



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-023 P&Z DATE 6/25/2019 ^{P&Z} CC DATE 7/9/2019 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-023

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3009 N. Goliad St

Subdivision A0131 S KING, TRACT 1

Lot

Block

General Location Northwest Corner of Goliad St and Pecan Valley Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w/ N. SH-205 Overlay

Current Use Vacant

Proposed Zoning PD-65 w/ N. SH-205 Overlay

Proposed Use Mixed-Use

Acreage 2.246

Lots [Current]

1

Lots [Proposed]

1

- Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant Wier & Associates, Inc.

Contact Person

Contact Person Jake Fears, P.E.

Address

Address 2201 E. Lamar Blvd, Suite 200 E

City, State & Zip

City, State & Zip Arlington, TX 76006

Phone

Phone 8172695011

E-Mail

E-Mail jakef@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JAKE FEARS [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.92, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of June, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

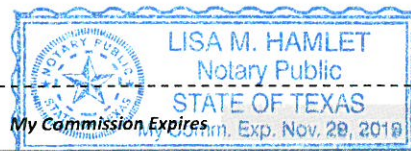
Given under my hand and seal of office on this the 13 day of June, 20 19.

Owner's/Applicant's Signature

Jake Fears

Notary Public in and for the State of Texas

Lisa M. Hamlet





**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Edward Fowler, Police

From: Planning & Zoning Department

Date: 6/14/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 06/21/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 6/25/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 6/25/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-023
Project Name: Site Plan for Mixed-Use Development
Project Type: SITE PLAN
Applicant Name: WIER & ASSOCIATES, INC
Owner Name: GOLIAD REAL, ESTATE LLC
Project Description:



RECEIPT

Project Number: SP2019-023
Job Address: 3009 N GOLIAD ST
ROCKWALL, TX 75087

Receipt Number: B85628

Printed: 6/18/2019 10:47 am

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 294.92

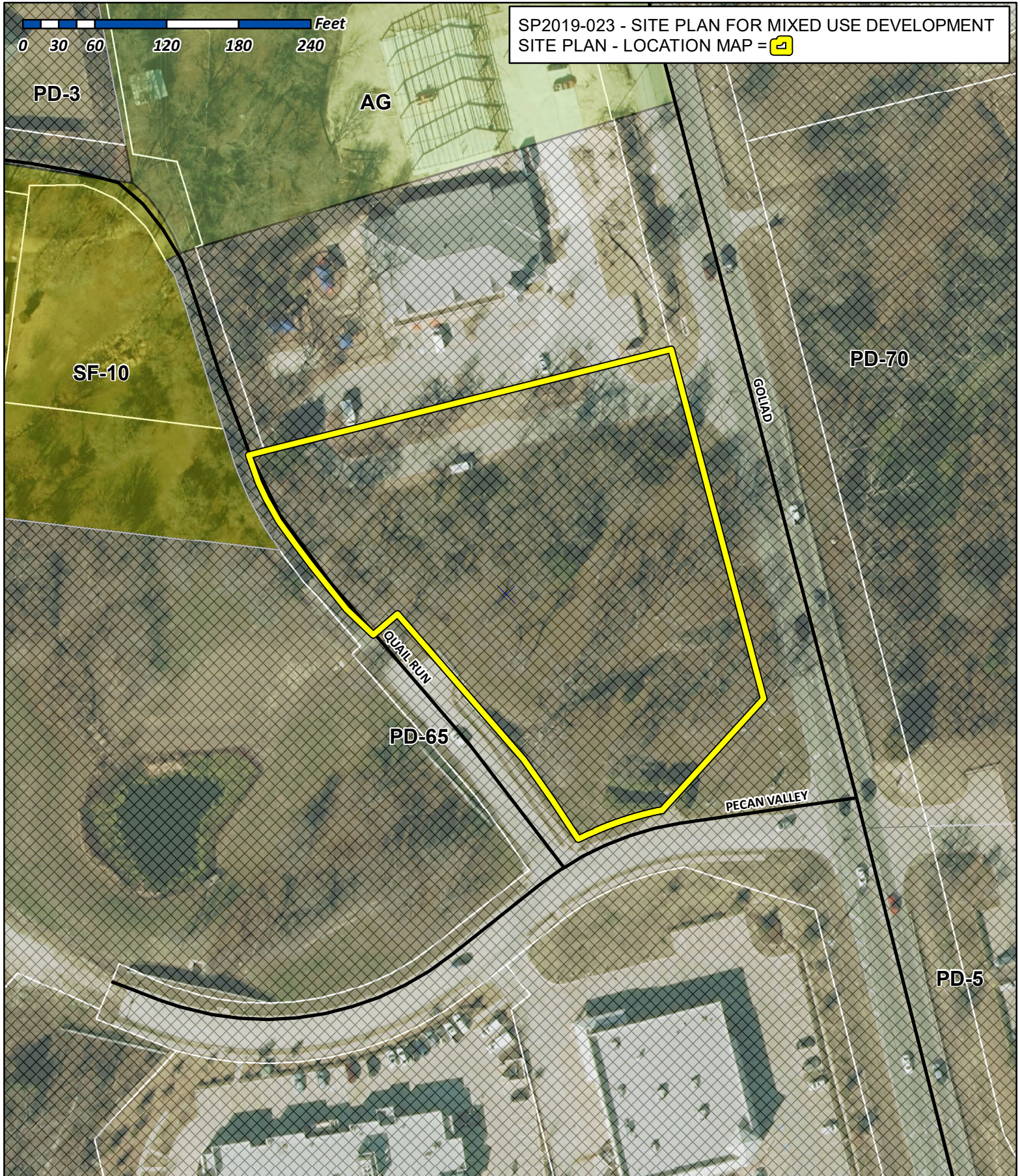
Total Fees Paid:

\$ 294.92

Date Paid: 6/18/2019 12:00:00AM
Paid By: WIER & ASSOCIATES, INC
Pay Method: CHECK 6020
Received By: LM



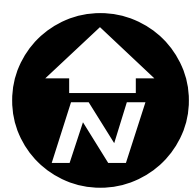
SP2019-023 - SITE PLAN FOR MIXED USE DEVELOPMENT
SITE PLAN - LOCATION MAP =



City of Rockwall

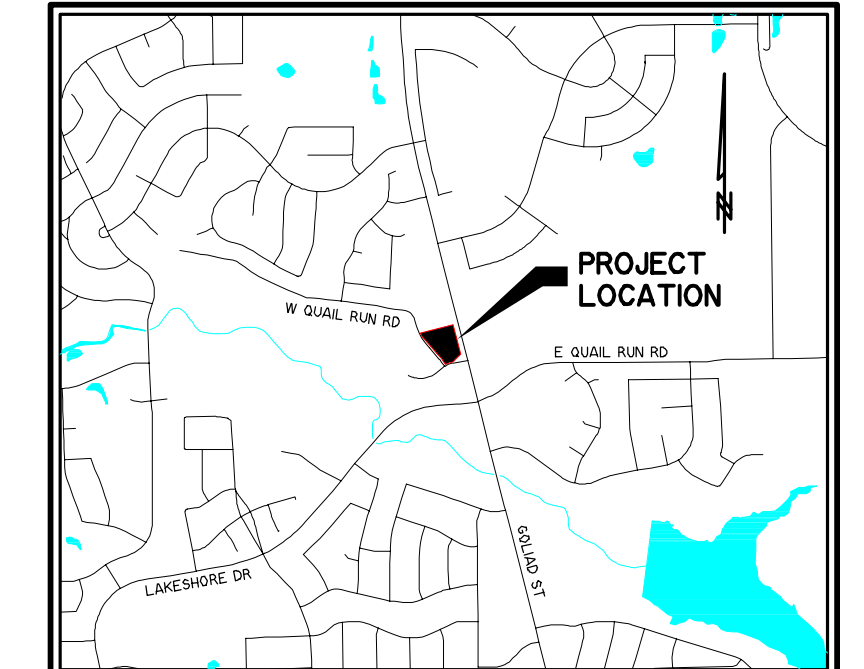
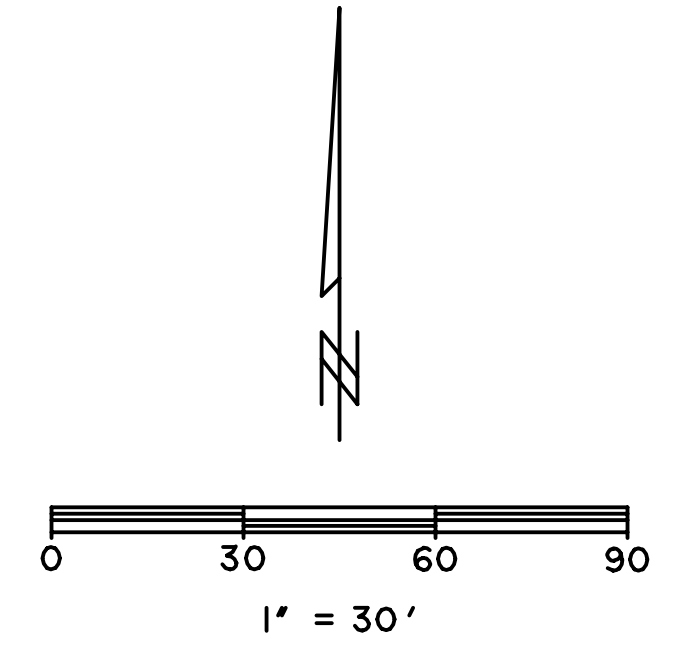
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 6/12/2019 9:35 AM WIER-PAVING STB LAST SAVED: 6/12/2019 9:35 AM SAVED BY: CASEYO FILE: S101 SITE PLAN DWG

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



VICINITY MAP
1" = 2,000'

LEGEND	
	PARKING COUNT
	LANDSCAPE AREA (REF: LANDSCAPE PLAN)
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT

- GENERAL NOTES:**
1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 4. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

FEMA NOTE

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

DEVELOPER

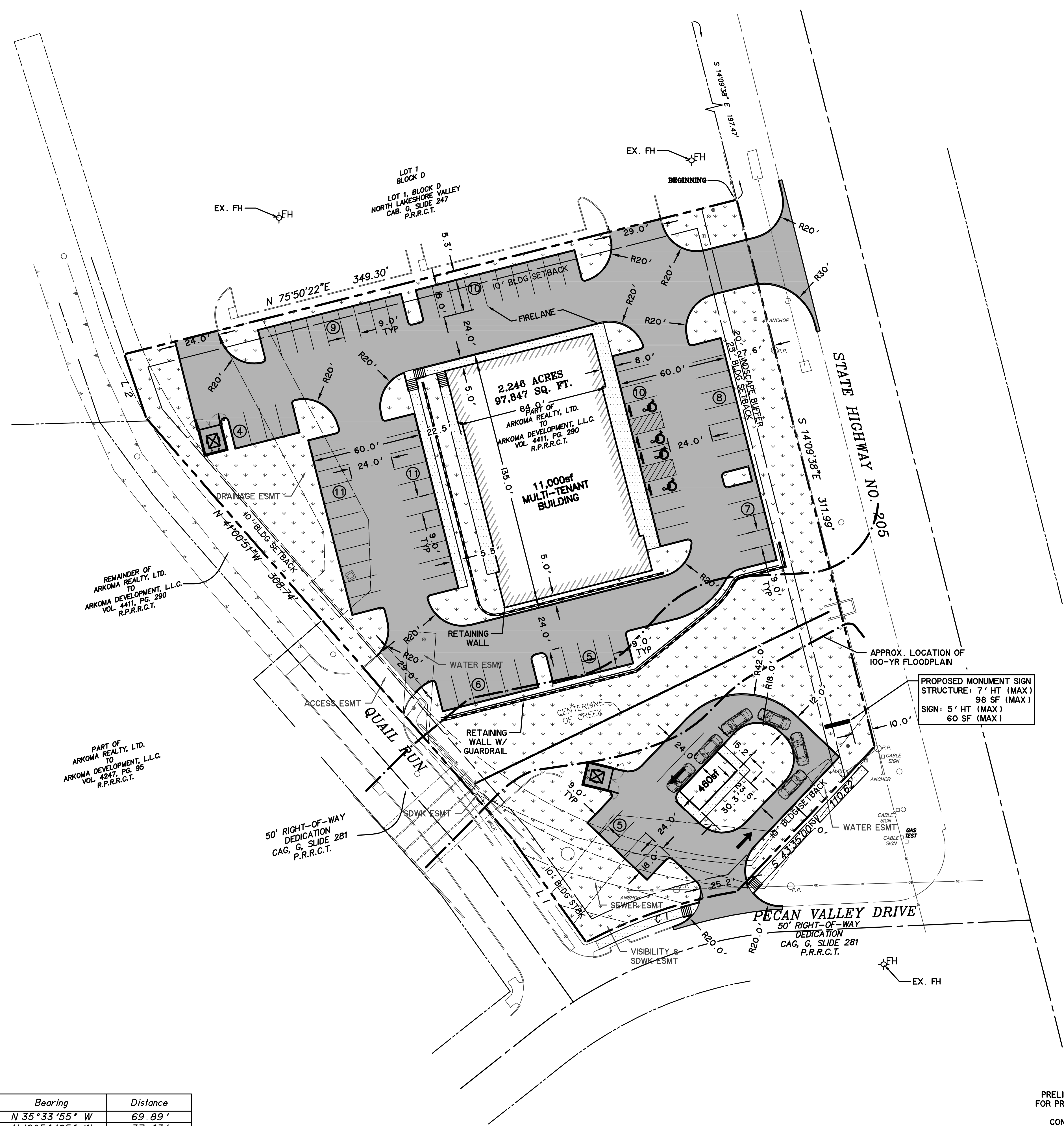
GRAND CENTRAL CROSSING, LLC
CONTACT: CHAD DUBOSE
8350 N CENTRAL EXPWY, STE I300
DALLAS, TEXAS 75206
PHONE: (214) 891-3215
FAX: (214) 891-3203
CHAD@JTEVANS.COM

ENGINEER

WIER & ASSOCIATES
CONTACT: JAKE FEARS, P.E.
2201 E. LAMAR BLVD., SUITE #200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
FAX: (817) 467-7713
JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
BUILDING AREA	NORTH BUILDING: 11,000 SF SOUTH BUILDING: 460 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10'
LOT AREA	2.246± AC (97,847 SF)
PARKING REQ'D.	NORTH BUILDING 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 SOUTH BUILDING 460 SF RESTAURANT: 1/100 SF = 5 TOTAL = 67
HANDICAP-ACCESSIBLE PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	11.7%
LANDSCAPE AREA	40,290 SF
LANDSCAPE COVERAGE	41.2%

**SITE PLAN
MIXED-USE DEVELOPMENT
3009 N. GOLIAD ST
ROCKWALL, TEXAS**

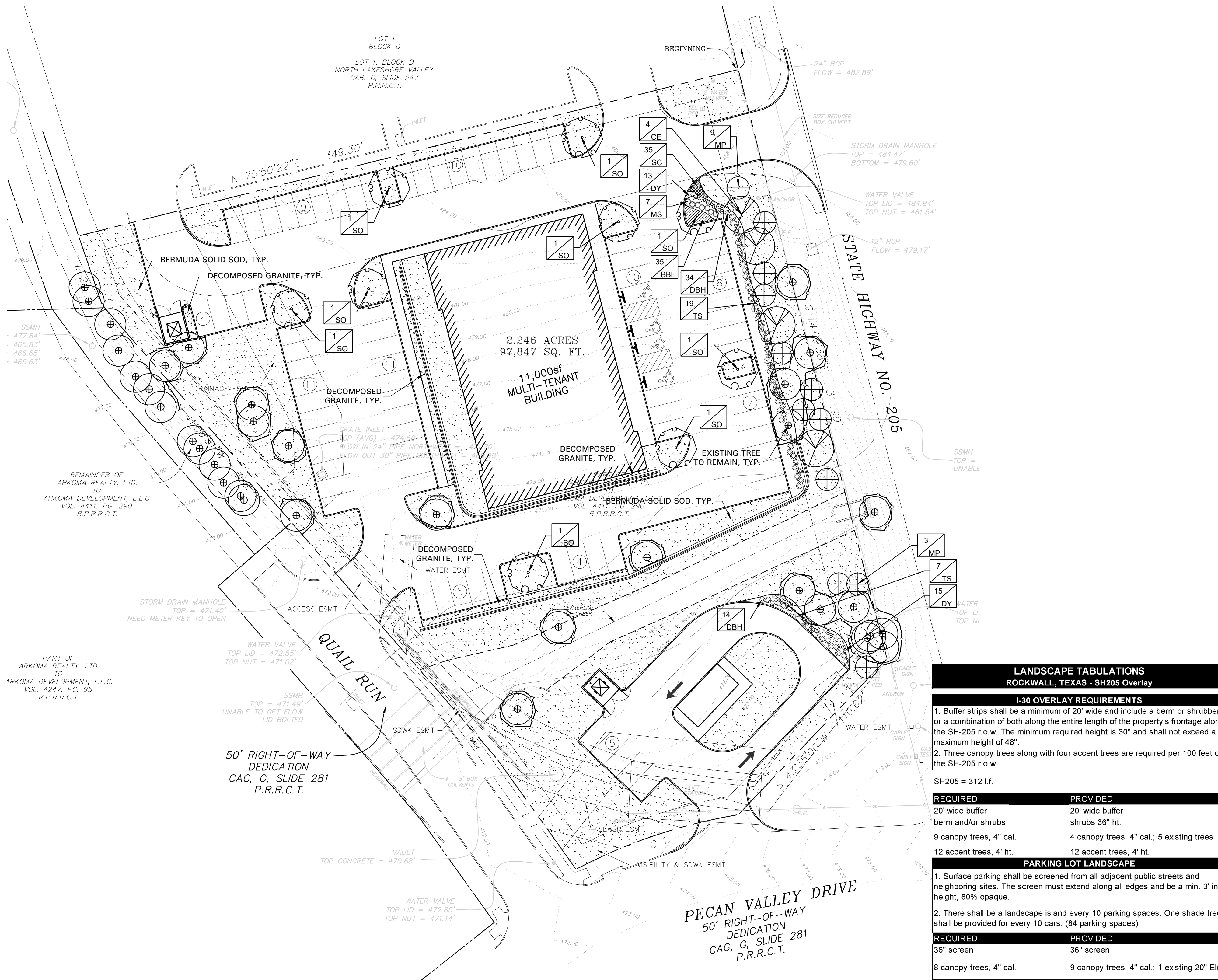
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

June 12, 2019

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

DATE: 6/12/2019
W.A. No. 19022



GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION:
 THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOLID SOD:
 SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH:
 SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMAS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

REFERENCE SITEMARK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING. IF NECESSARY.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4-10Z WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:
 IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:
 VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:
 STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

**LANDSCAPE TABULATIONS
 ROCKWALL, TEXAS - SH205 Overlay**

1-30 OVERLAY REQUIREMENTS

- Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a maximum height of 48".
- Three canopy trees along with four accent trees are required per 100 feet of the SH-205 r.o.w.

SH205 = 312 I.F.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
9 canopy trees, 4" cal.	4 canopy trees, 4" cal.; 5 existing trees
12 accent trees, 4' ht.	12 accent trees, 4' ht.

PARKING LOT LANDSCAPE

- Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
- There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars. (84 parking spaces)

REQUIRED	PROVIDED
36" screen	36" screen
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.; 1 existing 20" Elm

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
9	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
ORNAMENTAL TREES					
12	MP	Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
SHRUBS					
48	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
28	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
7	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
26	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" sprd, 30" o.c.
GROUND COVER/VINES/GRASS					
35	BBL	Big Blue Liriope	<i>Linopoe muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.
35	SC	Seasonal Color		4" pots	full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

OWNER/DEVELOPER

GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

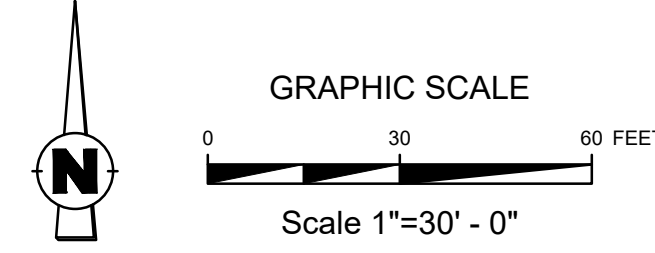
ENGINEER

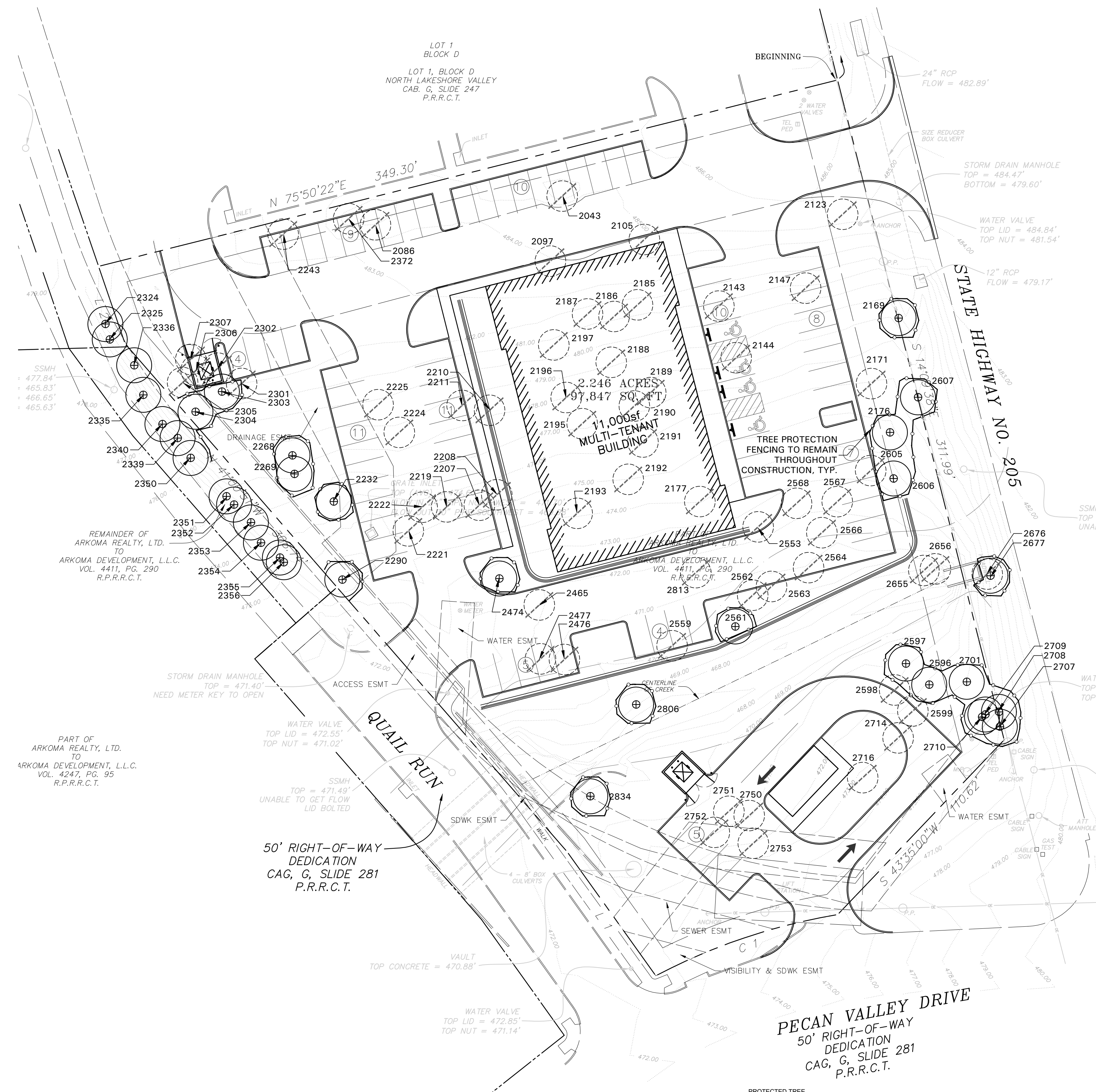
WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM

**LANDSCAPE PLAN
 RETAIL/RESTAURANT
 ROCKWALL, TEXAS**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 10, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com





EXISTING TREE					
NO.	CALIPER	TREE SPECIES	REMAIN/REMOVE	MITIGATION REQ.	NOTES
2043	32	Pecan	To Be Removed	2 to 1	
2086	20	Elim	To Be Removed	1 to 1	
2097	18	Elim	To Be Removed	1 to 1	
2105	16	Elim	To Be Removed	1 to 1	
2123	18	Hackberry	To Be Removed	50%	
2143	18	Elim	To Be Removed	1 to 1	
2144	20	Elim	To Be Removed	1 to 1	
2147	24	Cedar	To Be Removed	50%	
2169	14	Elim	To Be Removed	1 to 1	
2171	28	Bois D'Arc	To Be Removed	50%	
2176	24	Pecan	To Remain	1 to 1	
2177	30	Walnut	To Be Removed	2 to 1	
2185	20	Elim	To Be Removed	1 to 1	
2186	16	Elim	To Be Removed	1 to 1	
2187	16	Elim	To Be Removed	1 to 1	
2188	16	Elim	To Be Removed	1 to 1	
2189	16	Elim	To Be Removed	1 to 1	
2190	12	Elim	To Be Removed	1 to 1	
2191	16	Elim	To Be Removed	1 to 1	
2192	24	Cedar	To Be Removed	50%	
2193	16	Elim	To Be Removed	1 to 1	
2194	18	Elim	To Be Removed	1 to 1	
2196	12	Elim	To Be Removed	1 to 1	
2197	16	Elim	To Be Removed	1 to 1	
2207	12	Elim	To Be Removed	1 to 1	
2208	14	Elim	To Be Removed	1 to 1	
2210	16	Elim	To Be Removed	1 to 1	
2211	18	Elim	To Be Removed	1 to 1	
2219	16	Elim	To Be Removed	1 to 1	
2221	16	Elim	To Be Removed	1 to 1	
2222	12	Elim	To Be Removed	1 to 1	
2224	17	Elim	To Be Removed	1 to 1	
2225	17	Elim	To Be Removed	1 to 1	
2232	14	Elim	To Be Removed	1 to 1	
2243	4	Elim	To Be Removed	1 to 1	
2268	12	Elim	To Remain	1 to 1	
2269	18	Elim	To Remain	1 to 1	
2290	20	Elim	To Remain	1 to 1	
2301	16	Elim	To Be Removed	1 to 1	
2301	16	Elim	To Be Removed	1 to 1	
2301	18	Elim	To Remain	1 to 1	
2304	16	Elim	To Remain	1 to 1	
2305	12	Elim	To Be Removed	1 to 1	
2306	12	Elim	To Be Removed	1 to 1	
2307	12	Elim	To Be Removed	1 to 1	
2324	8	Elim	To Remain	1 to 1	Not on Property
2325	5	Elim	To Remain	1 to 1	Not on Property
2335	13	Elim	To Remain	1 to 1	Not on Property, Multi-trunk
2336	6	Elim	To Remain	1 to 1	Not on Property
2339	6	Elim	To Remain	1 to 1	Not on Property, Bent
2340	12	Elim	To Remain	1 to 1	Not on Property
2350	12	Elim	To Remain	1 to 1	Not on Property
2351	10	Elim	To Remain	1 to 1	Not on Property
2352	10	Elim	To Remain	1 to 1	Not on Property
2353	5	Elim	To Remain	1 to 1	Not on Property
2354	9	Elim	To Remain	1 to 1	Not on Property
2355	14	Elim	To Remain	1 to 1	Not on Property
2356	6	Elim	To Remain	1 to 1	Not on Property
2372	8	Bean Tree	To Be Removed	0%	
2465	14	Pecan	To Be Removed	1 to 1	
2474	20	Elim	To Remain	1 to 1	
2476	22	Pecan	To Be Removed	1 to 1	
2477	18	Pecan	To Be Removed	1 to 1	
2553	32	Walnut	To Be Removed	2 to 1	Multi-trunk
2559	22	Pecan	To Be Removed	1 to 1	
2561	22	Pecan	To Remain	1 to 1	
2562	16	Pecan	To Be Removed	1 to 1	
2563	24	Pecan	To Be Removed	1 to 1	
2564	32	Pecan	To Be Removed	2 to 1	
2566	18	Pecan	To Be Removed	1 to 1	
2567	22	Pecan	To Be Removed	1 to 1	
2568	22	Walnut	To Be Removed	1 to 1	
2596	8	Pecan	To Remain	1 to 1	
2597	24	Pecan	To Remain	1 to 1	
2598	29	Pecan	To Be Removed	1 to 1	
2599	24	Pecan	To Be Removed	1 to 1	
2605	15	Walnut	To Be Removed	1 to 1	
2606	24	Pecan	To Remain	1 to 1	
2607	40	Bois D'Arc	To Remain	50%	
2655	6	Chinaberry	To Be Removed	0%	Multi-trunk
2656	9	Chinaberry	To Be Removed	0%	
2676	5	Chinaberry	To Be Removed	0%	Multi-trunk
2677	15	Pecan	To Remain	1 to 1	
2701	19	Pecan	To Remain	1 to 1	
2707	24	Pecan	To Remain	1 to 1	
2708	16	Pecan	To Remain	1 to 1	
2709	24	Pecan	To Remain	1 to 1	
2710	7	Pecan	To Remain	1 to 1	
2714	17	Pecan	To Be Removed	1 to 1	
2716	27	Bois D'Arc	To Be Removed	50%	Multi-trunk
2750	12	Elim	To Be Removed	1 to 1	
2751	16	Elim	To Be Removed	1 to 1	
2752	16	Elim	To Be Removed	1 to 1	
2753	16	Elim	To Be Removed	1 to 1	
2806	40	Elim	To Be Removed	2 to 1	Multi-trunk
2813	16	Walnut	To Be Removed	1 to 1	
2834	48	Elim	To Remain	2 to 1	
TOTAL ON SITE				1574	
TOTAL TO BE MITIGATED				1221.5	

TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (40) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE: THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE.

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

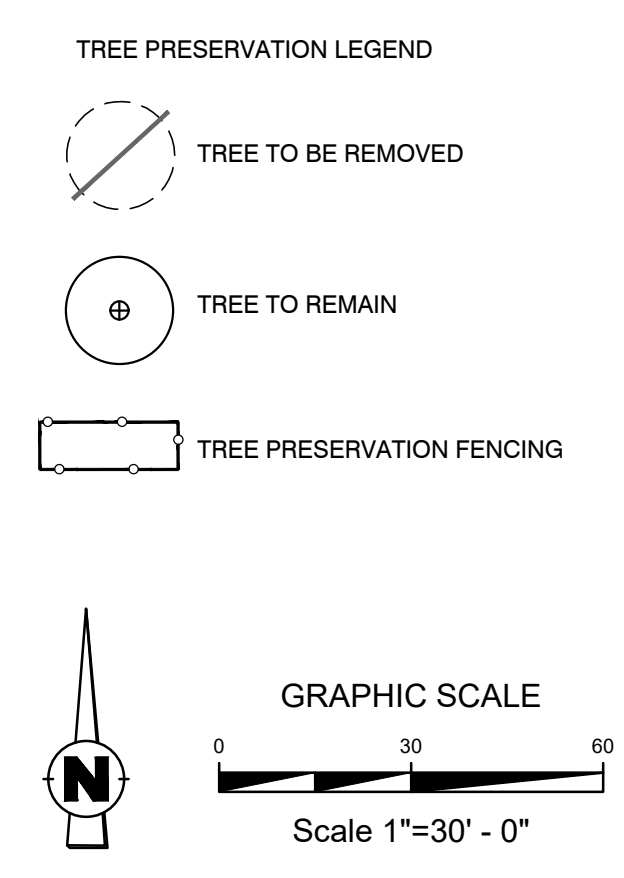
TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.

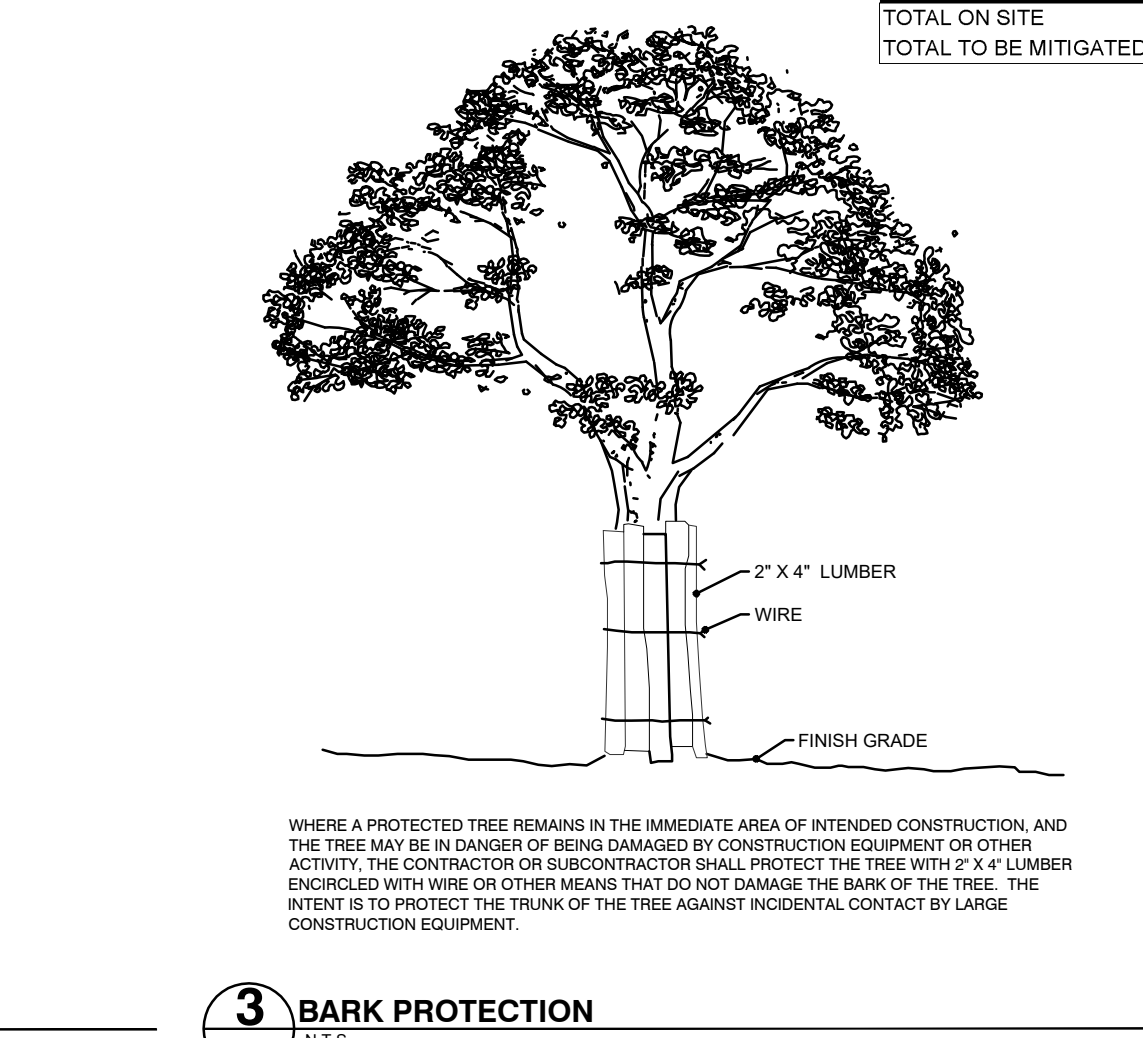
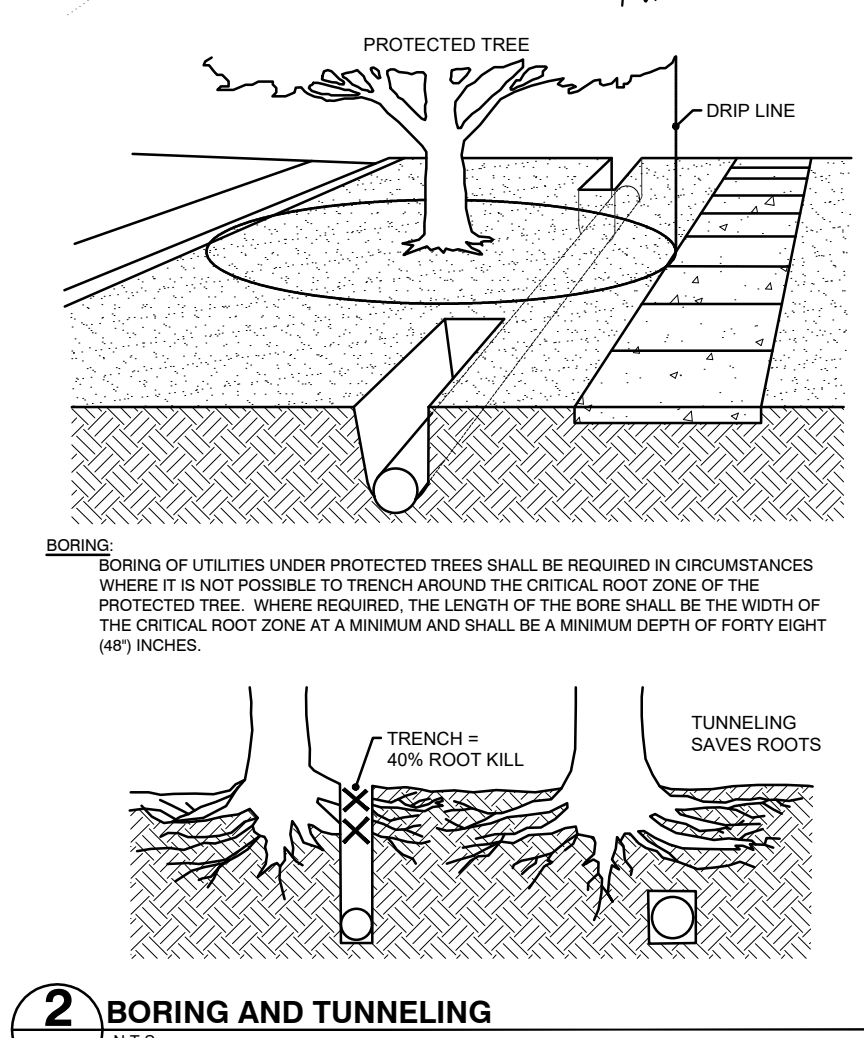
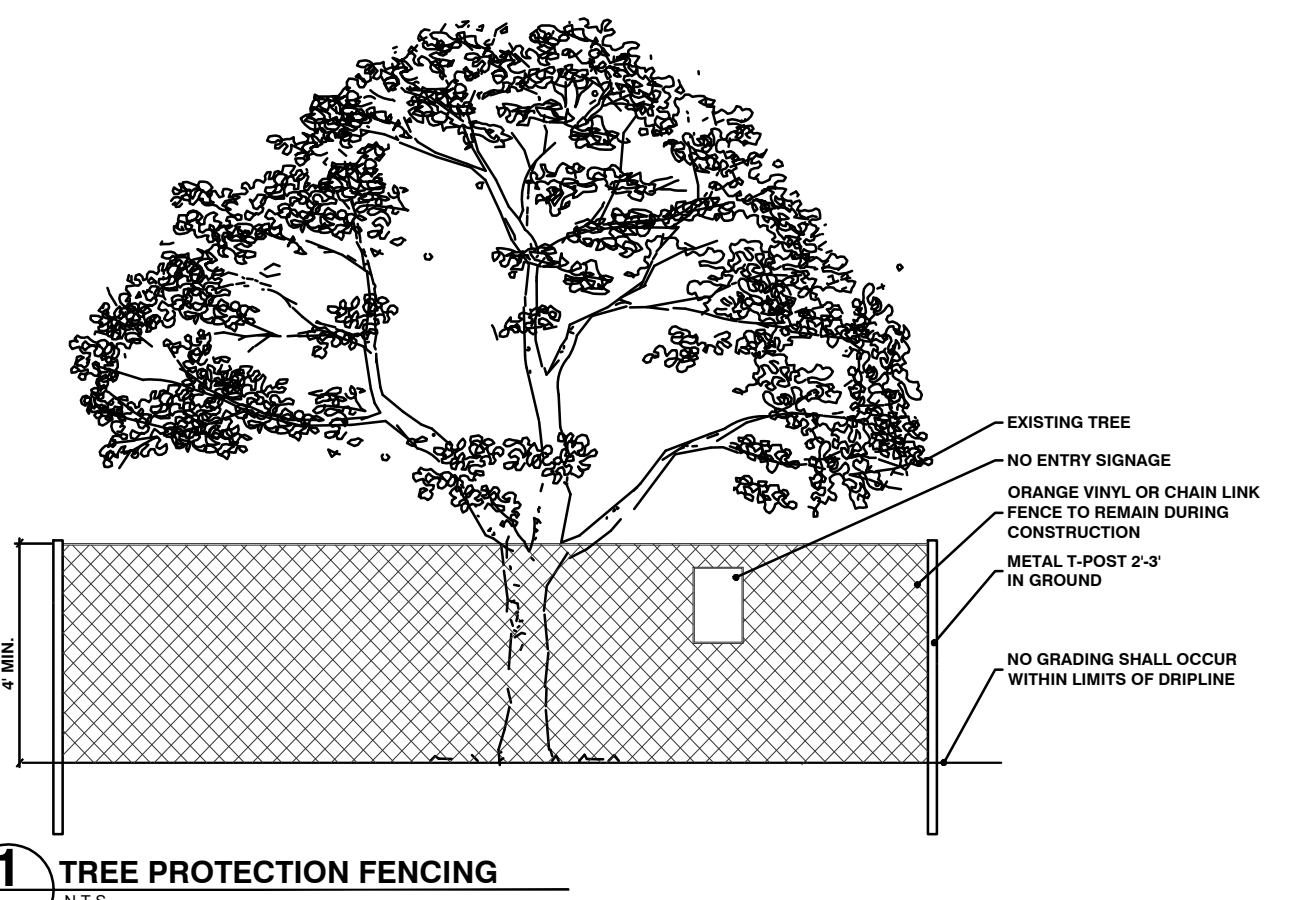
PROCEDURES REQUIRED PRIOR TO CONSTRUCTION: PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSED THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2" X 4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.



OWNER/DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM



TREE PRESERVATION PLAN
RETAIL/RESTAURANT
ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 10, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 CASE No.: _____ DATE: 6/12/2019
 W.A. No. 19022

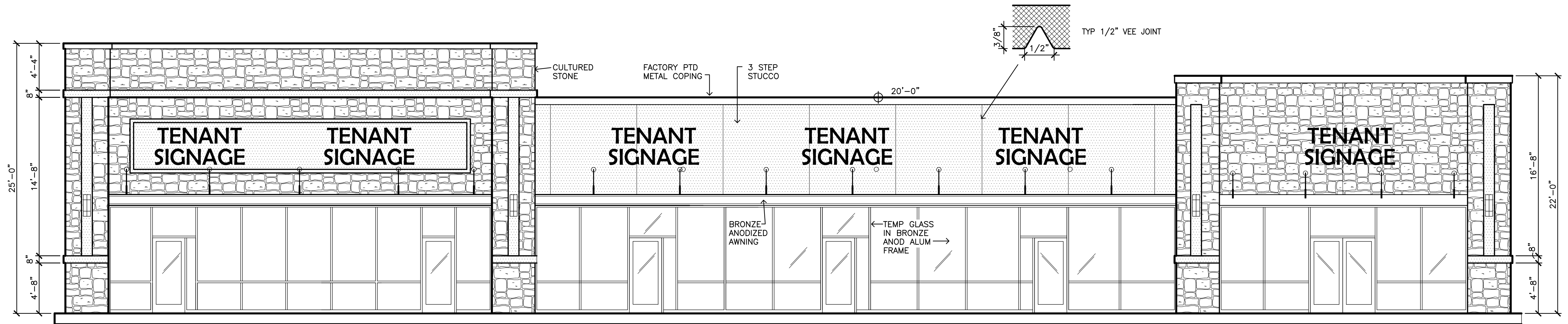


Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
MAIN PARKING	0	Fc	1.4	5.2	0.0	N.A.
PROPERTY LINE	N.A.	Fc	0.2	1.1	0.0	N.A.
SOUTH PARKING	0	Fc	1.6	3.0	0.3	5.3

Luminaire Schedule							
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
XA	13	LITHONIA KAD LED 40C 700 40K R4 MVOLT [MOUNTING] HS [FINISH]	8619				1.000
XB	22	LITHONIA OLLWD LED P1 40K MVOLT [FINISH]	264			0.800	1.000

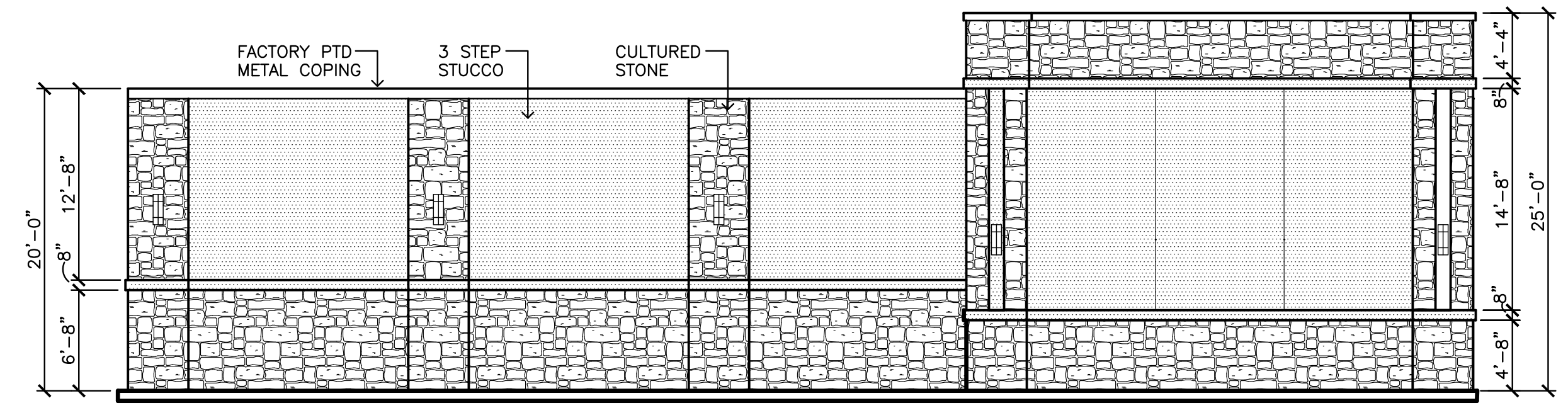
- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





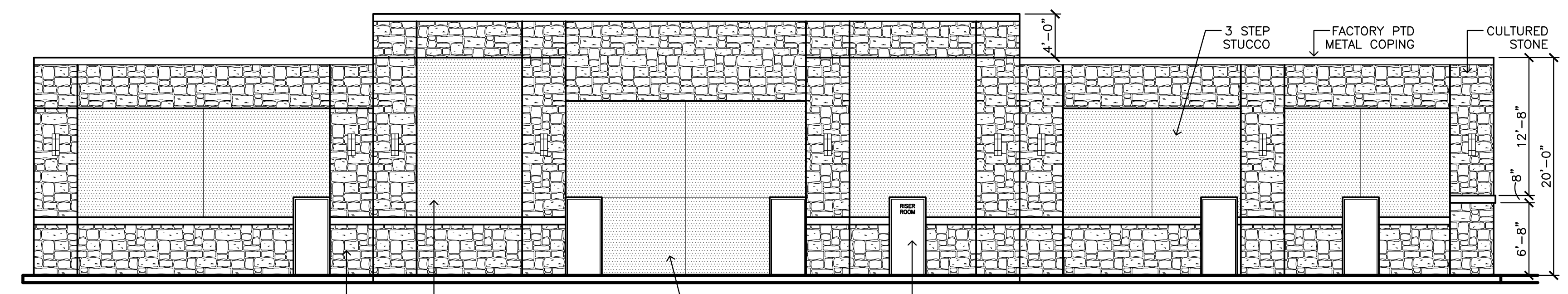
1 east elevation
 scale: 3/16" = 1'-0"

EAST FACADE: 1,472 SF (NO WINDOWS & DOORS)
 STONE: 828 SF, 56%
 3 STEP STUCCO: 644 SF, 44%



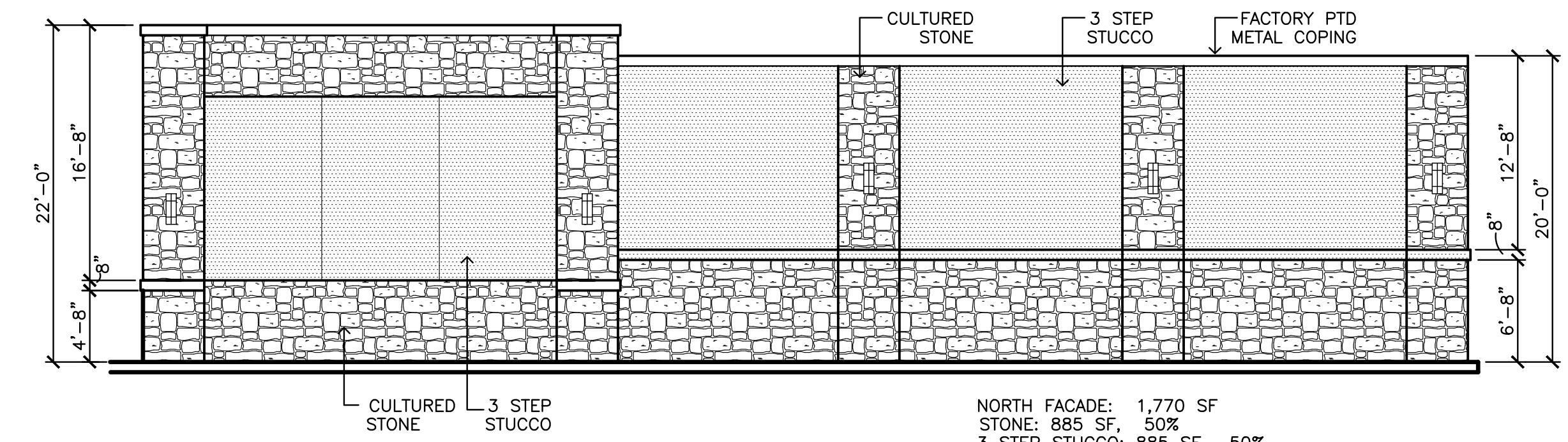
2 south elevation
 scale: 7/8" = 1'-0"

SOUTH FACADE: 1,930 SF
 STONE: 1,034 SF, 53%
 3 STEP STUCCO: 896 SF, 47%



3 west elevation
 scale: 1/8" = 1'-0"

WEST FACADE: 2,920 SF
 STONE: 1,460 SF, 50%
 3 STEP STUCCO: 1,460 SF, 50%



4 north elevation
 scale: 1/8" = 1'-0"

NORTH FACADE: 1,770 SF
 STONE: 885 SF, 50%
 3 STEP STUCCO: 885 SF, 50%



5 awning photo
 scale: nts

AWNING EXAMPLE. COLOR (BRONZE TO MATCH STOREFRONT)
 OWNER, DIMENSIONS AS SHOWN ON ROOF PLAN. TIE BACKS TO MATCH.
 CORNER DRAINS AS SHOWN.
 VENDOR: VICTORY AWNINGS 817-759-1600

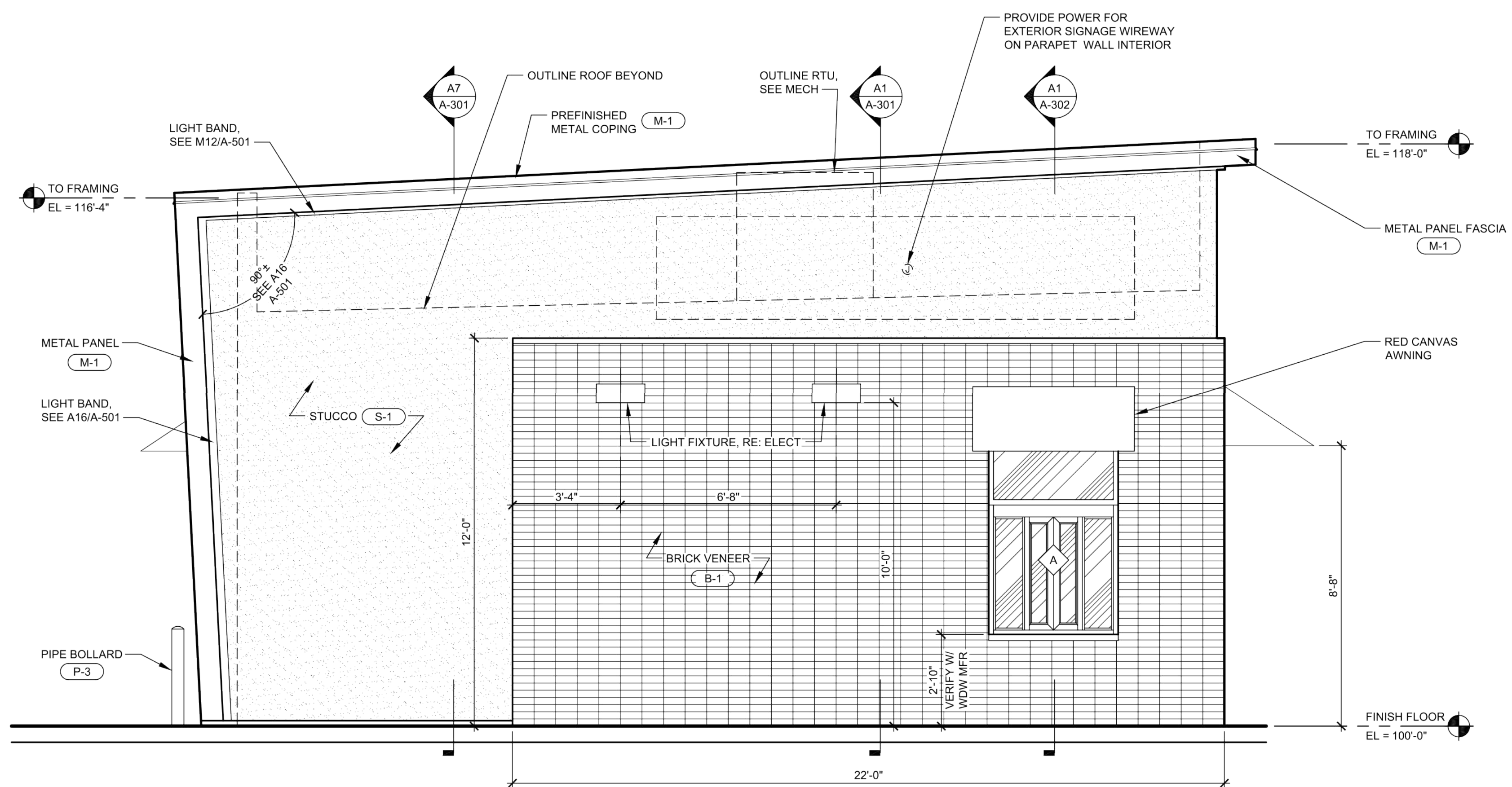
Owner:
 DA ENNIS 45 PARTNERS LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 Ridge Road
 Rockwall, Texas

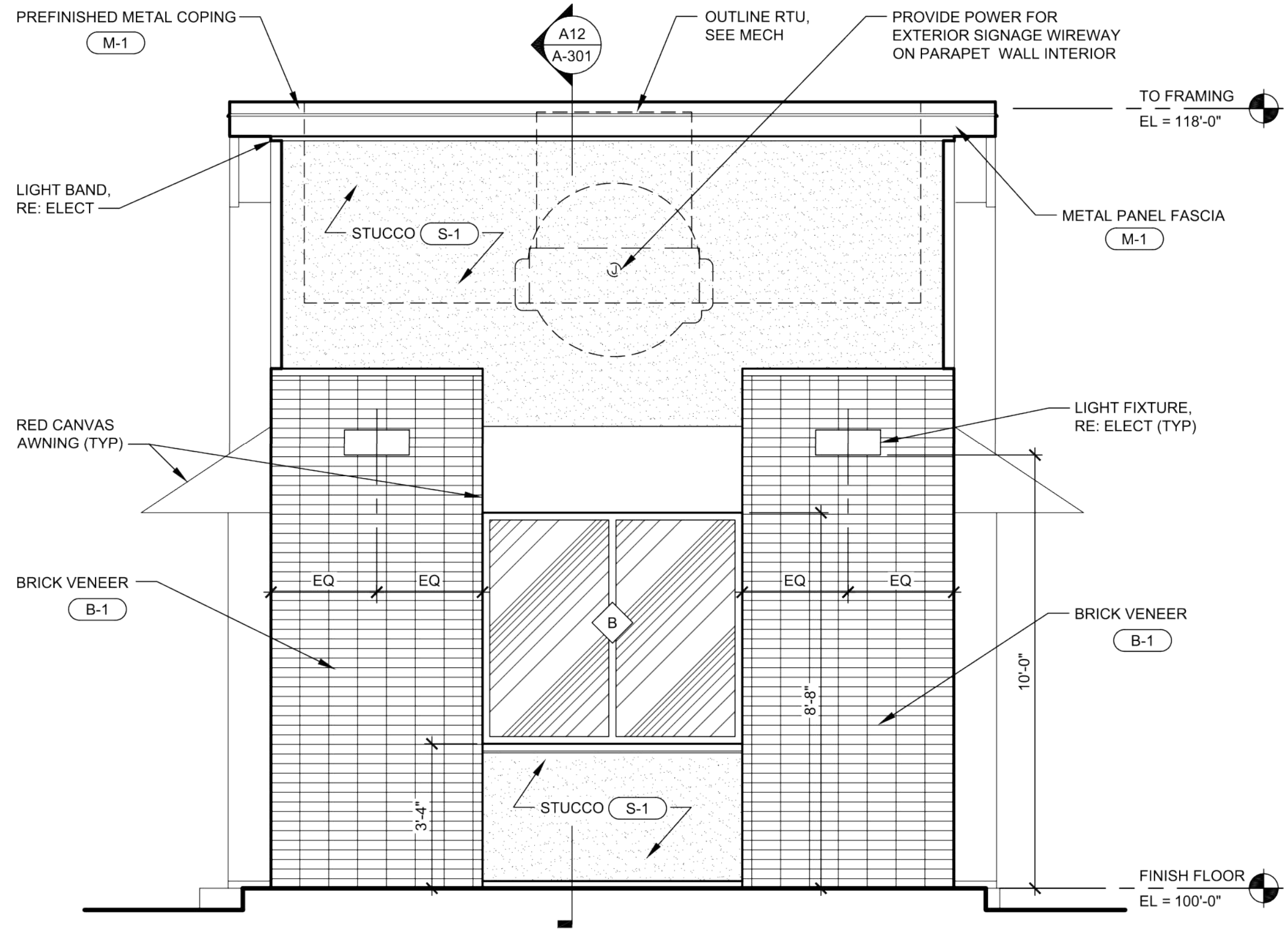
Scale: as noted
 Issue For:
 Site plan submittal 6-6-19

Sheet Number:

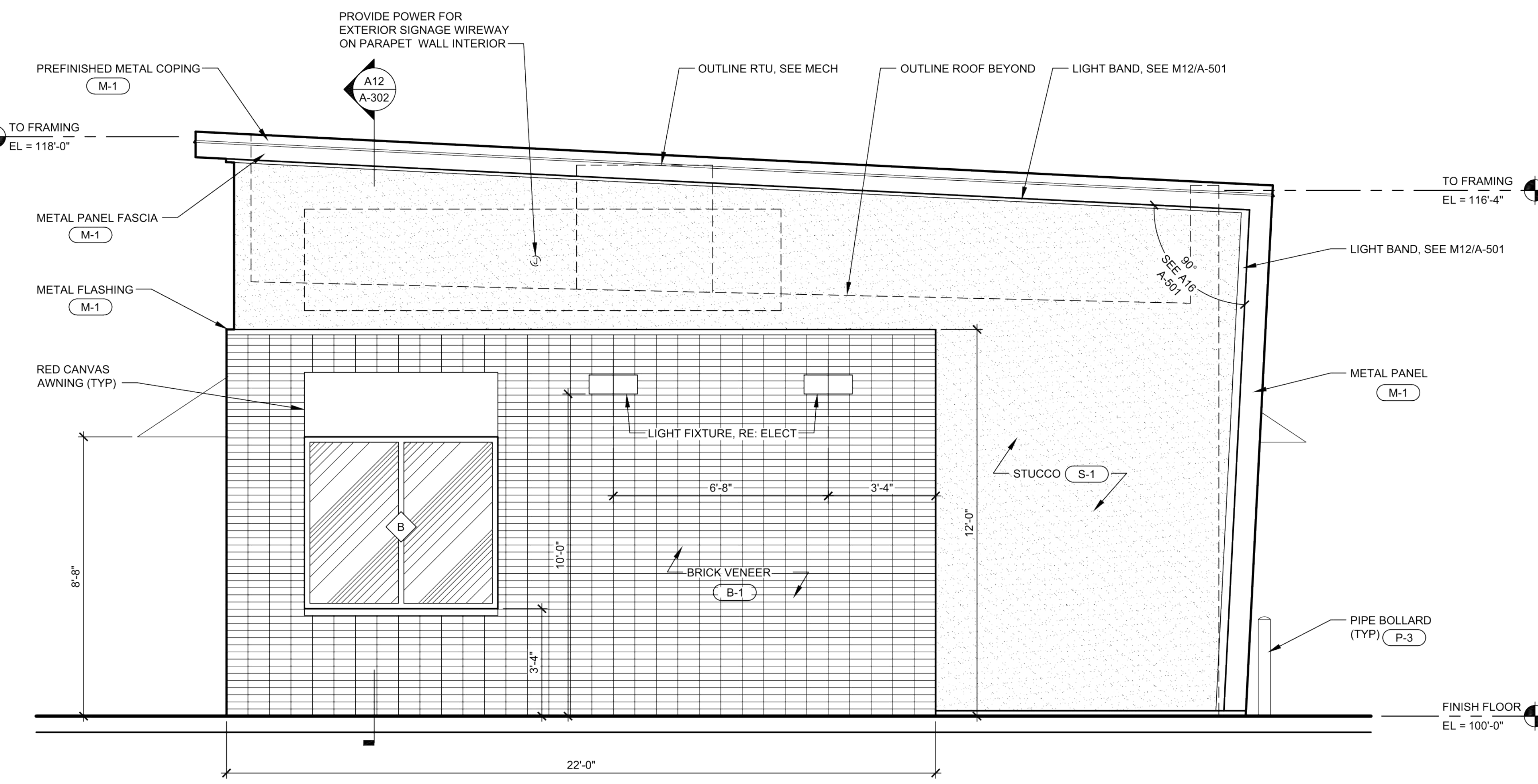
PRINTED: 6/13/2019 5:18 PM FILE: WIKER-PAVING_S18_LAS1_SAVED: 6/13/2019 3:12 PM SAVED BY: JAKEB FILE: SKOOTER ELEVATION.DWG
 BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



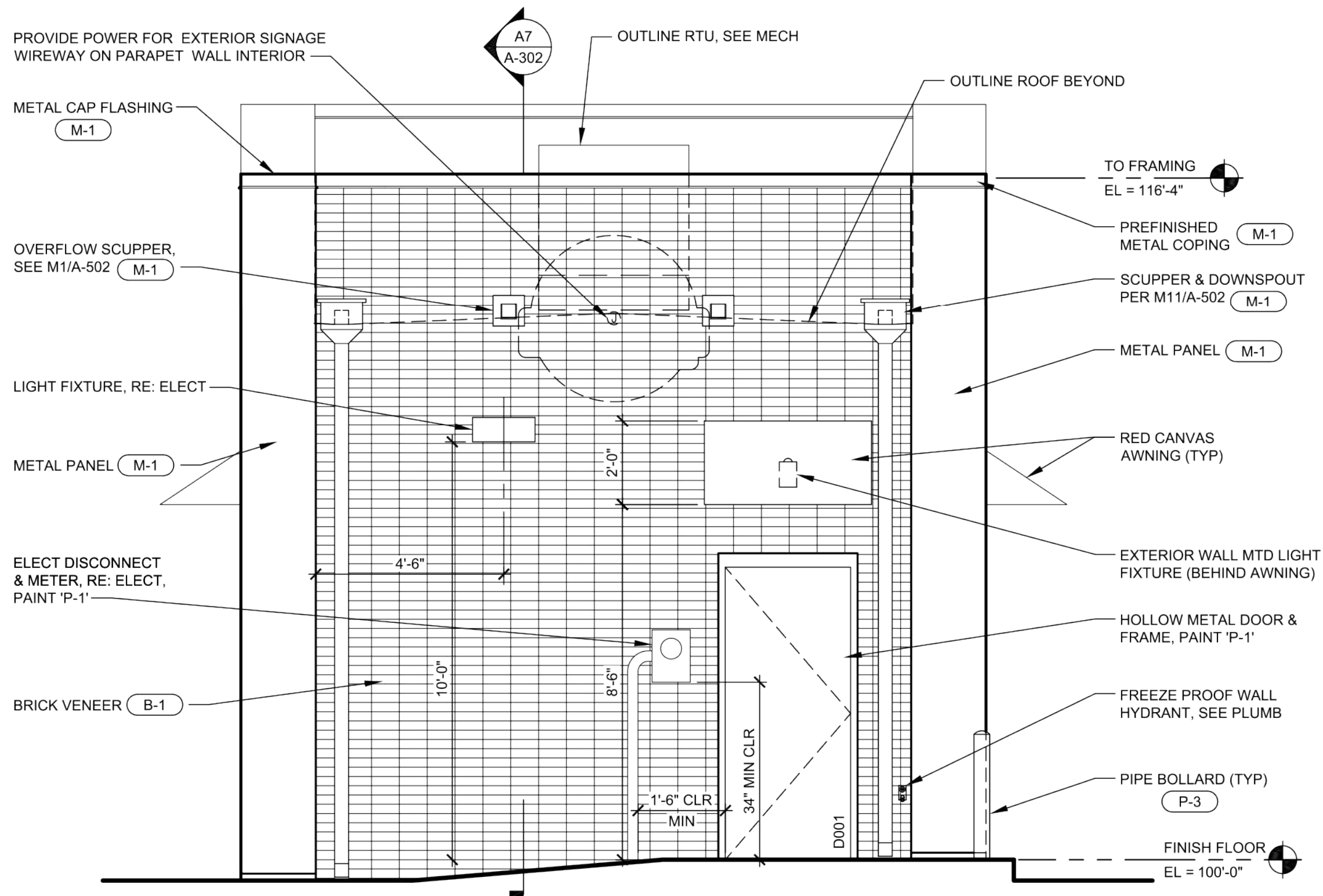
J1 EXTERIOR ELEVATION - NORTH
SCALE: 3/8" = 1'-0"



J13 EXTERIOR ELEVATION - WEST
SCALE: 3/8" = 1'-0"



A1 EXTERIOR ELEVATION - SOUTH
SCALE: 3/8" = 1'-0"



A13 EXTERIOR ELEVATION - EAST
SCALE: 3/8" = 1'-0"

LEGEND	
	- DOOR NUMBER
	- WINDOW TYPE
	- FINISH / MATERIAL IDENTIFIER
	- SECTION
	- SECTION NUMBER
	- SHEET SECTION SHOWN ON SIM = SIMILAR, OH = OPPOSITE HAND

DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY., STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203
 CHAD@JTEVANS.COM

COFFEE KIOSK ELEVATIONS
MIXED-USE DEVELOPMENT
3009 N. GOLIAD ST
ROCKWALL, TEXAS

City of Rockwall Project Plan Review History



Project Number SP2019-023	Owner GOLIAD REAL, ESTATE LLC	Applied 6/14/2019	LM
Project Name Site Plan for Mixed-Use Development	Applicant WIER & ASSOCIATES, INC	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 3005 N GOLIAD ST		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision	Tract	Block	Lot No
	1		1
			Parcel No 0131-0000-0001-00-OR
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
ENGINEERING	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/21/2019 10:29 AM SH) <ul style="list-style-type: none"> - Dumpster to drain to an oil/water separator and then the storm lines - Parking spaces near the wall must have 2' clear overhang. Wall to have a traffic rated guardrail on top - Show the 10' ROW dedication of SH 205. - No signs can be in easements, ROW, or visibility triangles. - Minimum driveway spacing is 100'. - Must show the existing and proposed utilities. The existing lift station is in the coffee house drive isle - Parking against the building must be 20'x9'. <p>Landscape Plan</p> <ul style="list-style-type: none"> - Must show existing and proposed utilities - Trees must be at least 5' away from utilities - Need to show 10' SH 205 ROW dedication & Trees out of ROW <p>The following items are for your information for engineering design</p> <ul style="list-style-type: none"> - 4% Engineering fees - Impact fees - Parking against the building must be 20'x9'. - Must Complete Flood Study - Review Fees apply for review - Dumpster area to drain to oil/water separator then storm - Retaining walls 3' and over must be engineered. - All retaining walls to be rock or stone face No smooth concrete walls. - TxDOT permit for driveway on SH205 - Must have detention above floodplain elevations for tract - Must show existing and proposed utilities - TIA is required - Wetland/WOUS determination for work in floodplain/creek - Erosion Hazard setback requirement - Show all fire lanes - 5' sidewalk in 10' Row dedication for SH205 - No walls in Easements or ROW - Must meet all City Standards of Design and Construction. 						
FIRE (6/21/2019 9:44 AM AA) <p>The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.</p>	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7 COMMENTS	See comments
GIS	Lance Singleton	6/14/2019	6/21/2019	6/19/2019	5 APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(6/19/2019 12:06 PM LS) Address assignments will be: 1100sf Bldg: 3005 N GOLIAD ST, ROCKWALL TX 75087 (*Suites to be numbered 101, 103, 105, 107, 109, 111 from South to North) 460sf Bldg: 150 PECAN VALLET DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	6/14/2019	6/21/2019	6/20/2019	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
------------------------	---------	------	-----	----------	----------------	---------

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N Goliad Street [SH-205], and take any action necessary.

PLANNING AND ZONING 1ST ROUND STAFF COMMENTS(06.20.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

** Planning Department General Comments & Requirements to address/acknowledge:

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label all revised site plan documents with "Case No. SP2019-023" at the lower right corner of each plan.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation for the primary and secondary building facade standards of the UDC for the north, south, east and west facing facades extend for more than 60-ft with out a projection or recess.
2. Wall projection- minimum required for primary and secondary facades is 5-ft. All facades do not meet.
3. Architectural Element above wall is required to have a minimum of width of 10-ft on primary facade and a minimum of 3-ft on secondary facades. Not indicated or present.
4. Vertical projection- minimum for primary facade is 5-ft, secondary building facade requires 3-ft. All projections do not meet this standards.
5. Materials standards of the UDC and the N SH-205 OV to allow for stucco being located within the first 4 feet of grade on both buildings.
6. Materials standards of the N SH-205 OV to allow for the use of cultured stone rather than natural stone
7. For not meeting the 4-side architect requirements of the N SH-205 OV for both buildings.
8. For not meeting the minimum 20% natural stone requirement for building number 2.
9. To allow for dumpster enclosure to face a public street (building no. 2).

** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent final review by staff:

Site Plan:

1. Provide a minimum 10-ft landscape buffer along the property lines that face Pecan Valley Drive and Quail Run Road
2. Correct building setbacks from 10-ft to 15-ft along Pecan Valley Drive and Quail Run Road
3. Hatch area to be dedicated as right of way along Quail Run Road
4. Provide screening detail at L2 from residential properties.
5. Parking space dimensions adjacent to building are to be a minimum of 20-ft x 9-ft.
6. Relabel parking count "7" to 5 spaces on east side of parking lot (adjacent to SH-205).
7. SH-205 is a 120-ft right of way. Indicate where center line is at 60-ft and hatch any area that requires ROW dedication
8. Relabel firelane as "24-ft Firelane, Public Access, and Utility Easement (as appropriate) for both building areas.
9. All utilities are to be placed underground, no overhead utilities.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
10. Submittal and approval of a separate building permit for signage						
Landscape Plan:						
1. Provide landscape buffers for all streets						
a. N SH-205 - minimum 20-ft						
b. Pecan Valley Drive - minimum 10-ft						
c. Quail Run Road - minimum 10-ft						
2. Provide a minimum of one (1), three (3)-caliper inch canopy tree for each 50 linear feet within the landscape buffers for Pecan Valley & Quail Run.						
3. Correct Plant Schedule Table to indicate a minimum four(4)-caliper inch canopy tree(s) to be located within the N SH-205 landscape buffer.						
Treescape Plan:						
1. Correct table and recalculate mitigation due for all Bois D'Arc trees & Chinaberry trees as these are non-protected trees and do not count towards mitigation						
2. Tree number 2598 is greater than 25-inches and requires mitigation to count as double the number of inches being removed (i.e. 29" x 2 = 58").						
3. Tree number 2834 is being saved and is greater than 25-inches. Since this is an Elm tree, this should count as credit towards mitigation, which equals 1:1 (i.e. 48-inches of credit).						
Photometric Plan:						
1. High readings detected at the property lines. All readings are not to exceed 0.2-FC at the property lines. Revise plan.						
2. Pole height not to exceed 20-ft OAH (include base, pole, and attachments). Revise Plan.						
3. Provide cut sheets for all exterior lighting fixtures						
Building Elevations:						
1. See all exceptions being requested based on submittal at top of report						
2. Provide color renderings of both buildings for Architectural Review Board (ARB) review.						
3. Provide a materials sample board for ARB review.						
4. Dash in RTU's on elevations. RTU's and other roof top equipment must be visually screened from adjacent properties and rights of way.						
5. Provide calculations of exterior building materials for each facade of building no 2.						
<p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
Meeting Dates to Attend						
Architectural Review Board - June 25, 2019 (5:00 p.m.) [ARB to provide comments]						
Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]						
Architectural Review Board - July 9, 2019 (5:00 p.m.) [ARB to provide recommendation]						
Planning - Action: July 9, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						

LEGEND

	PARKING COUNT
	LANDSCAPE AREA (RE: LANDSCAPE PLAN)
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT

- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

FEMA NOTE

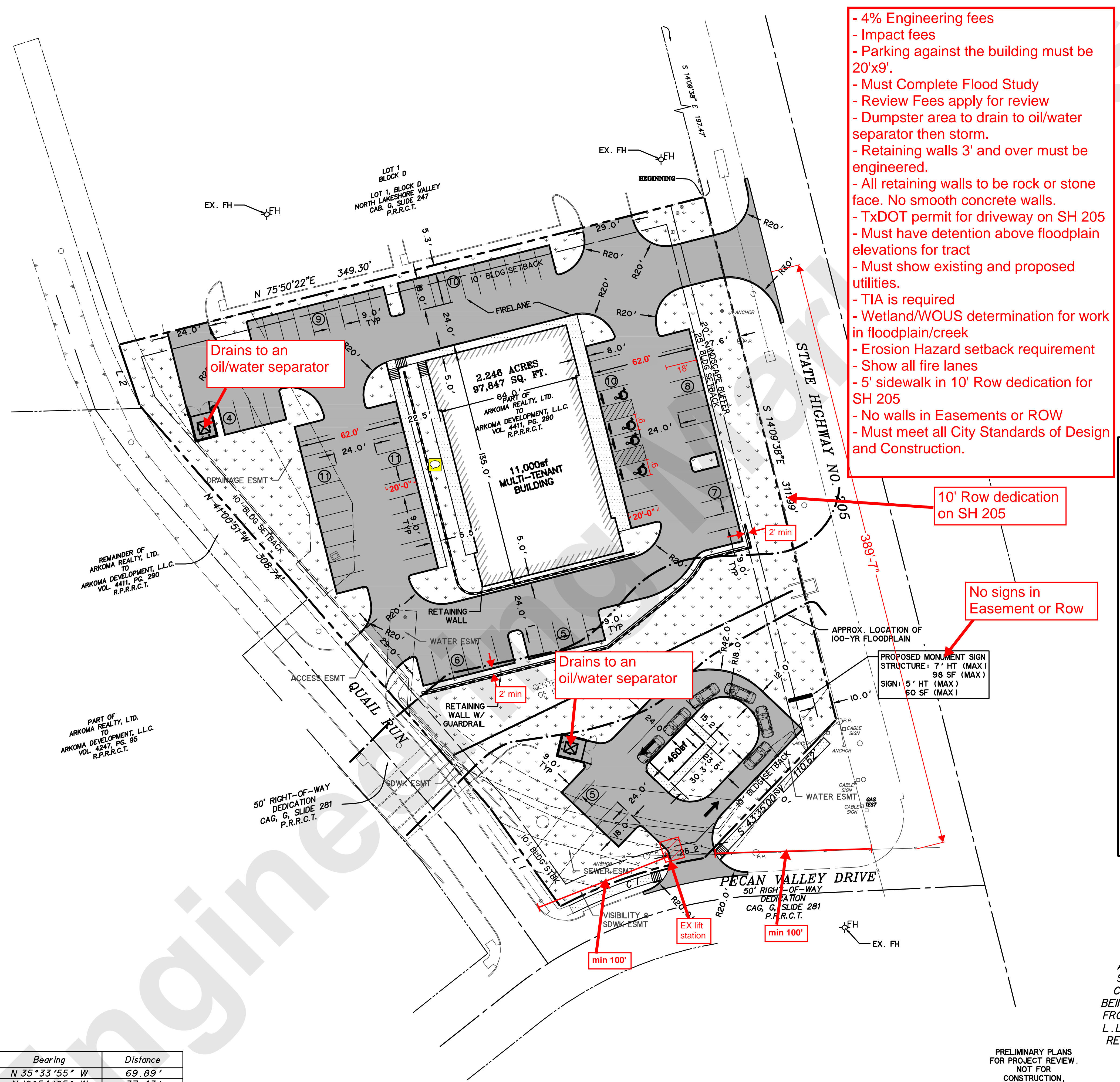
FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE I300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203
 CHAD@JTEVANS.COM

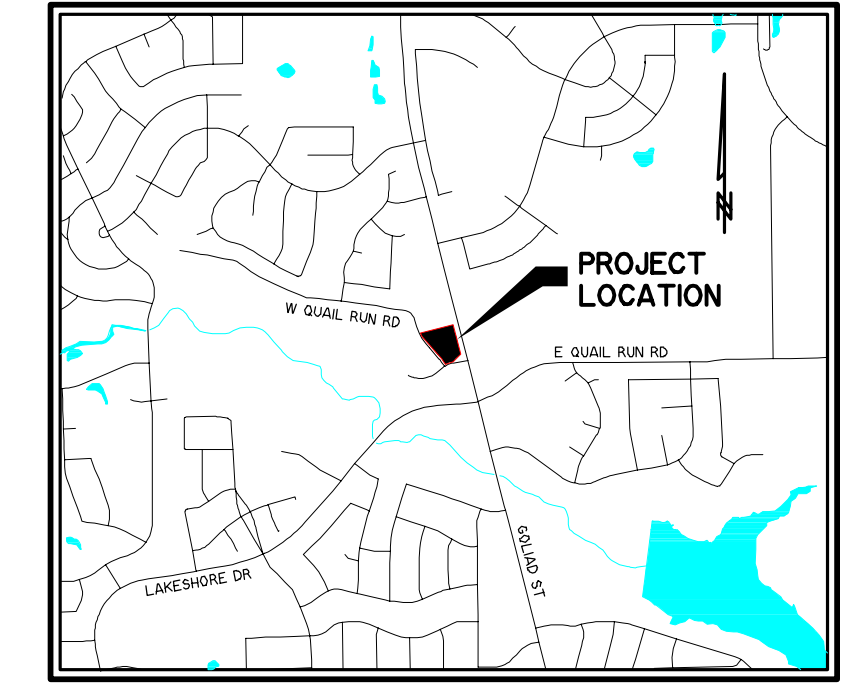
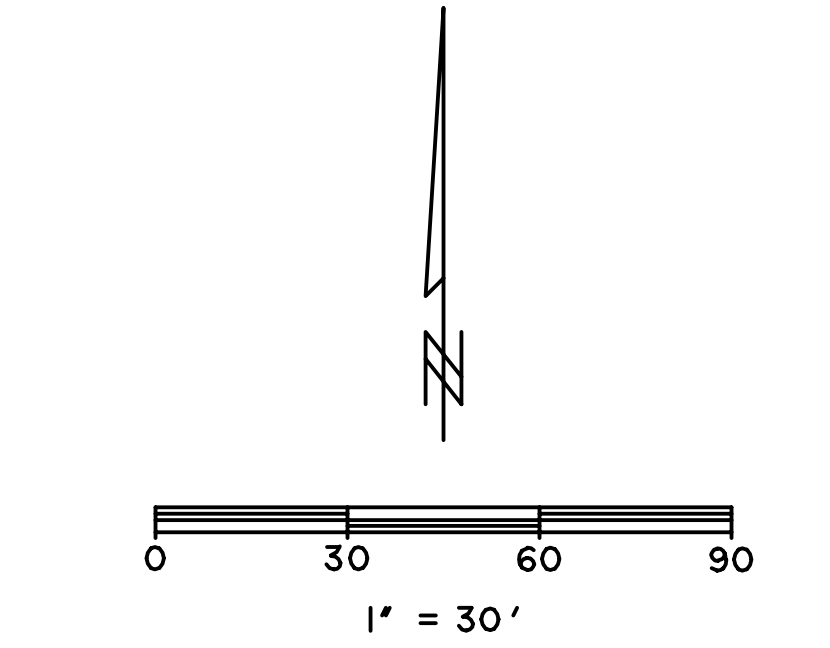
ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



- 4% Engineering fees
- Impact fees
- Parking against the building must be 20'x9'.
- Must Complete Flood Study
- Review Fees apply for review
- Dumpster area to drain to oil/water separator then storm.
- Retaining walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- TxDOT permit for driveway on SH 205
- Must have detention above floodplain elevations for tract
- Must show existing and proposed utilities.
- TIA is required
- Wetland/WOUS determination for work in floodplain/creek
- Erosion Hazard setback requirement
- Show all fire lanes
- 5' sidewalk in 10' Row dedication for SH 205
- No walls in Easements or ROW
- Must meet all City Standards of Design and Construction.



SITE DATA CHART

ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
BUILDING AREA	NORTH BUILDING: 11,000 SF SOUTH BUILDING: 460 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10'
LOT AREA	2.246± AC (97,847 SF)
PARKING REQ'D.	NORTH BUILDING 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 SOUTH BUILDING 460 SF RESTAURANT: 1/100 SF = 5 TOTAL = 67
HANDICAP-ACCESSIBLE PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	11.7%
LANDSCAPE AREA	40,290 SF
LANDSCAPE COVERAGE	41.2%

**SITE PLAN
 MIXED-USE DEVELOPMENT
 3009 N. GOLIAD ST
 ROCKWALL, TEXAS**

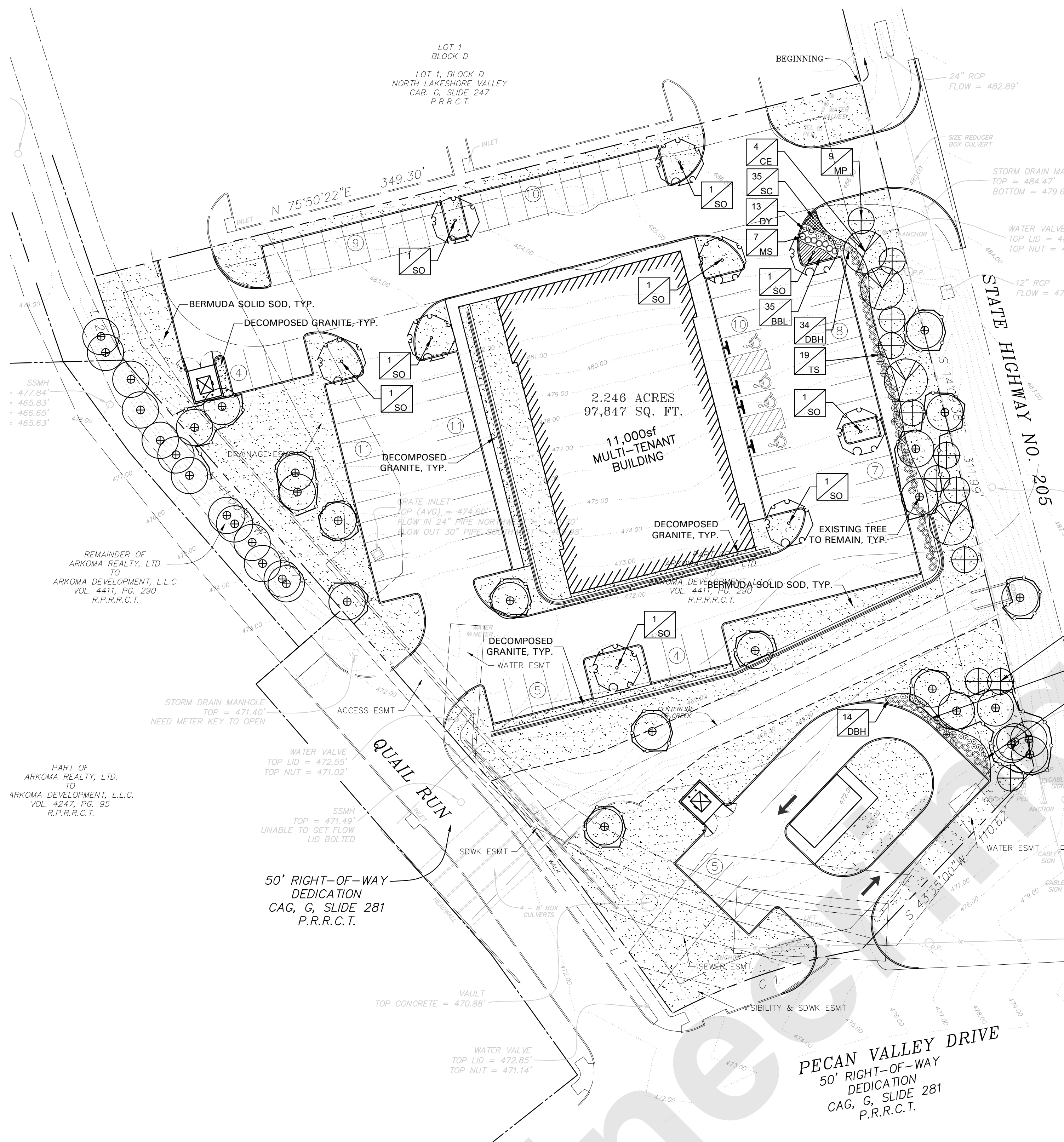
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

June 12, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.

PRINTED: 6/12/2019 8:28 AM FILE: AMANDA@AWR.DWG LAST SAVED: 6/12/2019 7:28 AM SAVED BY: AMANDA@AWR.DWG FILE: 19068_LANDSCAPE SERIES.DWG
 BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



- Must show existing and proposed utilities
 - Trees must be at least 5' away from utilities
 - Need to show 10' SH 205 ROW dedication & Trees out of ROW

GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION: THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRAGILE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH:

SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING. IF NECESSARY.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4" OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:

IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

LANDSCAPE TABULATIONS
ROCKWALL, TEXAS - SH205 Overlay

I-30 OVERLAY REQUIREMENTS	
1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a maximum height of 48".	
2. Three canopy trees along with four accent trees are required per 100 feet of the SH-205 r.o.w.	
SH205 = 312 I.F.	
REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
9 canopy trees, 4" cal.	4 canopy trees, 4" cal.; 5 existing trees
12 accent trees, 4' ht.	12 accent trees, 4' ht.
PARKING LOT LANDSCAPE	
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars. (84 parking spaces)	
REQUIRED	PROVIDED
36" screen	36" screen
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.; 1 existing 20" Elm

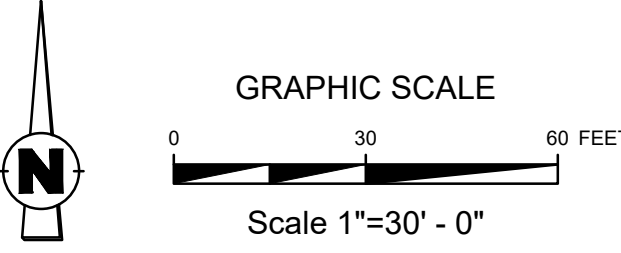
PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
9	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
ORNAMENTAL TREES					
12	MP	Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
SHRUBS					
48	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
28	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" spread, 24" o.c.
7	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
26	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" spread, 30" o.c.
GROUNDCOVER/VINES/GRASS					
35	BBL	Big Blue Liriope	<i>Linopoe muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.
35	SC	Seasonal Color		4" pots	full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

OWNER/DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM



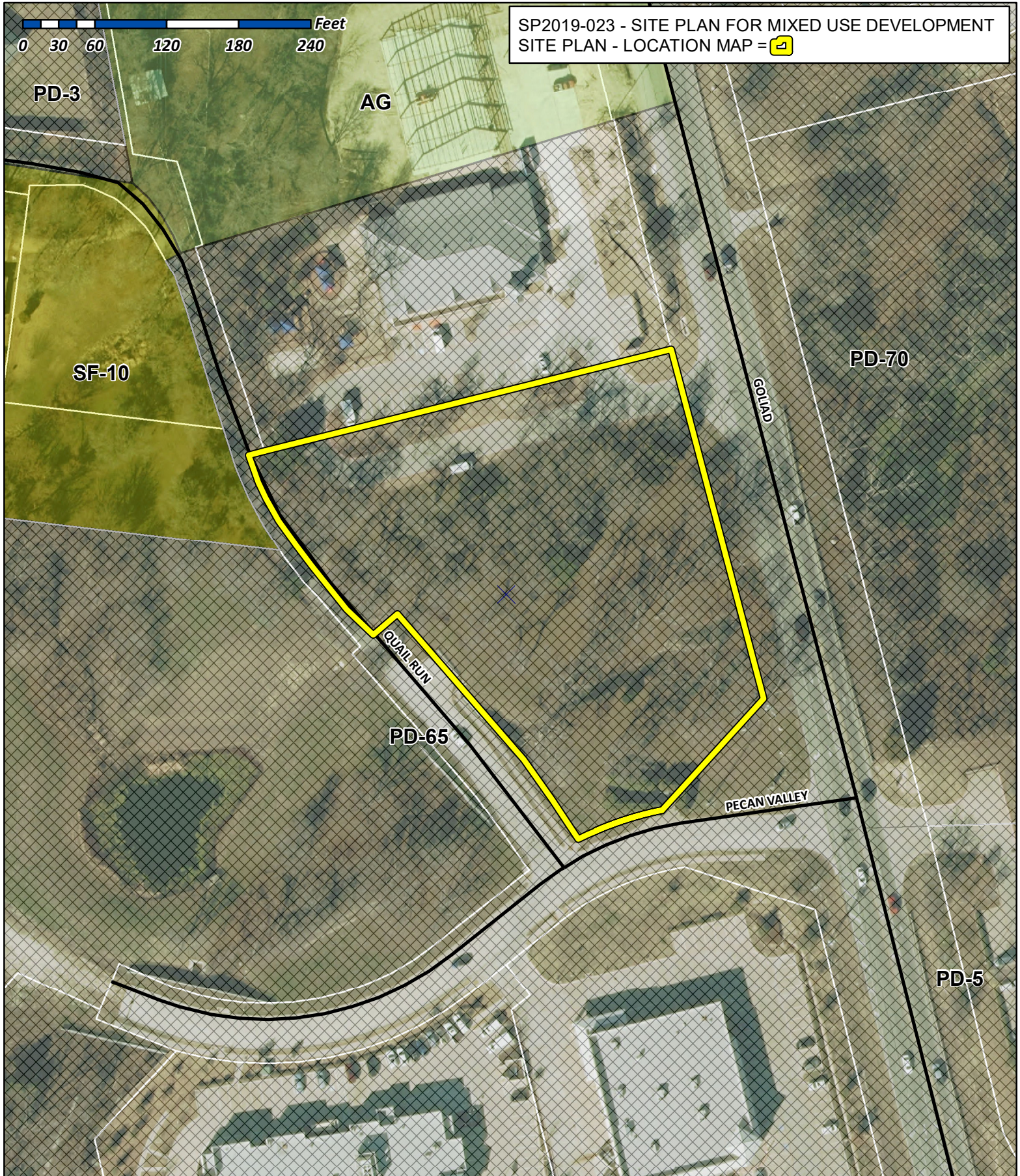
AWR
 AWR Designs, LLC
 P.O. Box 1746
 Aliso, Texas 76008
 amanda@awr-designs.com
 c. 512.517.5589

LANDSCAPE PLAN
RETAIL/RESTAURANT
ROCKWALL, TEXAS
 ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 10, 2019

PREPARED BY:
VIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 CASE No.: _____ DATE: 6/12/2019
 W.A. No. 19022



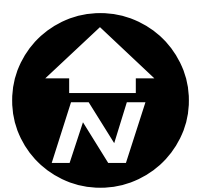
SP2019-023 - SITE PLAN FOR MIXED USE DEVELOPMENT
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LEGEND

- PARKING COUNT
- LANDSCAPE AREA (REF: LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT

- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

FEMA NOTE

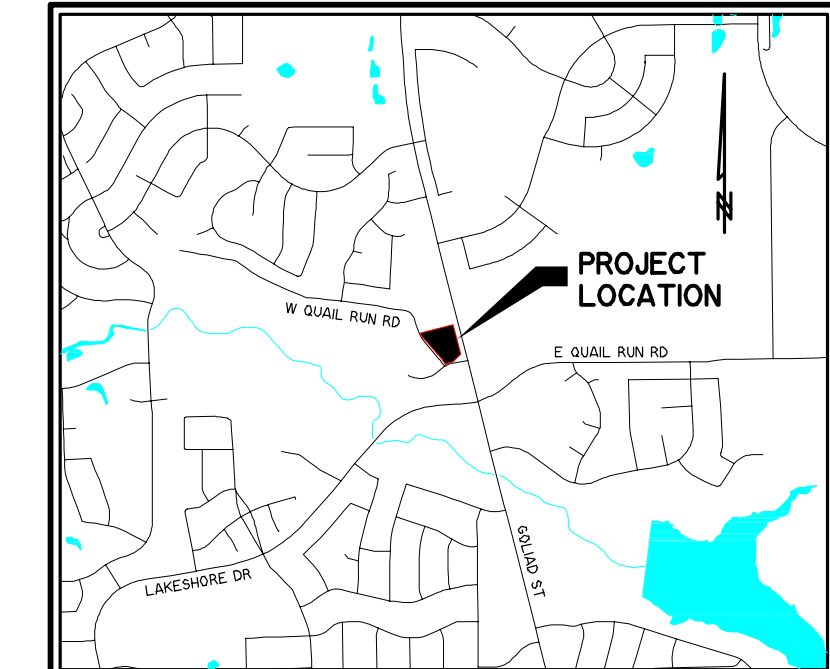
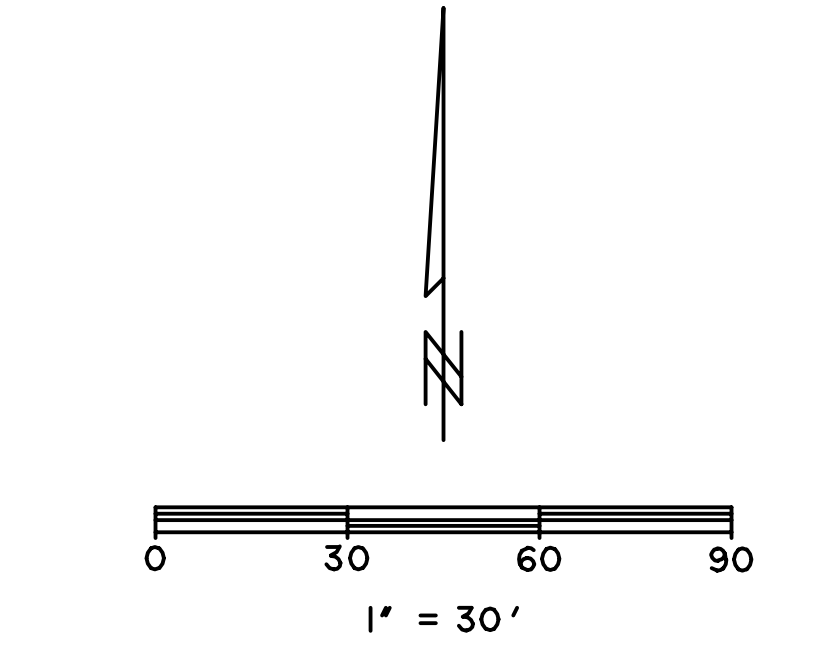
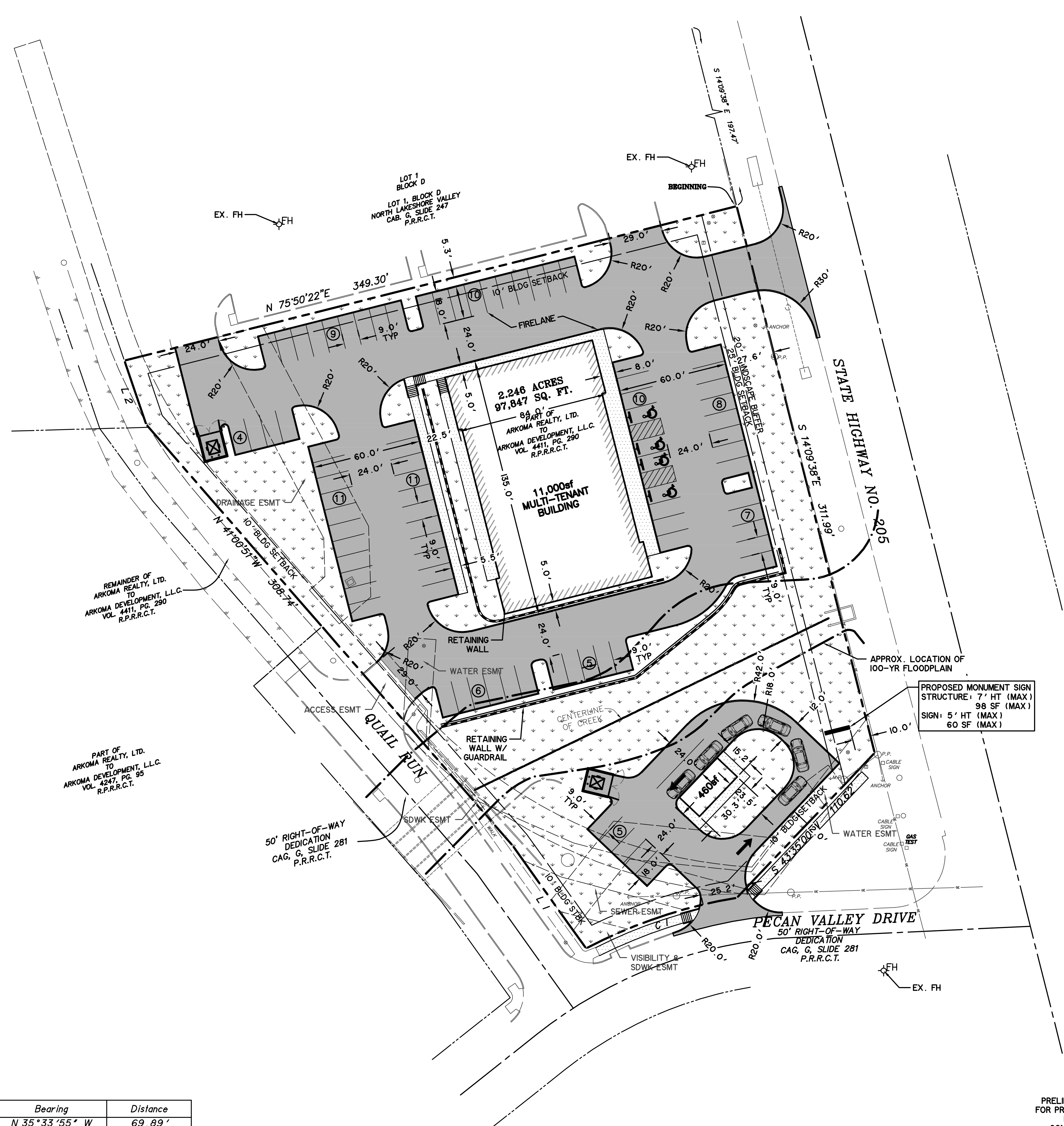
FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE I300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203
 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



VICINITY MAP
 1" = 2,000'

SITE DATA CHART

ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
BUILDING AREA	NORTH BUILDING: 11,000 SF SOUTH BUILDING: 460 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10'
LOT AREA	2.246± AC (97,847 SF)
PARKING REQ'D.	NORTH BUILDING 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 SOUTH BUILDING 460 SF RESTAURANT: 1/100 SF = 5 TOTAL = 67
HANDICAP-ACCESSIBLE PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	11.7%
LANDSCAPE AREA	40,290 SF
LANDSCAPE COVERAGE	41.2%

**SITE PLAN
 MIXED-USE DEVELOPMENT
 3009 N. GOLIAD ST
 ROCKWALL, TEXAS**

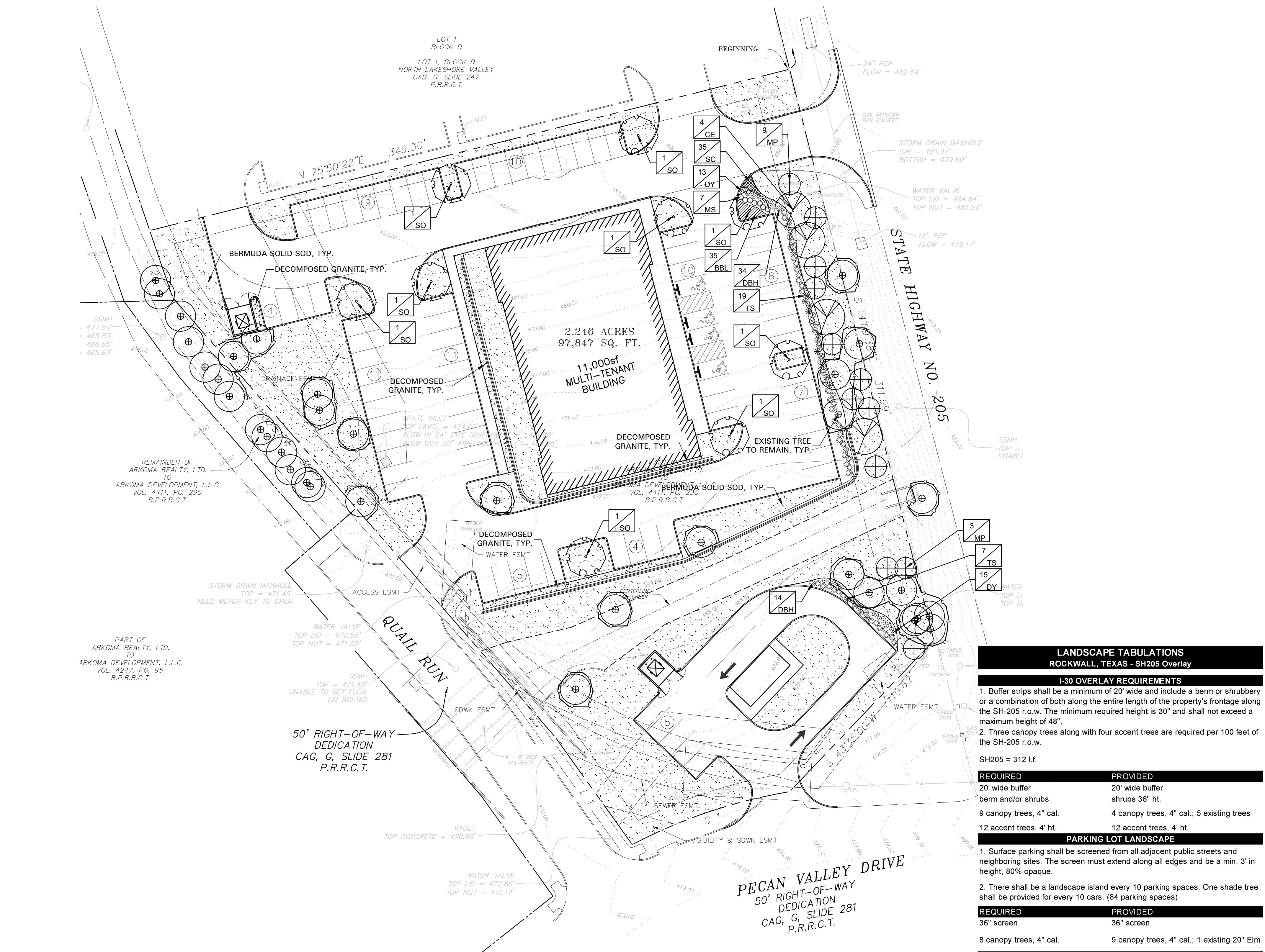
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

June 12, 2019

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRINTED: 6/12/2019 8:28 AM LAST SAVED: 6/12/2019 7:28 AM SAVED BY: AMANDA@AWR DESIGNERS FILE: 19068_LANDSCAPE SERIES.DWG



GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION: THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOLID SOD: SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH: SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4" OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION: IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS: VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS: STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

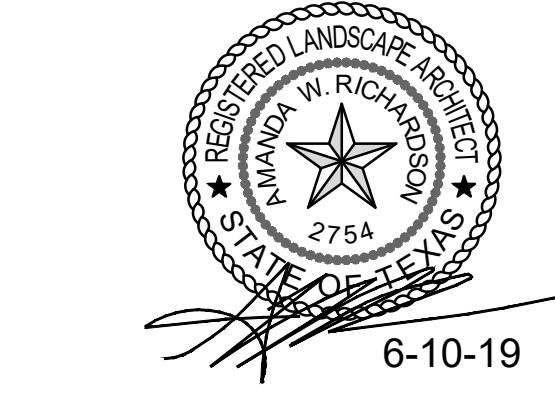
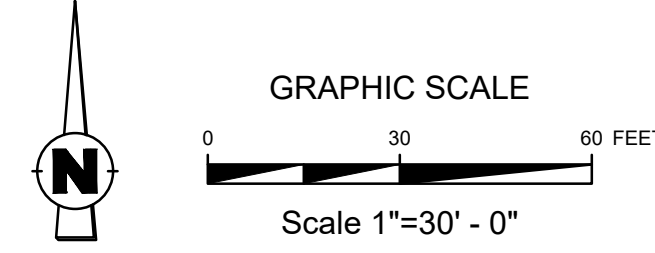
LANDSCAPE TABULATIONS	
ROCKWALL, TEXAS - SH205 Overlay	
1-30 OVERLAY REQUIREMENTS	
1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a maximum height of 48".	
2. Three canopy trees along with four accent trees are required per 100 feet of the SH-205 r.o.w.	
SH205 = 312 I.F.	
REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
9 canopy trees, 4" cal.	4 canopy trees, 4" cal.; 5 existing trees
12 accent trees, 4' ht.	12 accent trees, 4' ht.
PARKING LOT LANDSCAPE	
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars. (84 parking spaces)	
REQUIRED	PROVIDED
36" screen	36" screen
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.; 1 existing 20" Elm

PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
9	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
ORNAMENTAL TREES					
12	MP	Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
SHRUBS					
48	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
28	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
7	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
26	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" sprd, 30" o.c.
GROUNDCOVER/VINES/GRASS					
35	BBL	Big Blue Liriope	<i>Linopoe muscaris 'Big Blue'</i>	1 gal.	full, 18" o.c.
35	SC	Seasonal Color		4" pots	full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

OWNER/DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM



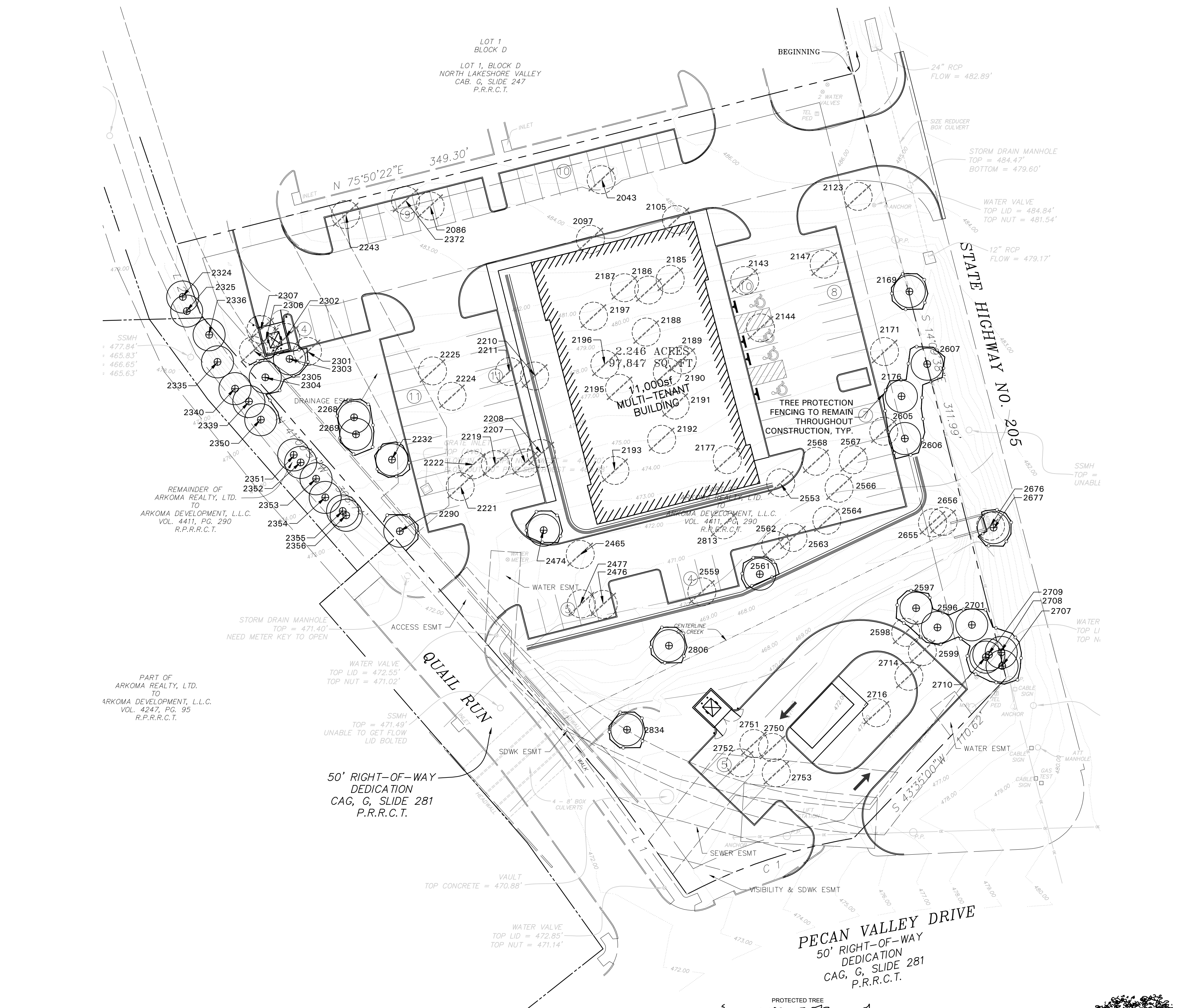
AWR
 AWR Design, LLC
 P.O. Box 1746
 Aliso, Texas 76008
 amanda@awr-designs.com
 c. 512.517.5589

LANDSCAPE PLAN
RETAIL/RESTAURANT
ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 10, 2019

PREPARED BY:
VIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 CASE No.: _____ DATE: 6/12/2019
 W.A. No. 19022

PRINTED: 6/12/2019 10:28 AM LAST SAVED: 6/12/2019 7:28 AM FILE: AMANDARICHARDSON FILE: 19068 LANDSCAPE SERIES.DWG



EXISTING TREE						
NO.	CALIPER	TREE SPECIES	REMAIN/REMOVE	MITIGATION REQ.	NOTES	
2043	32	Pecan	To Be Removed	2 to 1		
2086	20	Elim	To Be Removed	1 to 1		
2097	18	Elim	To Be Removed	1 to 1		
2105	16	Elim	To Be Removed	1 to 1		
2123	18	Hackberry	To Be Removed	50%		
2143	18	Elim	To Be Removed	1 to 1		
2144	20	Elim	To Be Removed	1 to 1		
2147	24	Cedar	To Be Removed	50%		
2169	14	Elim	To Be Removed	1 to 1		
2171	28	Bois D'Arc	To Be Removed	50%		
2176	24	Pecan	To Remain	1 to 1		
2177	30	Walnut	To Be Removed	2 to 1		
2185	20	Elim	To Be Removed	1 to 1		
2186	16	Elim	To Be Removed	1 to 1		
2187	16	Elim	To Be Removed	1 to 1		
2188	16	Elim	To Be Removed	1 to 1		
2189	16	Elim	To Be Removed	1 to 1		
2190	12	Elim	To Be Removed	1 to 1		
2191	16	Elim	To Be Removed	1 to 1		
2192	24	Cedar	To Be Removed	50%		
2193	16	Elim	To Be Removed	1 to 1		
2194	18	Elim	To Be Removed	1 to 1		
2196	12	Elim	To Be Removed	1 to 1		
2197	16	Elim	To Be Removed	1 to 1		
2207	12	Elim	To Be Removed	1 to 1		
2208	14	Elim	To Be Removed	1 to 1		
2210	16	Elim	To Be Removed	1 to 1		
2211	18	Elim	To Be Removed	1 to 1		
2219	16	Elim	To Be Removed	1 to 1		
2221	16	Elim	To Be Removed	1 to 1		
2222	12	Elim	To Be Removed	1 to 1		
2224	17	Elim	To Be Removed	1 to 1		
2225	17	Elim	To Be Removed	1 to 1		
2232	14	Elim	To Be Removed	1 to 1		
2243	4	Elim	To Be Removed	1 to 1		
2268	12	Elim	To Remain	1 to 1		
2269	18	Elim	To Remain	1 to 1		
2290	20	Elim	To Remain	1 to 1		
2301	16	Elim	To Be Removed	1 to 1		
2301	16	Elim	To Be Removed	1 to 1		
2301	18	Elim	To Remain	1 to 1		
2304	16	Elim	To Remain	1 to 1		
2305	12	Elim	To Be Removed	1 to 1		
2306	12	Elim	To Be Removed	1 to 1		
2307	12	Elim	To Be Removed	1 to 1		
2324	8	Elim	To Remain	1 to 1	Not on Property	
2325	5	Elim	To Remain	1 to 1	Not on Property	
2335	13	Elim	To Remain	1 to 1	Not on Property, Multi-trunk	
2336	6	Elim	To Remain	1 to 1	Not on Property	
2339	6	Elim	To Remain	1 to 1	Not on Property, Bent	
2340	12	Elim	To Remain	1 to 1	Not on Property	
2350	12	Elim	To Remain	1 to 1	Not on Property	
2351	10	Elim	To Remain	1 to 1	Not on Property	
2352	10	Elim	To Remain	1 to 1	Not on Property	
2353	5	Elim	To Remain	1 to 1	Not on Property	
2354	9	Elim	To Remain	1 to 1	Not on Property	
2355	14	Elim	To Remain	1 to 1	Not on Property	
2356	6	Elim	To Remain	1 to 1	Not on Property	
2372	8	Bean Tree	To Be Removed	0%		
2465	14	Pecan	To Be Removed	1 to 1		
2474	20	Elim	To Remain	1 to 1		
2476	22	Pecan	To Be Removed	1 to 1		
2477	18	Pecan	To Be Removed	1 to 1		
2553	32	Walnut	To Be Removed	2 to 1	Multi-trunk	
2559	22	Pecan	To Be Removed	1 to 1		
2561	22	Pecan	To Remain	1 to 1		
2562	16	Pecan	To Be Removed	1 to 1		
2563	24	Pecan	To Be Removed	1 to 1		
2564	32	Pecan	To Be Removed	2 to 1		
2566	18	Pecan	To Be Removed	1 to 1		
2567	22	Pecan	To Be Removed	1 to 1		
2568	22	Walnut	To Be Removed	1 to 1		
2586	8	Pecan	To Remain	1 to 1		
2597	24	Pecan	To Remain	1 to 1		
2598	29	Pecan	To Be Removed	1 to 1		
2599	24	Pecan	To Be Removed	1 to 1		
2605	15	Walnut	To Be Removed	1 to 1		
2606	24	Pecan	To Remain	1 to 1		
2607	40	Bois D'Arc	To Remain	50%		
2655	6	Chinaberry	To Be Removed	0%	Multi-trunk	
2656	9	Chinaberry	To Be Removed	0%		
2676	5	Chinaberry	To Be Removed	0%	Multi-trunk	
2677	15	Pecan	To Remain	1 to 1		
2701	19	Pecan	To Remain	1 to 1		
2707	24	Pecan	To Remain	1 to 1		
2708	16	Pecan	To Remain	1 to 1		
2709	24	Pecan	To Remain	1 to 1		
2710	7	Pecan	To Remain	1 to 1		
2714	17	Pecan	To Be Removed	1 to 1	Multi-trunk	
2716	27	Bois D'Arc	To Be Removed	50%	Multi-trunk	
2750	12	Elim	To Be Removed	1 to 1		
2751	16	Elim	To Be Removed	1 to 1		
2752	16	Elim	To Be Removed	1 to 1		
2753	16	Elim	To Be Removed	1 to 1		
2806	40	Elim	To Be Removed	2 to 1	Multi-trunk	
2813	16	Walnut	To Be Removed	1 to 1		
2834	48	Elim	To Remain	2 to 1		
TOTAL ON SITE						1574
TOTAL TO BE MITIGATED						1221.5

TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (40) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE:

THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE:

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

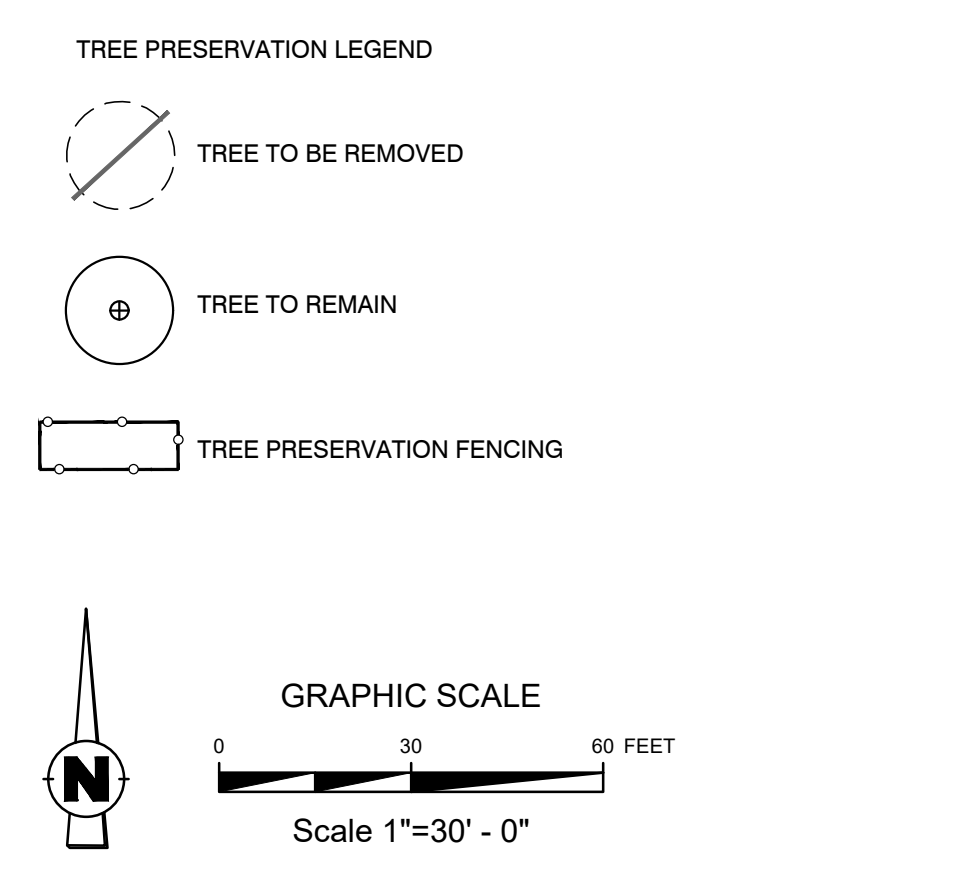
VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION:

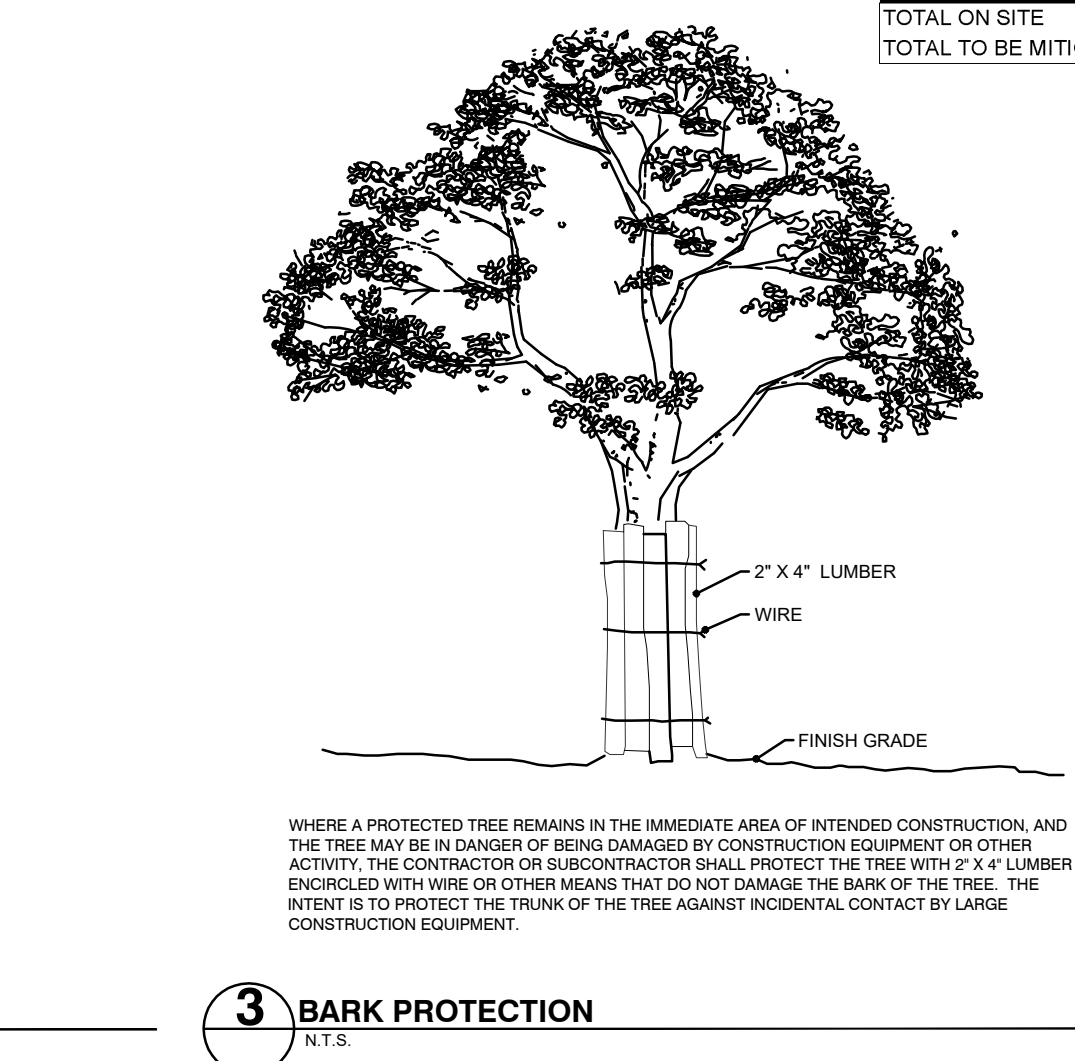
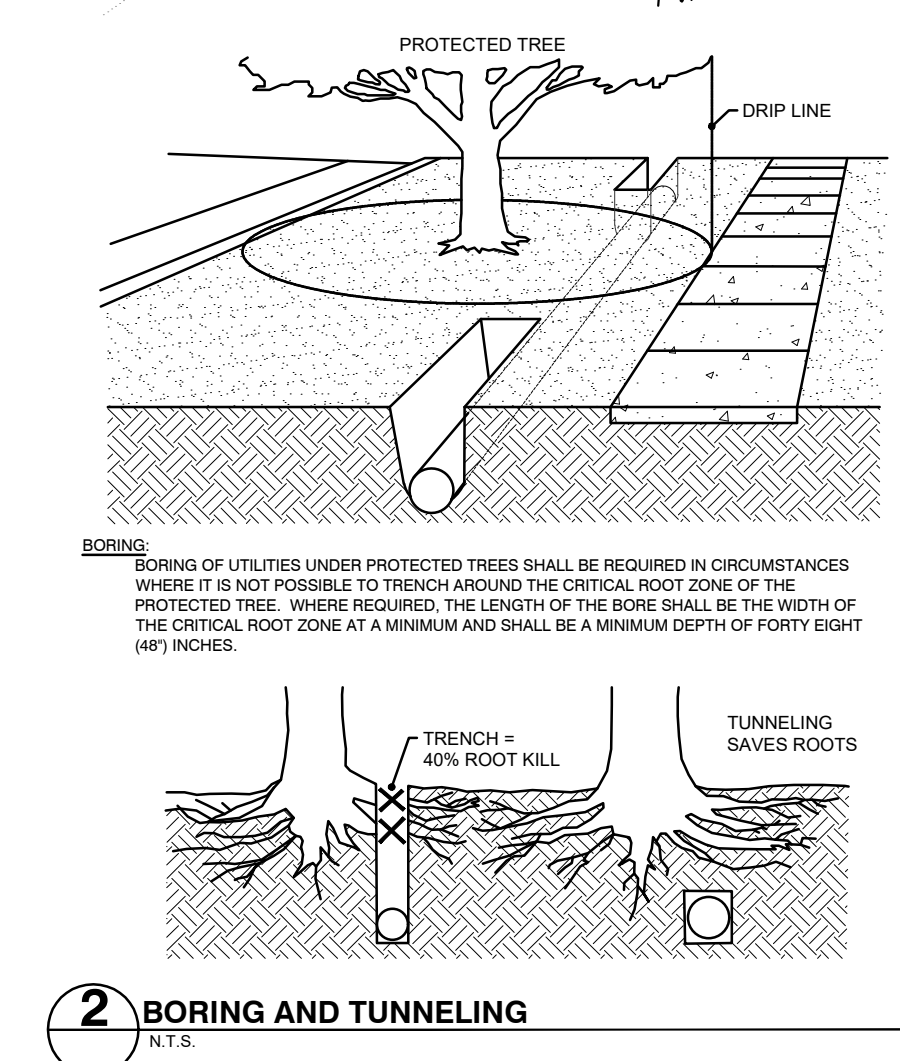
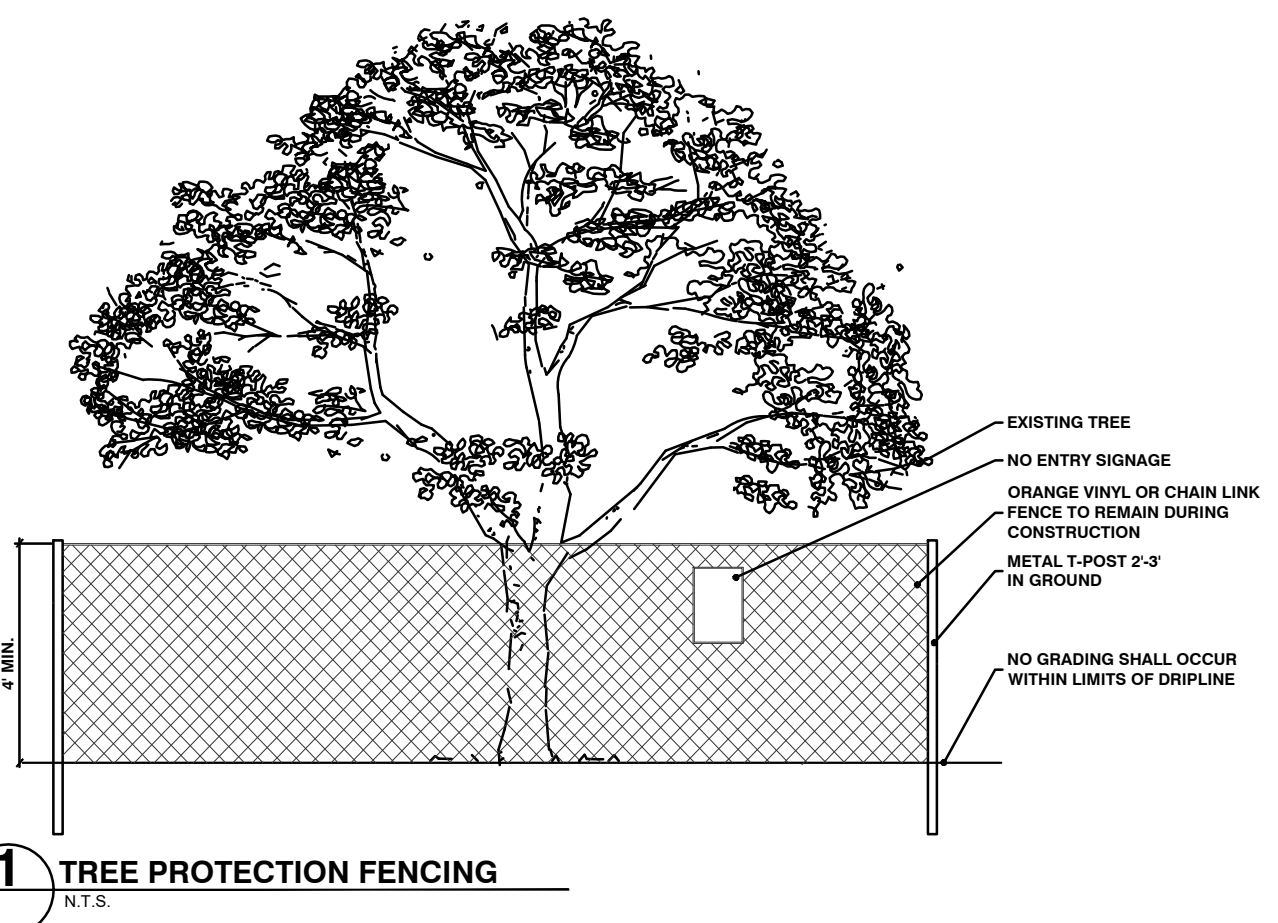
PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2"x4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.



OWNER/DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM



AWR
 AWR Designs, LLC
 P.O. Box 1746
 Alledo, Texas 76008
 amanda@awr-designs.com
 c. 512.517.5589

TREE PRESERVATION PLAN
RETAIL/RESTAURANT
ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 10, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 CASE No.: _____ DATE: 6/12/2019
 W.A. No. 19022

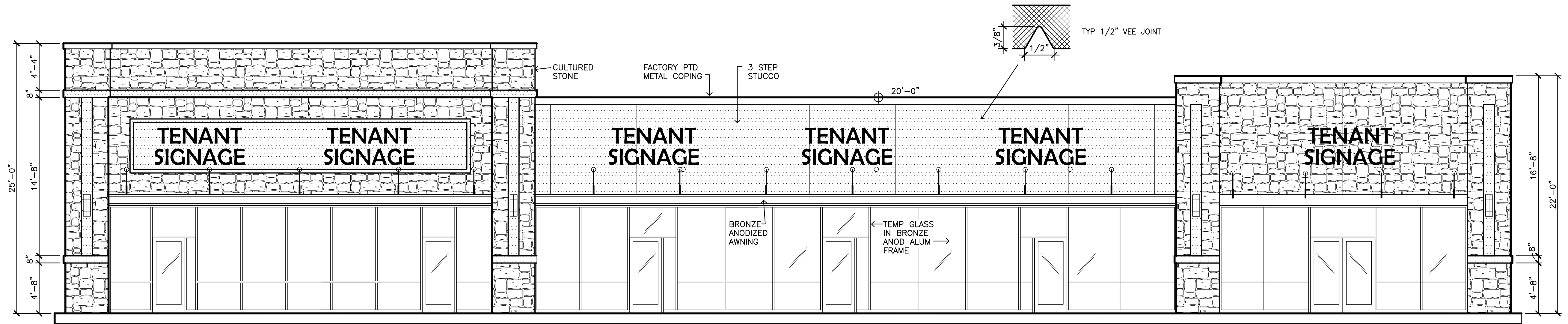


Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
MAIN PARKING	0	Fc	1.4	5.2	0.0	N.A.
PROPERTY LINE	N.A.	Fc	0.2	1.1	0.0	N.A.
SOUTH PARKING	0	Fc	1.6	3.0	0.3	5.3

Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Loss Factor
□	XA	13	LITHONIA KAD LED 40C 700 40K R4 MVOLT [MOUNTING] HS [FINISH]	8619	94	0.800
○	XB	22	LITHONIA OLLWD LED P1 40K MVOLT [FINISH]	264	8.6	1.000

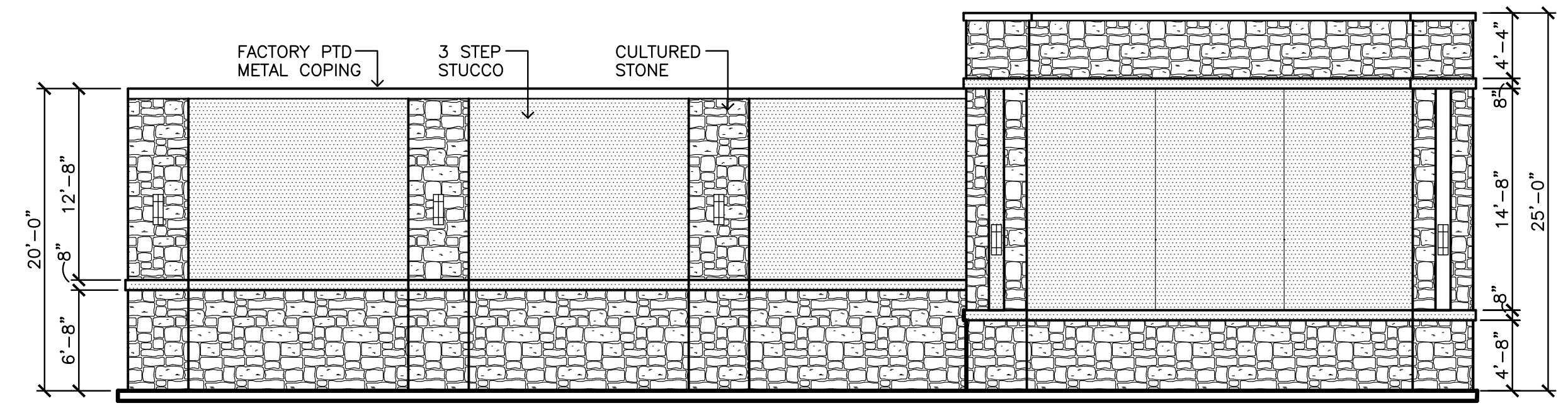
- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





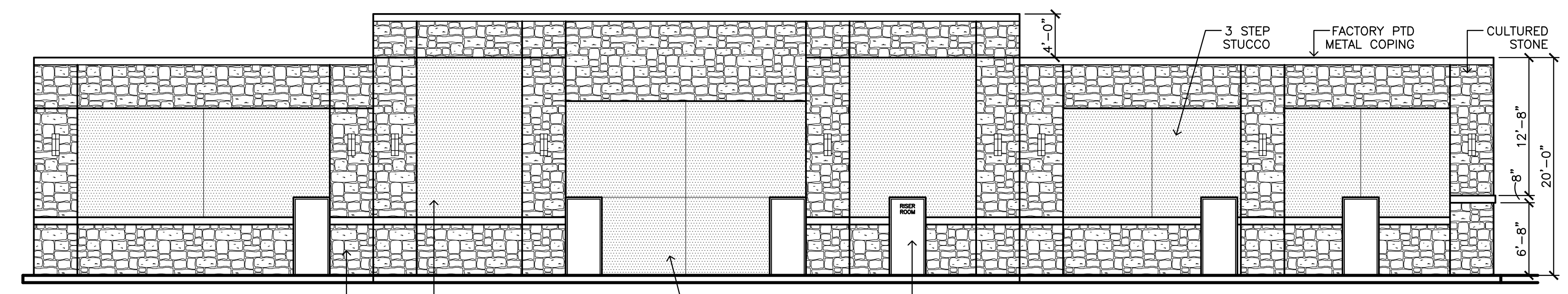
1 east elevation
 scale: 3/16" = 1'-0"

EAST FACADE: 1,472 SF (NO WINDOWS & DOORS)
 STONE: 828 SF, 56%
 3 STEP STUCCO: 644 SF, 44%



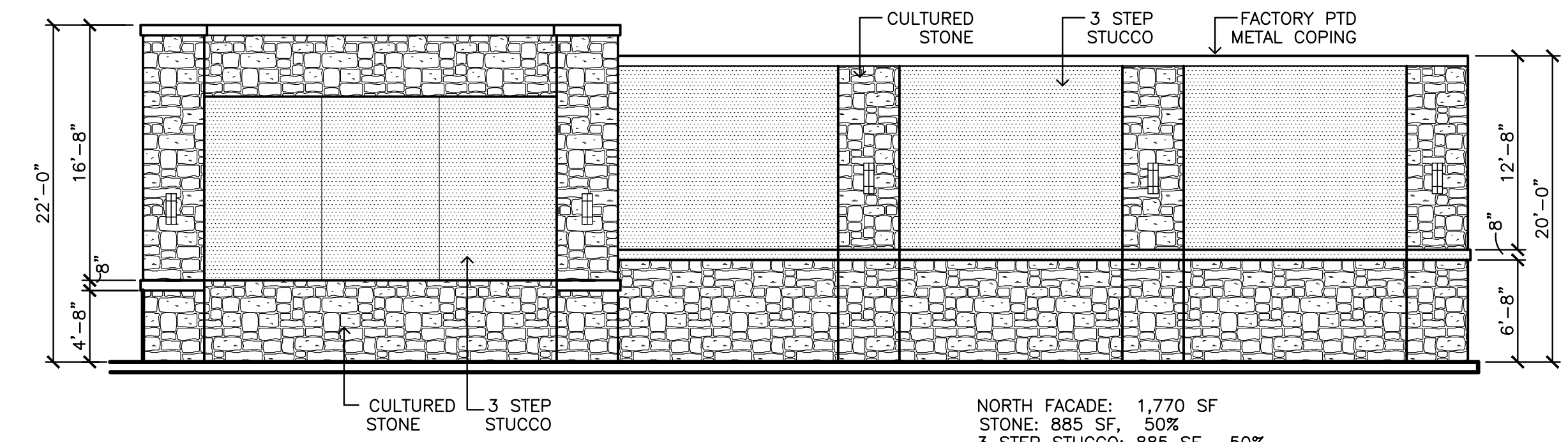
2 south elevation
 scale: 7/8" = 1'-0"

SOUTH FACADE: 1,930 SF
 STONE: 1,034 SF, 53%
 3 STEP STUCCO: 896 SF, 47%



3 west elevation
 scale: 1/8" = 1'-0"

WEST FACADE: 2,920 SF
 STONE: 1,460 SF, 50%
 3 STEP STUCCO: 1,460 SF, 50%



4 north elevation
 scale: 1/8" = 1'-0"

NORTH FACADE: 1,770 SF
 STONE: 885 SF, 50%
 3 STEP STUCCO: 885 SF, 50%



5 awning photo
 scale: nts

AWNING EXAMPLE. COLOR (BRONZE TO MATCH STOREFRONT)
 OWNER, DIMENSIONS AS SHOWN ON ROOF PLAN. TIE BACKS TO MATCH.
 CORNER DRAINS AS SHOWN.
 VENDOR: VICTORY AWNINGS 817-759-1600

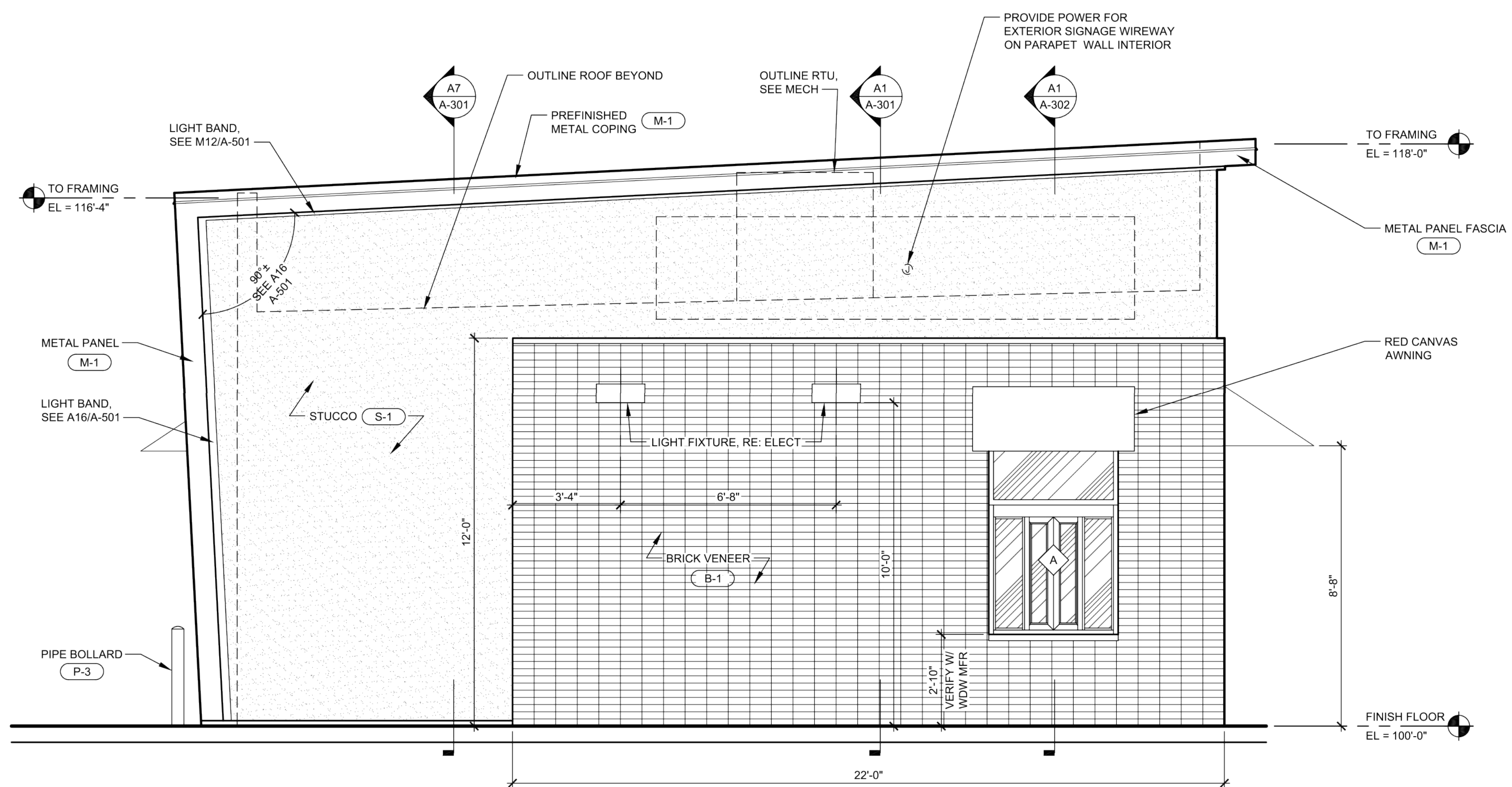
Owner:
 DA ENNIS 45 PARTNERS LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 Ridge Road
 Rockwall, Texas

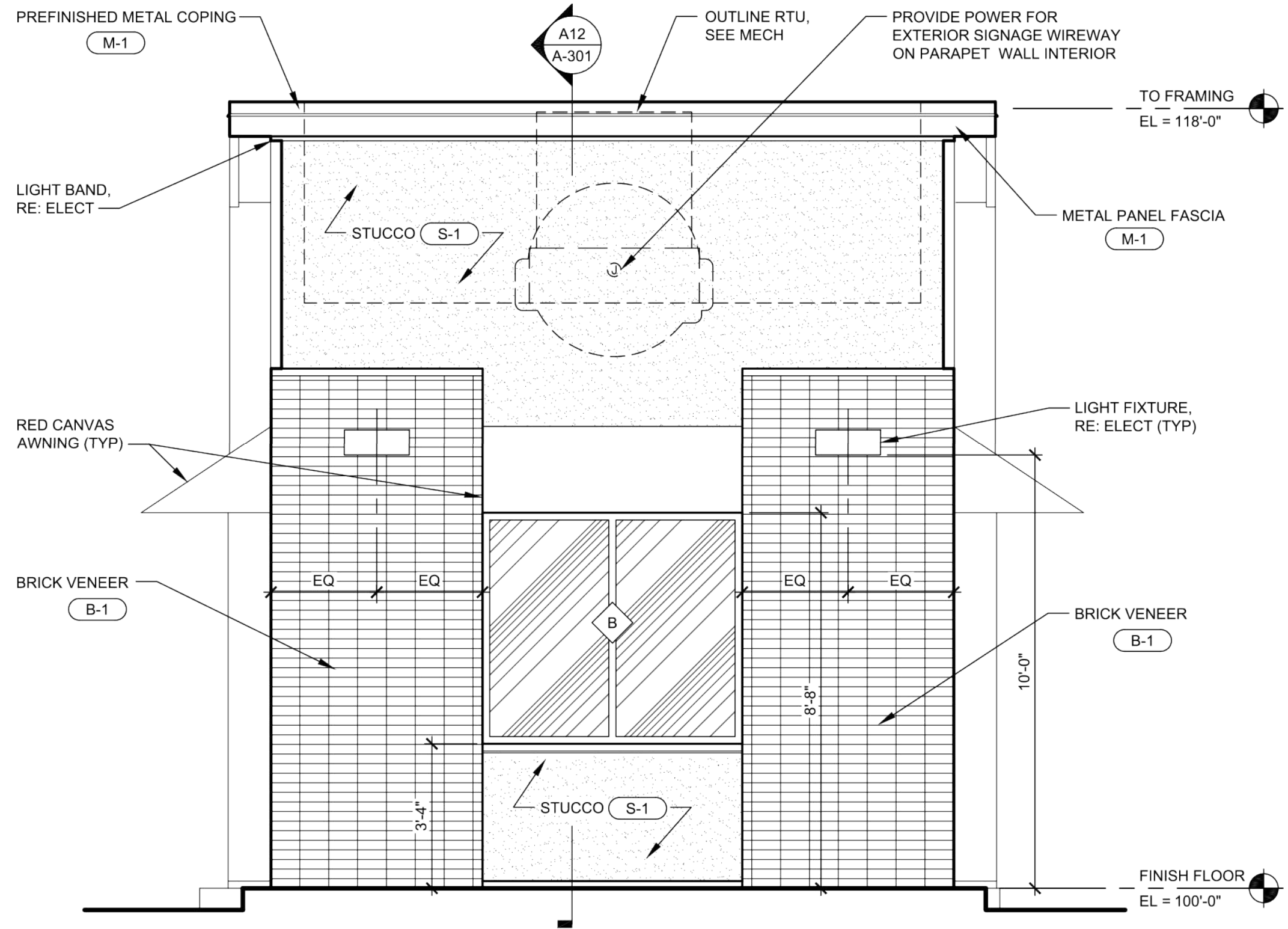
Scale: as noted
 Issue For:
 Site plan submittal 6-6-19

Sheet Number:

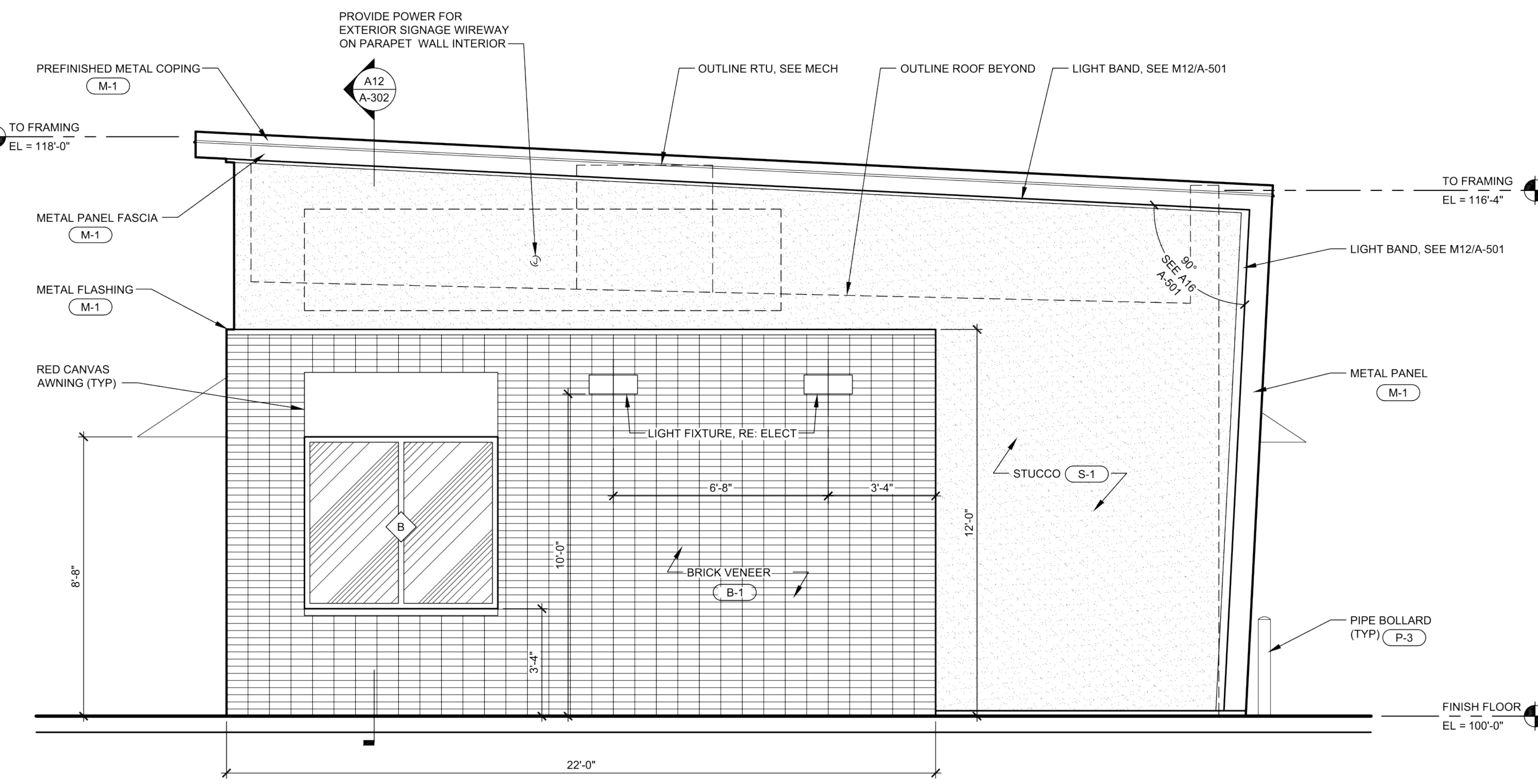
PRINTED: 6/13/2019 5:18 PM FILE: WIKER-PAVING_S18_LAS1_SAVED: 6/13/2019 3:12 PM SAVED BY: JAKEB FILE: SKOOTER ELEVATION.DWG
 BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



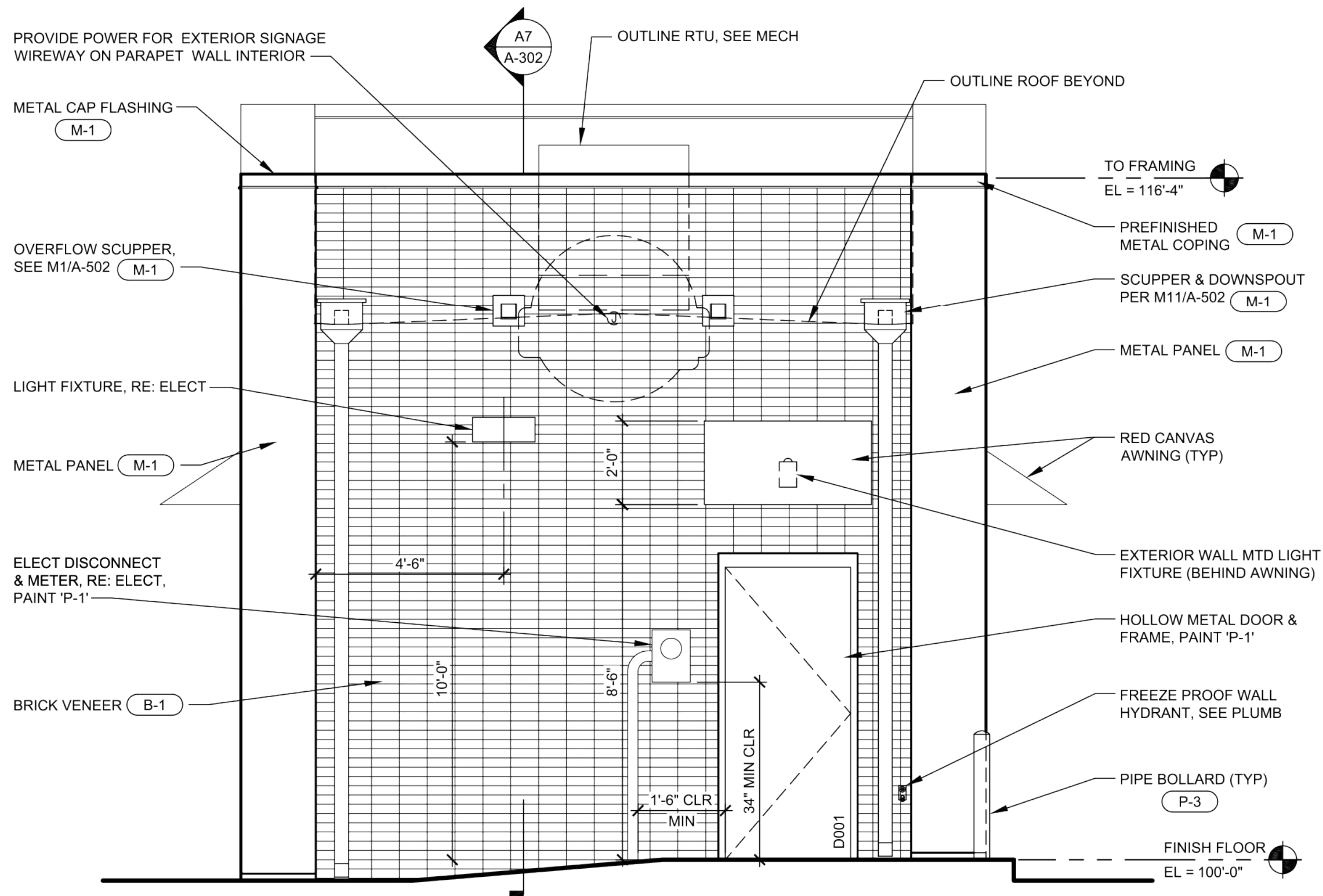
J1 EXTERIOR ELEVATION - NORTH
SCALE: 3/8" = 1'-0"



J13 EXTERIOR ELEVATION - WEST
SCALE: 3/8" = 1'-0"



A1 EXTERIOR ELEVATION - SOUTH
SCALE: 3/8" = 1'-0"



A13 EXTERIOR ELEVATION - EAST
SCALE: 3/8" = 1'-0"

LEGEND	
	- DOOR NUMBER
	- WINDOW TYPE
	- FINISH / MATERIAL IDENTIFIER
	- SECTION
	- SECTION NUMBER
	- SHEET SECTION SHOWN ON SIM = SIMILAR, OH = OPPOSITE HAND

DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY., STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203
 CHAD@JTEVANS.COM

COFFEE KIOSK ELEVATIONS
MIXED-USE DEVELOPMENT
3009 N. GOLIAD ST
ROCKWALL, TEXAS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: 07/09/2019
APPLICANT: Jake Fears, P.E.; *Weir & Associates, Inc.*
CASE NUMBER: SP2019-023; *Site Plan for Retail Buildings within PD-65*

SUMMARY

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property is a 2.542-acre vacant tract of land located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [*SH-205*]. The property was annexed on February 3, 1961 by *Ordinance No. 61-02*. According to the City's historic zoning maps, the subject property was zoned Single-Family 10 (SF-10) District on May 16, 1983. On January 3, 2006, the subject property was rezoned to Planned Development District 65 (PD-65) for General Retail (GR) District land uses by *Ordinance No. 06-02*. The subject property continues to be zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses.

PURPOSE

On June 13, 2019, the applicant -- *Jake Fears, P.E. of Weir & Associates, Inc.* -- submitted an application requesting approval of a site plan for the purpose of constructing a ~11,000 SF single story multi-tenant retail building on the subject property. The site is subject to the requirements and land uses stipulated for the General Retail (GR) District and as stated in Planned Development District 65 (PD-65), the North SH-205 Overlay (N SH-205 OV) District, and the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is generally located north of the intersection of Pecan Valley Drive and N. Goliad Street [*SH-205*], on the west side of N. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the Children's Lighthouse Daycare, which is located on a 3.543-acre parcel of land zoned Planned Development District 65 (PD-65) and Agricultural (AG) District. Continuing north from this property are additional single-family residential homes zoned Single-Family Estate 1.5 (SFE-1.5) District, Single-Family 16 (SF-16) District, and Agricultural (AG) District.

South: Directly south of the subject property is Pecan Valley Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. South of this roadway is Walgreens Pharmacy, which is situated on a 1.9894-acre parcel of land zoned Planned Development

District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is North Lakeshore Drive, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is CVS Pharmacy, which is situated on a 2.519-acre parcel of land zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. East of the pharmacy is a 62.484-acre vacant tract of land, which is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is W. Quail Run Road, followed by an 11.723-acre vacant tract of land zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses. In addition, there are five (5) single-family homes zoned Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. a retail facility*) is allowed *by-right* in a General Retail (GR) District. Excluding the variances being requested, the submitted site plan, landscape plan, and building elevations, generally conform to the technical requirements contained within Planned Development District 65 (PD-65), the North SH-205 Overlay (N. SH-205 OV) District, and the Unified Development Code (UDC). The proposed multi-tenant retail facility will be constructed utilizing cultured stone, stucco, store front glass, canopies, and will incorporate a flat roof design. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	x=67,502 SF; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	x>364-Feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	x>177-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	x>50-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	x=10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	x>10-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	<25-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	37%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	x>90%; Conformance
<i>Minimum Number of Parking Spaces</i>	56 Spaces	57 Spaces: In Conformance
<i>Minimum Stone Requirement</i>	20%	x>20%; Exception Requested for Cultured Stone
<i>Minimum Landscaping Percentage</i>	15%	x=47%; In Conformance
<i>Maximum Impervious Coverage</i>	85-95%	53%; In Conformance

TREESCAPE AND LANDSCAPE PLAN

According to the Tree Preservation Plan provided by the applicant, a total of 1,159-inches of trees will be removed from the site and 551-inches of trees will be preserved on the site. This grants the applicant a tree preservation credit of 48-inches and reduces the overall mitigation balance to 1,111-inches. In addition, the landscape plan shows that the applicant will be planting a total of 94-inches of trees, which will further reduce the mitigation balance to 1,017-inches. The applicant has indicated that they will work with the Parks and Recreation Department to satisfy the mitigation balance, or request an *Alternative Tree Mitigation Plan* at a later date. Staff has included a condition of approval requiring that the tree mitigation balance be satisfied prior to the filing of a final plat.

According to Section 4, *Tree Removal Permit*, of Article IX, *Tree Preservation*, of the Unified Development Code, “(f)eature trees may not be removed without the approval of the Planning and Zoning Commission.” A feature tree is defined as any tree that is greater than 25-inches. In this case, the applicant is requesting that the Planning and Zoning Commission allow the removal of five (5) feature trees. Staff has reviewed the location of each feature trees to see if preservation would be an option for the Planning and Zoning Commission to consider; however, it appears that each of the feature trees would need to be removed to accommodate the applicant’s proposed development. As a compensatory measure the applicant will be meeting the two (2) to one (1) mitigation ratio required by the UDC.

CONFORMANCE WITH THE CITY’S CODES

Subsection 4.04, *General Retail (GR) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the General Retail (GR) District is a district intended to provide limited retail and service uses for nearby residential neighborhoods and not intended to be a major commercial/retail district. General Retail (GR) Districts should try to avoid intensive commercial land uses that carry large volumes of retails traffic and should be adequately buffered from residential land uses. General Retail (GR) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district. Since the General Retail (GR) District is located close to residential areas, the development standards are more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. In this case, the applicant’s proposal is adjacent to N. Goliad Street [*SH-205*] -- a principle arterial identified as a TXDOT 4D on the City’s Master Thoroughfare Plan -- and West Quail Run Road. The multi-tenant retail land use is not typically considered an intensive commercial land use, nor is it a high-volume water/wastewater user. With regard to the land use, a retail facility is permitted *by-right* in a General Retail (GR) District.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of Section 6.02, *General Overlay District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC):

- (1) *Material and Masonry Composition*. According to the *General Overlay District Standards*, “(a) minimum of 20% natural or quarried stone is required on all building facades.” In this case the applicant is proposing to utilize a cultured or simulated stone product (*i.e. Coronado Stone*). The UDC does allow the Planning and Zoning Commission to, “...grant the use of high quality manufactured or cultured stone in lieu of natural or quarried stone if it is determined that the application of the manufactured or cultured stone will be complimentary and integral to the design of the building.” In determining if the cultured stone is suitable for the proposed building the Planning and Zoning Commission is asked to consider a recommendation from the Architectural Review Board (ARB) and the shape, texture, size, quality and warranty of the product being proposed. A $\frac{3}{4}$ -majority vote is required for the approval of any variance to the *General Overlay District Standards*.
- (2) *Four (4) Sided Architecture*. Buildings are to be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case, the applicant’s proposed building does not incorporate details and features found on the primary façade such as canopies, storefront glass, and detailed accents associated with the wall sconces. A variance to this standard requires approval by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). A $\frac{3}{4}$ -majority vote is required for the approval of any variance to the *General Overlay District Standards*.

These variances are discretionary decisions for the Planning and Zoning Commission and require approval pending a recommendation from the Architectural Review Board (ARB). In the event that the

variances are denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the North Lakeshore District. According to the district, this is an established district that is has been developed with medium density and suburban residential homes. It is not anticipated that there will be changes to the district's development patterns. The district strategies for the North Lakeshore District state that, "(n)on-residential infill development should be designed utilizing an architectural style and scale that will complement the adjacent residential structures." Additionally, commercial development within this district is intended to support the surrounding residential subdivisions. In this case, the applicant is proposing a multi-tenant retail facility on the subject property that appear to blend with the established architecture along N. Goliad Street [SH-205], and that will act as a convenience center for the adjacent residential developments.

ARCHITECTURAL REVIEW BOARD (ARB):

On June 25, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations. With the number of variances to the North SH-205 Overlay (N. SH-205 OV) District and exceptions to the Unified Development Code (UDC) being requested -- *as outlined in staff's report* -- the ARB recommended that the applicant meet all of the standards as prescribed in the N. SH-205 Overlay (N. SH-205 OV) District and the UDC. The ARB will review the revision at the July 9, 2019 meeting and forward a recommendation to the Planning and Zoning Commission.

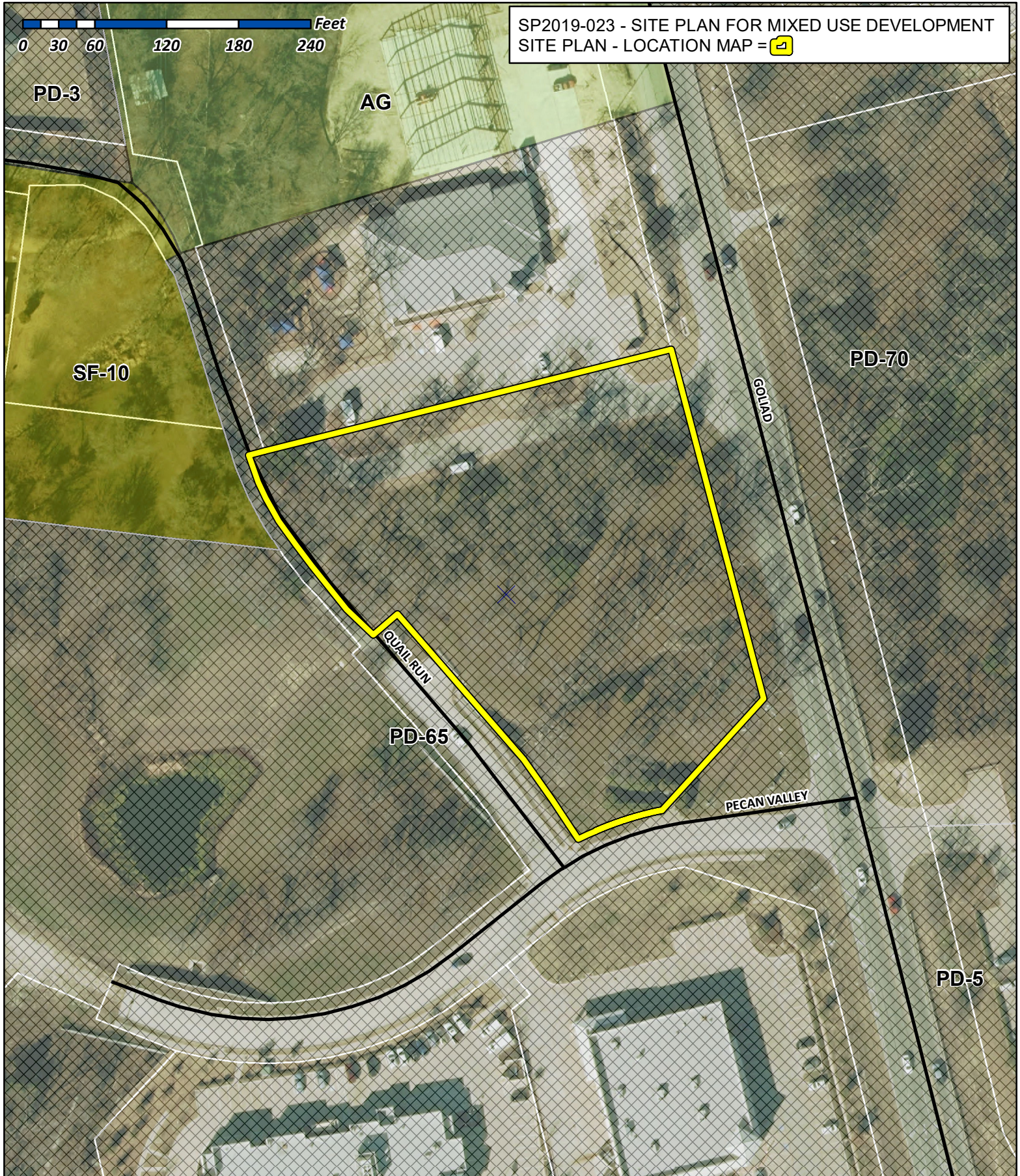
CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) All Roof Top Units (RTU's) or HVAC equipment will be screened so that units are not visible from N. Goliad Street, Pecan Valley Drive, and W. Quail Run Road;
- (3) The site directly adjacent to the intersection of Pecan Valley Drive and N. Goliad Street [SH-205] (*i.e. the location of the proposed restaurant, less than 2,000 SF*) will require the approval of a Specific Use Permit (SUP) and site plan;
- (4) The applicant shall be required to satisfy the outstanding tree mitigation balance prior to the filing of the final plat; and,
- (5) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



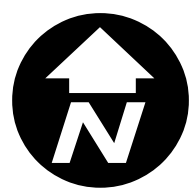
SP2019-023 - SITE PLAN FOR MIXED USE DEVELOPMENT
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LEGEND

- (X) PARKING COUNT
- [Pattern] LANDSCAPE AREA (REF: LANDSCAPE PLAN)
- [Pattern] CONCRETE SIDEWALK
- [Pattern] CONCRETE PAVEMENT
- [Pattern] RIGHT-OF-WAY DEDICATION

GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
- ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

FEMA NOTE

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

DEVELOPER

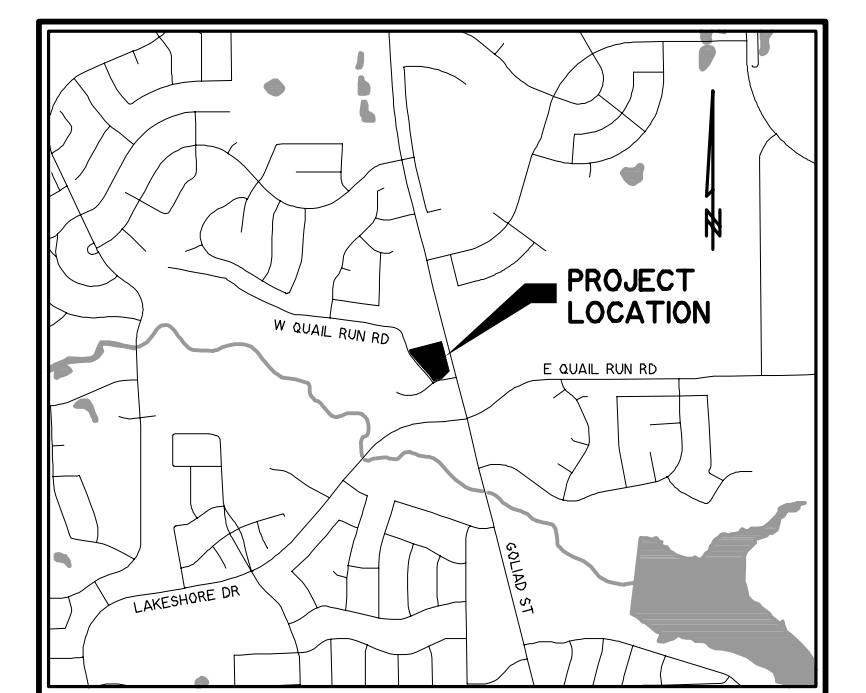
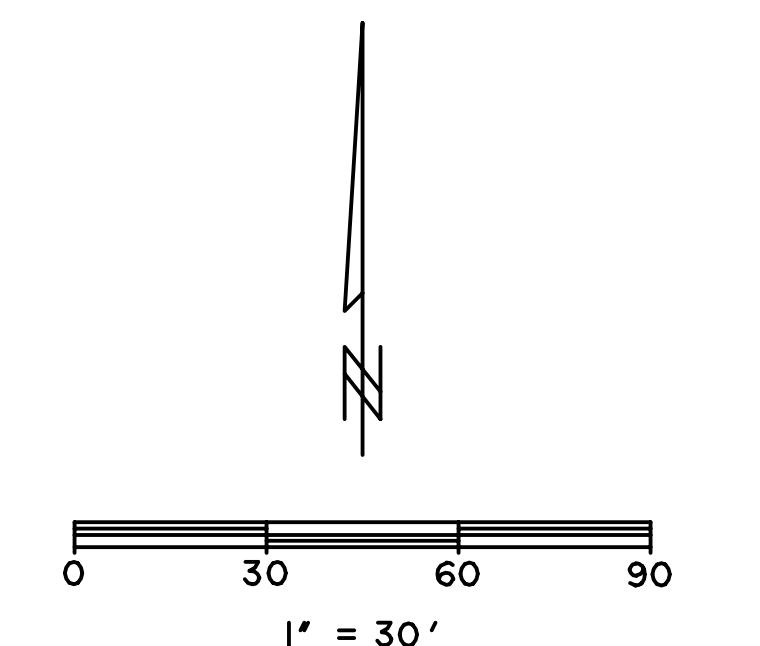
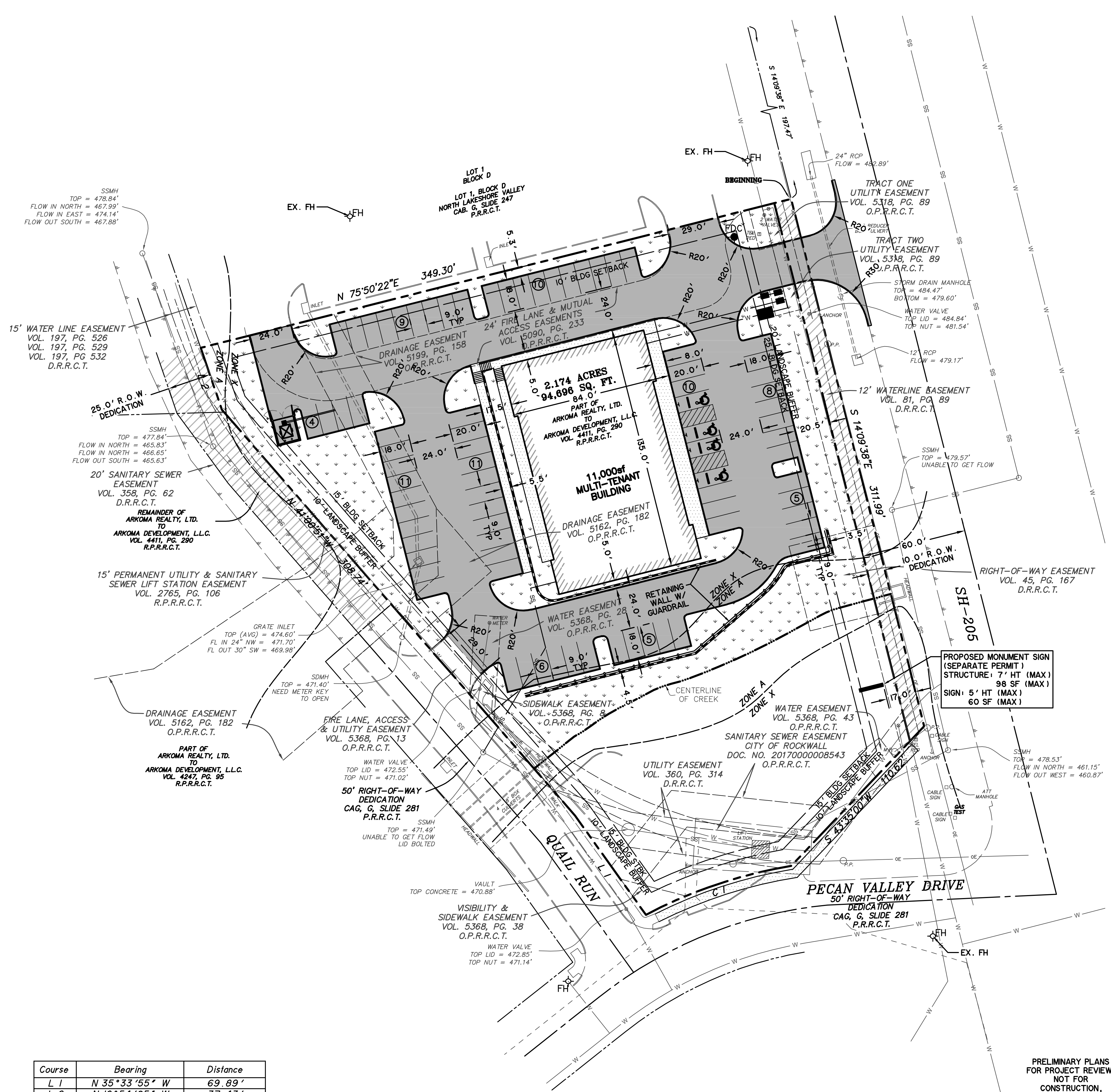
GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE I300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203
 CHAD@JTEVANS.COM

ENGINEER

WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



VICINITY MAP
1" = 2,000'

SITE DATA CHART

ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
LOT AREA	NORTH (ARTIFICIAL): 2.174± AC (94,696 SF) SOUTH (ARTIFICIAL): 1.682± AC (73,271 SF) TOTAL: 0.492± AC (21,425 SF)
BUILDING AREA	RETAIL: 8,000 SF RESTAURANT: 3,000 SF TOTAL: 11,000 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
PARKING REQ'D	8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 TOTAL = 62
ACCESSIBLE PARKING PROVIDED	4
TOTAL PARKING PROVIDED	79
BUILDING/LOT COVERAGE	15.0%
LANDSCAPE AREA	22,807 SF
LANDSCAPE COVERAGE	31.1%

**SITE PLAN
 MIXED-USE DEVELOPMENT
 3005 N. GOLIAD ST
 ROCKWALL, TEXAS**

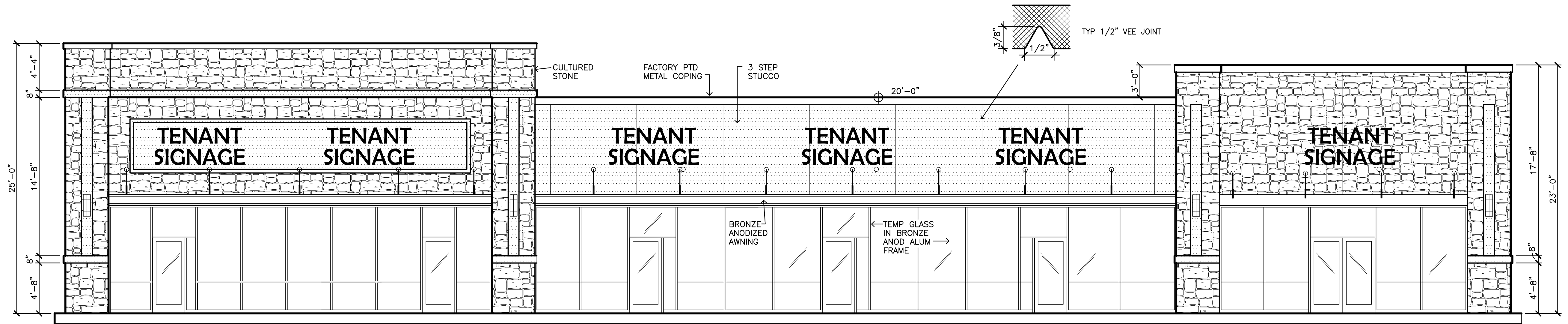
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

July 1, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS

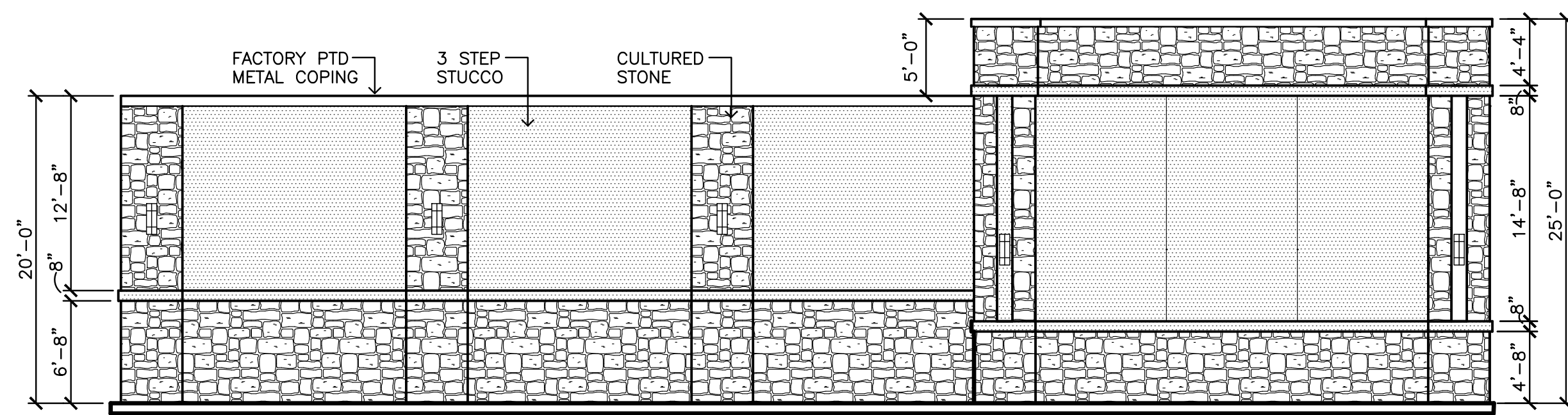
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 CASE No.: SP2019-023

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.



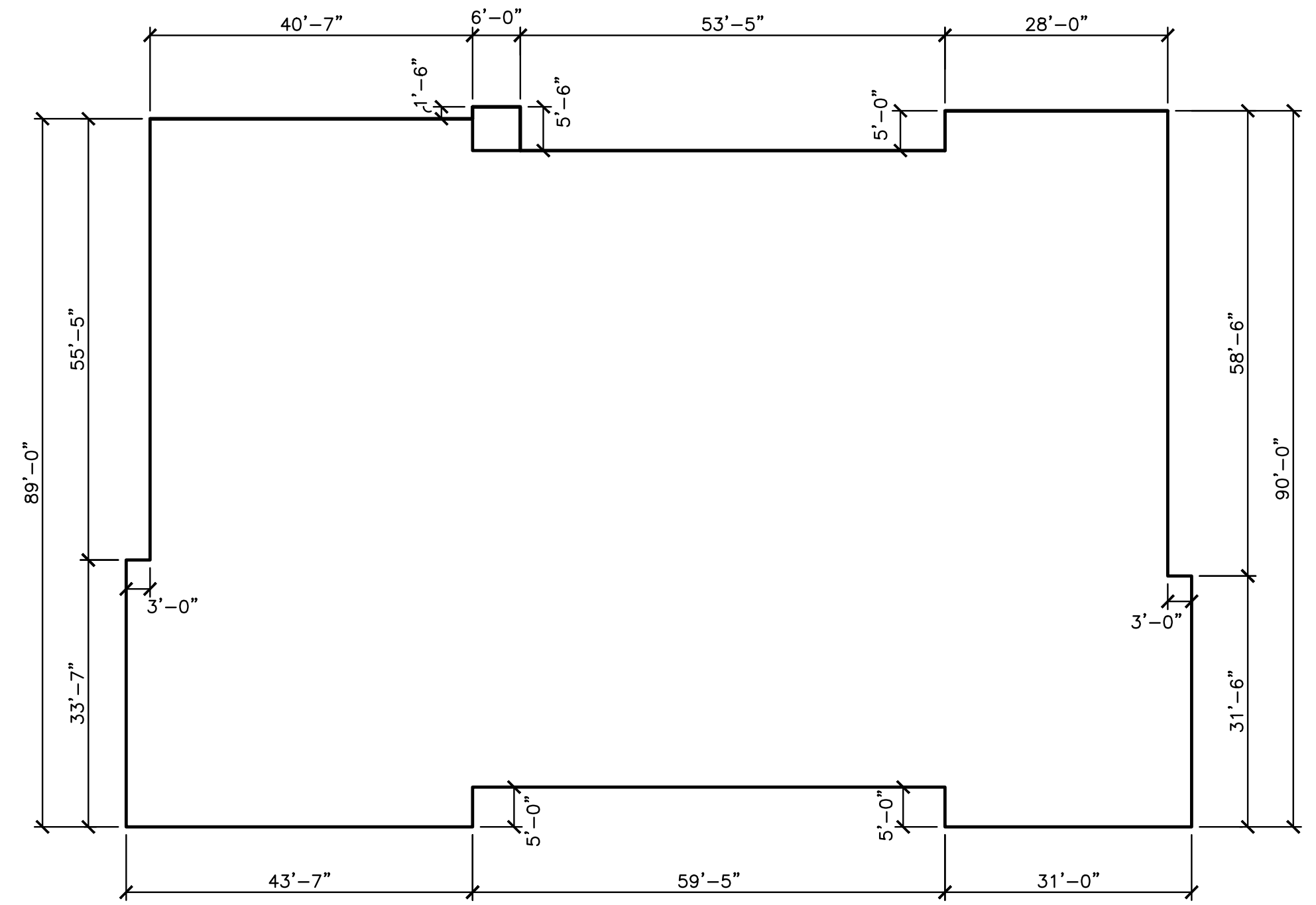
1 east elevation
 scale: 3/16" = 1'-0"

EAST FACADE: 1,503 SF (NO WINDOWS & DOORS)
 STONE: 859 SF, 57%
 3 STEP STUCCO: 644 SF, 43%

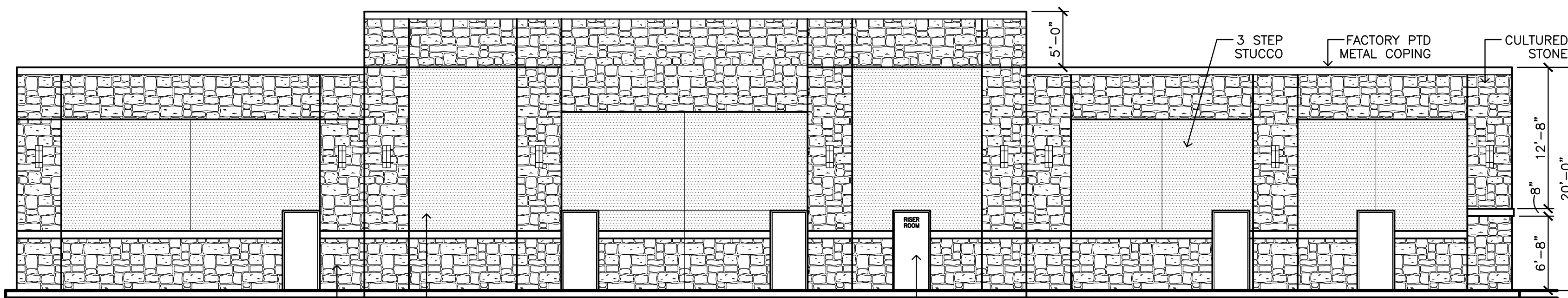


2 south elevation
 scale: 7/8" = 1'-0"

SOUTH FACADE: 1,930 SF
 STONE: 1,034 SF, 53%
 3 STEP STUCCO: 896 SF, 47%

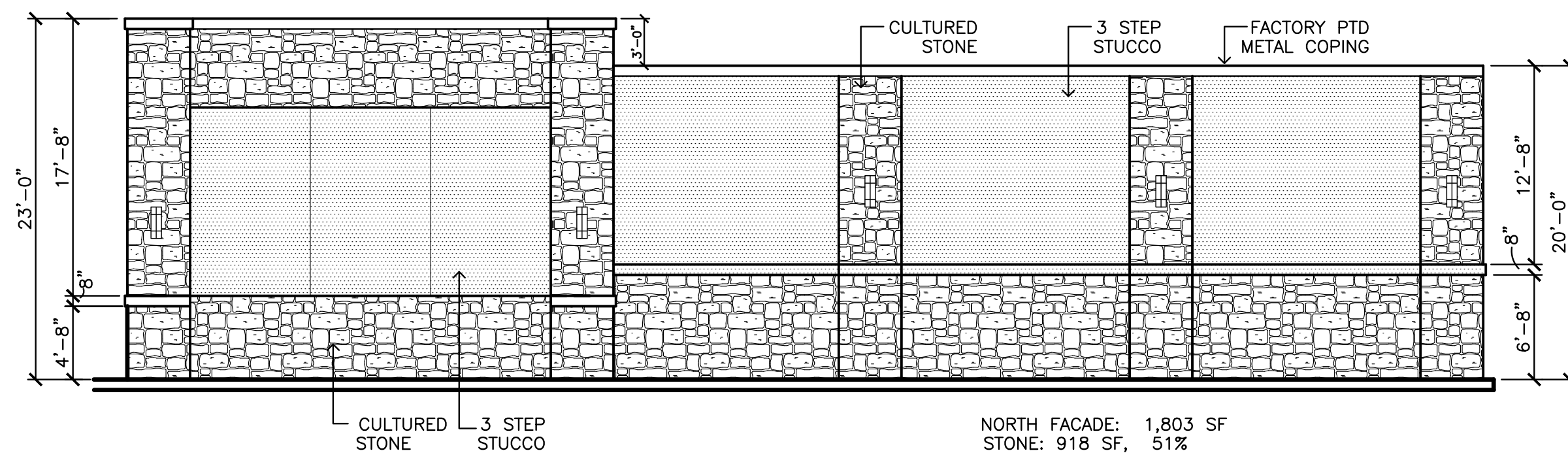


5 articulation floor plan
 scale: 3/32" = 1'-0"



3 west elevation
 scale: 1/8" = 1'-0"

WEST FACADE: 2,949 SF
 STONE: 1,598 SF, 54%
 3 STEP STUCCO: 1,460 SF, 46%



4 north elevation
 scale: 1/8" = 1'-0"

NORTH FACADE: 1,803 SF
 STONE: 918 SF, 51%
 3 STEP STUCCO: 885 SF, 49%

EXTERIOR MATERIAL SELECTIONS

CORANADO CULTURED STONE: COUNTRY RUBBLE CHALK W/ WHITE MORTAR

STUCCO: SW "VIRTUAL TAUPE" 7039

STOREFRONT AND AWNINGS: BRONZE ANODIZED ALUMINUM

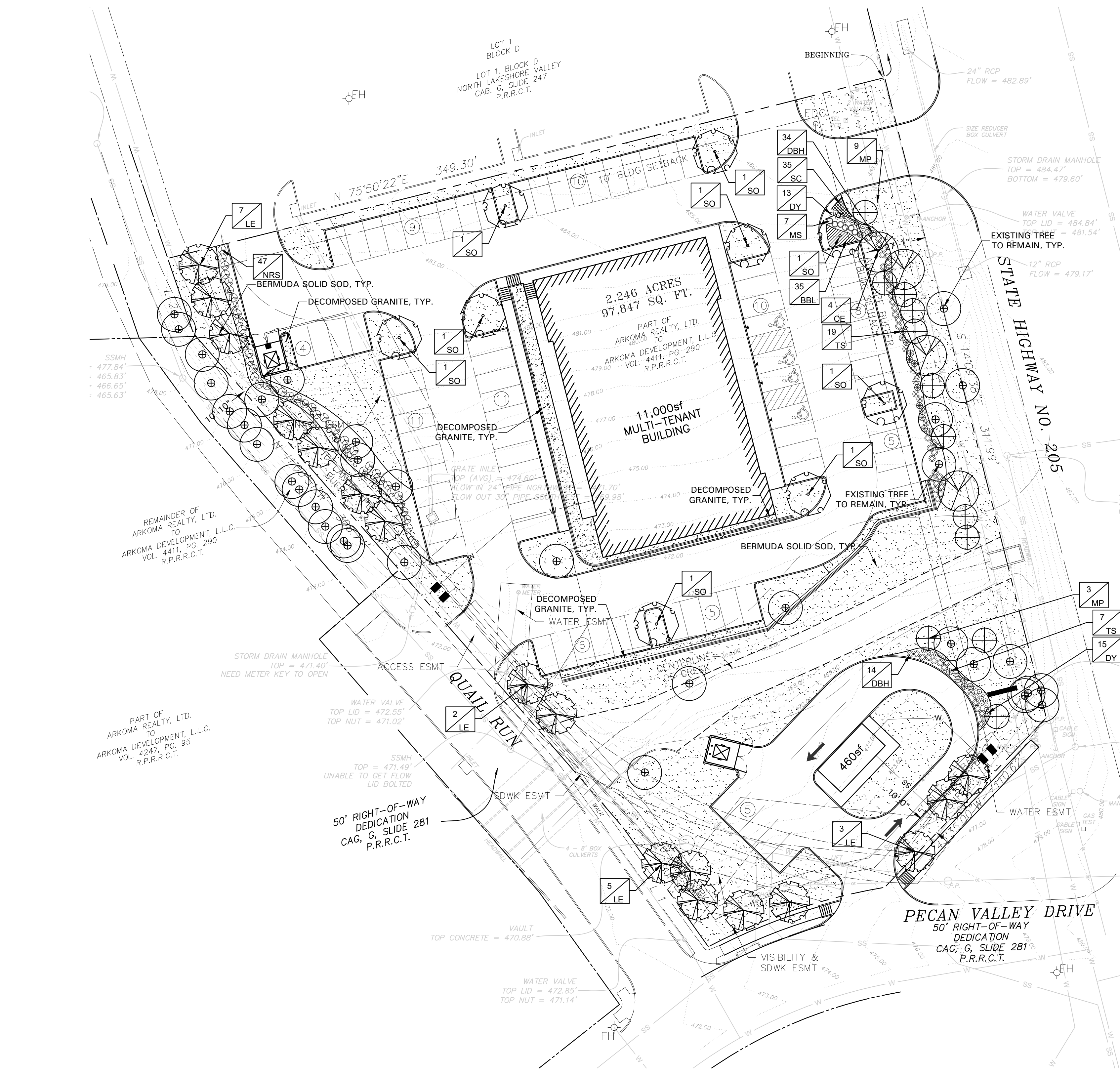
Owner:
 DA ENNIS 45 PARTNERS LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 Ridge Road
 Rockwall, Texas

Scale: as noted
 Issue For:
 Site plan submittal 6-6-19
 Site plan REVISIONS 7-1-19

Sheet Number:
A1
 Exterior Elev's

PRINTED: 6/30/2019 10:03 AM LAST SAVED: 6/30/2019 10:03 AM FILE: AMANDARICHARDSON.DWG 190688.LANDSCAPE SERIES.DWG



LANDSCAPE TABULATIONS	
ROCKWALL, TEXAS - SH205 Overlay	
1-30 OVERLAY REQUIREMENTS	
1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a maximum height of 48".	
2. Three canopy trees (4" cal.) along with four accent trees are required per 100 feet of the SH-205 r.o.w.	
3. One tree shall be provided (3" cal.) for every 50 l.f. within the landscape buffers for Pecan Valley and Quail Run.	
REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
9 canopy trees, 4" cal.	4 canopy trees, 4" cal.; 5 existing trees
12 accent trees, 4" ht.	12 accent trees, 4" ht.
Pecan Valley = 192 l.f.	
REQUIRED	PROVIDED
10' wide buffer	10' wide buffer
6 canopy trees, 3" cal.	2 existing trees, 5 canopy trees, 3" cal.
Quail Run = 413 l.f.	
REQUIRED	PROVIDED
10' wide buffer	10' wide buffer
14 canopy trees, 3" cal.	2 existing trees, 12 canopy trees, 3" cal.
PARKING LOT LANDSCAPE	
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars. (84 parking spaces)	
REQUIRED	PROVIDED
36" screen	36" screen
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.; 1 existing 20" Elm

GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION: THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS UNLESS OTHERWISE NOTED. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOLID SOD: SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PERMITS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH: SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4" OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION: IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS: VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINING IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS: STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

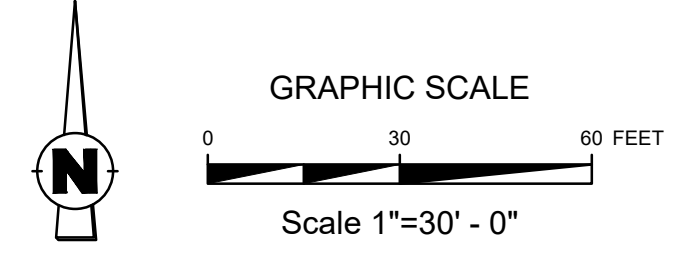
DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	14' ht., 4' spread, matching
17	LE	Lacebark Elm	<i>Ulmus parvifolia 'Sempervirens'</i>	3" cal.	12' ht., 4' spread
9	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
ORNAMENTAL TREES					
12	MP	Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
SHRUBS					
48	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
28	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Candea'</i>	5 gal.	full, 24" sprd, 24" o.c.
7	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
47	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
26	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" sprd, 30" o.c.
GROUND COVER/VINES/GRASS					
35	BBL	Big Blue Liriope	<i>Liriope muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.
35	SC	Seasonal Color Bermuda Solid Sod	<i>Cynodon dactylon</i>	4" pots	full, 12" o.c.
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

OWNER/DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM



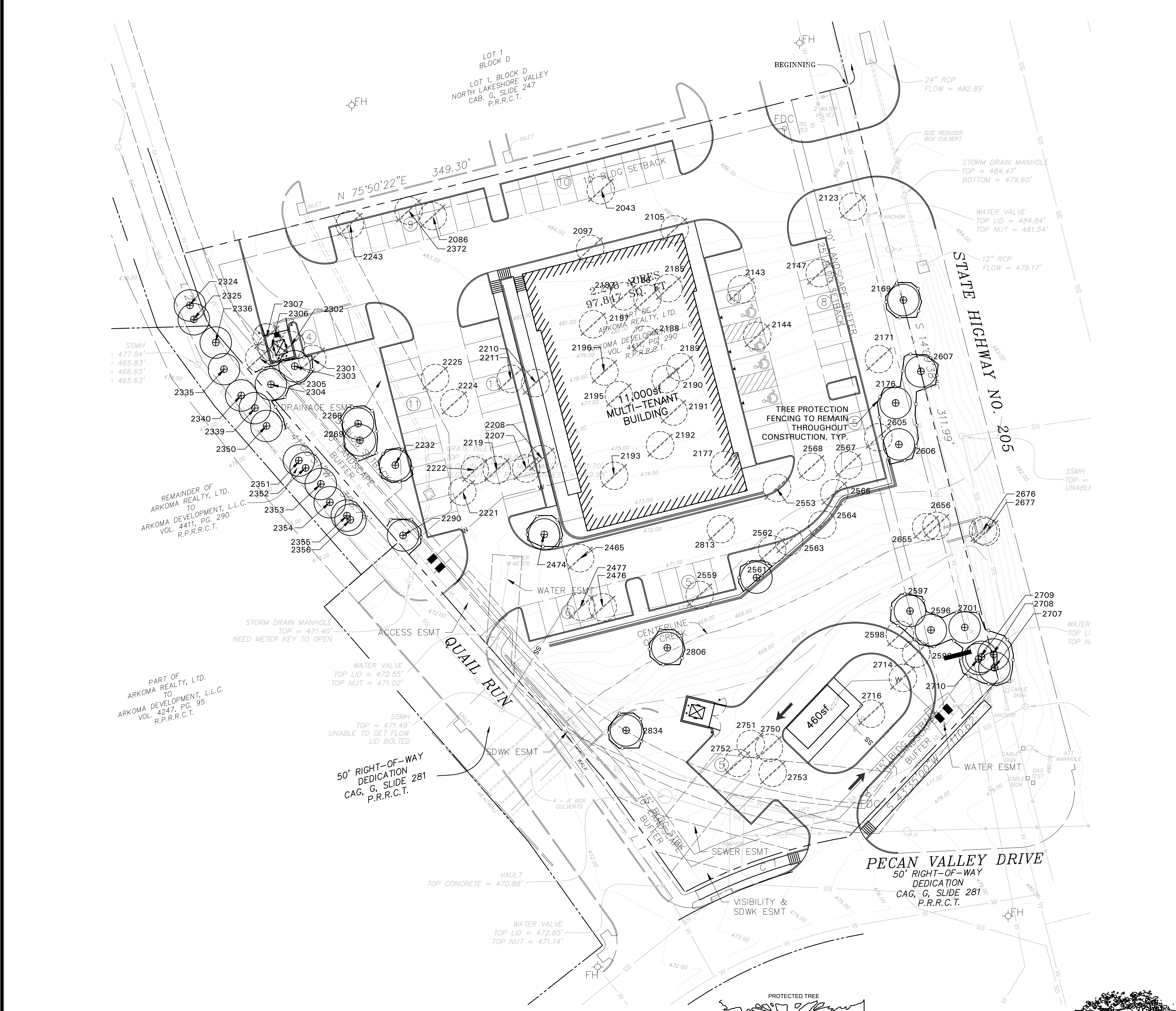
AWR
 AWR Designs, LLC
 P.O. Box 1746
 Aliso, Texas 76008
 amanda@awr-designs.com
 c. 512.517.5589

LANDSCAPE PLAN
 MIXED-USE DEVELOPMENT
 3005 N. GOLIAD ST
 &
 150 PECAN VALLEY DR
 ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 30, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRINTED: 6/30/2019 10:03 AM LAST SAVED: 6/30/2019 10:03 AM FILE: 190688_LANDSCAPE SERIES.DWG



EXISTING TREE NO.	CALIPER	TREE SPECIES	REMAIN/REMOVE	MITIGATION REQ.	MITIGATION CREDIT	NOTES
2043	32	Pecan	To Be Removed	2 to 1		
2086	20	Elm	To Be Removed	1 to 1		
2097	18	Elm	To Be Removed	1 to 1		
2105	16	Elm	To Be Removed	1 to 1		
2123	18	Hackberry	To Be Removed	50%		
2143	18	Elm	To Be Removed	1 to 1		
2144	20	Elm	To Be Removed	1 to 1		
2147	24	Cedar	To Be Removed	50%		
2169	14	Elm	To Be Removed	1 to 1		
2171	28	Bois D'Arc	To Be Removed	0%		
2176	24	Pecan	To Remain			
2177	30	Walnut	To Be Removed	2 to 1		
2185	20	Elm	To Be Removed	1 to 1		
2186	16	Elm	To Be Removed	1 to 1		
2187	16	Elm	To Be Removed	1 to 1		
2188	16	Elm	To Be Removed	1 to 1		
2189	16	Elm	To Be Removed	1 to 1		
2190	12	Elm	To Be Removed	1 to 1		
2191	16	Elm	To Be Removed	1 to 1		
2192	24	Cedar	To Be Removed	50%		
2193	16	Elm	To Be Removed	1 to 1		
2195	18	Elm	To Be Removed	1 to 1		
2196	12	Elm	To Be Removed	1 to 1		
2197	16	Elm	To Be Removed	1 to 1		
2207	12	Elm	To Be Removed	1 to 1		
2208	14	Elm	To Be Removed	1 to 1		
2210	16	Elm	To Be Removed	1 to 1		
2211	16	Elm	To Be Removed	1 to 1		
2219	16	Elm	To Be Removed	1 to 1		
2221	16	Elm	To Be Removed	1 to 1		
2222	12	Elm	To Be Removed	1 to 1		
2224	17	Elm	To Be Removed	1 to 1		
2225	17	Elm	To Be Removed	1 to 1		
2232	14	Elm	To Remain			
2243	4	Elm	To Be Removed	1 to 1		
2268	12	Elm	To Remain			
2269	18	Elm	To Remain			
2290	20	Elm	To Remain			
2301	16	Elm	To Be Removed	1 to 1		
2301	16	Elm	To Be Removed	1 to 1		
2303	18	Elm	To Remain			
2304	16	Elm	To Remain			
2305	12	Elm	To Be Removed	1 to 1		
2306	12	Elm	To Be Removed	1 to 1		
2307	12	Elm	To Be Removed	1 to 1		
2324	8	Elm	To Remain			Not on Property
2325	6	Elm	To Remain			Not on Property
2335	13	Elm	To Remain			Not on Property, Multi-trunk
2336	6	Elm	To Remain			Not on Property
2339	6	Elm	To Remain			Not on Property, Bent
2340	12	Elm	To Remain			Not on Property
2350	12	Elm	To Remain			Not on Property
2351	16	Elm	To Remain			Not on Property
2352	10	Elm	To Remain			Not on Property
2353	5	Elm	To Remain			Not on Property
2354	9	Elm	To Remain			Not on Property
2355	14	Elm	To Remain			Not on Property
2356	6	Elm	To Remain			Not on Property
2372	8	Bean Tree	To Be Removed	0%		
2455	14	Elm	To Be Removed	1 to 1		
2474	20	Elm	To Remain			
2476	22	Pecan	To Be Removed	1 to 1		
2477	18	Pecan	To Be Removed	1 to 1		
2505	32	Walnut	To Be Removed	2 to 1		Multi-trunk
2509	22	Pecan	To Be Removed	1 to 1		
2521	22	Pecan	To Remain			
2522	16	Pecan	To Be Removed	1 to 1		
2523	24	Pecan	To Be Removed	1 to 1		
2524	32	Pecan	To Be Removed	2 to 1		
2525	18	Pecan	To Be Removed	1 to 1		
2527	22	Pecan	To Be Removed	1 to 1		
2528	22	Walnut	To Be Removed	1 to 1		
2596	8	Pecan	To Remain			
2597	24	Pecan	To Remain			
2598	29	Pecan	To Be Removed	2 to 1		
2599	24	Pecan	To Be Removed	1 to 1		
2605	15	Walnut	To Be Removed	1 to 1		
2606	24	Pecan	To Remain			
2607	40	Bois D'Arc	To Remain			
2655	6	Chinaberry	To Be Removed	0%		Multi-trunk
2656	9	Chinaberry	To Be Removed	0%		Multi-trunk
2676	5	Chinaberry	To Be Removed	0%		Multi-trunk
2677	15	Pecan	To Be Removed	1 to 1		
2701	19	Pecan	To Remain			
2707	24	Pecan	To Remain			
2708	16	Pecan	To Remain			
2709	24	Pecan	To Remain			
2710	7	Pecan	To Remain			
2714	17	Pecan	To Be Removed	1 to 1		
2716	27	Bois D'Arc	To Be Removed	0%		Multi-trunk
2750	12	Elm	To Be Removed	1 to 1		
2751	16	Elm	To Be Removed	1 to 1		
2752	16	Elm	To Be Removed	1 to 1		
2753	16	Elm	To Be Removed	1 to 1		
2806	40	Elm	To Be Removed	2 to 1		Multi-trunk
2813	16	Walnut	To Be Removed	1 to 1		
2834	48	Elm	To Remain		48	

TOTAL INCHES ON SITE 1674
 TOTAL INCHES TO BE REMOVED 1159
 TOTAL TO BE MITIGATED 1238-48 Credit = 1190 mitigation inches

TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (40) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE:

THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE:

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

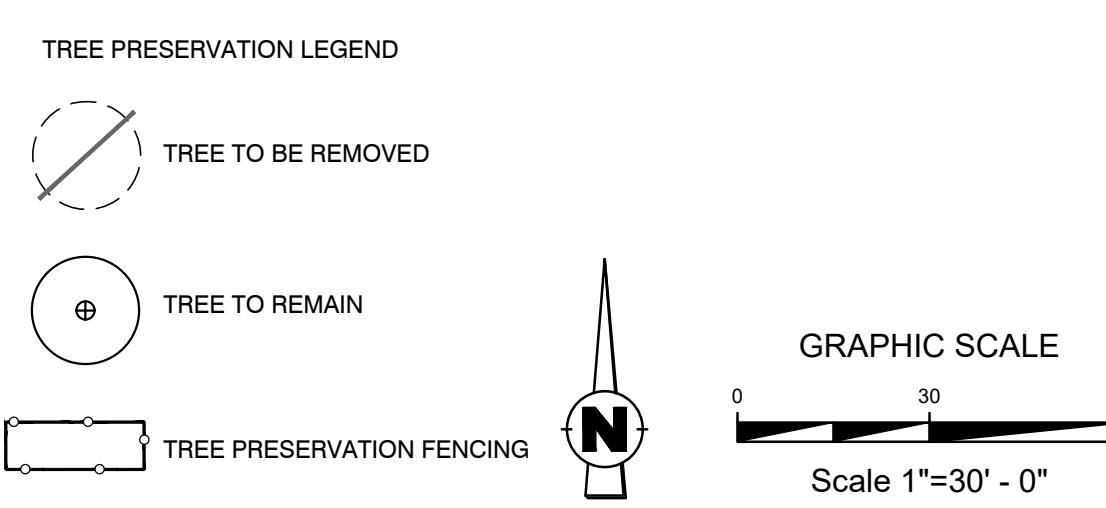
VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION:

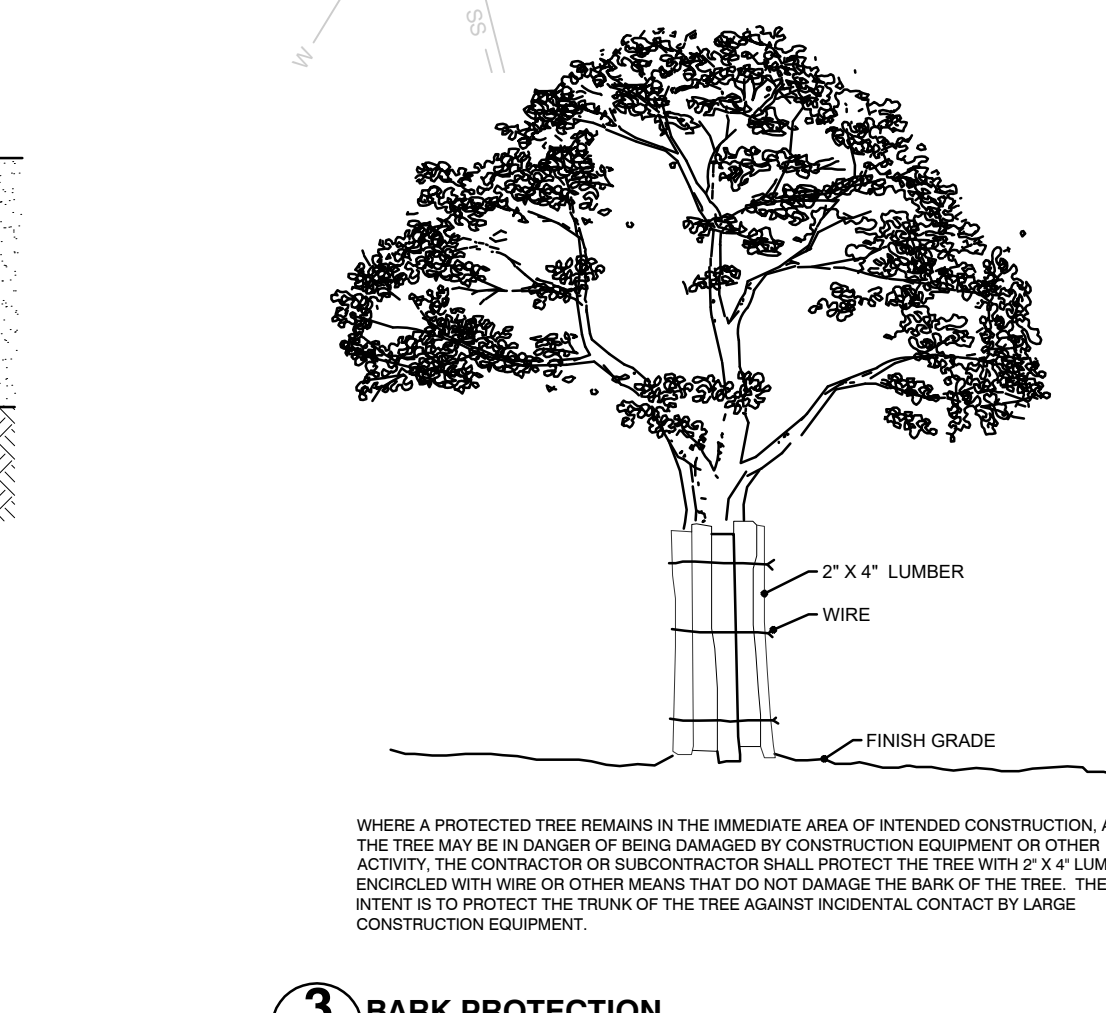
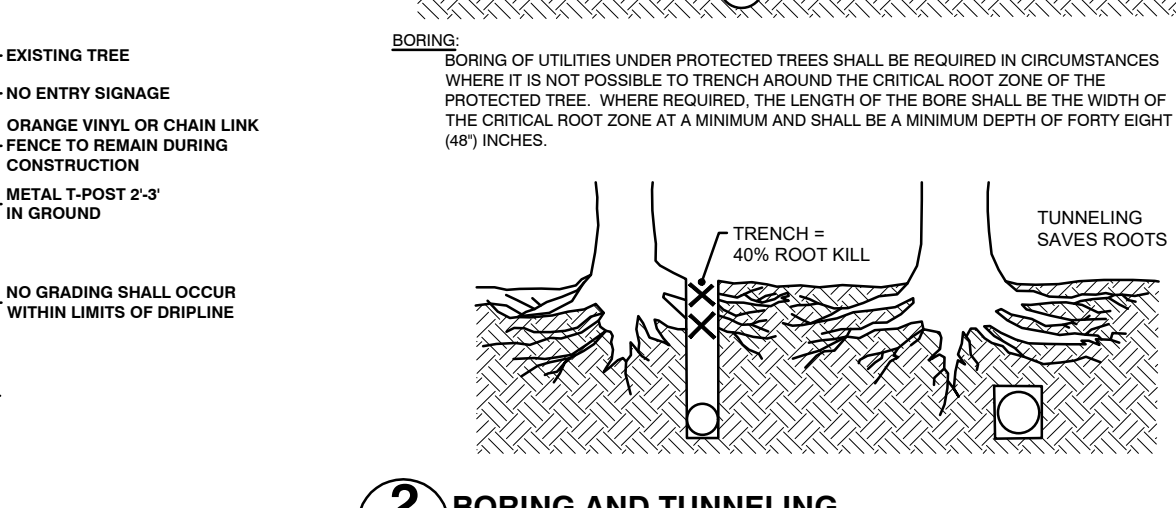
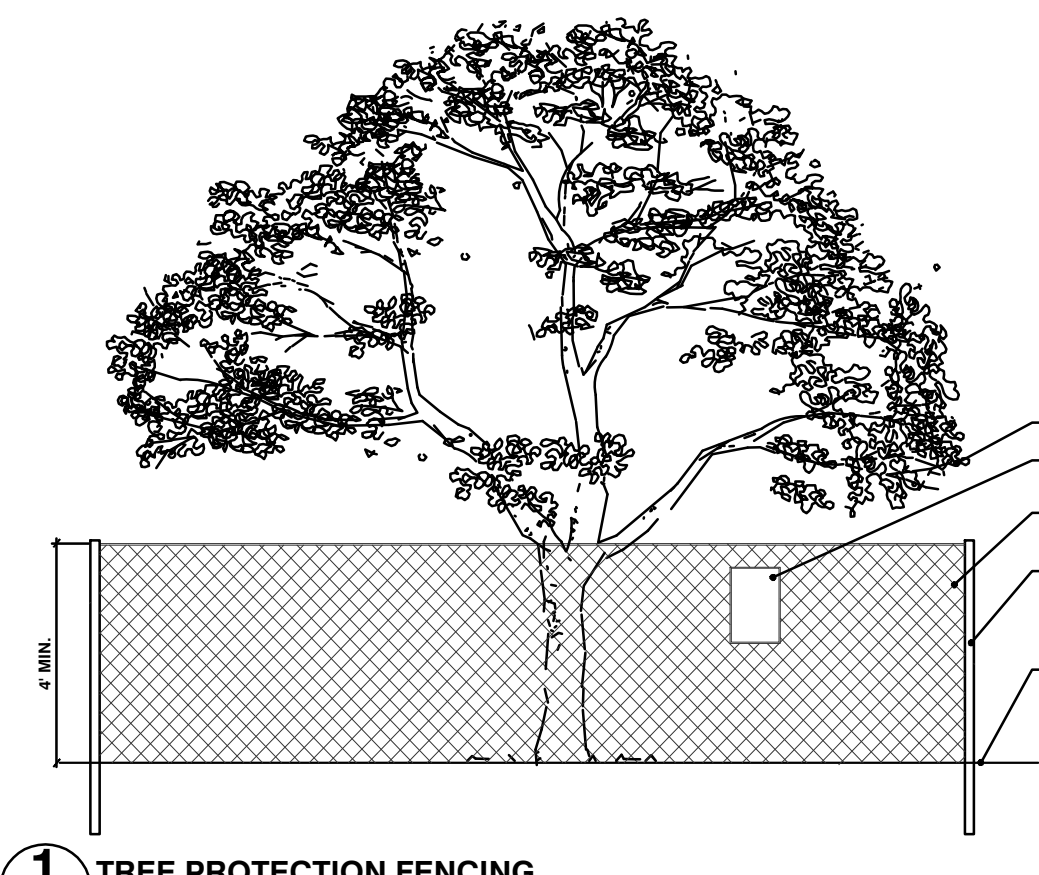
PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSED THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2"x4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.



OWNER/DEVELOPER
 GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE 1300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

ENGINEER
 WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM

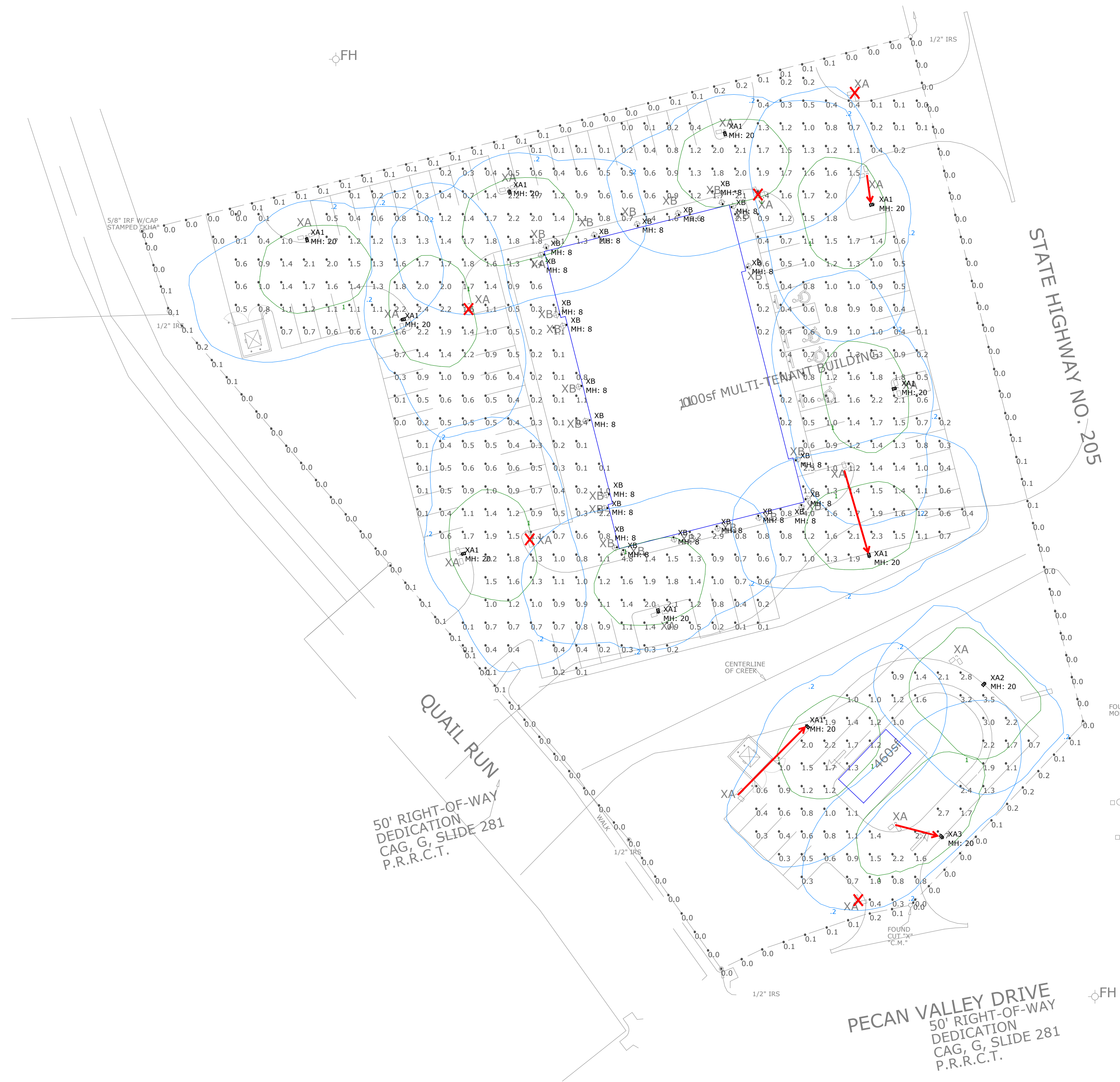


AWR
 AWR Designs, LLC
 P.O. Box 1746
 Alledo, Texas 76008
 amanda@awr-designs.com
 c. 512.517.5589

TREE PRESERVATION PLAN
MIXED-USE DEVELOPMENT
3005 N. GOLIAD ST
&
150 PECAN VALLEY DR
ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS
 June 30, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 DATE: 6/30/2019
 W.A. No. 19022
 CASE No.: SP2019-023



Calculation Summary						
Calculation Grid Location	Calc. Height (ft.)	Units	Avg	Max	Min	Avg/Min
MAIN PARKING	0	Fc	1.0	4.8	0.0	N.A.
PROPERTY LINE	N.A.	Fc	0.1	0.2	0.0	N.A.
SOUTH PARKING	0	Fc	1.3	3.5	0.0	N.A.

Luminaire Schedule							
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
XA1	10	10	LITHONIA DSX0 LED P3 40K T4M MVOLT [MOUNTING] HS [FINISH]	6417	71	0.800	1.000
XA2	1	1	LITHONIA DSX0 LED P3 40K T55 MVOLT [MOUNTING] HS [FINISH]	7283	71	0.800	1.000
XA3	1	1	LITHONIA DSX0 LED P3 40K BLC MVOLT [MOUNTING] [FINISH]	6925	71	0.800	1.000
XB	22	22	LITHONIA OLLWD LED P1 40K MVOLT [FINISH]	264	8.6	0.800	1.000

- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are as height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

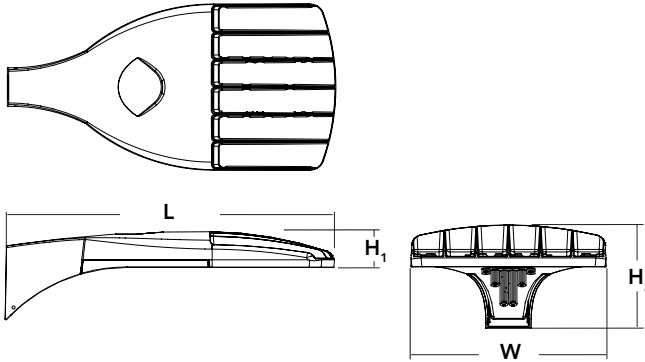
Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature	Distribution	Voltage	Mounting
	DSX0 LED	Forward optics P1 P4 P7 P2 P5 P3 P6 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ² LCCO Left corner cutoff ² RCCO Right corner cutoff ²	MVOLT ^{3,4} 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ^{4,5} 480 ^{4,5}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁶ RPUMBA Round pole universal mounting adaptor ⁶ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁷

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{8,9} PIRHN Network, high/low motion/ambient sensor ¹⁰ PER NEMA twist-lock receptacle only (control ordered separate) ¹¹ PER5 Five-pin receptacle only (control ordered separate) ^{11,12} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{11,12} DMG 0-10V dimming extend out back of housing for external control (control ordered separate)	Shipped installed HS House-side shield ¹⁶ SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ¹⁶ Shipped separately BS Bird spikes ¹⁷ EGS External glare shield ¹⁷	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

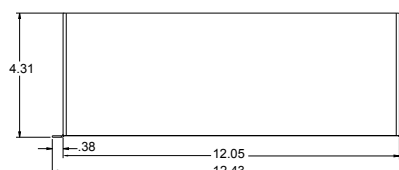
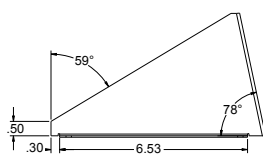
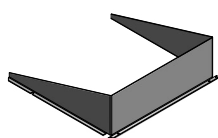
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁸
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁸
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁸
DSHORT SBK U	Shorting cap ¹⁸
DSX0HS 20C U	House-side shield for P1,P2,P3 and P4 ¹⁵
DSX0HS 30C U	House-side shield for P10,P11,P12 and P13 ¹⁶
DSX0HS 40C U	House-side shield for P5,P6 AND P7 ¹⁶
DSX0DDL U	Diffused drop lens (polycarbonate) ¹⁵
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ¹⁹
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹⁹

For more control options, visit [DTL](#) and [ROAM](#) online. Link to [nLight Air 2](#)

NOTES

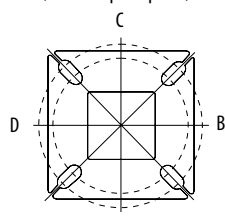
- 1 P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- 2 Not available with HS or DDL.
- 3 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 4 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 5 Not available in P4, P7 or P13. Not available with BL30, BL50 or PNMT options.
- 6 Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31.
- 7 Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- 8 Must be ordered with PIRHN.
- 9 Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 10 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- 11 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 12 If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 13 Reference Motion Sensor table on page 3.
- 14 Reference PER Table on page 3 to see functionality.
- 15 Not available with other dimming controls options.
- 16 Not available with BLC, LCCO and RCCO distribution.
- 17 Must be ordered with fixture for factory pre-drilling.
- 18 Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- 19 For retrofit use only.

EGS – External Glare Shield

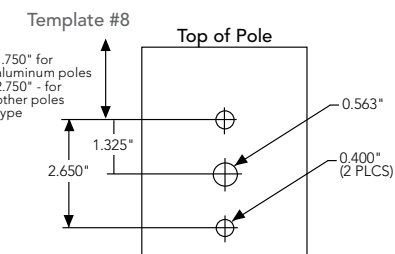


Drilling

HANDHOLE ORIENTATION (from top of pole)



A
Handhole



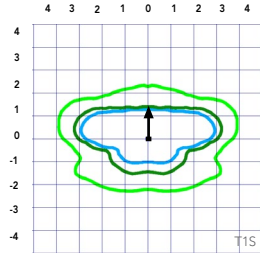
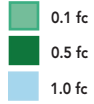
Tenon Mounting Slipfitter

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

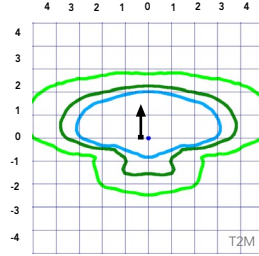
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Isofootcandle plots for the DSX0 LED 40C 1000 40K. Distances are in units of mounting height (20').

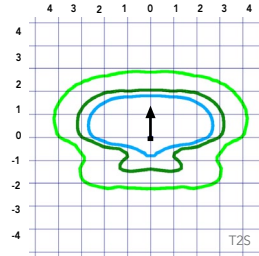
LEGEND



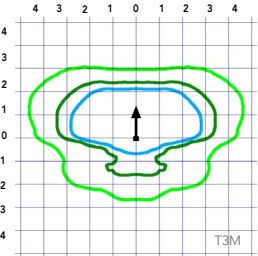
Test No.



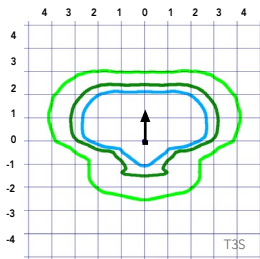
Test No.



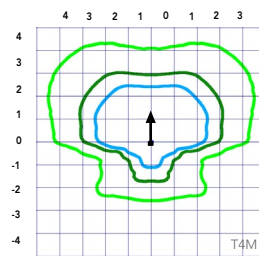
Test No. LTL23457P25 tested in accordance with IESNA LM-79-08.



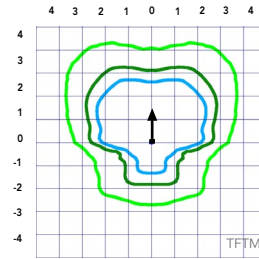
Test No. LTL23457P25 tested in accordance with IESNA LM-79-08.



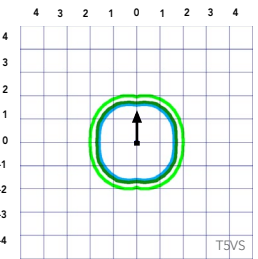
Test No. LTL23457P25 tested in accordance with IESNA LM-79-08.



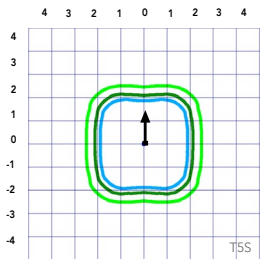
Test No.



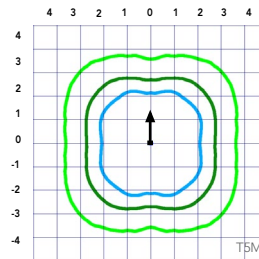
Test No.



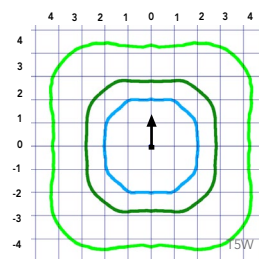
Test No.



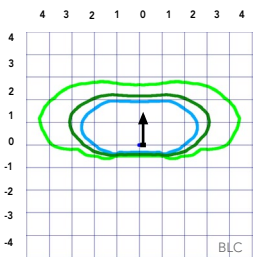
Test No.



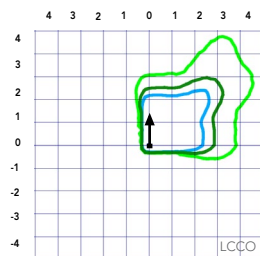
Test No.



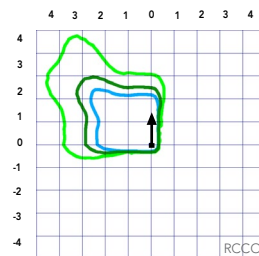
Test No. LTL23451P25 tested in accordance with IESNA LM-79-08.



Test No.



Test No.



Test No.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with separate Dusk to Dawn or timer.

Electrical Load

					Current (A)					
	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBOR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	20	530	38W	T1S	4,369	1	0	1	115	4,706	1	0	1	124	4,766	1	0	1	125				
				T2S	4,364	1	0	1	115	4,701	1	0	1	124	4,761	1	0	1	125				
				T2M	4,387	1	0	1	115	4,726	1	0	1	124	4,785	1	0	1	126				
				T3S	4,248	1	0	1	112	4,577	1	0	1	120	4,634	1	0	1	122				
				T3M	4,376	1	0	1	115	4,714	1	0	1	124	4,774	1	0	1	126				
				T4M	4,281	1	0	1	113	4,612	1	0	2	121	4,670	1	0	2	123				
				TFTM	4,373	1	0	1	115	4,711	1	0	2	124	4,771	1	0	2	126				
				TSVS	4,548	2	0	0	120	4,900	2	0	0	129	4,962	2	0	0	131				
				TSS	4,552	2	0	0	120	4,904	2	0	0	129	4,966	2	0	0	131				
				TSM	4,541	3	0	1	120	4,891	3	0	1	129	4,953	3	0	1	130				
				TSW	4,576	3	0	2	120	4,929	3	0	2	130	4,992	3	0	2	131				
				BLC	3,586	1	0	1	94	3,863	1	0	1	102	3,912	1	0	1	103				
				LCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				RCCO	2,668	1	0	1	70	2,874	1	0	2	76	2,911	1	0	2	77				
				P2	20	700	49W	T1S	5,570	1	0	1	114	6,001	1	0	1	122	6,077	2	0	2	124
								T2S	5,564	1	0	2	114	5,994	1	0	2	122	6,070	2	0	2	124
T2M	5,593	1	0					1	114	6,025	1	0	1	123	6,102	1	0	1	125				
T3S	5,417	1	0					2	111	5,835	1	0	2	119	5,909	2	0	2	121				
T3M	5,580	1	0					2	114	6,011	1	0	2	123	6,087	1	0	2	124				
T4M	5,458	1	0					2	111	5,880	1	0	2	120	5,955	1	0	2	122				
TFTM	5,576	1	0					2	114	6,007	1	0	2	123	6,083	1	0	2	124				
TSVS	5,799	2	0					0	118	6,247	2	0	0	127	6,327	2	0	0	129				
TSS	5,804	2	0					0	118	6,252	2	0	0	128	6,332	2	0	1	129				
TSM	5,789	3	0					1	118	6,237	3	0	1	127	6,316	3	0	1	129				
TSW	5,834	3	0					2	119	6,285	3	0	2	128	6,364	3	0	2	130				
BLC	4,572	1	0					1	93	4,925	1	0	1	101	4,987	1	0	1	102				
LCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
RCCO	3,402	1	0					2	69	3,665	1	0	2	75	3,711	1	0	2	76				
P3	20	1050	71W					T1S	7,833	2	0	2	110	8,438	2	0	2	119	8,545	2	0	2	120
								T2S	7,825	2	0	2	110	8,429	2	0	2	119	8,536	2	0	2	120
				T2M	7,865	2	0	2	111	8,473	2	0	2	119	8,580	2	0	2	121				
				T3S	7,617	2	0	2	107	8,205	2	0	2	116	8,309	2	0	2	117				
				T3M	7,846	2	0	2	111	8,452	2	0	2	119	8,559	2	0	2	121				
				T4M	7,675	2	0	2	108	8,269	2	0	2	116	8,373	2	0	2	118				
				TFTM	7,841	2	0	2	110	8,447	2	0	2	119	8,554	2	0	2	120				
				TSVS	8,155	3	0	0	115	8,785	3	0	0	124	8,896	3	0	0	125				
				TSS	8,162	3	0	1	115	8,792	3	0	1	124	8,904	3	0	1	125				
				TSM	8,141	3	0	2	115	8,770	3	0	2	124	8,881	3	0	2	125				
				TSW	8,204	3	0	2	116	8,838	4	0	2	124	8,950	4	0	2	126				
				BLC	6,429	1	0	2	91	6,926	1	0	2	98	7,013	1	0	2	99				
				LCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				RCCO	4,784	1	0	2	67	5,153	1	0	2	73	5,218	1	0	2	73				
				P4	20	1400	92W	T1S	9,791	2	0	2	106	10,547	2	0	2	115	10,681	2	0	2	116
								T2S	9,780	2	0	2	106	10,536	2	0	2	115	10,669	2	0	2	116
T2M	9,831	2	0					2	107	10,590	2	0	2	115	10,724	2	0	2	117				
T3S	9,521	2	0					2	103	10,256	2	0	2	111	10,386	2	0	2	113				
T3M	9,807	2	0					2	107	10,565	2	0	2	115	10,698	2	0	2	116				
T4M	9,594	2	0					2	104	10,335	2	0	3	112	10,466	2	0	3	114				
TFTM	9,801	2	0					2	107	10,558	2	0	2	115	10,692	2	0	2	116				
TSVS	10,193	3	0					1	111	10,981	3	0	1	119	11,120	3	0	1	121				
TSS	10,201	3	0					1	111	10,990	3	0	1	119	11,129	3	0	1	121				
TSM	10,176	4	0					2	111	10,962	4	0	2	119	11,101	4	0	2	121				
TSW	10,254	4	0					3	111	11,047	4	0	3	120	11,186	4	0	3	122				
BLC	8,036	1	0					2	87	8,656	1	0	2	94	8,766	1	0	2	95				
LCCO	5,979	1	0					2	65	6,441	1	0	2	70	6,523	1	0	3	71				
									5,979	1	0	2	65	6,441	1	0	2	70	6,523	1	0	3	71

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P5	40	700	89W	T1S	10,831	2	0	2	122	11,668	2	0	2	131	11,816	2	0	2	133
				T2S	10,820	2	0	2	122	11,656	2	0	2	131	11,803	2	0	2	133
				T2M	10,876	2	0	2	122	11,716	2	0	2	132	11,864	2	0	2	133
				T3S	10,532	2	0	2	118	11,346	2	0	2	127	11,490	2	0	2	129
				T3M	10,849	2	0	2	122	11,687	2	0	2	131	11,835	2	0	2	133
				T4M	10,613	2	0	3	119	11,434	2	0	3	128	11,578	2	0	3	130
				TFTM	10,842	2	0	2	122	11,680	2	0	2	131	11,828	2	0	2	133
				TSVS	11,276	3	0	1	127	12,148	3	0	1	136	12,302	3	0	1	138
				T5S	11,286	3	0	1	127	12,158	3	0	1	137	12,312	3	0	1	138
				T5M	11,257	4	0	2	126	12,127	4	0	2	136	12,280	4	0	2	138
				T5W	11,344	4	0	3	127	12,221	4	0	3	137	12,375	4	0	3	139
				BLC	8,890	1	0	2	100	9,576	1	0	2	108	9,698	1	0	2	109
				LCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
				RCCO	6,615	1	0	3	74	7,126	1	0	3	80	7,216	1	0	3	81
P6	40	1050	134W	T1S	14,805	3	0	3	110	15,949	3	0	3	119	16,151	3	0	3	121
				T2S	14,789	3	0	3	110	15,932	3	0	3	119	16,134	3	0	3	120
				T2M	14,865	3	0	3	111	16,014	3	0	3	120	16,217	3	0	3	121
				T3S	14,396	3	0	3	107	15,509	3	0	3	116	15,705	3	0	3	117
				T3M	14,829	2	0	3	111	15,975	3	0	3	119	16,177	3	0	3	121
				T4M	14,507	2	0	3	108	15,628	3	0	3	117	15,826	3	0	3	118
				TFTM	14,820	2	0	3	111	15,965	3	0	3	119	16,167	3	0	3	121
				TSVS	15,413	4	0	1	115	16,604	4	0	1	124	16,815	4	0	1	125
				T5S	15,426	3	0	1	115	16,618	4	0	1	124	16,828	4	0	1	126
				T5M	15,387	4	0	2	115	16,576	4	0	2	124	16,786	4	0	2	125
				T5W	15,506	4	0	3	116	16,704	4	0	3	125	16,915	4	0	3	126
				BLC	12,151	1	0	2	91	13,090	1	0	2	98	13,255	1	0	2	99
				LCCO	9,041	1	0	3	67	9,740	1	0	3	73	9,863	1	0	3	74
				RCCO	9,041	1	0	3	67	9,740	1	0	3	73	9,863	1	0	3	74
P7	40	1300	166W	T1S	17,023	3	0	3	103	18,338	3	0	3	110	18,570	3	0	3	112
				T2S	17,005	3	0	3	102	18,319	3	0	3	110	18,551	3	0	3	112
				T2M	17,092	3	0	3	103	18,413	3	0	3	111	18,646	3	0	3	112
				T3S	16,553	3	0	3	100	17,832	3	0	3	107	18,058	3	0	3	109
				T3M	17,051	3	0	3	103	18,369	3	0	3	111	18,601	3	0	3	112
				T4M	16,681	3	0	3	100	17,969	3	0	3	108	18,197	3	0	3	110
				TFTM	17,040	3	0	3	103	18,357	3	0	4	111	18,590	3	0	4	112
				TSVS	17,723	4	0	1	107	19,092	4	0	1	115	19,334	4	0	1	116
				T5S	17,737	4	0	2	107	19,108	4	0	2	115	19,349	4	0	2	117
				T5M	17,692	4	0	2	107	19,059	4	0	2	115	19,301	4	0	2	116
				T5W	17,829	5	0	3	107	19,207	5	0	3	116	19,450	5	0	3	117
				BLC	13,971	2	0	2	84	15,051	2	0	2	91	15,241	2	0	2	92
				LCCO	10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68
					10,396	1	0	3	63	11,199	1	0	3	67	11,341	1	0	3	68

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
Power Package	LED Count	Drive Current	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P10	30	530	53W	T1S	6,727	2	0	2	127	7,247	3	0	3	137	7,339	3	0	3	138
				T2S	6,689	3	0	3	126	7,205	3	0	3	136	7,297	3	0	3	138
				T2M	6,809	3	0	3	128	7,336	3	0	3	138	7,428	3	0	3	140
				T3S	6,585	3	0	3	124	7,094	3	0	3	134	7,183	3	0	3	136
				T3M	6,805	3	0	3	128	7,331	3	0	3	138	7,424	3	0	3	140
				T4M	6,677	3	0	3	126	7,193	3	0	3	136	7,284	3	0	3	137
				TFTM	6,850	3	0	3	129	7,379	3	0	3	139	7,472	3	0	3	141
				TSVS	6,898	3	0	0	130	7,431	3	0	0	140	7,525	3	0	0	142
				T5S	6,840	2	0	1	129	7,368	2	0	1	139	7,461	2	0	1	141
				T5M	6,838	3	0	1	129	7,366	3	0	2	139	7,460	3	0	2	141
				TSW	6,777	3	0	2	128	7,300	3	0	2	138	7,393	3	0	2	139
				BLC	5,626	2	0	2	106	6,060	2	0	2	114	6,137	2	0	2	116
				LCCO	4,018	1	0	2	76	4,328	1	0	2	82	4,383	1	0	2	83
				RCCO	4,013	3	0	3	76	4,323	3	0	3	82	4,377	3	0	3	83
				P11	30	700	72W	T1S	8,594	3	0	3	119	9,258	3	0	3	129	9,376
T2S	8,545	3	0					3	119	9,205	3	0	3	128	9,322	3	0	3	129
T2M	8,699	3	0					3	121	9,371	3	0	3	130	9,490	3	0	3	132
T3S	8,412	3	0					3	117	9,062	3	0	3	126	9,177	3	0	3	127
T3M	8,694	3	0					3	121	9,366	3	0	3	130	9,484	3	0	3	132
T4M	8,530	3	0					3	118	9,189	3	0	3	128	9,305	3	0	3	129
TFTM	8,750	3	0					3	122	9,427	3	0	3	131	9,546	3	0	3	133
TSVS	8,812	3	0					0	122	9,493	3	0	0	132	9,613	3	0	0	134
T5S	8,738	3	0					1	121	9,413	3	0	1	131	9,532	3	0	1	132
T5M	8,736	3	0					2	121	9,411	3	0	2	131	9,530	3	0	2	132
TSW	8,657	4	0					2	120	9,326	4	0	2	130	9,444	4	0	2	131
BLC	7,187	3	0					3	100	7,742	3	0	3	108	7,840	3	0	3	109
LCCO	5,133	1	0					2	71	5,529	1	0	2	77	5,599	1	0	2	78
RCCO	5,126	3	0					3	71	5,522	3	0	3	77	5,592	3	0	3	78
P12	30	1050	104W					T1S	12,149	3	0	3	117	13,088	3	0	3	126	13,253
				T2S	12,079	4	0	4	116	13,012	4	0	4	125	13,177	4	0	4	127
				T2M	12,297	3	0	3	118	13,247	3	0	3	127	13,415	3	0	3	129
				T3S	11,891	4	0	4	114	12,810	4	0	4	123	12,972	4	0	4	125
				T3M	12,290	3	0	3	118	13,239	4	0	4	127	13,407	4	0	4	129
				T4M	12,058	4	0	4	116	12,990	4	0	4	125	13,154	4	0	4	126
				TFTM	12,369	4	0	4	119	13,325	4	0	4	128	13,494	4	0	4	130
				TSVS	12,456	3	0	1	120	13,419	3	0	1	129	13,589	4	0	1	131
				T5S	12,351	3	0	1	119	13,306	3	0	1	128	13,474	3	0	1	130
				T5M	12,349	4	0	2	119	13,303	4	0	2	128	13,471	4	0	2	130
				TSW	12,238	4	0	3	118	13,183	4	0	3	127	13,350	4	0	3	128
				BLC	10,159	3	0	3	98	10,944	3	0	3	105	11,083	3	0	3	107
				LCCO	7,256	1	0	3	70	7,816	1	0	3	75	7,915	1	0	3	76
				RCCO	7,246	3	0	3	70	7,806	4	0	4	75	7,905	4	0	4	76
				P13	30	1300	128W	T1S	14,438	3	0	3	113	15,554	3	0	3	122	15,751
T2S	14,355	4	0					4	112	15,465	4	0	4	121	15,660	4	0	4	122
T2M	14,614	3	0					3	114	15,744	4	0	4	123	15,943	4	0	4	125
T3S	14,132	4	0					4	110	15,224	4	0	4	119	15,417	4	0	4	120
T3M	14,606	4	0					4	114	15,735	4	0	4	123	15,934	4	0	4	124
T4M	14,330	4	0					4	112	15,438	4	0	4	121	15,633	4	0	4	122
TFTM	14,701	4	0					4	115	15,836	4	0	4	124	16,037	4	0	4	125
TSVS	14,804	4	0					1	116	15,948	4	0	1	125	16,150	4	0	1	126
T5S	14,679	3	0					1	115	15,814	3	0	1	124	16,014	3	0	1	125
T5M	14,676	4	0					2	115	15,810	4	0	2	124	16,010	4	0	2	125
TSW	14,544	4	0					3	114	15,668	4	0	3	122	15,866	4	0	3	124
BLC	7919	3	0					3	62	8531	3	0	3	67	8639	3	0	3	67
LCCO	5145	1	0					2	40	5543	1	0	2	43	5613	1	0	2	44
	5139	3	0					3	40	5536	3	0	3	43	5606	3	0	3	44

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire.
Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocell receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/resources/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.





CORONADO®

The Leader in Manufactured Stone, Brick and Tile Products

50 YEAR LIMITED WARRANTY

Coronado Stone® wall veneers are covered for a period of 50 years from the date purchased, when used on a vertical structure that conforms to local building codes and when installed in accordance with the manufacturer's instructions. Warranty coverage specifically excludes damage resulting from structure settlement and other types of wall movement; contact with paint or chemicals; discoloration due to contaminants; staining, oxidation and water damage.

This warranty covers only manufacturing defects in Coronado Stone® wall veneers and is limited to the replacement or repair of defective materials only and does not cover the cost of removal or installation of defective products. This warranty is limited to the original purchaser and is non-transferable to any subsequent owner.

June 20th, 2019



11191 Calabash Ave. • Fontana, CA 92337
Phone: (800) 847-8663 Fax: (909) 357-7362
sales@coronado.com



WWW.CORONADO.COM

Due to photographic and printing variations, colors may not be accurate. All sizes are nominal. We suggest examination of Coronado Stone® product samples prior to purchase.



July 17, 2019

ATTN: JAKE FEARS
WIER & ASSOCIATES, INC
2201 E. LAMAR BLVD., 200E
ARLINGTON, TX 76006

RE: SITE PLAN (SP2019-023), Site Plan for 3009 N. Goliad Street

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 07/09/2019. The following is a record of all recommendations, voting records and conditions of approval:

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;*
- (2) All Roof Top Units (RTU's) or HVAC equipment will be screened so that units are not visible from N. Goliad Street, Pecan Valley Drive, and W. Quail Run Road;*
- (3) The site directly adjacent to the intersection of Pecan Valley Drive and N. Goliad Street [SH-205] (i.e. the location of the proposed restaurant, less than 2,000 SF) will require the approval of a Specific Use Permit (SUP) and site plan;*
- (4) The applicant shall be required to satisfy the outstanding tree mitigation balance prior to the filing of the final plat; and,*
- (5) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

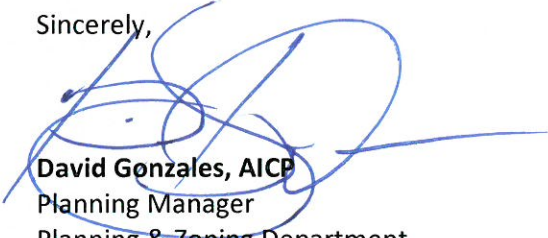
PLANNING AND ZONING COMMISSION:

On July 9, 2019, the Planning and Zoning Commission's motion to approve the site plan with staff conditions and ARB recommendations passed by a vote of 6 to 0 with Commissioner Fishman absent. Additionally, the Planning and Zoning Commission made two (2) separate motions regarding the variances being requested for not meeting the 4-sided articulation standards and allowing the use of cultured stone within the North SH-205 Overlay (N SH-205 OV) District, requiring approval by a 3/4 majority vote. The motion to approve a variance to the 4-sided architecture passed by a vote 6 to 0. A motion to deny the variance to the cultured stone was not approved by a vote of 3 to 3 with Commissioners Chodun, Lyons, and Moeller dissenting; however, an additional motion to approve the variance to allow for cultured stone failed to be approved by a vote of 3 to 3 and constitutes denial, with Commissioners Welch, Womble, and Logan dissenting.



For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning Manager
Planning & Zoning Department
City of Rockwall, TX