



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-016 P&Z DATE 5/28/2016 P&Z 12 CC DATE 10/11/2019 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ON

PLANNING & ZONING CASE NO.

SP2019-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 196216 Ranch Trail Rockwall, TX

Subdivision Maverick Ranch Lot 5 Block A

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Bob & Pam Hawley

Applicant Dub Doughvate

Contact Person

Contact Person

Address 1716 Bison Meadow

Address 2235 Ridge Rd

City, State & Zip Heath TX 75032

City, State & Zip Rockwall TX 75087

Phone 214 993 4921

Phone 972 771 9004

E-Mail

E-Mail wldoughvate@doughvate.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

My Commission Expires



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police


From: Planning & Zoning Department

Date: 5/17/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 05/24/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 5/28/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 5/28/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-016
Project Name: 196/216 Ranch Trail
Project Type: SITE PLAN
Applicant Name: DUB DOUPHRATE
Owner Name: JERRY, KISICK CUSTOM HOMES INC
Project Description:

0 25 50 100 150 200 Feet

SP2019-016 - 196/216 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

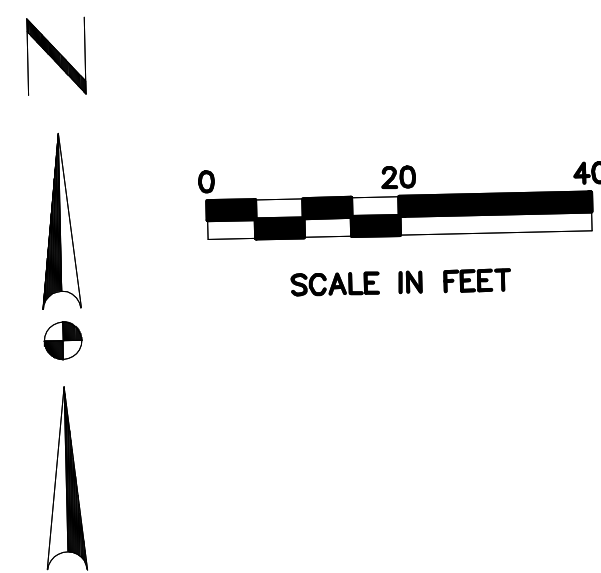


City of Rockwall

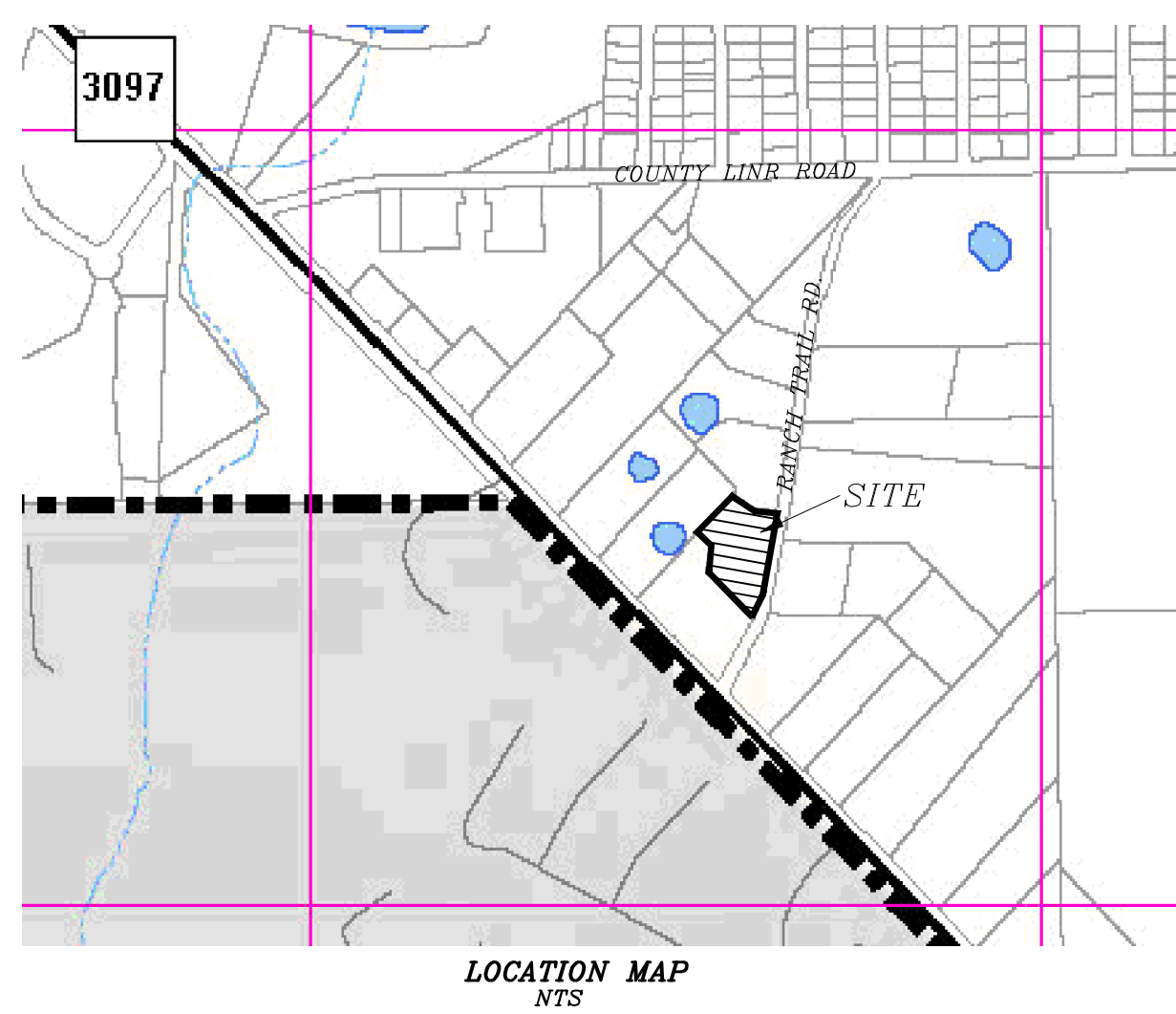
Planning & Zoning Department
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Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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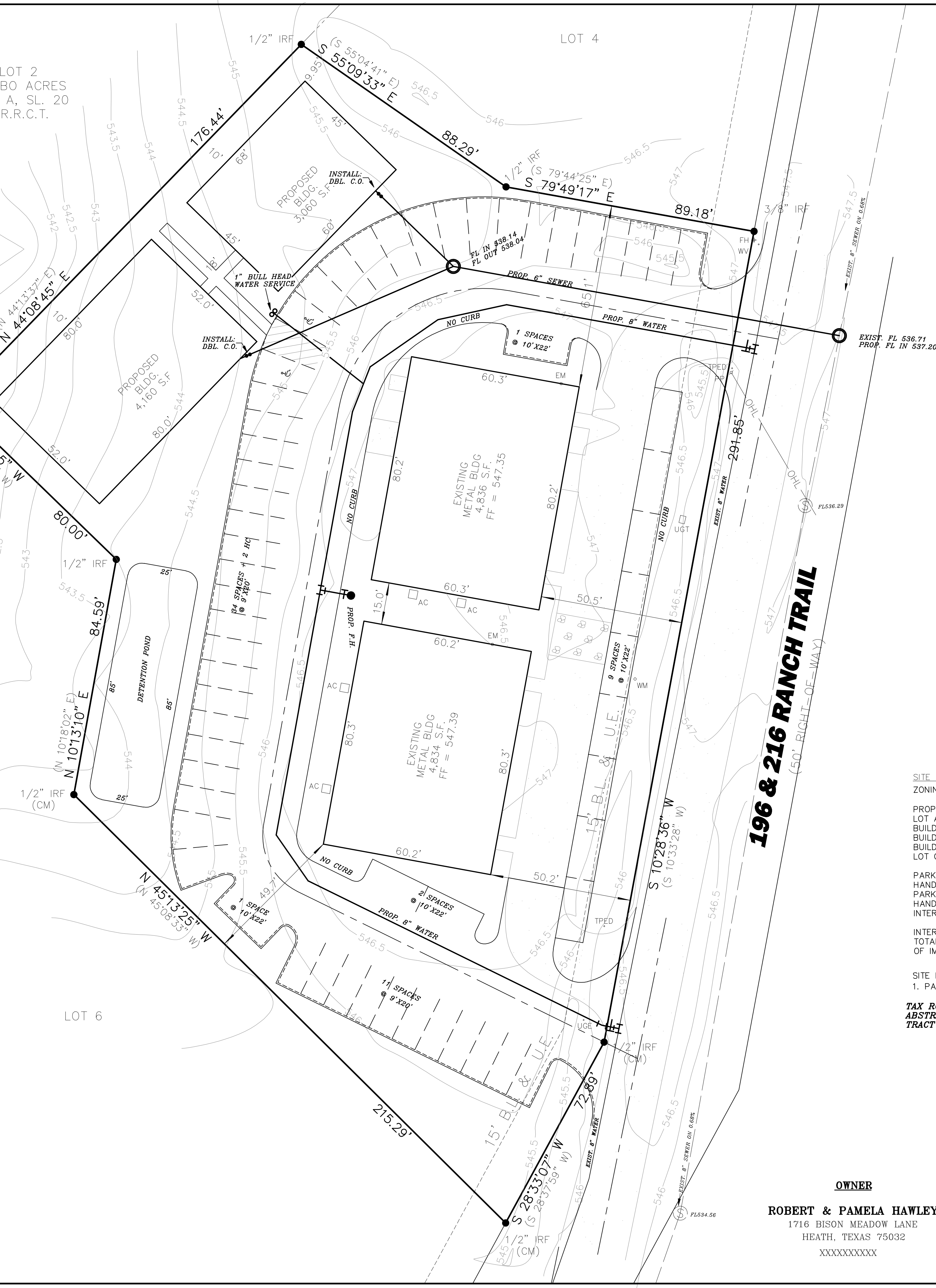
LOT 2
RAINBO ACRES
CAB. A, SL. 20
P.R.R.C.T.



LOCATION MAP
NTS

LOT 6

LOT 4



SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	58 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

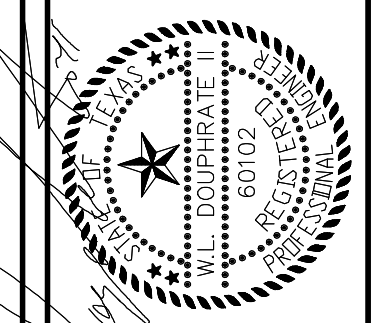
SITE NOTES:
1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
ROBERT & PAMELA HAWLEY
1716 BISON MEADOW LANE
HEATH, TEXAS 75032
XXXXXXXXXX

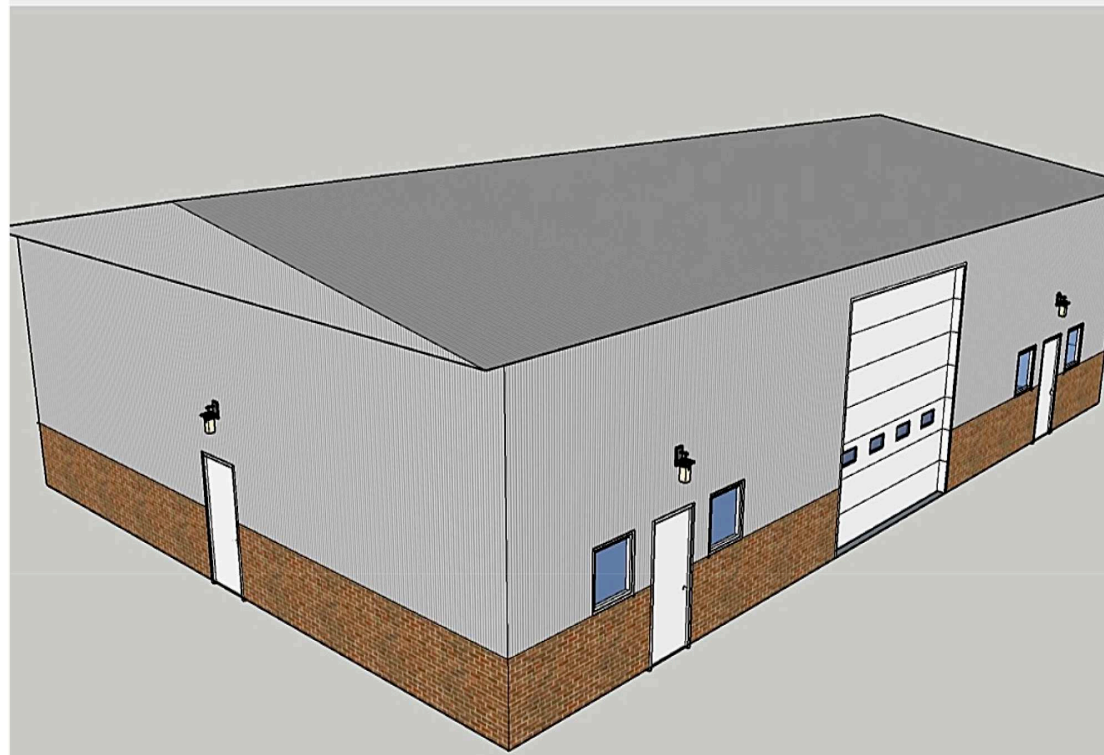
SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAQUITE, TEXAS 75150
(903)-944-6397
Texas Firm No. 10194258



DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN A
LOT 5, BLOCK 4
REPLAT OF MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS**

REVISION	W.L.D.
CHECKED	GCW.
DRAWN	
SCALE	1" = 20' 1" = 4'
DATE	MAR. 28, 2019
PROJECT	14026
	10



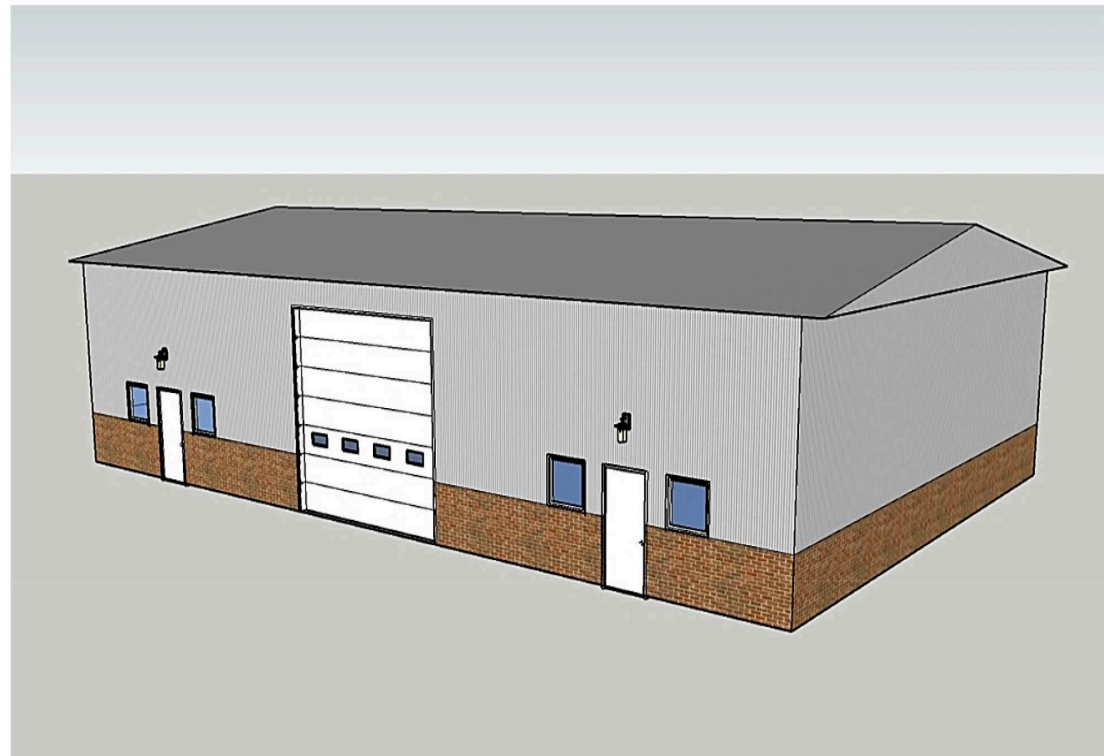
216 RANCH TRAIL
FRONT - LEFT ELEVATION



196 RANCH TRAIL
FRONT - RIGHT ELEVATION



196 RANCH TRAIL
RIGHT-REAR ELEVATION



216 RANCH TRAIL
FRONT - RIGHT ELEVATION



City of Rockwall Project Plan Review History



Project Number SP2019-016	Owner JERRY, KISICK CUSTOM HOMES INC	Applied 5/17/2019	LM
Project Name 196/216 Ranch Trail	Applicant DUB DOUPHRATE	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 200/224 RANCH TRL		City, State Zip ROCKWALL, TX 75032	
		Zoning	
Subdivision MAVERICK RANCH	Tract 5	Block A	Lot No 5
			Parcel No 4374-000A-0005-00-OR
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	
ENGINEERING	Sarah Hager	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	<p>(5/23/2019 4:50 PM SH)</p> <ul style="list-style-type: none"> - Must have individual water services. - Sewer to be 8" unless it is a private line. - Water to have 10' of clearance on both sides. - Fire hydrant to have a 20' easement. - Drive isle to be 24' wide minimum. <p>The following is for your information during engineering review.</p> <ul style="list-style-type: none"> - 4% Engineering Fees. - Impact fees. - All parking to be 20'x9' - Must show all existing and proposed utilities. - If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'. - Must have detention for new impervious surfaces. - Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner. - Must replat to add the additional easements. - Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls. - Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line. - Water line to be 8" line where public. - Must have individual water services. - 4:1 slope maximum for grading. - Must meet all City Standards of Design and Construction.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE (5/23/2019 1:38 PM AA) Show location of proposed fire lane on the site plan. An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.	Ariana Hargrove	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	see comments
GIS (5/22/2019 9:58 AM LS) New addresses will be: 4160 sf - 200 RANCH TRAIL, ROCKWALL, TX 75032 3060 sf - 224 RANCH TRAIL, ROCKWALL, TX 75032	Lance Singleton	5/17/2019	5/24/2019	5/22/2019	5	APPROVED	See comments
PLANNING	David Gonzales	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two(2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):

The following staff comments (i.e. Phase 1 only) are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

**** Planning Department General Comments & Requirements to address/acknowledge:**

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).
3. Label all revised site plan documents with "Case No. SP2019-016" at the lower right corner of each plan.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation standards of the UDC for facades
2. Minimum 20% stone requirement for all facades that are visible from a public street or open space
3. For the use of metal building construction (materials exception).

**** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:**

Site Plan:

1. Provide adjacent property owner information on Overall Site Plan(aerial version).
2. Label all access easements as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for each).
3. Provide a heavier line for the utility label and reduce the font. Move labels to be more visible.
4. Use lighter gray scale for the utility lines layer(water & sewer).
5. All ground mounted HVAC units must be screened with landscaping or wing-wall.
6. What are the proposed uses for these buildings? (i.e. this is a commercial district).
7. Delineate and label a minimum 10-ft. landscape buffer along Ranch Trail
8. Remove the label "Replat of" from the Title Block on all pages of this site plan.

Landscape Plan:

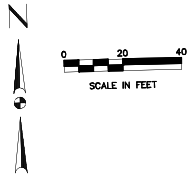
1. Provide a landscape plan meeting the requirements of the UDC.
2. One (1)-three (3)-caliper inch canopy tree required for each 750 SF of dry area in the detention pond.
3. One (1)-three (3)-caliper inch canopy tree required for each 50 linear feet of frontage along Ranch Trail
4. Parking spaces cannot be more than 80-ft from the trunk of a large canopy tree.
5. Indicate screening of HVAC units on this plan

Photometric Plan:

1. Will there be any exterior lighting of the site, other than the wall packs as depicted on the building elevations (i.e pole lights)? If so, provide a photometric plan.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>2. Provide cut sheets for all exterior lighting fixtures</p> <p>3. If a photometric plan is provided, lighting levels are not to exceed 0.2-FC at the property lines.</p> <p>Building Elevations:</p> <p>1. All gounded mounted mechanical equipment requires screening from rights-of-way and adjacent properties. Provide detail of screening to be used</p> <p>2. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.</p> <p>3. Provide a materials sample board for ARB review of the actual materials to be used(other than tilt-up wall).</p> <p>4. Provide percentages of exterior material calculations for each elevation(e.g. stone, brick, metal surface, etc.).</p> <p>5. Will there be any stone on the building? The UDC requires a minium of 20% stone on each elevation that is visible from a public street or open space. If there is no stone, this will require approval of an exception by the Planning and Zoning Commission</p> <p>6. Are the elevations for the proposed buildings or all?</p> <p>7. Provide height and width measurements of the proposed buildings.</p> <p>** The following arescheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architctural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]</p> <p>Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]</p> <p>Architctural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]</p> <p>Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **</p>						
Police Department	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/23/2019 5:48 PM DG)						Comments provided by Capt. Ed Fowler - Police
SP2019-016 - 196/216 RANCH TRAIL						<p>Considerations:</p> <ul style="list-style-type: none"> • Lighting placed upon all sides of the exterior the buildings, over doors and at the rear of property to illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred. • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) • Consider installation of device to prevent breaching of overhead door with vehicle(push or pull). Locking/Removal Bollards, Vehicle Placed in Front of Door, within specifications of City Code and Ordinance and Fire Code. • Consider target hardening with industrial standard or greater locking devices for all doors • Cameras on corners of building, doors equipped with alarms and interior proximity alarms on the interior. • Ensure trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night. • More than willing to speak with owner(s) directly to assist in site planning to prevent crime



LOT 2
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.

LOT 4

Must have individual water services.

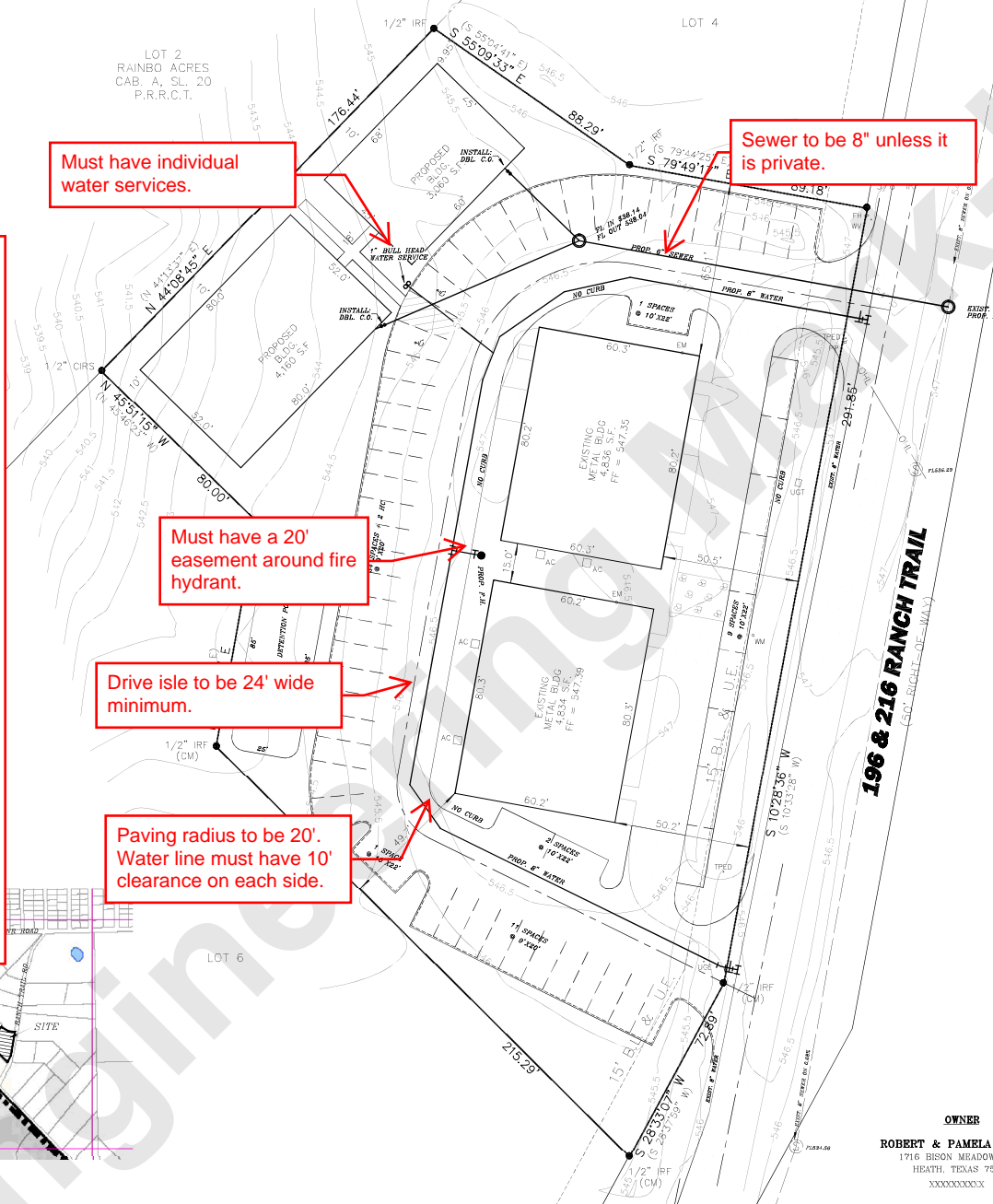
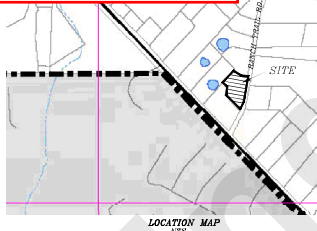
Sewer to be 8" unless it is private.

Must have a 20' easement around fire hydrant.

Drive isle to be 24' wide minimum.

Paving radius to be 20'. Water line must have 10' clearance on each side.

- 4% Engineering Fees.
- Impact fees.
- All parking to be 20'x9'
- Must show all existing and proposed utilities.
- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'.
- Must have detention for new impervious surfaces.
- Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner.
- Must replat to add the additional easements.
- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
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- Water line to be 8" line where public.
- Must have individual water services.
- 4:1 slope maximum for grading.
- Must meet all City Standards of Design and Construction.



SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	58 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE
INTERIOR LANDSCAPING PROVIDED	(10,124 SQ. FT.)
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	31,800 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

SITE NOTES:
1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
ABSTRACT 0086 - WILLIAM M. FORD SURVEY
TRACT 61644, ACRES 1.550

1,550 AC.
67,502 SQ. FT.

OWNER
ROBERT & PAMELA HAWLEY
1716 BISON MEADOW LANE
HEATH, TEXAS 75032
XXXXXXXXXX


SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAGUIE, TEXAS 75150
(803)-944-6397
Texas Firm No. 10194258

DOUPHRETE & ASSOCIATES, INC.
REGISTERED PROFESSIONAL SURVEYOR
22235 RIDGE RD., # 200, ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
LOT 5, BLOCK A
REPLAT OF MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

BY: [Signature]
CHECKED: [Signature]
DRAWN: [Signature]
SCALE: 1" = 20'
DATE: MAR 28, 2019
PROJECT: 14026
10
100% SITE PLAN

0 25 50 100 150 200 Feet

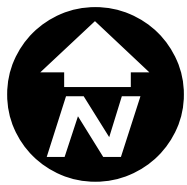
SP2019-016 - 196/216 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

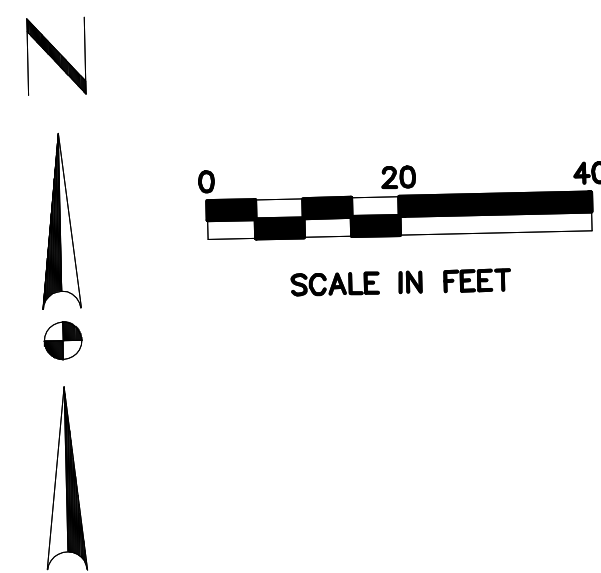


City of Rockwall

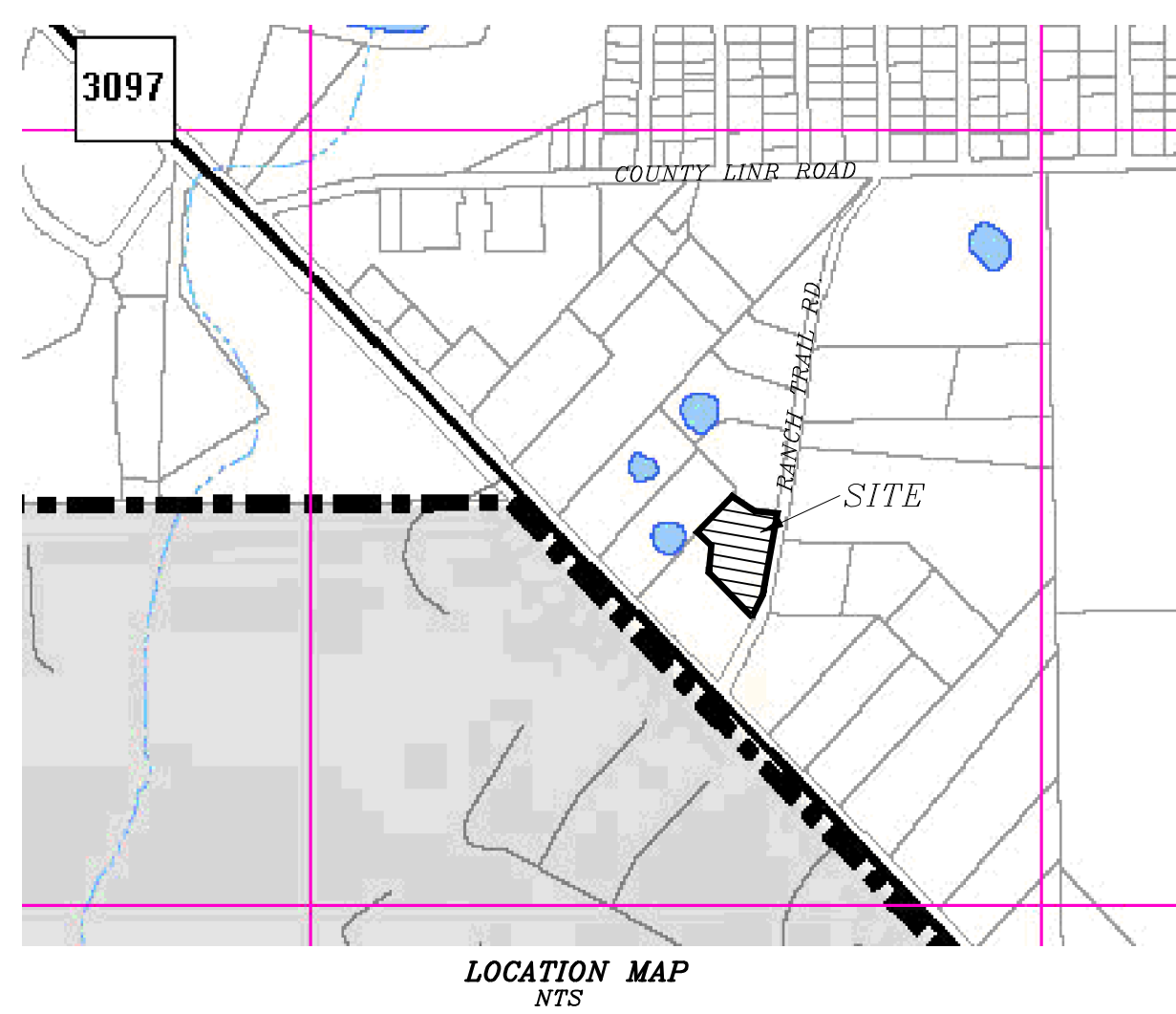
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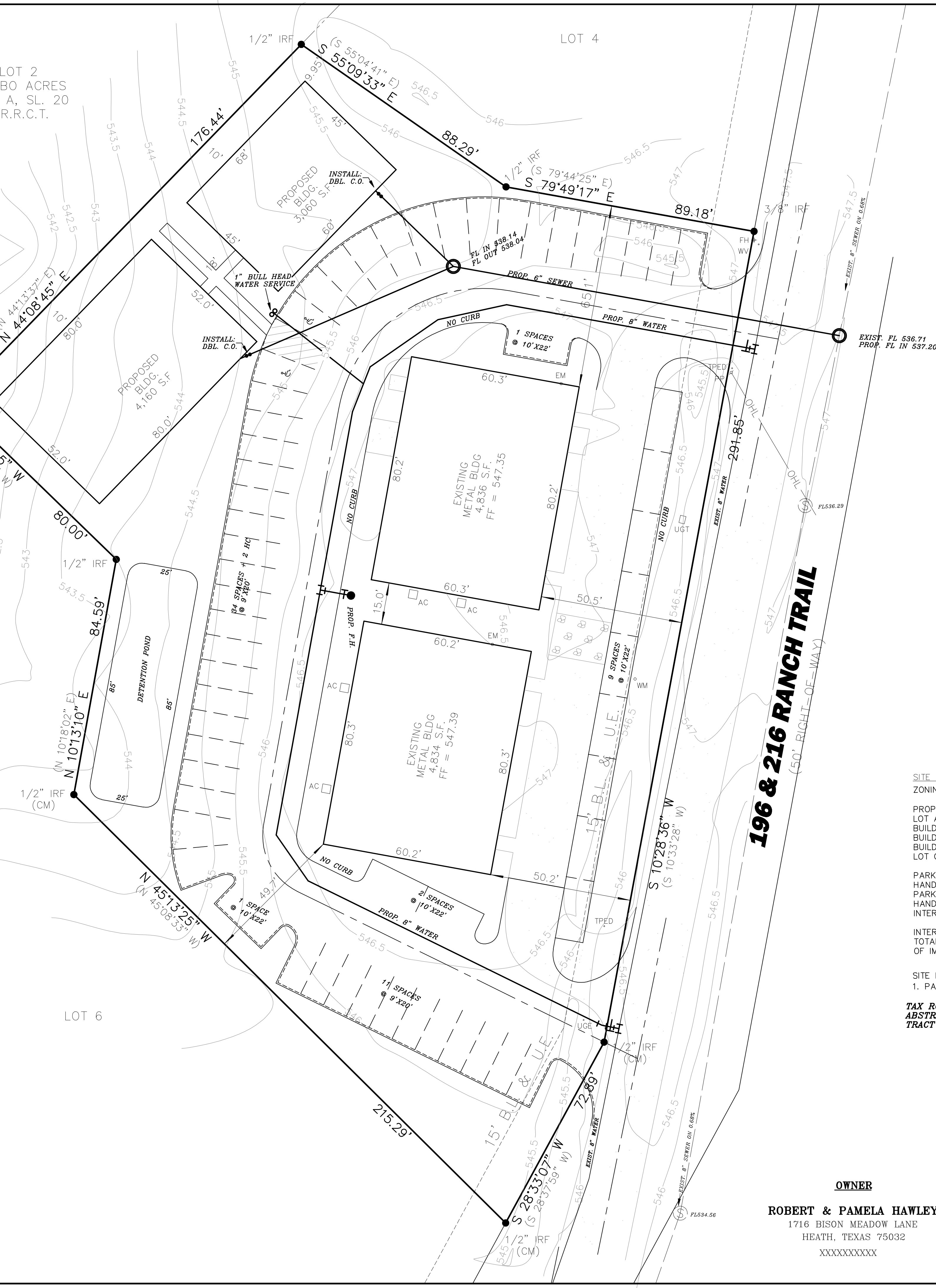
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LOCATION MAP
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INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

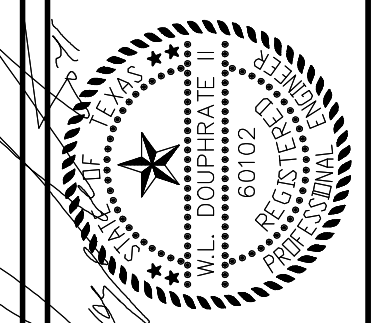
SITE NOTES:
1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
ROBERT & PAMELA HAWLEY
1716 BISON MEADOW LANE
HEATH, TEXAS 75032
XXXXXXXXXX

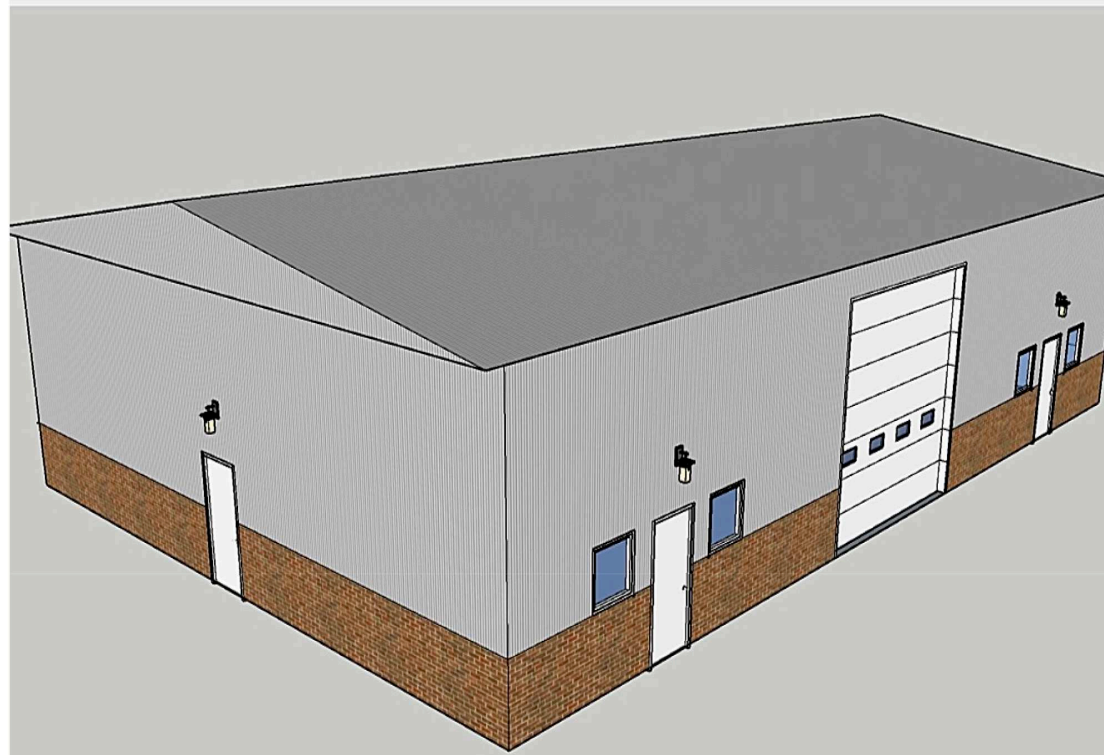
SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAQUITE, TEXAS 75150
(903)-944-6397
Texas Firm No. 10194258



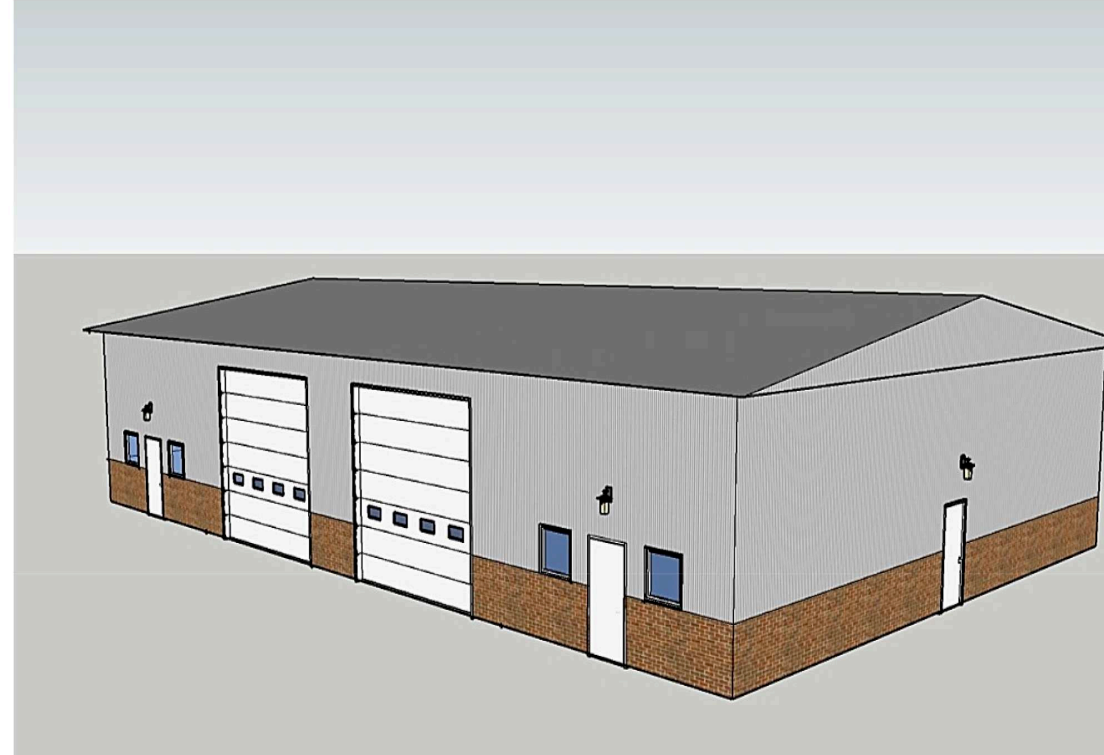
DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN A
LOT 5, BLOCK 4
REPLAT OF MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS**

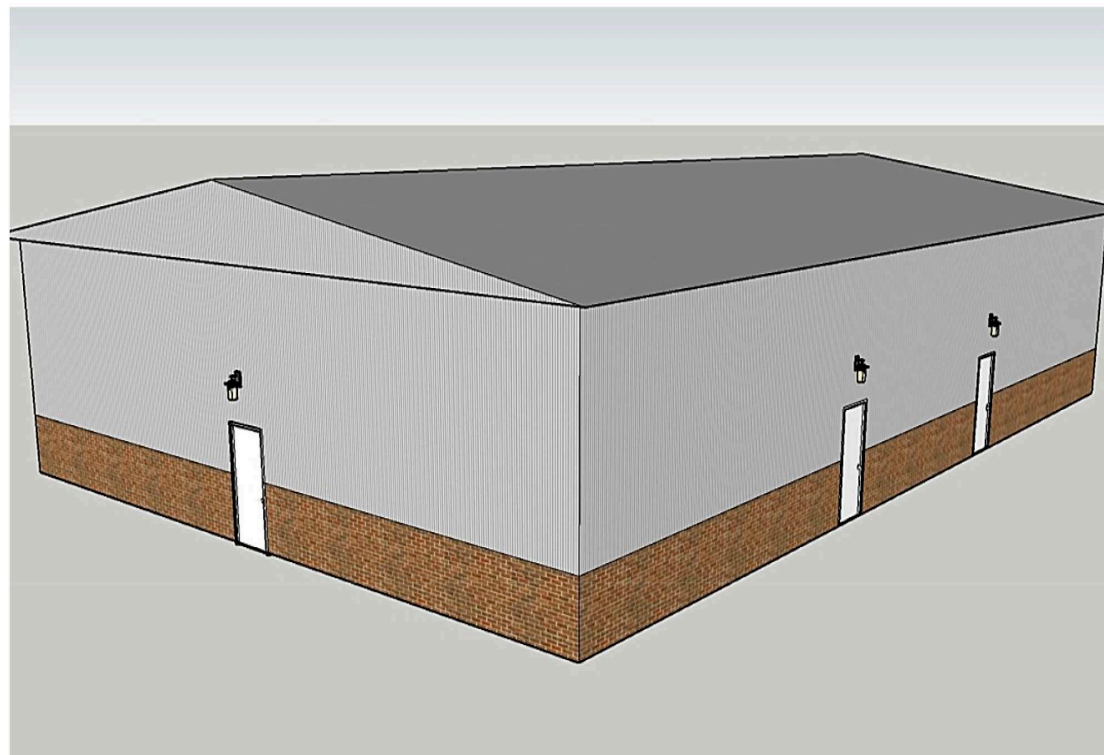
REVISION	W.L.D.
CHECKED	GCW.
DRAWN	
SCALE	1" = 20' H 1" = 4' V
DATE	MAR. 28, 2019
PROJECT	14026
	10 18007 SITE PLAN 4



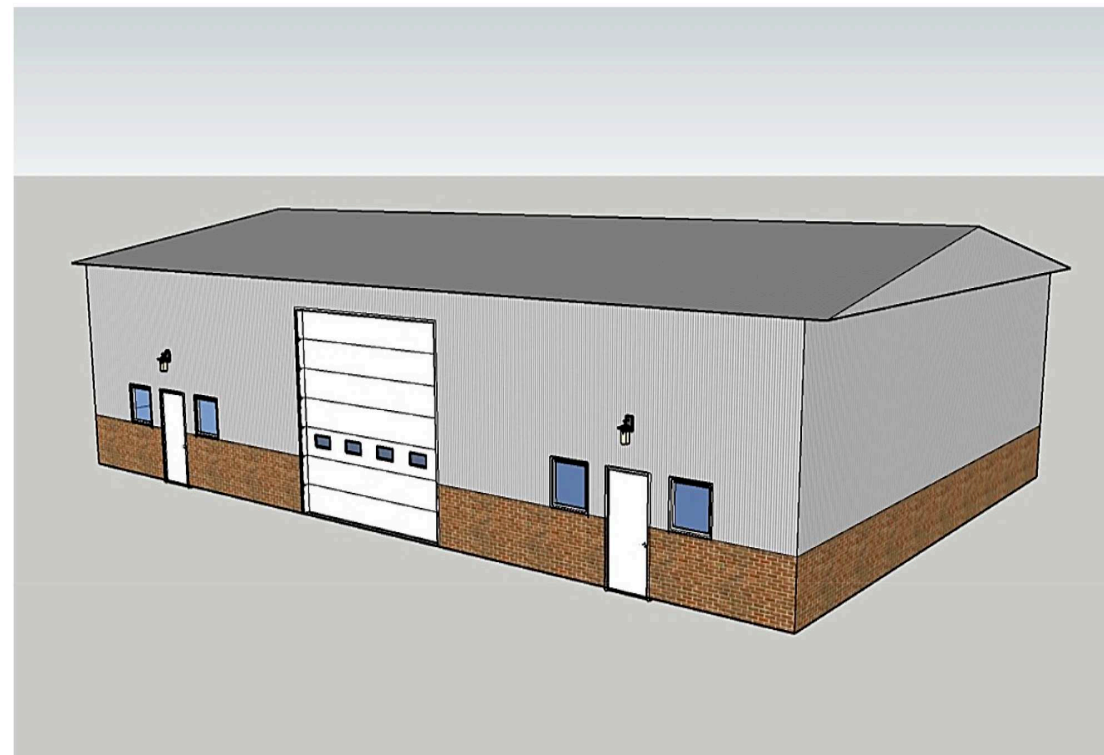
216 RANCH TRAIL
FRONT - LEFT ELEVATION



196 RANCH TRAIL
FRONT - RIGHT ELEVATION



196 RANCH TRAIL
RIGHT-REAR ELEVATION



216 RANCH TRAIL
FRONT - RIGHT ELEVATION





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: 06/11/2019
APPLICANT: Dub Douphrate; *Douphrate and Associates, Inc.*
CASE NUMBER: SP2019-016; *Site Plan for Office Buildings on Ranch Trail*

SUMMARY

Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

BACKGROUND

The subject property is an 11.3736-acre tract of land located at the southwest quadrant of Ranch Trail and Horizon Road, and is zoned Commercial (C) District. The property was annexed on May 17, 2004 by *Ordinance No. 04-34*. According to the City's historic zoning maps, the subject property has been zoned Commercial (C) District since at least April 5, 2005.

PURPOSE

On January 18, 2019, the applicant -- Dub Douphrate of Douphrate and Associates, Inc. -- submitted an application requesting approval of a site plan for the purpose of expanding their existing site by constructing two (2) additional single story buildings. These buildings will consist of a total of approximately 7,220 SF [*i.e.* 4,160 SF & 3,060 SF], and bring the total number of metal buildings on the subject property to four (4). The site is subject to the requirements and land uses stipulated for the Light Industrial (LI) District as stated by the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at the southwest quadrant of the intersection of Ranch Trail and Horizon Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Patriot Paws Service Dogs, which is located on a 3.466-acre parcel of land zoned Commercial (C) District. Continuing north is a continuation of the Maverick Ranch Addition and several other businesses fronting Ranch Trail that are situated in existing metal buildings. These properties are also zoned Commercial (C) District. Beyond these businesses is County Line Road, which is identified as *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this is a single-family residential subdivision (*i.e.* *Lake Rockwall Estates*), zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is a strip center (*i.e.* *Ranch Trail Retail Center*) situated on a 0.7930-acre parcel of land zoned Commercial (C) District. South of the Ranch Trail Retail Center is Horizon Road [FM-3097], which is identified as a TxDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master

Thoroughfare Plan. This roadway delineates the city limits of Rockwall and the beginning of the Extraterritorial Jurisdiction (ETJ).

East: Directly east of the subject property is a continuation of the Rainbow Acres Addition and several other businesses fronting onto Ranch Trail that are situated in existing metal buildings. These properties are zoned Commercial (C) District. Beyond this is a large vacant tract of land, which is zoned Agricultural (AG) District followed by a single-family residential subdivision (*i.e. the Oaks ay Buffalo Way*).

West: Directly west of the subject property two (2) residential homes that are situated on a 4.44-acre tract of land (*i.e. a 2.27-acre & 2.17-acre parcels of land*) identified as the Rainbow Acres Addition. Both properties are zoned Commercial (C) District. Beyond this are several businesses (*i.e. a mini warehouse facility, Buffalo Creek Business Park, etc.*), which are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. general office*) is allowed by-right in a Commercial (C) District. Excluding the exceptions being requested, the submitted site plan, landscape plan, and building elevations, generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. The proposed new buildings will be constructed of metal, utilize roll-up doors, and have a pitched roof design. The applicant is proposing to incorporate a brick wainscot on all building façades. After receiving a recommendation from the Architectural Review Board (ARB), the applicant intends to provide a wainscot on the existing buildings, matching the proposed building exterior facades. The proposed use of these buildings are general business office land uses. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>x=67,502 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>x>364-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x>177-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x>50-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>x=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>x>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i><25-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>37%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x<20%; Not In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>56 Spaces</i>	<i>57 Spaces: In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>0%; Not In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>x=47%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-95%</i>	<i>53%; In Conformance</i>

CONFORMANCE WITH THE CITY’S CODES

Subsection 4.05, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the Commercial (C) District is a district intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district. In addition, these areas may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts. In this case, the applicant’s

proposal is adjacent to Ranch Trail -- *identified as a Minor Collector on the City's Master Thoroughfare Plan* --, and the office land use is not typically a high volume water/wastewater user. With regard to the land use, an office complex is permitted *by-right* in a Commercial (C) District.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) Construction Materials.

- (a) *Materials and Masonry Composition.* Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) stipulates minimum masonry requirements (*i.e. 90% Primary Materials, 20% stone, and no more than 10% Secondary Materials*) for commercial buildings. In this case, the applicant's proposed development does not conform to the minimum masonry requirements. Specifically, the building façades are constructed of metal, which is considered to be a secondary material. As a compensatory measure the applicant is proposing to incorporate a brick wainscot on all building façades, including the existing structures in order to create a unified development scheme on the subject property. Since the façades exceed the maximum amount of secondary materials and are below the minimum masonry requirements, an exception to the material standards is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) Building Articulation.

- (a) *Horizontal Articulation.* Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) stipulates that the maximum wall length shall not exceed more than three (3) times the wall's height without a recess or projection of an architectural element. In this case the maximum wall length is approximately 30-feet. The proposed buildings are constructed of metal and have walls that are between 45-feet and 80-feet in length. Since this exceeds the maximum allowable length, an exception to the building articulation standards is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

These exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a simple majority vote. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Southwest Residential District* and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, the applicant is proposing a multi-tenant office facility that is composed of metal buildings. This use and the proposed metal buildings are similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.

ARCHITECTURAL REVIEW BOARD (ARB):

On May 28, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB recommended that the applicant provide a wainscot on the existing buildings in order to match the proposed buildings' appearance. The ARB will review the revision at the June 11, 2019 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Approval by the Planning and Zoning Commission of all exceptions requested as outlined in staff's report;
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Revision 1 - Staff Comments are Highlighted

Project Number SP2019-016
Project Name 196/216 Ranch Trail
Type SITE PLAN
Subtype
Status Staff Review

Owner JERRY, KISICK CUSTOM HOMES INC
Applicant DUB DOUPHRATE

Applied 5/17/2019 LM
Approved
Closed
Expired
Status

Site Address 200/224 RANCH TRL
City, State Zip ROCKWALL, TX 75032

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
MAVERICK RANCH	5	A	5	4374-000A-0005-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	

ENGINEERING (5/23/2019 4:50 PM SH) - Must have individual water services. - Sewer to be 8" unless it is a private line. - Water to have 10' of clearance on both sides. - Fire hydrant to have a 20' easement. - Drive isle to be 24' wide minimum.	Sarah Hager	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	
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The following is for your information during engineering review.

- 4% Engineering Fees.
- Impact fees.
- All parking to be 20'x9'
- Must show all existing and proposed utilities.
- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'.
- Must have detention for new impervious surfaces.
- Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner.
- Must replat to add the additional easements.
- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
- Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line.
- Water line to be 8" line where public.
- Must have individual water services.
- 4:1 slope maximum for grading.
- Must meet all City Standards of Design and Construction.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
ENGINEERING (6/6/2019 1:37 PM SH) - The water line must have 10' spacing to the sewer service line. - Please label the drive isle width and the interior turn radii for the drive isle. The following is for your information during engineering review. - 4% Engineering Fees. - Impact fees. - All parking to be 20'x9' - Must show all existing and proposed utilities. - If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'. - Must have detention for new impervious surfaces. - Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner. - Must replat to add the additional easements. - Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls. - Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line. - Water line to be 8" line where public. - Must have individual water services. - 4:1 slope maximum for grading. - Must meet all City Standards of Design and Construction.	Sarah Hager	6/6/2019	6/13/2019	6/6/2019	COMMENTS	
FIRE (5/23/2019 1:38 PM AA) Show location of proposed fire lane on the site plan. An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.	Ariana Hargrove	5/17/2019	5/24/2019	5/23/2019	6 COMMENTS	see comments
GIS (5/22/2019 9:58 AM LS) New addresses will be: 4160 sf - 200 RANCH TRAIL, ROCKWALL, TX 75032 3060 sf - 224 RANCH TRAIL, ROCKWALL, TX 75032	Lance Singleton	5/17/2019	5/24/2019	5/22/2019	5 APPROVED	See comments
PLANNING	David Gonzales	5/17/2019	5/24/2019	5/23/2019	6 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two(2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):

The following staff comments (i.e. Phase 1 only) are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

** Planning Department General Comments & Requirements to address/acknowledge:

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).
3. Label all revised site plan documents with "Case No. SP2019-016" at the lower right corner of each plan.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation standards of the UDC for facades
2. Minimum 20% stone requirement for all facades that are visible from a public street or open space
3. For the use of metal building construction (materials exception).

** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

Site Plan:

1. Provide adjacent property owner information on Overall Site Plan(aerial version).
2. Label all access easements as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for each).
3. Provide a heavier line for the utility label and reduce the font. Move labels to be more visible.
4. Use lighter gray scale for the utility lines layer(water & sewer).
5. All ground mounted HVAC units must be screened with landscaping or wing-wall.
6. What are the proposed uses for these buildings? (i.e. this is a commercial district).
7. Delineate and label a minimum 10-ft. landscape buffer along Ranch Trail
8. Remove the label "Replat of" from the Title Block on all pages of this site plan.

Landscape Plan:

1. Provide a landscape plan meeting the requirements of the UDC.
2. One (1)-three (3)-caliper inch canopy tree required for each 750 SF of dry area in the detention pond.
3. One (1)-three (3)-caliper inch canopy tree required for each 50 linear feet of frontage along Ranch Trail
4. Parking spaces cannot be more than 80-ft from the trunk of a large canopy tree.
5. Indicate screening of HVAC units on this plan

Photometric Plan:

1. Will there be any exterior lighting of the site, other than the wall packs as depicted on the building elevations (i.e pole lights)? If so, provide a photometric plan.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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- 2. Provide cut sheets for all exterior lighting fixtures
- 3. If a photometric plan is provided, lighting levels are not to exceed 0.2-FC at the property lines.

Building Elevations:

- 1. All gounded mounted mechanical equipment requires screening from rights-of-way and adjacent properties. Provide detail of screening to be used
- 2. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.
- 3. Provide a materials sample board for ARB review of the actual materials to be used(other than tilt-up wall).
- 4. Provide percentages of exterior material calculations for each elevation(e.g. stone, brick, metal surface, etc.).
- 5. Will there be any stone on the building? The UDC requires a minium of 20% stone on each elevation that is visible from a public street or open space. If there is no stone, this will require approval of an exception by the Planning and Zoning Commission
- 6. Are the elevations for the proposed buildings or all?
- 7. Provide height and width measurements of the proposed buildings.

** The following arescheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend

Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]

Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]

Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]

Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **

PLANNING	David Gonzales	6/6/2019	6/13/2019	6/6/2019	COMMENTS	See comments
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comments on next page

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING AND ZONING 2nd ROUND COMMENTS (06.06.2019):						
The following staff comments are to be addressed and resubmitted no later than Tuesday June 18, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff:						
** Planning Department General Comments & Conditions of Approval:						
1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required						
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).						
EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER						
1. Horizontal articulation standards of the UDC for facades						
2. Minimum 20% stone requirement for all facades that are visible from a public street or open space						
3. For the use of metal building construction (materials exception).						
** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:						
Landscape Plan:						
1. Screening of ground mounted HVAC units required(see note on plans).						
Building Elevations:						
1. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.						
2. Provide percentages of exterior material calculations for each elevation(e.g. stone, brick, metal surface, etc.).						
3. The UDC requires a minimum of 20% stone on each elevation that is visible from a public street or open space. If there is no stone, this will require approval of an exception by the Planning and Zoning Commission.						
4. Provide height and width measurements of the proposed buildings.						
** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend						
Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]						
Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						

Police Department	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	See comments
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/23/2019 5:48 PM DG)						Comments provided by Capt. Ed Fowler - Police
SP2019-016 - 196/216 RANCH TRAIL						<p>Considerations:</p> <ul style="list-style-type: none"> • Lighting placed upon all sides of the exterior the buildings, over doors and at the rear of property to illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred. • Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing • Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. • Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) • Consider installation of device to prevent breaching of overhead door with vehicle(push or pull). Locking/Removal Bollards, Vehicle Placed in Front of Door, within specifications of City Code and Ordinance and Fire Code. • Consider target hardening with industrial standard or greater locking devices for all doors • Cameras on corners of building, doors equipped with alarms and interior proximity alarms on the interior. • Ensure trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night. • More than willing to speak with owner(s) directly to assist in site planning to prevent crime

0 25 50 100 150 200 Feet

SP2019-016 - 196/216 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

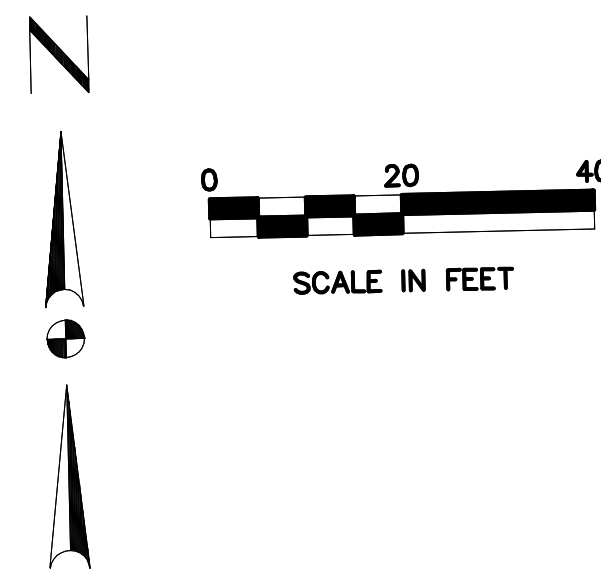


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



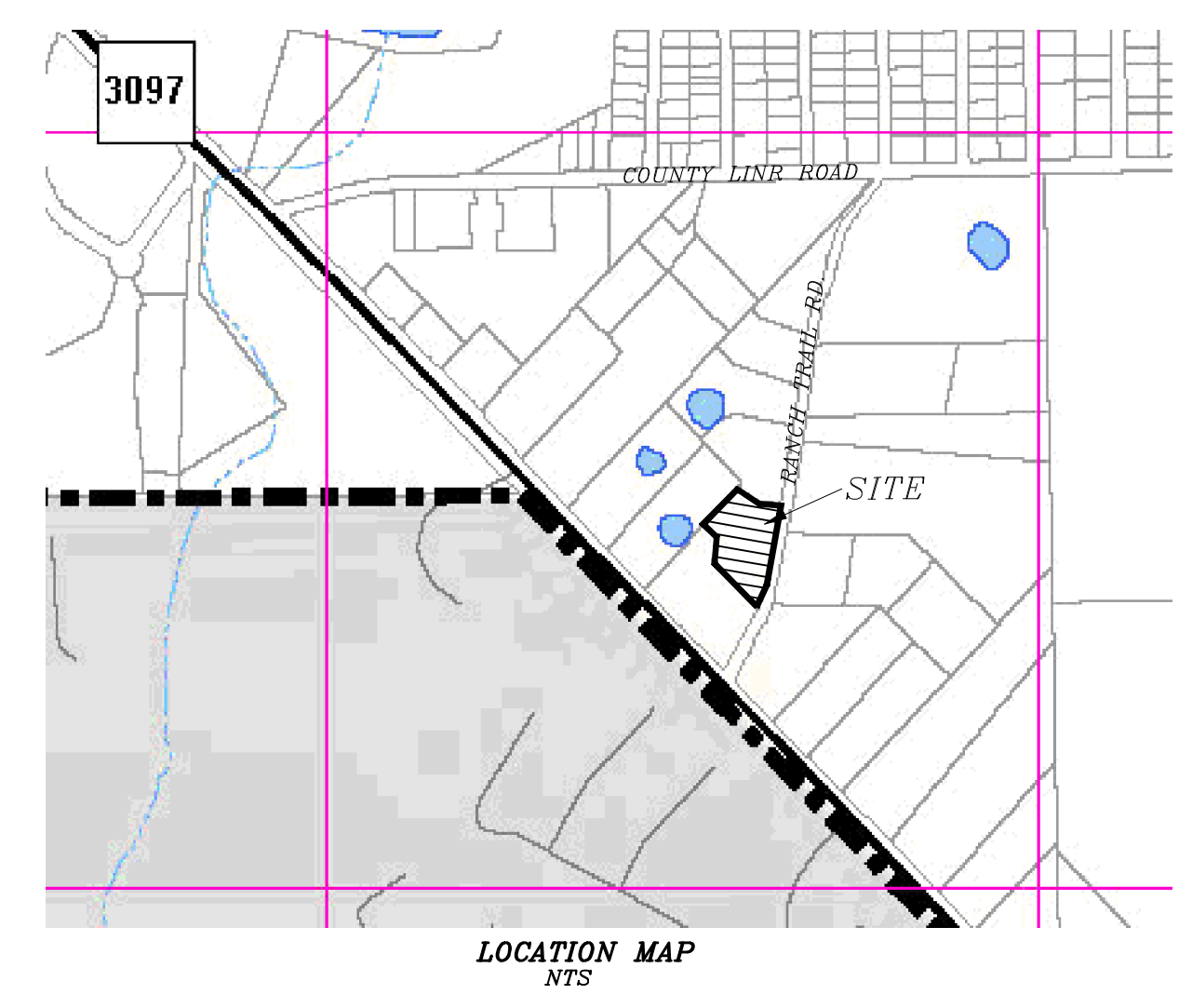


KUMAR ATUL
2.27 AC.
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.

TEXAS RANCH TRAILS, LLC
PART OF LOT 6, BLK A
1.32 AC.
VOL. 2016, PG. 0000017304

RIDGE POINTE HORIZON, LP
0.798 AC.
PART OF LOT 6, BLK A
MAVERICK RANCH
VOL. 2014, PG. 0000014590

PATRIOT PAWS SERVICE DOGS
3.468 AC.
LOT 1, BLOCK A
PATRIOT DOGS ADDITION
VOL. 2014, PG. 0000006979



LOCATION MAP
NTS

DUMPSTER WITH
SCREENING FENCE

SITE DATA SUMMARY	
ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	57 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

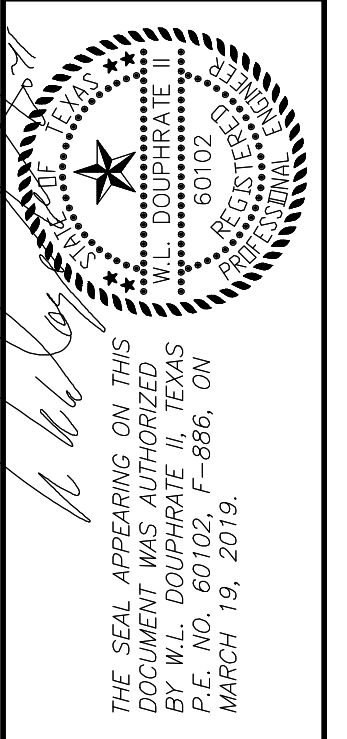
- SITE NOTES:
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
 3. EXTERIOR LIGHTING TO BE WALL PACKS SEE BUILDING ELEVATIONS

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
ROBERT & PAMELA HAWLEY
1716 BISON MEADOW LANE
HEATH, TEXAS 75032
XXXXXXXXXX

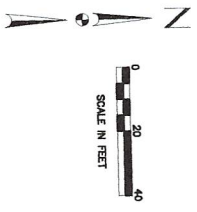
SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAGUIRE, TEXAS 75150
(903)-944-6397
Tecas Firm No. 10194258



DOUPHRA TE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
LOT 5, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	
DRAWN	GCW.
SCALE	1" = 20'H 1/4" = 4'V
DATE	MAR 28, 2019
PROJECT	14026
	10

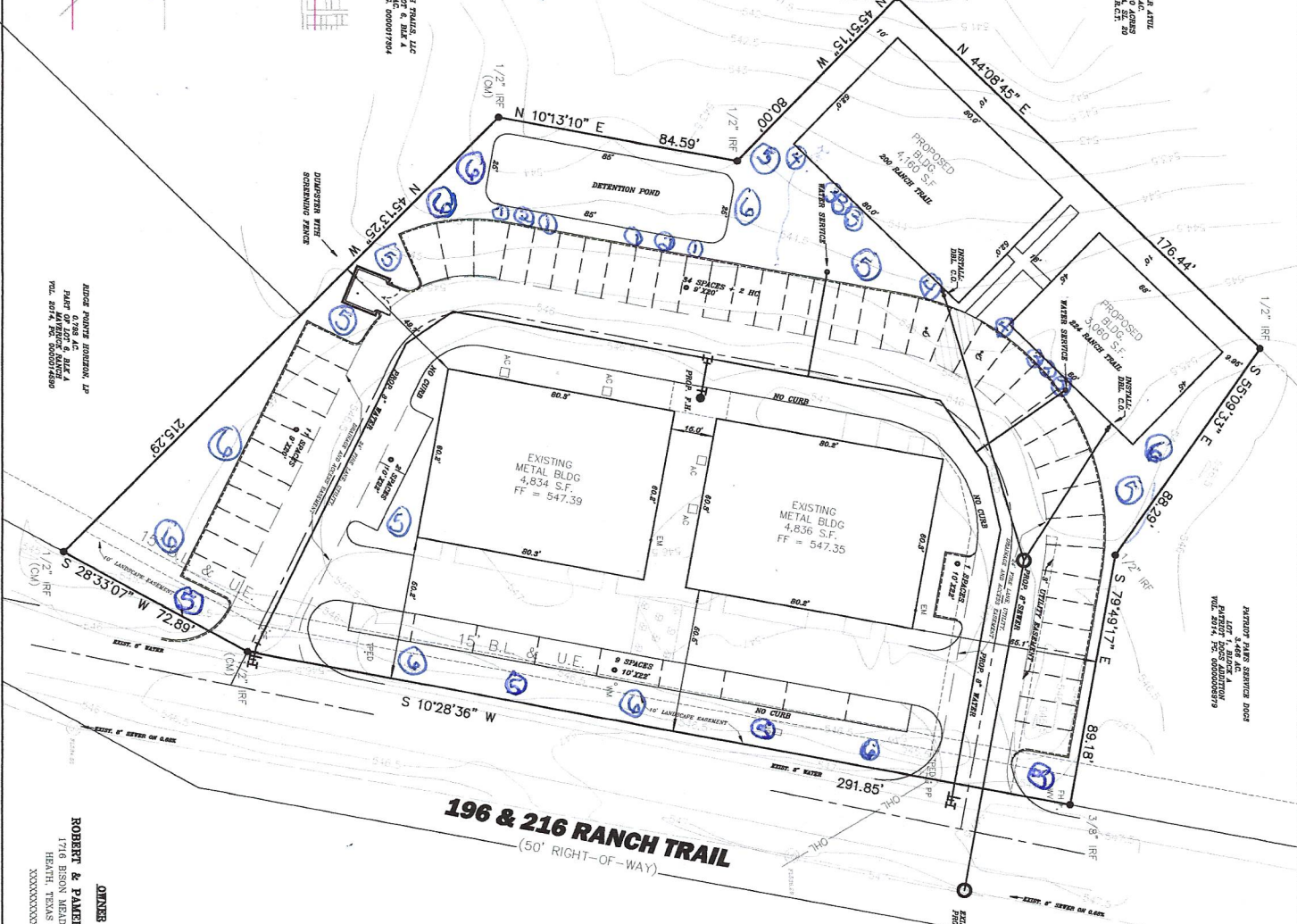


TEXAS RANCH TRAILS, LLC
 PART OF LOT 5, BLOCK A
 TOL. 2014, NO. 0000017504

FIELD AC
 1.27 AC
 54,900 SQ. FT.
 0.0000000000
 0.0000000000
 0.0000000000

DOUPHRAE & ASSOCIATES, LP
 1706 E. BAYVIEW BLVD. #107
 HEWITT, TEXAS 79062
 TOL. 2014, NO. 0000000000

INTERIOR LAND SERVICES, INC.
 1011 E. BAYVIEW BLVD. #107
 HEWITT, TEXAS 79062
 TOL. 2014, NO. 0000000000



196 & 216 RANCH TRAIL
 (50' RIGHT-OF-WAY)

OWNER
 ROBERT & PAMELA HAWLEY
 1716 BROWN MEADOW LANE
 HEWITT, TEXAS 79062
 XXXXXXXXX

SURVEYOR
 PINCHER LAND SURVEYING, PLLC
 3213 INTERSTATE HIGHWAY 30, #107
 HEWITT, TEXAS 79062
 (937)-444-6892
 Texas Firm No. 10194259

SITE NOTES:
 1. PARKING SPACES ARE 20'x0'
 2. PARKING AND WANTED HVAC UNITS TO
 BE SCREENED WITH LANDSCAPING
 3. SEE ATTACHED ELEVATIONS
 4. SEE ATTACHED ELEVATIONS
 5. SEE ATTACHED ELEVATIONS

TAX ROLL DESCRIPTION:
 TRACT 51449, CRENS 1560

1,550 AC.
 67,502 SQ. FT.

SITE DATA SUMMARY:
 ZONING: C (COMMERCIAL)
 PROPOSED USE: BUSINESS OFFICES
 LOT AREA: 1,550 ACRES
 BUILDING FOOTPRINT: 16,880 SQ. FT.
 BUILDING HEIGHT: 28 FT.
 LOT COVERAGE: 23.85%
 PARKING REQUIRED: 57 SPACES
 HANDICAP PARKING PROVIDED: 2 SPACES
 INTERIOR LANDSCAPING PROVIDED: 31,900 SQ. FT.
 INTERIOR SURFACE: 35,602 SQ. FT.

1 Texas Sage 3g
 2 Spirea Bridelworth 3g
 3 Waxleaf Ligustrum 2-3g
 4 Texas Sage Despreux 3-7g
 5 Shantung Maple 3-4" Caliper
 6 Oak (live) 3-4" Caliper

Note: All Grounded A/C units will be screened with shrubs on all sides



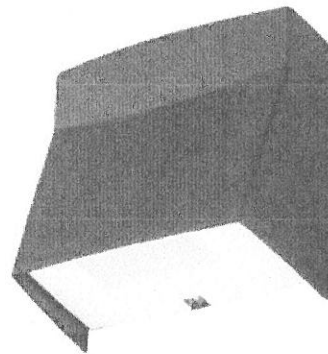
Catalog Number
Notes
Type

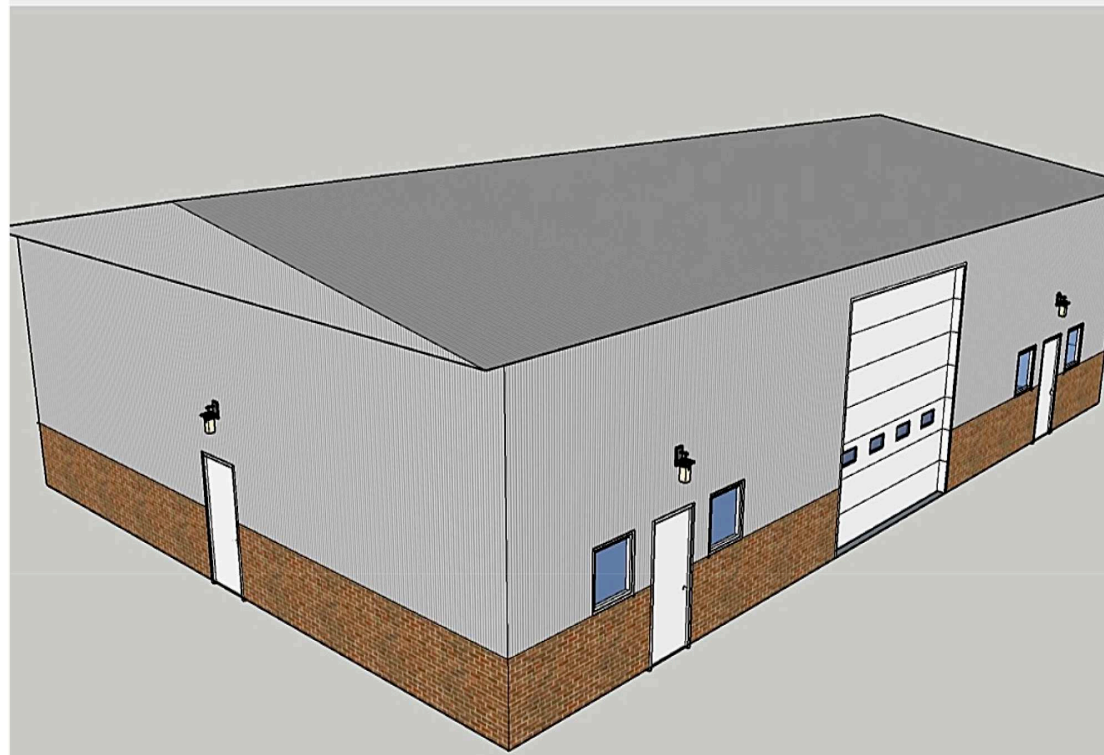
Contractor Select™
LIL LED
Wall Mount Lighting

The Lithonia Lighting® LIL wall pack is just 5 inch x 5 inch in size and delivers 800 lumens using only 8 watts. It is the ideal, compact "over-the-door" lighting solution for commercial and residential applications.

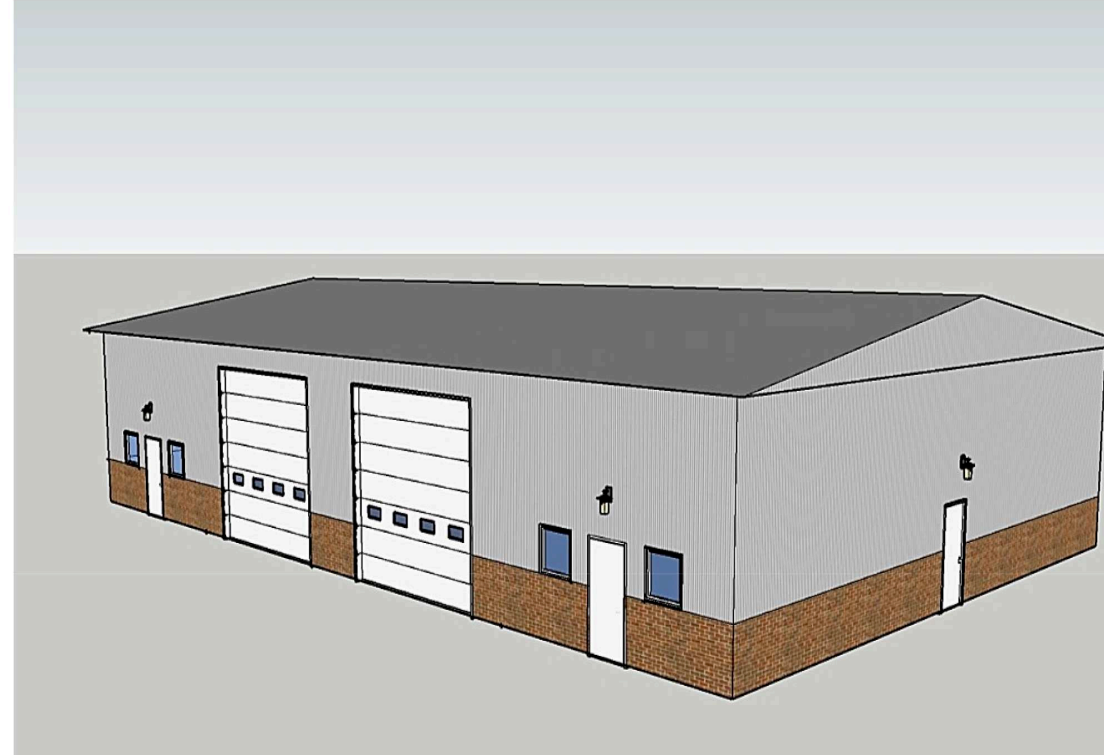
FEATURES:

- Replaces up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution, Photocell and battery pack options available
- Back box accessory available for conduit wiring

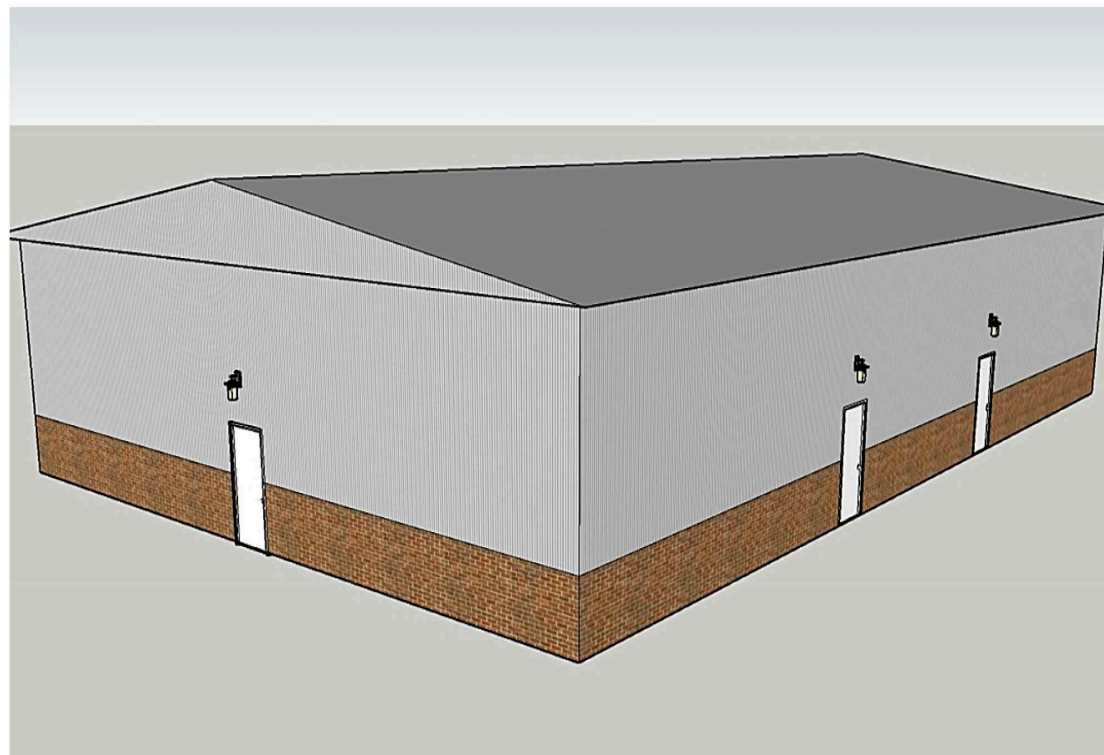




216 RANCH TRAIL
FRONT - LEFT ELEVATION



196 RANCH TRAIL
FRONT - RIGHT ELEVATION



196 RANCH TRAIL
RIGHT-REAR ELEVATION



216 RANCH TRAIL
FRONT - RIGHT ELEVATION





June 19, 2019

ATTN: DUB DOUPHRATE
DUB DOUPHRATE
2235 RIDGE ROAD,
ROCKWALL, TX 75087

RE: SITE PLAN (SP2019-016), 196/216 Ranch Trail

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 06/11/2019. The following is a record of all recommendations, voting records and conditions of approval:

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;

(2) Approval by the Planning and Zoning Commission of all exceptions requested as outlined in staff's report;

(3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On June 11, 2019, the Planning and Zoning Commission's motion to approve the site plan with staff conditions and Architectural Review Board (ARB) recommendations passed by a vote of 6 to 0 with Commissioner Lyons absent.

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

David Gonzales, AICP
Planning Manager
Planning & Zoning Department
City of Rockwall, TX