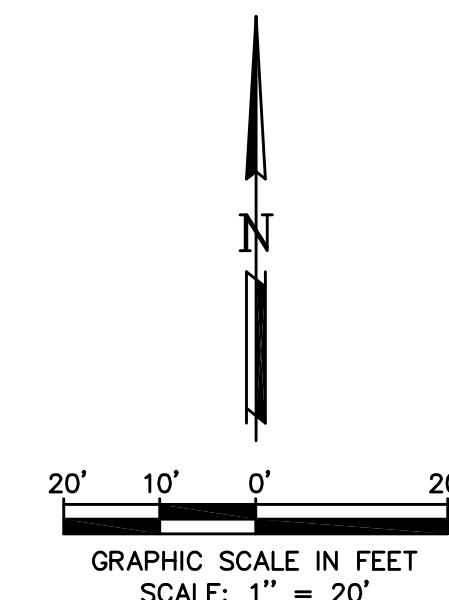
2 DETAIL @ BALLARD
N.T.S.



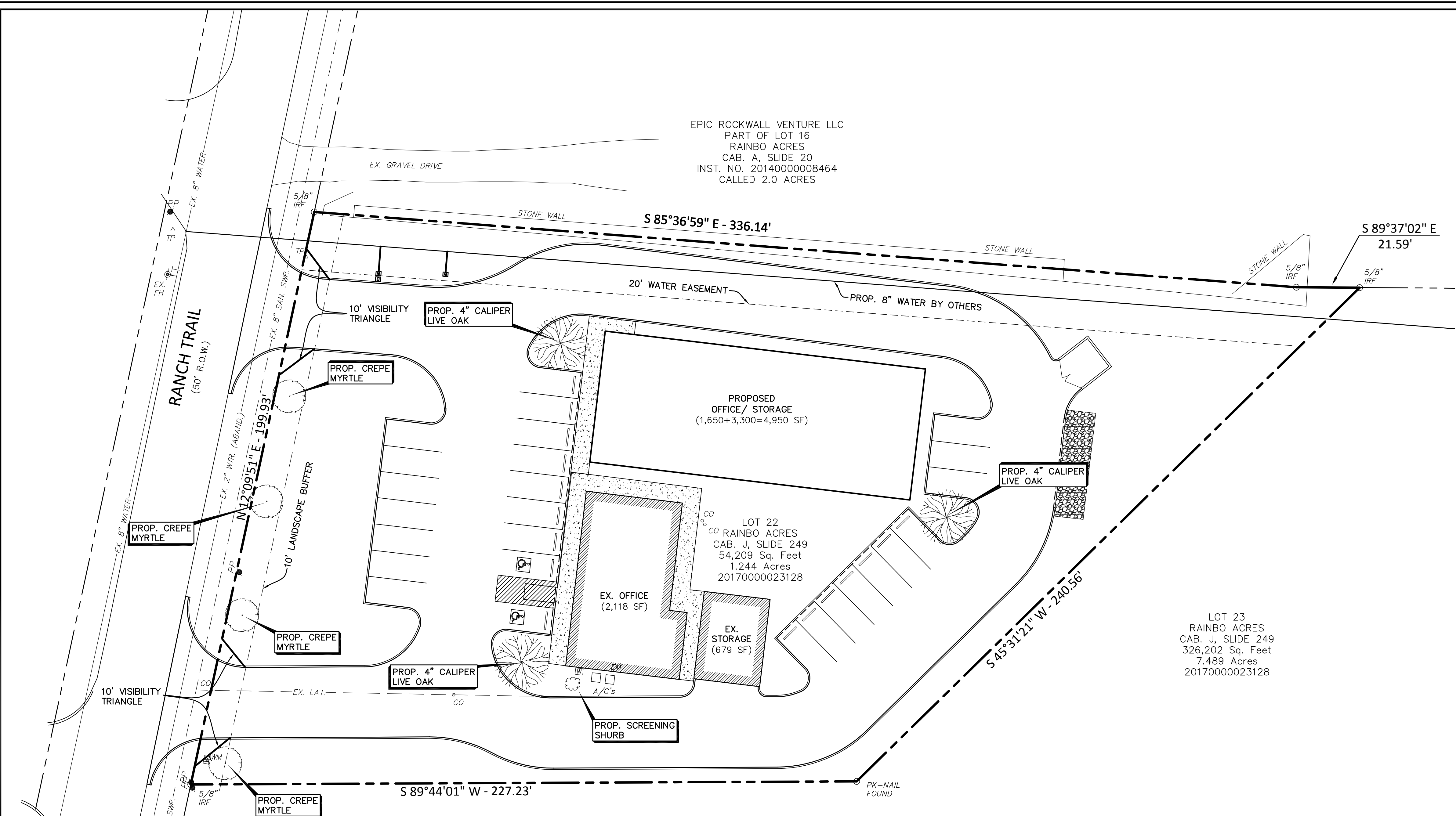
3 SECTION @ DUMPSTER WALL
N.T.S.



4 DETAIL @ BALLARD
N.T.S.



EPIC ROCKWALL VENTURE LLC
 PART OF LOT 16
 RAINBO ACRES
 CAB. A, SLIDE 20
 INST. NO. 2014000008464
 CALLED 2.0 ACRES



SITE DATA

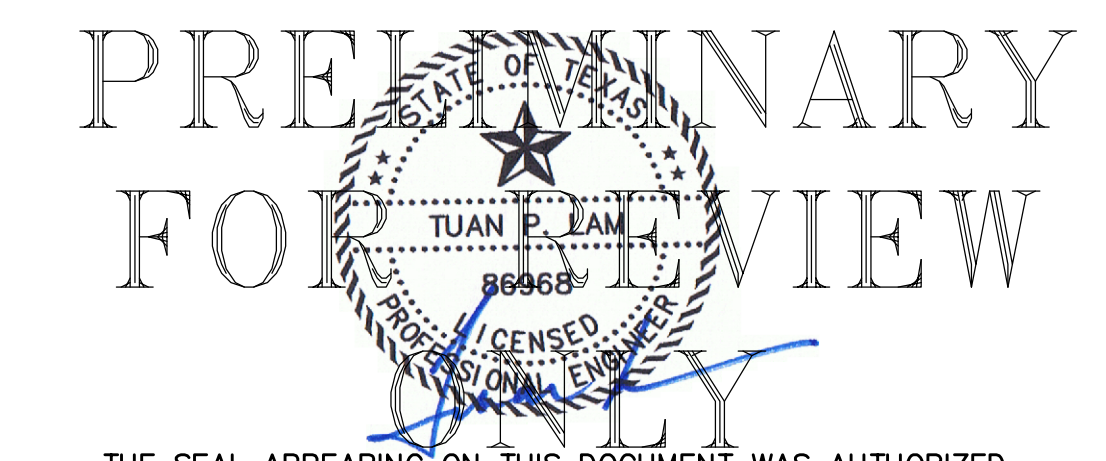
LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

LANDSCAPE TABLE

1 TREE PER 50' OF FRONTAGE	200'/50 = 4 TREES
1 TREE PER 20,000 SF PARKING	4,680/20,000 = 1 TREE
TOTAL TREE REQUIRED	5 TREES
TOTAL TREE PROVIDED	3 TREES (LIVE OAK)
	4 TREES (CREPE MYRTLE)
TOTAL LANDSCAPE REQUIRED	5,421 SF (10.0%)
TOTAL LANDSCAPE PROVIDED	22,363 SF (41.25%)

IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 8/27/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

OWNER:
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032

CASE# SP2019-031

LANDSCAPE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
 6804 WILHELMINA DRIVE
 SACHSE, TEXAS 75048
 Phone (214) 766-1011
 www.lamcivil.com
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	3 OF X
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS

REVISIONS:	

THIS DOCUMENT IS FOR INTERIM REVIEW ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

RONALD G. BROWN
REGISTERED ARCHITECT
TEXAS NO. 14293

PRIZM ARCHITECTS
INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS

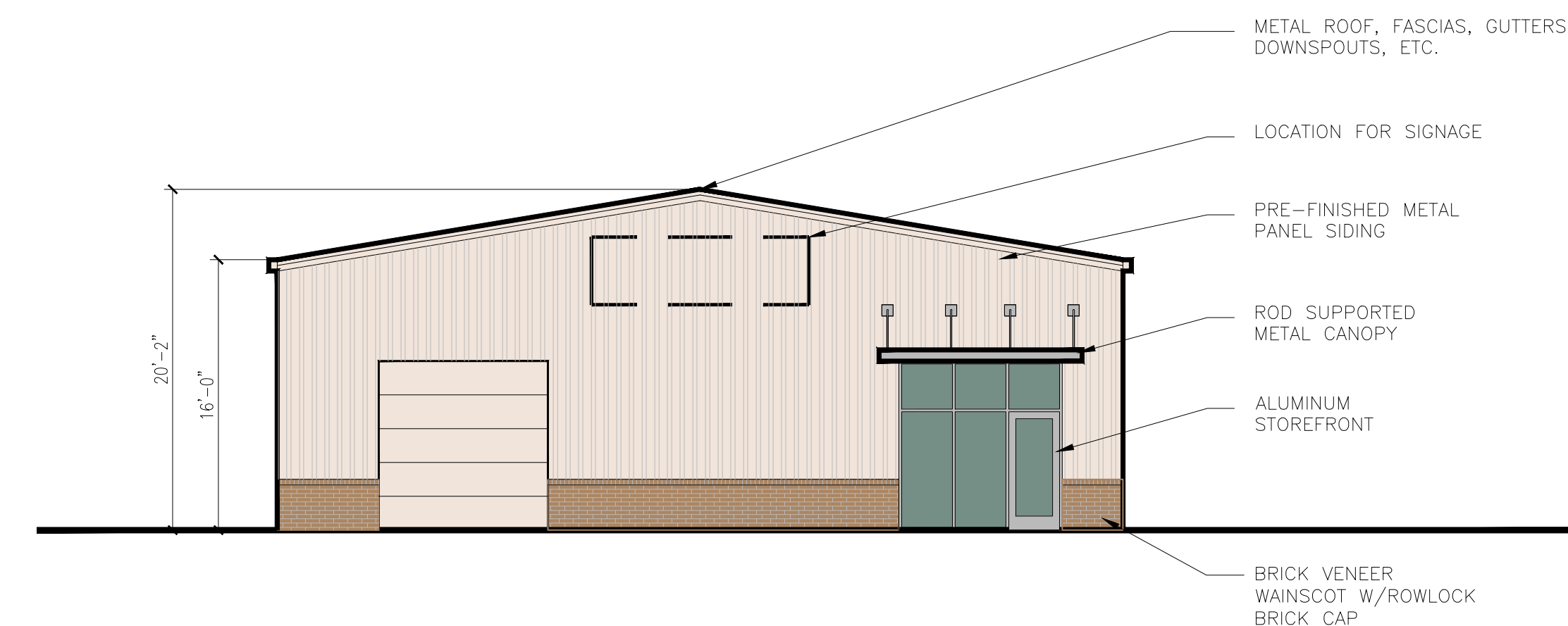
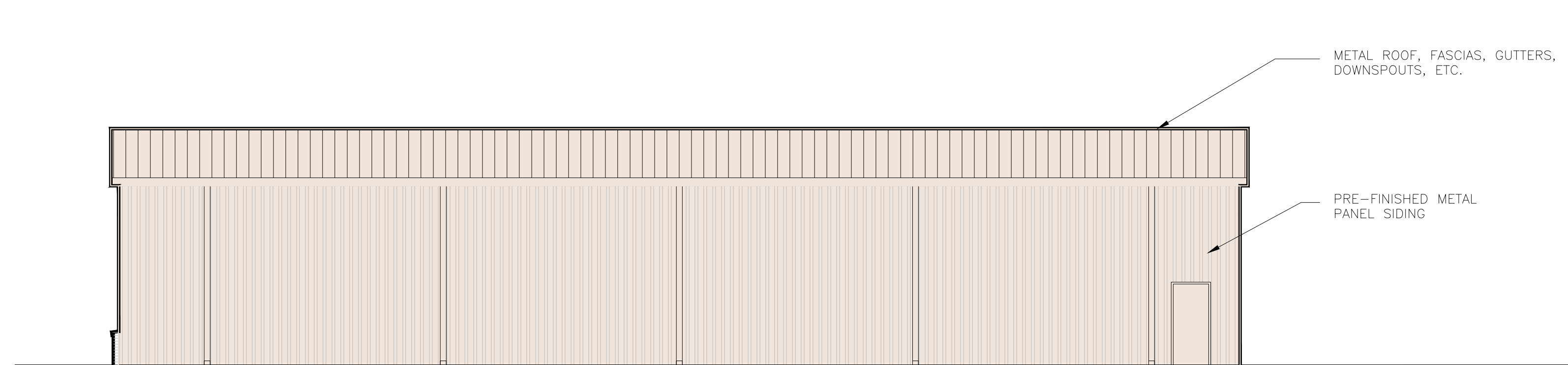
580 DECKER DRIVE, SUITE 170 IRVING, TEXAS 75062
(972) 714-0420, FAX (972) 714-0282

**MINI-WAREHOUSE
COMPLEX
RANCH TRAIL
ROCKWALL, TEXAS**

PROJECT NO.: 0.013.0817
ISSUE DATE: 09/20/2017

CONCEPTUAL ELEVATIONS
WAREHOUSE BUILDING

SHEET NO.:
SUP-4

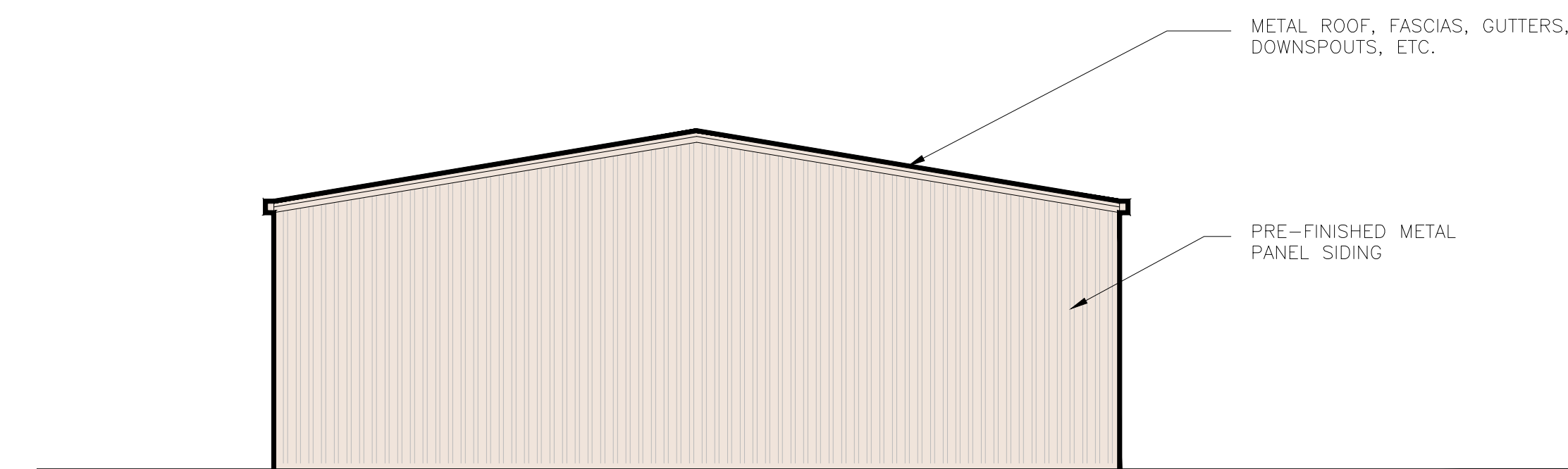
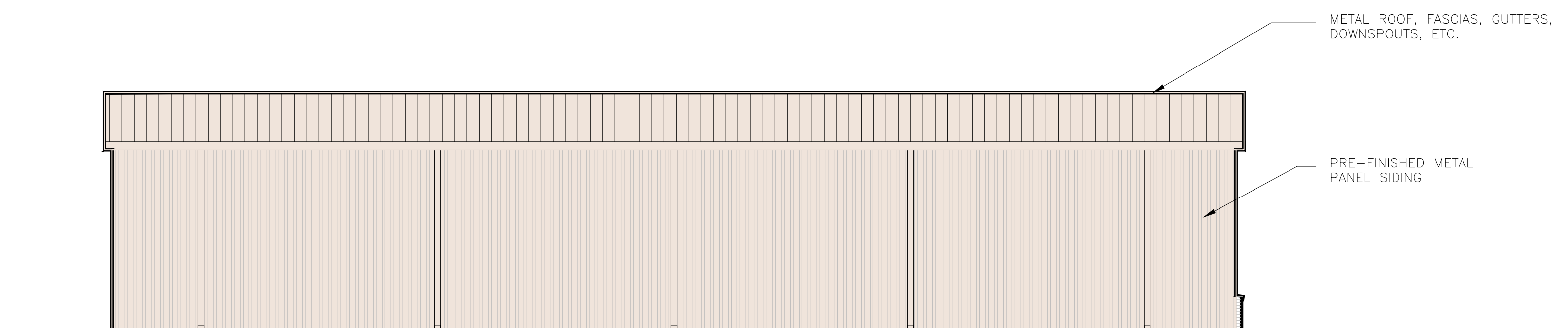


C1 WAREHOUSE - SOUTH ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"

C4 WAREHOUSE - WEST ELEVATION (FRONT)

SCALE: 1/8" = 1'-0"



A1 WAREHOUSE - NORTH ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"

A4 WAREHOUSE - EAST ELEVATION (REAR)

SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
CC: Rick Crowley, *City Manager*
Mary Smith, *Assistant City Manager*
Joey Boyd, *Assistant City Manager*
FROM: Ryan Miller; Director of Planning and Zoning
DATE: October 7, 2019
SUBJECT: SP2019-031; *Appeal for a Variance for 259 Ranch Trail*

On August 16, 2019, the applicant Ryan Moorman of R. D. Moorman Inc. submitted an application requesting approval of a site plan converting an existing single-family home into an office building and proposing to construct a metal office/warehouse building on the subject property at 259 Ranch Trail. In conjunction with the site plan request, the applicant requested an exception to the building articulation requirements for the proposed metal office/warehouse building. Specifically, Subsection 4.01, *General Commercial District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the maximum wall length shall not exceed more than three (3) times the walls' height without a recess or projection of an architectural element. In this case, the maximum wall length permitted without a projection or off-set on the proposed metal/warehouse building would be ~48-feet. Based on the proposed building elevations submitted by the applicant the north and south façades show a wall length of 110-feet without a projection or off-set. According to Section 9.01, *Exceptions to the General Standards*, of Article XI, *Zoning Related Applications*, of the UDC, the Planning and Zoning Commission has the ability to grant an exception to the building articulation standards where [1] a unique or extraordinary condition exists or [2] where strict adherence to the technical requirements of the UDC would create an undue hardship. In cases where an exception is being requested the applicant is required to provide a letter to staff outlining [1] the reason for the exception being requested, [2] the unique or extraordinary condition that exists, and [3] the proposed compensatory measures (e.g. *increased landscaping, masonry building materials in percentages equal to or greater than the surrounding properties, etc.*). The applicant provided staff with a letter outlining the proposed compensatory measures (i.e. [1] *the provision of a wainscot on the front of the building and [2] 41.25% landscape in lieu of the ten [10%] required*); however, did not provide [1] the reason for the exception being requested or [2] the unique or extraordinary circumstance that exists. On September 10, 2019, the Planning and Zoning Commission reviewed the site plan, building elevations, and the applicant's letter and approved a motion to approve the site plan by a vote of 4-2, with Commissioners Womble and Welch dissenting and Commissioner Moeller absent; however, due to the lack of a supermajority vote (i.e. *three-fourths of the members present*) the exception to the building articulation standards was denied.

In response to this denial, the applicant has submitted a request to appeal the decision to the City Council. According to Section 9.01, *Exceptions to the General Standards*, of Article XI, *Zoning Related Applications*, of the UDC, "(i)f the Planning and Zoning commission denies a request for an exception, the applicant may appeal the decision to the City Council by filing a written appeal to the Director of Planning and Zoning or his/her designee. Approval of any exception ... shall require a supermajority vote (i.e. *a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative." Attached to this memorandum is the applicant's appeal letter and the packet provided to the Planning and Zoning Commission. Approval of any appeal relating to an exception is a discretionary decision for the City Council.



R.D. MOORMAN, INC.

September 30, 2019

Mr. Korey Brooks
City of Rockwall, Senior Planner
Planning and Zoning Department Coordinator
385 S. Goliad
Rockwall, TX 75087

Re: 259 Ranch Trail, Rockwall, TX 75032

Dear Mr. Brooks:

We applied to Planning and Zoning for a site plan approval and a variance to the articulation standard. The site plan was approved but the variance was denied. We are appealing the denial based on the below statements.

Justification for appeal:

M. 9 "The building elevations do not meet the horizontal articulation requirements. Facades shall have a maximum wall length of three (3) time the wall height or an exception to the articulation standards is required to be approved by the Planning and Zoning Commission. According to Subsection 9.01 Exceptions to the General Standards, of Article XI, Zoning related applications of the Unified Development Code, of the Unified Development Code (UDC), **in cases where an exception(s) are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.** These may include – but not limited to a masonry wainscot on all four (4) sides of the building, increase landscaping (i.e. additional canopy trees, accent trees, landscape percentage, etc.)."

We are currently providing wainscot on the front of the proposed building and providing 41.25% landscape, which only required (10%).

259 Ranch Trail,
Rockwall, TX 75032
Office (972) 722-2408; Fax (972) 722-0035; Email: admin@rdmoormaninc.com

Furthermore, Exhibit A, aerial view shows all the existing buildings do not meet the articulation standard.

In addition to providing the two compensatory measures, our argument is per our exhibit, we are requesting to be consistent with the other businesses on the street, all of which do not meet the articulation standards.

If the City Council does not approve our variance, we would be the only building on the street that meets the articulation standard.

Regards,

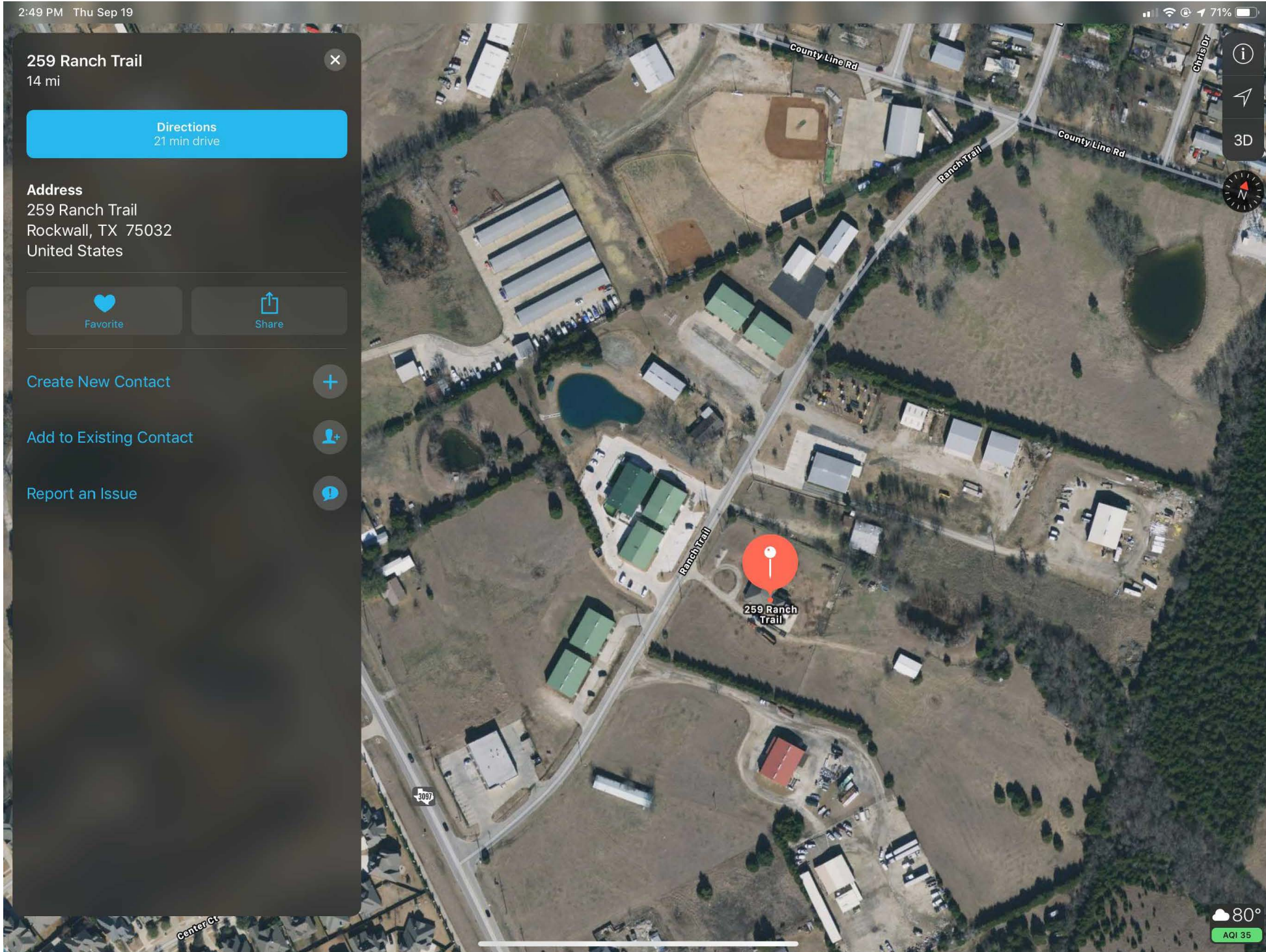
Ryan Moorman

Ryan Moorman

Attached Ex. A

259 Ranch Trail,
Rockwall, TX 75032
Office (972) 722-2408; Fax (972) 722-0035; Email: admin@rdmoormaninc.com

Exhibit A





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 10, 2019
APPLICANT: Ryan Moorman; *R. D. Moorman, Inc.*
CASE NUMBER: SP2019-031; *Site Plan for 259 Ranch Trail*

SUMMARY

Discuss and consider a request by Ryan Moorman of R. D. Moorman, Inc. for the approval of a site plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

BACKGROUND

The subject property was annexed in 2004 [*Ordinance No. 04-34*] and zoned Commercial (C) District. In 2017, the City Council approved a replat [*Case No. P2017-050*] to subdivide the subject property (*i.e. Lots 22 and 23*) from the adjacent property in order for it to be developed for the construction of a mini-warehouse facility on Lot 23. Currently situated on the subject property is a single-family home that has been converted into an office building. In addition, the subject property has a detached garage and a metal accessory building located behind the primary structure.

PURPOSE

The applicant is requesting to construct a 4,950 SF metal office building in conjunction with and adjacent to the existing office building. The subject property is a 1.244-acre parcel of land that is zoned Commercial (C) District. According to the applicant, the purpose of the building is to provide additional office space and storage.

ADJACENT LAND USES AND ACCESS

The subject property is located at 259 Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several commercial structures. Beyond this is vacant tract of land adjacent to County Line Road. County Line Road is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are all zoned Commercial (C) District.

South: Directly south of the subject property several are commercial structures. Beyond this is vacant tract of land that is adjacent to FM-3097. FM-3097 is identified as a *M4D (Major Collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a 7.489-acre parcel of land where a mini-warehouse facility has been proposed to be constructed. This is followed by a 131.39-acre tract of vacant land (*i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80 – commonly referred to as the Wallace Tract*). These areas are zoned Commercial (C) and Agricultural (AG)

District. Beyond this are two (2) single-family residential subdivisions (*i.e. the Oaks of Buffalo Way and Willowcrest Estates Subdivisions*), which are zoned Single-Family Estates 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the City’s Master Thoroughfare Plan. Beyond this are several commercial structures, that are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1.1, *Land Use and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), an office building is permitted by-right in a Commercial (C) District and no additional approvals are necessary with regard to the proposed land use. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=54,210 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=200-Feet-In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=227-336-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X=15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=16-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=14%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>17 Parking Spaces</i>	<i>X=26 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=41%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=41%; In Conformance</i>

The proposed office building will be approximately 4,950 SF, 16-feet in height, and be situated adjacent to the north façade of the existing office building. The structure will be constructed of metal and utilize a four (4) foot brick wainscot, storefront glass, and a roll-up door on the front façade. According to the applicant, the existing metal accessory building will be removed. Staff should note that most of the surrounding buildings are metal and this office building will be located directly in front of a proposed mini-warehouse facility that will consist of 575 units within 19 metal buildings.

TREESCAPE PLAN

The submitted landscape plan identifies that there are no protected trees being removed from the site.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 4.05, *Commercial (C) District*, of Section 4, *Commercial Districts*, Article V, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is a district “...intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district...” In addition, these areas “...may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts...” In this case, the applicant’s request appears to conform to the requirements of the Unified Development Code (UDC). Specifically, the subject property is adjacent to Ranch Trail

Road -- identified as a Minor Collector on the City's Master Thoroughfare Plan --, and the proposed land use (i.e. office) is not typically a high-volume water/wastewater user. With regard to the land use, an office building is permitted by-right in a Commercial (C) District.

Subsection 5.2, *Screening of Off-Street Loading Docks*, of Section 5, *Mandatory Provisions*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), off-street loading docks in commercial zoning classification must be screened from public streets and any residential district that abuts or is directly across a public street or alley from the lot. In this case, the proposed office building incorporates one (1) roll-up door (i.e. loading dock) that will face Ranch Trail. The applicant is proposing to screen the loading dock by providing additional landscaping directly in front of the roll-up door to limit visibility from Ranch Trail. Additionally, the landscape buffer adjacent to Ranch Trail will also provide screening from the street. Staff should note, although screening is being provided, it is possible that the roll-up door will still have limited visibility from Ranch Trail. In addition, this seems to be similar to other buildings that are located along Ranch Trail. The Planning and Zoning Commission is tasked with reviewing the proposed screening and determining additional screening is necessary. Approval of this request is a discretionary decision for the Planning and Zoning Commission.

EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) Building Articulation

- (a) *Maximum Wall Length*. Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), stipulates that the maximum wall length shall not exceed more than three (3) times the wall's height without a recess or projection of an architectural element. In this case the maximum wall length is approximately 48-feet; however, the length of the north and south façade of the proposed metal building will be 110-feet and will not utilize a projection, recess, or architectural element. Since this exceeds the maximum wall length, an exception to the building articulation standards is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). Section 9, *Exceptions and Variances*, of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC), gives the Planning and Zoning Commission the ability to grant an exception to the building articulation standards where unique or extraordinary conditions exists or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where an exception is being requested the applicant is required to provide a letter to staff outlining [1] the reason for the exception being requested, [2] the unique or extraordinary conditions that exists, and [3] the proposed compensatory measures (e.g. *increased landscaping, masonry building materials in percentages equal to or greater than the surrounding properties, etc.*). The applicant has provided staff with a letter outlining the proposed compensatory measures; however, did not provide [1] the reason for the exception being requested or [2] the unique or extraordinary circumstance that exists. In this case, the Planning and Zoning Commission is tasked with reviewing the proposed compensatory measures and determining if additional compensatory measures are necessary to offset the exception being requested.

This exception is a discretionary decision for the Planning and Zoning Commission and requires a super-majority vote with a minimum of four (4) votes in the affirmative for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OUR HOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Southwest Residential District and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, this use and the proposed metal buildings are similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.

The Comprehensive Plan aims to encourage quality commercial development throughout the city by ensuring that industrial/office uses are adequately buffered and/or screening from residential land uses. Roadways and open space serve as a natural separation between non-residential areas and residential subdivisions. Landscape buffers utilizing a combination of berms and mature landscaping should be utilized for non-residential properties that area adjacent to residential or agricultural land. In this case, the subject property is largely surrounded by commercial/industrial uses. The applicant is also providing a landscape buffer adjacent to Ranch Trail. Due to these reasons, this request seems to generally conform to the policies of the Comprehensive Plan regarding screening of non-residential properties.

ARCHITECTURAL REVIEW BOARD (ARB):


On August 28, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval of the site plan by a vote of 3-1 with Board Member Neill dissenting and Board Members Meyrat, Wacker, and Johnson absent.

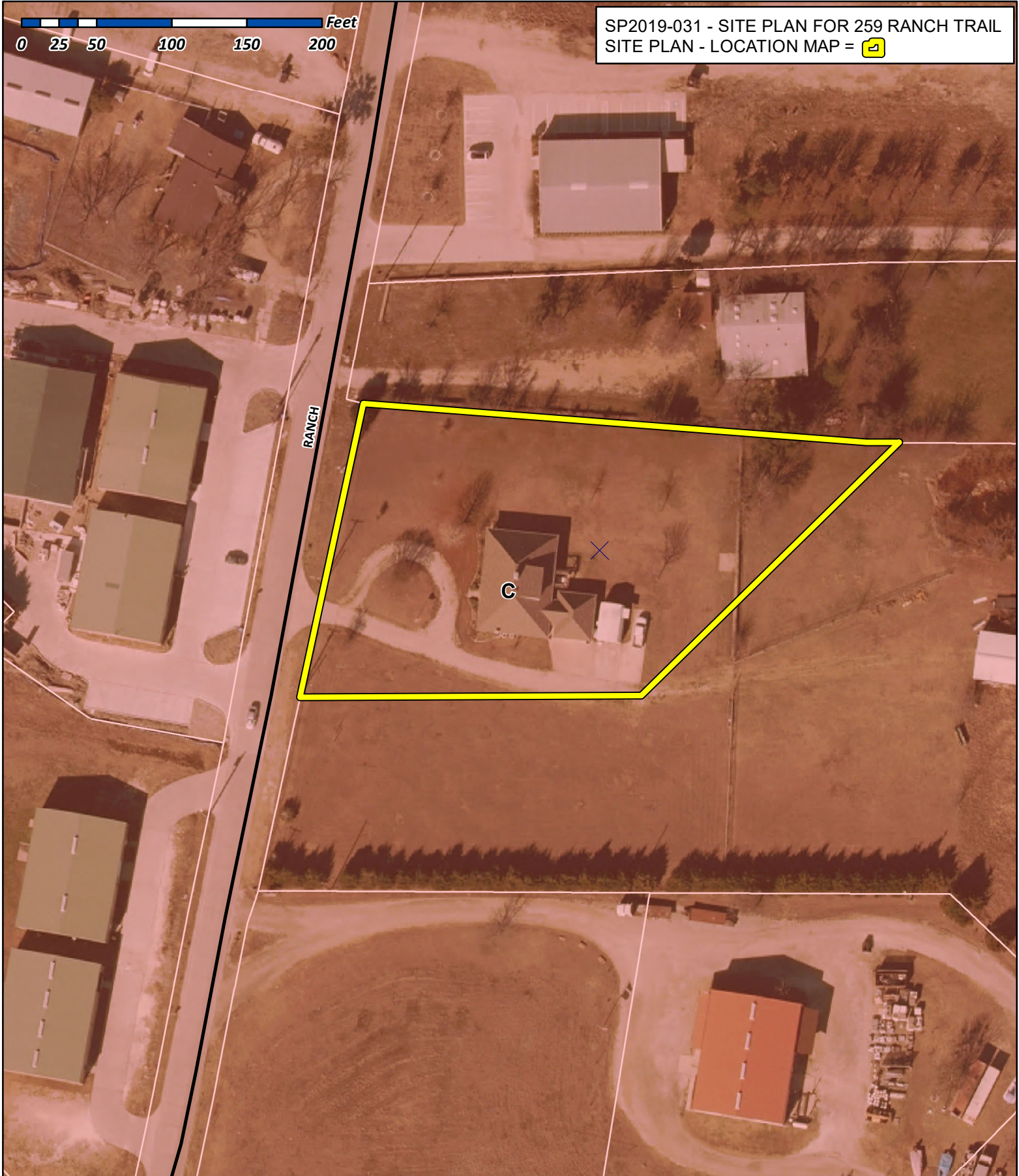
CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's site plan then staff would propose the following conditions of approval:

- (1) The existing metal accessory building shall be removed prior to issuance of a Certificate of Occupancy (CO). This requirement is due to the change of use on the property and the non-conforming nature of the structure.
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 25 50 100 150 200 Feet

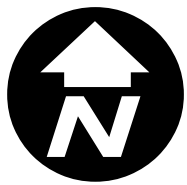
SP2019-031 - SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

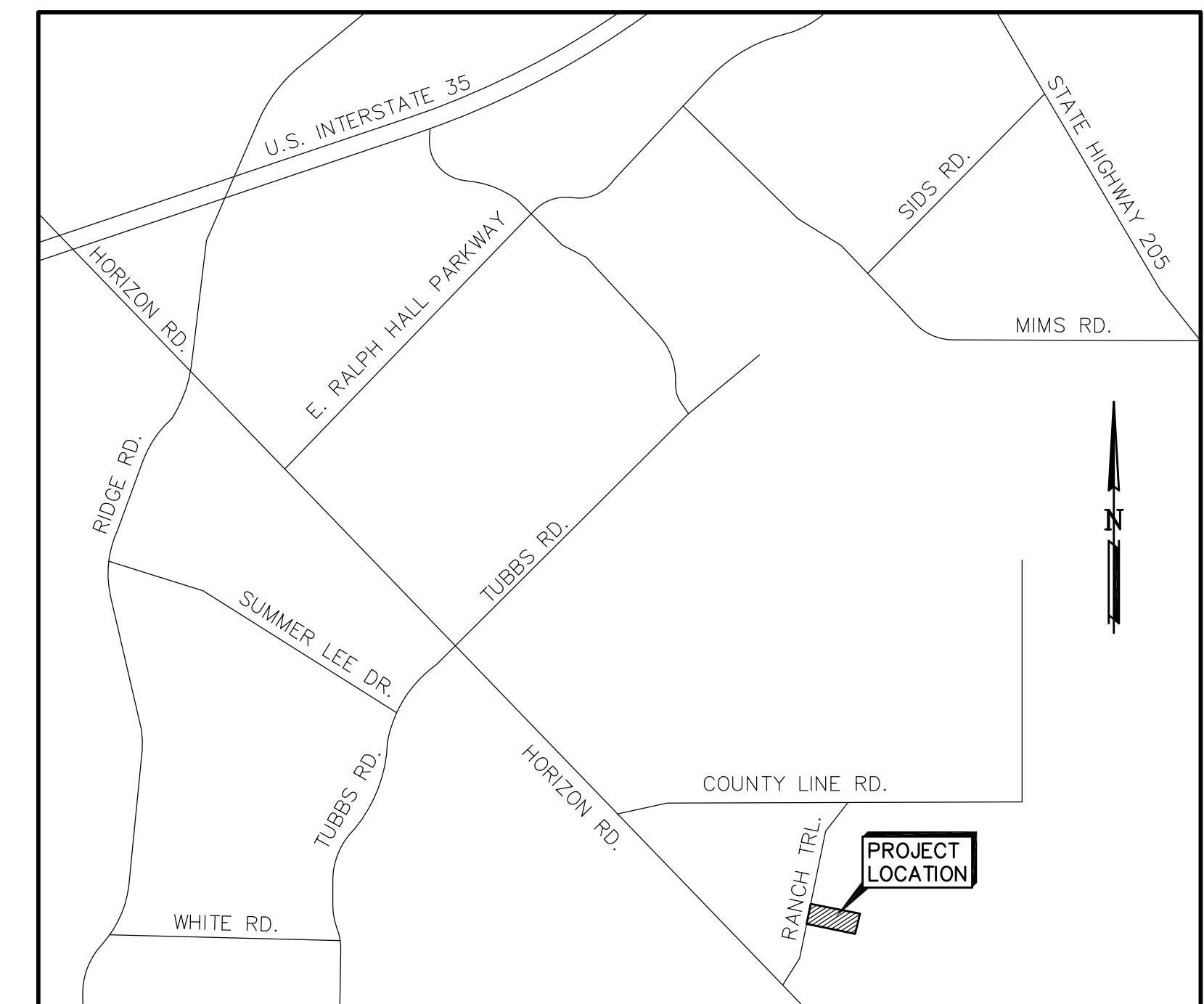
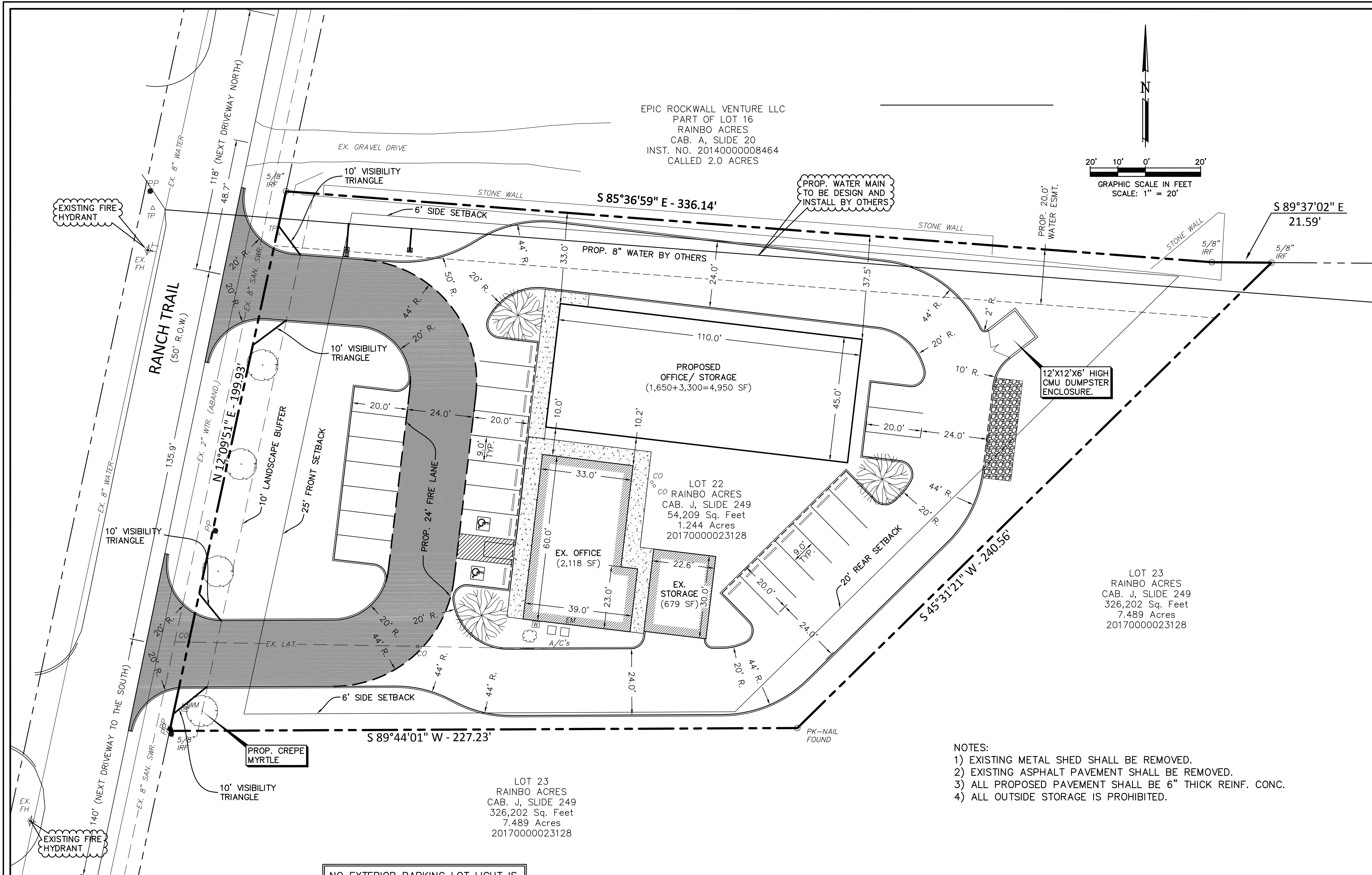


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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SITE DATA

LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

PARKING CALCULATION

PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	26 SPACES

- NOTES:
- 1) EXISTING METAL SHED SHALL BE REMOVED.
 - 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - 4) ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

PRELIMINARY FOR REVIEW

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 8/27/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

SITE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

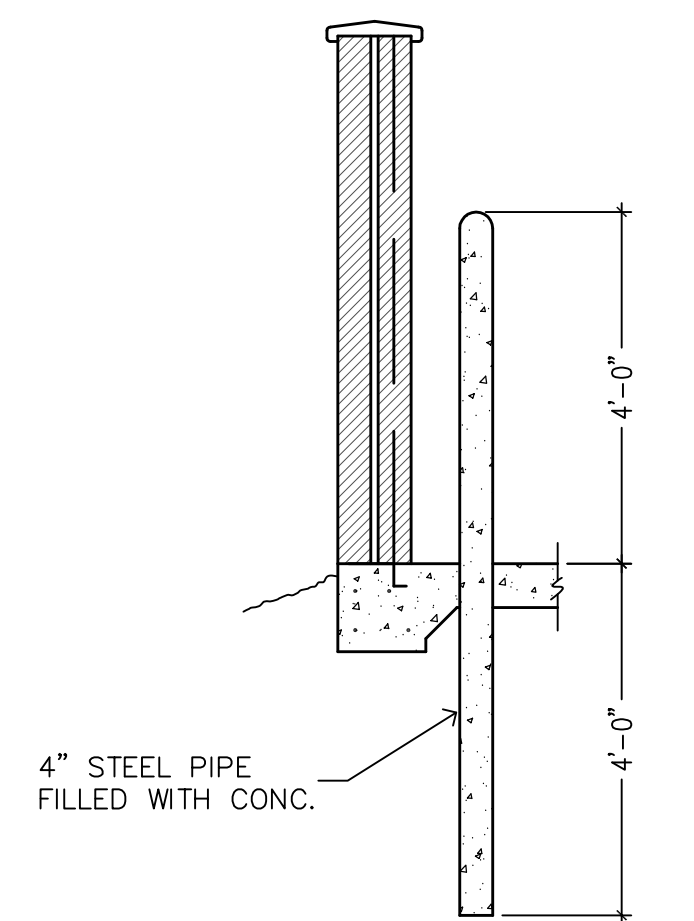
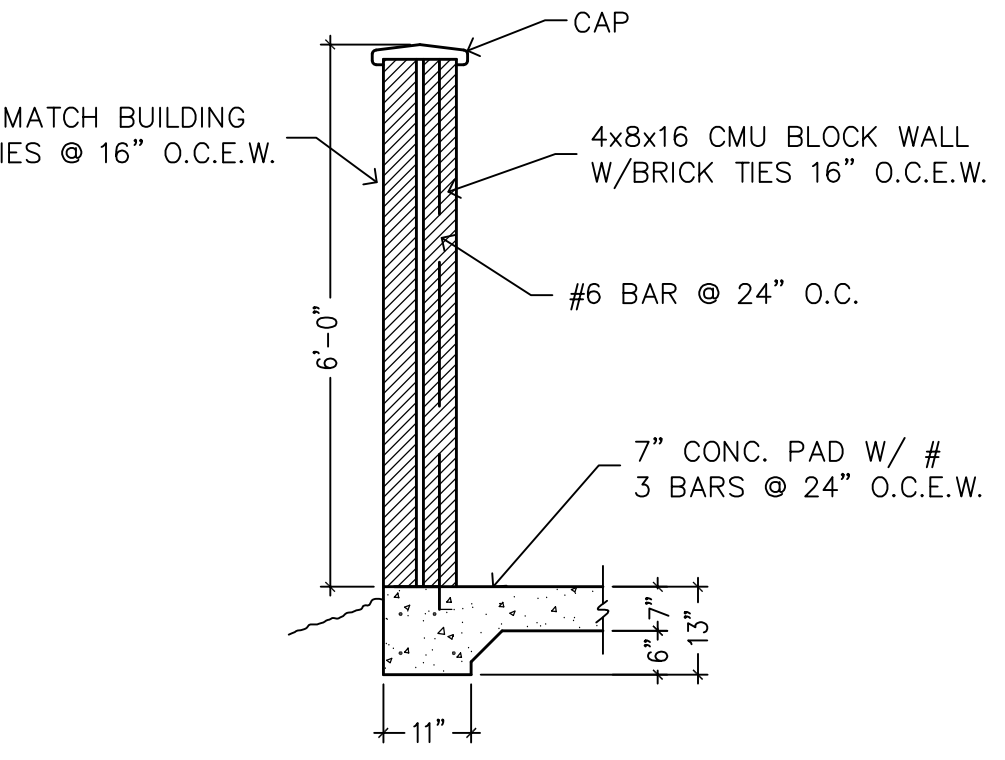
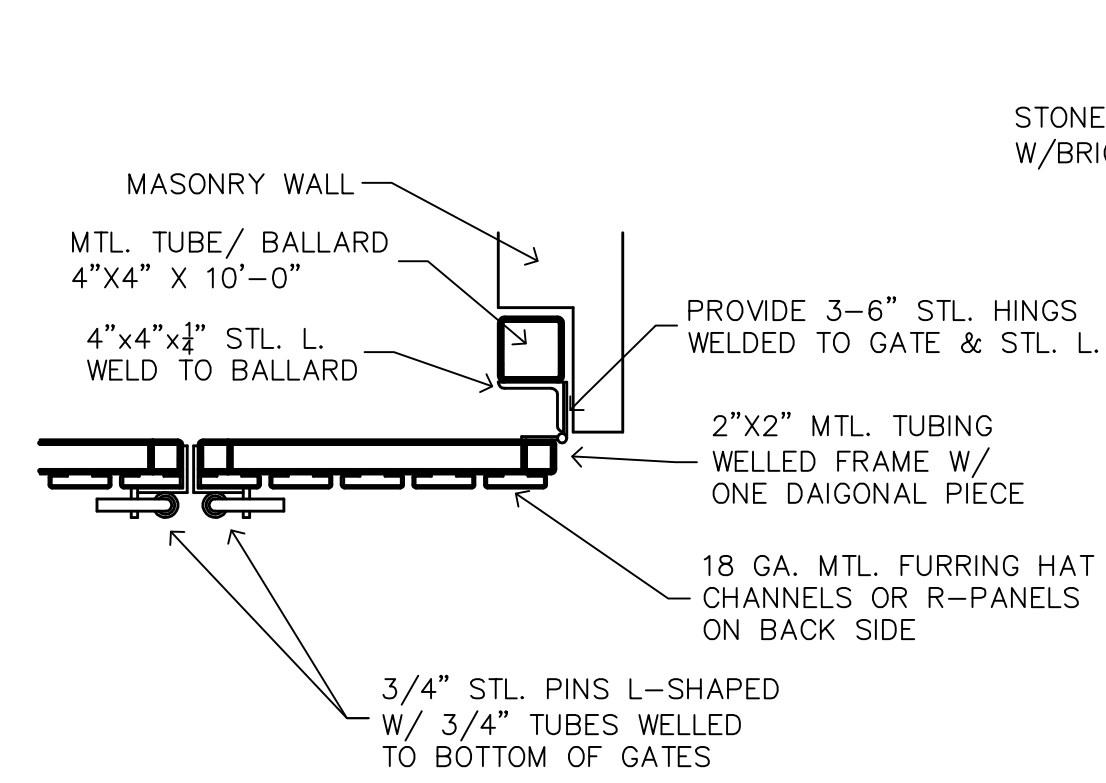
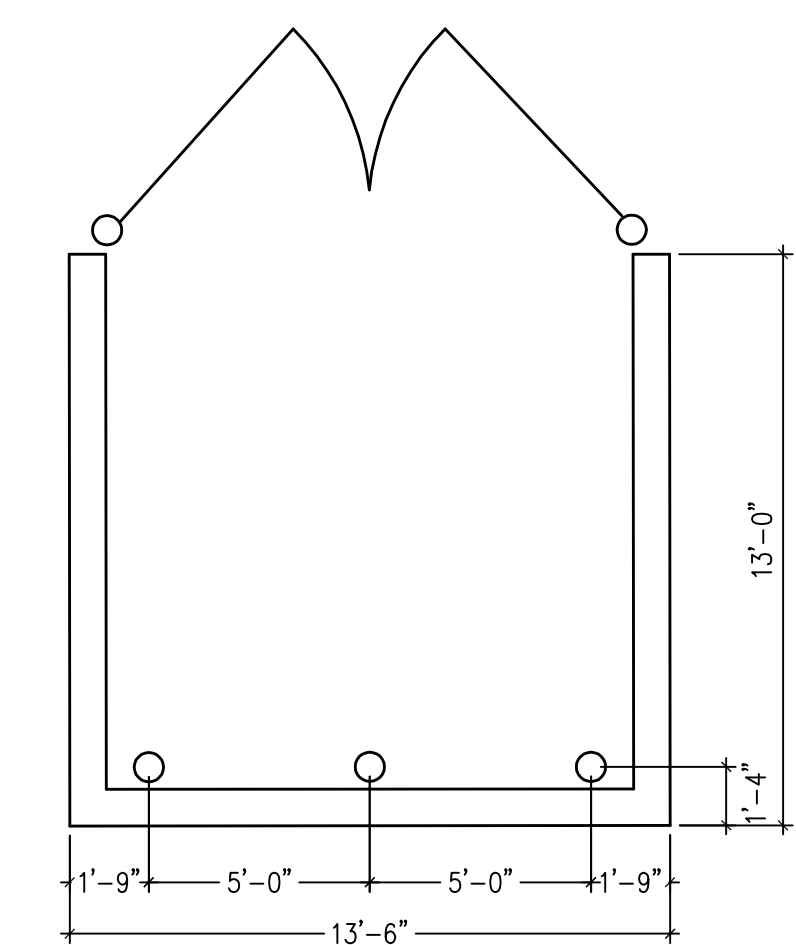
DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED
DRAWN:	CTL	DATE:	AUGUST 2019	PROJECT:	0643-19

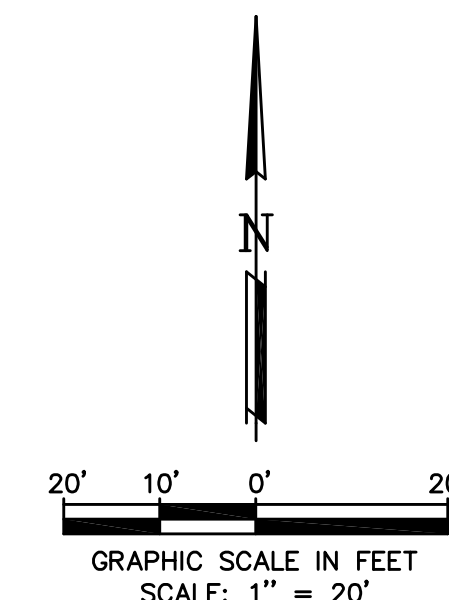
2 OF X

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

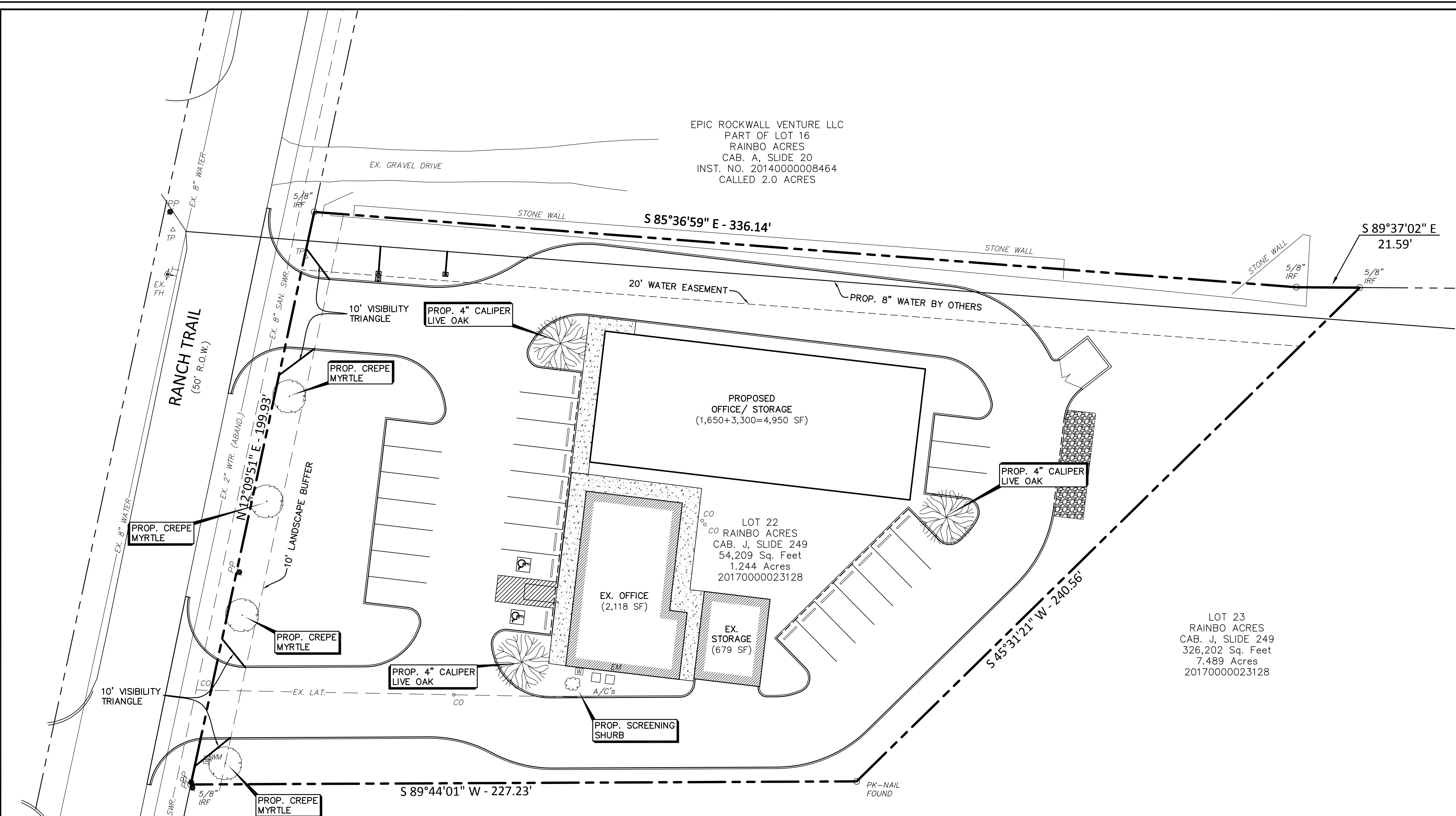
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS





EPIC ROCKWALL VENTURE LLC
 PART OF LOT 16
 RAINBO ACRES
 CAB. A, SLIDE 20
 INST. NO. 2014000008464
 CALLED 2.0 ACRES



SITE DATA

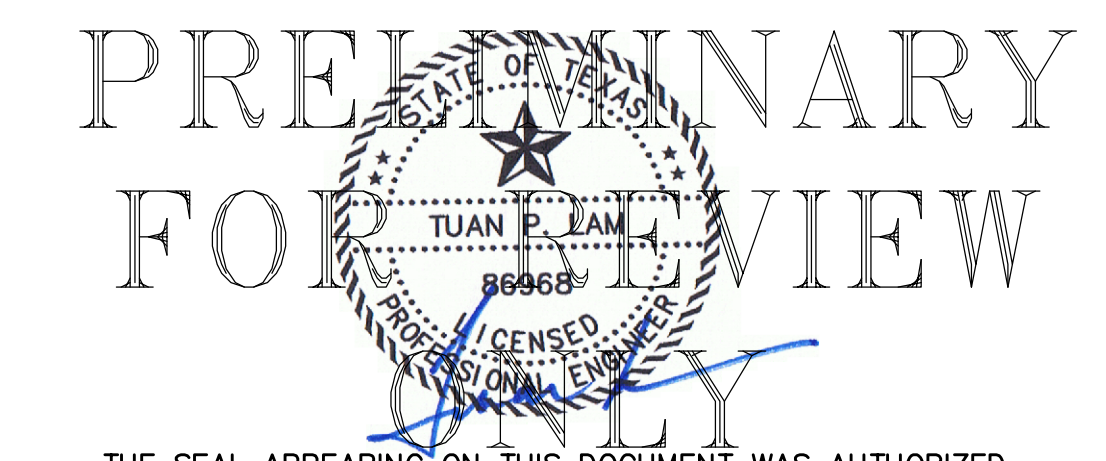
LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

LANDSCAPE TABLE

1 TREE PER 50' OF FRONTAGE	200'/50 = 4 TREES
1 TREE PER 20,000 SF PARKING	4,680/20,000 = 1 TREE
TOTAL TREE REQUIRED	5 TREES
TOTAL TREE PROVIDED	3 TREES (LIVE OAK)
	4 TREES (CREPE MYRTLE)
TOTAL LANDSCAPE REQUIRED	5,421 SF (10.0%)
TOTAL LANDSCAPE PROVIDED	22,363 SF (41.25%)

IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



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OWNER:
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032

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CASE# SP2019-031

LANDSCAPE PLAN
 RAINBO ACRES - LOT 22
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
 6804 WILHELMINA DRIVE
 SACHSE, TEXAS 75048
 Phone (214) 766-1011
 www.lamcivil.com
 Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	3 OF X
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	

REVISIONS:

THIS DOCUMENT IS FOR INTERIM REVIEW ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

RONALD G. BROWN
REGISTERED ARCHITECT
TEXAS NO. 14293

PRIZM ARCHITECTS
INTERNATIONAL LTD, INC.
ARCHITECTS DESIGNERS PLANNERS

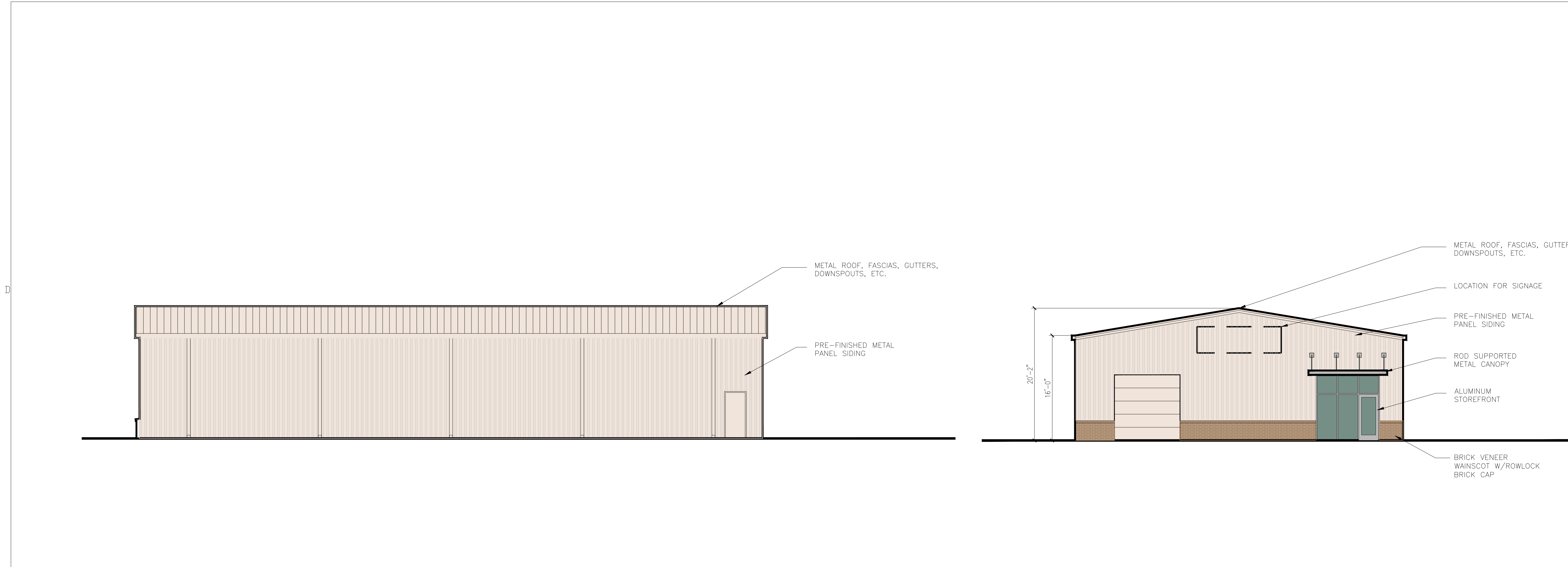
580 DECKER DRIVE, SUITE 170 IRVING, TEXAS 75062
(972) 714-0420, FAX (972) 714-0282

MINI-WAREHOUSE
COMPLEX
RANCH TRAIL
ROCKWALL, TEXAS

PROJECT NO.: 0.013.0817
ISSUE DATE: 09/20/2017

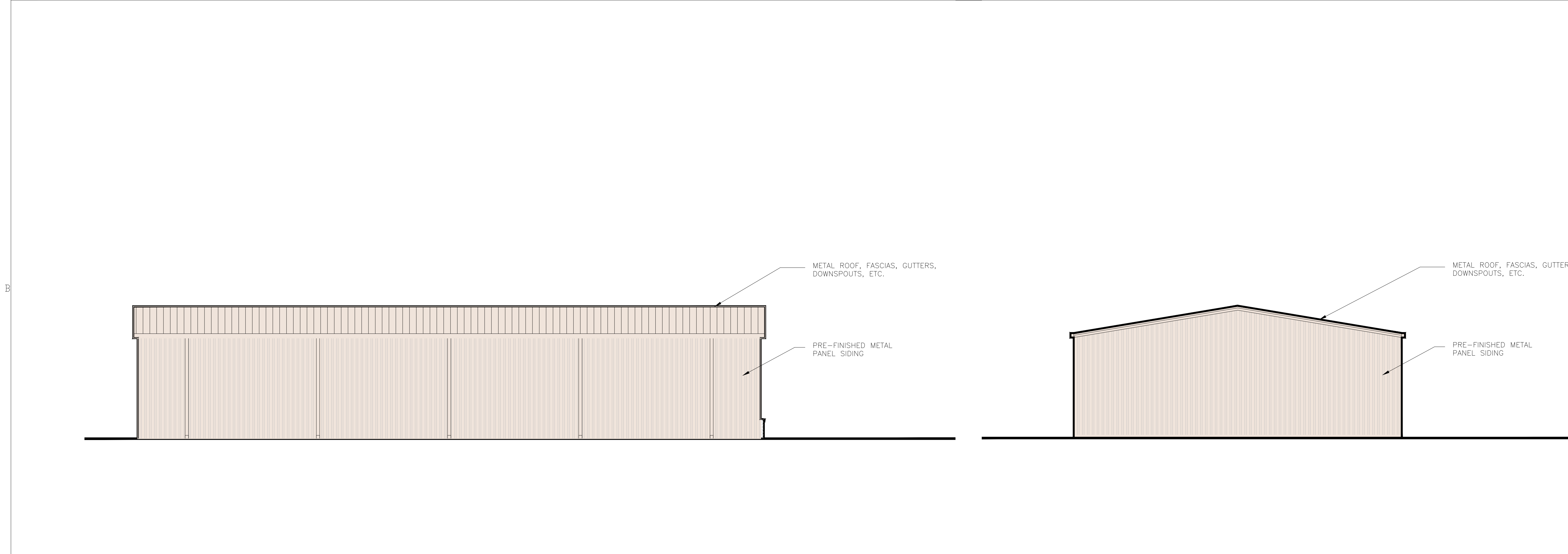
CONCEPTUAL ELEVATIONS
WAREHOUSE BUILDING

SHEET NO.:
SUP-4



C1 WAREHOUSE - SOUTH ELEVATION (SIDE) SCALE: 1/8" = 1'-0"

C4 WAREHOUSE - WEST ELEVATION (FRONT) SCALE: 1/8" = 1'-0"



A1 WAREHOUSE - NORTH ELEVATION (SIDE) SCALE: 1/8" = 1'-0"

A4 WAREHOUSE - EAST ELEVATION (REAR) SCALE: 1/8" = 1'-0"



October 2, 2019

ATTN: RYAN MOORMAN
R.D. MOORMAN, INC.
259 RANCH TRAIL,
Rockwall, TX 75032

RE: SITE PLAN (SP2019-031), Site Plan for 259 Ranch Trail

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 09/10/2019. The following is a record of all recommendations, voting records and conditions of approval:

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's site plan then staff would propose the following conditions of approval:

(1) The existing metal accessory building shall be removed prior to issuance of a Certificate of Occupancy (CO). This requirement is due to the change of use on the property and the non-conforming nature of the structure.

(2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On September 10, 2019, the Planning and Zoning Commission's motion to approve the site plan passed by a vote of 4-2 with Commissioners

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

Korey Brooks, AICP
Senior Planner
Planning & Zoning Department
City of Rockwall, TX