



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP 2019-007 P&Z DATE 3/26/2019 CC DATE 4/9/2019 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SF 2019-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 I-30 Rockwall, TX 75087-5504

Subdivision Lake Point Baptist Church Addition

Lot 3

Block A

General Location NW of W Ralph Hall Pkwy, between Steger Towne Rd and Market Center Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Not Applicable (N/A)

Current Use Soccer Fields

Proposed Zoning Not Applicable (N/A)

Proposed Use Parking Lot

Acreage 1.827

Lots [Current] _____

Lots [Proposed] _____

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Lake Pointe Church

Applicant Halff Associates

Contact Person John Wardell

Contact Person Dan Warfield

Address 701 E I-30

Address 3803 Parkwood Blvd

City, State & Zip Rockwall, TX 75087-5504

City, State & Zip Frisco, TX 75034

Phone +1 (469) 698-2244

Phone +1 (214) 217-6694

E-Mail johnw@lakepointe.org

E-Mail dwarfield@halff.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JOHN P. WARDELL [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 290.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11th day of MARCH, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

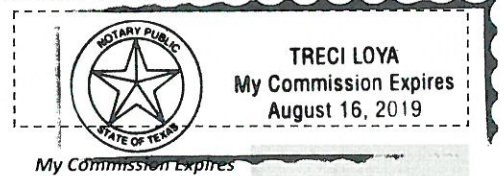
Given under my hand and seal of office on this the 11th day of March, 20 19.

Owner's/Applicant's Signature

John Wardell

Notary Public in and for the State of Texas

Treci Loya





CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER: _____

REVIEWED BY: _____

OVERLAY DISTRICT: _____

REVIEW DATE: _____

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Building Elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
Building Material Sample Board and/or Color Rendering of Building Elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1"=20', 1"=40', etc ... with a maximum of 1"=100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 5.4
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference Table 3 of Article VI.	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	Art. VI 5.3.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (Art. VI 6.5 <i>Loading Requirements</i>).	Art. VI 6.4
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.2

2.3 SITE PLAN: SIGNAGE

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				
Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

2.4 SITE PLAN: SCREENING

Requirements	✓ = OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing. All fencing shall conform to Chapter 10, Article XI of the Code of Ordinances.	Art. V 1.7
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.5.3
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.5.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.5.4
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.5.2
Outside Storage	<input type="checkbox"/>	<input type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.5.1
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.6

3.1 LANDSCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	Art. VIII 4.3
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	Art. VIII 5.12
Landscape Table	<input type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	Art. VIII 4.3

Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	Art. VIII 4.3
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.1
Acceptable Landscape Materials:				Art. VIII 5.3
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Art. VIII 5.3.E
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Art. VIII 5.3.F
Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.9
Location of all Site Amenities	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	Art. VIII 4.3
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	
Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. VIII 5.7
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five feet from water, sewer and storm sewer lines.	Art. VIII 4.3
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.5

4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3

Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: <i>Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 0.35 of one foot candle (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input type="checkbox"/>	<input type="checkbox"/>	Parking areas are not to exceed a maintained average of 1.5 foot candles at ground level, and shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VI 3.4.A
Indicate all Exterior Lighting	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	<input type="checkbox"/>	<input type="checkbox"/>		
Proposed Light Fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Specific Zoning and Overlay Districts may have additional design and material requirements.				
Provide Exterior Elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement	<input type="checkbox"/>	<input type="checkbox"/>	For Buildings less than 25,000 Sq. Ft.: Exterior walls should consist of 90% masonry materials excluding doors and windows. For Buildings greater than 25,000 Sq. Ft.: 90% of exterior walls shall consist of brick, stone, split faced CMU, plaster, stucco or a combination of.	Art. 4.1.A.1 Art.4.1.D.2
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement.	<input type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. 4.1.A.1
Indicate the Surface Area of Each Facade	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each facade and the percentage and square footage of each material used on that facade.	-
Proposed Building Materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input type="checkbox"/>	<input type="checkbox"/>		-

Indicate Parapet Wall Height (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	
Indicate Any Additional Design Elements Proposed (If Applicable)	<input type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s) [H]	<input type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.1.B.1
Minimum Standards for Articulation:				
Horizontal Articulation of Façades: Projecting Offset = 25% x (H) [Min. 5 Ft.] Length of Offset = 25% x (L) [Min. 15 Ft.] Distance Between* (L) = 3 x (H) [Max. 60 Ft.]	<input type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ x 25% = _____. The length of the offset is = (L) _____ x 25% = _____. (* Minimum distance between projections is 60')	Art. V 4.1.C.1.a
Vertical Articulation of Façades: Height Extension = 25% x (H) [Min. 5 Ft.] Length of Extension = 25% x (L) [Min. 15 Ft.] Distance Between* (L) = 3 x (H) [Max. 60 Ft.]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ x 25% = _____. The length of the height extension is = (L) _____ x 25% = _____. (* Minimum distance between extensions is 60')	Art. V 4.1.C.1.b

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum Standards for Articulation:				
Horizontal Articulation of Façades: Projecting Offset = 25% x (H) [Min. 5 Ft.] Length of Offset = 25% x (L) [Min. 20 Ft.] Distance Between* (L) = 4 x (H) [Max. 80 Ft.]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ x 25% = _____. The length of the offset is = (L) _____ x 25% = _____. (* Minimum distance between projections is 80')	Art. V 5.C.1.a
Vertical Articulation of Façades: Height Extension = 25% x (H) [Min. 5 Ft.] Length of Extension = 25% x (L) [Min. 20 Ft.] Distance Between* (L) = 4 x (H) [Max. 80 Ft.]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ x 25% = _____. The length of the height extension is = (L) _____ x 25% = _____. (* Minimum distance between extensions is 80')	Art. V 5.C.1.b

Pre-Development Meeting:

Date: ___ / ___ / ___

N/A

Administrative Site Plan/Public Hearing Site Plan

1) Is the property located within an Overlay District or a Planned Development District? YES NO

2) If yes which Overlay District or Planned Development District? _____

3) Is the applicant requesting appeals? YES NO

4) If yes note the appeals: _____

Planning & Zoning Work Session (Packet Due ___ / ___ / ___):

Date: ___ / ___ / ___

DRC Meeting

Date: ___ / ___ / ___

ARB Meeting

Date: ___ / ___ / ___

Planning and Zoning Meeting (Packet Due ___ / ___ / ___):

Date: ___ / ___ / ___

1st _____

2nd _____

Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

City Council Meeting (Packet Due ___ / ___ / ___):

Date: ___ / ___ / ___

1st _____

2nd _____

Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

GENERAL NOTES:



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/15/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/22/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/26/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 3/26/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-007
Project Name: Lake Pointe Church
Project Type: SITE PLAN
Applicant Name: HALFF ASSOCIATES
Owner Name: LAKE, POINTE BAPTIST CHURCH
Project Description:



RECEIPT

Project Number: SP2019-007
Job Address: 701 I30
, TX

Receipt Number: B84447

Printed: 3/19/2019 11:40 am

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 290.00

Total Fees Paid:

\$ 290.00

Date Paid: 3/19/2019 12:00:00AM

Paid By: LAKE POINTE BAPTIST CHURCH

Pay Method: CHECK 6568

Received By: LM

City of Rockwall Project Plan Review History



Project Number SP2019-007	Owner LAKE, POINTE BAPTIST CHURCH	Applied 3/15/2019	LM
Project Name Lake Pointe Church	Applicant HALFF ASSOCIATES	Approved	
Type SITE PLAN		Closed	
Subtype ADMINISTRATIVE		Expired	
Status STAFF REVIEW		Status 3/28/2019	DG


Site Address 701 I30	City, State Zip , TX	Zoning
--------------------------------	--------------------------------	---------------

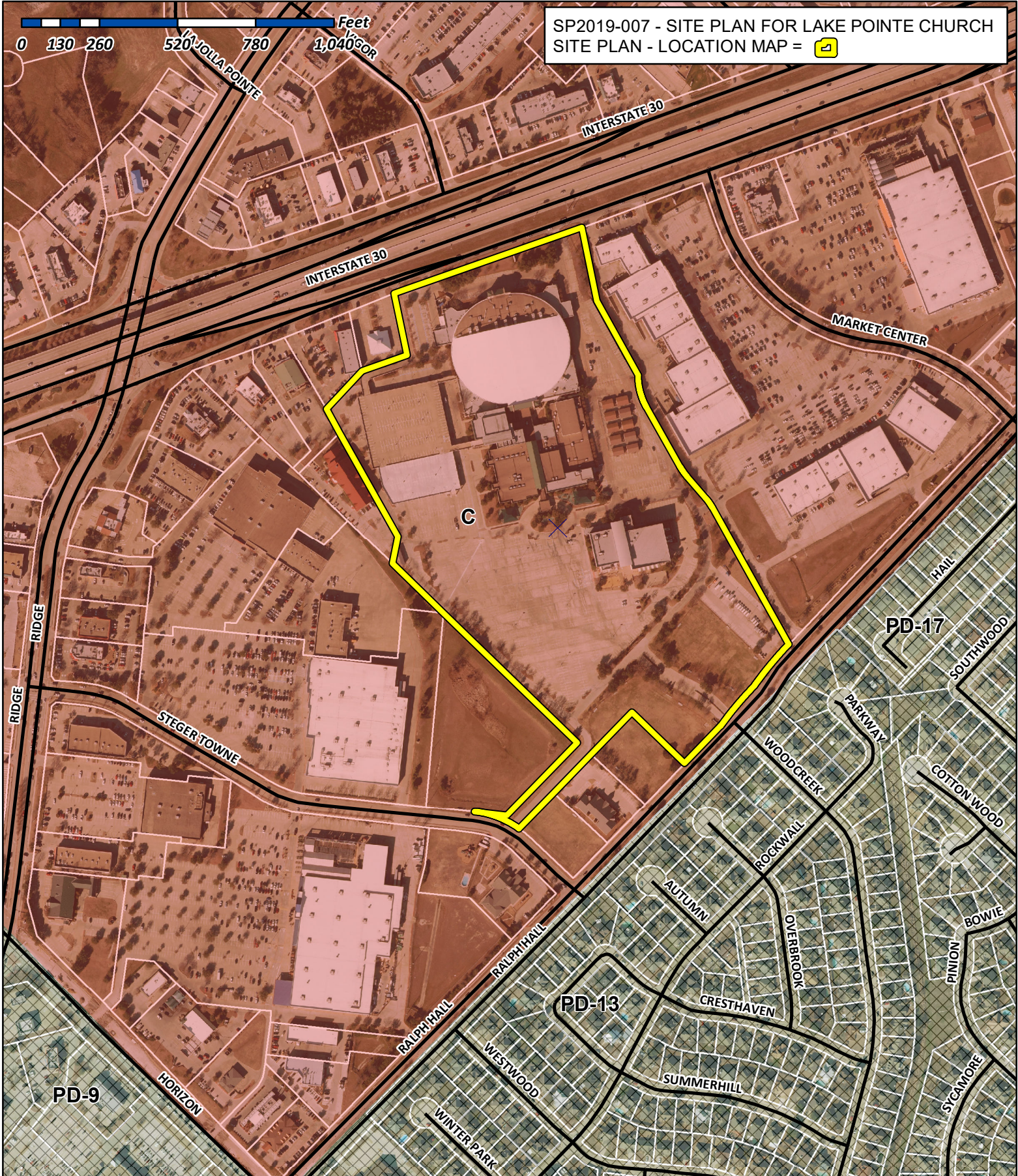
Subdivision DRAKE 1	Tract 1	Block A	Lot No 1	Parcel No 4191-000A-0001-00-OR	General Plan
-------------------------------	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/15/2019	3/22/2019	3/19/2019	4	APPROVED	
ENGINEERING (3/21/2019 4:47 PM SH) - 4% Engineering Fees - Impact Fees - Walls 3' and over must be designed by an engineer. All retaining walls must be rock or stone face. No smooth concrete walls. - Min 20' wide easements, if needed. - Paving to be 3600psi concrete (6.5 sack mix) - Rebar design? - Must have longitudinal butt joints along all concrete edges where new and old pavement meet. - Must meet all City Standards of Design and Construction. - Add note to landscape sheets, "No trees within 5' of utilities."	Sarah Hager	3/15/2019	3/22/2019	3/21/2019	6	COMMENTS	
FIRE	Kevin Clark	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	
GIS	Lance Singleton	3/15/2019	3/22/2019	3/20/2019	5	APPROVED	
PLANNING	David Gonzales	3/15/2019	3/22/2019	3/28/2019	13	APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
With this Site Plan following an administrative review for a parking lot, the following staff comments are to be addressed prior to the release of any building permit						
The following staff comments are to be addressed and resubmitted at your convenience. These comments are considered to be conditions of approval. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff:						
General Comments:						
1. Adherence to all engineering and fire department standards. All comments are to be addressed prior to release of a building permit.						
2. Please provide a label on the lower right corner of all plans indicating Case No. SP2019-007 when submitting revised plans.						
Site Plan:						
1. Sheet C1.02: Delineate and label existing sidewalk along Ralph Hall Parkway.						
Landscape Plan:						
1. Sheet L1.01: Ghost in all existing trees to better delineate new plantings for site.						
2. Sheet L2.01: Ghost in all existing trees to better delineate new plantings for site.						
3. Sheet L2.01: Indicate all new tree plantings that count toward mitigation (e.g. labeled on sheet L1.01).						

0 130 260 520 780 1,040 Feet

SP2019-007 - SITE PLAN FOR LAKE POINTE CHURCH
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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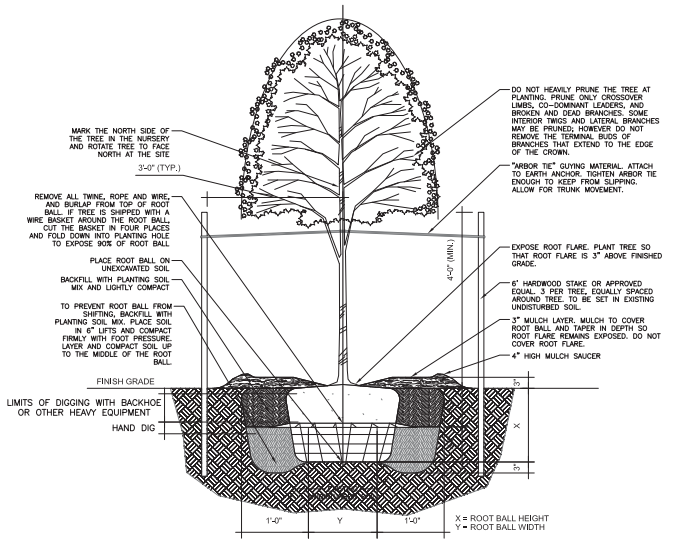


Revision	Date	Description

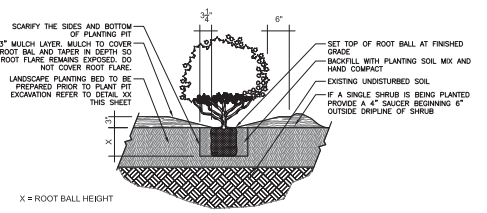


Project No.: 35806
 Revision: 03.14.19
 Drawn By: MAW
 Checked By: KMW
 Scale: AS NOTED

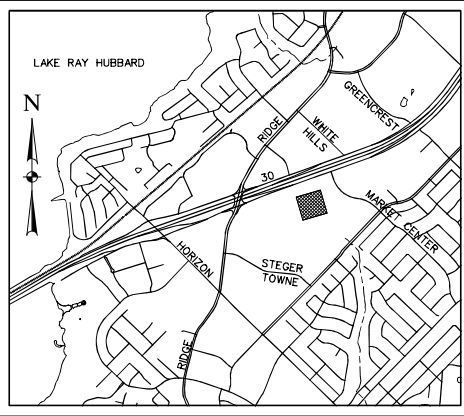
Sheet Title
 LANDSCAPE DETAILS
 L3.01
 Sheet Number



1 SINGLE TREE TRUNK WITH STAKES
 3/4" = 1'-0"



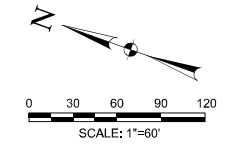
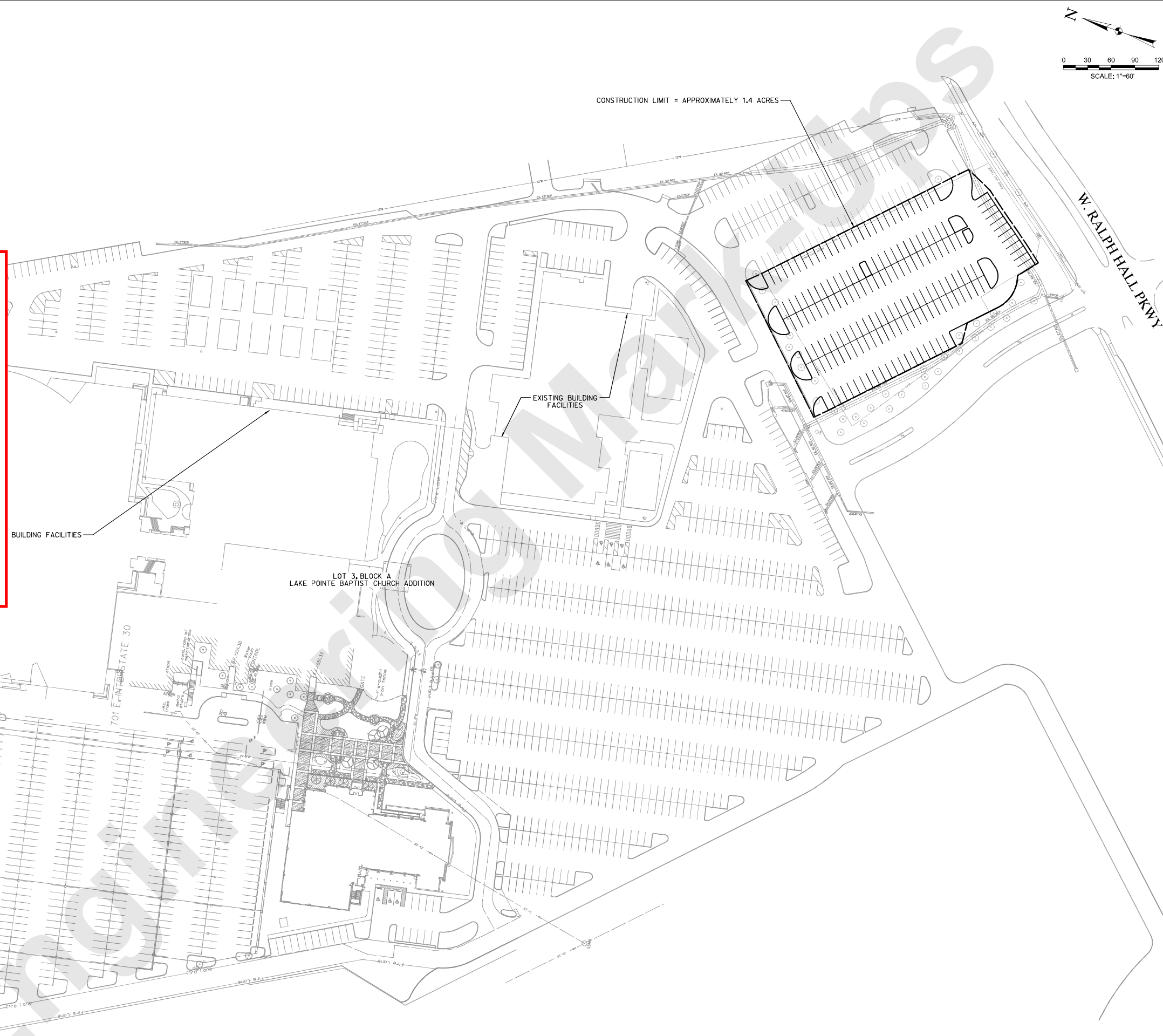
2 SHRUB PLANTING DETAIL
 3/4" = 1'-0"



LOCATION MAP
N.T.S.

- 4% Engineering Fees
- Impact Fees
- Walls 3' and over must be designed by an engineer. All retaining walls must be rock or stone face. No smooth concrete walls.
- Min 20' wide easements, if needed.
- Paving to be 3600psi concrete (6.5 sack mix)
- Rebar design?
- Must have longitudinal butt joints along all concrete edges where new and old pavement meet.
- Must meet all City Standards of Design and Construction.

I-30 FRONTAGE ROAD



LAKE POINTE CHURCH
PARKING LOT EXPANSION
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description

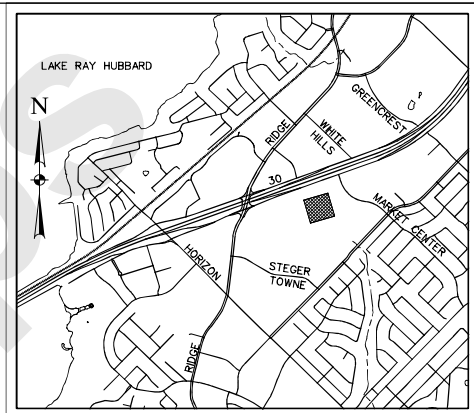
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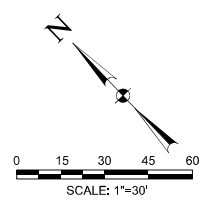
DANIEL W. WARFIELD 95847
 NAME P.E. NO.
 DATE 3/15/2019
 TBPE FIRM #F-312

Project No.:	35866
Issued:	3/15/2019
Drawn By:	CAD
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	SITE LOCATION PLAN
Sheet Number	C1.01

CAUTION!!!
EXISTING UTILITIES IN THE AREA. UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL, AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-DIG-TESS)



LOCATION MAP
N.T.S.



LEGEND:

- Ex F/O --- EXISTING FIBER OPTIC
- Ex TEL --- EXISTING TELEPHONE LINE
- Ex Gas --- EXISTING GAS LINE
- Ex SS --- EXISTING SANITARY SEWER
- Ex OHE --- EXISTING OVERHEAD ELECTRIC
- Ex UGE --- EXISTING UNDERGROUND ELECTRIC
- Ex W --- EXISTING WATER LINE
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- SM SANITARY SEWER MANHOLE
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- FH FIRE HYDRANT
- WM WATER METER

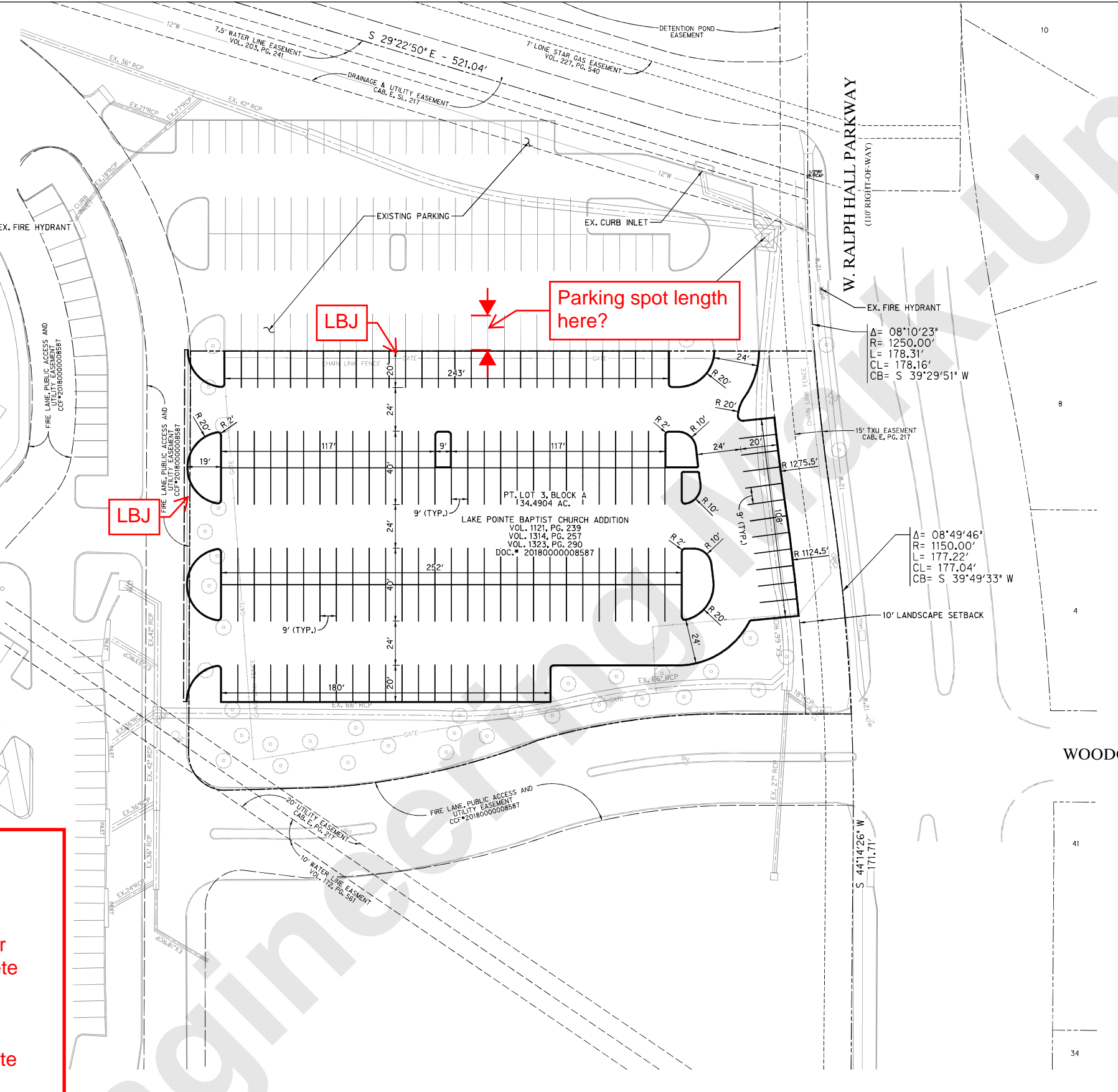
**LAKE POINTE CHURCH
PARKING LOT EXPANSION**
701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description

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DATE 3/15/2019
TBPE FIRM #F-312

- 4% Engineering Fees
- Impact Fees
- Walls 3' and over must be designed by an engineer. All retaining walls must be rock or stone face. No smooth concrete walls.
- Min 20' wide easements, if needed.
- Paving to be 3600psi concrete (6.5 sack mix)
- Rebar design?
- Must have longitudinal butt joints along all concrete edges where new and old pavement meet.
- Must meet all City Standards of Design and Construction.



PARKING TABLE	
ZONING	COMMERCIAL
PROPOSED USE	CHURCH
ARTIFICIAL LOT AREA (SF/AC)	77,248 SF / 1.77 AC
BUILDING AREA (SF)	N/A
BUILDING HEIGHT	N/A
TOTAL PARKING REQUIRED	N/A
TOTAL PARKING PROVIDED	169 SPACES

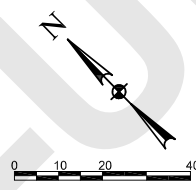
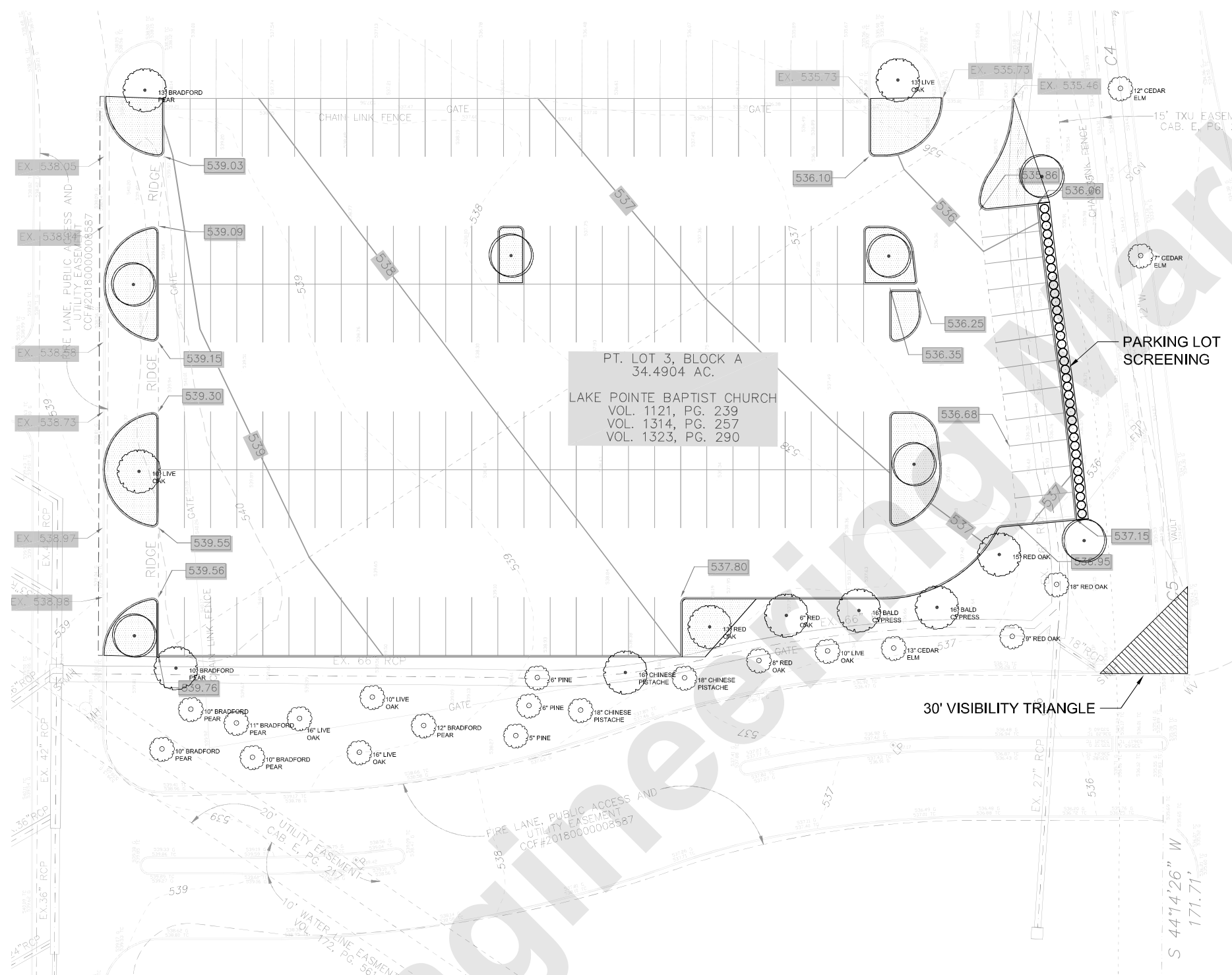
OWNER / DEVELOPER
JOHN WARDELL
LAKE POINTE CHURCH- ROCKWALL CAMPUS
701 INTERSTATE 30
ROCKWALL, TX 75087
(PH) 469-698-2244

CIVIL ENGINEER
HALFF ASSOCIATES, INC.
3803 PARKWOOD BLVD., SUITE 800
FRISCO, TX 75034
TBPE FIRM #F-312
CONTACT: DAN WARFIELD, P.E.
(PH) 214-618-4570

**SITE PLAN
LAKE POINTE CHURCH
PART OF LOT 3, BLOCK A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
MARCH, 2019**

CASE #: _____

C1.02
Sheet Number



REQUIRED LANDSCAPING

Total Impervious Area	55,462 sf
Required Parking Lot Landscaping	2,773 sf
Proposed Parking Lot Landscaping	3,935 sf

REQUIRED TREES

Number of Parking Spaces	170
Required Parking Lot Trees	17
Provide Parking Lot Trees	17
Existing Parking Lot Trees	10
Proposed Parking Lot Trees	7

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SPD
	7	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container Grown	4" Cal	12-16'	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT		HT	SPD
	37	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal		1'-3' Ht.	1'-3' Spd
SEED	QTY	BOTANICAL NAME / COMMON NAME	CONT		SIZE	
	3,935 sf	Cynodon dactylon 'Tif 419' / Bermuda Grass	Seed			

EXISTING TREES

- EXISTING TREES TO BE PROTECTED / PRESERVED (COUNTED TOWARDS PARKING LOT REQUIREMENTS DUE TO PROXIMITY)
- EXISTING TREES TO BE PROTECTED / PRESERVED

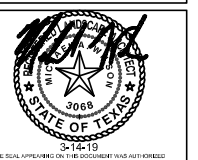
IRRIGATION NOTE: ALL NEW TREES AND SHRUBS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TCEQ AND UDC.

Add note, "No trees within 5' of utilities."

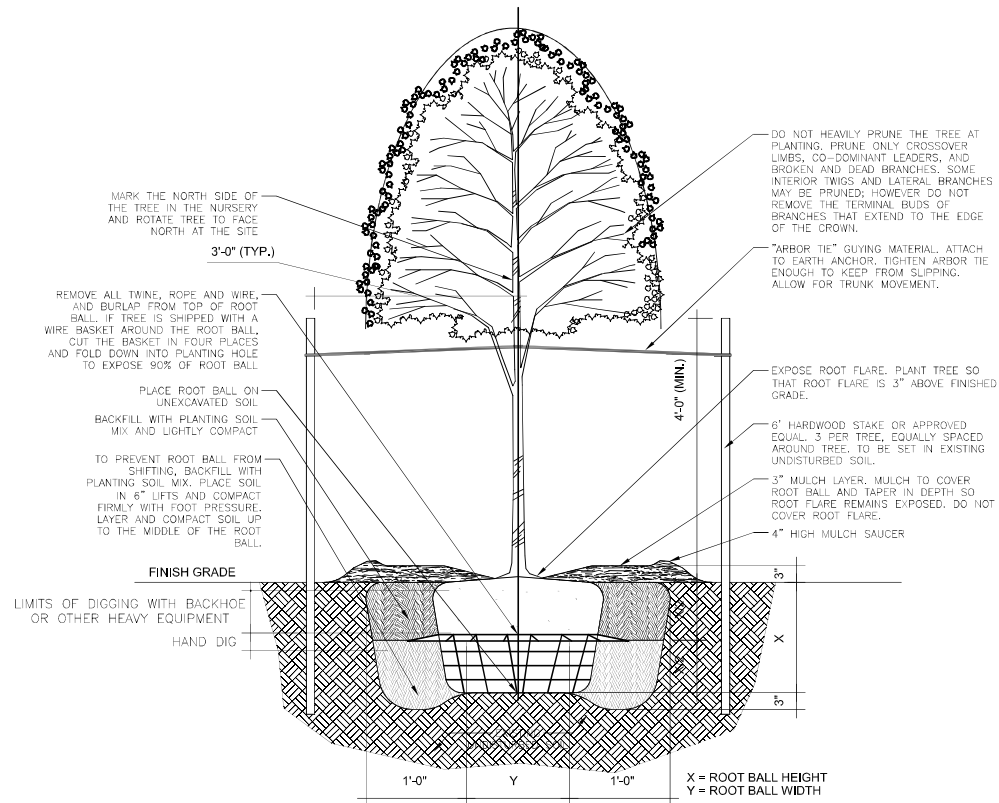
**LAKE POINTE CHURCH
PARKING LOT EXPANSION**
701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description

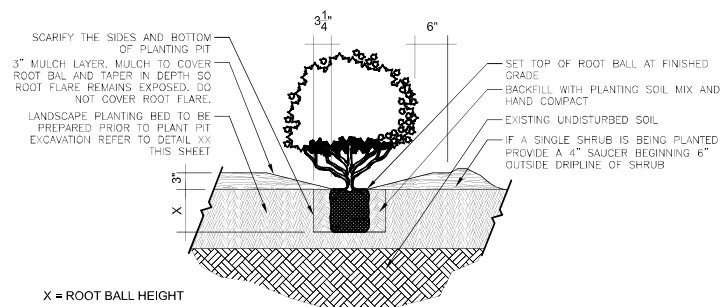


Project No.:	35866
Issued:	03.14.19
Drawn By:	MAW
Checked By:	KMW
Scale:	1:20
Sheet Title	LANDSCAPE PLAN
Sheet Number	L2.01



Add note, "No trees within 5' of utilities."

1 SINGLE TREE TRUNK WITH STAKES
3/4" = 1'-0"

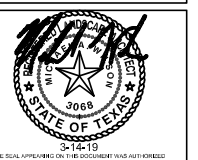


2 SHRUB PLANTING DETAIL
3/4" = 1'-0"

LAKE POINTE CHURCH
PARKING LOT EXPANSION
701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description

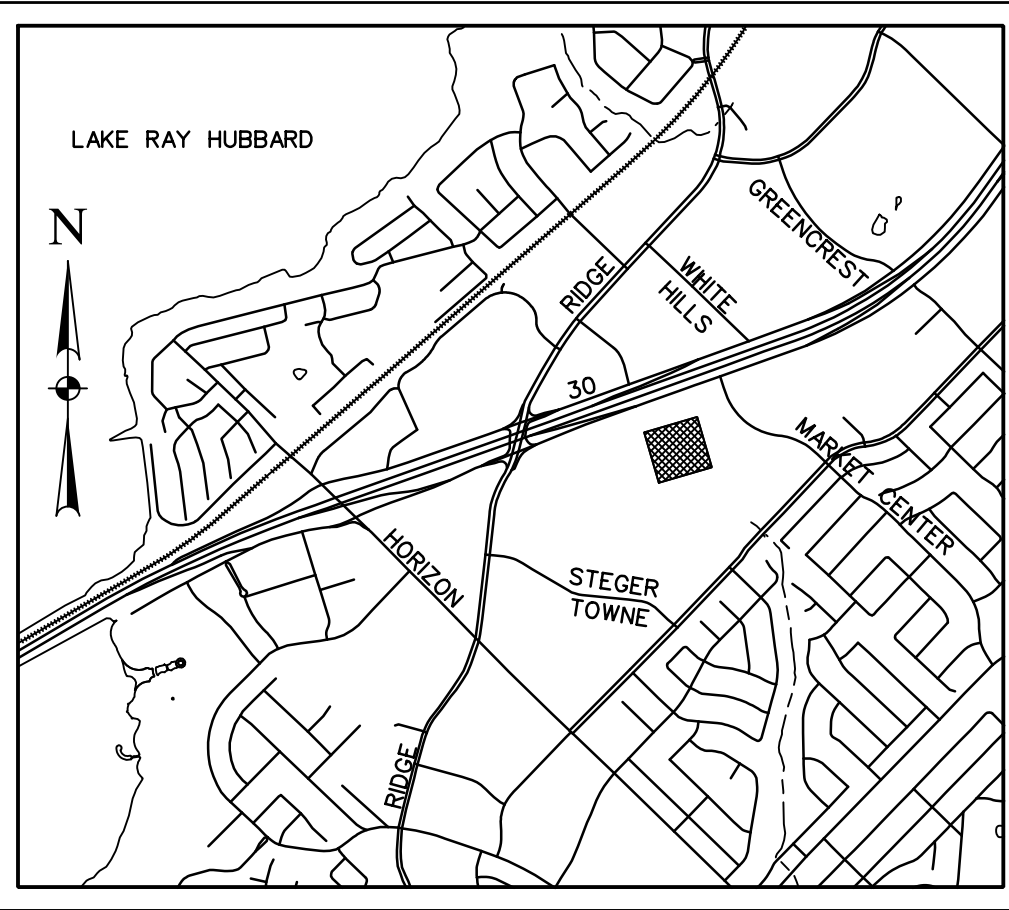


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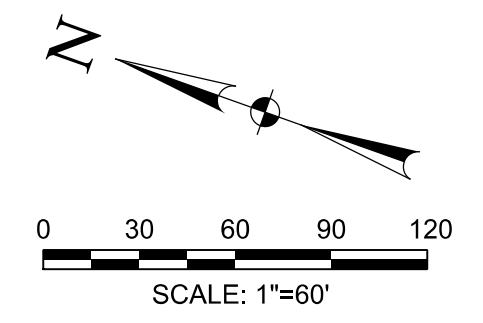
Project No.: 35866
Issued: 03.14.19
Drawn By: MAW
Checked By: KMW
Scale: AS NOTED

Sheet Title
LANDSCAPE DETAILS

L3.01
Sheet Number

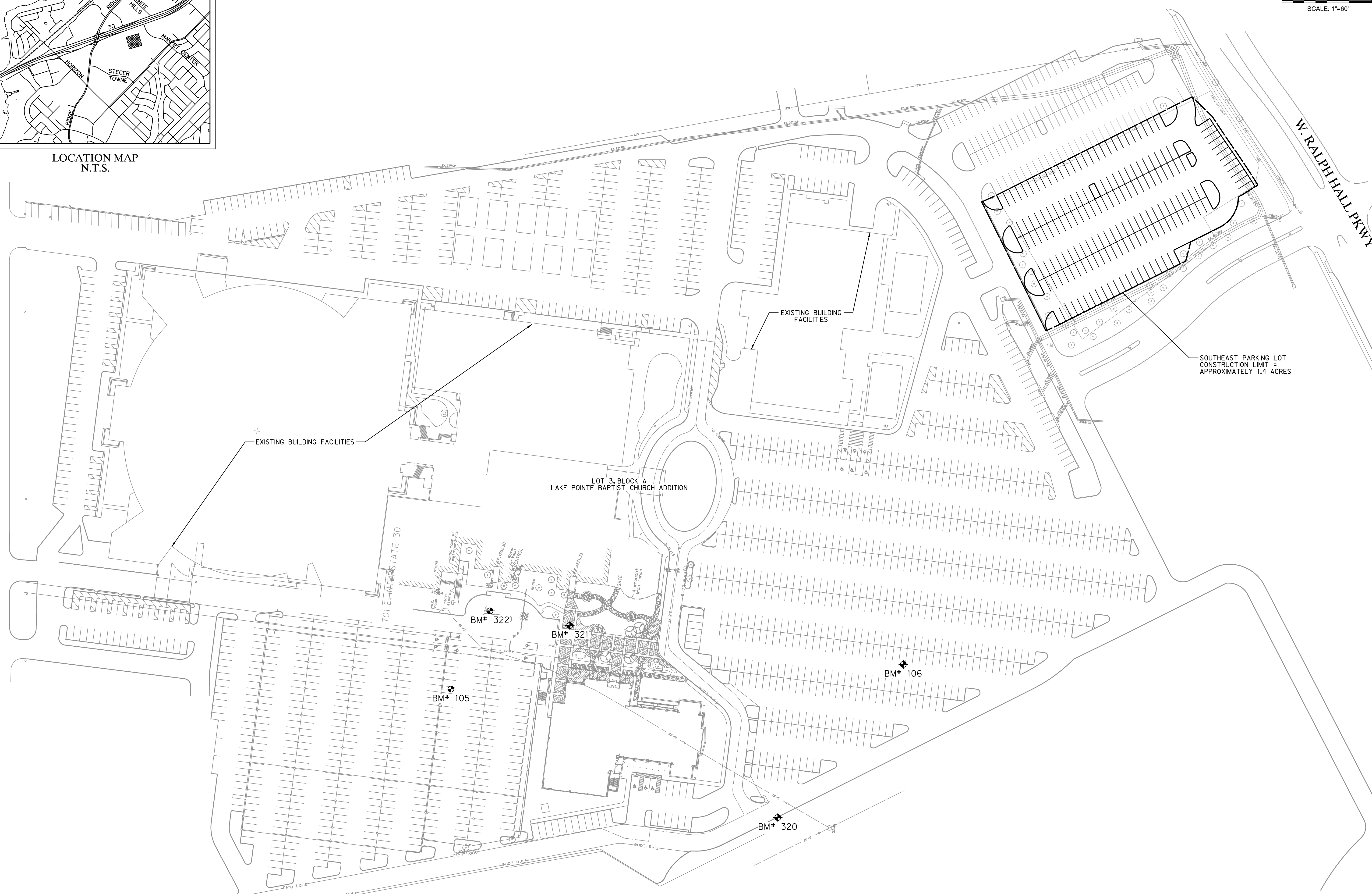


LOCATION MAP
N.T.S.



I-30 FRONTAGE ROAD

W. RALPH HALL PKWY



LAKE POINTE CHURCH
SOUTHEAST PARKING LOT EXPANSION
 701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description

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 DANIEL W. WARFIELD 95847
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 TBPE FIRM #F-312

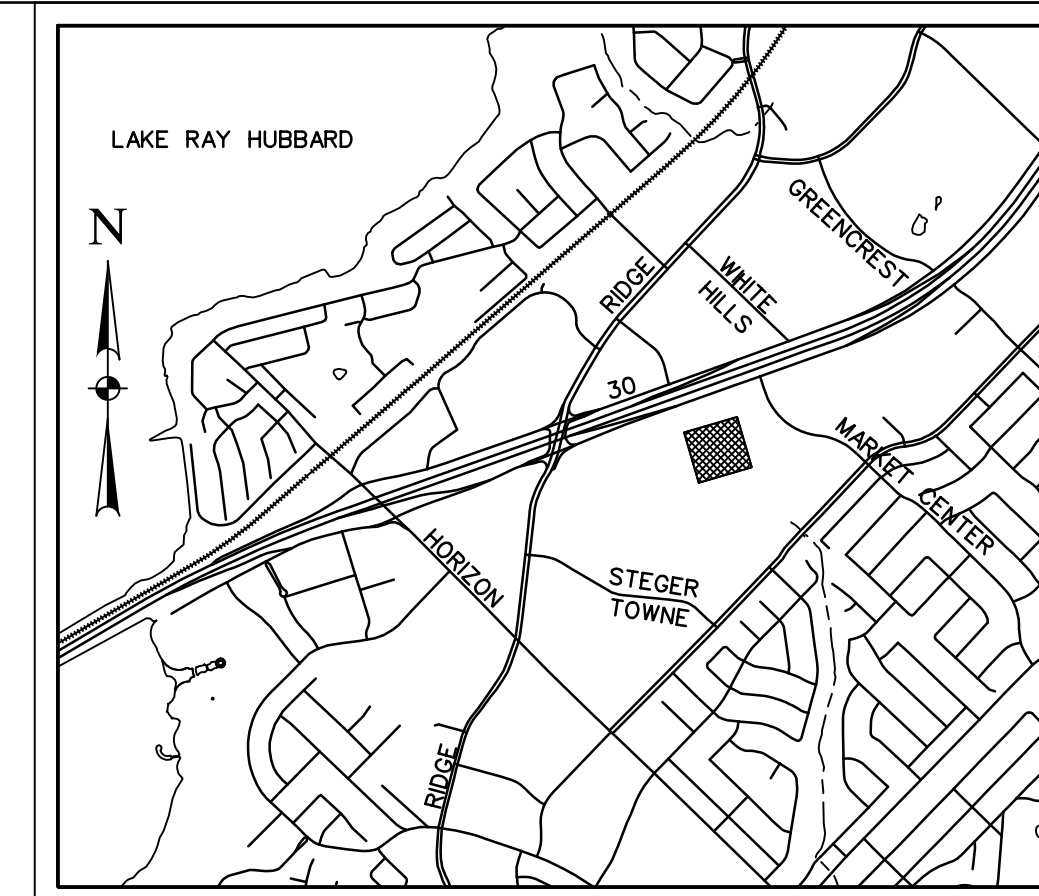
Project No.: 35866
 Issued: 4/2/2019
 Drawn By: CAD
 Checked By: DWW
 Scale: AS NOTED

Sheet Title
SITE LOCATION PLAN

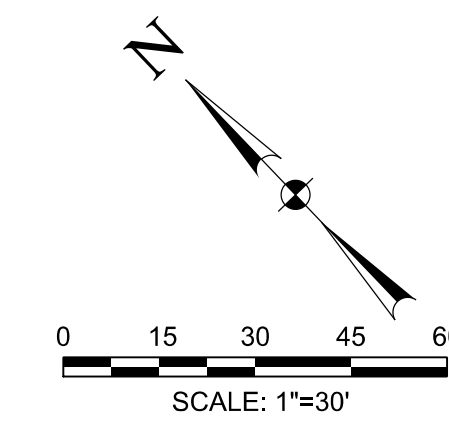
C1.01
 Sheet Number

BENCHMARKS				
#	NORTHING	EASTING	ELEVATION	DESCRIPTION
105	7015991.2980	2592962.1928	550.06	SXTP
106	7015431.9569	2593196.4381	543.24	SXTP
320	7015521.4980	2592947.0430	546.21	SXTP
321	7015870.0270	2593095.7245	548.29	SXTP
322	7015977.2058	2593078.3578	549.54	SXTP

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LOCATION MAP
N.T.S.



LEGEND:

- EX. F/O --- EXISTING FIBER OPTIC
- EX. TEL --- EXISTING TELEPHONE LINE
- EX. GAS --- EXISTING GAS LINE
- EX. SS --- EXISTING SANITARY SEWER
- EX. OHE --- EXISTING OVERHEAD ELECTRIC
- EX. UGE --- EXISTING UNDERGROUND ELECTRIC
- EX. WL --- EXISTING WATER LINE
- --- STORM SEWER
- --- MAJOR CONTOUR LINE
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- --- EXISTING MINOR CONTOUR LINE
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- --- ASPHALT
- PP POWER POLE
- SANITARY SEWER MANHOLE
- WV WATER VALVE
- FH FIRE HYDRANT
- ⊗ WM WATER METER

PARKING TABLE	
ZONING	COMMERCIAL
PROPOSED USE	CHURCH
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OWNER / DEVELOPER
JOHN WARDELL
LAKE POINTE CHURCH- ROCKWALL CAMPUS
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CIVIL ENGINEER
HALFF ASSOCIATES, INC.
3803 PARKWOOD BLVD., SUITE 800
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TBPE FIRM #F-312
CONTACT: DAN WARFIELD, P.E.
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SITE PLAN
LAKE POINTE CHURCH
PART OF LOT 3, BLOCK A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
MARCH, 2019

CASE #: _____

Project No.:	35866
Issued:	4/2/2019
Drawn By:	CAD
Checked By:	DWW
Scale:	AS NOTED
Sheet Title	SITE PLAN
Sheet Number	C1.02

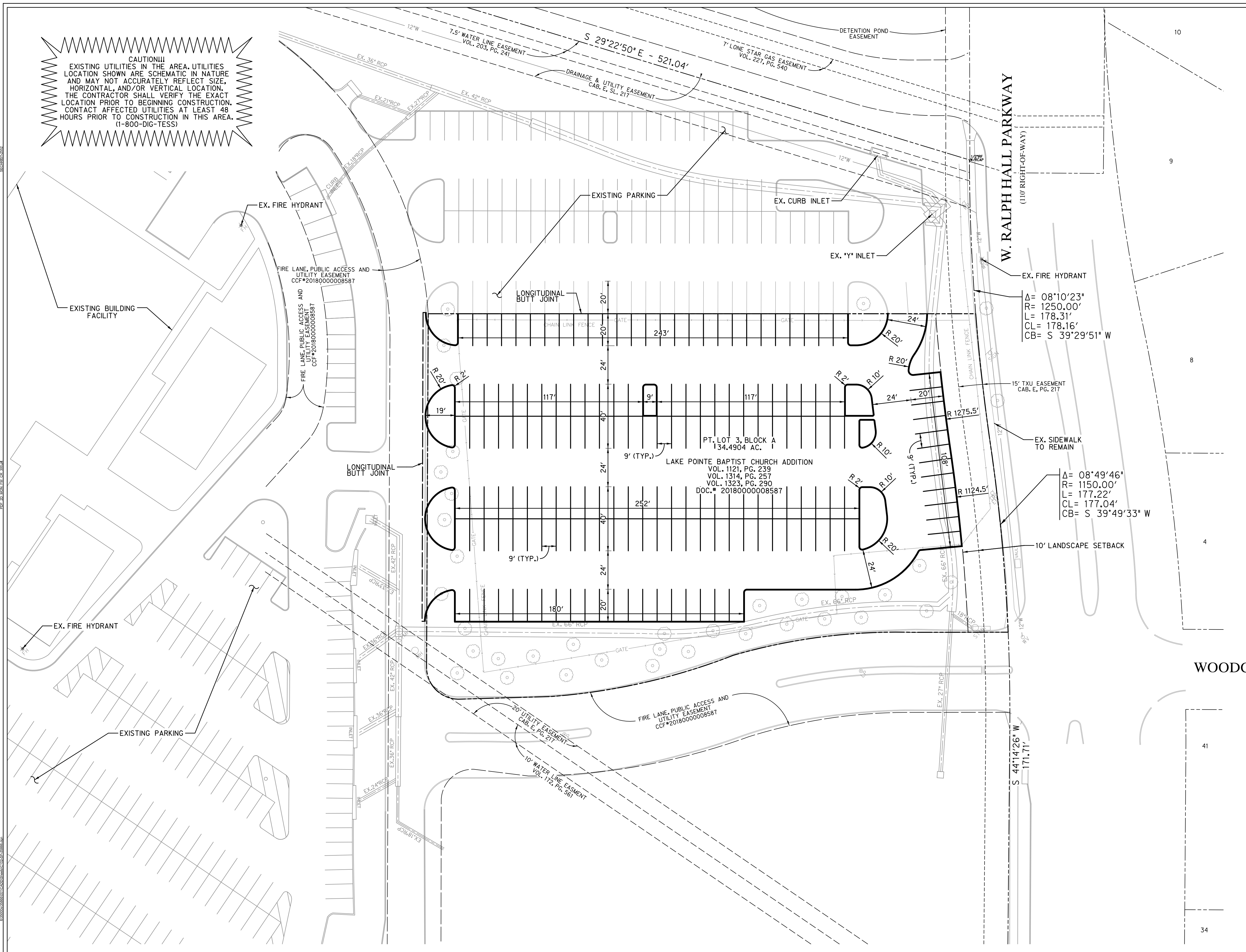
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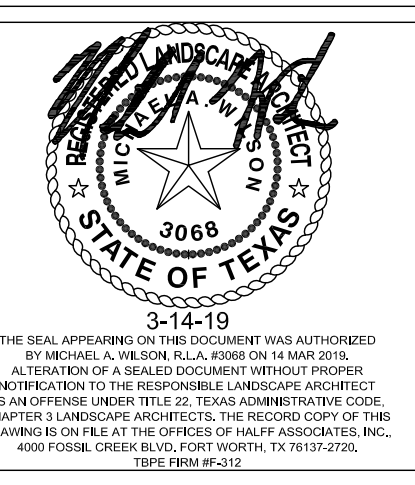


LAKE POINTE CHURCH
SOUTHEAST PARKING LOT EXPANSION
701 Interstate 30 Rockwall, TX 75087

- NOTES:**
- LONGITUDINAL BUTT JOINTS ALONG ALL CONCRETE EDGES AT JOINT BETWEEN EXISTING AND PROPOSED PAVEMENT.
 - CONCRETE TO BE A MINIMUM 3600PSI CONCRETE (6.5 SACK MIX) WITH REINFORCEMENT. (#3 BARS @ 18" O.C.)
 - CONSTRUCTION DETAILS WILL BE PROVIDED WITH THE ENGINEERING PLAN SUBMITTAL FOR PERMITTING PURPOSES.



Revision No.	Date	Description
1	03.22.2019	Notes, lighten tree symbols



Project No.:	35866
Issued:	03.14.19
Drawn By:	MAW
Checked By:	KMW
Scale:	1:20
Sheet Title	TREESCAPE PLAN
Sheet Number	L1.01

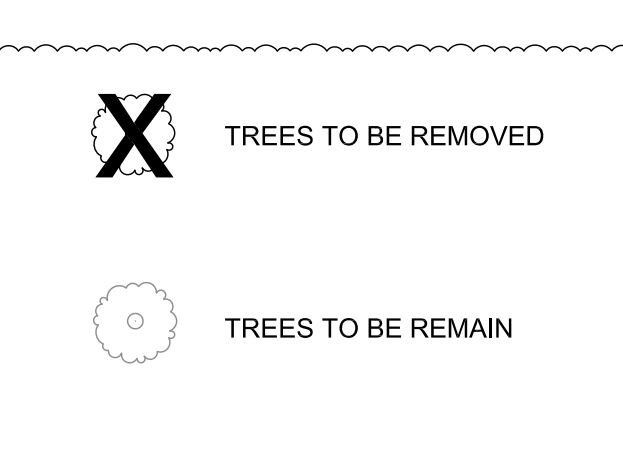
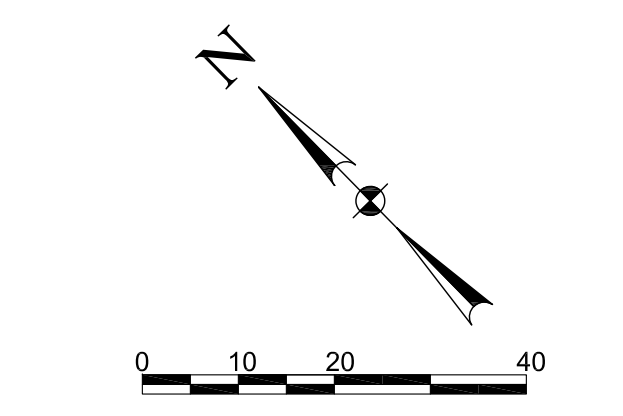
TREE INVENTORY / MITIGATION

REF	DBH (INCHES)		SPECIES
	RETAINED	REMOVED (OTHER)	
1	18		RED OAK
2	15		RED OAK
3	9		RED OAK
4	16		BALD CYPRESS
5	13		CEDAR ELM
6	16		BALD CYPRESS
7	10		LIVE OAK
8	6		RED OAK
9	8		RED OAK
10	13		RED OAK
11	18		CHINESE PISTACHE
12	16		CHINESE PISTACHE
13	18		CHINESE PISTACHE
14	6		PINE
15	6		PINE
16	5		PINE
17	12		BRADFORD PEAR
18	10		LIVE OAK
19	16		LIVE OAK
20	16		LIVE OAK
21	10		BRADFORD PEAR
22	11		BRADFORD PEAR
23	10		BRADFORD PEAR
24	10		BRADFORD PEAR
25	10		BRADFORD PEAR
26		10	LIVE OAK
27		10	LIVE OAK
28	10		LIVE OAK
29		3	CRAPE MYRTLE
30		2	CRAPE MYRTLE
31		2	CRAPE MYRTLE
32		12	BRADFORD PEAR
33		10	BRADFORD PEAR
34	13		BRADFORD PEAR
35	13		LIVE OAK
36	12		CEDAR ELM
37	7		CEDAR ELM
TOTAL	353	7	42

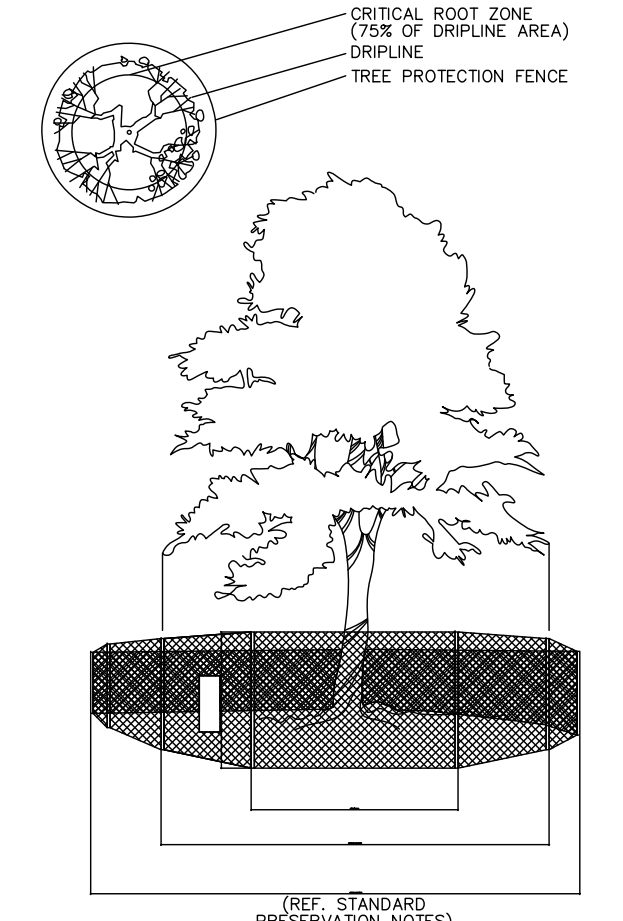
MITIGATION REQUIREMENT: 42 INCHES

MITIGATION PROVIDED: (7) 4" TREES IN PARKING LOT
(2) 4" TREES IN SITE LANDSCAPING
(2) 3" TREES IN SITE LANDSCAPING

42" TOTAL PROVIDED



PLAN VIEW

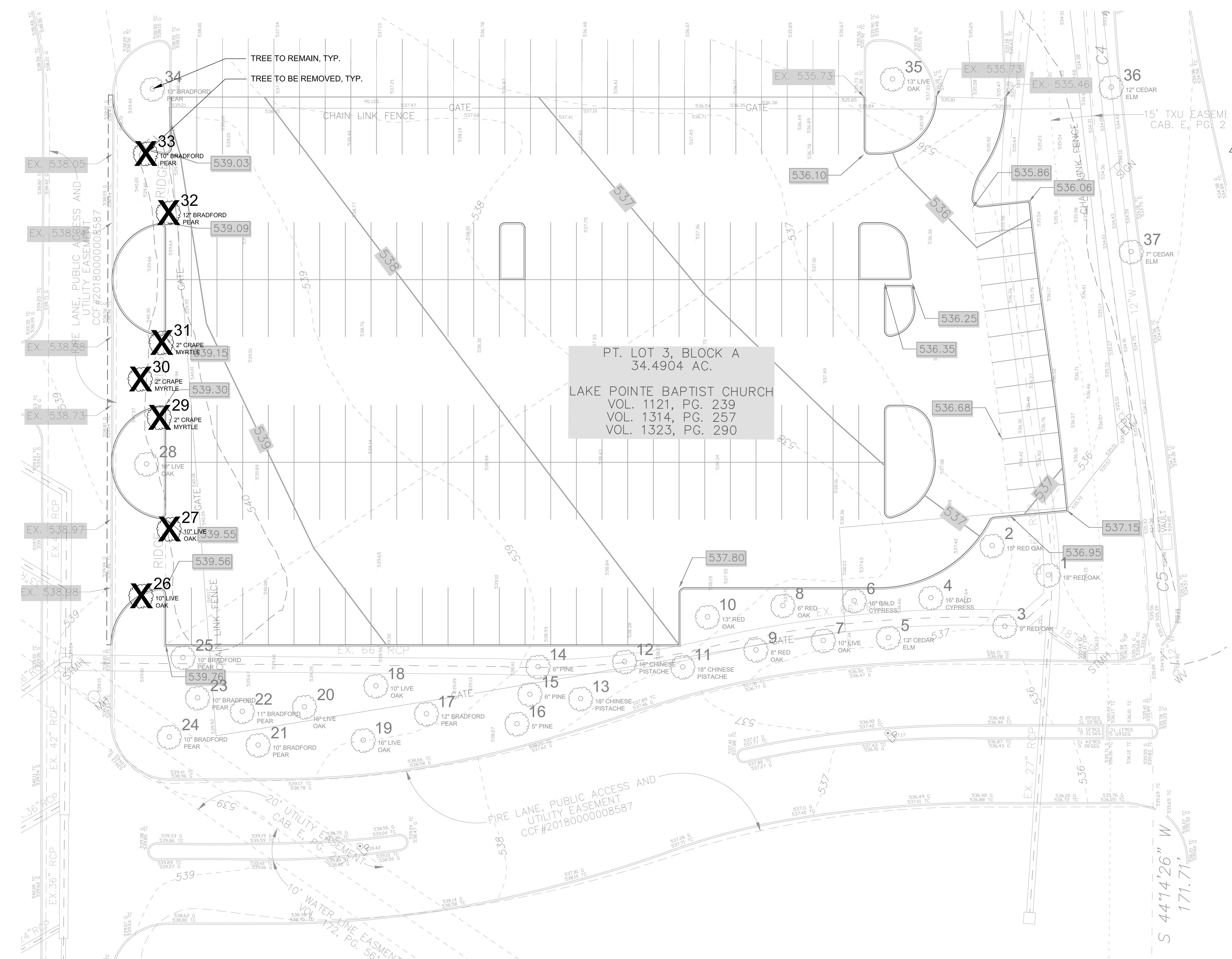


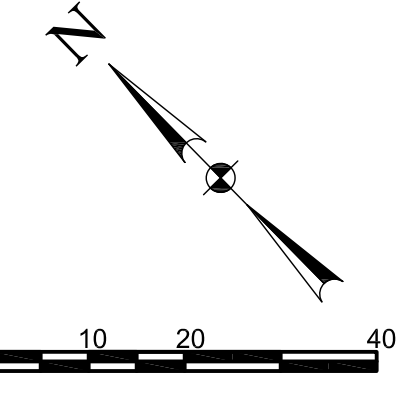
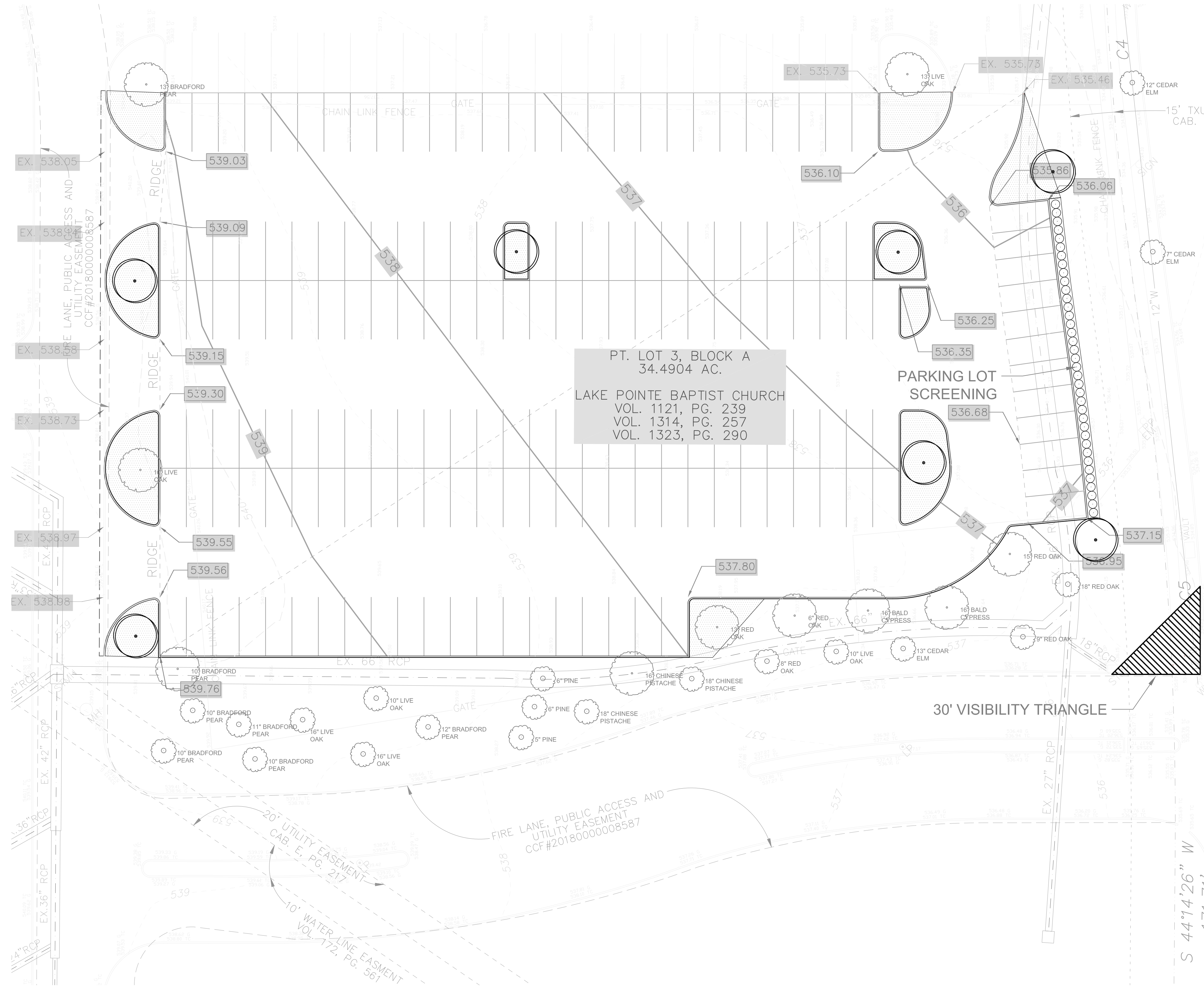
01 TREE PROTECTION DETAIL
SCALE: N.T.S.

STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
 - Protective fences shall be erected according to City Standards for Tree Protection.
 - Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
 - Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
 - Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
 - Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
 - Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2' to 4 feet beyond the area disturbed;
 - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimize root damage);
 - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
 - Where there are severe space constraints due to tract site, or other special requirements, contact an Arborist to discuss alternatives.
- Special Note: Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapping on planking to a height of 8 ft. in addition to the reduced fencing provided.
 - Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
 - Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
 - Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
 - No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
 - Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs.
 - All finished pruning shall be done according to recognized, approved standards of the industry. (Reference the National Arborist Association Pruning Standards for Shade Trees).

NOTE: NO TREES WITHIN 5' OF EXISTING UTILITIES





REQUIRED LANDSCAPING

Total Impervious Area	55,462 sf
Required Parking Lot Landscaping	2,773 sf
Proposed Parking Lot Landscaping	3,935 sf

REQUIRED TREES

Number of Parking Spaces	170
Required Parking Lot Trees	17
Provide Parking Lot Trees	17
Existing Parking Lot Trees	10
Proposed Parking Lot Trees	7

PLANT SCHEDULE (ALL TREES TO SATISFY MITIGATION)

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SPD
	7	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container Grown	4" Cal	12-16'	
	2	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container Grown	4" Cal	12-16'	To be planted on site in appropriate locations, and in accordance with City of Rockwall tree planting guidelines and requirements
	2	Canopy Tree in accordance with City of Rockwall tree planting guidelines and requirements	Container Grown	3" Cal	10-14'	

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPD
	37	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal	1'-3' Ht.	1'-3' Spd

SEED	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
	3,935 sf	Cynodon dactylon 'Tif 419' / Bermuda Grass	Seed	

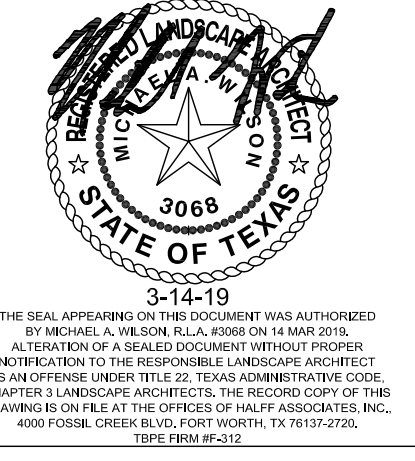
EXISTING TREES

- EXISTING TREES TO BE PROTECTED / PRESERVED (COUNTED TOWARDS PARKING LOT REQUIREMENTS DUE TO PROXIMITY)
- EXISTING TREES TO BE PROTECTED / PRESERVED

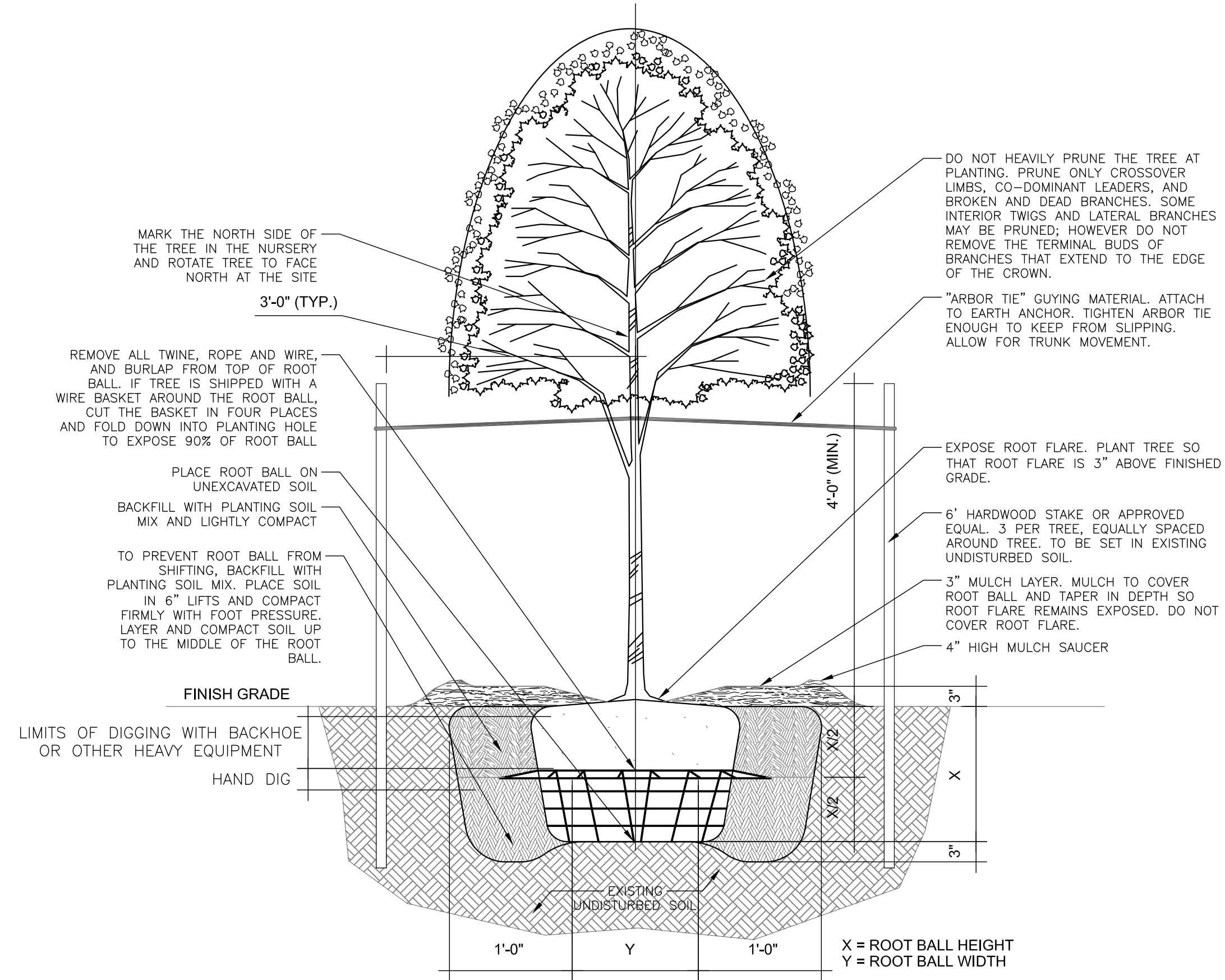
IRRIGATION/PLANTING NOTES:
 1. ALL NEW TREES AND SHRUBS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TCEQ AND UDC.
 2. NO TREES WITHIN 5' OF EXISTING UTILITIES



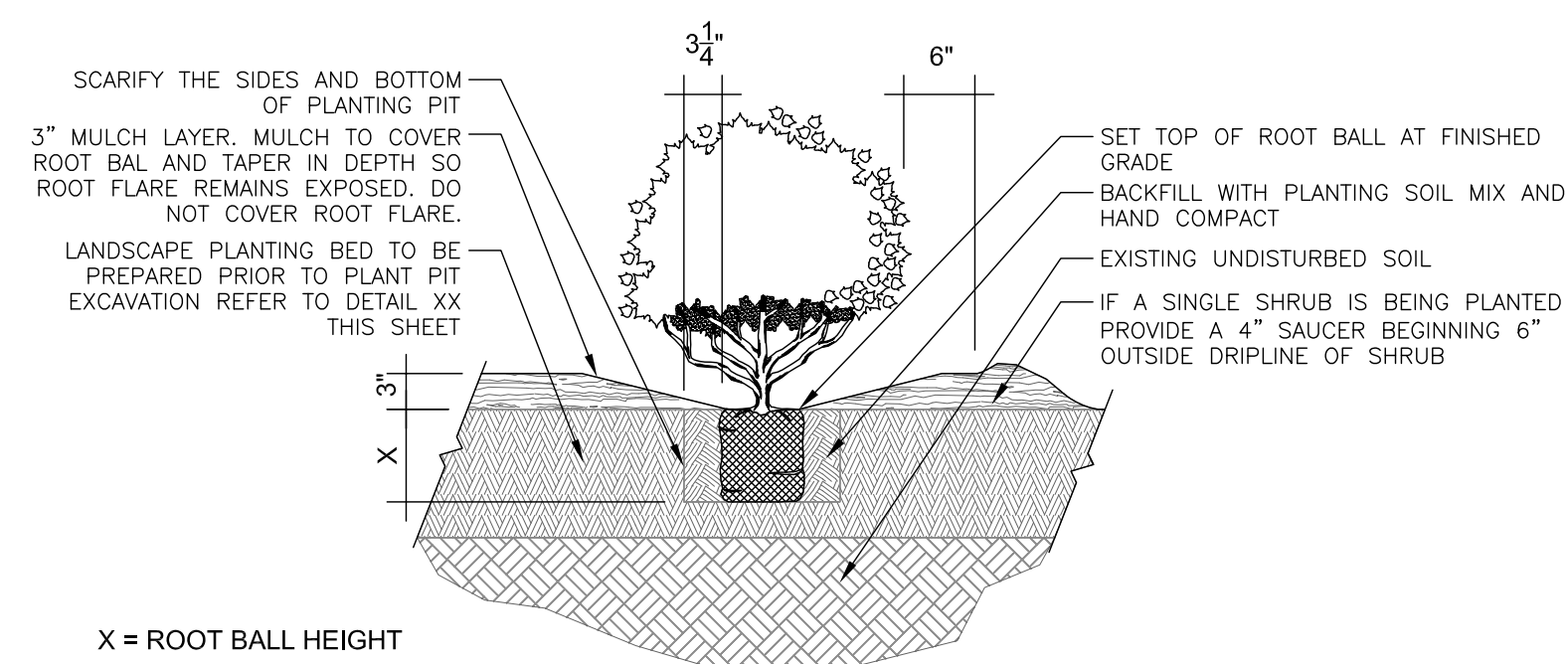
Revision No.	Date	Description
1	03.22.2019	Notes



Project No.:	35866
Issued:	03.14.19
Drawn By:	MAW
Checked By:	KMW
Scale:	1:20
Sheet Title	LANDSCAPE PLAN
Sheet Number	L2.01



1 SINGLE TREE TRUNK WITH STAKES
3/4" = 1'-0"



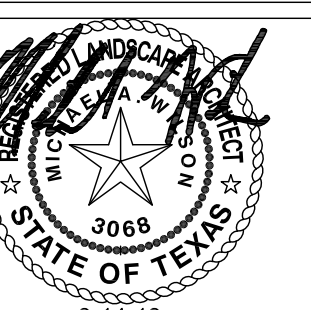
2 SHRUB PLANTING DETAIL
3/4" = 1'-0"

NOTE: NO TREES WITHIN 5' OF EXISTING UTILITIES

LAKE POINTE CHURCH
PARKING LOT EXPANSION
701 Interstate 30 Rockwall, TX 75087



Revision No.	Date	Description
1	03.22.2019	Notes



3-14-19
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Project No.: 35866
Issued: 03.14.19
Drawn By: MAW
Checked By: KMW
Scale: AS NOTED

Sheet Title
LANDSCAPE DETAILS

L3.01
Sheet Number

Case No. SP2019-007