



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-014 P&Z DATE 5/20/2019 CC DATE 6/11/2019 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ON

PLANNING & ZONING CASE NO. SP2019-014

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup> In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address XXX TURTLE COVE BLVD.

Subdivision \_\_\_\_\_

Lot 1

Block \_\_\_\_\_

Block \_\_\_\_\_

Block A

General Location WEST & BEHIND OF 510 TURTLE COVE BLVD.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District

Current Use EMPTY

Proposed Zoning Commercial (C) District

Proposed Use \_\_\_\_\_

Acreage 2.74 TOTAL

Lots [Current] \_\_\_\_\_

Lots [Current] 1.28 PHASE-1

Lots [Proposed] \_\_\_\_\_

Lots [Proposed] 1.28 PHASE-1

**Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CENTER FOR PEACE AND MERCY, INC.

Applicant AHMED HELALUZZAMAN

Contact Person ABDUL LATIF KHAN (PRESIDENT)

Contact Person \_\_\_\_\_

Address 4152 GREENFIELD DR.

Address 545 COVENTRY DRIVE

City, State & Zip RICHARDSON, TX 75082

City, State & Zip GRAPEVINE, TX 76051

Phone 3186173491

Phone 8178080811

E-Mail \_\_\_\_\_

E-Mail akm.helaluzzaman@gmail.com

## NOTARY VERIFICATION [REQUIRED]

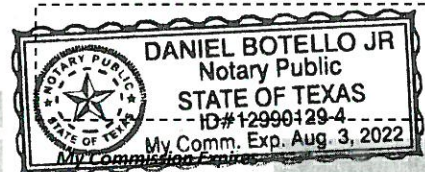
Before me, the undersigned authority, on this day personally appeared Ahmed Helaluzzaman [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 304.80, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 2019. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 10 day of May, 2019.

Owner's/Applicant's Signature *[Signature]*

Notary Public in and for the State of Texas *[Signature]*





**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

**External Review:** Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

**Internal Review:** Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

**From:** Planning & Zoning Department

**Date:** 5/17/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 05/24/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 5/28/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 5/28/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2019-014  
**Project Name:** Retail shopping/House of Worship  
**Project Type:** SITE PLAN  
**Applicant Name:** AHMED HELALUZZAMAN  
**Owner Name:** PEACE & MERCY, CENTERS FOR  
**Project Description:**



# RECEIPT

Project Number: SP2019-014  
Job Address: 600 TURTLE COVE DR  
ROCKWALL, TX 75087

Receipt Number: B85298

Printed: 9/4/2019 3:37 pm

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 304.80

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**Total Fees Paid:**

**\$ 304.80**

Date Paid: 5/21/2019 12:00:00AM

Paid By: Amazing Concept, LLC

Pay Method: CHECK 1055

Received By: LM

## City of Rockwall Project Plan Review History



<b>Project Number</b>	SP2019-014	<b>Owner</b>	PEACE & MERCY, CENTERS FOR			<b>Applied</b>	5/14/2019	LM
<b>Project Name</b>	Retail shopping/House of Worship	<b>Applicant</b>	AHMED HELALUZZAMAN			<b>Approved</b>		
<b>Type</b>	SITE PLAN					<b>Closed</b>		
<b>Subtype</b>						<b>Expired</b>		
<b>Status</b>	Staff Review					<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>						
600 TURTLE COVE DR		ROCKWALL, TX 75087						
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>		
HUDSPETH		22		22	0064-0000-0022-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/14/2019	5/21/2019	5/21/2019	7	APPROVED	
ENGINEERING	Sarah Hager	5/14/2019	5/21/2019	5/24/2019	10	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(5/24/2019 1:31 PM SH)							
<ul style="list-style-type: none"> <li>- Must show the location of the NTMWD force main.</li> <li>- Water line to be centered in a 20' easement.</li> <li>- No structures in easements.</li> <li>- One way back drive is not allowed. If you wish to have this access, it will need to be 24' minimum.</li> <li>- Dumpster to drain to an oil/water separator and then to the storm lines.</li> <li>- Parking to be 20' x 9'.</li> <li>- 10' spacing for fire line to all other lines.</li> <li>- Hydrant to have 5' of clearance behind the curb.</li> <li>- What are these two extra wide parking spaces? or landscaping?</li> <li>- Detention needs to be in an easement and no structures are allowed in easements.</li> </ul>							
The following are for your information for engineering design.							
<ul style="list-style-type: none"> <li>- 4% Engineering Inspection Fees</li> <li>- Impact Fees</li> <li>- Drainage release into railroad right-of-way will require railroad approval</li> <li>- Detention is required</li> <li>- No utilities allowed in detention easement</li> <li>- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems</li> <li>- Minimum utility easement width is 20'</li> <li>- Label distances between driveways (measured from edge to edge)</li> <li>- All parking to be 20'x9'</li> <li>- All drive aisles to be a minimum of 24' wide</li> <li>- No structures in easements</li> <li>- Max slope is 4:1</li> <li>- Must loop an 8" water line to take fire protection, water service, and irrigation off of.</li> <li>- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.</li> <li>- Assembly use may require fire sprinkler. Check with fire department.</li> <li>- Must meet all engineering standards</li> </ul>							
(5/24/2019 1:38 PM SH)							
- Walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.							
FIRE	Ariana Hargrove	5/14/2019	5/21/2019	5/23/2019	9	APPROVED	see comment
(5/23/2019 1:26 PM AA)							
An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.							
GIS	Lance Singleton	5/14/2019	5/21/2019	5/22/2019	8	APPROVED	See comments
(5/22/2019 9:52 AM LS)							
Shell address will be 600 TURTLE CREEK BLVD, ROCKWALL, TX 75087							
*Any suite numbers should follow a 101 103 105... seperation scheme (from South to North) to allow for future unexpected demising walls. Each suite will be confirmed at its permitting.							

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	Korey Brooks	5/14/2019	5/21/2019	5/23/2019	9 COMMENTS	Comments
<p>SP2019-014 Site Plan for Retail Shopping Center and House of Worship: Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <ol style="list-style-type: none"> <li>1. This is a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 &amp; 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740].</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-014) in the lower right hand corner of all pages on future submittals.</li> <li>4. Sheet No. A001—This sheet is not reviewed—For reference only. Please incorporate Legend and Contact Information on remaining drawings (if not provided).</li> <li>5. Please provide Site Data Table (named Project Data Table on the sheet) on all sheets. Please add parking data and the breakdown of worship/retail SF from Code Table. Also provide pervious vs. imperious SF and percentage. Please add lot coverage SF and %. Please add zoning district and overlay district. Please add % of required landscaping and % of provided.</li> <li>6. Sheet No. A101—This sheet doesn't seem to be necessary. The site plan on sheet C1 is the type of site plan that is needed. Please transfer site data table to remaining sheets.</li> <li>7. Sheet C-1—Please note that in overlay district the dumpster screening is 8-feet, materials matching the main structure, with self-latching opaque gate.</li> <li>8. Sheet C-1—There is a large amount of information on this sheet. Please greyscale topo and utilities.</li> <li>9. Sheet C-1—Since there is large amount of lines on this page, could the firelane change from a hatch pattern to a solid grey? Show any remaining pavement, including sidewalks as a different shade of grey.</li> <li>10. Sheet C-1—There is a reference to a “water easement by this plat” on the building footprint. Please remove along with any other plat references (e.g. the references to state plane coordinates). The plat will be taken care of at a later time.</li> <li>11. Sheet C-1—Please use varying line weights and types to provide clearer differentiation. Also provide those changes in the legend. There are several items that use the same linetype.</li> <li>12. Sheet C-1—Please show all proposed easements and extend of detention.</li> <li>13. Sheet C-1—Please greyscale information on adjacent sites (i.e. any information that is not on your lots).</li> <li>14. Sheet C-1—Please remove water meter schedule.</li> <li>15. Sheet C-1—Please note that parking is 9x20.</li> <li>16. Sheet C-1—Please revise access easements to “Public Access” instead of “Mutual”</li> <li>17. Sheet C-1—Please remove symbols for IRF/similar</li> <li>18. Sheet C-1—Please show division of worship area vs retail.</li> <li>19. Sheet C-1—The parking close to the RR and Turtle Cove is dead end and will probably need a turnaround to allow vehicles to back out of the space.</li> <li>20. Sheet C-1—No parking space shall be more than 80-feet from a canopy tree.</li> <li>21. Sheet C-1—The site plan shows three or four thick grey lines that are not labeled. Some are adjacent to the property line and one is adjacent to Turtle Cove. What are these lines? Also there are several lines in the ROW that are not labeled. Please try to label all lines.</li> <li>22. Sheet C-1—Will the two lots be combined?</li> <li>23. Sheet C-1—What are the two pie shaped “parking spaces” near the play area? They cannot be parking spaces; however, I cannot determine what is being shown.</li> <li>24. Sheet C-1—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.</li> <li>25. Sheet C-1—Please provide dimensions of all walls.</li> <li>26. Sheet C-1—Please provide dimensions from building to all property lines.</li> <li>27. Sheet C-1—Please note that the building does not meet horizontal articulation requirements as drawn and will need a variance. Please review Commercial articulation requirements.</li> </ol>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
28.	Sheet LP.01					—please dimension a typical parking space—also as noted, parking must be 9x20.
29.	Sheet LP.01					—The parking and building can be greyscaled so that the landscape plan focuses on the landscaping.
30.	Sheet LP.01					—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.
31.	Sheet LP.01					—Please provide the actual footprint of the building (i.e. show any projections or recesses).
32.	Sheet LP.01					—Please provide adjacent property information as shown on C-1.
33.	Sheet LP.01					—Please darken and label property line for subject property.
34.	Sheet LP.01					—There several dashlines toward the SE of the property that are not labeled. Please label all lines, provide a variety of lineweights/types. A legend can be provided in lieu of labeling each line. As drawn, the utilities and property lines, ROW, etc. have the same line weight and type.
35.	Sheet LP.01					—There are several dark circles with a line projecting and several open circles. Please label or provide a legend.
36.	Sheet LP.01					—As on Sheet C-1, please show firelane as a shade of grey and any remaining concrete as a lighter shade of grey. Please use the stippling pattern currently being used on the firelane to show where grass will be.
37.	Sheet LP.01					—Please add site data table as mentioned above. Some of the needed information is already being provided on the sheet; however, please replace with the same data table so that all sheets have the same data table/same information.
38.	Sheet LP.01					—Please darken visibility triangles
39.	Sheet LP.01					—What are the two hatched areas at the end of the parking toward the rear of the building?
40.	Sheet LP.01					—For consistency purposes, please change title from Planting Plan to “Landscape/Treescape Plan”
41.	Sheet LP.01					—Please note that the min caliper inch for trees is 4-inches.
42.	Sheet LP.01					—Please note that headlight screening may be required along the property line adjacent to the RR.
43.	Sheet ESP					—Please removed the details of the light pole. Just show the pole from the ground up and provide height.
44.	Sheet ESP					—The Electrical Notes may not be necessary on the photometric plan; those notes seem to be needed later when the building permit is being requested. Please note that this is a “Photometric Plan” instead of an Electrical Site Plan.
45.	Sheet ESP					—Please label adjacent properties as shown on Sheet C-1.
46.	Sheet ESP					—Please remove building footprints from adjacent properties.
47.	Sheet ESP					—Please label “Future Development” phase.
48.	Sheet ESP					—Please provide a combination of lineweights and types to differentiate between the subject property and the adjacent properties. Please label property line of subject property.
49.	Sheet ESP					—please show the site (i.e. parking building, etc) as the same shade but please greyscale. In addition, please provide a larger, darker font for FC grid.
50.	Sheet ESP					—Please note, the light intensity at the property line shall be no greater that 0.2 FC. Please check photometric plan and ensure compliance.
51.	Sheet ESP					—Please note that all fixtures shall be fully shielded and pointed downward.
52.	Sheet ESP					—Please provide graphic and numeric scale, north arrow and vicinity map.
53.	Sheet ESP					—Please see above for the correct LS buffer and setback.
54.	Sheet ESP					—Please note that no light pole shall exceed 20-feet
55.	Sheet ESP					—Please provide cut sheets for fixtures.
56.	Sheet A501					—Please remove all signage.
57.	Sheet A501					—Please add cardinal direction to all elevation.
58.	Sheet A501					—Please provide height of “tower element” closest to the building material percentage on elevation 2 and the element directly below on elevation 1.
59.	Sheet A501					—Please provide site data table.60. Sheet A501—Are the tower elements flush with the façade or do they project?
61.	Sheet A501					—Please note, as shown, the building elevations will require a variance to 4-sided architecture, and vertical and horizontal articulation.
62.	Sheet A501					—Please note that all buildings shall be architecturally finished on all 4 sides with the same elements and materials.
63.	Sheet A501					—Please note that elevation 1 exceeds the max of 10% EIFS—this will require a variance.
64.	Sheet A501					—Please label the material above the window as provide type of material for awnings.
65.	Sheet A501					—Please provide elevation of dumpster enclosure.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
66. Sheet A501—Please dash-in all rooftop equipment and provide information on how it will be screened.						
67. Please label at least one set of light fixtures on each of the elevations.						
68. Sheet A501—What material is the small squares on the building elevations?						
69. Sheet A501—is the stone a natural stone?						
70. Sheet A502—Please note that the two elevations are labeled the same as the elevations on A501.						
71. Sheet A502—Please see comments from A501						
72. Sheet A502—Please note that as drawn, the rear elevation will need several variances: vertical and horizontal articulation, 4 sided architecture, 20% stone requirement.						
73. Sheet A502—There are three vertical lines drawn between the doors. What are these lines?						
74. Sheet A502—Please label the element directly on top of the brick.						
75. Sheet A502—Please note, the back of the parapets is visible. The back of the parapets will need to be finished and revised so that it is not a flat parapet (i.e. it will need to look like a “box” rather than a “panel”						
76. Sheet A502—Please provide a perspective drawing.						
77. Sheet A201—Please note that this sheet is for reference and was not reviewed or approved. That will be taken care of at time of Building Permit submission.						
78. The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m.						
79. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019						

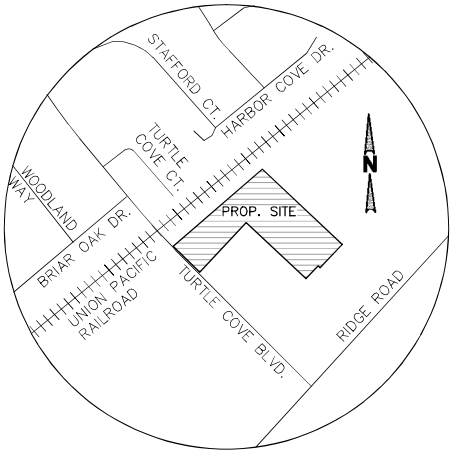
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Police Department SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP Considerations:	Police Department	5/24/2019	5/31/2019	5/24/2019	COMMENTS	Comments
<ul style="list-style-type: none"> <li>Lighting placed upon all sides of the exterior the buildings, entry ways and especially controlled access gate entrances. This should illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.</li> <li>Place high resolution cameras on corners of building, controlled access gate entrances, door entrances into buildings and common areas inside the business.</li> <li>If case is kept on sights, consider a safe room that contains a money safe with an hardened outward opening door with deadbolt and key control. Consider an internal distress alarm for the sale and limited access by management.</li> <li>UL appropriate safe (Money vs. Fire)</li> <li>Consider bollards with appropriate a at soft access points</li> <li>Consider mirror(s) corners and enclosed areas to reveal anyone that might be present (suspect)</li> </ul>						

I'm available to speak with or make recommendations on this projects. Please do hesitate to contact me for any assistance.

**LEGEND**

TC	EXISTING TOP OF CURB	GW	EXISTING GUY WIRE
TSW	EXISTING TOP OF SIDEWALK	S	EXISTING WATER LINE
GT	EXISTING GUTTER	SS	EXISTING SANITARY SEWER LINE
TELP	EXISTING TELEPHONE PEDESTAL	SSW	EXISTING STORM SEWER LINE
BL	EXISTING BOLLARD	CS	EXISTING CHAINLINK FENCE
INLET	EXISTING CURB INLET	G	EXISTING GAS LINE
PP	EXISTING POWER POLE	OHE	EXISTING OVERHEAD POWER LINE
WV	EXISTING WATER VALVE	675	EXISTING CONTOUR
LP	EXISTING LIGHT POST	675	PROPOSED CONTOUR
GM	EXISTING GAS METER	VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
GH	EXISTING FIRE HYDRANT		
TMH	EXISTING TELEPHONE MANHOLE		
SSMH	EXISTING SANITARY SEWER MANHOLE		
PSL	PROPOSED STREET LIGHT		
FH	PROPOSED FIRE HYDRANT		

**DUMPSTER NOTE:**  
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



**VICINITY MAP N.T.S.**

**LINE BEAR**

L1	S 43°
L2	N 46°
L3	S 43°

One way back lane is not allowed. Must be 24' wide if used as a drive lane. Water to be centered in a 20' easement. No structures in easements.

Dumpster to drain to an oil/water separator then to the storm lines.

Detention will need to be in an easement. No structures in easements.

What are these two spaces?

10' spacing min for fire line and water to sewer. Hydrant to have 5' clearance from the back of curb.

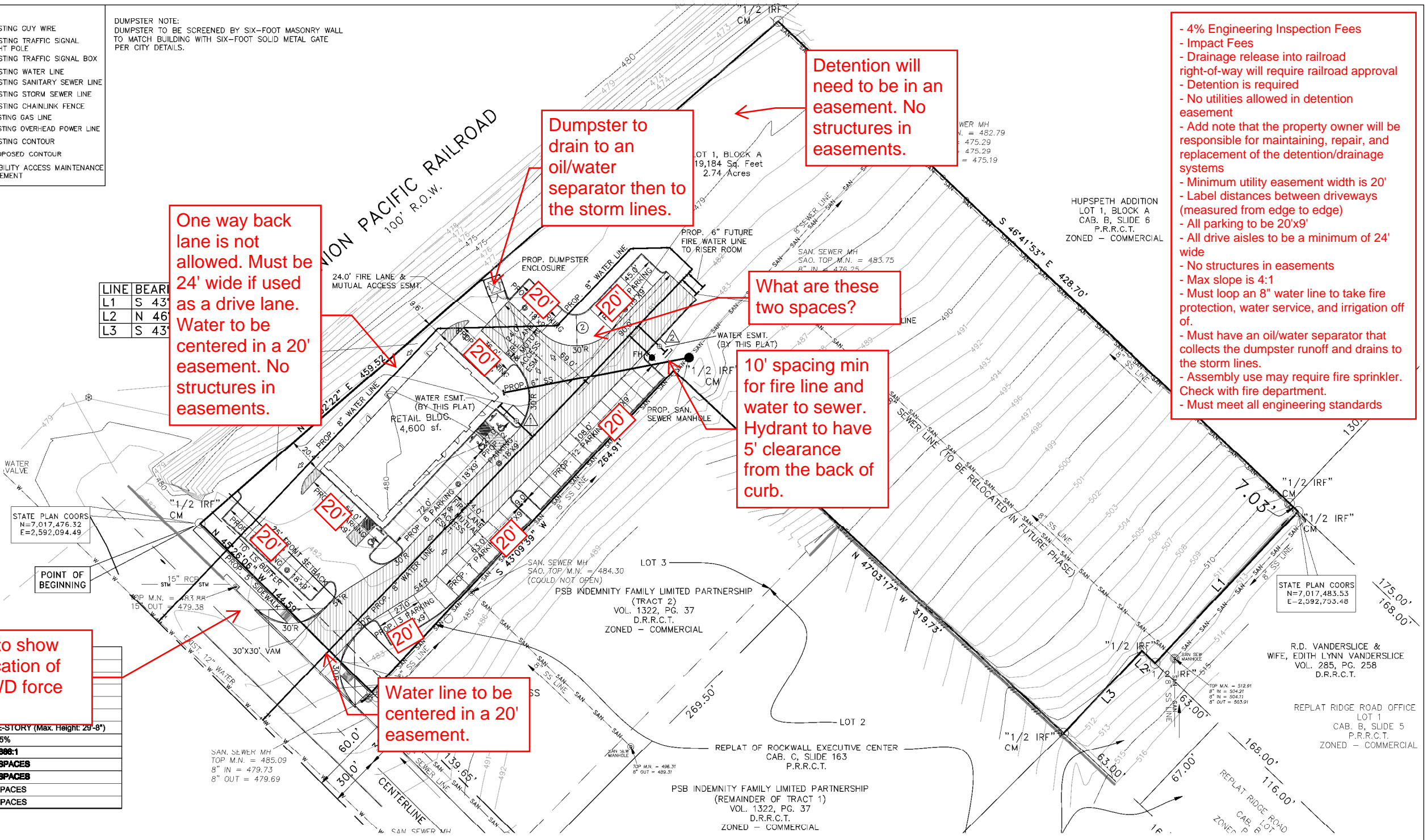
Water line to be centered in a 20' easement.

- 4% Engineering Inspection Fees
- Impact Fees
- Drainage release into railroad right-of-way will require railroad approval
- Detention is required
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must loop an 8" water line to take fire protection, water service, and irrigation of.
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Assembly use may require fire sprinkler. Check with fire department.
- Must meet all engineering standards

**SITE DATA SUMMARY TABLE**

ITEM	
<b>GENERAL SITE DATA</b>	
ZONING (from zoning map)	
LAND USE (from zoning ordinance)	
LOT AREA (square feet & acres)	
<b>PROP. BUILDING FOOT PRINT AREAS</b>	
BUILDING HEIGHT (#Stores)	ONE-STORY (Max. Height 29'-8")
LOT COVERAGE	8.25%
FLOOR AREA RATIO	0.0988:1
PARKING REQUIRED	51 SPACES
PARKING PROVIDED	61 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	3 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	3 SPACES

Need to show the location of NTMWD force main.



**OWNER**  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH: 318-617-3491

**SURVEYOR**  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214-349-9485

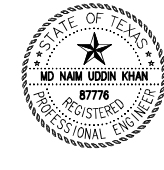
**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214-533-7181  
E-MAIL: naim1207@yahoo.com

**ARCHITECT**  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH: 817-808-0811  
E-MAIL: akm.hellaluzzaman@gmail.com

**LANDSCAPE ARCHITECT**  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH: 214-403-2034

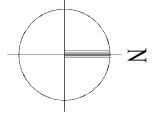
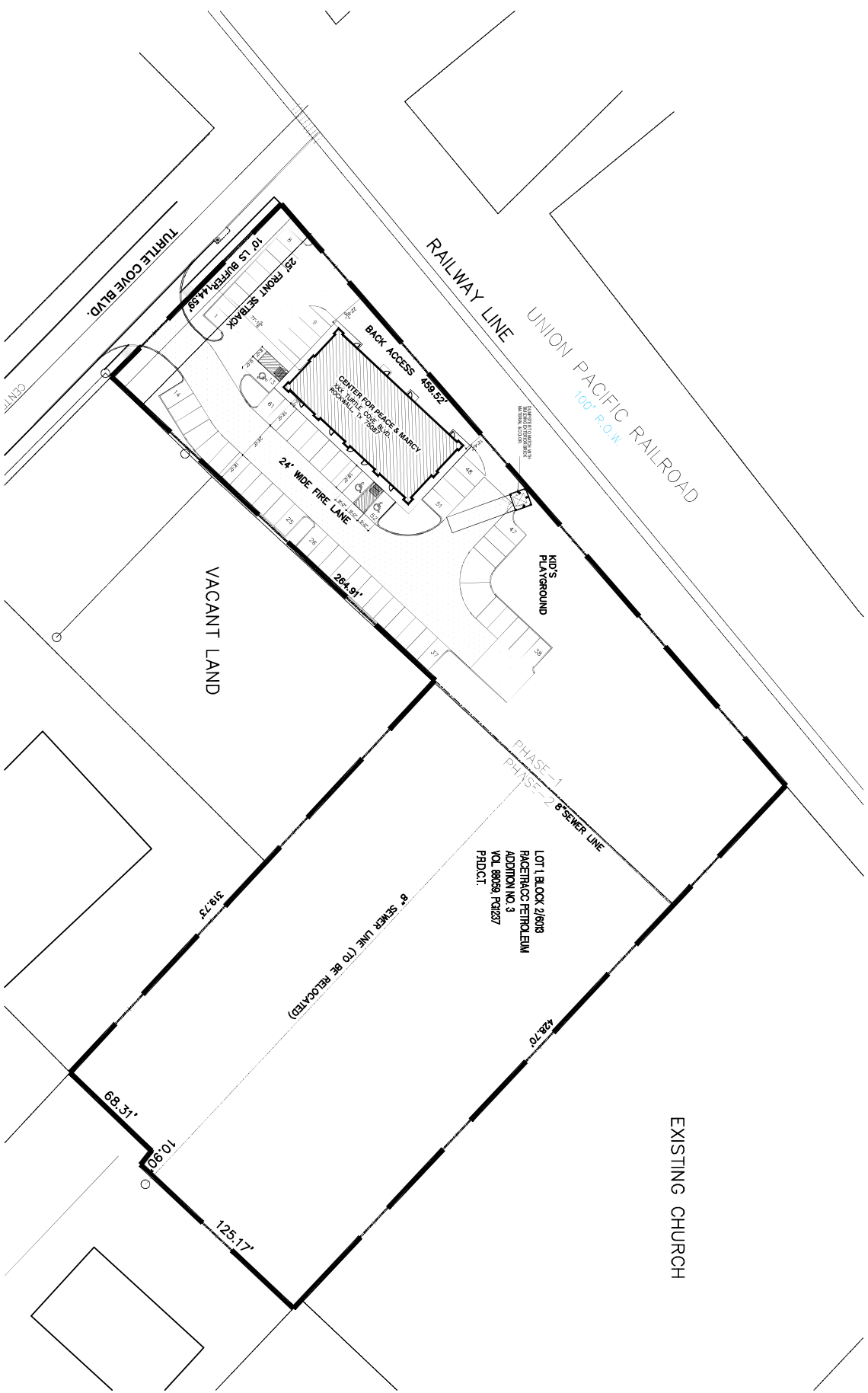
**WATER METER SCHEDULE**

I.D.	TYPE	SIZE	NO.	SAN. SEWER	REMARKS
1	DOMESTIC	1.5"	1	6"	PROPOSED
2	IRRIGATION	1.0"	1	N/A	PROPOSED



Md. Naim Uddin Khan  
04-05-19  
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

<b>SITE PLAN SP 2019-</b>		<b>Scale: 1"=30'</b>	
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES		Date : 4/5/2019	Design : ND
<b>ND &amp; Associates, LLC</b> 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340		Draft : ND	Checked : ND
<b>SITE PLAN</b>		PROJECT NO : ROCK2019-725	
<b>C-1</b>			

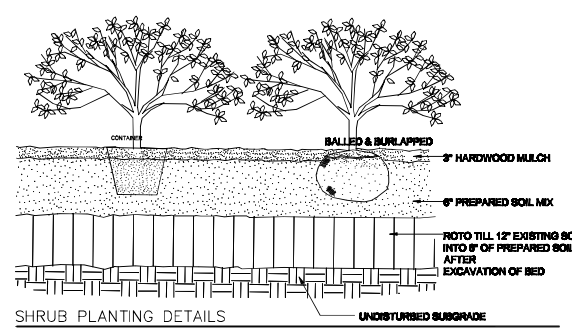


**01**  
SITE PLAN  
SCALE: 1" = 400'

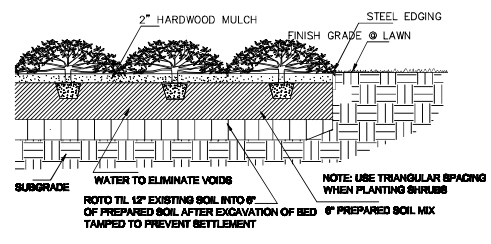
PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

See notes on previous sheet.

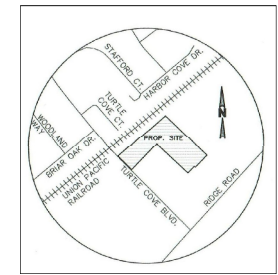
<p><b>amazing concept</b> residential &amp; commercial projects 501 Central Expressway, Suite 1100 Rockwall, TX 75087 E-mail: amazingconcept@gmail.com</p>	<p><b>PROJECT:</b> RETAIL BUILDING PHASE-1 XXX Turtle Cove Boulevard, Rockwall, Tx 75087</p>	<p><b>OWNER:</b> CENTER FOR PEACE AND MERCY, INC.  <b>PHONE:</b> 318-617-3491 <b>EMAIL:</b> Peacemercyinc@gmail.com</p>											
<p><b>DATE:</b> 04.09.2019 <b>SCALE:</b> AS SHOWN <b>DRAWN:</b> A. HEALUZZMANI <b>DESIGNER:</b></p>	<p><b>REVISIONS:</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>											<p><b>SHEET TITLE:</b> SITE PLAN</p>	<p><b>PROJECT #</b> <b>H-2019-02</b> <b>SHEET NO.</b> A101</p>



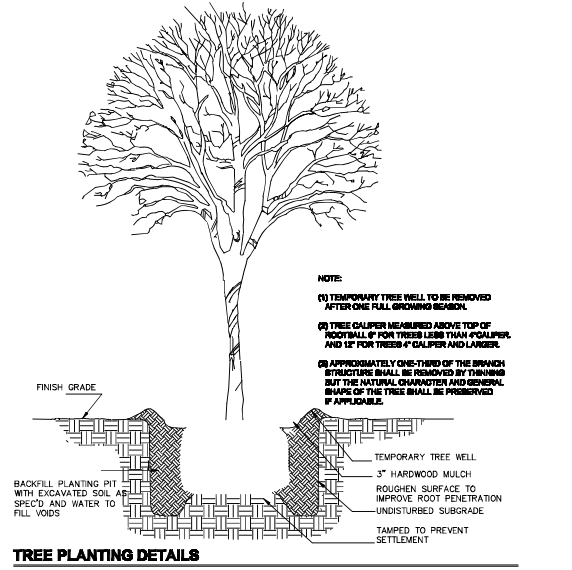
SHRUB PLANTING DETAILS NTS



GROUND COVER PLANTING DETAIL NTS



vicinity map NTS



TREE PLANTING DETAILS NTS

**PLANTING NOTES**

- USE 24\"/>
- USE 6\"/>
- ALL THE LAWN AREAS TO BE HYDROMULCHED BEHIND, AROUND, REFUSE ALL THE DAMAGED EXISTING LAWN AREAS ARE NECESSARY.
- TOP DRESS ALL THE PLANTING BED AREAS WITH 2\"/>
- THE SITE SHALL BE PREPARED WITH BELLOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH PRESSURE ZONES, THIS IS NECESSARY FOR PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED.

**landscape area**

SITE AREA : 65,700 SF. ( 1.276 AC.)  
 LANDSCAPE AREA REQUIRED : 15 % ( 9,855 SF. )  
 PROVIDED : 43.5 % ( 28,240 SF. )

BLDG. AREA : 4,600 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED : 23  
 SPACES PROVIDED : 82.

**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 14.00 LF.  
 SHADE TREES REQUIRED : 3 ( 0\"/>

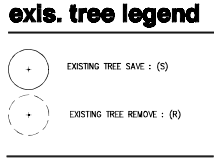
SURFACE PARKING LOT LANDSCAPING 82 ( SPACES )  
 SHADE TREES PROVIDED : 8 ( 0\"/>

SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.

existing tree listing

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	
02 ELM 18\"/>	
03 HACKBERRY 15\"/>	
04 OAK 20\"/>	
05 HACKBERRY 7\"/>	
06 HACKBERRY 12\"/>	
07 HACKBERRY 20\"/>	
08 ELM 10\"/>	
09 HACKBERRY 15\"/>	
10 HACKBERRY 20\"/>	
11 OAK 36\"/>	

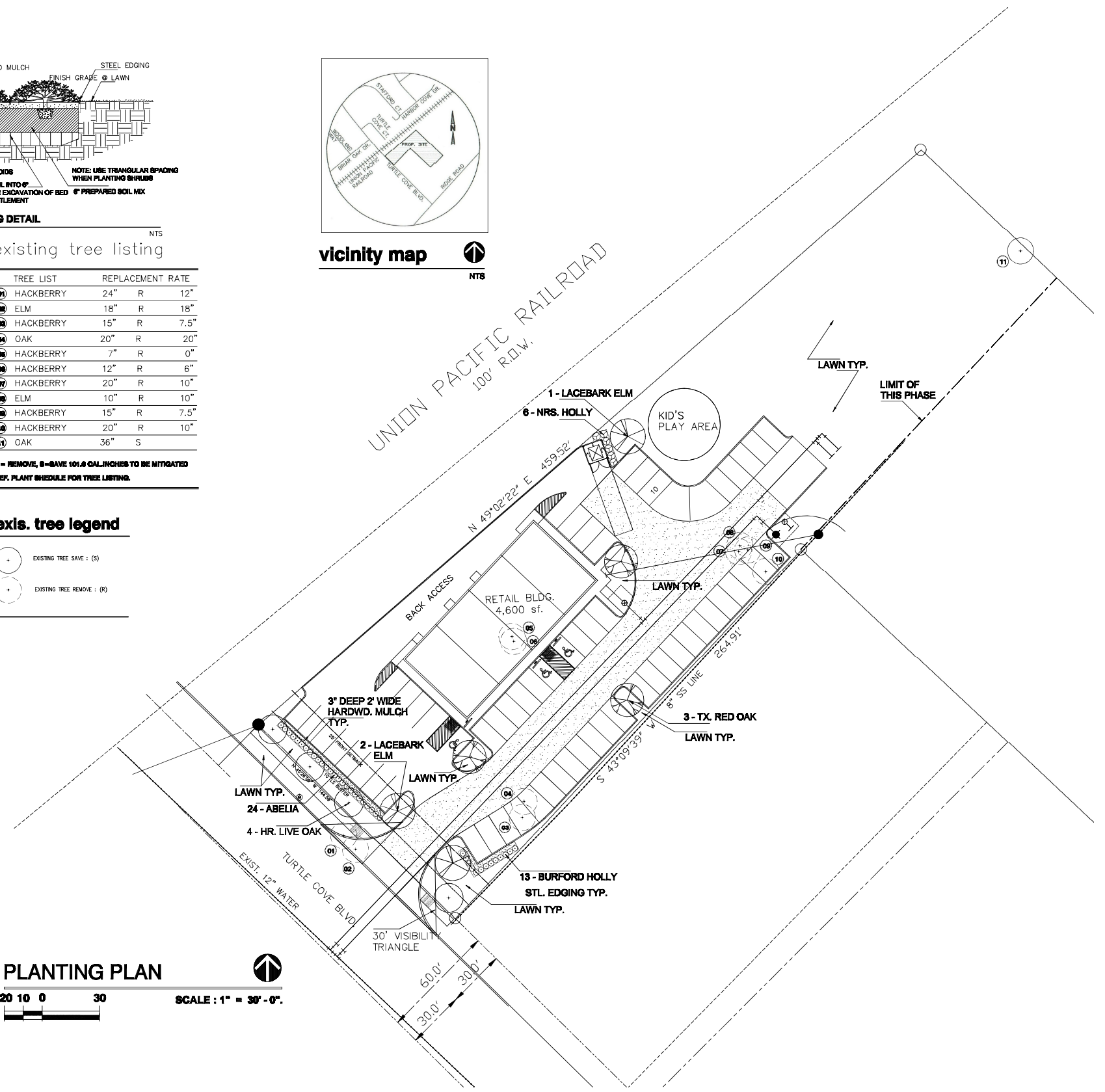
R = REMOVE, B-SAVE 101.8 CALINCHES TO BE MITIGATED  
 REF. PLANT SCHEDULE FOR TREE LISTING.



**plant schedule** M. ROC.

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
3	Texas Red Oak	Quercus shumardii "Texana"	3\"/>	
3	Lacebark Elm	Ulmus parvifolia	3\"/>	
4	Live Oak	Quercus virginiana	3\"/>	
<b>SHRUBS</b>				
6	NRS. Holly	Ilex x. Nelsie P. Stevens	7 gal.	full pot, well rooted, 4\"/>
24	Abelia	Abelia grandiflora	5 gal.	30\"/>
13	Dwarf Burford Holly	Ilex cornuta burfordi "Name"	5 gal.	24\"/>
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydromulched

Hydromulch not accepted for acceptance and final CO.



CONSULTANT:

**aroids**

2007 Indian Hill Drive, Spring, Texas, 77064  
 Phone: 281.402.2004  
 aroids@aroids.com

STATE OF TEXAS  
 LANDSCAPE ARCHITECT  
 W. H. A. HELALUZZAMAN  
 04.15.2019

OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

PROJECT:  
 CPM MASJID ( PHASE ONE )  
 XXX Turtle Cove Boulevard, Rockwall, Tx 75087


REVISIONS:

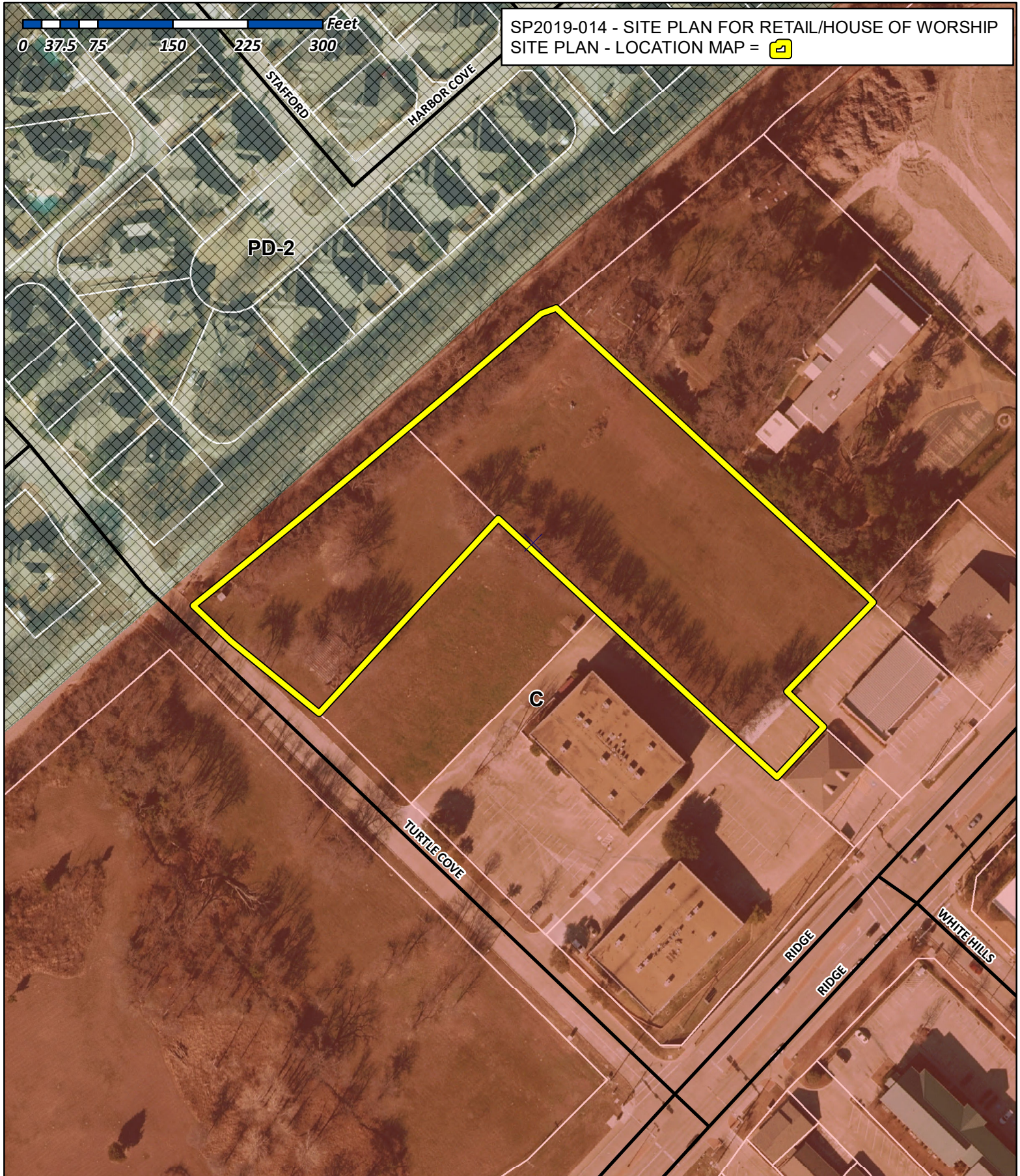

amazing concept  
 residential & commercial projects  
 545 Country Drive, Grapevine, Tx 76051  
 Tel: (817) 808 0811  
 E-mail: olm.helaluzzaman@gmail.com

SHEET TITLE:  
**LANDSCAPE PLAN**

DATE: 02.15.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	SHEET NO: LP.01

0 37.5 75 150 225 300 Feet

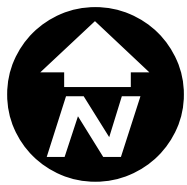
SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP  
SITE PLAN - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

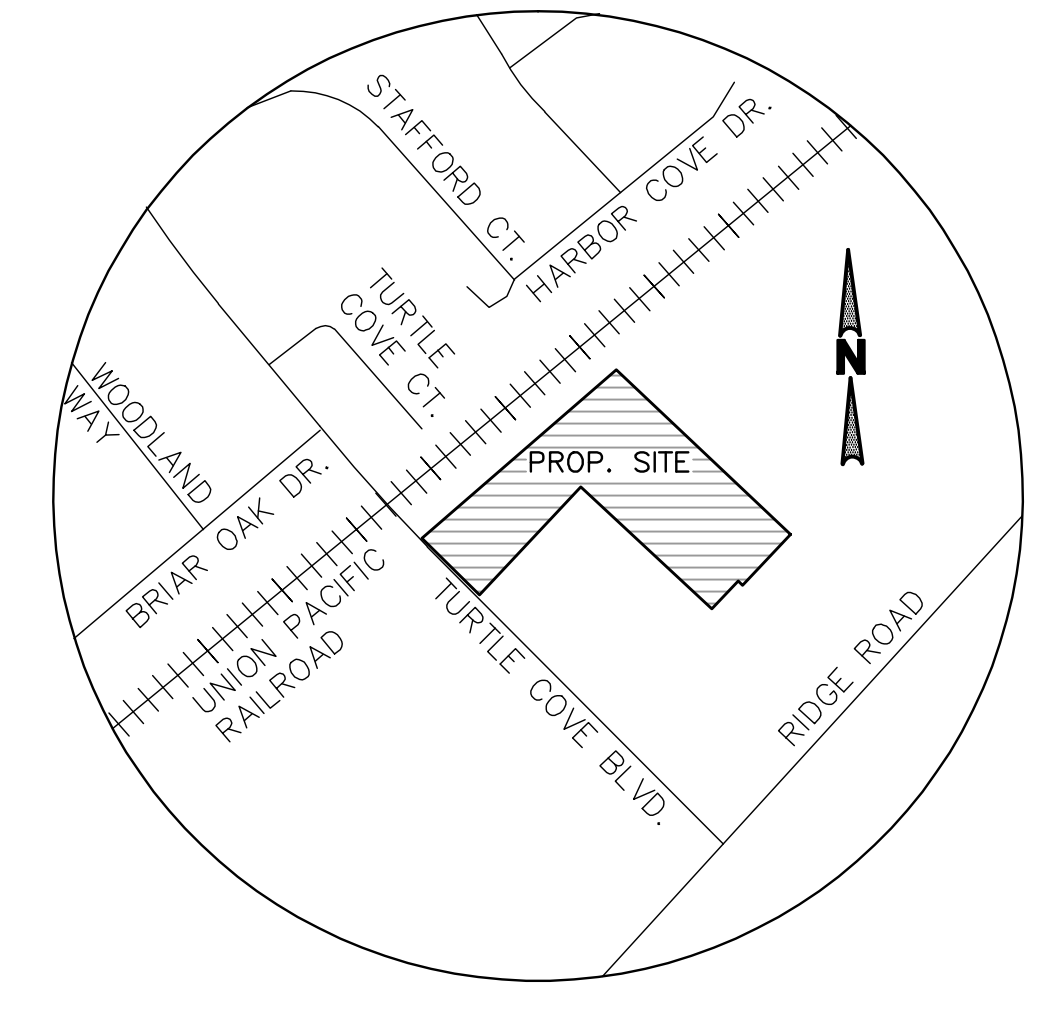
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**LEGEND**

TC	EXISTING TOP OF CURB	→	GW	EXISTING GUY WIRE	
TSW	EXISTING TOP OF SIDEWALK	⊗	STS	EXISTING TRAFFIC SIGNAL LIGHT POLE	
GT	EXISTING GUTTER	⊞	TSB	EXISTING TRAFFIC SIGNAL BOX	
TEP	EXISTING TELEPHONE PEDESTAL	—		EXISTING WATER LINE	
BL	EXISTING BOLLARD	—		EXISTING SANITARY SEWER LINE	
INLET	EXISTING CURB INLET	—		EXISTING STORM SEWER LINE	
PP	EXISTING POWER POLE	—		EXISTING CHAINLINK FENCE	
WV	EXISTING WATER VALVE	—		EXISTING GAS LINE	
LP	EXISTING LIGHT POST	—		EXISTING OVERHEAD POWER LINE	
GM	EXISTING GAS METER	—		EXISTING CONTOUR	
	EXISTING FIRE HYDRANT	—		PROPOSED CONTOUR	
TMH	EXISTING TELEPHONE MANHOLE	—		VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
SSMH	EXISTING SANITARY SEWER MANHOLE	—			
	PROPOSED STREET LIGHT	—			
FH	PROPOSED FIRE HYDRANT	—			

DUMPSTER NOTE:  
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



**VICINITY MAP N.T.S**

LINE	BEARING	DISTANCE
L1	S 43°15'39" W	125.17'
L2	N 46°48'20" W	10.90'
L3	S 43°28'08" W	68.31'

**SITE DATA SUMMARY TABLE**

ITEM	
<b>GENERAL SITE DATA</b>	
ZONING (from zoning map)	<b>COMMERCIAL (C)</b>
LAND USE (from zoning ordinance)	<b>RETAIL</b>
LOT AREA (square feet & acres)	<b>119,184 SF ± (2.74 AC±)</b>
PROP. BUILDING FOOT PRINT AREAS	<b>4,600 S.F.</b>
BUILDING HEIGHT (#Stores)	<b>ONE-STORY (Max. Height: 29'-8")</b>
LOT COVERAGE	<b>8.25%</b>
FLOOR AREA RATIO	<b>0.0388:1</b>
PARKING REQUIRED	<b>61 SPACES</b>
PARKING PROVIDED	<b>61 SPACES</b>
ACCESSIBLE PARKING REQUIRED (# spaces)	<b>3 SPACES</b>
ACCESSIBLE PARKING PROVIDED (# spaces)	<b>3 SPACES</b>

**WATER METER SCHEDULE**

I.D	TYPE	SIZE	NO.	SAN SEWER	REMARKS
1	DOMESTIC	1.5"	1	6"	PROPOSED
2	IRRIGATION	1.0"	1	N/A	PROPOSED

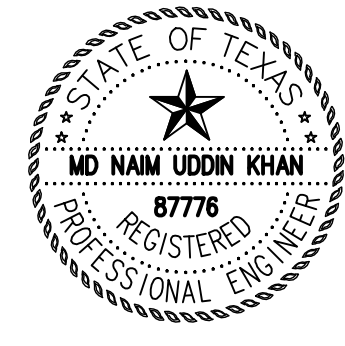
**OWNER**  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH: 318-617-3491

**SURVEYOR**  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214 349 9485

**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E., CFM  
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PH: 214 533 7181  
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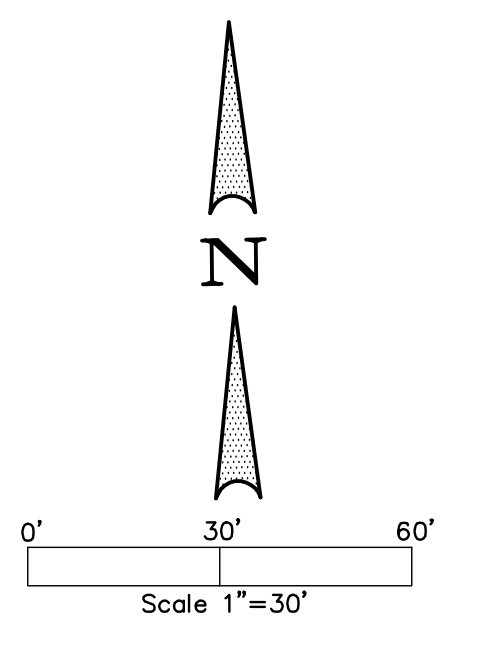
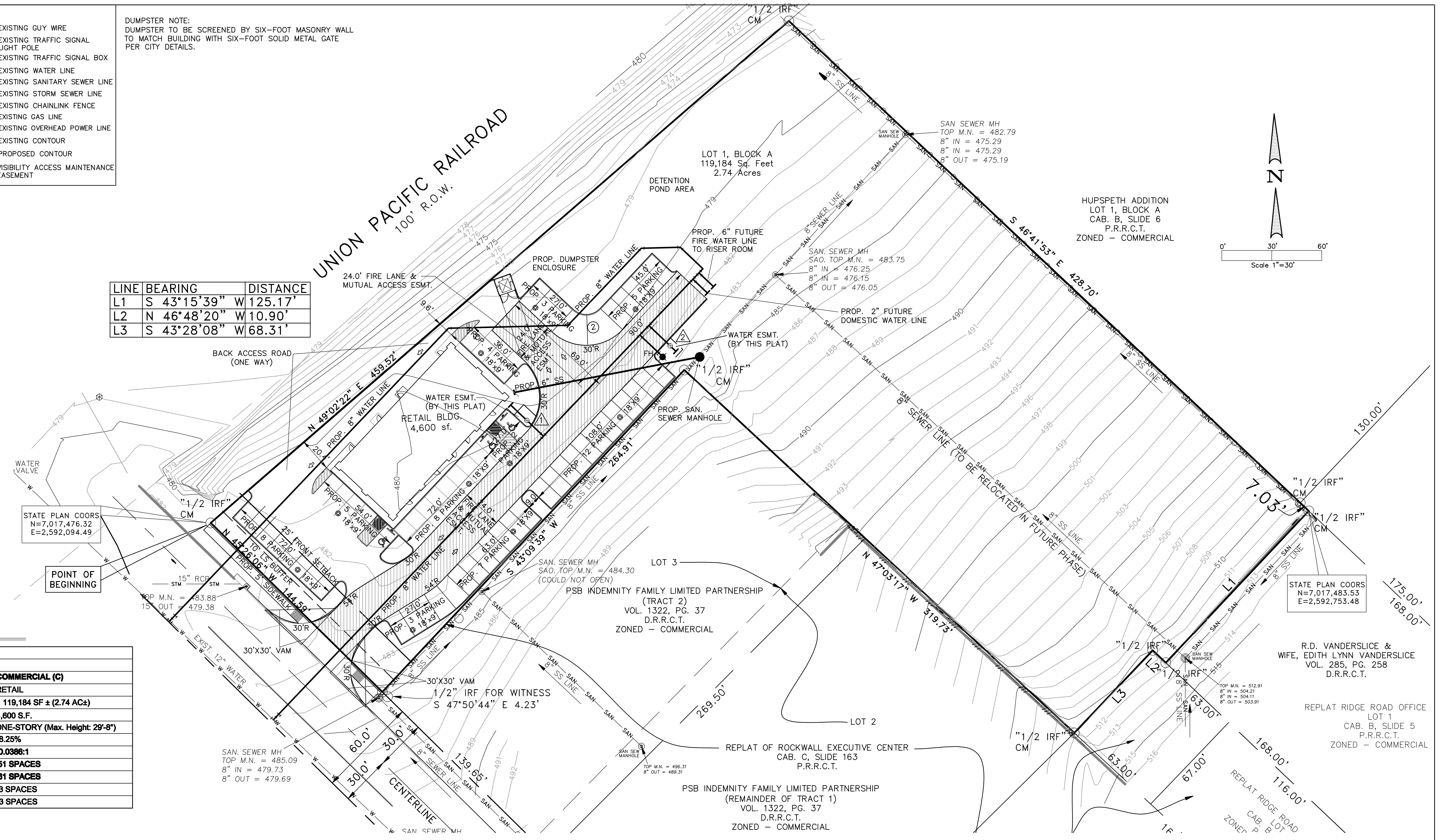
**ARCHITECT**  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH: 817 808 0811  
E-MAIL: akh.helaluzzaman@gmail.com

**LANDSCAPE ARCHITECT**  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH: 214-403-2034



*Md. Naim Uddin Khan*  
Md. Naim Uddin Khan 04-05-19  
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

<b>SITE PLAN SP 2019-</b>		<b>Scale: 1"=30'</b>	
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES		Date : 4/5/2019	Design : ND
		Draft : ND	Checked : ND
<b>ND &amp; Associates, LLC</b> 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340		PROJECT NO : ROCK2019-725	<b>SITE PLAN</b>
			<b>C-1</b>



STATE PLAN COORS  
N=7,017,476.32  
E=2,592,094.49

STATE PLAN COORS  
N=7,017,483.53  
E=2,592,753.48

R.D. VANDERSLICE & WIFE, EDITH LYNN VANDERSLICE  
VOL. 285, PG. 258  
D.R.R.C.T.

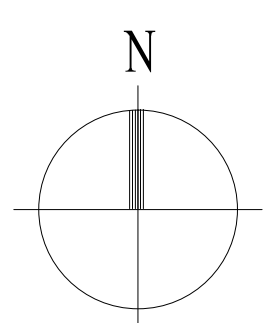
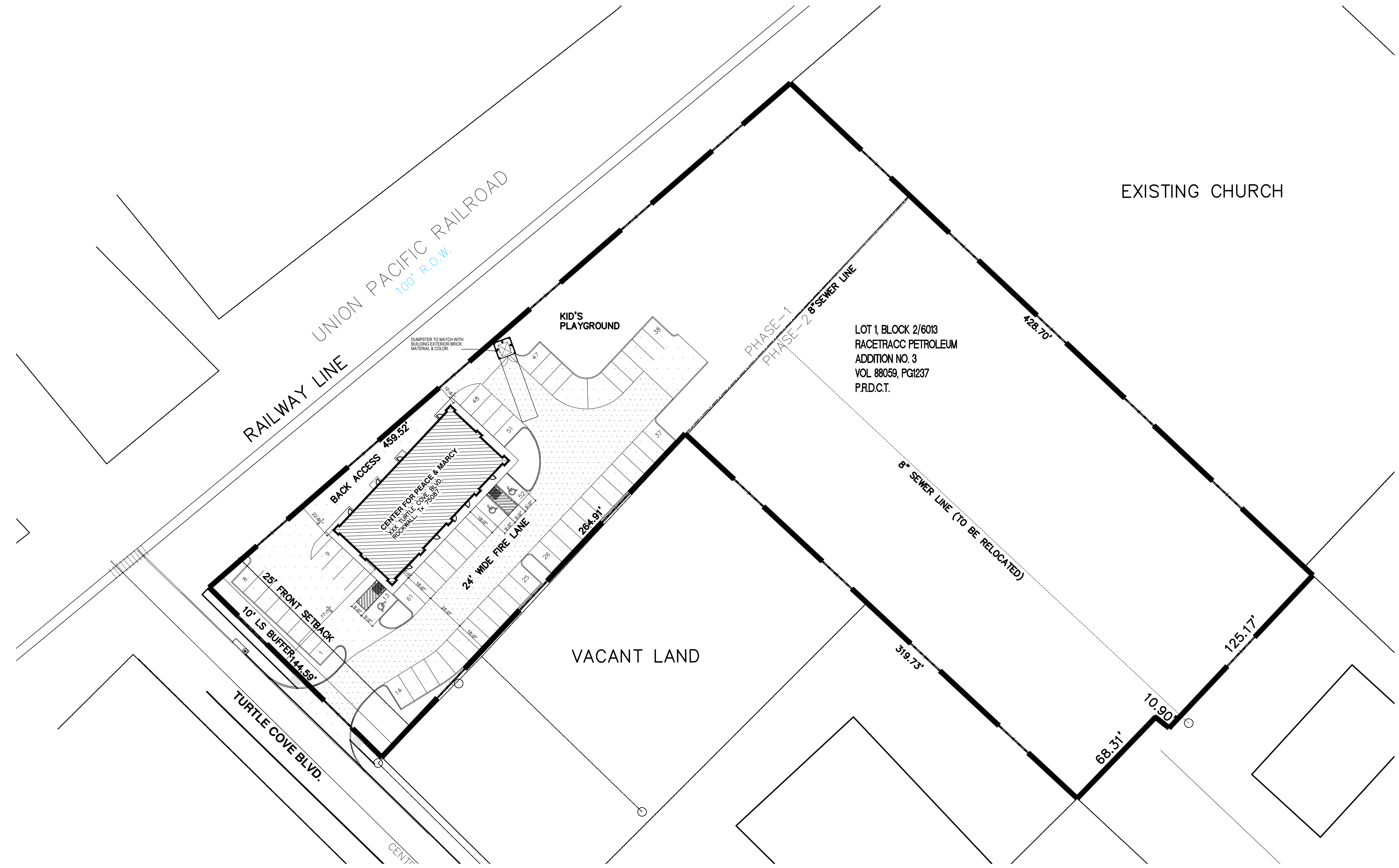
REPLAT RIDGE ROAD OFFICE  
LOT 1  
CAB. B, SLIDE 5  
P.R.R.C.T.  
ZONED - COMMERCIAL

REPLAT OF ROCKWALL EXECUTIVE CENTER  
CAB. C, SLIDE 163  
P.R.R.C.T.

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP  
(REMAINDER OF TRACT 1)  
VOL. 1322, PG. 37  
D.R.R.C.T.  
ZONED - COMMERCIAL

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP  
(TRACT 2)  
VOL. 1322, PG. 37  
D.R.R.C.T.  
ZONED - COMMERCIAL

HUPSPETH ADDITION  
LOT 1, BLOCK A  
CAB. B, SLIDE 6  
P.R.R.C.T.  
ZONED - COMMERCIAL



**01 SITE PLAN**  
SCALE: 1" = 40'

PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

OWNER:  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

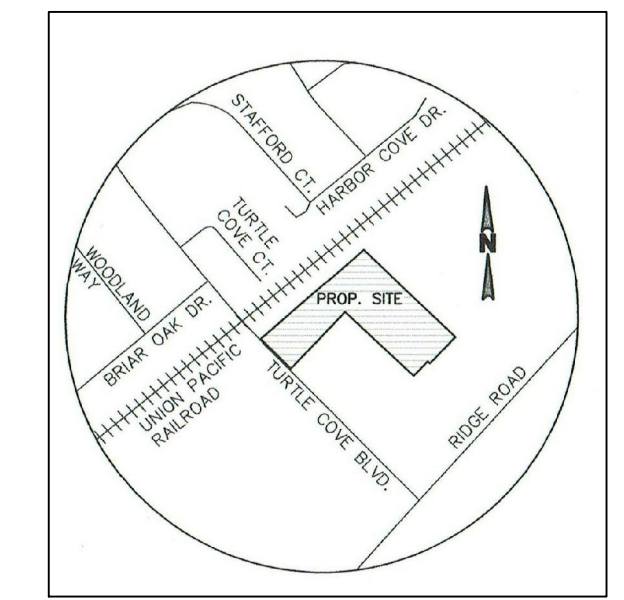
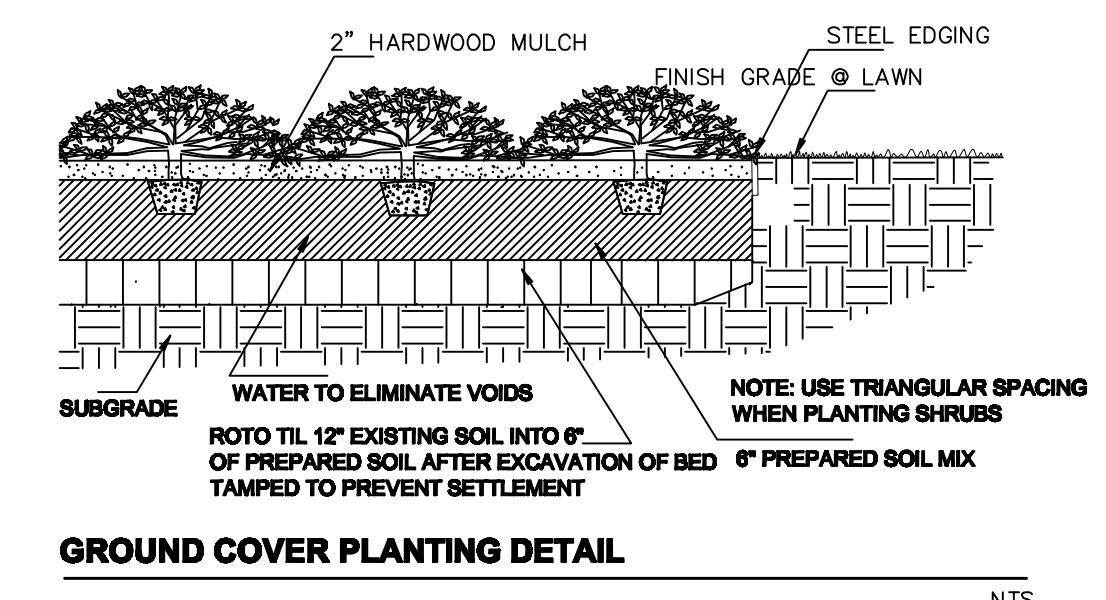
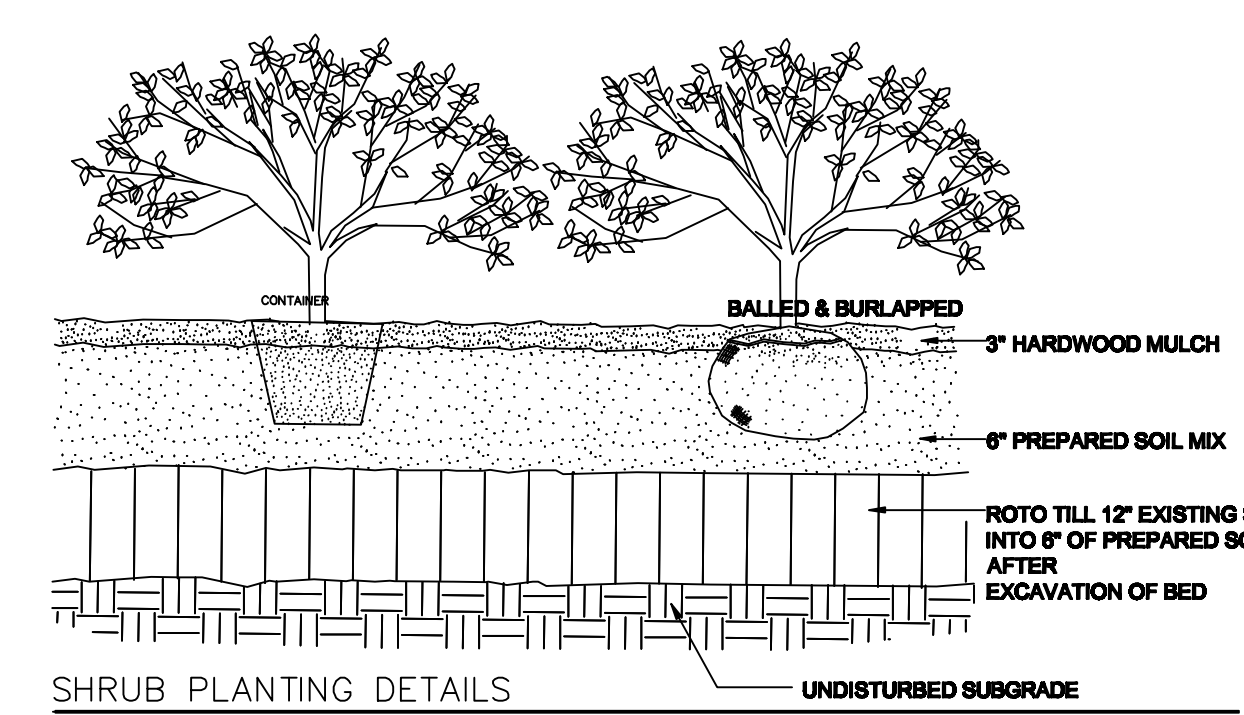
PROJECT:  
RETAIL BUILDING  
PHASE-1  
XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:


**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 76051  
Tel: (817) 808 0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:  
SITE PLAN

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	
SHEET NO: A101	



**PLANTING NOTES**

- USE 1/4\"/>

existing tree listing

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	R 12\"/>
02 ELM 18\"/>	R 18\"/>
03 HACKBERRY 15\"/>	R 7.5\"/>
04 OAK 20\"/>	R 20\"/>
05 HACKBERRY 7\"/>	R 0\"/>
06 HACKBERRY 12\"/>	R 6\"/>
07 HACKBERRY 20\"/>	R 10\"/>
08 ELM 10\"/>	R 10\"/>
09 HACKBERRY 15\"/>	R 7.5\"/>
10 HACKBERRY 20\"/>	R 10\"/>
11 OAK 36\"/>	S

R = REMOVE, S=SAVE 101.0 CALINCHES TO BE MITIGATED  
 REF. PLANT SCHEDULE FOR TREE LISTING.

**landscape area**

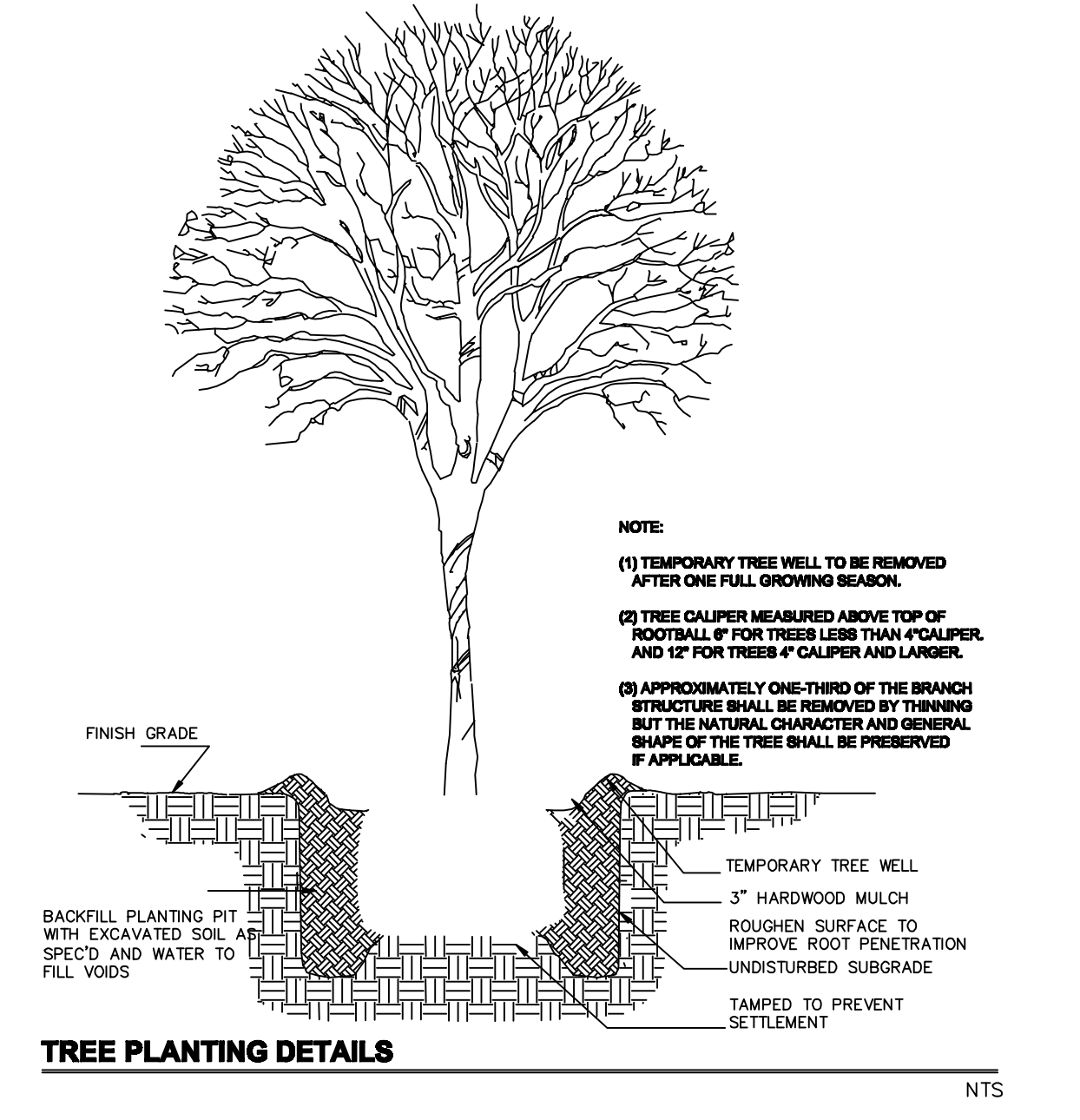
SITE AREA : 85,700 SF. ( 1.278 AC. )  
 LANDSCAPE AREA REQUIRED : 15 % ( 8,355 SF. )  
 PROVIDED : 43.5 % ( 24,240 SF. )  
 BLDG. AREA : 4,600 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED : 23  
 SPACES PROVIDED : 82.

**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.  
 SHADE TREES REQUIRED : 3 ( 3\"/>

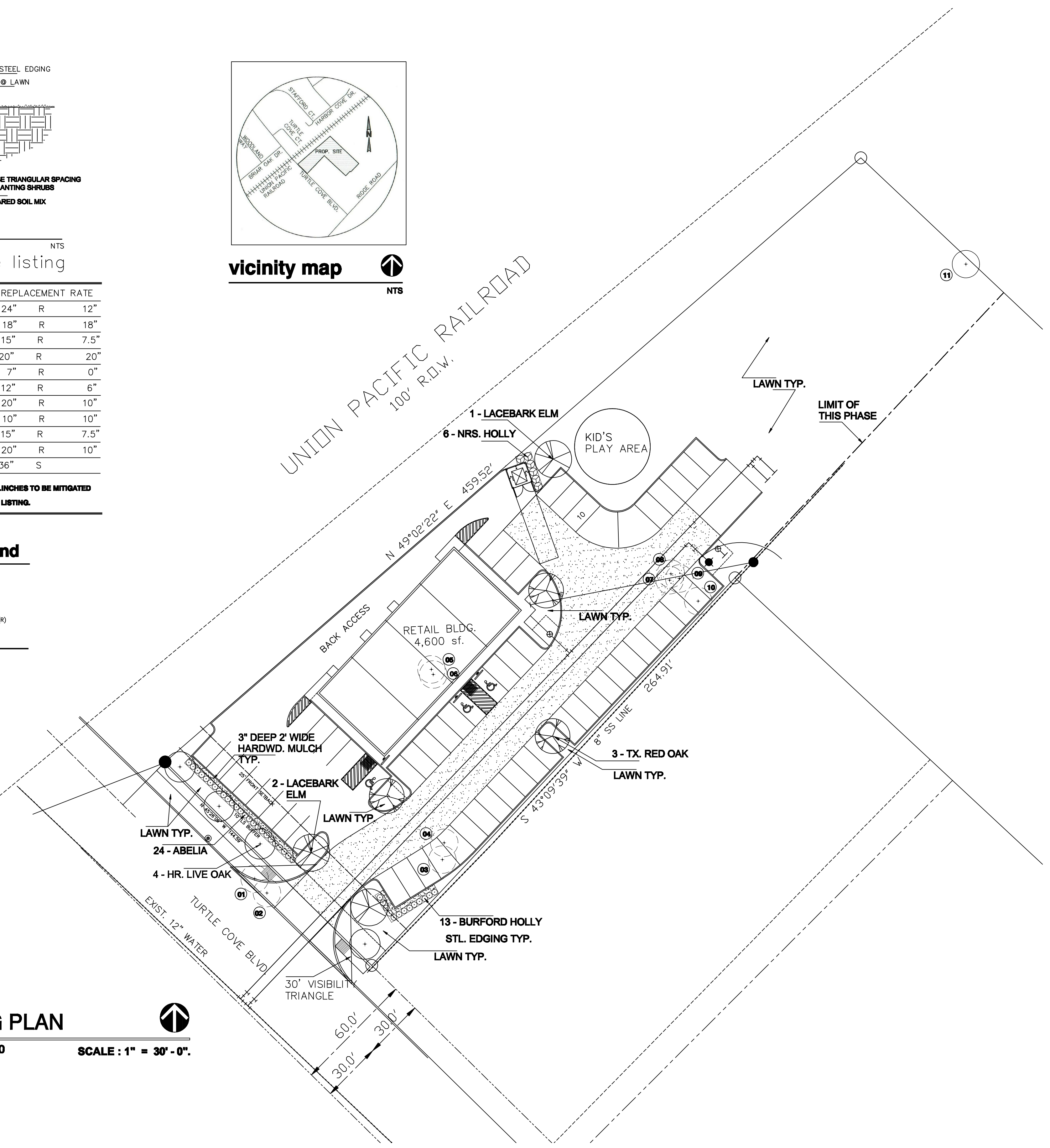
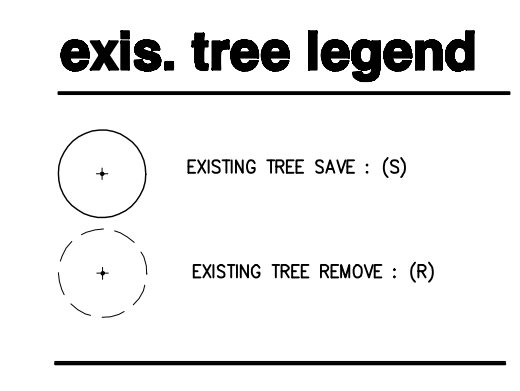
SURFACE PARKING LOT LANDSCAPING 82 ( SPACES )  
 SHADE TREES PROVIDED : 8 ( 3\"/>

SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.



**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
3	Texae Red Oak	Quercus shumardii 'Texana'	3\"/>	3\"/>
3	Lacebark Elm	Ulmus parvifolia	3\"/>	3\"/>
4	Live Oak	Quercus virginiana	3\"/>	3\"/>
<b>SHRUBS</b>				
6	NRS. Holly	Ilex x.Nelle R.Stevens	7 gal.	full pot, well rooted. 4\"/>
24	Abelia	Abelia grandiflora	5 gal.	30\"/>
13	Dwf. Burford Holly	Ilex cornuta burfordi 'Nana'	5 gal.	24\"/>
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydromulched







DARK BRONZE FRAMES, PARAPER CAP & CANOPY



CHERISH CREAM SW6651 OR EQUAL

SMOOTH EIFS FINISH  
EXTERIOR CHERISH CREAM SW6651



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL



AUSTIN LIME STONE OR EQUAL

NOTE:

BRICK: 66% 379 SF.  
STONE: 25% 141 SF.  
EIFS: 9% 53 SF.

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

+16'-8" TOP OF PARAPET WALL

+14'-0" BOT OF DECK

BRICKS KING SIZE  
BORAL / MERIDIAN NEW-FREEDOM

+10'-0" WINDOW HEAD

+0'-0" FINISH FLOOR ELEV.

AUSTIN LIME STONE

DARK BRONZE STOREFRONT DOOR & WINDOW FRAMING

19'-4"  
20'-11"

2 ROADSIDE ELEVATION  
SCALE: 1/4" = 1'-0"

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

+16'-8" TOP OF PARAPET WALL

+14'-0" BOT OF DECK

BRICKS KING SIZE  
BORAL / MERIDIAN NEW-FREEDOM

+10'-0" WINDOW HEAD

NOTE:

BRICK: 58% 555 SF.  
STONE: 31% 295 SF.  
EIFS: 11% 105 SF.

+0'-0" FINISH FLOOR ELEV.

SMOOTH EIFS FINISH  
EXTERIOR CHERISH CREAM SW6651

BRICKS KING SIZE  
BORAL / MERIDIAN NEW-FREEDOM

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

AUSTIN LIME STONE

DARK BRONZE STOREFRONT DOOR & WINDOW FRAMING

LOW-E WITH TINTED INSULATED GLASS

1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

OWNER:  
CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1

XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:


amazing concept  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 76051  
Tel: (817) 858 0811  
E-mail: ckm.heboluzzaman@gmail.com

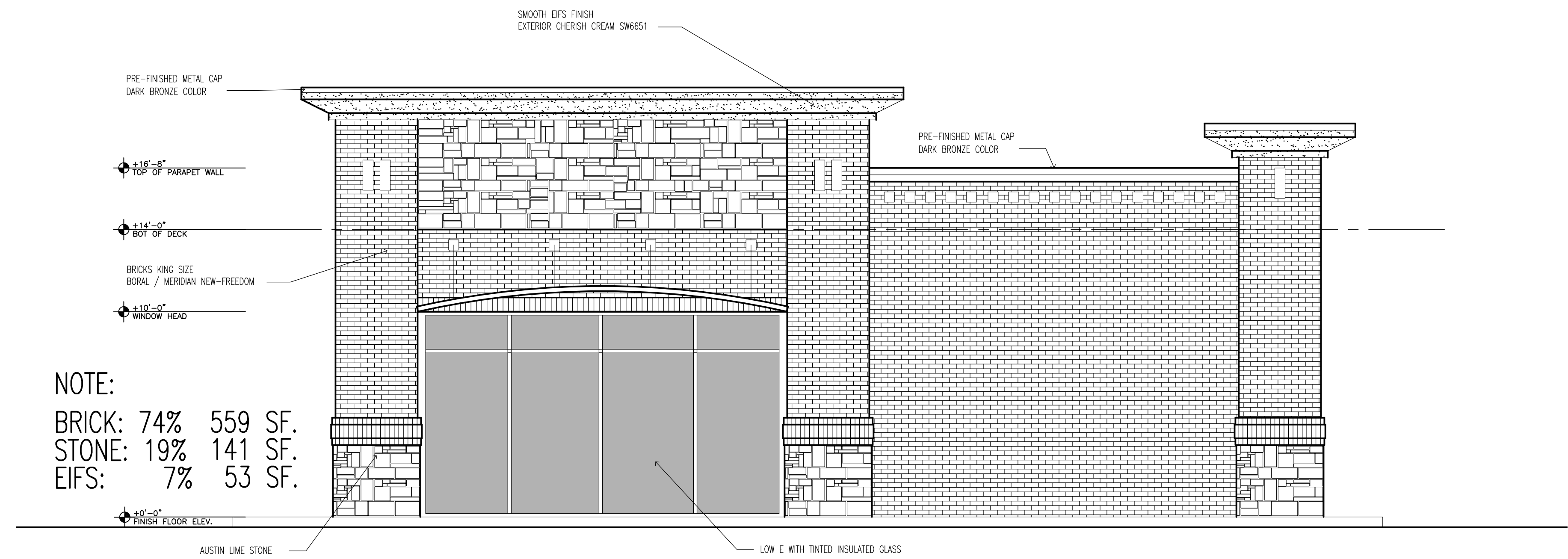
SHEET TITLE:  
EXTERIOR ELEVATIONS

DATE: 04.09.2019  
SCALE: AS SHOWN

DRAWN: A HELALUZZAMAN  
DESIGNER:

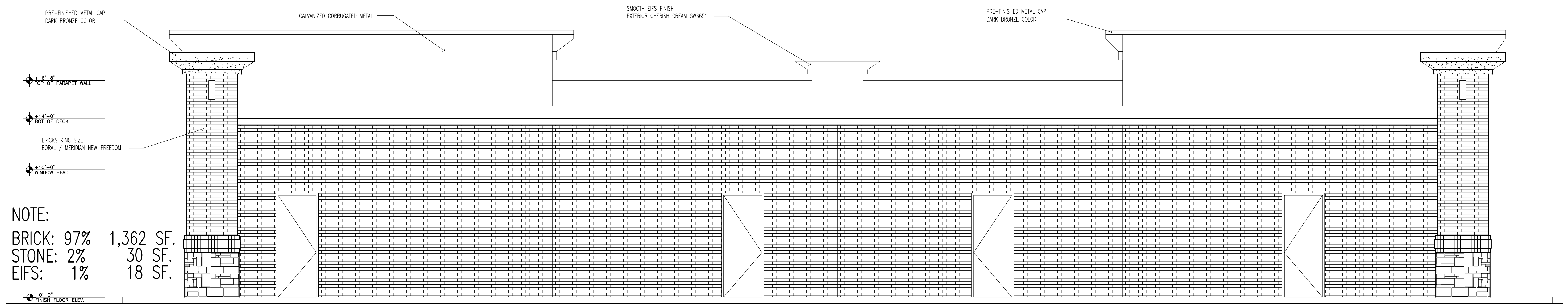
PROJECT #  
H-2019-02

SHEET NO:  
A501



NOTE:  
 BRICK: 74% 559 SF.  
 STONE: 19% 141 SF.  
 EIFS: 7% 53 SF.

**2 ROA SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



NOTE:  
 BRICK: 97% 1,362 SF.  
 STONE: 2% 30 SF.  
 EIFS: 1% 18 SF.

**1 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
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PROJECT:  
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 PHASE-1  
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REVISIONS:

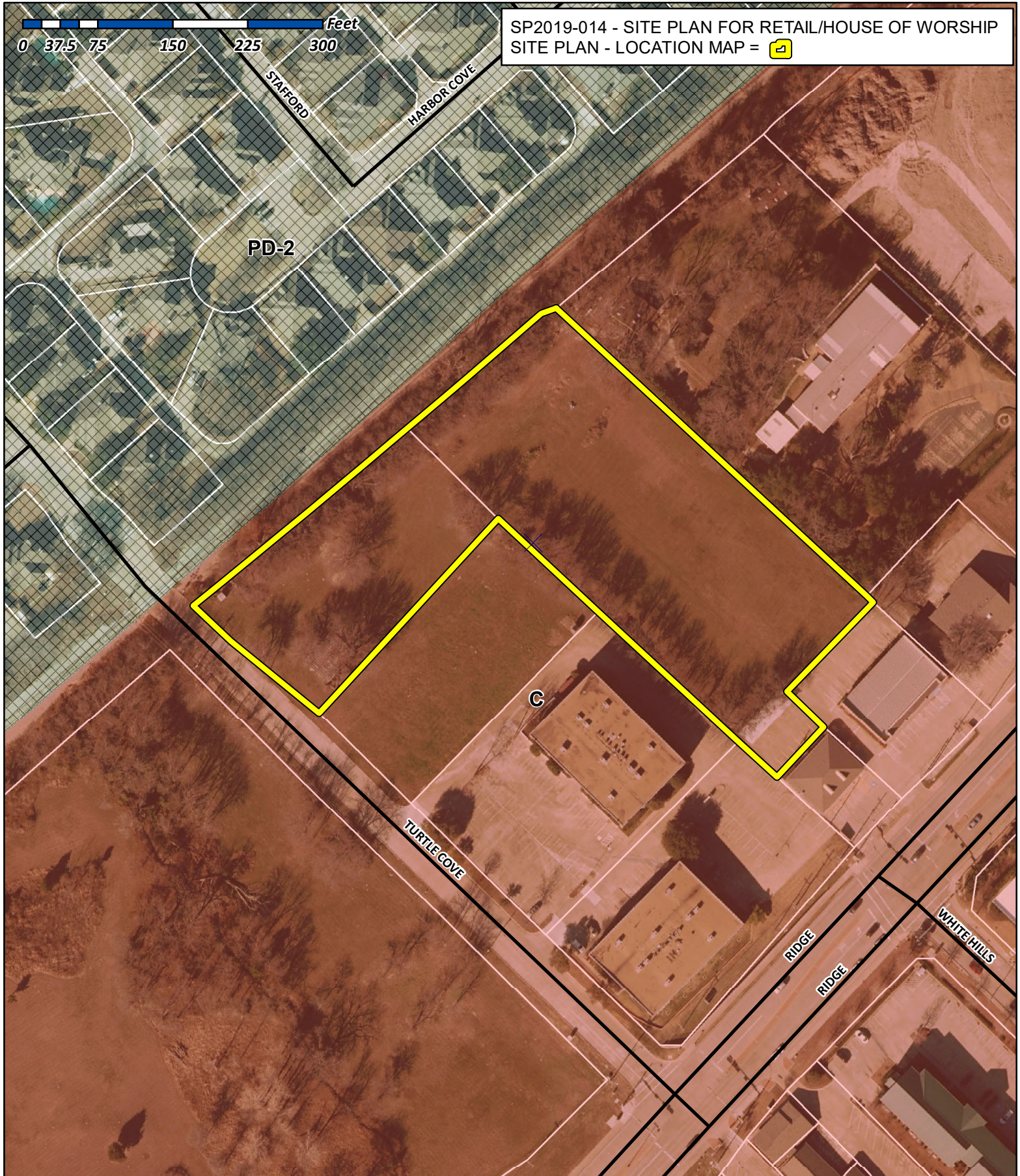

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 Tel: (817) 858 0811  
 E-mail: okm.heboluzzaman@gmail.com

SHEET TITLE:  
 EXTERIOR ELEVATIONS

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	SHEET NO: A502

0 37.5 75 150 225 300 Feet

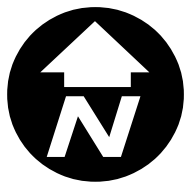
SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP  
SITE PLAN - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

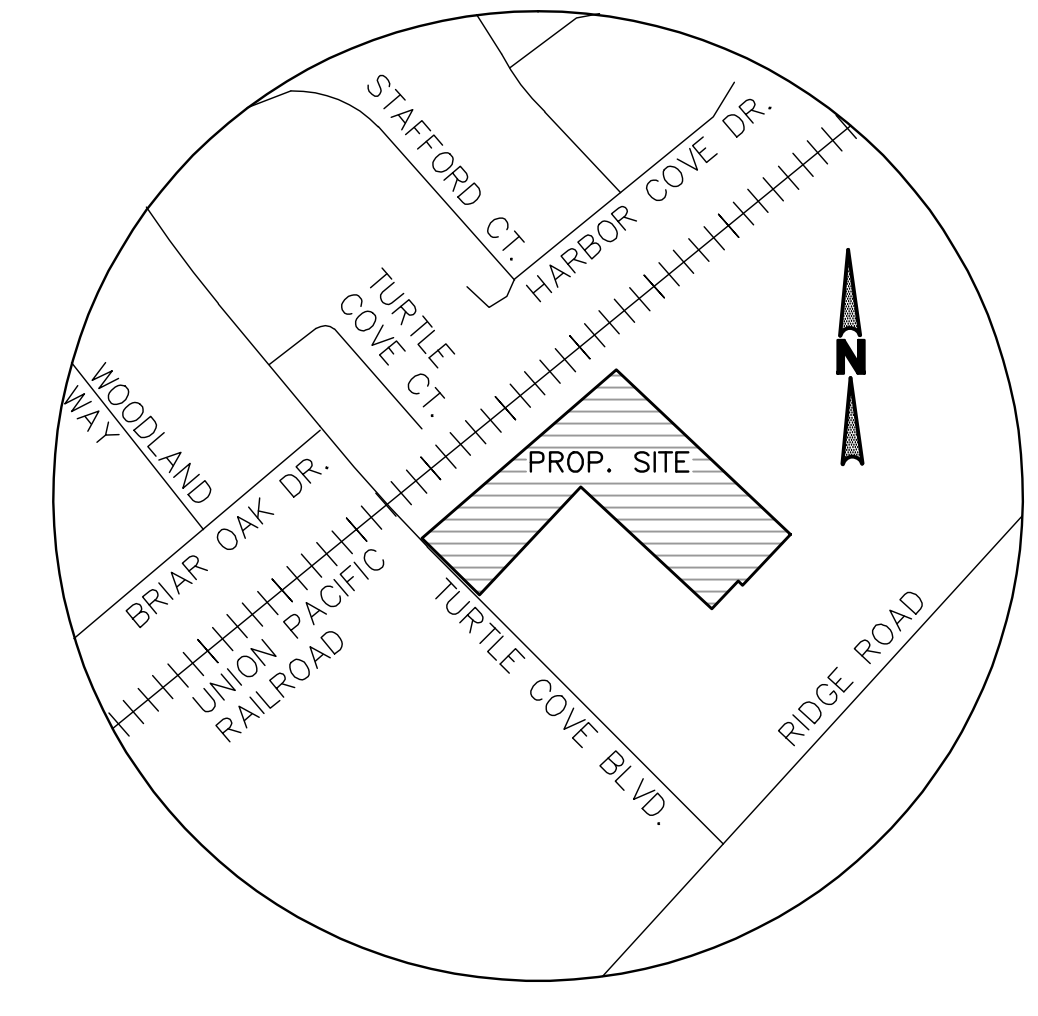
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**LEGEND**

TC	EXISTING TOP OF CURB	→	GW	EXISTING GUY WIRE	
TSW	EXISTING TOP OF SIDEWALK	⊗	STS	EXISTING TRAFFIC SIGNAL LIGHT POLE	
GT	EXISTING GUTTER	⊞	TSB	EXISTING TRAFFIC SIGNAL BOX	
TELP	EXISTING TELEPHONE PEDESTAL	—		EXISTING WATER LINE	
BL	EXISTING BOLLARD	—		EXISTING SANITARY SEWER LINE	
INLET	EXISTING CURB INLET	—		EXISTING STORM SEWER LINE	
PP	EXISTING POWER POLE	—		EXISTING CHAINLINK FENCE	
WV	EXISTING WATER VALVE	—		EXISTING GAS LINE	
LP	EXISTING LIGHT POST	—		EXISTING OVERHEAD POWER LINE	
GM	EXISTING GAS METER	—		EXISTING CONTOUR	
	EXISTING FIRE HYDRANT	—		PROPOSED CONTOUR	
TMH	EXISTING TELEPHONE MANHOLE	—		VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
SSMH	EXISTING SANITARY SEWER MANHOLE	—			
	PROPOSED STREET LIGHT	—			
FH	PROPOSED FIRE HYDRANT	—			

DUMPSTER NOTE:  
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



**VICINITY MAP N.T.S**

LINE	BEARING	DISTANCE
L1	S 43°15'39" W	125.17'
L2	N 46°48'20" W	10.90'
L3	S 43°28'08" W	68.31'

**SITE DATA SUMMARY TABLE**

ITEM	
<b>GENERAL SITE DATA</b>	
ZONING (from zoning map)	<b>COMMERCIAL (C)</b>
LAND USE (from zoning ordinance)	<b>RETAIL</b>
LOT AREA (square feet & acres)	<b>119,184 SF ± (2.74 AC±)</b>
PROP. BUILDING FOOT PRINT AREAS	<b>4,600 S.F.</b>
BUILDING HEIGHT (#Stores)	<b>ONE-STORY (Max. Height: 29'-8")</b>
LOT COVERAGE	<b>8.25%</b>
FLOOR AREA RATIO	<b>0.0388:1</b>
PARKING REQUIRED	<b>61 SPACES</b>
PARKING PROVIDED	<b>61 SPACES</b>
ACCESSIBLE PARKING REQUIRED (# spaces)	<b>3 SPACES</b>
ACCESSIBLE PARKING PROVIDED (# spaces)	<b>3 SPACES</b>

**WATER METER SCHEDULE**

I.D	TYPE	SIZE	NO.	SAN SEWER	REMARKS
1	DOMESTIC	1.5"	1	6"	PROPOSED
2	IRRIGATION	1.0"	1	N/A	PROPOSED

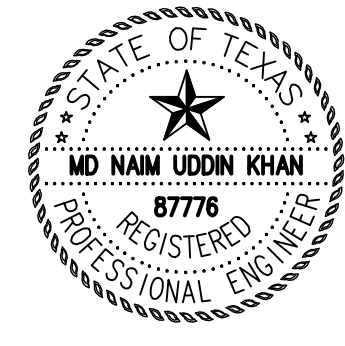
**OWNER**  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH: 318-617-3491

**SURVEYOR**  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214 349 9485

**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214 533 7181  
E-MAIL: naim1207@yahoo.com

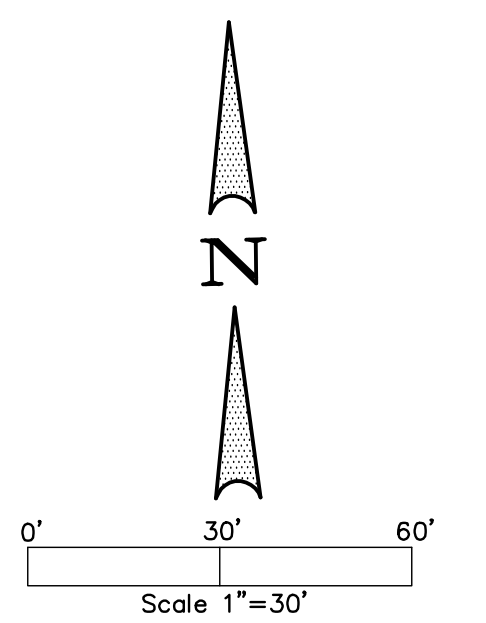
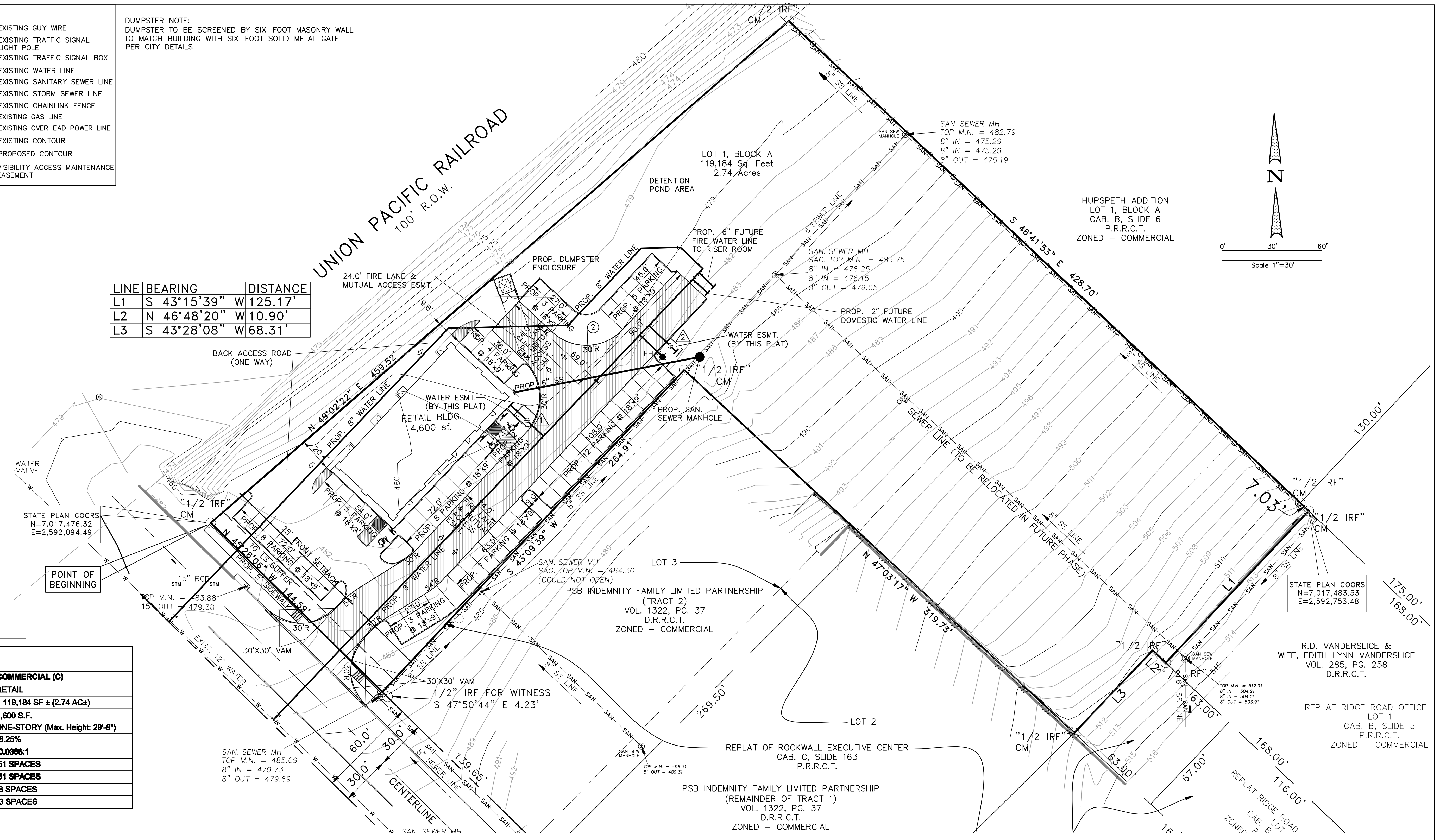
**ARCHITECT**  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH: 817 808 0811  
E-MAIL: akh.helaluzzaman@gmail.com

**LANDSCAPE ARCHITECT**  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH: 214-403-2034



Md. Naim Uddin Khan  
04-05-19  
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

<b>SITE PLAN SP 2019-</b>		<b>Scale: 1"=30'</b>	
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES		Date : 4/5/2019	
		Design : ND	
		Draft : ND	
		Checked : ND	
<b>ND &amp; Associates, LLC</b> 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340		PROJECT NO : ROCK2019-725	
		<b>SITE PLAN</b>	
		<b>C-1</b>	



HUPSPETH ADDITION  
LOT 1, BLOCK A  
CAB. B, SLIDE 6  
P.R.R.C.T.  
ZONED - COMMERCIAL

STATE PLAN COORS  
N=7,017,483.53  
E=2,592,753.48

R.D. VANDERSLICE & WIFE, EDITH LYNN VANDERSLICE  
VOL. 285, PG. 258  
D.R.R.C.T.

REPLAT RIDGE ROAD OFFICE  
LOT 1  
CAB. B, SLIDE 5  
P.R.R.C.T.  
ZONED - COMMERCIAL

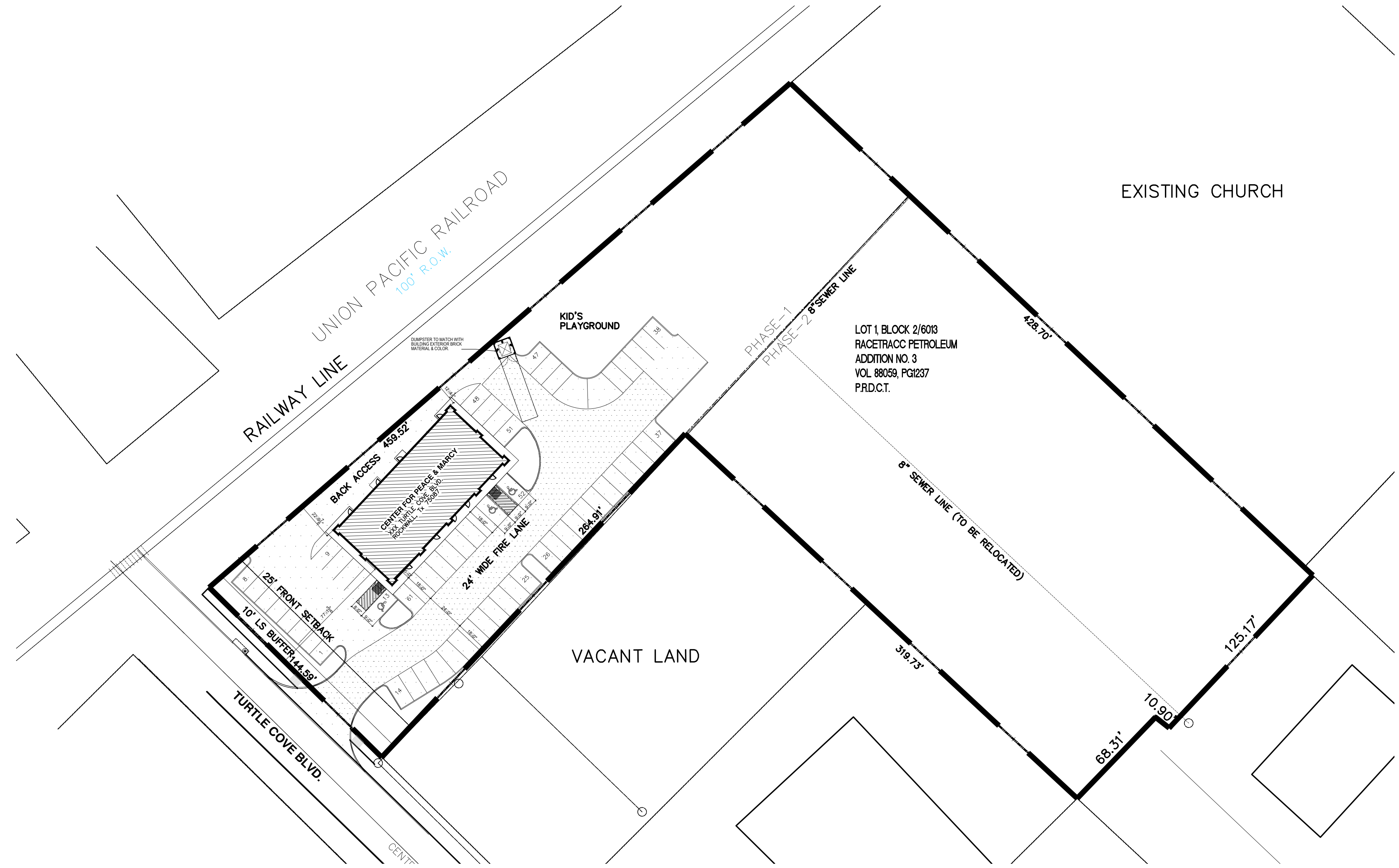
REPLAT OF ROCKWALL EXECUTIVE CENTER  
CAB. C, SLIDE 163  
P.R.R.C.T.

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP  
(REMAINDER OF TRACT 1)  
VOL. 1322, PG. 37  
D.R.R.C.T.  
ZONED - COMMERCIAL

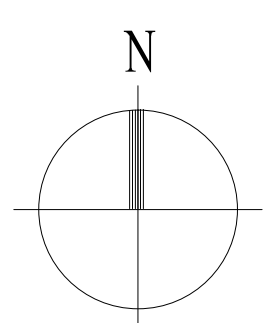
PSB INDEMNITY FAMILY LIMITED PARTNERSHIP  
(TRACT 2)  
VOL. 1322, PG. 37  
D.R.R.C.T.  
ZONED - COMMERCIAL

STATE PLAN COORS  
N=7,017,476.32  
E=2,592,094.49

POINT OF BEGINNING



**01 SITE PLAN**  
SCALE: 1" = 40'



PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

OWNER:  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1  
XXX Turtle Cove Boulevard, Rockwall, Tx 75087

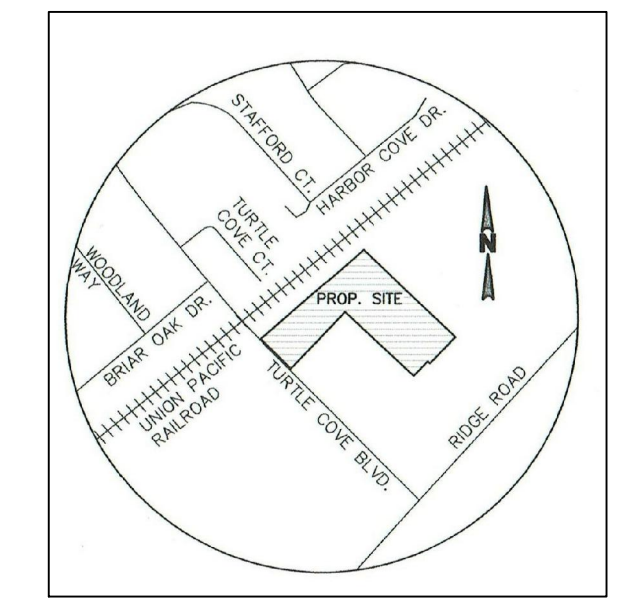
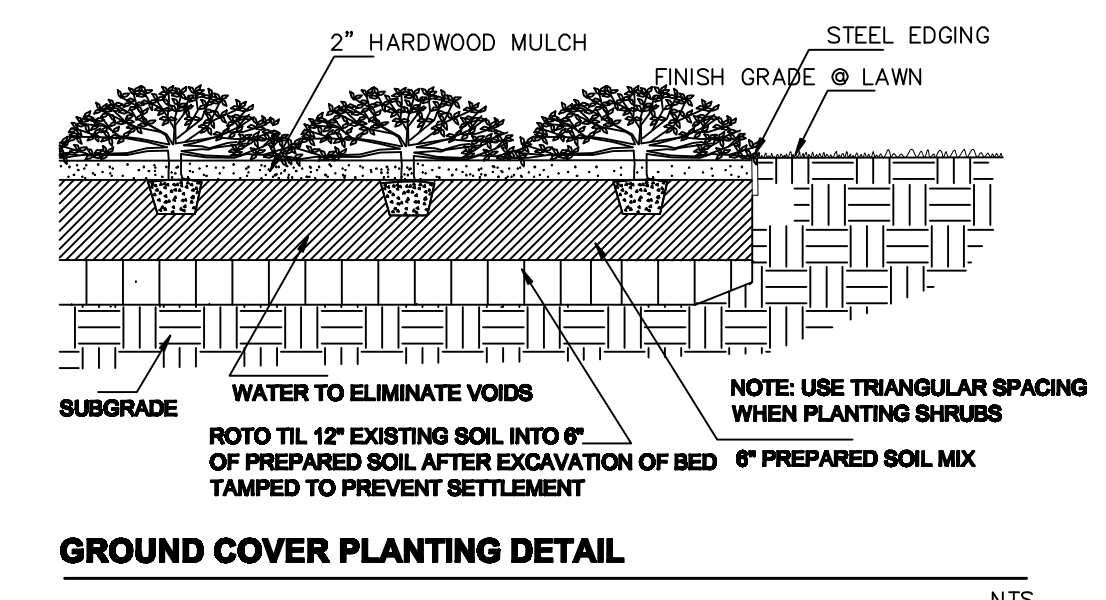
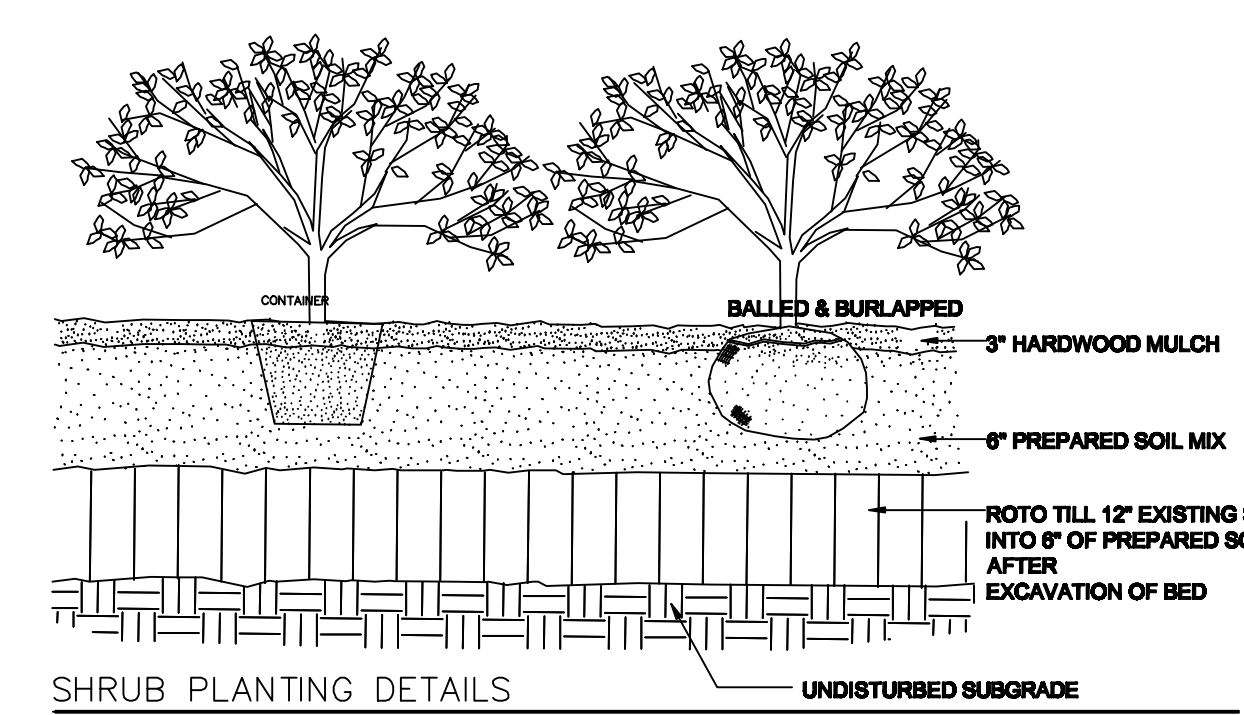
REVISIONS:


**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 76051  
Tel: (817) 808 0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:  
SITE PLAN

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN

PROJECT #  
**H-2019-02**  
SHEET NO:  
A101



- PLANTING NOTES**
1. USE 1/4\"/>

existing tree listing

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	
02 ELM 18\"/>	
03 HACKBERRY 15\"/>	
04 OAK 20\"/>	
05 HACKBERRY 7\"/>	
06 HACKBERRY 12\"/>	
07 HACKBERRY 20\"/>	
08 ELM 10\"/>	
09 HACKBERRY 15\"/>	
10 HACKBERRY 20\"/>	
11 OAK 36\"/>	

R = REMOVE, S=SAVE 101.0 CALINCHES TO BE MITIGATED  
 REF. PLANT SCHEDULE FOR TREE LISTING.

**landscape area**

SITE AREA : 85,700 SF. ( 1.278 AC. )  
 LANDSCAPE AREA REQUIRED : 15 % ( 8,355 SF. )  
 PROVIDED : 43.5 % ( 24,240 SF. )

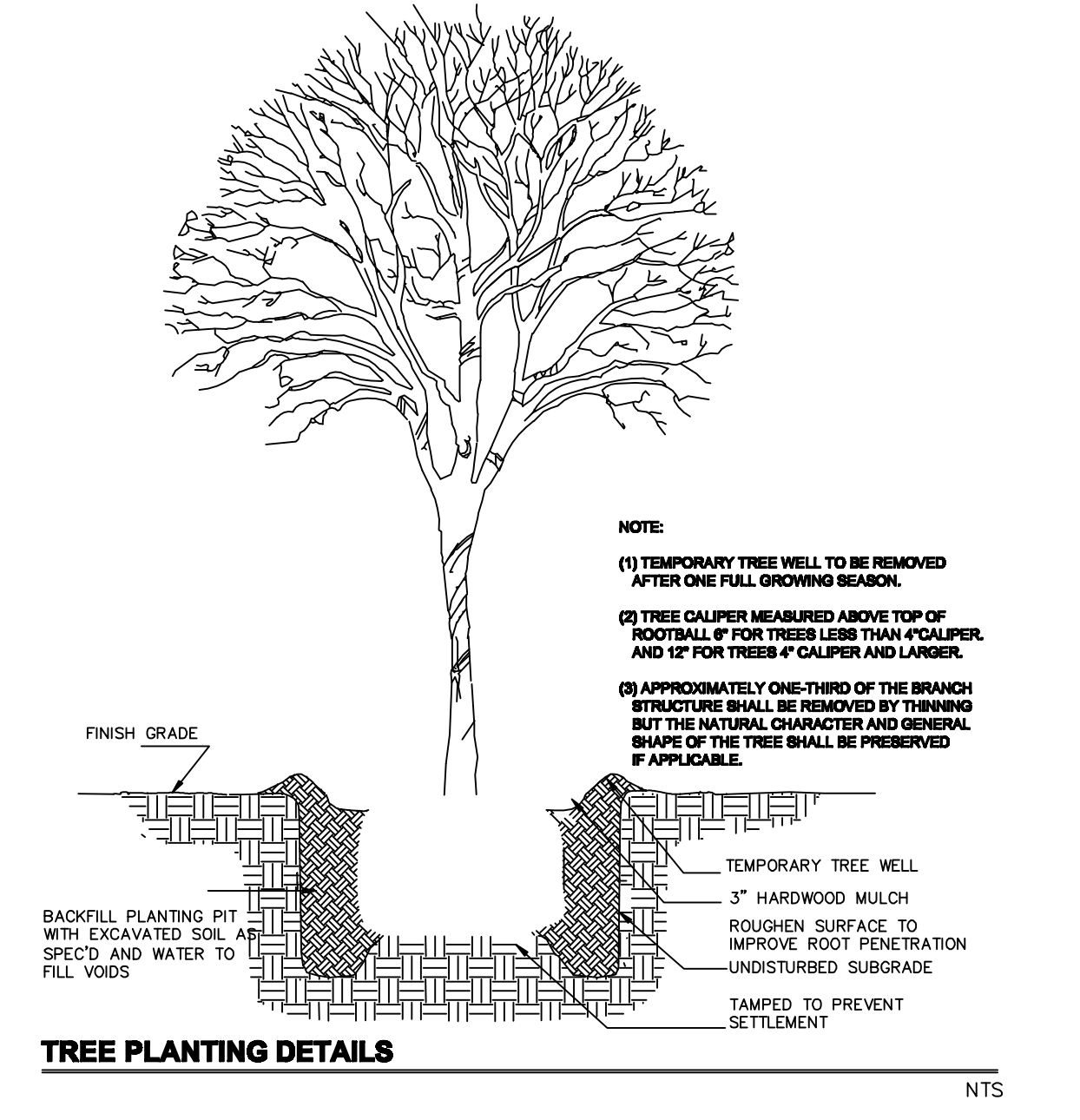
BLDG. AREA : 4,600 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED : 23  
 SPACES PROVIDED : 82.

**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.  
 SHADE TREES REQUIRED : 3 ( 3\"/>

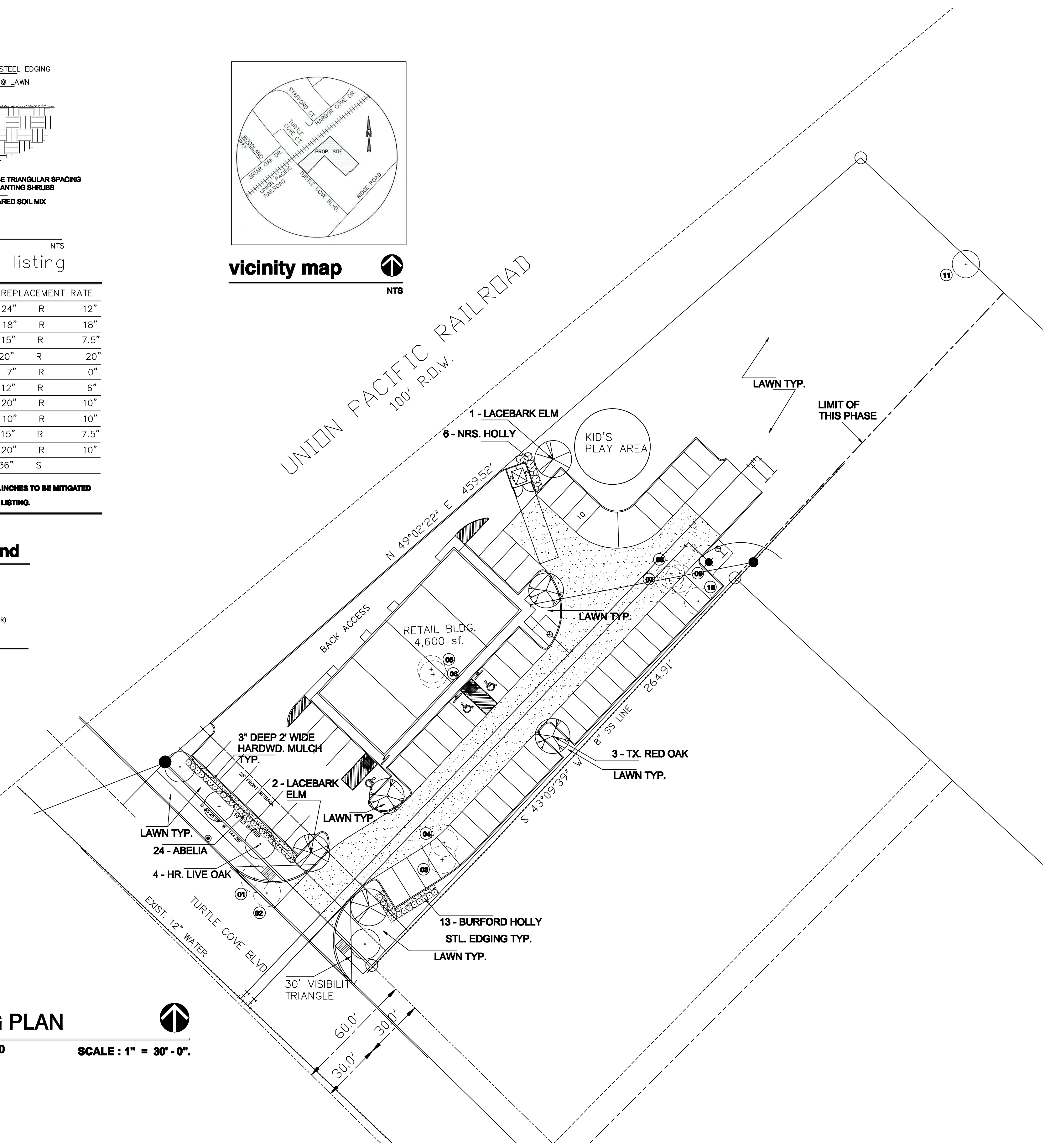
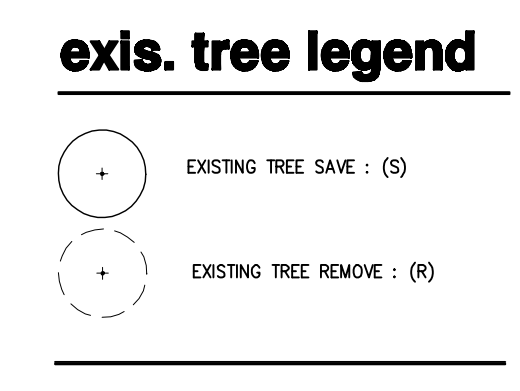
SURFACE PARKING LOT LANDSCAPING 82 ( SPACES )  
 SHADE TREES PROVIDED : 8 ( 3\"/>

SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.



**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
3	Texae Red Oak	Quercus shumardii "Texana"	3" Caliper/10-12' ht., 6-7" sp., straight trunk, full, matching	
3	Lacebark Elm	Ulmus parvifolia	3" Caliper 10-12' ht., 5-6" sp., full, matching	
4	Live Oak	Quercus virginiana	3" Caliper/10-12' ht., 5-6" sp., full, matching	
<b>SHRUBS</b>				
6	NRS. Holly	Ilex x. Nelly R. Stevens	7 gal. full pot, well rooted. 4' O.C.	
24	Abelia	Abelia grandiflora	5 gal. 30"-34" ht., 18-24" sp., full pot, well rooted; 36" O.C.	
13	Dwf. Burford Holly	Ilex cornuta burfordi "Nana"	5 gal. 24"-28" ht., 18-24" sp., full pot, well rooted. 36" O.C.	
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydromulched





DARK BRONZE FRAMES, PARAPER CAP & CANOPY



CHERISH CREAM SW6651 OR EQUAL

SMOOTH EIFS FINISH  
EXTERIOR CHERISH CREAM SW6651

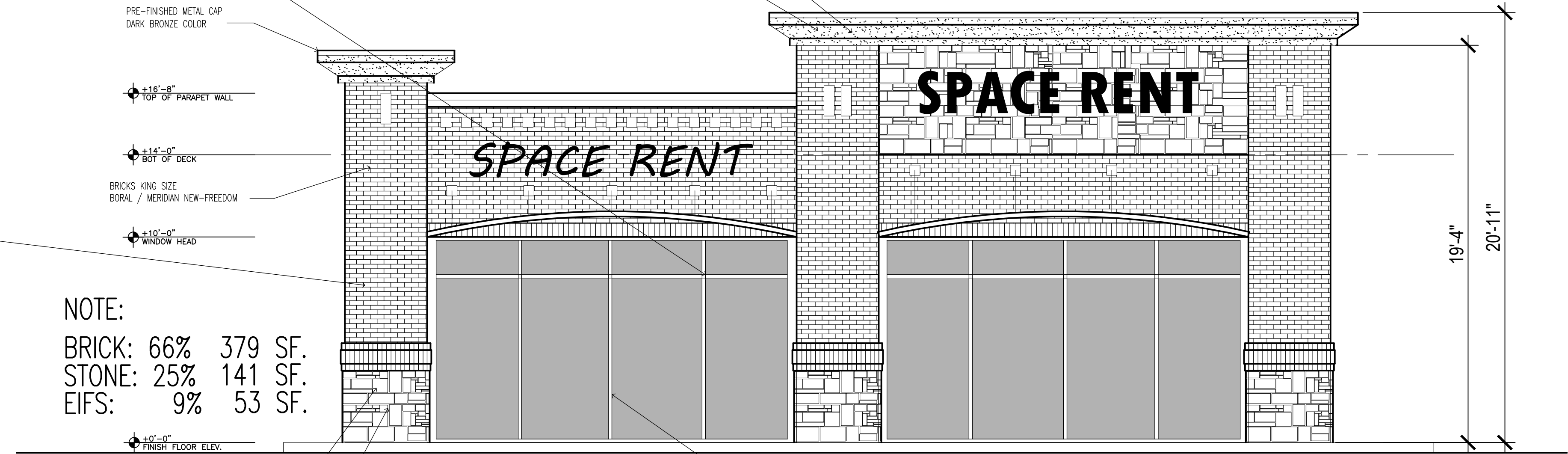


BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL

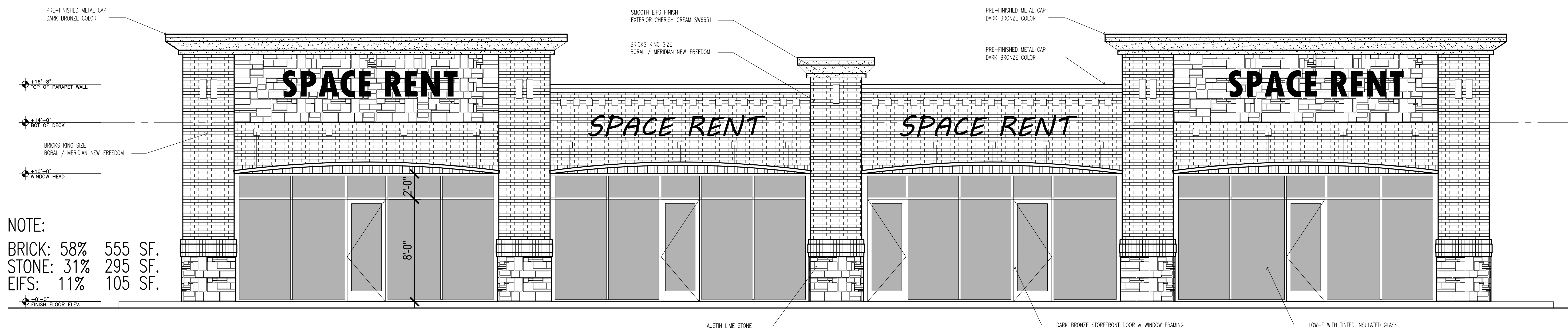


AUSTIN LIME STONE OR EQUAL

NOTE:  
BRICK: 66% 379 SF.  
STONE: 25% 141 SF.  
EIFS: 9% 53 SF.



2 ROA SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



NOTE:  
BRICK: 58% 555 SF.  
STONE: 31% 295 SF.  
EIFS: 11% 105 SF.

1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

OWNER:  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

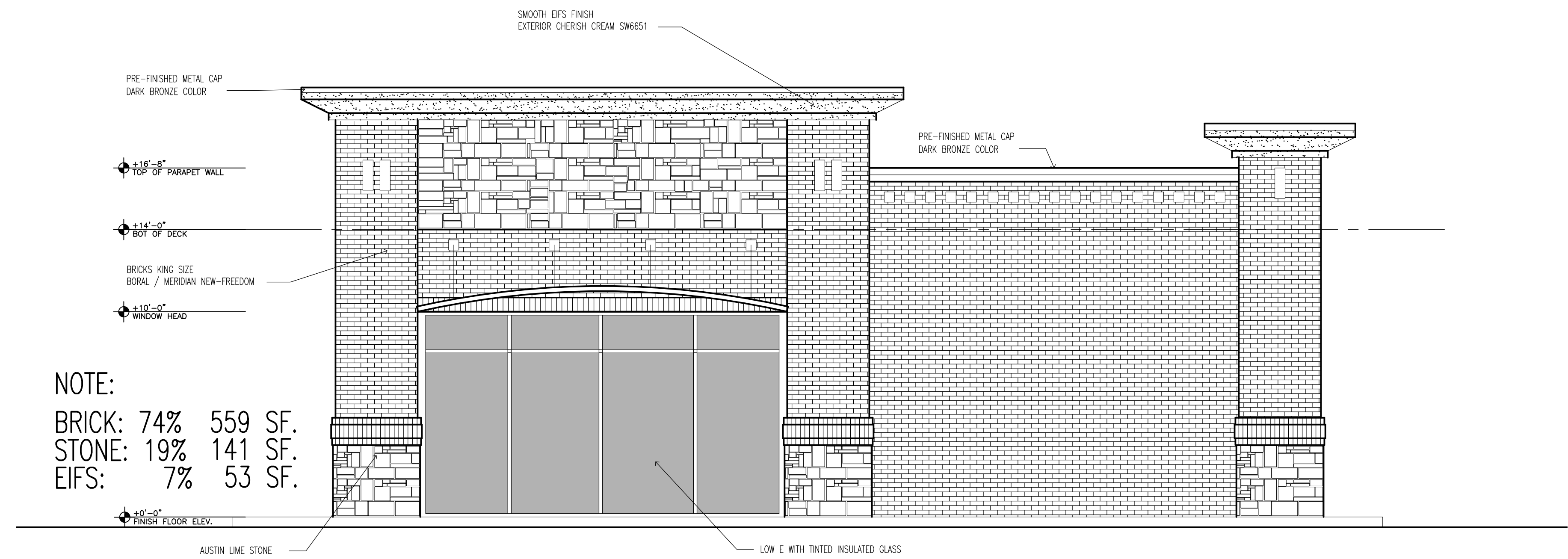
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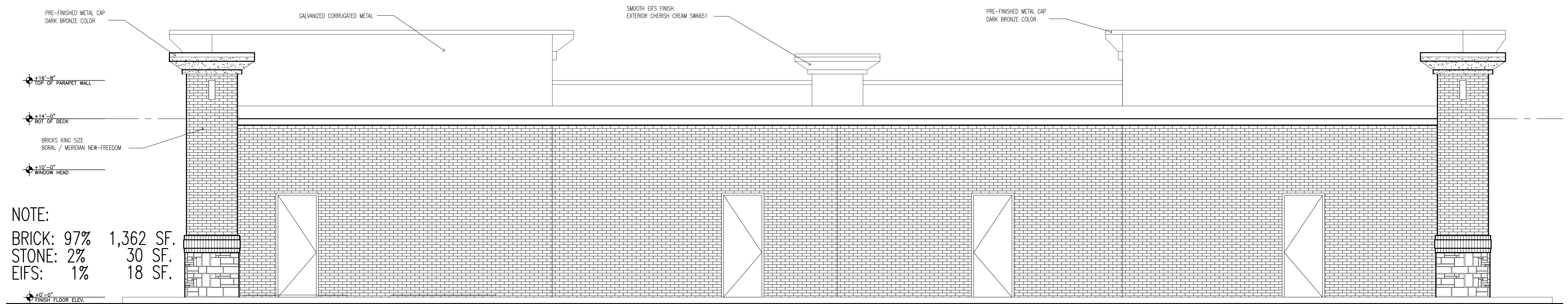
SHEET TITLE:  
EXTERIOR ELEVATIONS

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	SHEET NO: A501



NOTE:  
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 EIFS: 7% 53 SF.

**2 ROA SIDE ELEVATION**  
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**1 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

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DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	
SHEET NO: A502	





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2019  
**APPLICANT:** Ahmed Helaluzzaman  
**CASE NUMBER:** SP2019-014; *Site Plan for Retail Shopping Center and House of Worship*

---

### **SUMMARY**

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

### **BACKGROUND**

The subject property was annexed in 1960 [*Ordinance No. 60-04*], is situated within the Scenic Overlay (SOV) District, and is zoned Commercial (C) District.

### **PURPOSE**

The applicant is requesting approval of a site plan for a retail shopping center and house of worship on a tract of land that is currently vacant.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a railroad (*i.e. Union Pacific Railroad*) followed by a single-family residential subdivision (*i.e. Turtle Cove Subdivision*), that is zoned Planned Development District 2 (PD-2) for single-family residential land uses. Beyond this is a single-family residential subdivision (*i.e. Lakeridge Subdivision*), that is zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are two office buildings followed by Turtle Cove Boulevard, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a vacant tract of land where an office building is being proposed. These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a house of worship (*i.e. Great Faith Church*) followed by a vacant tract of land. Beyond this is Ridge Road [FM-740], which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this, there is a condo office park (*i.e. Lakewood Office Park Condos*) and several other office uses that are zoned Commercial (C) District.

West: West of the subject property is a railroad (*i.e. Union Pacific Railroad*) followed by a single-family residential subdivision (*i.e. Turtle Cove Subdivision*). These areas are zoned Commercial (C)

District and Planned Development District 2 (PD-2) for single-family detached land uses. Beyond this is Lake Ray Hubbard, which is in the City of Dallas.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Use*, of the Unified Development Code (UDC), a house of worship and retail shopping center are both permitted by-right on properties zoned Commercial (C) District and no additional approvals are necessary with regard to land use. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District and situated within the N. SH-205 Overlay (N. SH-205 OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>119,184 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=144-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=459-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X= 15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10=Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X=23-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=56 %; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X=90-95%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>48 Spaces</i>	<i>52 Spaces; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>X=20-27%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=45%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=55%; In Conformance</i>

**TREESCAPE PLAN**

According to the treescape plan submitted by the applicant, there are 48 caliper-inches of primary protected trees and 113 caliper-inches of secondary protected trees being removed (i.e. a total of 161-caliper-inches in order to develop the site. Of the total number of trees, 125 caliper-inches require mitigation, which will be satisfied by landscaping being planted on site.

**CONFORMANCE WITH THE CITY’S CODES**

According to *Subsection 4.05 Commercial (C) District*, of Section 4, *Commercial (C) Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is “the proper zoning classification for most types of commercial development...” and generally consists of large shopping centers at major intersection, and commercial shopping centers along arterial roadways. Areas should not be zoned Commercial (C) District unless they are located close to an arterial or a major collector. The Unified Development Code (UDC) goes on to state that “...(s)ince the Commercial (C) District is general in nature, the development standards are less stringent and do not require as high of standards of development as the Residential Office (RO), Neighborhood Services, (NS), and the General Retail (GR) Districts. When adjacent to neighborhoods the area should have adequate buffering between the Commercial (C) District and the residential development. In this case, the proposed uses (i.e. a house of worship and a retail shopping center) are allowed by-right in a Commercial (C) District and is also located in close proximity to Ridge Road [FM-740], which is a major collector. Given the proposed use, zoning district, and its proximity to a major collector, the applicant’s request appears to conform to the development standards as stipulated in the Unified Development Code (UDC) with regard to development standards within the Commercial (C) District. The Scenic Overlay (SOV) District requires 90% primary materials and 20% natural stone. Additionally,

all structures that have a footprint of 6,000 SF or less require a pitched roof. The Scenic Overlay (SOV) District also requires four (4) sided architecture and that all rooftop mechanical equipment to be screened by an architectural feature that is integral to the building's design (e.g. a parapet wall). The building elevations submitted by the applicant appear to conform to the requirements stipulated in the Unified Development Code (UDC) with regard to exterior building materials. The proposed building will be 4,535 SF and will utilize a flat roof system. Since this does not conform to the requirements of the Unified Development Code (UDC) an exception is required. Staff should note, the Planning and Zoning Commission has approved similar requests. Additionally, although the building elevations seem to generally conform to the four (4) sided architecture requirements, the proposed building elevations show a portion of the rooftop mechanical equipment. The applicant has provided a line-of sight-study showing that the mechanical equipment will not be visible from the property line. The Unified Development Code (UDC) requires any commercial use or parking lot that has a side or rear contiguous to a residential district to be screened with a masonry fence. As an alternative, berms in conjunction with a minimum six (6) foot wrought iron fence and a combination of trees and shrubs can be utilized to meet this requirement, should the Planning and Zoning Commission determine that the proposed alternative will provide sufficient screening. In this case, the subject property is adjacent to a residential subdivision (i.e. *Turtle Cove Subdivision*) and the applicant is proposing to utilize six (6) foot tall wrought iron fence in conjunction with a combination of trees and landscaping to provide screening from the adjacent neighborhood.

### **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the Unified Development Code (UDC):

#### (1) Architectural Standards

- (a) Roof Design Standards. According to Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all structures having a footprint of less than 6,000 SF shall be constructed of a pitched roof. The proposed house of worship/retail shopping center will utilize a flat roof system and since this does not conform to the requirements of the Unified Development Code (UDC), a variance is required.

This variance is a discretionary decision for the Planning and Zoning Commission and requires approval by a ¾ majority. In the event that the variance is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OurHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Lakeshore District. The South Lakeshore District is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. Since the South Lakeshore District is nearing its buildout capacity, it is anticipated that infill development will consist of residential development that should be compatible with the surrounding neighborhoods. Commercial development is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. In this case, the proposed house of worship/retail shopping center appears to be a similar design and scale of shopping centers within the district.

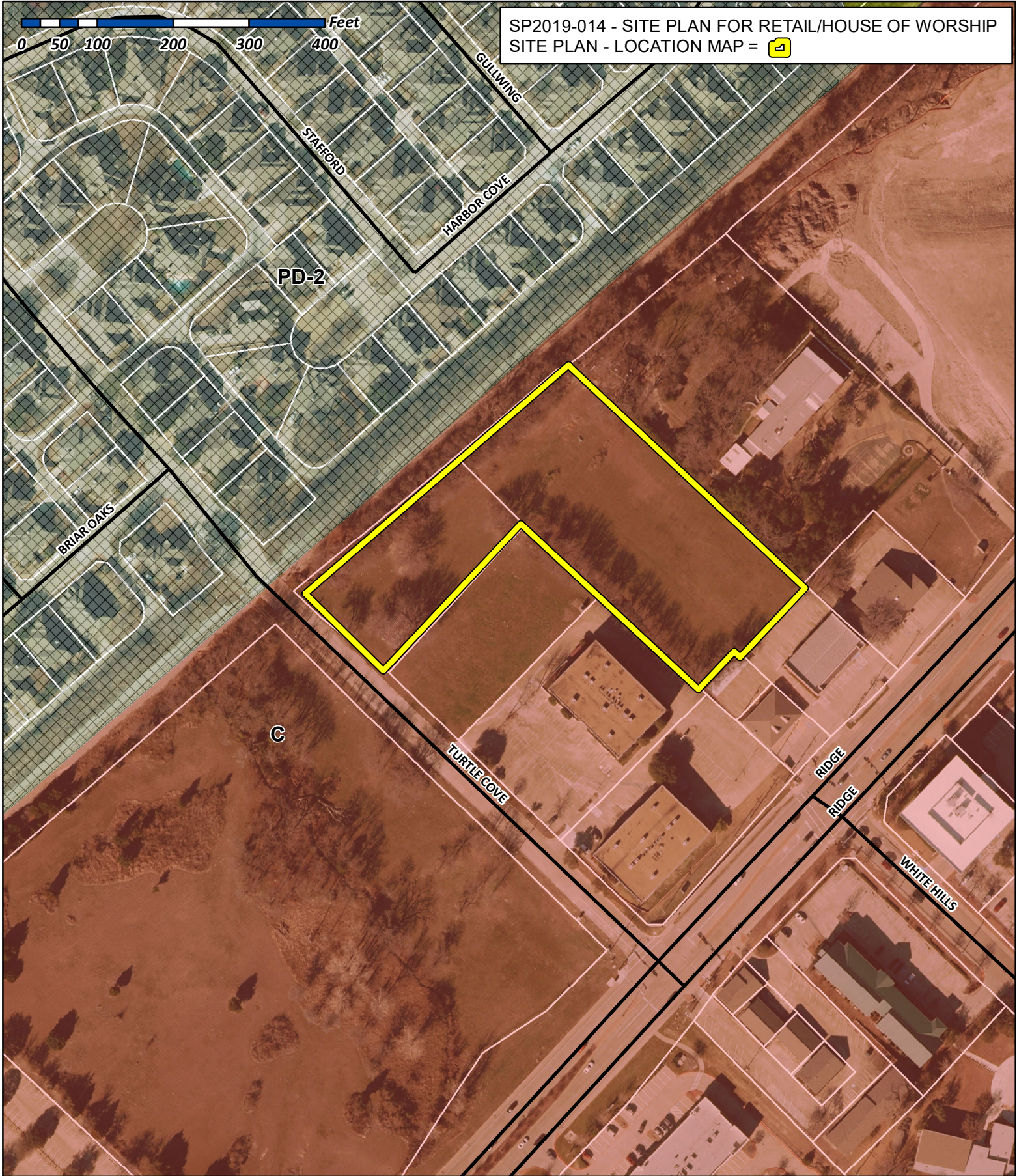
### **ARCHITECTURAL REVIEW BOARD (ARB):**

On June 11, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval by a vote of 6-0 with Board Member Neill absent.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The developer shall plant a thick vegetative screening consisting of a combination of bushes, grasses, and/or mature trees adjacent to the northwest property line;
- (2) The applicant shall provide an updated landscape plan showing the proposed wrought-iron fence and a thick vegetative screen consisting of a combination of mature trees and shrubs.
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

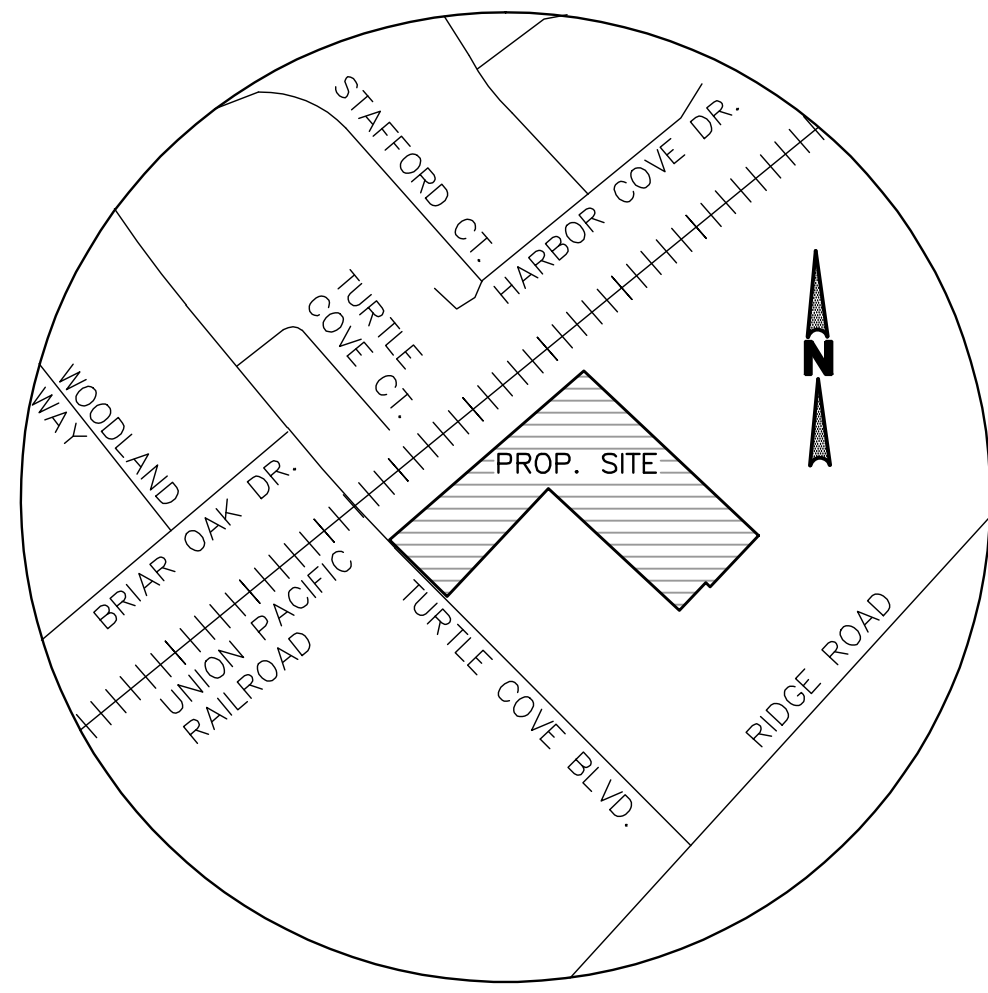


**LEGEND**

TC	EXISTING TOP OF CURB	GW	EXISTING GUY WIRE
TSW	EXISTING TOP OF SIDEWALK	W	EXISTING WATER LINE
GT	EXISTING GUTTER	SS	EXISTING SANITARY SEWER LINE
TELP	EXISTING TELEPHONE PEDESTAL	STM	EXISTING STORM WATER LINE
BL	EXISTING BOLLARD	X	EXISTING CHAINLINK FENCE
INLET	EXISTING CURB INLET	G	EXISTING GAS LINE
PP	EXISTING POWER POLE	OHE	EXISTING OVERHEAD POWER LINE
WV	EXISTING WATER VALVE	675	EXISTING CONTOUR
LP	EXISTING LIGHT POST	Ⓟ	PARKING COUNTS
GM	EXISTING GAS METER	VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
FH	EXISTING FIRE HYDRANT	● FH	PROPOSED FIRE HYDRANT
Ⓢ	EXISTING SANITARY SEWER MANHOLE		
Ⓢ	PROPOSED STREET LIGHT		

- DUMPSTER NOTES:**
- DUMPSTER TO BE SCREENED BY EIGHT FEET, MATERIALS MATCHING THE MAIN STRUCTURE, WITH SELF-LATCHING OPAQUE GATE.
  - DUMPSTER TO DRAIN TO AN OIL/WATER SEPARATOR AND THEN TO THE STORM SYSTEM.

PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM

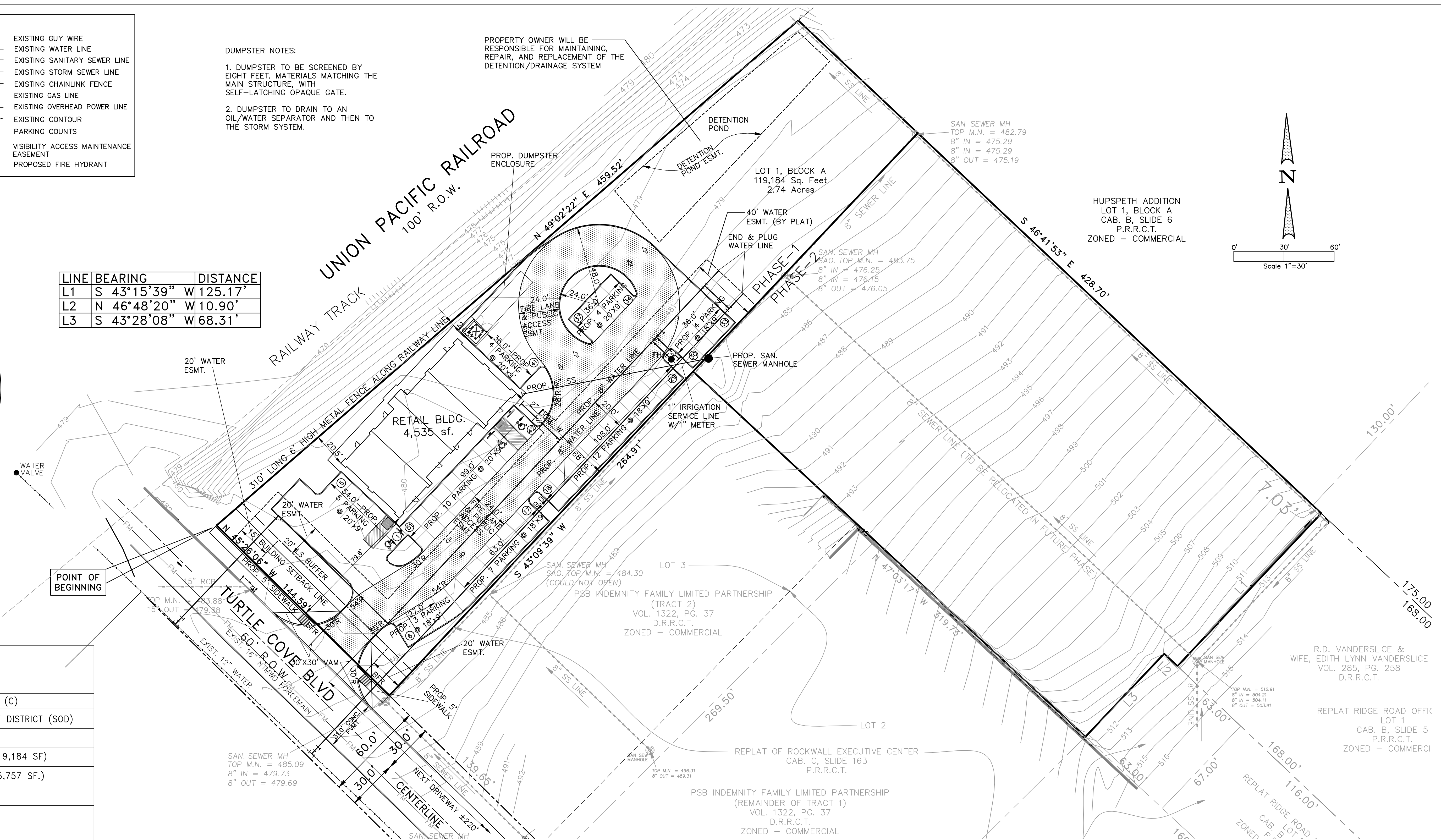


LINE BEARING	DISTANCE
L1 S 43°15'39" W	125.17'
L2 N 46°48'20" W	10.90'
L3 S 43°28'08" W	68.31'

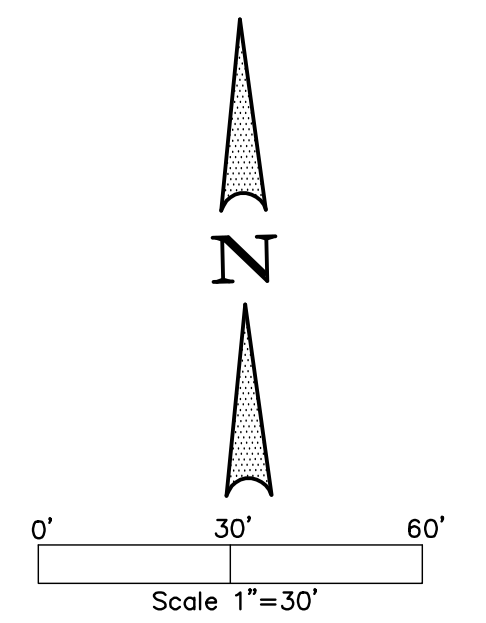
**VICINITY MAP N.T.S**

**SITE DATA TABLE**

DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C)
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LAND USE (FROM ZONING ORDINANCE)	RETAIL
LOT AREA TOTAL	2.74 AC. (119,184 SF)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	55.33%
FLOOR AREA RATIO	0.0813:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268/60 = 38
PARKING REQUIRED (WORSHIP)	150/4 = 38
PARKING REQUIRED (RETAIL)	2,268/200 = 12
TOTAL PARKING REQUIRED	38+12=50 SPACES
PARKING PROVIDED	51 SPACES INCLUDING 3 ADA
PERVIOUS AREA	24,908 SF.
IMPERVIOUS AREA	30,849 SF
LANDSCAPE AREA REQUIRED	8,364 SF (15%)
LANDSCAPE AREA PROVIDED	24,908 SF



HUPSPETH ADDITION  
LOT 1, BLOCK A  
CAB. B, SLIDE 6  
P.R.R.C.T.  
ZONED - COMMERCIAL



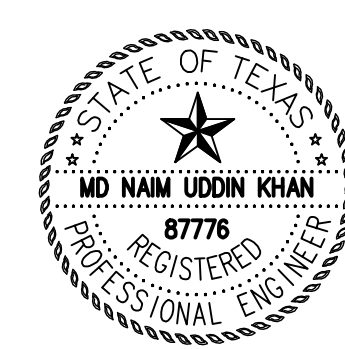
**OWNER**  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH. 318-617-3491

**SURVEYOR**  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214 349 9485

**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214 533 7181  
E-MAIL: naim1207@yahoo.com

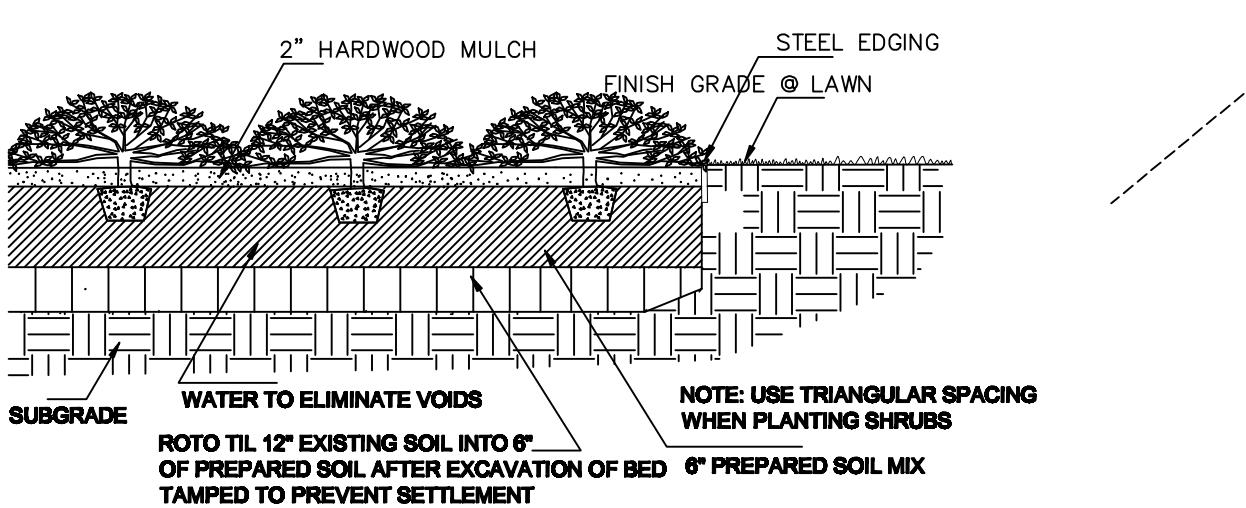
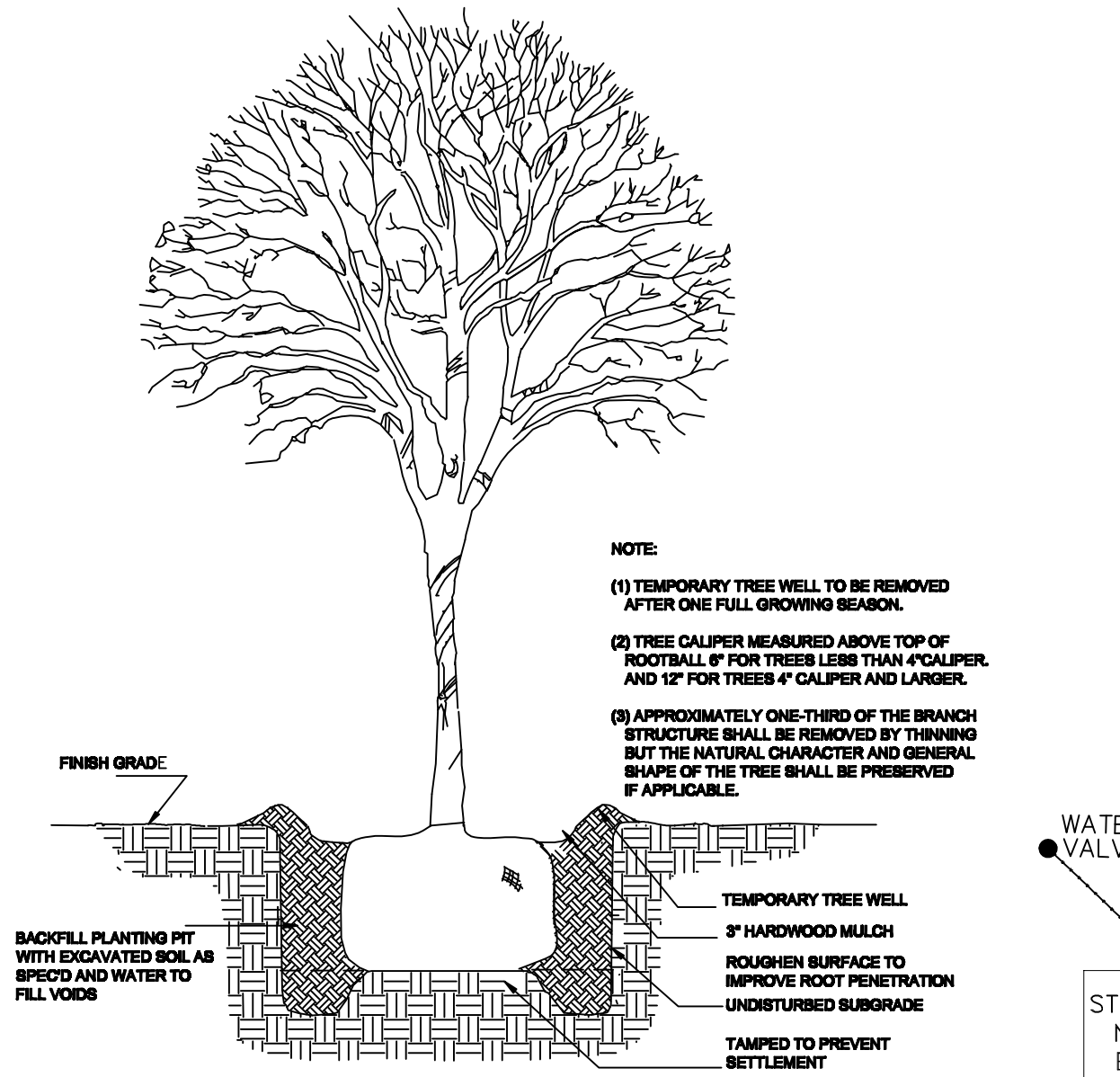
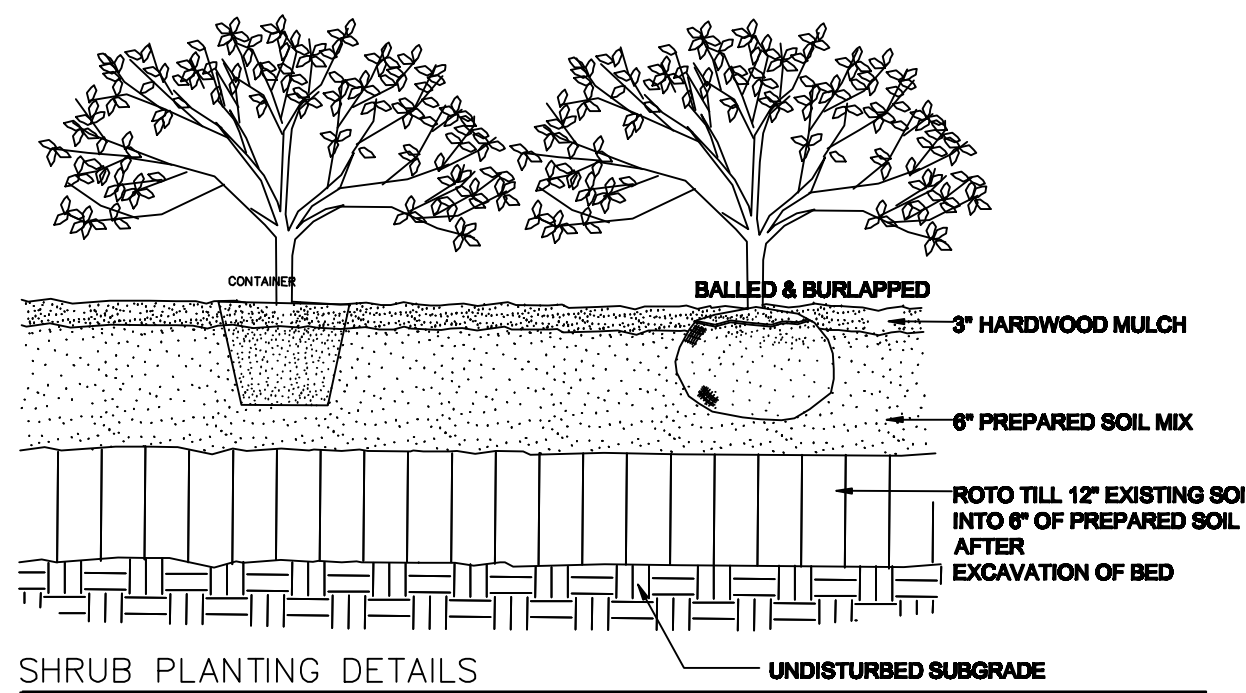
**ARCHITECT**  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH. 817 808 0811  
E-MAIL: akm.hellaluzzaman@gmail.com

**LANDSCAPE ARCHITECT**  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH. 214-403-2034



*Md. Naim Uddin Khan*  
Md. Naim Uddin Khan 06-12-19  
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIVE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

<b>SITE PLAN SP 2019-014</b>		<b>Scale: 1"=30'</b>
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES		Date : 6/12/2019
		Design : ND
		Draft : ND
		Checked : ND
		PROJECT NO : ROCK2019-725
<b>ND &amp; Associates, LLC</b> 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340		<b>SITE PLAN</b>  <b>C-1</b>



**PLANTING NOTES**

- USE 2x4\"/>

**landscape area**

SITE AREA, PHASE 1: 55,757 SF. (1,278 AC.)  
 LANDSCAPE AREA REQUIRED: 15% (8,364 SF.)  
 PROVIDED: 44.8% (24,908 SF.)  
 BLDG. AREA: 4,336 SF.  
 IMPERVIOUS AREA: 30,848 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 50.  
 SPACES PROVIDED: 51.

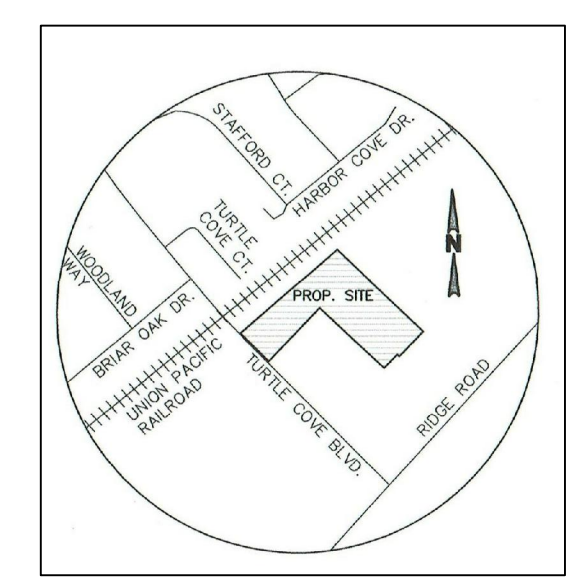
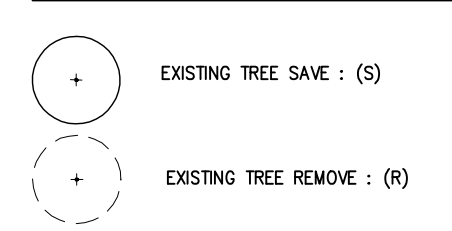
**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.  
 SHADE TREES REQUIRED: 3 (4\"/>

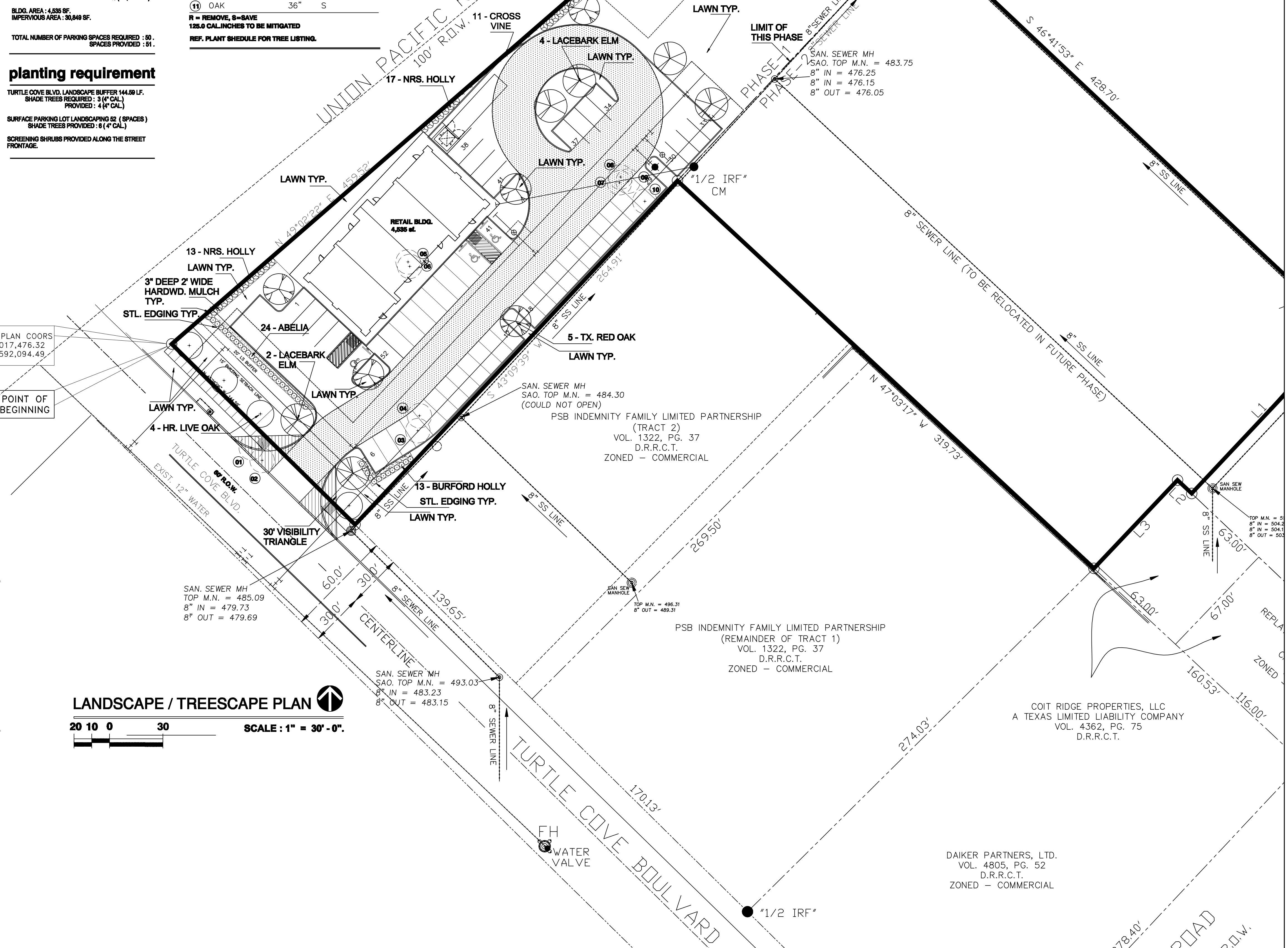
**existing tree listing**

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	
02 ELM 18\"/>	
03 HACKBERRY 15\"/>	
04 OAK 20\"/>	
05 HACKBERRY 7\"/>	
06 HACKBERRY 12\"/>	
07 HACKBERRY 20\"/>	
08 ELM 10\"/>	
09 HACKBERRY 15\"/>	
10 HACKBERRY 20\"/>	
11 OAK 36\"/>	

**exis. tree legend**



**vicinity map**



**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
5	Texas Red Oak	<i>Quercus shumardii</i> "Texana"	4\"/>	
6	Lacebark Elm	<i>Ulmus parvifolia</i>	4\"/>	
4	Live Oak	<i>Quercus virginiana</i>	4\"/>	
<b>SHRUBS &amp; VINES</b>				
30	NRS. Holly	<i>Ilex x. Nellie R. Stevens</i>	7 gal.	full pot, well rooted, 4\"/>
24	Abelia	<i>Abelia grandiflora</i>	5 gal.	30\"/>
13	Dwf. Burford Holly	<i>Ilex cornuta burfordi</i> "Nana"	5 gal.	24\"/>
11	Cross Vine	<i>Bignonia capriolata</i>	3 gal.	full pot, well rooted, staked to fence.
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	<i>Cynodon dactylon</i>		Hydromulched



CONSULTANT:  
**aroids**  
 0091 Indian Hills Drive, Garland, Texas, 75044  
 Telephone: 214.400.2266  
 Fax: 214.400.2266  
 Email: aroids@aroids.com

STATE OF TEXAS  
 MICHAEL A. SALAZAR  
 814  
 ARCHITECT  
 08.14.2019

OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

PROJECT:  
 CPM MASJID ( PHASE ONE )  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:  
 CITY COMMENTS 08.14.2019

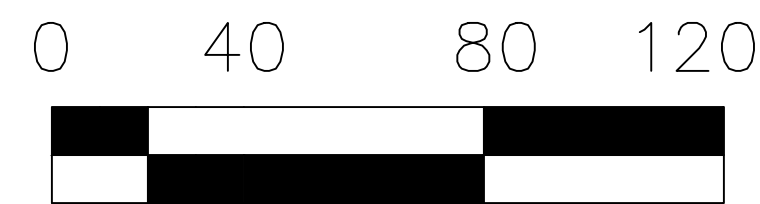
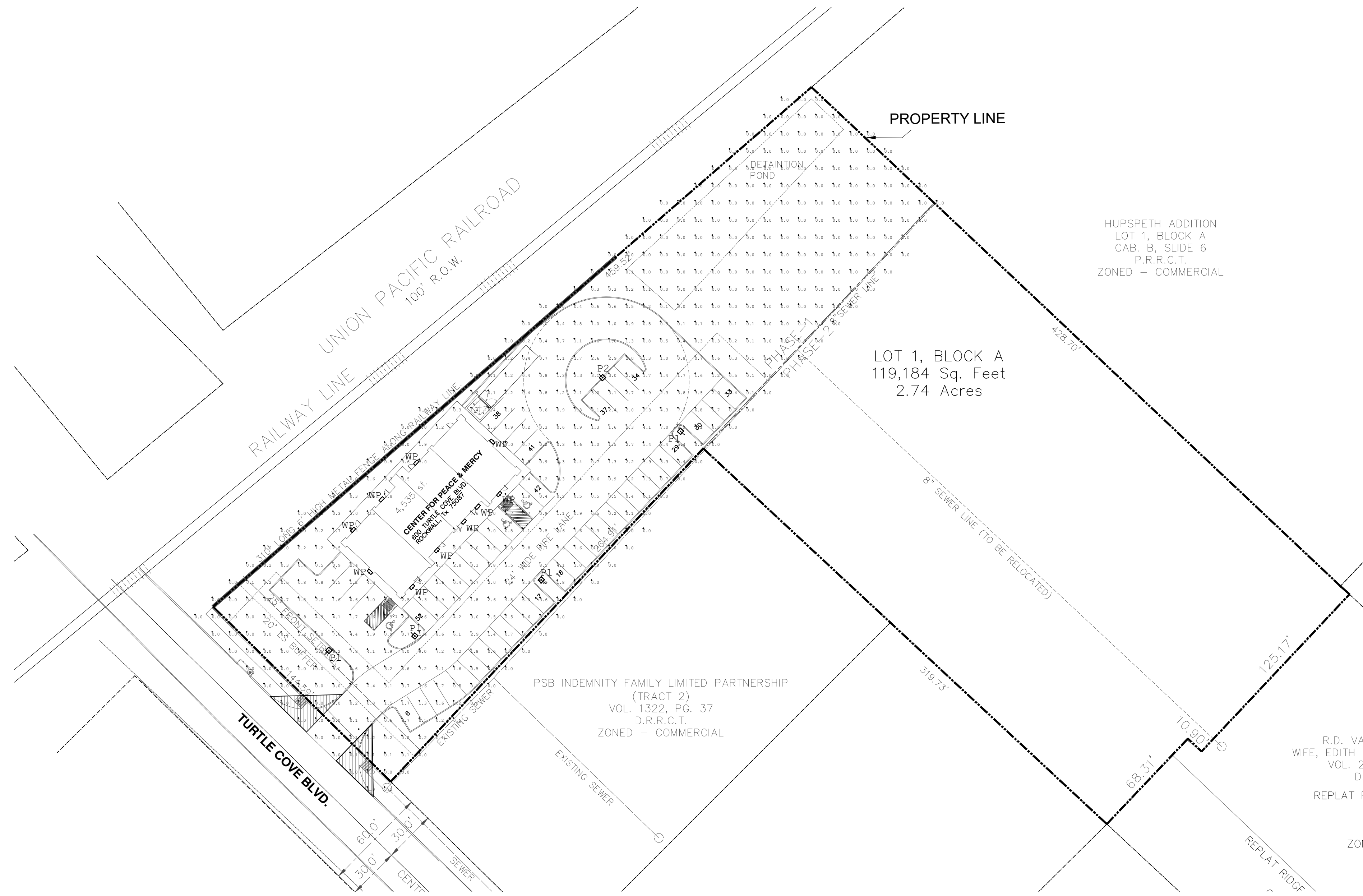
amazing concept  
 residential & commercial projects  
 545 Country Drive, Grapevine, Tx 76051  
 Tel. (817) 808 0811  
 E-mail: atm.helaluzzaman@gmail.com

SHEET TITLE:  
**LANDSCAPE PLAN**

DATE: 02.15.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN

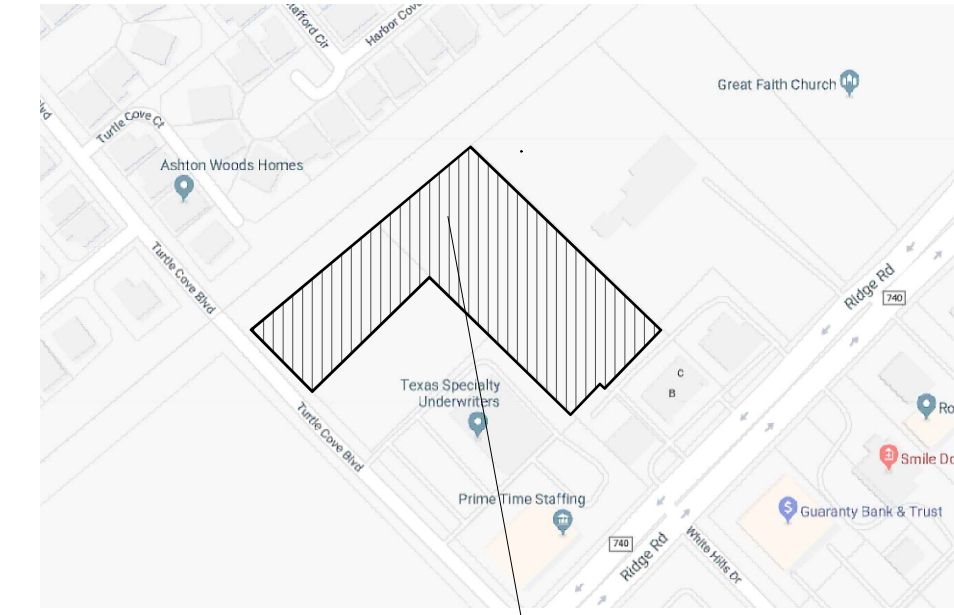
PROJECT #  
**H-2019-02**

SHEET NO:  
**LP.01**



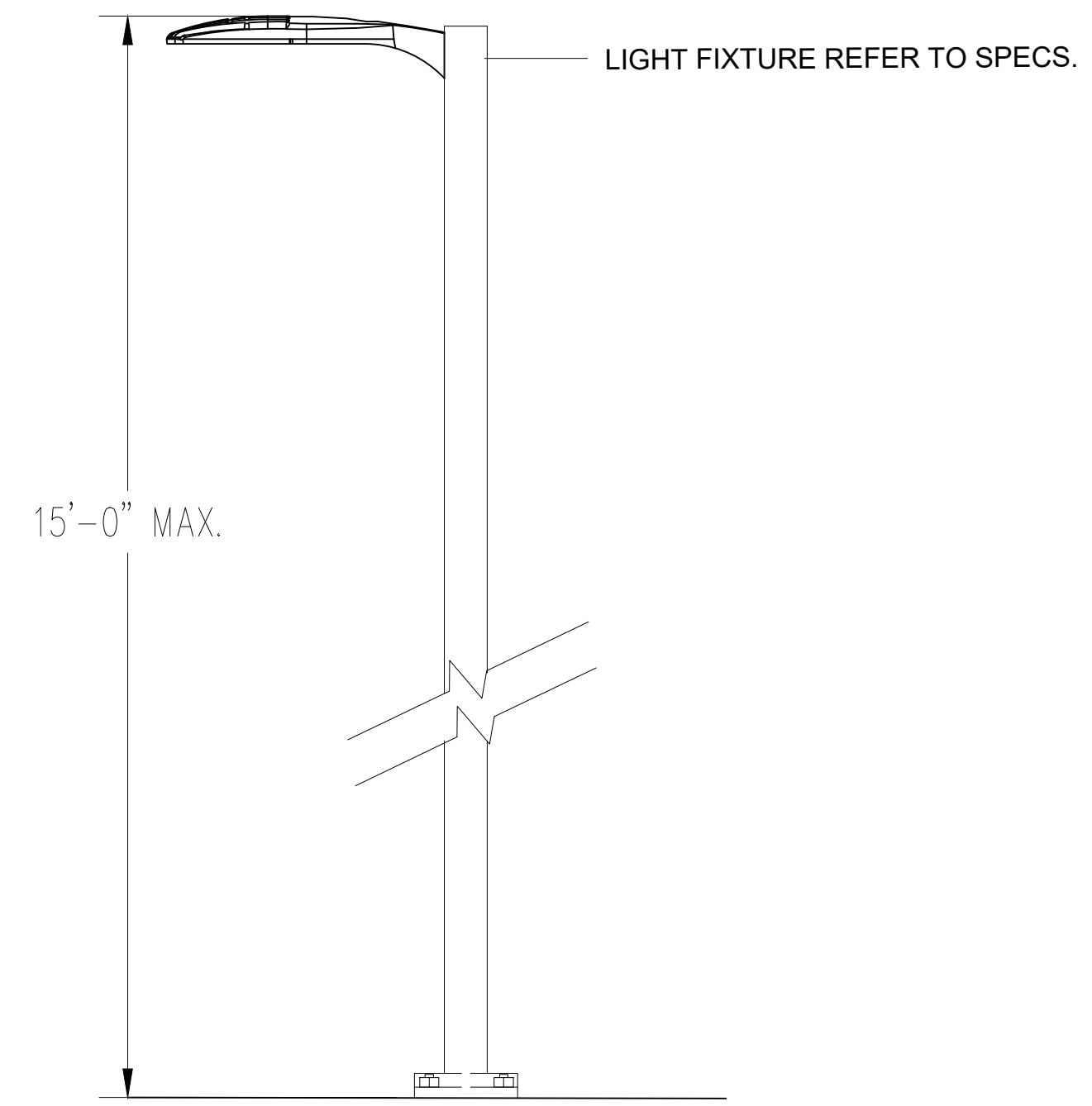
**01** PHOTOMETRIC PLAN  
SCALE: 1"=40'-0"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	150/4 = 37.5 (SAY 38)
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	38+12 = 50
TOTAL PARKING PROVIDED	52 INCLUDING 3 ADA



**THE SITE**  
600 TURTLE COVE DR.  
ROCKWALL, TX 75087

**02** VICINITY MAP  
SCALE: 1"=40'-0"



**03** TYPICAL SITE POLE  
SCALE: NTS

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Free Grid	Illuminance	Fc	1.08	9.0	0.0	N.A.	N.A.

Luminaire Schedule							
LABEL	Qty	Symbol	MANUFAC	Description	Lum. Lumens	Lum. Watts	
P1	4	☐	Lithonia Lighting	DSX1 LED P3 40K BLC MVOLT	10439	102	
P2	1	☐	Lithonia Lighting	DSX1 LED P2 50K T5M MVOLT	9351	70	
WP	10	☐	Lithonia Lighting	WSQ LED 1 10A700_40K SR2 MVOLT	2159	24	

**WAHEED CONSULTING**  
420 PARKSIDE COURT  
MURPHY, TEXAS 75094  
PH: 817-703-2010  
FIRM #: F-0336

**OWNER:**  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

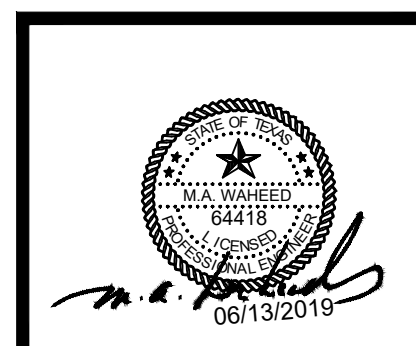
**PROJECT:**  
RETAIL BUILDING  
PHASE-1  
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, TX 75051  
Tel: (817) 806-0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:  
PHOTOMETRIC PLAN

DATE: 06.11.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	SHEET NO: ESP



CASE NO.: SP2019-014



**CONTACTS:**

**MEP ENGINEERS:**  
 WAHEED CONSULTING  
 420 Parkside St.  
 Murphy, TX 75094  
 PHONE: (817) 793-2010  
 CONTACT: M. A. WAHEED

**OWNER/DEVELOPER:**  
 CENTERS FOR PEACE & MERCY, INC.  
 ABDUL LATIF KHAN, President  
 4152 Greenfield Drive  
 Richardson, TX 75082  
 PHONE: (318) 617-3491

**SURVEYOR:**  
 CBG SURVEYING, LLC.  
 12025 Shiloh Road, Ste 230  
 Dallas, TX 75228  
 PHONE: (214) 349-9485  
 CONTACT: BRYAN CONALLY

**CIVIL ENGINEER:**  
 DESIGN DEVELOPMENT CONSULT.  
 2308 KITTY HAWK DR.  
 PLANO, TX 75025  
 PHONE: (214)-533-7181  
 CONTACT: NAIM KHAN, PE

**ARCHITECT:**  
 AMAZING CONCEPT LLC.  
 545 COVENTRY DR.  
 Grapevine, Tx 76051  
 PHONE: (817) 808-0811  
 CONTACT: AHMED HELALUZZAMAN  
 Designer,  
 Email: akm.helaluzzaman@gmail.com

**AROIDS LANDSCAPE ARCHITECTS**  
 5901 INDIAN HILLS DR.  
 GARLAND, TX 75044  
 PHONE: (214)-329-6491  
 CONTACT: MOHAMMED ABDUS SALAM

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	
LAND USE (FROM ZONING ORDINANCE)	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
COVERED AREA PHASE-1	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	50 SPACES INCLUDING 3 ADA
PARKING PROVIDED	52 SPACES INCLUDING 3 ADA



**DARK BRONZE FRAMES, PARAPET CAP & CANOPY**



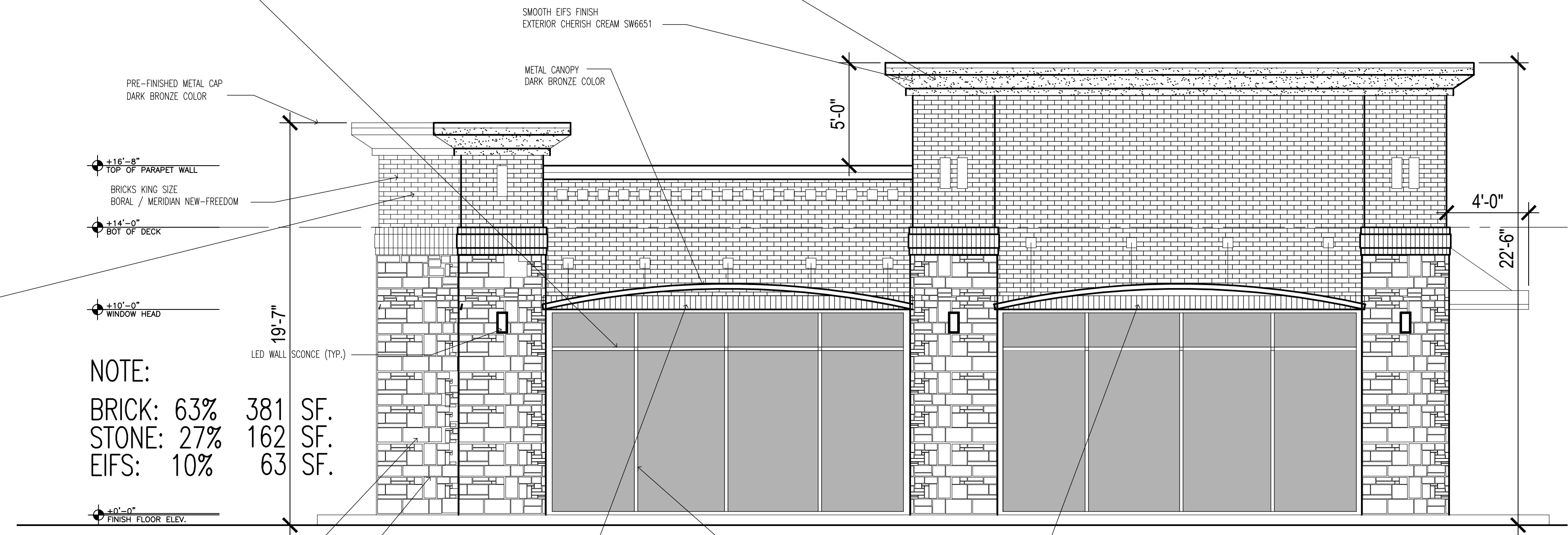
**CHERISH CREAM SW6651 OR EQUAL**



**BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL**

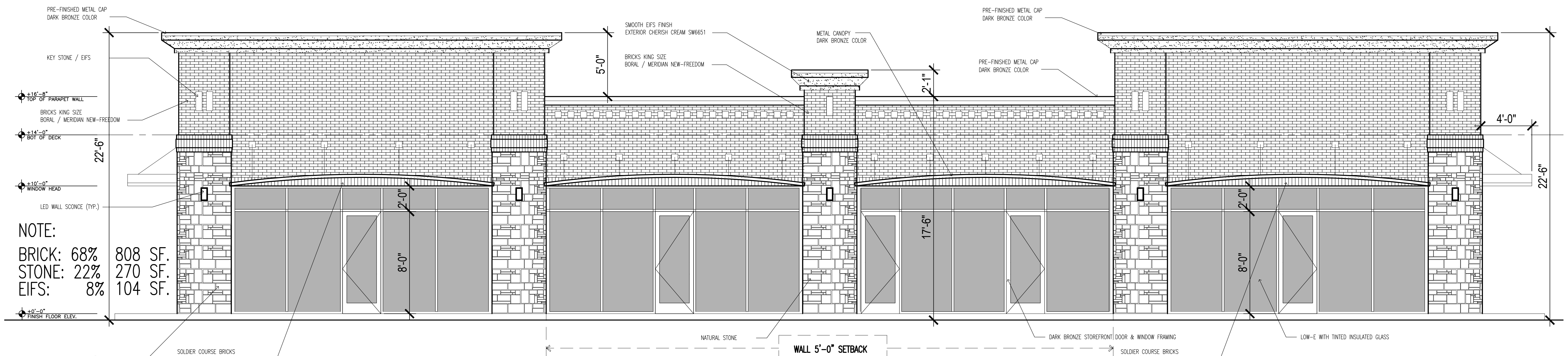


**NATURAL LIME STONE OR EQUAL**



**NOTE:**  
 BRICK: 63% 381 SF.  
 STONE: 27% 162 SF.  
 EIFS: 10% 63 SF.

**2 SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**NOTE:**  
 BRICK: 68% 808 SF.  
 STONE: 22% 270 SF.  
 EIFS: 8% 104 SF.

**1 EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

**OWNER:**  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

**PROJECT:**  
 RETAIL BUILDING  
 PHASE-1  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

**REVISIONS:**


**amazing concept**  
 residential & commercial projects  
 545 Coventry Drive, Grapevine, Tx 76051  
 Tel: (817) 808 0811  
 E-mail: akm.helaluzzaman@gmail.com

**SHEET TITLE:**  
 EXTERIOR ELEVATIONS

<b>DATE:</b> 06.03.2019	<b>SCALE:</b> AS SHOWN
<b>DRAWN:</b>	<b>DESIGNER:</b> A. HELALUZZAMAN
<b>PROJECT #</b> H-2019-02	
<b>SHEET NO.:</b> A501	

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
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**CONTACTS:**

**MEP ENGINEERS:**  
WAHEED CONSULTING  
420 Parkside St.  
Murphy, TX 75094  
PHONE: (817) 793-2010  
CONTACT: M. A. WAHEED

**OWNER/DEVELOPER:**  
CENTERS FOR PEACE & MERCY, INC.  
ABDUL LATIF KHAN, President  
4152 Greenfield Drive  
Richardson, TX 75082  
PHONE: (318) 617-3491

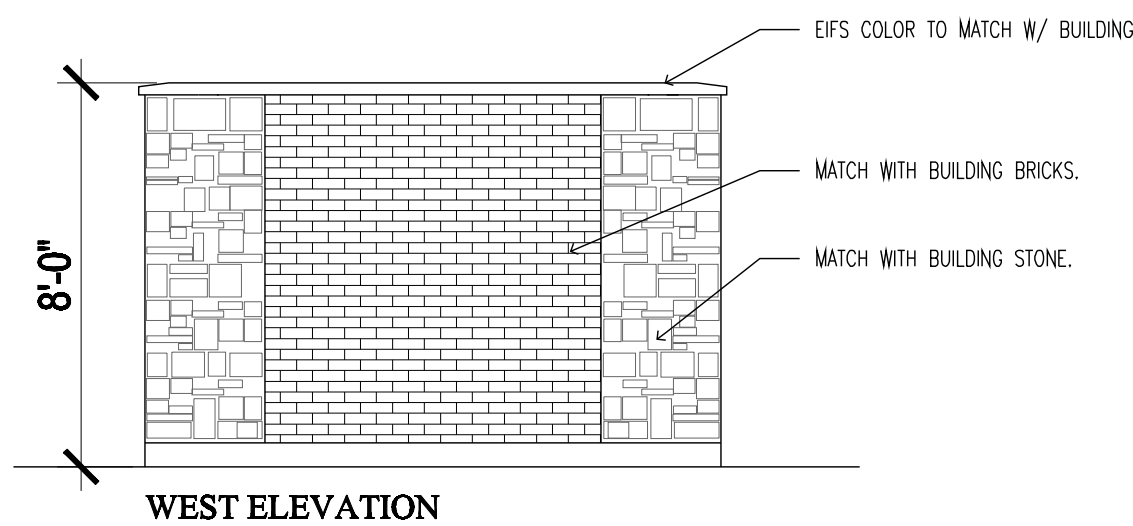
**ARCHITECT:**  
AMAZING CONCEPT LLC.  
545 COVENTRY DR.  
Grapevine, TX 76051  
PHONE: (817) 808-0811  
CONTACT: AHMED HELALUZZAMAN  
Designer,  
Email: akm.helaluzzaman@gmail.com

**SURVEYOR:**  
CBG SURVEYING, LLC.  
12025 Shiloh Road, Ste 230  
Dallas, TX 75228  
PHONE: (214) 349-9485  
CONTACT: BRYAN CONALLY

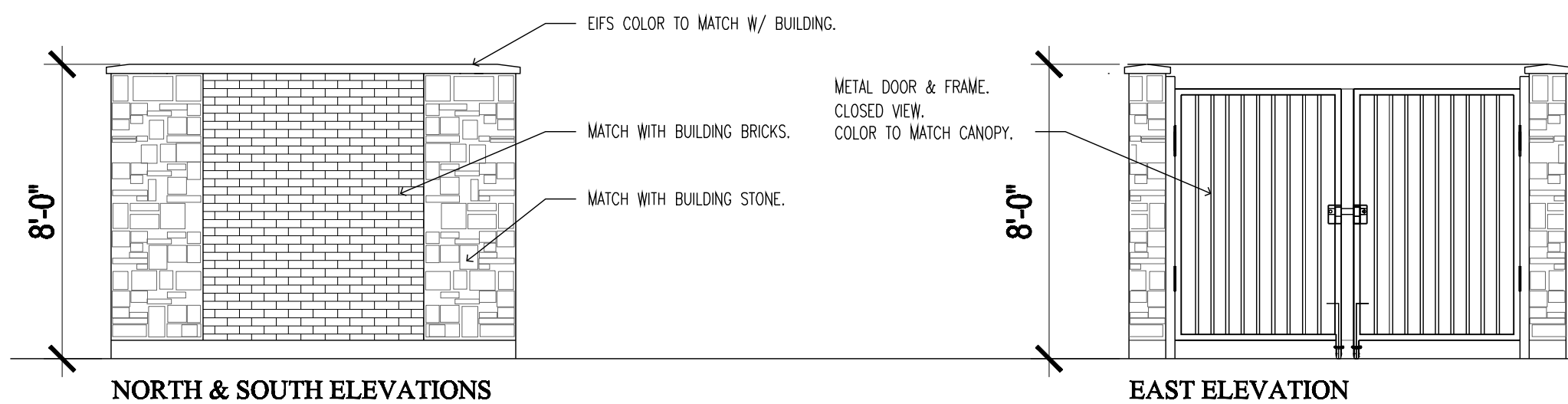
**CIVIL ENGINEER:**  
DESIGN DEVELOPMENT CONSULT.  
2308 KITTY HAWK DR.  
PLANO, TX 75025  
PHONE: (214)-533-7181

**AROIDS LANDSCAPE ARCHITECTS**  
5901 INDIAN HILLS DR.  
GARLAND, TX 75044  
PHONE: (214)-329-6491

**CONTACT: NAIM KHAN, PE**      **CONTACT: MOHAMMED ABDUS SALAM**

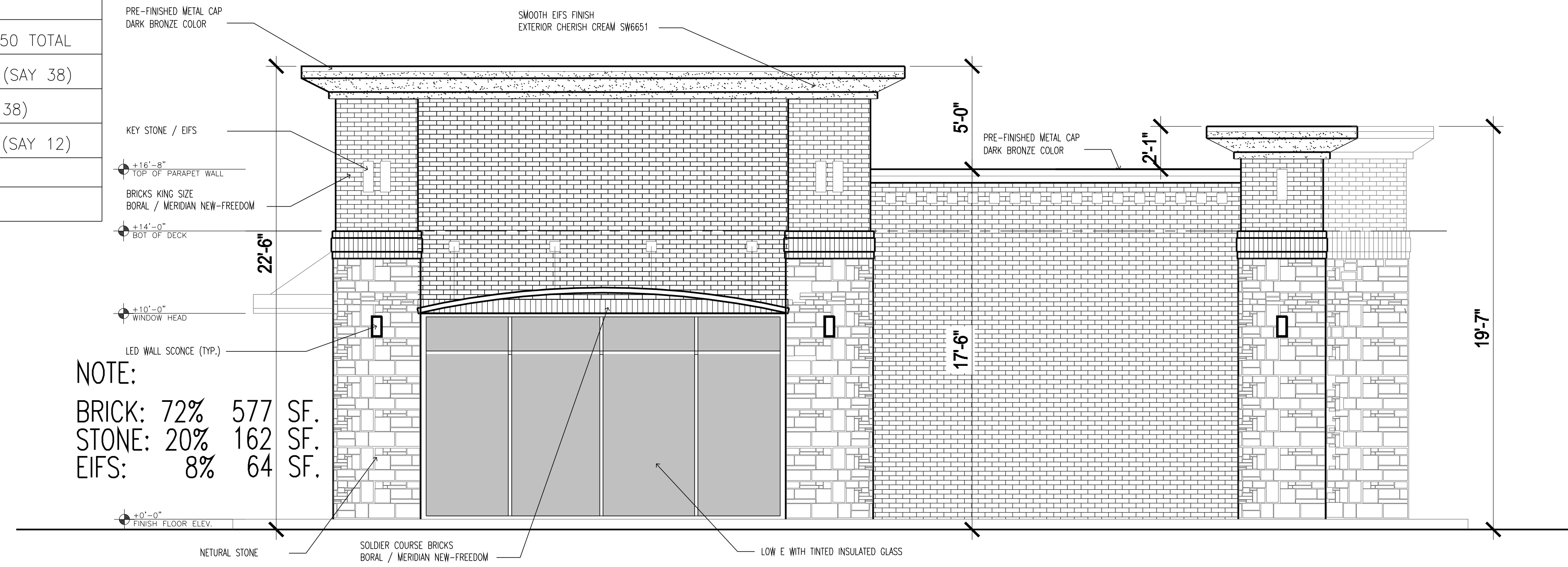


**WEST ELEVATION**



**NORTH & SOUTH ELEVATIONS**

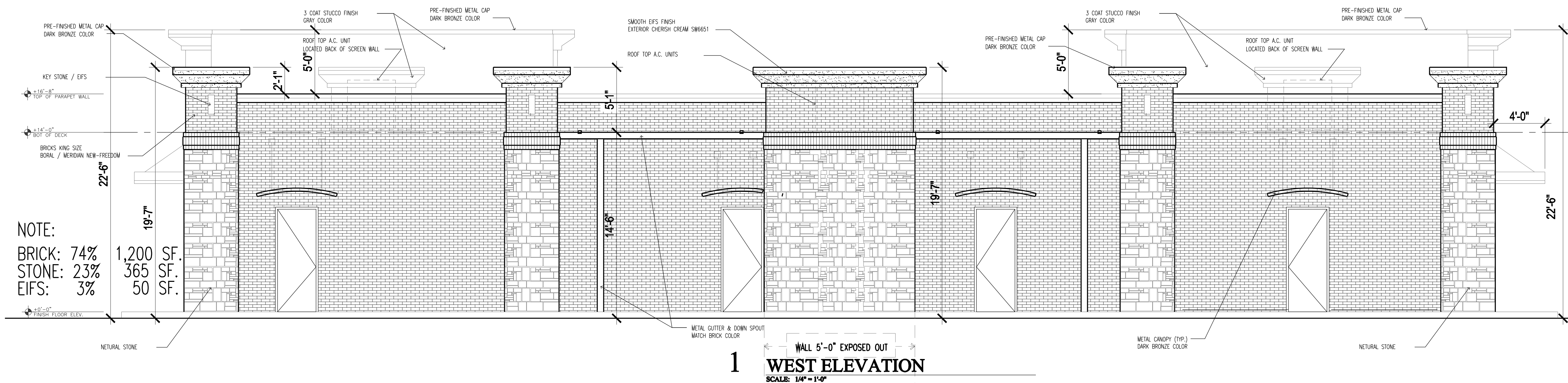
**EAST ELEVATION**



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
BRICK: 72% 577 SF.  
STONE: 20% 162 SF.  
EIFS: 8% 64 SF.

**3 DUMPSTER ELEVATIONS**  
SCALE: 1/4" = 1'-0"



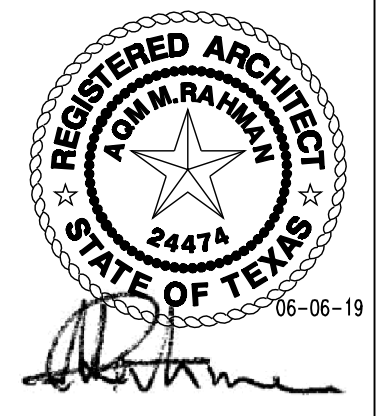
**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
BRICK: 74% 1,200 SF.  
STONE: 23% 365 SF.  
EIFS: 3% 50 SF.

**OWNER:**  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

**PROJECT:**  
RETAIL BUILDING PHASE-1  
600 Turtle Cove Boulevard, Rockwall, Tx 75087

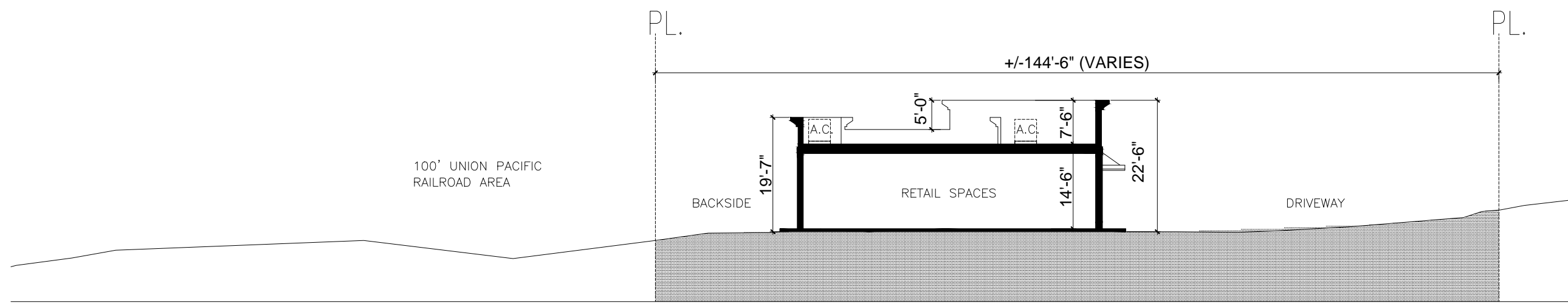
REVISIONS:

**amazing concept**  
residential & commercial projects  
545 Coventry Drive, TX 76051  
Tel. (817) 808-0811  
E-mail: akm.helaluzzaman@gmail.com

SHEET TITLE:  
EXTERIOR ELEVATIONS

DATE: 06.03.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	SHEET NO. A502



100' UNION PACIFIC  
RAILROAD AREA

P.L.

+/-144'-6" (VARIES)

P.L.

BACKSIDE

19'-7"

A.C.

5'-0"

RETAIL SPACES

A.C.

7'-6"

14'-6"

22'-6"

DRIVEWAY

RETAIL BUILDING

CONCEPT SITE SECTION

600 TURTLE COVE BLVD. 06.20.2019  
SCALE: 1" = 20'



August 13, 2019

**ATTN: AHMED HELALUZZAMAN**  
AHMED HELALUZZAMAN  
545 COVENTRY DRIVE,  
Grapevine, TX 76051

**RE: SITE PLAN (SP2019-014), Retail shopping/House of Worship**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council on 07/15/2019. The following is a record of all recommendations, voting records and conditions of approval:

*ARCHITECTURAL REVIEW BOARD (ARB):*

*On June 11, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval by a vote of 6-0 with Board Member Neill absent.*

*CONDITIONS OF APPROVAL*

*If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:*

- (1) The developer shall plant a thick vegetative screening consisting of a combination of bushes, grasses, and/or mature trees adjacent to the northwest property line;*
- (2) The applicant shall provide an updated landscape plan showing the proposed wrought-iron fence and a thick vegetative screen consisting of a combination of mature trees and shrubs.*
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

*PLANNING AND ZONING COMMISSION:*

*On June 25, 20019, the Planning and Zoning Commission's motion to approve the site plan passed by a vote of CITY COUNCIL:*

*On July 15, 2019, the City Council's motion to approve a variance request to allow for a flat roof design with the Scenic Overlay (SOV) District passed by a vote of 6-0, with Mayor Pruitt absent.*

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

**Korey Brooks, AICP**  
Senior Planner  
Planning & Zoning Department  
City of Rockwall, TX



August 13, 2019

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AHMED HELALUZZAMAN  
545 COVENTRY DRIVE,  
Grapevine, TX 76051

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