



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP 2019-003 P&Z DATE 1/29/19 CC DATE 2/19/19 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

| ZONING APPLICATION |
|--|
| <input type="checkbox"/> SPECIFIC USE PERMIT |
| <input type="checkbox"/> ZONING CHANGE |
| <input type="checkbox"/> PD CONCEPT PLAN |
| <input type="checkbox"/> PD DEVELOPMENT PLAN |

| SITE PLAN APPLICATION |
|---|
| <input checked="" type="checkbox"/> SITE PLAN |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |
| <input type="checkbox"/> PHOTOMETRIC PLAN |
| <input type="checkbox"/> BUILDING ELEVATIONS |
| <input type="checkbox"/> MATERIAL SAMPLES |
| <input type="checkbox"/> COLOR RENDERING |

| PLATTING APPLICATION |
|--|
| <input type="checkbox"/> MASTER PLAT |
| <input type="checkbox"/> PRELIMINARY PLAT |
| <input type="checkbox"/> FINAL PLAT |
| <input type="checkbox"/> REPLAT |
| <input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT |
| <input type="checkbox"/> VACATION PLAT |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |

| |
|--|
| <input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____) |
| <input checked="" type="checkbox"/> APPLICATIONS |
| <input checked="" type="checkbox"/> RECIEPT |
| <input checked="" type="checkbox"/> LOCATION MAP |
| <input type="checkbox"/> HOA MAP |
| <input type="checkbox"/> PON MAP |
| <input type="checkbox"/> FLU MAP |
| <input type="checkbox"/> NEWSPAPTER PUBLIC NOTICE |
| <input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE |
| <input type="checkbox"/> PROJECT REVIEW |
| <input type="checkbox"/> STAFF REPORT |
| <input type="checkbox"/> CORRESPONDENCE |
| <input type="checkbox"/> COPY-ALL PLANS REQUIRED |
| <input type="checkbox"/> COPY-MARK-UPS |
| <input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE |
| <input type="checkbox"/> MINUTES-LASERFICHE |
| <input type="checkbox"/> PLAT FILED DATE _____ |
| <input type="checkbox"/> CABINET # _____ |
| <input type="checkbox"/> SLIDE # _____ |
| NOTES: _____ |
| _____ |
| _____ |
| _____ |
| _____ |
| ZONING MAP UPDATED _____ |



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2019-003

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address Ranch Trail

Subdivision Rainbow Acres

Lot 18&pt./19 Block _____

General Location Near the northeast corner of Ranch Trail and County Line Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning "C" Commercial

Current Use Vacant

Proposed Zoning _____

Proposed Use Office Warehouse

Acreage 7.52 acres

Lots [Current] _____

2

Lots [Proposed] _____

3

- Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner JT Alliance, Inc.

Applicant ClayMoore Engineering, Inc.

Contact Person Brian Berry

Contact Person Matt Moore

Address 16 Meadowlake Drive

Address 1903 Central Drive, Suite #406

City, State & Zip Heath, Texas 75032

City, State & Zip Bedford, Texas 76021

Phone 4695835976

Phone 8172810572

E-Mail bberry@b5leasing.com

E-Mail matt@claymorreeng.com

NOTARY VERIFICATION [REQUIRED]

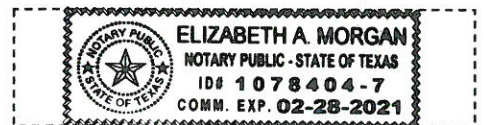
Before me, the undersigned authority, on this day personally appeared Brian Berry [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 400.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 18 day of Jan, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 18 day of Jan, 20 19.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires 02-28-2021



DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. Each set of plans should be folded into a *Tri-Fold* with the project title or identifier facing out.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ONE (1) PDF COPY OF THE PLAT
 - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
 - SITE PLAN.
 - LANDSCAPE PLAN.
 - TREESCAPE PLAN.
 - PHOTOMETRIC PLAN.
 - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. WITHOUT A COMPLETE APPLICATION SUBMITTAL, THE CASE MAY NOT BE PROCESSED AND MAY NOT BE PLACED ON A PUBLIC HEARING AGENDA.



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 1/18/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/25/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/25/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/29/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

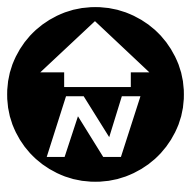
Project Number: SP2019-003
Project Name: Ranch Trail Development
Project Type: SITE PLAN
Applicant Name: CLAYMOORE ENGINEERING, INC.
Owner Name: JT ALLIANCE, INC.
Project Description:



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



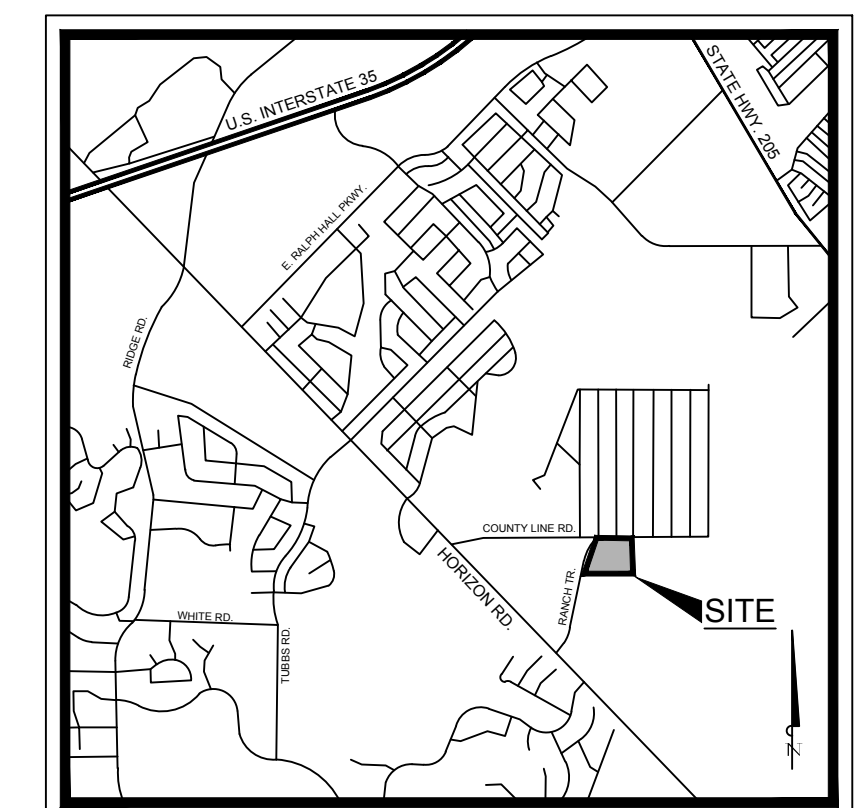
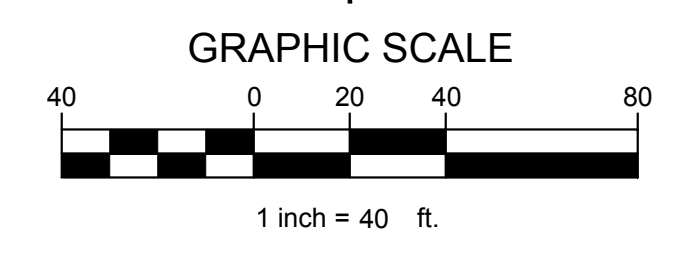
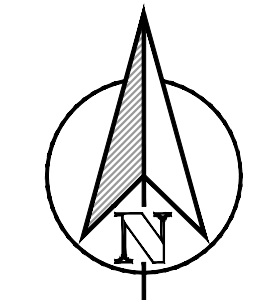
PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 CLAY CRISTY
 Engineer
 P.E. No. 109800 Date 1/18/2019

**RANCH TRAIL
 ROCKWALL, TEXAS**

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |
| | | | |
| | | | |

CITY SITE PLAN

| | |
|-------------|-----------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CLC |
| DATE: | 1/11/2019 |
| SHEET | |
| SP-1 | |
| File No. | 2019-001 |



CONSTRUCTION SCHEDULE

| | |
|----------|-----------------------------------|
| [Symbol] | STANDARD DUTY (5" CONCRETE) |
| [Symbol] | HEAVY DUTY (6" CONCRETE) |
| [Symbol] | DUMPSTER PAD (7" CONCRETE) |
| [Symbol] | PROPOSED SIDEWALK CONCRETE |
| [Symbol] | PROPOSED CONCRETE CURB AND GUTTER |
| [Symbol] | PROPOSED FIRE LANE |
| [Symbol] | PARKING COUNT |

CONSTRUCTION SCHEDULE

| | |
|---|---------------------------------|
| ① | HANDICAP SYMBOL |
| ② | PAVEMENT STRIPING |
| ③ | PARKING STALL STRIPING, 4" WIDE |
| ④ | SIDEWALK, 5FT MIN. WIDTH |
| ⑤ | ADA ACCESSIBLE RAMP |

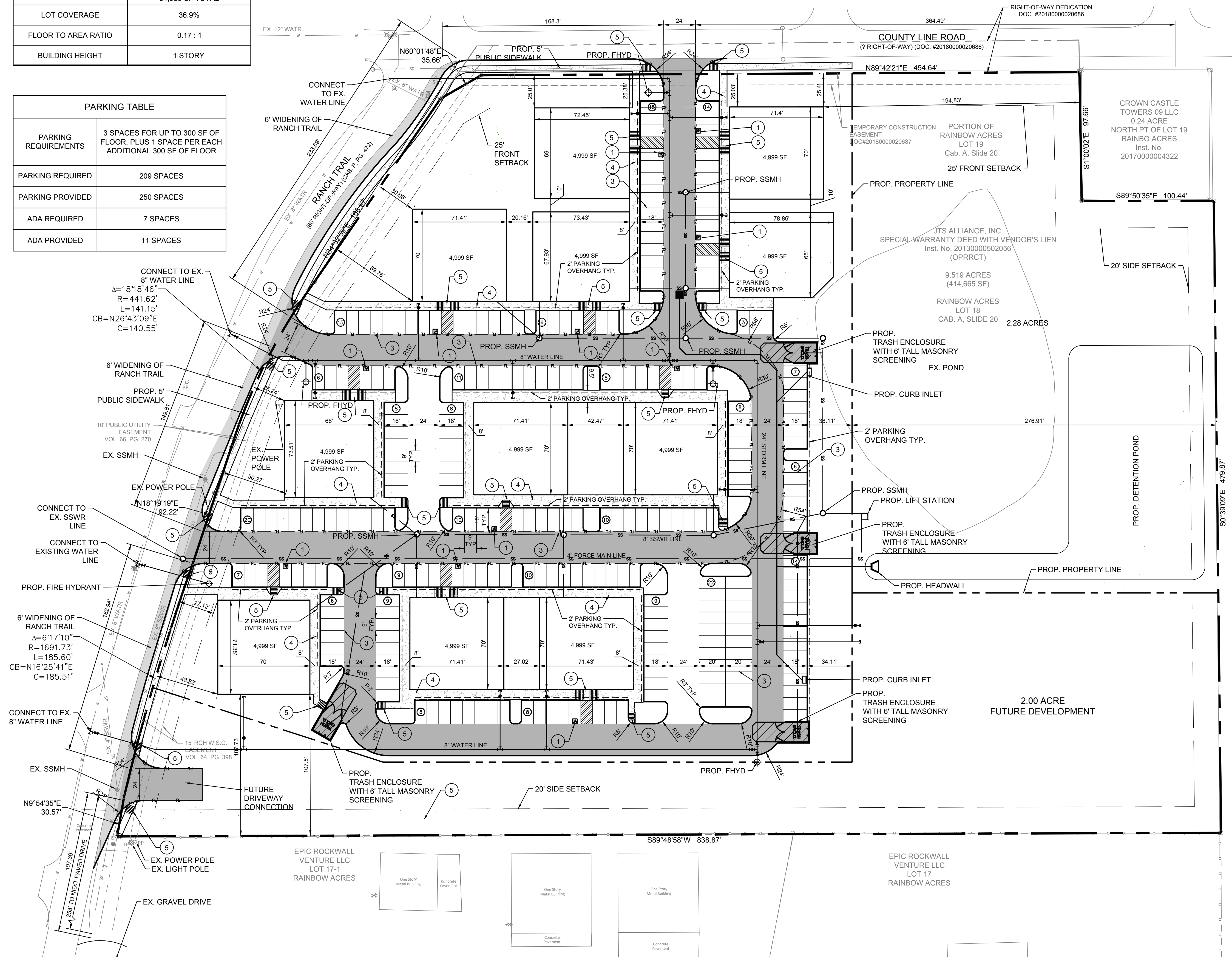
| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.76 | |
| OWNER: JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032 | |
| APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 | |
| CASE NUMBER X | |

SITE DATA TABLE

| | |
|---------------------|---------------------------------------|
| SITE AREA | 7.52 AC 327,554 SF |
| ZONING | C - COMMERCIAL |
| PROPOSED USE | COMMERCIAL |
| BUILDING SIZE | 11 BLDG @ 4,999 SF 54,989 SF TOTAL |
| LOT COVERAGE | 36.9% |
| FLOOR TO AREA RATIO | 0.17 : 1 |
| BUILDING HEIGHT | 1 STORY |

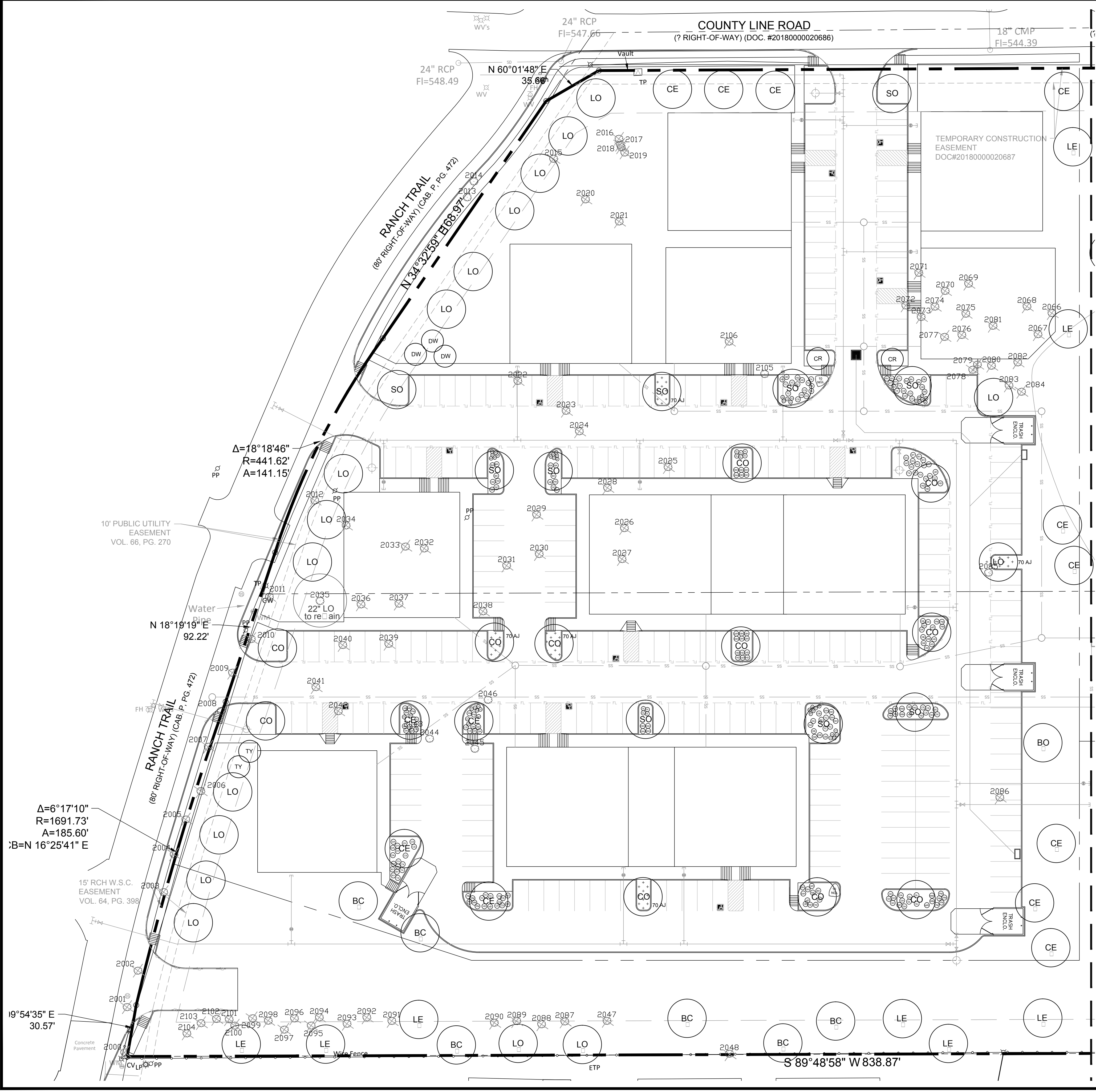
PARKING TABLE

| | |
|----------------------|--|
| PARKING REQUIREMENTS | 3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR |
| PARKING REQUIRED | 209 SPACES |
| PARKING PROVIDED | 250 SPACES |
| ADA REQUIRED | 7 SPACES |
| ADA PROVIDED | 11 SPACES |



PLOTTED BY: LYNN ROWLAND
 PLOT DATE: 1/17/2019 2:37 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2019-001 RANCH TRAIL ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 1/17/2019 2:36 PM

PLOTTED BY: SCOTTFULLMILLER
 PLOT DATE: 1/17/2019 11:36 PM
 LOCATION: C:\USERS\SCOTTFULLMILLER\DOCUMENTS\AUTOCAD_L\RD\RANCH TRAIL\RANCH TRAIL.LS.DWG
 LAST SAVED: 1/17/2019 9:23 AM

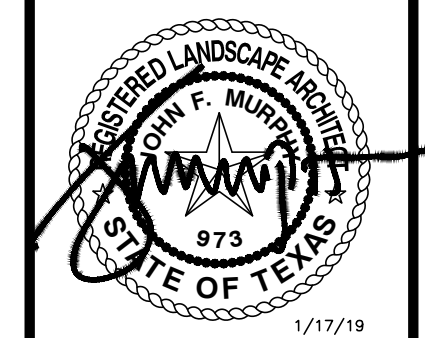



site integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7529 Cross Gate Way
 Tyler, TX 75703
 john@siteint.com
 scott@siteint.com

512.432.3822 - Tyler
 512.589.9584 - Austin
 www.siteint.com

TEXAS REGISTRATION #14199

 PHONE: 017.261.0032
 WWW.GLAYMOORE.COM
 1105 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75848



RANCH TRAIL
ROCKWALL, TEXAS

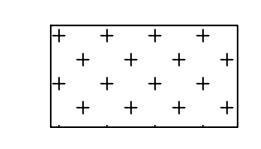
TREE LEGEND

- Cano Trees
 SO Standard Oak BO Birch
 LE Boswell Elm CO Chinquapin Oak
 LO Live Oak CE Cedar Elm
 BC Bald Cypress
 Millation trees
 2021 Existing trees to be retained
- Ornamental Trees
 CR Crabapple TY Tree Yucca
 DW Desert Willow

SHRUB LEGEND

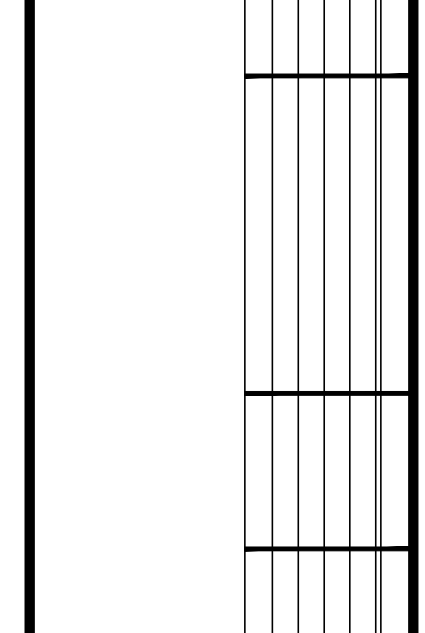
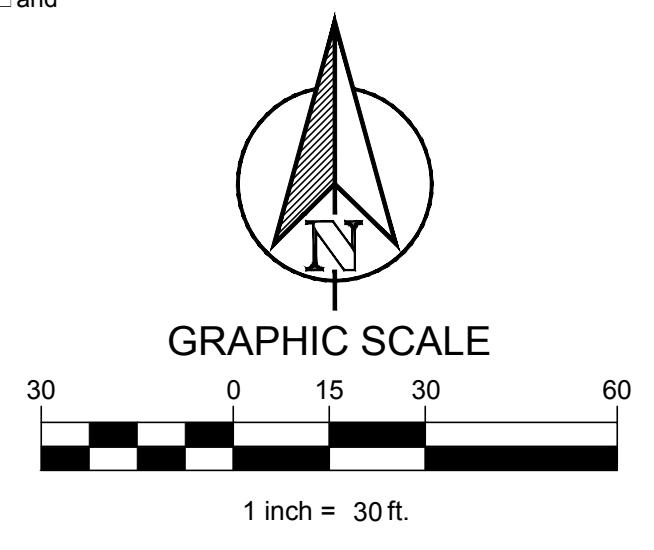
- DY Dwarf Yucca TC Texas Cassia
 DA Dwarf Abelia HD Harbor Dogwood
 BA Barberris GL Giant Liriodendron
 MF Mexican Feather Grass TX Texas Sage
 WM Dwarf Wax Myrtle PM Pin Mill
 RY Red Yucca CS Cherokee Sage
 DB Dwarf Bradford Holly GC Green Cloud Sage
 NGL New Gold Lantana RO Rose of Sharon
 CO Coreopsis AJ Asian Jasmine
 DIH Dwarf Indian Hawthorne

HATCH LEGEND

-  Asian Jasmine

LANDSCAPE NOTES

- The project will have an under ground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of amended planting mix (75% topsoil, 15% composted amendment, 10% washed sand)
- Shredded hardwood mulch must contain long strands along with double shredded material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil cation and organic percentage.
- Solid sod all areas disturbed by construction activities.



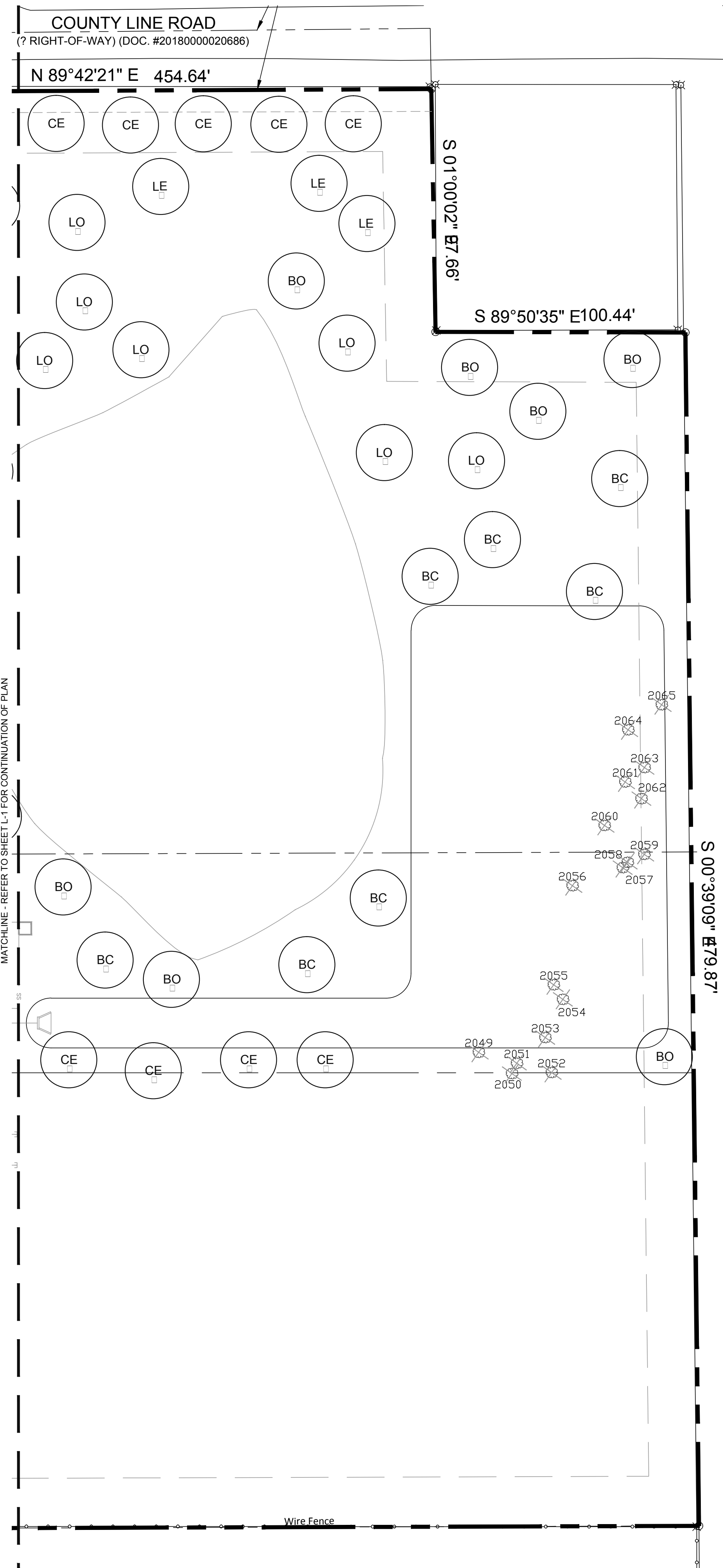
LANDSCAPE PLAN

DESIGN: CWP
 DRAWN: CWP
 CHECKED: CLC
 DATE: 01/17/2019

SHEET
L-1

File No. 2019-001

PLOTTED BY: SCOTT WILDER
 PLOT DATE: 1/17/2019 11:39 PM
 LOCATION: C:\USERS\SCOTT WILDER\DOCUMENTS\AUTOCAD\LRD\RANCH TRAIL\RANCH TRAIL.LS.DWG
 LAST SAVED: 1/17/2019 9:23 AM



COUNTY LINE ROAD
(? RIGHT-OF-WAY) (DOC. #20180000020686)

N 89°42'21" E 454.64'

S 01°00'02" E 77.66'

S 89°50'35" E 100.44'

S 00°39'09" E 79.87'

MATCHLINE - REFER TO SHEET L-1 FOR CONTINUATION OF PLAN

Wire Fence

TREE LEGEND

- Cano Trees
- SO Shard Oak
 - BO Box Oak
 - LE Bosque Elm
 - CO Chinquapin Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - Mitigation trees
 - 2021 Existing trees to be re-located
- Ornamental Trees
- CR Crabapple
 - TY Tree Yucca
 - DW Desert Willow

SHRUB LEGEND

- DY Dwarf Yucca
- DA Dwarf Abelia
- BA Barberr
- MF Mexican Feather Grass
- WM Dwarf Wax Myrtle
- RY Red Yucca
- DB Dwarf Burford Holly
- NGL New Gold Lantana
- CO Coreopsis
- DIH Dwarf Indian Hawthorne
- TC Texas Canna
- HD Harbor Dwarf Nandina
- GL Giant Liriodendron
- TX Texas Sage
- PM Pinel Michelia
- CS Cherris Sage
- GC Green Cloud Sage
- RO Rosemary
- AJ Asian Jasmine

HATCH LEGEND

- Asian Jasmine

LANDSCAPE NOTES

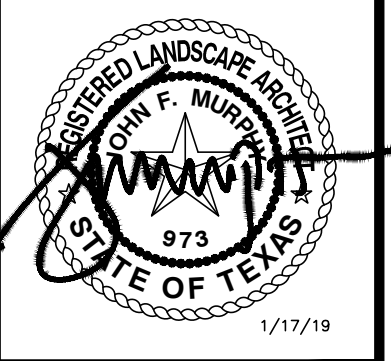
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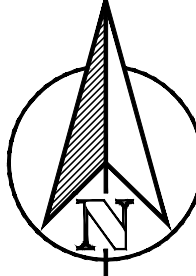
 PHONE: 017.26.0027
 WWW.GLAYMOORE.COM
 1705 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75848



RANCH TRAIL
ROCKWALL, TEXAS

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |
| | |

LANDSCAPE PLAN


GRAPHIC SCALE
 30 0 15 30 60
 1 inch = 30 ft.

| | |
|------------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CLC |
| DATE: | 01/17/2019 |
| SHEET | |
| L-2 | |
| File No. | 2019-001 |

PLANT LIST

| CANOPY TREES | | | |
|---|-----|------------------------|---------------------------------------|
| 11 | LE | Lacebark Elm | Ulmus parviflorus |
| 24 | LO | Lilac Oak | Quercus prinus |
| 11 | CO | Chinquapin Oak | Quercus chinquapin |
| 22 | CE | Cedar Elm | Ulmus crassifolia |
| 13 | BC | Bald Cypress | Taxodium distichum |
| 10 | SO | Shoard Oak | Quercus shumardii |
| 8 | BO | Bur Oak | Quercus macrocarpa |
| 3" cal. B&B 12' ht. 5' spread | | | |
| 3" cal. B&B 12' ht. 5' spread | | | |
| 3" cal. B&B 12' ht. 5' spread | | | |
| 3" cal. B&B 12' ht. 5' spread | | | |
| 3" cal. B&B 12' ht. 5' spread | | | |
| 3" cal. B&B 12' ht. 5' spread | | | |
| ORNAMENTAL TREES | | | |
| 2 | TY | Tree Yucca | Ilex coccinea |
| 2 | CR | Crape Myrtle | Lagerstroemia indica 'Tuscarora' |
| 3 | DW | Desert Willow | Chilopsis linearis 'Tennessee Beauty' |
| 30 cal. 8' ht. 10' spread | | | |
| 30 cal. 8' ht. 3' trunk 2 1/2" cal. 1 in. | | | |
| 30 cal. 6' ht. 2 1/2" cal. 1 in. | | | |
| SHRUBS & GROUNDCOVERS | | | |
| 9 | DY | Dwarf Yucca | Ilex coccinea 'Nana' |
| 21 | DA | Dwarf Abelia | Abelia grandiflora 'Ed. Goucher' |
| 12 | BA | Barberry | Berberis thunbergii |
| 25 | MF | Mexican Feather Grass | Nassella tenuissima |
| 5 | WM | Dwarf Wax Myrtle | Mitella spicata |
| 15 | RY | Red Yucca | Hesperaloe parviflora |
| 11 | DB | Dwarf Bradford Holly | Ilex cornuta 'Bradfordii' |
| 20 | NGL | Neon Gold Lantana | Lantana 'Neon Gold' |
| 15 | CO | Coreopsis | Coreopsis 'Earl's Sunrise' |
| 24 | DIH | Dwarf Indian Hawthorne | Raietia indica 'Pinet' |
| 14 | TC | Texas Cactus | Malaica arborea |
| 32 | HD | Harbor Dwarf Nandina | Nandina 'Harbor Dwarf' |
| 14 | GL | Giant Liriodendron | Liriodendron |
| 14 | TX | Texas Sage | Leucophyllum frutescens 'Silverado' |
| 23 | PM | Pinet Mistle | Muhlenbergia caillaris |
| 23 | CS | Cherry Sage | Salvia |
| 16 | GC | Green Cloud Sage | Leucophyllum frutescens |
| 2 | RO | Rosemary | Rosemarinus |
| 350 | AJ | Asian Jasmine | Trachelosperma asiaticum |
| 5 cal. 36" oc | | | |
| 5 cal. 36" oc | | | |
| 5 cal. 36" oc | | | |
| 1 cal. 18" oc | | | |
| 5 cal. 36" oc | | | |
| 5 cal. 36" oc | | | |
| 5 cal. 36" oc | | | |
| 1 cal. 24" oc | | | |
| 1 cal. 24" oc | | | |
| 5 cal. 36" oc | | | |
| 1 cal. 24" oc | | | |
| 1 cal. 18" oc | | | |
| 3 cal. 36" oc | | | |
| 5 cal. 36" oc | | | |
| 1 cal. 30" oc | | | |
| 1 cal. 30" oc | | | |
| 5 cal. 36" oc | | | |
| 5 cal. 36" oc | | | |
| 1 cal. 18" oc | | | |

City of Rockwall, Texas LANDSCAPE CALCULATIONS

| | | | |
|--------------------|------------|-----------|------------------|
| Total Lot Area | 414,665 SF | Required | Provided |
| Landscape Area 10% | | 41,467 SF | 135,609 SF (32%) |

| | | | |
|---------------------|--|----------|----------|
| Street Buffer Trees | 1 Shade tree 3" cal. per 50 LF of frontage | Required | Provided |
| Ranch Trail | 618.51 LF | 13 | 13 |
| County Line Road | 454.64 LF | 9 | 9 |

| | | |
|----------------------|----------|----------|
| Perin Lot Landscape | Required | Provided |
| Perin Spaces 257 | 26 | 26 |
| 1 tree per 10 spaces | | |

Tree Mitigation

Primary tree inches removed - 38.5"
 Secondary tree inches removed - 967 / 2 = 483.5"
 Total protected inches removed - 522"

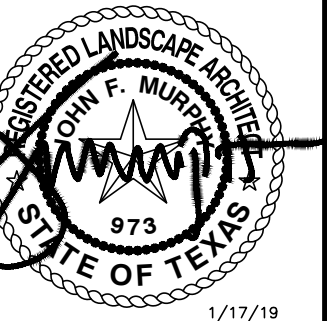
Net mitigation inches provided - 150"
 Remainder mitigation to be laid into tree fund

EXISTING TREE LIST

| Number | Size | Type |
|--------|-------------|-----------------|
| 2000 | 8" 8" | Hackberry |
| 2001 | 13" | Cedar |
| 2002 | 7" 10" 10" | Cedar |
| 2003 | 16" | Cedar |
| 2004 | 17" | Cedar |
| 2005 | 15" | Cedar |
| 2006 | 12" | Cedar |
| 2007 | 16" | Cedar |
| 2008 | 26" | Cedar |
| 2009 | 10" 13" 18" | Cedar |
| 2010 | 10" | Cedar |
| 2011 | 8" | Oak |
| 2012 | 12" | Hackberry |
| 2013 | 10" | Cedar |
| 2014 | 14" 20" | Cedar |
| 2015 | 15" 14" | Cedar-Hackberry |
| 2016 | 10" | Hackberry |
| 2017 | 10" | Hackberry |
| 2018 | 10" | Hackberry |
| 2019 | 10" | Hackberry |
| 2020 | 7" 10" | Hackberry |
| 2021 | 13" | Cedar |
| 2022 | 22" | Cedar |
| 2023 | 12" 16" | Cedar |
| 2024 | 16" | Cedar |
| 2025 | 15" | Cedar |
| 2026 | 12" | Hackberry |
| 2027 | 12" | Hackberry |
| 2028 | 11" | Cedar |
| 2029 | 22" | Hackberry |
| 2030 | 27" | Cedar |
| 2031 | 8" | Hackberry |
| 2032 | 10" | Hackberry |
| 2033 | 16" | Hackberry |
| 2034 | 8" | Hackberry |
| 2035 | 22" | Live Oak |
| 2036 | 23" | Mulberry |
| 2037 | 17" | Mulberry |
| 2038 | 32" | Mulberry |
| 2039 | 17" | Mulberry |
| 2040 | 15" | Mulberry |
| 2041 | 18" | Oak |
| 2042 | 8" | Cedar |
| 2043 | 14" | Mulberry |
| 2044 | 12" | Hackberry |
| 2045 | 8" 10" 10" | Hackberry |
| 2046 | 10" | Hackberry |
| 2047 | 16" | Cedar |
| 2048 | 12" | Cedar |
| 2049 | 10" | Hackberry |
| 2050 | 10" | Hackberry |
| 2051 | 10" 10" | Hackberry |
| 2052 | 12" | Hackberry |
| 2053 | 8" | Hackberry |

* = PRESERVED TREE

| Number | Size | Type |
|--------|-----------|-----------|
| 2054 | 8" | Hackberry |
| 2055 | 10" 17" | Hackberry |
| 2056 | 7" 9" | Ash |
| 2057 | 11" | Hackberry |
| 2058 | 8" | Hackberry |
| 2059 | 8" | Hackberry |
| 2060 | 8" | Hackberry |
| 2061 | 7" | Hackberry |
| 2062 | 8" | Hackberry |
| 2063 | 8" | Hackberry |
| 2064 | 10" | Hackberry |
| 2065 | 8" | Hackberry |
| 2066 | 16" | Hackberry |
| 2067 | 8" 8" 10" | Hackberry |
| 2068 | 16" | Hackberry |
| 2069 | 8" 8" | Hackberry |
| 2070 | 15" | Hackberry |
| 2071 | 10" 12" | Hackberry |
| 2072 | 13" | Hackberry |
| 2073 | 7" 9" | Hackberry |
| 2074 | 13" | Hackberry |
| 2075 | 13" | Hackberry |
| 2076 | 11" | Hackberry |
| 2077 | 11" | Hackberry |
| 2078 | 9" | Hackberry |
| 2079 | 9" | Hackberry |
| 2080 | 12" | Hackberry |
| 2081 | 9" | Hackberry |
| 2082 | 13" | Hackberry |
| 2083 | 8" | Hackberry |
| 2084 | 13" | Hackberry |
| 2085 | 11" | Cedar |
| 2086 | 13" | Cedar |
| 2087 | 10" | Cedar |
| 2088 | 10" | Cedar |
| 2089 | 10" | Cedar |
| 2090 | 10" | Cedar |
| 2091 | 8" | Cedar |
| 2092 | 12" | Cedar |
| 2093 | 8" 12" | Cedar |
| 2094 | 8" | Cedar |
| 2095 | 10" | Cedar |
| 2096 | 10" | Cedar |
| 2097 | 10" | Cedar |
| 2098 | 12" | Cedar |
| 2099 | 10" | Cedar |
| 2100 | 8" | Cedar |
| 2101 | 10" | Cedar |
| 2102 | 10" | Cedar |
| 2103 | 8" | Cedar |
| 2104 | 15" | Cedar |
| 2105 | 10" | Hackberry |
| 2106 | 10" | Hackberry |



RANCH TRAIL
ROCKWALL, TEXAS

LANDSCAPE DETAILS

| | |
|----------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CLC |
| DATE: | 01/17/2019 |
| SHEET | |
| L-3 | |
| File No. | 2019-001 |

PLOTTED BY: SCOTT WILDER
 PLOT DATE: 1/17/2019 9:25 AM
 LOCATION: C:\USERS\SCOTT WILDER\DOCUMENTS\AUTOCAD_LRD\RANCH TRAIL\RANCH TRAIL.LS.DWG
 LAST SAVED: 1/17/2019 8:55 AM

1 CANOPY TREE PLANTING
SCALE: NONE

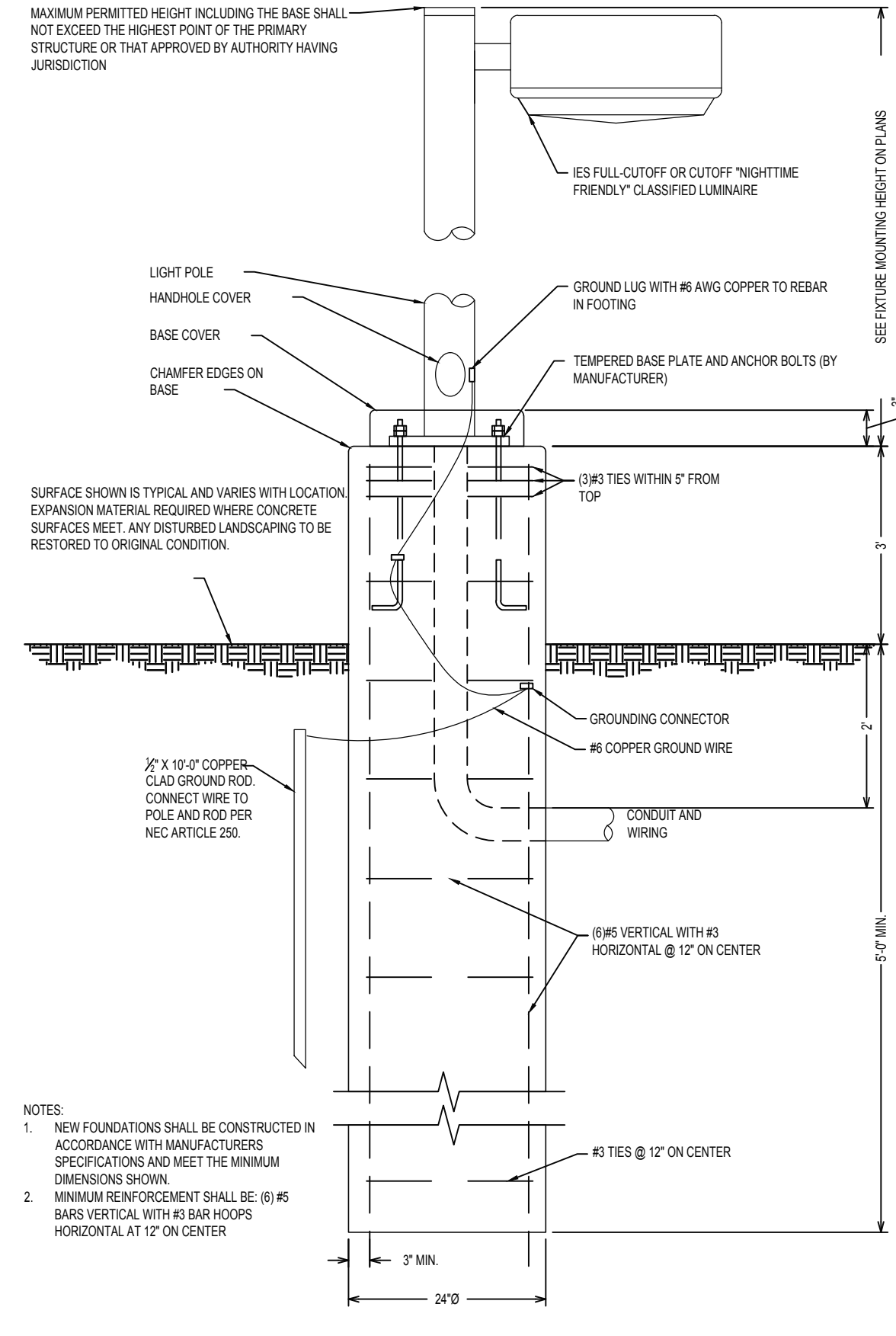
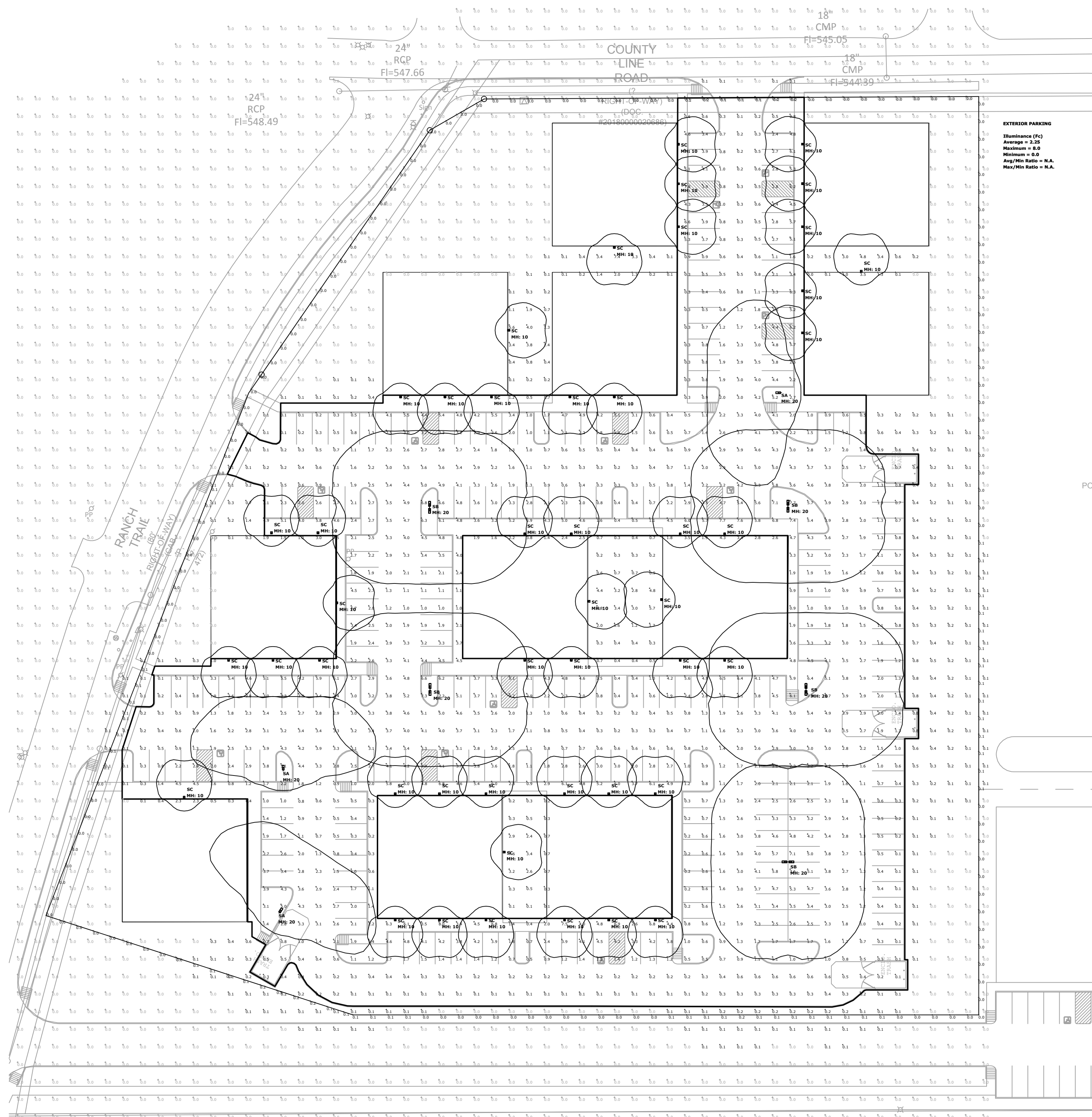
2 MULTI-TRUNK PLANTING
SCALE: NONE

3 SHRUB PLANTING
SCALE: NONE

4 GROUNDCOVER PLANTING
SCALE: NONE

ROOT ANCHORING BELOW GRADE SAFETY STAKE SIZING CHART

| ITEM # | DESCRIPTION | NAIL LENGTH X SPC (INCLUDED) | ITEM # | DESCRIPTION | NAIL LENGTH X SPC (INCLUDED) |
|----------|---------------------------------|------------------------------|--------|-------------------------------|------------------------------|
| 5 BG | 5 GALLON OR 10" ROOTBALL | #4 X 24" | 100 BG | 55/100 GALLON OR 36" ROOTBALL | #5 X 48" |
| 15 BG | 10/15 GALLON OR 17" ROOTBALL | #4 X 30" | 150 BG | 150 GALLON OR 42" ROOTBALL | #5 X 60" |
| 30 BG | 20/30 GALLON OR 22" ROOTBALL | #4 X 36" | 200 BG | 200 GALLON OR 48" ROOTBALL | #5 X 72" |
| 45/65 BG | 45/65 GALLON OR 27-30" ROOTBALL | #4 X 48" | 300 BG | 300 GALLON OR 58" ROOTBALL | #5 X 72" |



1 TYPICAL LIGHT POLE AND BASE
NOT TO SCALE

SITE PHOTOMETRIC NOTES

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.
2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT
3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN ADJACENT PROPERTIES.

| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
|--------|------|-----|---|--------------------|-------------------|----------------|-------------------|---------------------|
| SA | SA | 3 | LITHONIA_DSX1-LED-P6-40K-T3M-MVOLT-[MOUNTING]-[OPTIONS]-[FINISH]-DM19AS | 13452 | 163 | 1.000 | 0.808 | 1.000 |
| SB | SB | 5 | LITHONIA_DSX1-LED-P6-40K-T3M-MVOLT-[MOUNTING]-[OPTIONS]-[FINISH]-DM28AS | 36984 | 326 | 1.000 | 0.808 | 1.000 |
| SC | SC | 46 | LITHONIA_KAXX-LED-P1-40K-R4-MVOLT-[OPTIONS]-[FINISH] | 3644 | 29 | 1.000 | 0.808 | 1.000 |

| Calc. Location | Calc. Height (FT.) | Units | Avg | Max | Min | Avg/Min |
|------------------|--------------------|-------|------|-----|-----|---------|
| CalcPt. 1 | N.A. | Fc | 0.03 | 0.2 | 0.0 | N.A. |
| CalcPt. 2 | N.A. | Fc | 0.05 | 0.2 | 0.0 | N.A. |
| SITE Planar | 0 | Fc | 0.77 | 8.0 | 0.0 | N.A. |
| EXTERIOR PARKING | | Fc | 2.25 | 8.0 | 0.0 | N.A. |

- ELECTRICAL LIGHTING AND POWER NOTES**
1. ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS.
 2. LOADING AND BREAKER LAYOUT SHOWN IS BASED ON BEST AVAILABLE DATA. SPECIALTY, MEDICAL OR IT EQUIPMENT AND APPLIANCES, ETC MAY NEED SEPARATE CIRCUITS. INSTALLING ELECTRICIAN TO VERIFY ACTUAL EQUIPMENT WATTS AND SUPPLY CORRECT EQUIPMENT AS NEEDED.
 3. ALL RECEPTACLES SHALL BE GFCI PROTECTED IF REQUIRED BY NEC OR AHJ.
 4. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED WITH WEATHERPROOF IN-USE COVERS.
 5. ALL RECEPTACLES IN AREAS GENERALLY OCCUPIED BY CHILDREN INCLUDING CLASSROOMS, PATIENT EXAM ROOMS, WAITING ROOMS, RESTROOMS, HALLWAYS AND GYMS TO BE TAMPER-RESISTANT.
 6. ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL.
 7. ALL LIGHTING AND CONTROLS SHALL CONFORM TO CURRENT IECC SECTION C405.2
 8. EMERGENCY ELECTRICAL SYSTEM AS LOCATED ON THIS PLAN SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND AN INITIAL ILLUMINATION OF AN AVERAGE 1 FOOTCANDLE. EMERGENCY POWER SYSTEM TO BE IN COMPLIANCE WITH IBC SECTION 1006.
 9. ALUMINUM CONDUCTORS GREATER THAN 2/0 (APPROX 200 AMPS) CAN BE USED FOR THE INDIVIDUAL SERVICE.
 10. OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 11. CONTRACTOR TO CONTACT UNDERDESIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

- MEP GENERAL NOTES**
1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
 2. CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO INSTALLATION.
 3. REVIEW PLAN SHEET "MEP0 - MEP NOTES" PRIOR TO PERMITTING, BIDDING AND CONSTRUCTION.
 4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.
 5. SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
 6. SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
 7. WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
 8. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
 9. DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATION OCCURRING ON THE PROJECT THAT ARE OR SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.

AME Engineering, Inc. TEXAS FIRM F-16469
 mail@ameengineer.com | ofc 817-653-4122 | fax 817-754-6615
 3825 W Green Oaks Blvd Suite 200, Arlington TX 76016-2700

OWNER REVIEW: 01-18-2018

ISSUE:

DATE: JAN 19 2019

PROJECT NO: 2019001

DRAWN BY:

CHECKED BY:

OFFICE/WAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT

2 ESSEX COURT
 HEATH, TX 75032

Carroll architects

750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

RANCH TRAIL ROCKWALL, TX 75087
 LEGAL DESCRIPTION AND OR ADDRESS:

RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES

OWNER
 JT Alliance, Inc.
 16 Meadowlake Drive
 Heath, TX 75032

APPLICANT
 Carroll Architects, INC
 750 E. Interstate 30 #110
 Rockwall, TX 75087
 Ph: 972-732-6085 Email: jc@carrollarch.com

CASE NUMBER
 2018XXX

DATE: JAN 19 2019 SHEET NO:

PROJECT NO: 2019001

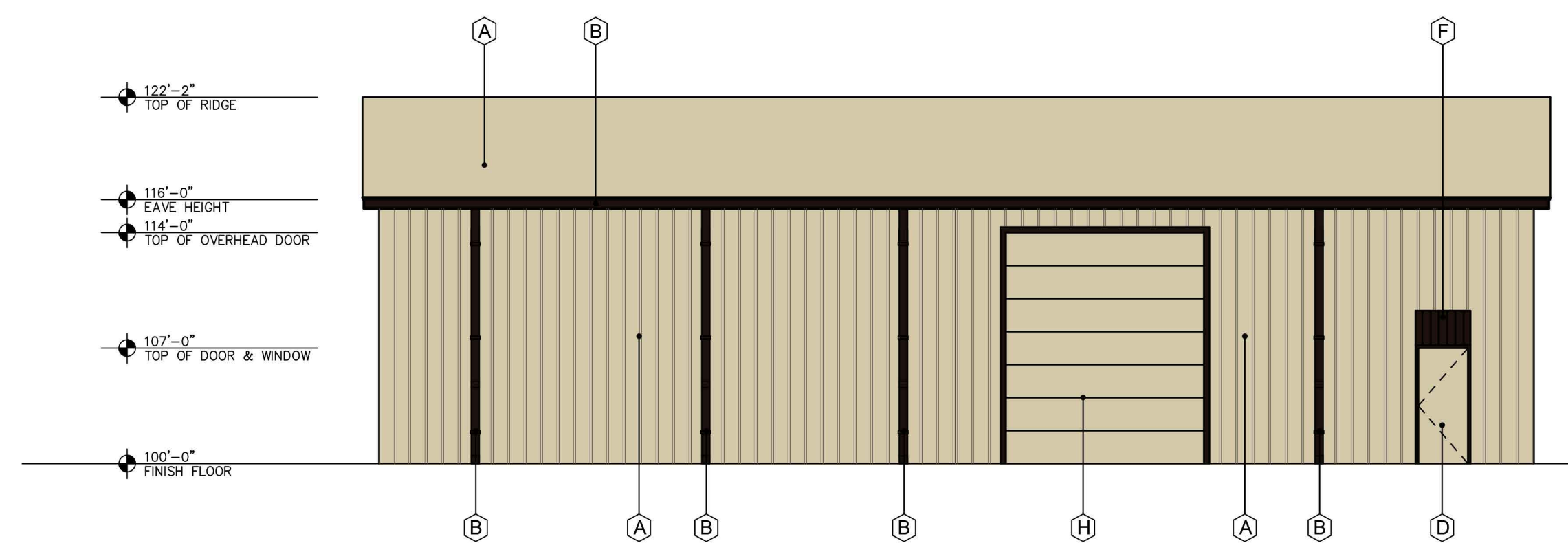
DRAWN BY:

CHECKED BY:

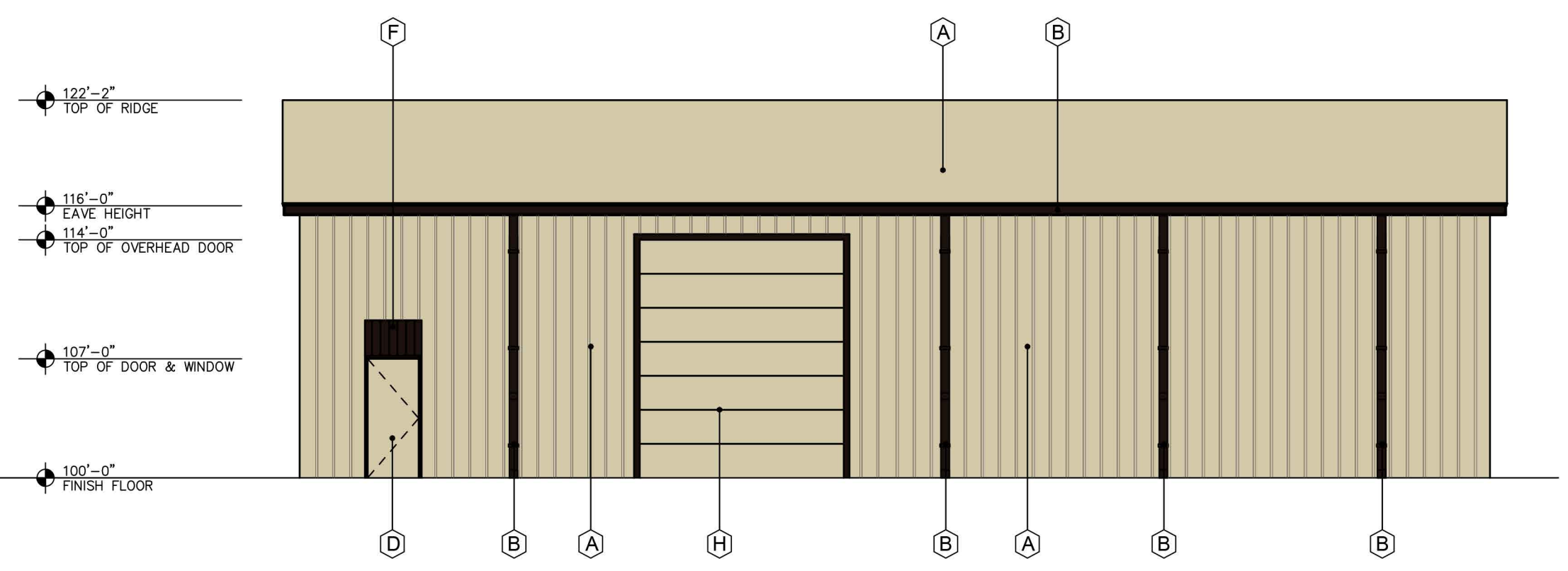
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OFFICE/WAREHOUSE PROJECT
 for
RANCH TRAIL DEVELOPMENT
 407 RANCH TRAIL
 ROCKWALL, TX 75032

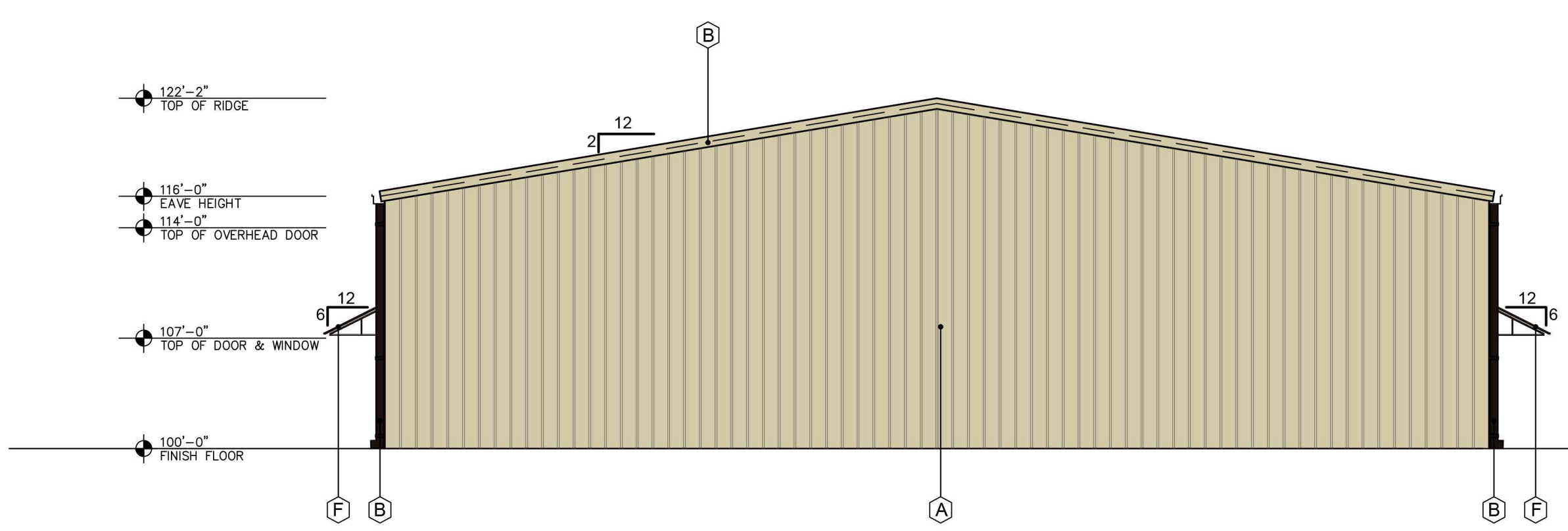
| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS. COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM. COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR -12x14 COLOR: MATCH - A |



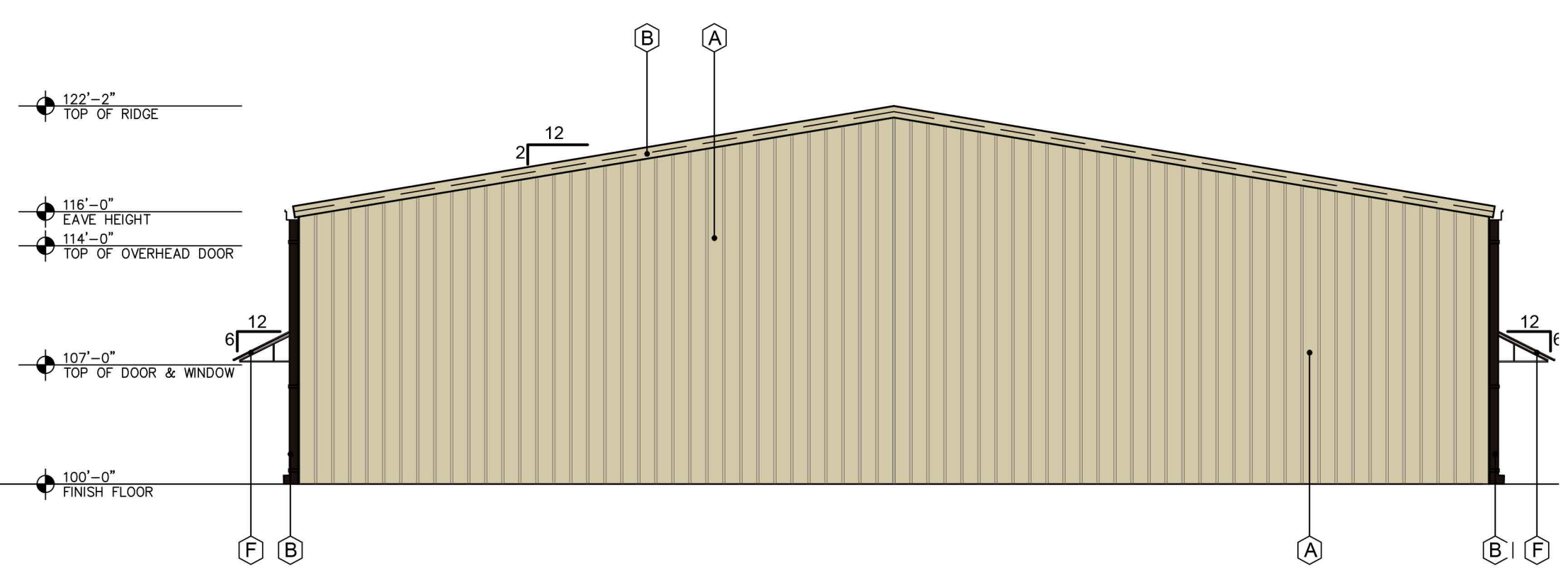
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3 NORTH ELEVATION - STREET SIDE
 SCALE: 3/16"=1'-0"



2 WEST ELEVATION - STREET SIDE
 SCALE: 1/8"=1'-0"



1 EAST ELEVATION
 SCALE: 1/8"=1'-0"

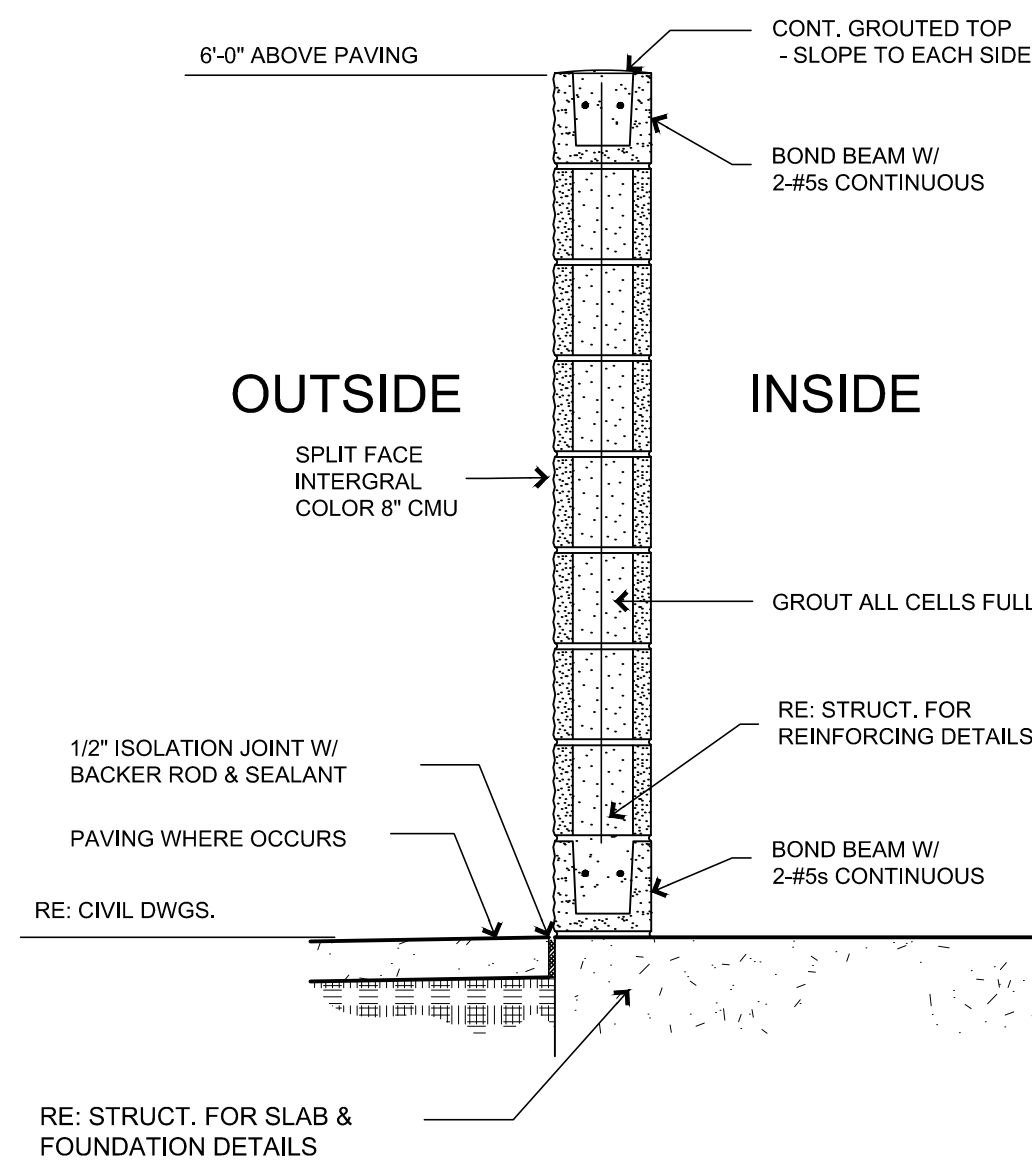
RANCH TRAIL DEVELOPMENT

2 ESSEX COURT
 HEATH, TX 75032

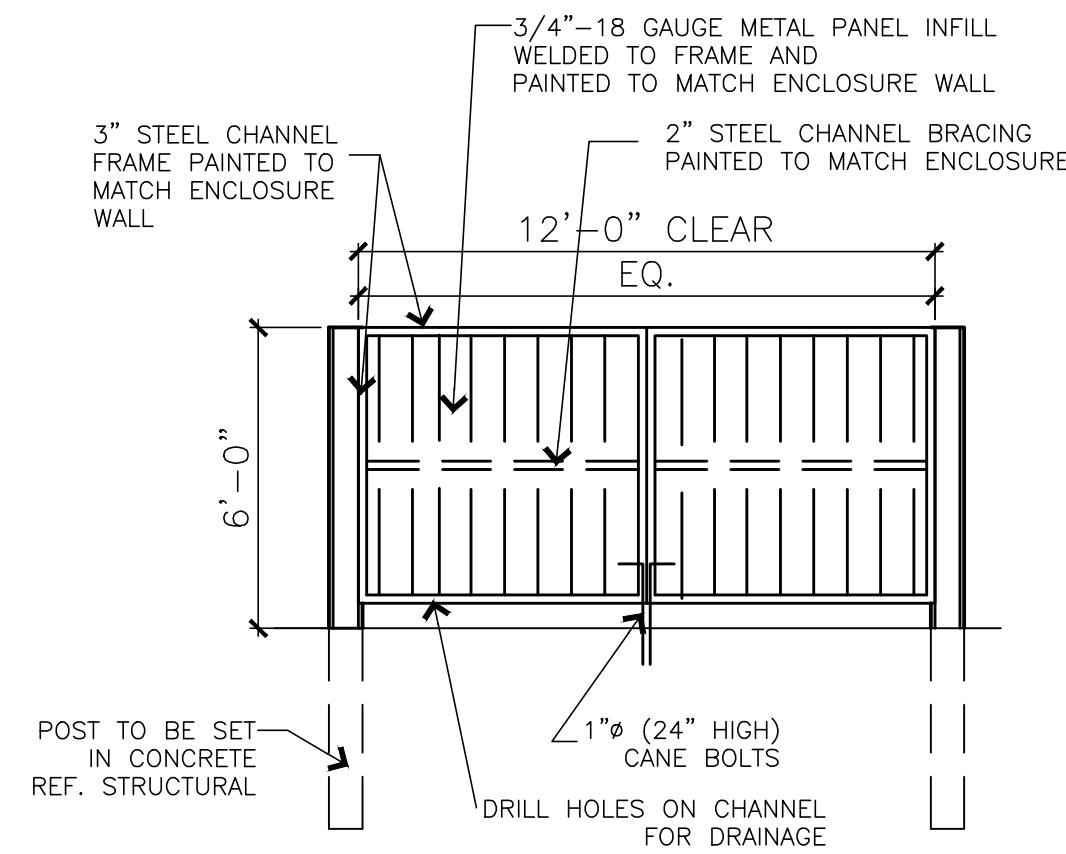


750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

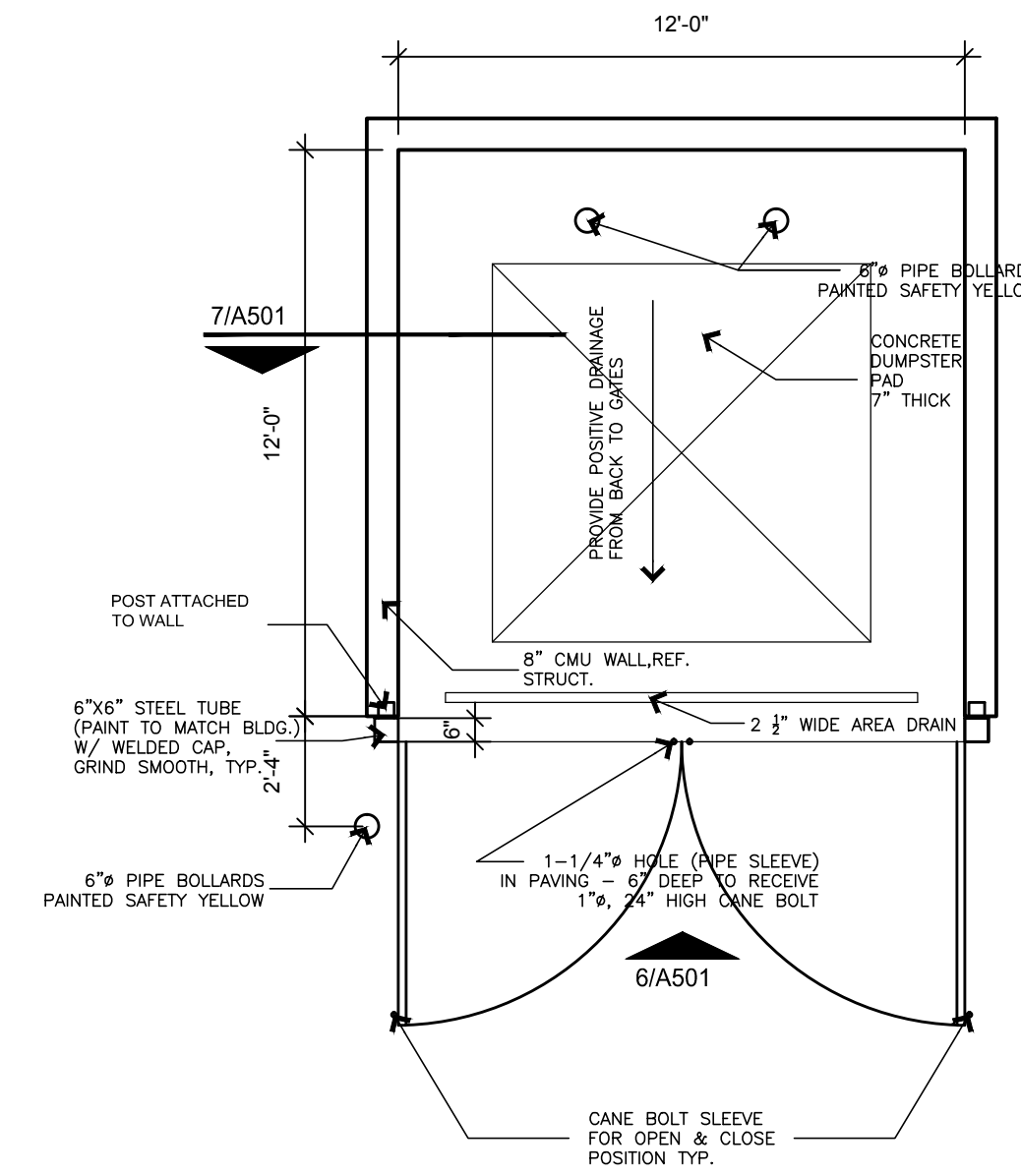
EXTERIOR ELEVATIONS CONCEPT A



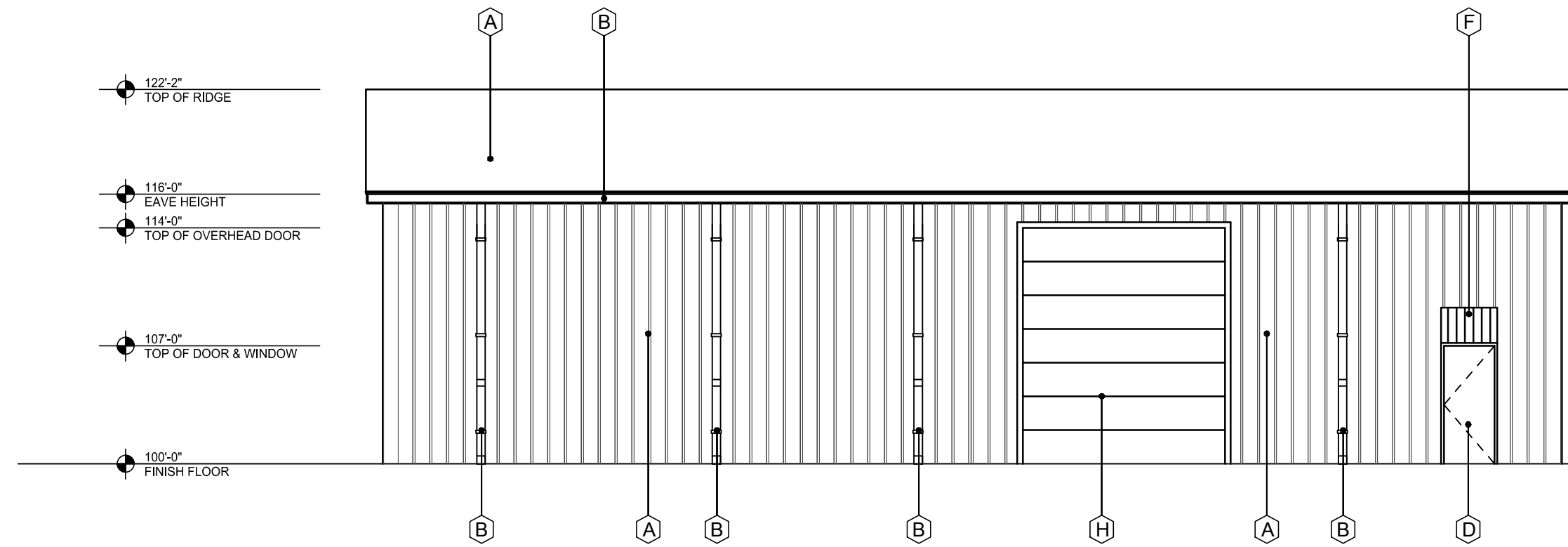
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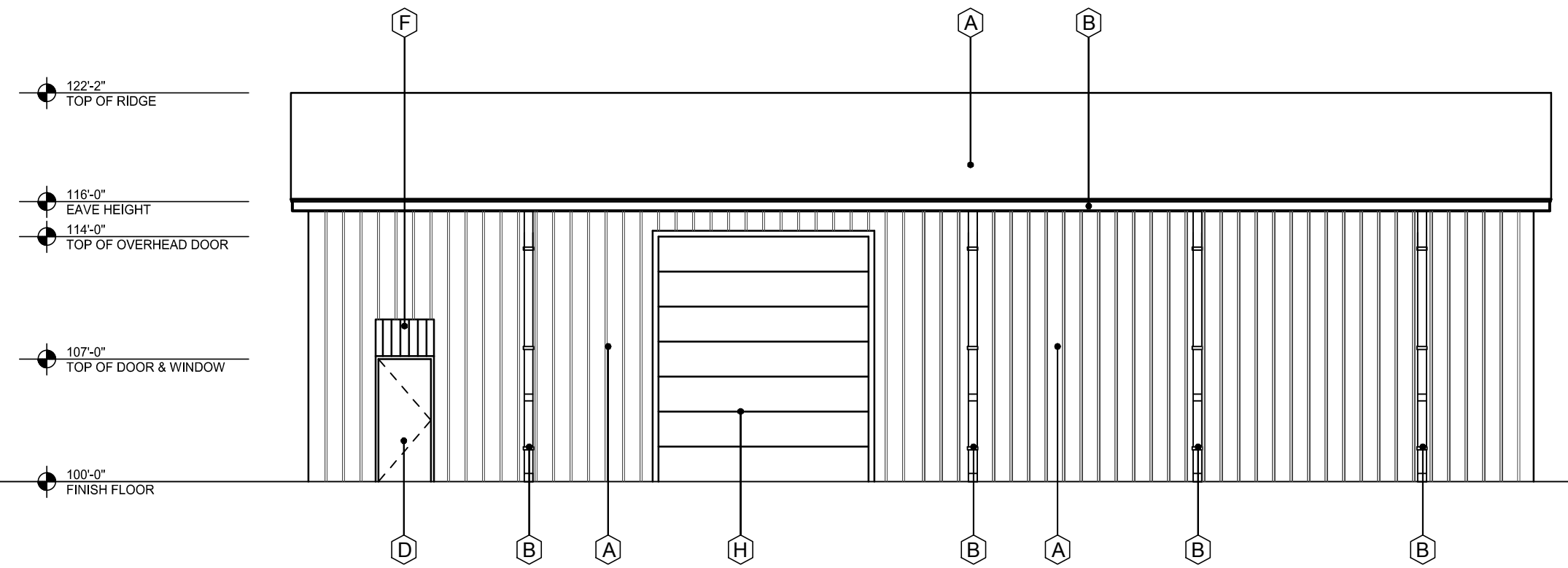
6 DUMPSTER ELEVATION
SCALE: 1/4"=1'-0"



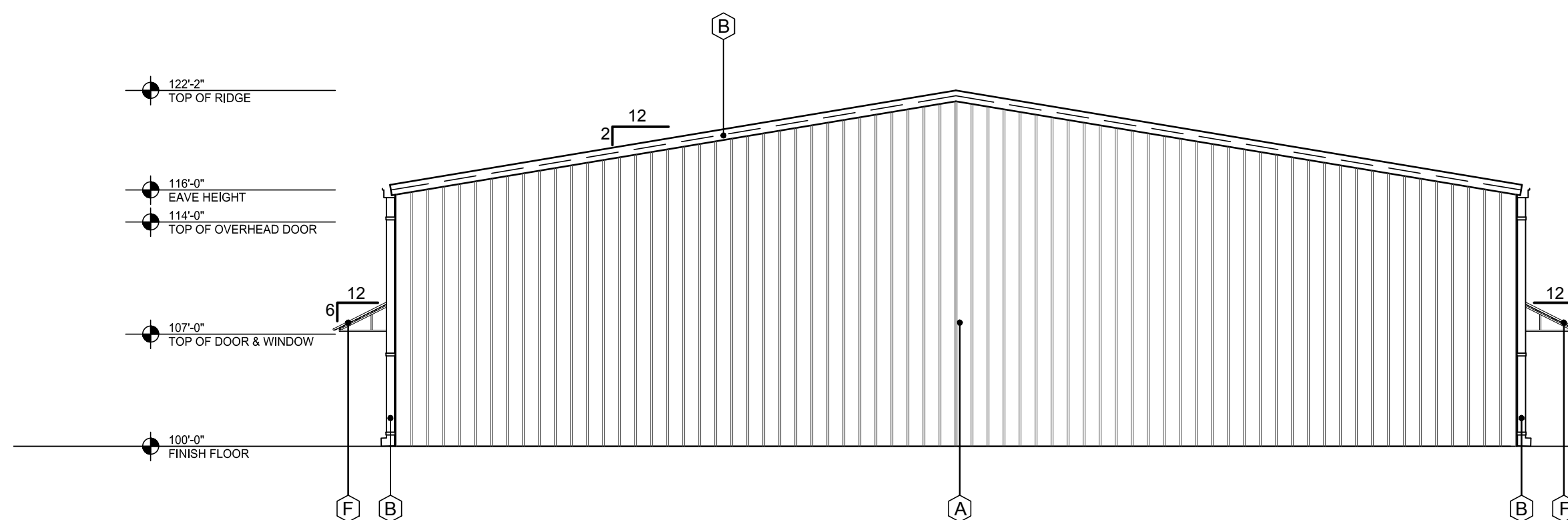
5 DUMPSTER PLAN
SCALE: 1/4"=1'-0"



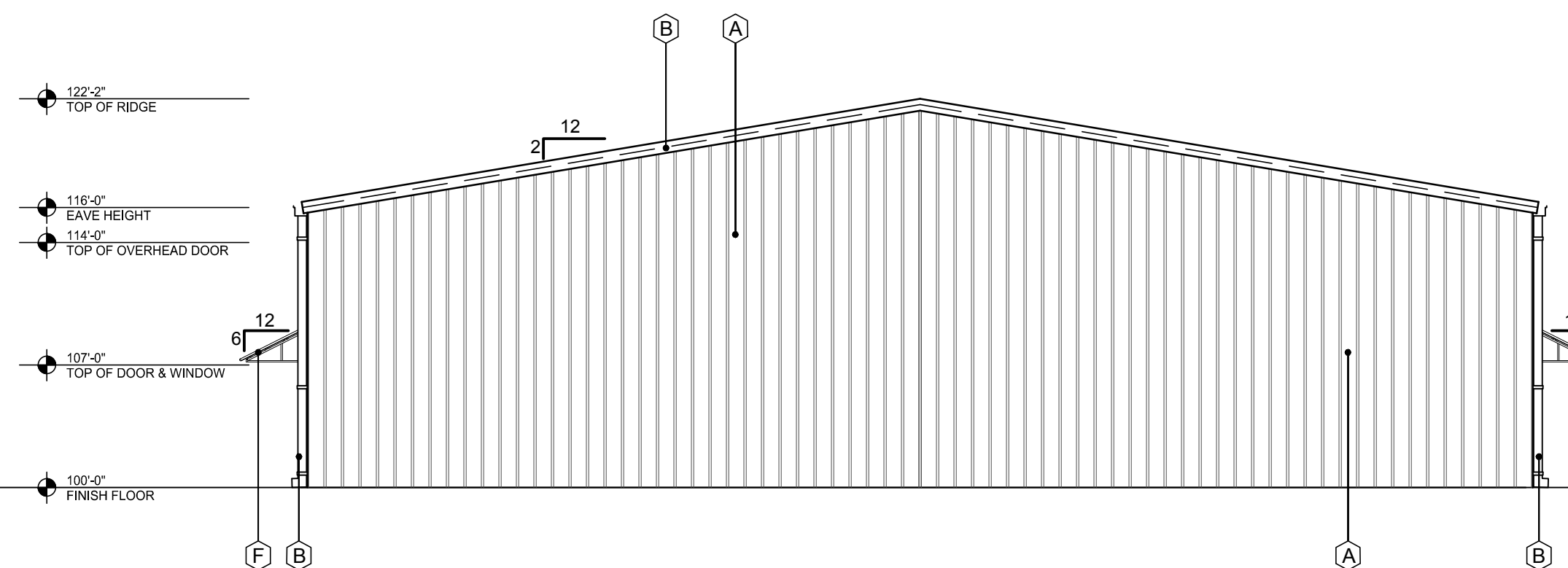
4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
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| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR - 12-14 COLOR: MATCH - A |

| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| LEGAL DESCRIPTION AND/OR ADDRESS: | |
| RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES | |
| OWNER | |
| JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032 | |
| APPLICANT | |
| Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E-mail: info@carrollarch.com | |
| CASE NUMBER 2018XXX | |

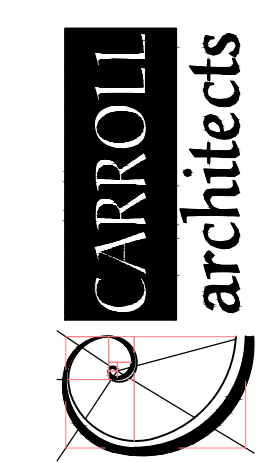
OWNER REVIEW:
01-18-2018

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OFFICE/WAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

**RANCH TRAIL
DEVELOPMENT**

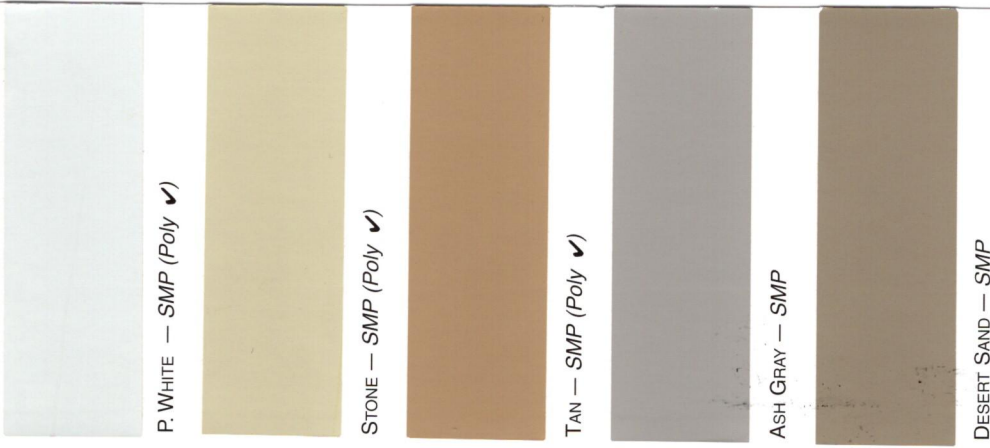
2 ESSEX COURT
HEATH, TX 75032



750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**EXTERIOR
ELEVATIONS
CONCEPT A**

DATE: _____ SHEET NO: _____
PROJECT NO: JAN 2019
DRAWN BY: 2019001 **A501**
CHECKED BY: _____



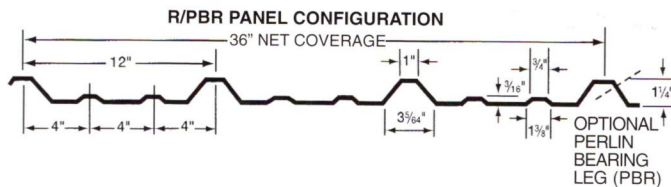
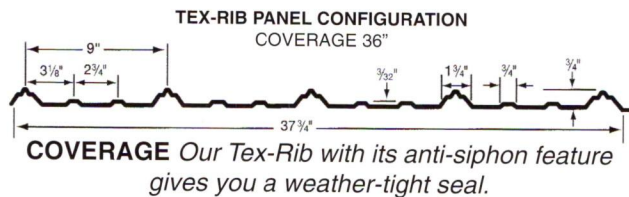
SAWYER

METAL

12562 Hwy 64W, Tyler, TX 75704
 (903) 531-0182 • Fax: (903) 531-2402
www.sawyermetal.com

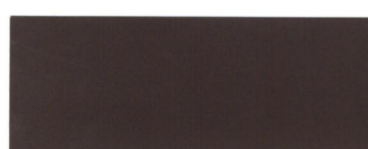
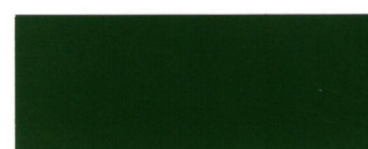
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- 10 yr paint warranty on Poly Paint Systems.
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- Complete line of metal roofing and metal building components.
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- UL 2218 Classified Steel.



valspar

WeatherXL



* Color requires minimum order
 ✓ Poly based on availability

Color samples shown approximate actual paint colors as closely as possible

1/25/2019

City of Rockwall Project Plan Review History



| | | | | | | |
|-----------------------|-------------------------|------------------|-----------------------------|-----------------|-----------|----|
| Project Number | SP2019-003 | Owner | JT ALLIANCE, INC. | Applied | 1/18/2019 | LM |
| Project Name | Ranch Trail Development | Applicant | CLAYMOORE ENGINEERING, INC. | Approved | | |
| Type | SITE PLAN | | | Closed | | |
| Subtype | | | | Expired | | |
| Status | Staff Review | | | Status | | |

| | | | | | | |
|---------------------|------------------------|--------------|---------------|------------------|--|---------------------|
| Site Address | City, State Zip | | | | | Zoning |
| 405 RANCH TRAIL | Rockwall, TX 75032 | | | | | |
| Subdivision | Tract | Block | Lot No | Parcel No | | General Plan |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|------------------------|------------------|-----------|-----------|-----------|---------|----------|---------------|
| BUILDING | Russell McDowell | 1/18/2019 | 1/25/2019 | 1/22/2019 | 4 | APPROVED | |
| ENGINEERING | Sarah Hager | 1/18/2019 | 1/25/2019 | 1/25/2019 | 7 | COMMENTS | See comments. |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|-----------------|-----------|-----------|-----------|----------------|--------------|
| (1/25/2019 11:21 AM SH) | | | | | | |
| <ul style="list-style-type: none"> - All parking to be 20'x9' and all drive isle radii must be 20' minimum. - Water line must be centered in 20' Utility Easement. - Sewer and lift station will all be private. Label each item and private. - Need the new plans for COunty Line Road Reconstruction. - Must tie water into the 12" line in County Line Road or we will stub out to you if the reconstruction gets there first. - No grate inlets allowed. Must be curb inlets for paving. - Dumpsters to drain to oil/water separator prior to entering the storm system. - Drainage must be in sheet flow condition before crossing the property line from detention. - Landscape Plan, add note, "8. No trees within 5' of utilities." <p>The following is for your information for engineering plan review.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees - Impact fees. - Min 20' utility easements. - No structures in easements. - Fire lane easement to be on plat. - Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). - Parking to be 20'x9' - 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required. - 8" sewer in Ranch Trl. - Sewer pro-rata of \$432.74/acre. - Must install 5' sidewalk along County Line. - Dumpster area to drain to oil/water separator or grease trap, depending on use. - No trees within 5' of public utilities. - Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls. - Must have detention. Manning's "c-value" is per zoning for the entire property. - If using the pond for detention, it must be over the existing level. - Must have a waters of the US Study if touching the pond. - Detention outfall must reach sheet flow conditions prior to crossing the property line. - Must meet all City Engineering Standards. | | | | | | |
| FIRE | Ariana Hargrove | 1/18/2019 | 1/25/2019 | 1/24/2019 | 6 COMMENTS | See comment |
| (1/24/2019 6:31 PM AA) | | | | | | |
| <p>Any building with a total floor area of 5,000 square feet or greater shall be protected by automatic fire sprinklers. The total floor area is calculated by adding the square footage of all floor levels within the exterior walls including mezzanines, and under the horizontal projections of the roof of a building.</p> | | | | | | |
| GIS | Lance Singleton | 1/18/2019 | 1/25/2019 | 1/22/2019 | 4 APPROVED | See comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|---|--------------|-----------|-----------|-----------|---------|----------|----------|
| <p>(1/22/2019 2:36 PM LS)</p> <p>Address assignment: The complex address will be 405 Ranch Trail, Rockwall, TX 75032. Each building should be given a letter designation such as A, B, C...</p> <p>In each building - the units / suits can be assigned at the time of permitting and should be given a number such as 101,103, 105 or 102,104,106 allowing number gaps for future demising walls. (200+ numbers designate two+ story buildings etc.) Example: 405 Ranch Trail B-101, Rockwall, TX 75032.</p> | | | | | | | |
| PLANNING | Korey Brooks | 1/18/2019 | 1/25/2019 | 1/25/2019 | 7 | COMMENTS | Comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|--|
| SP2019-003 Site Plan for Multi-Tenant Office/Warehouse on 403 Ranch Trail: Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| ? | | | | | | This is a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trai |
| ? | | | | | | For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. |
| ? | | | | | | For reference, include the case number (SP2019-003) in the lower right hand corner of all pages on future submittals. |
| ? | | | | | | Site Plan. Please note, there is missing information on the Site Data Table (e.g. pervious vs impervious, landscape percentage, etc). Please check the Site Plan Checklist.. |
| ? | | | | | | Site Plan. Please check driveway spacing with the Engineering Department and the "Future Driveway Connection" |
| ? | | | | | | Site Plan. Please note that at 5,000 SF, the buildings will need to have a sprinkler system. The Fire Department may already require a sprinkler due to the type of use. |
| ? | | | | | | Site Plan. Please note, there will need to be heavy landscape screening at the property lines |
| ? | | | | | | Site Plan. Please show any rollup doors on the building (i.e. provide a notch or something that indicates where the doors are located) |
| ? | | | | | | Site Plan. Please note that roll-up door should not be visible from the street. |
| ? | | | | | | Site Plan. Please show easements |
| ? | | | | | | Site Plan. In order to clean-up the plan, please remove the ADA symbols and callouts. Also, for other items, try to limit callouts and maybe utilize hatching/shading and provide information in a legend. |
| ? | | | | | | Site Plan. Please provide SF of office and SF of warehouse for each building. |
| ? | | | | | | Site Plan. Perhaps, number the buildings (for site planning purposing only) so that they are easier to refer to. |
| ? | | | | | | Site Plan. Please utilize a combination of lineweights, especially adjacent to Ranch Trail. Things seem to get lost and its difficult to see centerline of Ranch Trail v. dimensions, etc. |
| ? | | | | | | Site Plan. Please label each lot. For instance, there appears to be three different lots. Numbering the lots makes it easier to refer to. |
| ? | | | | | | Site Plan. Please provide visibility triangles where driveways meet the street. |
| ? | | | | | | Site Plan. Please provide centerlines of all adjacent roadways. (It may be there already but difficult to see.) |
| ? | | | | | | Some of the buildings have lines in the middle of them, which are not dimension lines. For clarity, what are these lines? |
| ? | | | | | | Site Plan. Please note, parking spaces should be 20 x 9 (unless a clear 2-foot overhang, which you show). Just check with Engineering to be sure those spaces are ok. Please dimension typical parking spaces and head to head space. |
| ? | | | | | | Site Plan. Please note that the dumpster cannot directly face the street. Perhaps they can be angled? |
| ? | | | | | | Site Plan. Is the footprint of each building going to be perfectly square, rectangle, etc? If not, please show the building footprint as it would actually appear. |
| ? | | | | | | Site Plan. Please greyscale pond. |
| ? | | | | | | Site Plan. Please show setbacks. |
| ? | | | | | | Site Plan. "Construction Schedule" does not necessarily call out the ADA Symbol and pavement striping. The sidewalk could be a hatch pattern in the legend that shows the hatch and states the width of sidewalk. ADA accessible ramp could be shown as a symbol in a symbol legend. |
| ? | | | | | | Site Plan. Show fire hydrants as symbol and provide in legend. |
| ? | | | | | | Site Plan. The existing firelane symbol is difficult to read. Perhaps the firelane could be shown as a stippling pattern (or some other hatch)? |
| ? | | | | | | Site Plan. Add a note that the dumpster enclosure shall have an opaque, self-latching gate. Also, check the minimum dimensions of the enclosure to ensure compliance—they seem tobe slightly undersized. |
| ? | | | | | | Site Plan. The substitution of symbols in a legend rather than call outs would be helpful. |
| ? | | | | | | Site Plan. Show and label landscape buffers adjacent to roadways (perhaps in greyscale). |
| ? | | | | | | Site Plan. Please remove the footprints of the buildings on the adjacent property to the south. Also any information not related to this site should be removed. |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|------------------------|---------|------|-----|----------|----------------|--|
| | | | | | | For example, in the lower lefthand corner next to the future driveway there is a light pole and a power pole showing in addition to "Ex. Gravel Drive". |
| ? | | | | | | Site Plan. The drive approaches for the properties across the roadways do not need to be shown |
| ? | | | | | | Site Plan. The adjacent roadway labels should be more noticeable. |
| ? | | | | | | Site Plan. The parking spaces need to be behind the front façade of the buildings. There are two or three parking spaces located at the drive aisle off county line road that will need to be moved. |
| ? | | | | | | Site Plan. The parking space closest to the dumpster enclosure at the east property line may have to be eliminated due to lack of backing out space. |
| ? | | | | | | Site Plan. Please note our updated screening requirements for residential adjacency. |
| ? | | | | | | Site Plan. Will the detention be regional? If so, indicate. |
| ? | | | | | | Landscape Plan. Please show centerlines of adjacent roadways. |
| ? | | | | | | Landscape Plan. Please provide site data table as shown on landscape plan. Also, please check the site plan checklist that shows additional information to be added to site data table (e.g. pervious vs. impervious percentage, landscape percentage, etc.) |
| ? | | | | | | Landscape Plan. Please check trees along the property line to ensure that they are not within 5-feet of a utility. |
| ? | | | | | | Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing. Also, please show and label landscape buffer adjacent to roadways. |
| ? | | | | | | Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance. Also, dimension a typical parking space as well as typical head to head. |
| ? | | | | | | Landscape Plan. Please show any easements. |
| ? | | | | | | Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline. |
| ? | | | | | | Landscape Plan. Please show heavy landscape screening from the adjacent residential property |
| ? | | | | | | Landscape Plan. Please provide engineering information on all plans (e.g turning radii, easements, utilities, etc). Also provide visibility triangle. |
| ? | | | | | | Landscape Plan. What is the square black box in the middle of the drive aisle off County Line Road? Please indicate in legend. |
| ? | | | | | | Landscape Plan. There are a number of trees that show "70 AJ" or similar. What is that? |
| ? | | | | | | Landscape Plan. Please label pond. Also you may have to check to see if this is Waters of the U.S. |
| ? | | | | | | Landscape Plan. Please label detention pond. |
| ? | | | | | | Landscape Plan. Please indicate the number of caliper inches and percentage of caliper inches that is being paid into the tree fund. |
| ? | | | | | | Landscape Plan. Am I correct that only one tree is being preserved? Just as a note, |
| ? | | | | | | Photometric Plan. If any additional lighting is being provided, please provide a photometric plan. |
| ? | | | | | | Building Elevations. Please provide updated drawings showing the proposed wainscot and material percentages. |
| ? | | | | | | Building Elevations. Staff recommends that all facades visible from a public street by full masonry |
| ? | | | | | | Building Elevations. Provide Site data Table as provided on other sheets. |
| ? | | | | | | Photometric Plan. Please provide cut sheets. |
| ? | | | | | | The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m. |
| ? | | | | | | Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019,at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019 |

| SITE DATA TABLE | |
|---------------------|------------------------------------|
| SITE AREA | 7.52 AC 327,554 SF |
| ZONING | C - COMMERCIAL |
| PROPOSED USE | COMMERCIAL |
| BUILDING SIZE | 11 BLDG @ 4,999 SF TO 54,989 SF TO |
| LOT COVERAGE | 36.9% |
| FLOOR TO AREA RATIO | 0.17 : 1 |
| BUILDING HEIGHT | 1 STORY |

| PARKING TABLE | |
|----------------------|--|
| PARKING REQUIREMENTS | 3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR |
| PARKING REQUIRED | 209 SPACES |
| PARKING PROVIDED | 250 SPACES |
| ADA REQUIRED | 7 SPACES |
| ADA PROVIDED | 11 SPACES |

Need to get new County Line Road plans from the City.

Tie into 12" water line in County Line Road unless City is there first and we will stub out to you.

All parking must be 20'x9' and curve radius must be 20' minimum for drive isles.

No Grate Inlets. Must use curb inlets in paving.

Drainage must meet sheet flow conditions before it crosses the property line

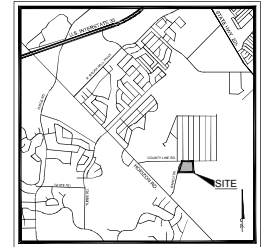
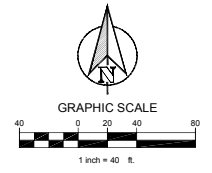
All sewer lines will be private. Label each line as "Private"

This will be a private lift station.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height).
- Parking to be 20'x9'
- 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
- 8" sewer in Ranch Trl.
- Sewer pro-rata of \$432.74/acre.
- Must install 5' sidewalk along County Line.
- Dumpster area to drain to oil/water separator or grease trap, depending on use.
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must have detention. Manning's "c-value" is per zoning for the entire property.
- If using the pond for detention, it must be over the existing level.
- Must have a waters of the US Study if touching the pond.
- Detention outfall must reach sheet flow conditions prior to crossing the property line.
- Must meet all City Engineering Standards.

Waterline must be centered in a 20' Utility Easement

All dumpsters to drain to oil/water separator prior to entering the storm system.



| CONSTRUCTION SCHEDULE | |
|-----------------------|-----------------------------------|
| 1 | STANDARD DUTY (5" CONCRETE) |
| 2 | HEAVY DUTY (6" CONCRETE) |
| 3 | DUMPSITER PAD (7" CONCRETE) |
| 4 | PROPOSED SIDEWALK CONCRETE |
| 5 | PROPOSED CONCRETE CURB AND GUTTER |
| 6 | PROPOSED FIRE LANE |
| 7 | PARKING COUNT |

| CONSTRUCTION SCHEDULE | |
|-----------------------|---------------------------------|
| 1 | HANDICAP SYMBOL |
| 2 | PAVEMENT STRIPING |
| 3 | PARKING STALL STRIPING, 4" WIDE |
| 4 | SIDEWALK, SFT MIN. WIDTH |
| 5 | ADA ACCESSIBLE RAMP |

| | |
|---|--|
| RANCH TRAIL ROCKWALL, TX 75087 LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S FT OF 19, ACRES 9.76 | |
| OWNER: | JT'S ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032 |
| APPLICANT: | CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 |
| CASE NUMBER: | X |



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
Engineering: JAY R. MOORE
CONSULTANTS
CONSULTANTS: CLAY CRESTY
Project No: 108900 Date: 2/18/2019

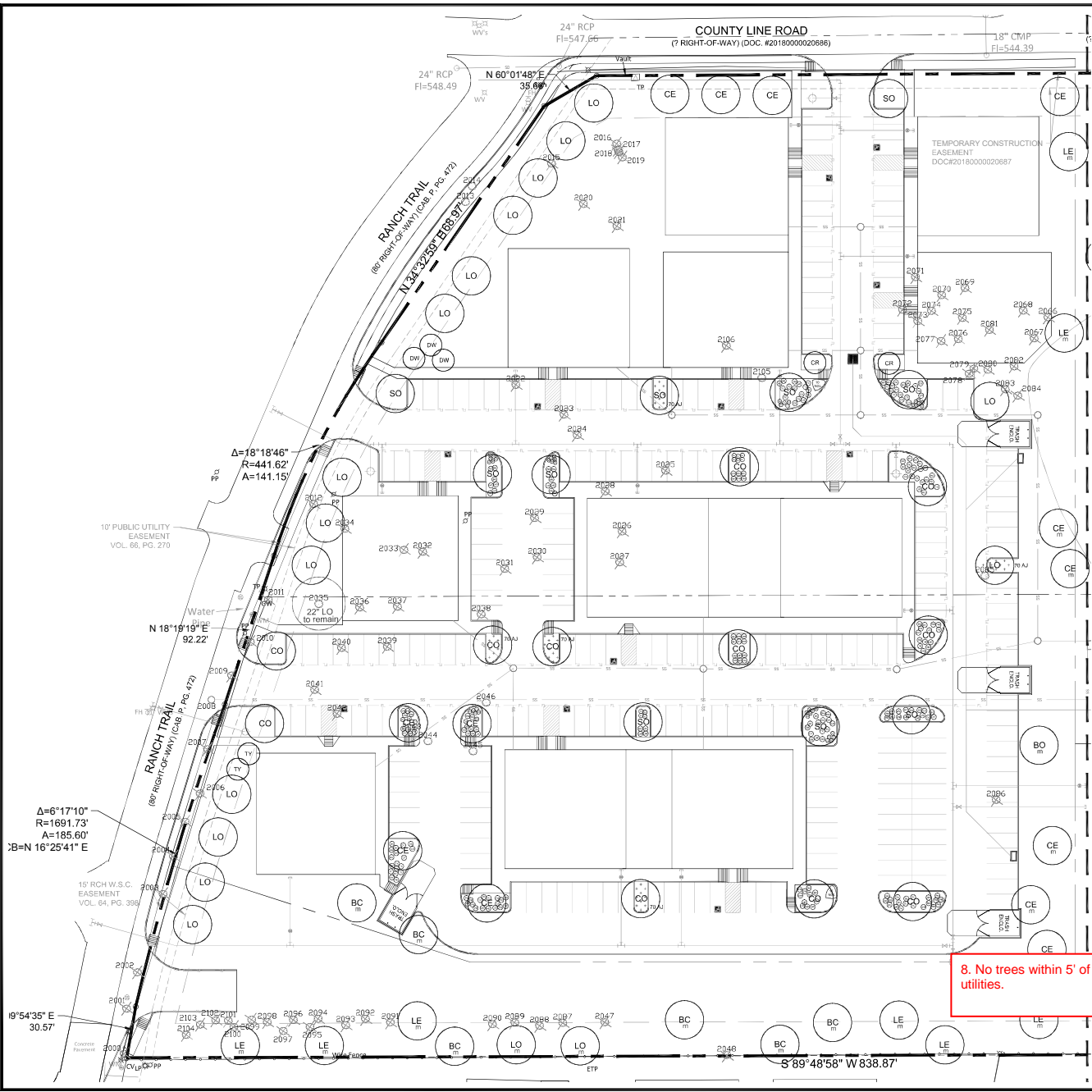
**RANCH TRAIL
ROCKWALL, TEXAS**

CITY SITE PLAN

DESIGN: CUP
DRAWN: CUP
CHECKED: CUP
DATE: 01/15/2019
SHEET
SP-1
File No: 2019-001

PLOTTED BY: LYNN ROWLAND, INC.
PLOT DATE: 1/17/2019 2:36:36 PM
PLOT FILE: R:\PROJECTS\2019-001\PROJECTS\2019-001\PROJECTS\SP-1 SITE PLAN.DWG
LAST SAVED: 1/17/2019 2:36:36 PM

PLOTTED BY: SCOTT FULMER
 PLOT DATE: 1/17/2019 11:38 PM
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 LAST SAVED: 1/17/2019 9:25 AM




Integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
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 512.539.7994 • John@integration.com
 www.integration.com


CLAY MOORE ENGINEERING
 10000 FORT WORTH BLVD., SUITE 100
 FORT WORTH, TEXAS 76134
 (817) 335-1177



**RANCH TRAIL
ROCKWALL, TEXAS**

LANDSCAPE PLAN

| | |
|-----------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CWP |
| DATE: | 01/17/2019 |
| SHEET | |
| L-1 | |
| File No.: | 2019-001 |

TREE LEGEND

- Canopy Trees**
- | | | | |
|----|------------------|------|------------------------------|
| SO | Sherrard Oak | BO | Bur Oak |
| LE | Basswood Elm | CO | Chinquapin Oak |
| LO | Live Oak | CE | Cedar Elm |
| BC | Bald Cypress | | |
| + | Mitigation trees | 2021 | Existing trees to be removed |
- Ornamental Trees**
- | | | | |
|----|---------------|----|------------|
| CR | Crape Myrtle | TY | Tree Yucca |
| DW | Desert Willow | | |

SHRUB LEGEND

- | | | | |
|-----|------------------------|----|----------------------|
| DY | Dwarf Yucca | TC | Turks Cap |
| DA | Dwarf Abelia | HD | Harbor Dwarf Nandina |
| BA | Battery | GL | Giant Liriodie |
| MF | Mexican Feather Grass | TX | Texas Sage |
| WM | Dwarf Wax Myrtle | PM | Pink Muhly |
| RY | Red Yucca | CS | Cherry Sage |
| DB | Dwarf Burford Holly | GC | Green Cloud Sage |
| NOL | New Cold Lantana | RD | Rosemary |
| CO | Conecise | AJ | Asian Jasmine |
| DH | Dwarf Indian Hawthorne | | |

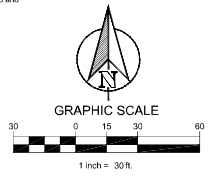
HATCH LEGEND

- | | |
|--|---------------|
|  | Asian Jasmine |
|--|---------------|

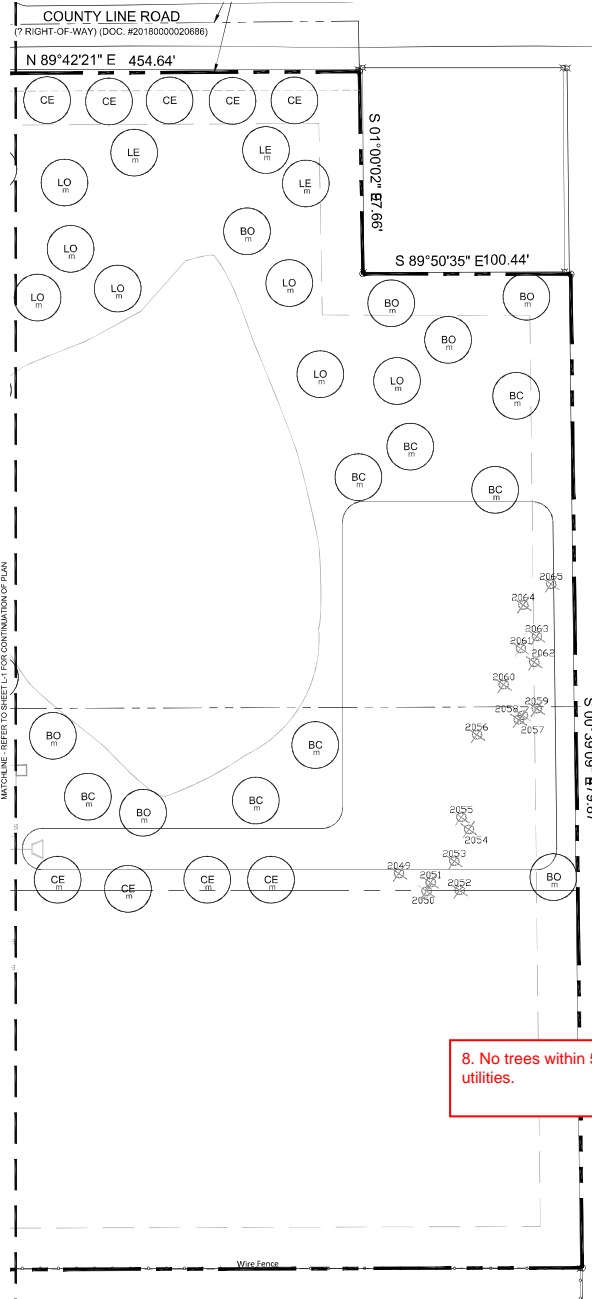
LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities.

8. No trees within 5' of utilities.



PLOTTED BY: SCOTT WILMER
 PLOT DATE: 1/17/2019 1:39 PM
 LOCATION: C:\USERS\SCOTT\WILMER\DOCUMENTS\AUTOCAD_LRO\RANCH TRAIL\RANCH TRAIL_L2.DWG
 LAST SAVED: 1/17/2019 2:25 AM



TREE LEGEND

- Canopy Trees**
- SO Shumard Oak
 - BO Bur Oak
 - LE Blue Elm
 - CO Chickasaw Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - ✕ Migration trees
 - ✕ Existing trees to be removed
- Ornamental Trees**
- CR Crape Myrtle
 - TY Tree Yucca
 - DW Desert Willow

SHRUB LEGEND

- | | |
|----------------------------|-------------------------|
| DY Dwarf Yucca | TC Turks Cap |
| DA Dwarf Abelia | HD Harbor Dwarf Nandina |
| BA Barberry | GL Gladiolus |
| MF Mexican Feather Grass | TX Texas Sage |
| WM Dwarf Wax Myrtle | PM Pink Muhly |
| RY Red Yucca | CS Cherry Sage |
| DB Dwarf Burford Holly | GC Green Cloud Sage |
| NGL New God Lantana | RD Rosemary |
| CD Coleseps | AJ Asian Jasmine |
| DHI Dwarf Indian Hawthorne | |

HATCH LEGEND

- ✕ Asian Jasmine

LANDSCAPE NOTES

1. The project will have an underground automatic irrigation system to water all new plantings.
2. Install 4" layer of shredded hardwood mulch to all planting beds.
3. Install 4" steel edging between all shrub beds and grass areas.
4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
5. Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
7. Solid sod all areas disturbed by construction activities.

8. No trees within 5' of utilities.

Integration studio
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John F. Murphy, ASLA
 7029 Green Valley Way
 Tyler, TX 75703
 936.432.8622 • Fax 936.432.8623
 jmurphy@integrationstudio.com

TRAVIS REGISTERED PROFESSIONAL ENGINEER
CLAY MOORE ENGINEERING



**RANCH TRAIL
 ROCKWALL, TEXAS**

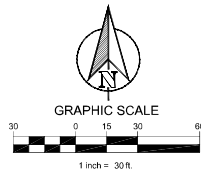


LANDSCAPE PLAN

| | |
|----------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CWP |
| DATE: | 01/17/2019 |

SHEET
L-2

File No. 2019-001



PLANT LIST

| CANOPY TREES | | | |
|-----------------------|-----|------------------------|--|
| 11 | LE | Lacebark Elm | Ulmus parviflora 3" cal. B&B 12' ht. 5' spread |
| 14 | LO | Live Oak | Quercus virginiana 3" cal. B&B 12' ht. 5' spread |
| 11 | OO | Chinquapin Oak | Quercus muhlenbergii 3" cal. B&B 12' ht. 5' spread |
| 22 | CE | Cedar Elm | Ulmus crassifolia 3" cal. B&B 12' ht. 5' spread |
| 11 | BC | Bald Cypress | Taxodium distichum 3" cal. B&B 12' ht. 5' spread |
| 10 | SO | Shumard Oak | Quercus shumardii 3" cal. B&B 12' ht. 5' spread |
| 8 | BO | Bur Oak | Quercus macrocarpa 3" cal. B&B 12' ht. 5' spread |
| ORNAMENTAL TREES | | | |
| 2 | TY | Tree Yaupon | Ilex vomitoria 30 gal. 8' ht. multi-trunk female |
| 2 | GR | Crapeymyle | Lagotis indica 'Tocaroni' 30 gal. 8' ht. 3 trunk 2 1/2" cal. min. |
| 3 | DW | Desert Willow | Chilopsis linearis 'Timeless Beauty' 30 gal. 6' ht. 2 1/2" cal. min. |
| SHRUBS & GROUNDCOVERS | | | |
| 9 | DY | Dwarf Yaupon | Ilex vomitoria 'Nana' 5 gal. 30" oc |
| 21 | DA | Dwarf Abelia | Abelia x grandiflora 'Ed. Goucher' 5 gal. 30" oc |
| 12 | BA | Barberry | Berberis thunbergii 5 gal. 30" oc |
| 25 | MF | Mexican Feather Grass | Nassella tenuissima 1 gal. 18" oc |
| 5 | WM | Dwarf Wax Myrtle | Myrica asplifolia 5 gal. 30" oc |
| 15 | RY | Red Yucca | Hesperaloe parviflora 5 gal. 30" oc |
| 11 | DB | Dwarf Burford Holly | Ilex cornuta 'Burfordii' 5 gal. 30" oc |
| 20 | NGL | New Gold Lantana | Lantana 'New Gold' 1 gal. 24" oc |
| 15 | OO | Coreopsis | Coreopsis 'Early Sunrise' 1 gal. 24" oc |
| 24 | DIH | Dwarf Indian Hawthorne | Raphiolepis indica 'Pinkie' 5 gal. 30" oc |
| 14 | TC | Turks Cap | Mikolobolus scaberrimus 1 gal. 24" oc |
| 32 | HD | Harbor Dwf. Nandina | Nandina 'Harbor Dwarf' 1 gal. 18" oc |
| 14 | GL | Giant Liriope | Liriope gigantea 3 gal. 30" oc |
| 14 | TX | Texas Sage | Leucophyllum frutescens 'Silverado' 5 gal. 30" oc |
| 23 | PM | Pink Muhly | Muhlenbergia capillaris 1 gal. 30" oc |
| 23 | CS | Cherry Sage | Salvia greggii 5 gal. 30" oc |
| 16 | CC | Cream Cloud Sage | Leucophyllum frutescens 5 gal. 30" oc |
| 2 | RO | Rosemary | Rosemarinus prostratus 5 gal. 30" oc |
| 350 | AJ | Asian Jasmine | Trachelospermum asiaticum 1 gal. 18" oc |

**City of Rockwall, Texas
LANDSCAPE CALCULATIONS**

| | | | |
|--------------------|------------|-----------|------------------|
| Total Lot Area | 414,665 SF | Required | Provided |
| Landscape Area 10% | | 41,467 SF | 135,609 SF (32%) |

| Street Buffer Trees | 1 Shade tree 3' cal. per 50 LF of frontage | Required | Provided |
|---------------------|--|----------|----------|
| Ranch Trail | 618.51 LF | 13 | 13 |
| County Line Road | 454.64 LF | 9 | 9 |

| Parking Lot Landscape | Required | Provided |
|-----------------------|----------|----------|
| Parking Spaces 257 | 26 | 26 |
| 1 tree per 10 spaces | | |

Tree Mitigation
 Primary tree inches removed - 38.5"
 Secondary tree inches removed - 967 / 2 = 483.5"
 Total protected inches removed - 522"

New mitigation inches provided - 150"
 Remainder mitigation to be paid into tree fund

EXISTING TREE LIST

| Number | Size | Type | Number | Size | Type |
|--------|-------------|-----------------|--------|-----------|-----------|
| 2000 | 8" 8" | Hackberry | 2054 | 8" | Hackberry |
| 2001 | 13" | Cedar | 2055 | 10" 17" | Hackberry |
| 2002 | 7" 10" 10" | Cedar | 2056 | 7" 9" | Ash |
| 2003 | 16" | Cedar | 2057 | 11" | Hackberry |
| 2004 | 17" | Cedar | 2058 | 8" | Hackberry |
| 2005 | 15" | Cedar | 2059 | 8" | Hackberry |
| 2006 | 12" | Cedar | 2060 | 8" | Hackberry |
| 2007 | 16" | Cedar | 2061 | 7" | Hackberry |
| 2008 | 26" | Cedar | 2062 | 8" | Hackberry |
| 2009 | 10" 13" 18" | Cedar | 2063 | 8" | Hackberry |
| 2010 | 10" | Cedar | 2064 | 10" | Hackberry |
| 2011 | 8" | Oak | 2065 | 8" | Hackberry |
| 2012 | 12" | Hackberry | 2066 | 16" | Hackberry |
| 2013 | 10" | Cedar | 2067 | 8" 8" 10" | Hackberry |
| 2014 | 14" 20" | Cedar | 2068 | 16" | Hackberry |
| 2015 | 15" 14" | Cedar-Hackberry | 2069 | 8" 8" | Hackberry |
| 2016 | 10" | Hackberry | 2070 | 15" | Hackberry |
| 2017 | 10" | Hackberry | 2071 | 10" 12" | Hackberry |
| 2018 | 10" | Hackberry | 2072 | 13" | Hackberry |
| 2019 | 10" | Hackberry | 2073 | 7" 9" | Hackberry |
| 2020 | 7" 10" | Hackberry | 2074 | 13" | Hackberry |
| 2021 | 13" | Cedar | 2075 | 13" | Hackberry |
| 2022 | 22" | Cedar | 2076 | 11" | Hackberry |
| 2023 | 12" 16" | Cedar | 2077 | 11" | Hackberry |
| 2024 | 16" | Cedar | 2078 | 9" | Hackberry |
| 2025 | 15" | Cedar | 2079 | 9" | Hackberry |
| 2026 | 12" | Hackberry | 2080 | 12" | Hackberry |
| 2027 | 12" | Hackberry | 2081 | 9" | Hackberry |
| 2028 | 11" | Cedar | 2082 | 13" | Hackberry |
| 2029 | 22" | Hackberry | 2083 | 8" | Hackberry |
| 2030 | 27" | Cedar | 2084 | 13" | Hackberry |
| 2031 | 8" | Hackberry | 2085 | 11" | Cedar |
| 2032 | 10" | Hackberry | 2086 | 13" | Cedar |
| 2033 | 16" | Hackberry | 2087 | 10" | Cedar |
| 2034 | 8" | Hackberry | 2088 | 10" | Cedar |
| * 2035 | 22" | Live Oak | 2089 | 10" | Cedar |
| 2036 | 23" | Mulberry | 2090 | 10" | Cedar |
| 2037 | 17" | Mulberry | 2091 | 8" | Cedar |
| 2038 | 32" | Mulberry | 2092 | 12" | Cedar |
| 2039 | 17" | Mulberry | 2093 | 8" 12" | Cedar |
| 2040 | 15" | Mulberry | 2094 | 8" | Cedar |
| 2041 | 18" | Oak | 2095 | 10" | Cedar |
| 2042 | 8" | Cedar | 2096 | 10" | Cedar |
| 2043 | 14" | Mulberry | 2097 | 10" | Cedar |
| 2044 | 12" | Hackberry | 2098 | 12" | Cedar |
| 2045 | 8" 10" 10" | Hackberry | 2099 | 10" | Cedar |
| 2046 | 10" | Hackberry | 2100 | 8" | Cedar |
| 2047 | 16" | Cedar | 2101 | 10" | Cedar |
| 2048 | 12" | Cedar | 2102 | 10" | Cedar |
| 2049 | 10" | Hackberry | 2103 | 8" | Cedar |
| 2050 | 10" | Hackberry | 2104 | 15" | Cedar |
| 2051 | 10" 10" | Hackberry | 2105 | 10" | Hackberry |
| 2052 | 12" | Hackberry | 2106 | 10" | Hackberry |
| 2053 | 8" | Hackberry | | | |

Integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7029 Green Valley
 Suite 100
 Rockwall, TX 75087
 972.982.2822 • Fax: 972.982.2828 • www.integrationstudio.com

CLAY MOORE ENGINEERING
 11717 W. RANCH TRAIL, ROCKWALL, TEXAS 75087
 972.982.2822 • Fax: 972.982.2828 • www.claymoore.com



**RANCH TRAIL
ROCKWALL, TEXAS**

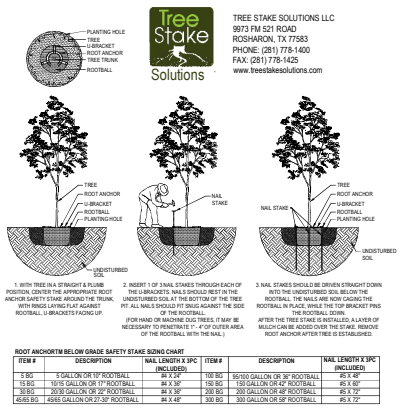
LANDSCAPE DETAILS

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| DRAWING | CWP |
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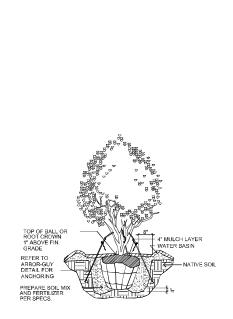
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L-3

File No. 2010-001

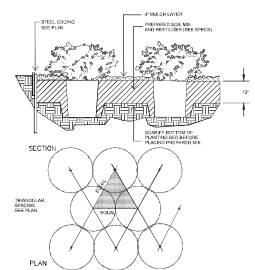
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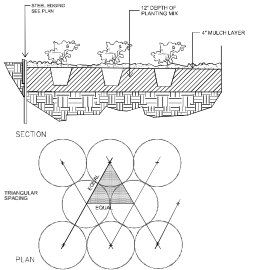
1 CANOPY TREE PLANTING
SCALE: NONE



2 MULTI-TRUNK PLANTING
SCALE: NONE



3 SHRUB PLANTING
SCALE: NONE



4 GROUNDCOVER PLANTING
SCALE: NONE



City of Rockwall

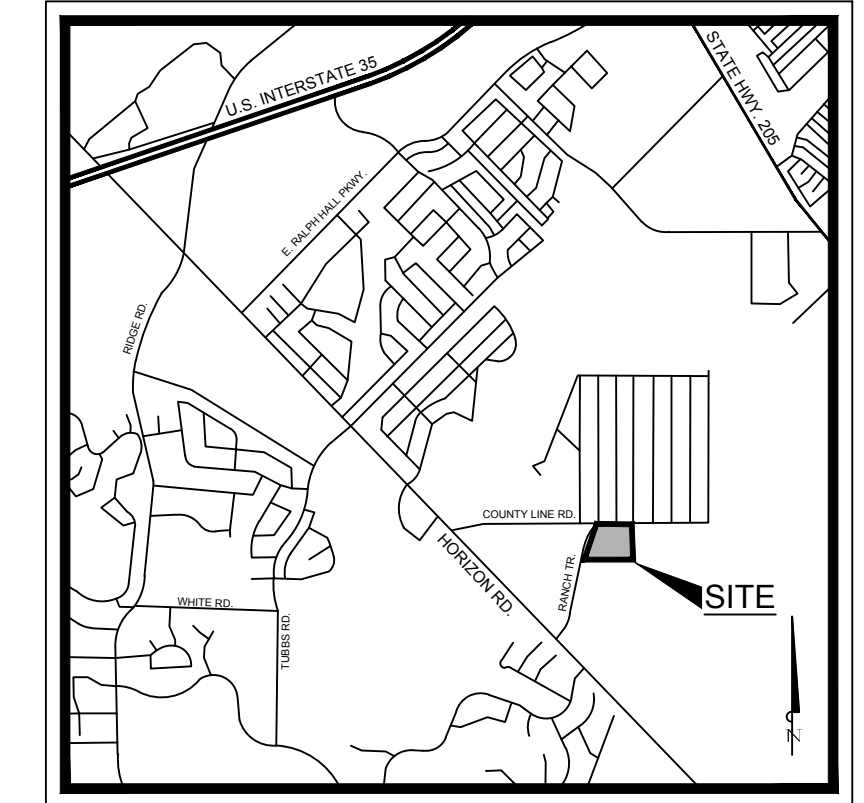
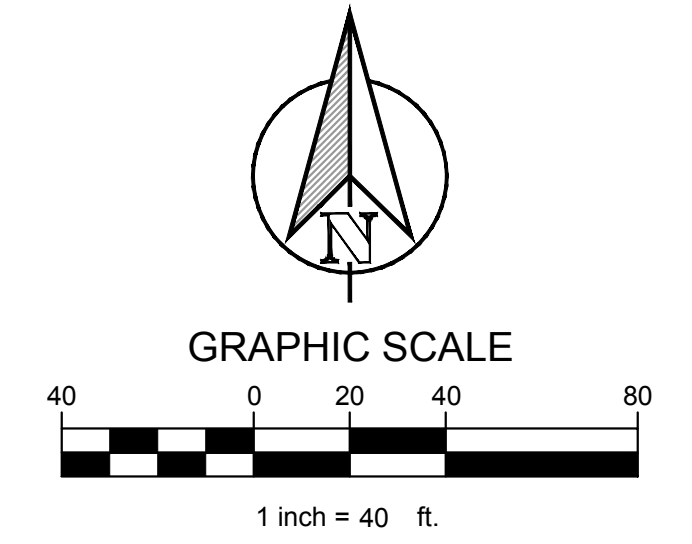
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



| SITE DATA TABLE | |
|---------------------|---------------------------------------|
| SITE AREA | 7.52 AC 327,554 SF |
| ZONING | C - COMMERCIAL |
| PROPOSED USE | COMMERCIAL |
| BUILDING SIZE | 11 BLDG @ 4,999 SF 54,989 SF TOTAL |
| LOT COVERAGE | 36.9% |
| FLOOR TO AREA RATIO | 0.17 : 1 |
| BUILDING HEIGHT | 1 STORY |

| PARKING TABLE | |
|----------------------|--|
| PARKING REQUIREMENTS | 3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR |
| PARKING REQUIRED | 209 SPACES |
| PARKING PROVIDED | 250 SPACES |
| ADA REQUIRED | 7 SPACES |
| ADA PROVIDED | 11 SPACES |



VICINITY MAP
N.T.S.

| CONSTRUCTION SCHEDULE | |
|-----------------------|-----------------------------------|
| [Symbol] | STANDARD DUTY (5" CONCRETE) |
| [Symbol] | HEAVY DUTY (6" CONCRETE) |
| [Symbol] | DUMPSTER PAD (7" CONCRETE) |
| [Symbol] | PROPOSED SIDEWALK CONCRETE |
| [Symbol] | PROPOSED CONCRETE CURB AND GUTTER |
| [Symbol] | PROPOSED FIRE LANE |
| [Symbol] | PARKING COUNT |

| CONSTRUCTION SCHEDULE | |
|-----------------------|---------------------------------|
| [Symbol] | HANDICAP SYMBOL |
| [Symbol] | PAVEMENT STRIPING |
| [Symbol] | PARKING STALL STRIPING, 4" WIDE |
| [Symbol] | SIDEWALK, 5FT MIN. WIDTH |
| [Symbol] | ADA ACCESSIBLE RAMP |

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1105 CHESTNUT RIDGE RD. SUITE #1
 COLLEGEVILLE, TX 76046
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 CLAY CRISTY
 Engineer
 P.E. No. 109800 Date 1/18/2019

**RANCH TRAIL
 ROCKWALL, TEXAS**

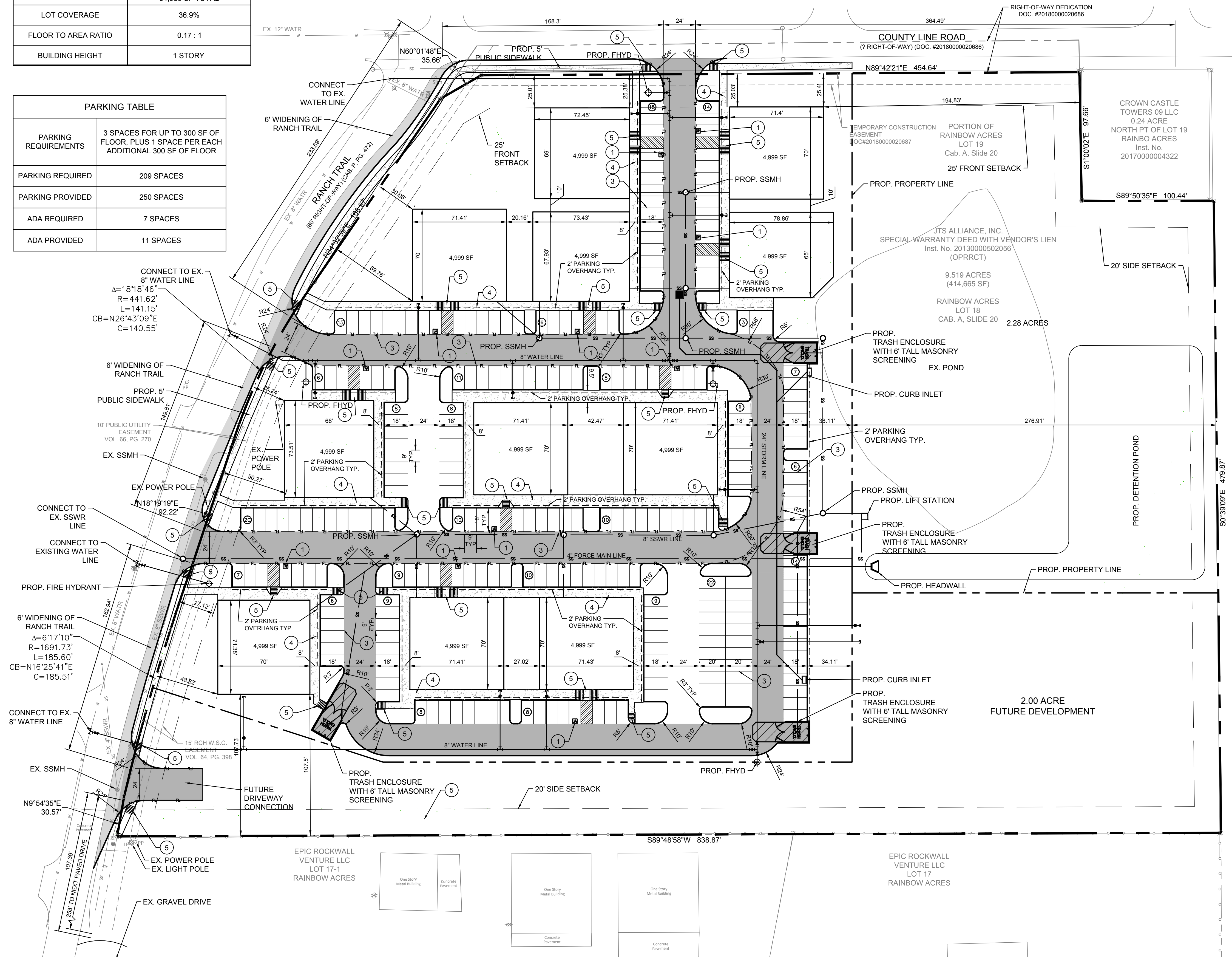
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|-----|------|----------|----|
| | | | |
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| | | | |

CITY SITE PLAN

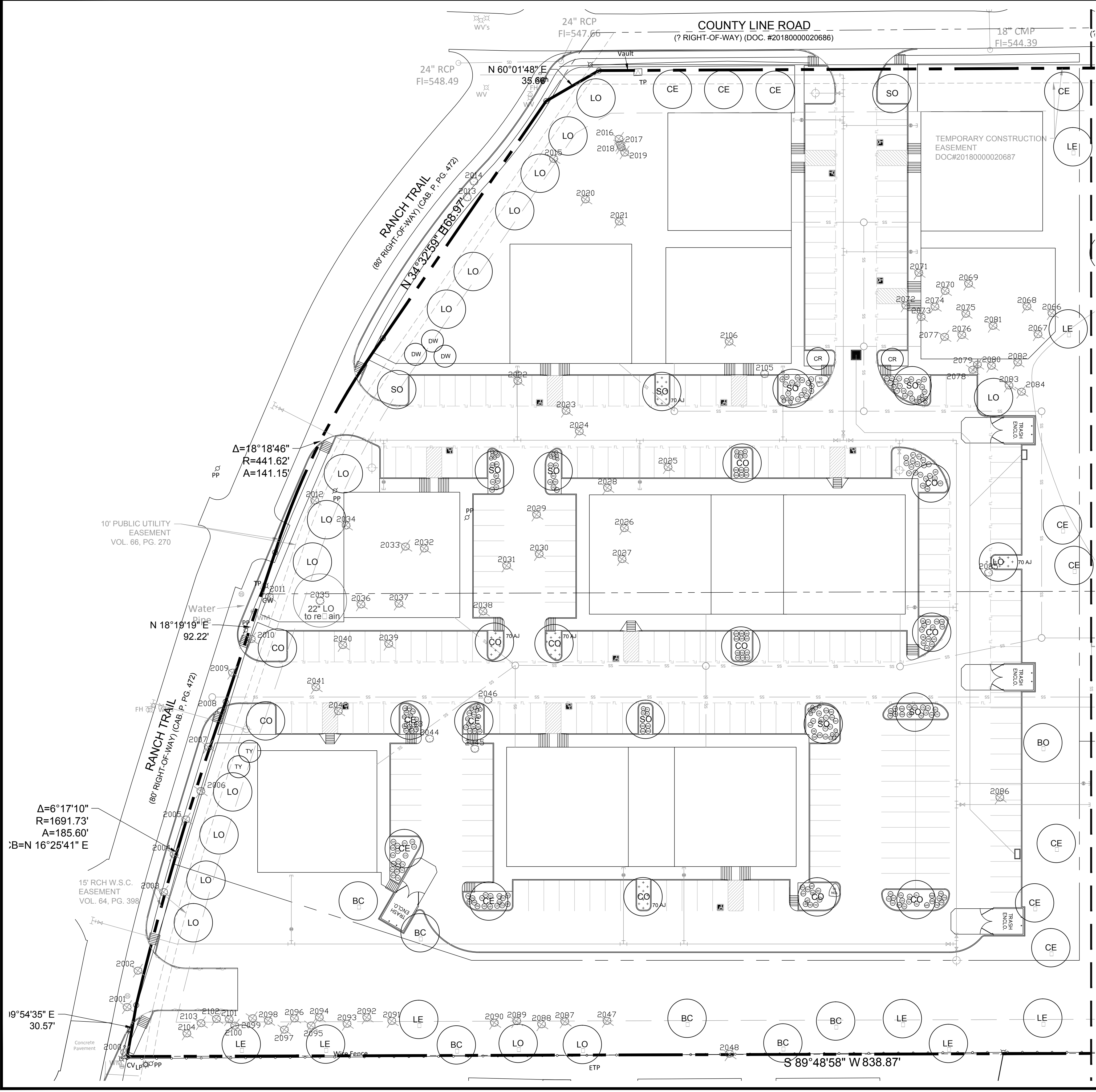
| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.76 | |
| OWNER: JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032 | |
| APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 | |
| CASE NUMBER X | |

| | |
|----------------------|-----------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CLC |
| DATE: | 1/11/2019 |
| SHEET SP-1 | |
| File No. | 2019-001 |

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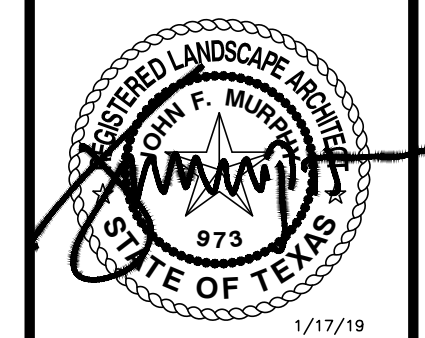
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integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7529 Cross Gate Way
 Tyler, TX 75703
 john@siteint.com
 scott@siteint.com

TEXAS REGISTRATION #14199

 PHONE: 917.281.0032
 WWW.GLAYMOORE.COM
 1105 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75844



**RANCH TRAIL
 ROCKWALL, TEXAS**

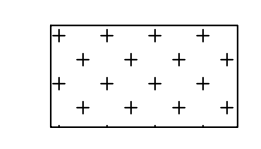
TREE LEGEND

- Cano Trees
 SO Standard Oak BO Birch Oak
 LE Bosque Elm CO Chinquapin Oak
 LO Live Oak CE Cedar Elm
 BC Bald Cypress
 Millation trees
 2021 Existing trees to be retained
- Ornamental Trees
 CR Crabapple TY Tree Yucca
 DW Desert Willow

SHRUB LEGEND

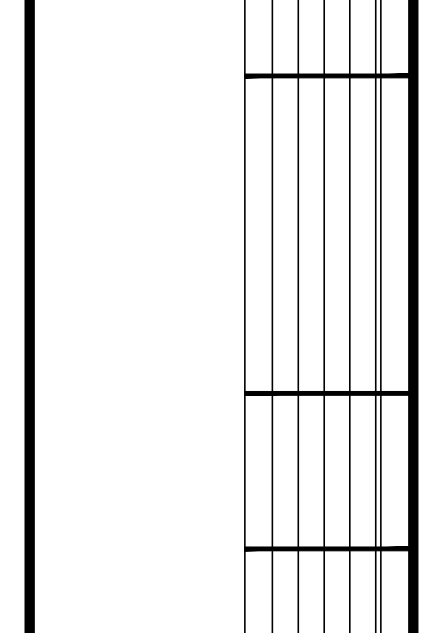
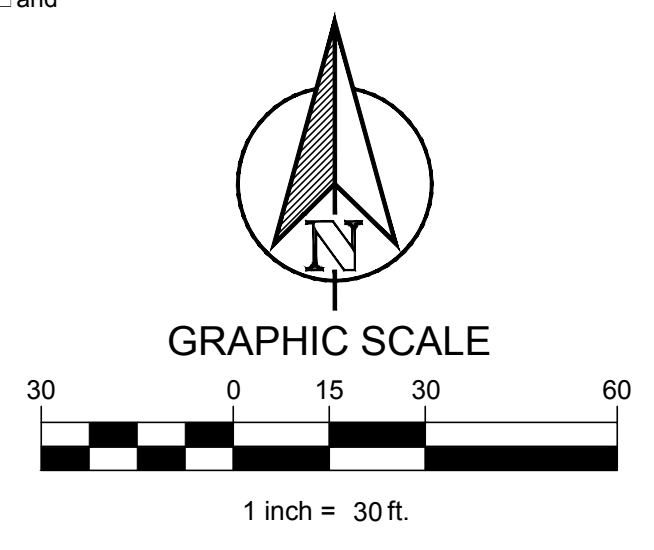
- DY Dwarf Yucca TC Texas Cactus
 DA Dwarf Abelia HD Harbor Dogwood
 BA Barberris GL Giant Liriodendron
 MF Mexican Feather Grass TX Texas Sage
 WM Dwarf Wax Myrtle PM Pin Millbush
 RY Red Yucca CS Cherokee Sage
 DB Dwarf Bradford Holly GC Green Cloud Sage
 NGL New Gold Lantana RO Rose of Sharon
 CO Coreopsis AJ Asian Jasmine
 DIH Dwarf Indian Hawthorne

HATCH LEGEND

-  Asian Jasmine

LANDSCAPE NOTES

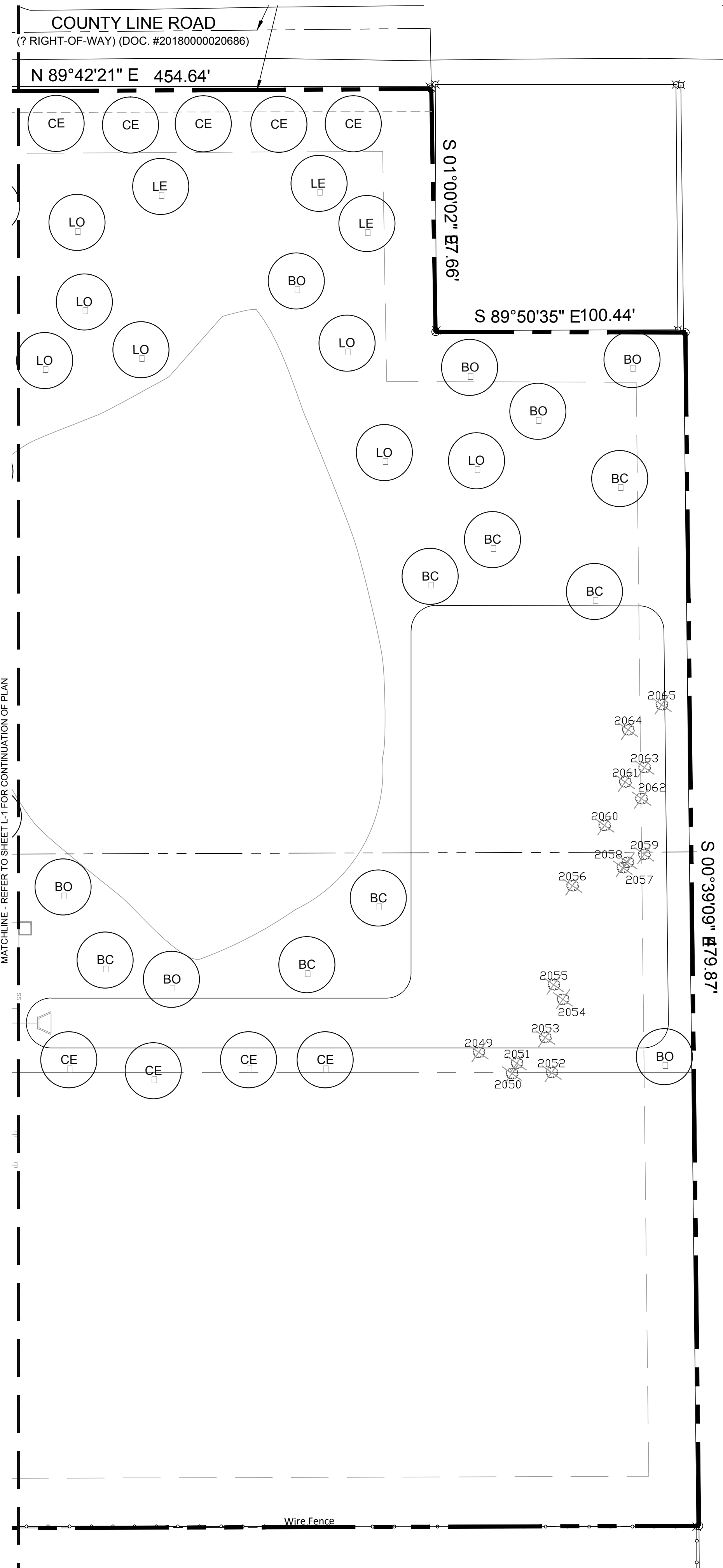
- The project will have an under ground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of amended planting soil (75% topsoil, 15% composted amendment, 10% washed sand)
- Shredded hardwood mulch must contain long strands along with double shredded material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil cation and organic percentage.
- Solid sod all areas disturbed by construction activities.



LANDSCAPE PLAN

DESIGN: CWP
 DRAWN: CWP
 CHECKED: CLC
 DATE: 01/17/2019
 SHEET
L-1
 File No. 2019-001

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 PLOT DATE: 1/17/2019 11:39 PM
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 LAST SAVED: 1/17/2019 9:23 AM



TREE LEGEND

- Canopy Trees**
- SO Shagbark Oak
 - BO Boxelder
 - LE Bosque Elm
 - CO Chinquapin Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - Mitigation trees
 - 2021 Existing trees to be re-located
- Ornamental Trees**
- CR Crabapple
 - TY Tree Yucca
 - DW Desert Willow

SHRUB LEGEND

- DY Dwarf Yucca
- DA Dwarf Abelia
- BA Barberris
- MF Mexican Feather Grass
- WM Dwarf Wax Myrtle
- RY Red Yucca
- DB Dwarf Burford Holly
- NGL New Gold Lantana
- CO Coreopsis
- DIH Dwarf Indian Hawthorne
- TC Texas Canna
- HD Harbor Dwarf Nandina
- GL Giant Liriodendron
- TX Texas Sage
- PM Pinelake
- CS Cherris Sage
- GC Green Cloud Sage
- RO Rosemary
- AJ Asian Jasmine

HATCH LEGEND

- Asian Jasmine

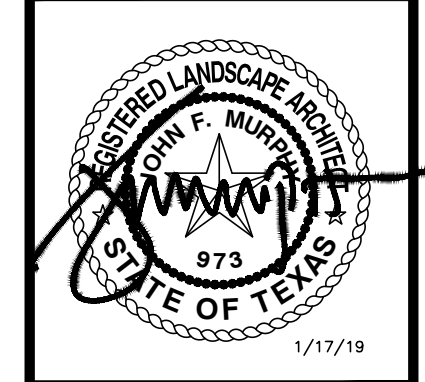
LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import soil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shredded finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil pH and organic percentage.
- Solid sod all areas disturbed by construction activities.


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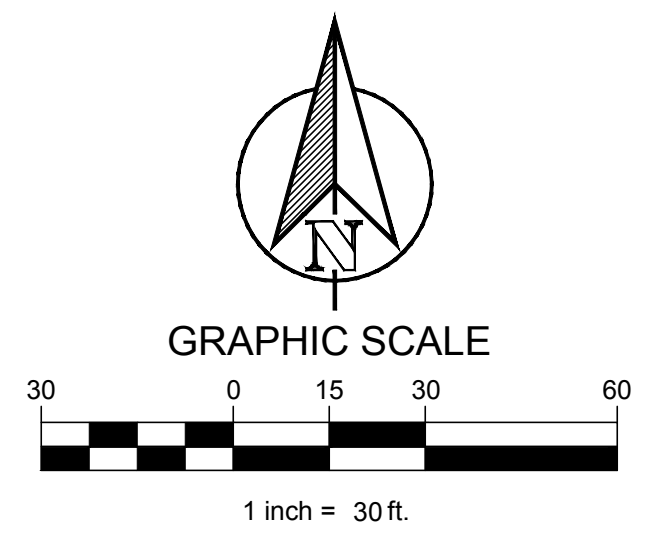


RANCH TRAIL
ROCKWALL, TEXAS

| | |
|--|--|
| | |
| | |
| | |
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| | |

LANDSCAPE PLAN

| | |
|----------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CLC |
| DATE: | 01/17/2019 |
| SHEET | |
| L-2 | |
| File No. | 2019-001 |



PLANT LIST

| CANOPY TREES | | | |
|-----------------------|-----|------------------------|--|
| 11 | LE | Lacebark Elm | Ulmus caroliniflora 3" cal. B&B 12' ht. 5' spread |
| 24 | LO | Lilac Oak | Quercus priniana 3" cal. B&B 12' ht. 5' spread |
| 11 | CO | Chinquapin Oak | Quercus chenberla 3" cal. B&B 12' ht. 5' spread |
| 22 | CE | Cedar Elm | Ulmus crassifolia 3" cal. B&B 12' ht. 5' spread |
| 13 | BC | Bald Cypress | Taxodium distichum 3" cal. B&B 12' ht. 5' spread |
| 10 | SO | Shard Oak | Quercus sharardii 3" cal. B&B 12' ht. 5' spread |
| 8 | BO | Burr Oak | Quercus macrocarpa 3" cal. B&B 12' ht. 5' spread |
| ORNAMENTAL TREES | | | |
| 2 | TY | Tree Yucca | Ilex coccinea 30 cal. 8' ht. 3' spread |
| 2 | CR | Crape Myrtle | Lagerstroemia indica 'Tuscarora' 30 cal. 8' ht. 3' spread |
| 3 | DW | Desert Willow | Chilopsis linearis 'Tidless Beauty' 30 cal. 6' ht. 2 1/2" cal. 6 in. |
| SHRUBS & GROUNDCOVERS | | | |
| 9 | DY | Dwarf Yucca | Ilex coccinea 'Nana' 5 cal. 36" oc |
| 21 | DA | Dwarf Abelia | Abelia grandiflora 'Ed. Goucher' 5 cal. 36" oc |
| 12 | BA | Barberry | Berberis thunbergii 5 cal. 36" oc |
| 25 | MF | Mexican Feather Grass | Nassella tenuissima 1 cal. 18" oc |
| 5 | WM | Dwarf Wax Myrtle | Mitrasacme 5 cal. 36" oc |
| 15 | RY | Red Yucca | Hesperaloe parviflora 5 cal. 36" oc |
| 11 | DB | Dwarf Bradford Holly | Ilex cornuta 'Bradfordii' 5 cal. 36" oc |
| 20 | NGL | New Gold Lantana | Lantana 'New Gold' 1 cal. 24" oc |
| 15 | CO | Coreopsis | Coreopsis 'Earl of Strife' 1 cal. 24" oc |
| 24 | DIH | Dwarf Indian Hawthorne | Raietia indica 'Pinet' 5 cal. 36" oc |
| 14 | TC | Texas Camellia | Malaica arborea 1 cal. 24" oc |
| 32 | HD | Harbor Dwarf Nandina | Nandina 'Harbor Dwarf' 1 cal. 18" oc |
| 14 | GL | Giant Liriodendron | Liriodendron 3 cal. 36" oc |
| 14 | TX | Texas Sage | Leucophyllum frutescens 'Silverado' 5 cal. 36" oc |
| 23 | PM | Pink Muhly | Muhlenbergia caillaris 1 cal. 30" oc |
| 23 | CS | Cherry Sage | Salvia 1 cal. 30" oc |
| 16 | GC | Green Cloud Sage | Leucophyllum frutescens 5 cal. 36" oc |
| 2 | RO | Rosemary | Rosemarinus 5 cal. 36" oc |
| 350 | AJ | Asian Jasmine | Trachelosperum asiaticum 1 cal. 18" oc |

**City of Rockwall, Texas
LANDSCAPE CALCULATIONS**

| | | | |
|--------------------|------------|-----------|------------------|
| Total Lot Area | 414,665 SF | Required | Provided |
| Landscape Area 10% | | 41,467 SF | 135,609 SF (32%) |

| | | | |
|---------------------|--|----------|----------|
| Street Buffer Trees | 1 Shade tree 3" cal. per 50 LF of frontage | Required | Provided |
| Ranch Trail | 618.51 LF | 13 | 13 |
| County Line Road | 454.64 LF | 9 | 9 |

| | | |
|--|----------|----------|
| Perin Lot Landscape | Required | Provided |
| Perin Spaces 257 1 tree per 10 spaces | 26 | 26 |

Tree Mitigation

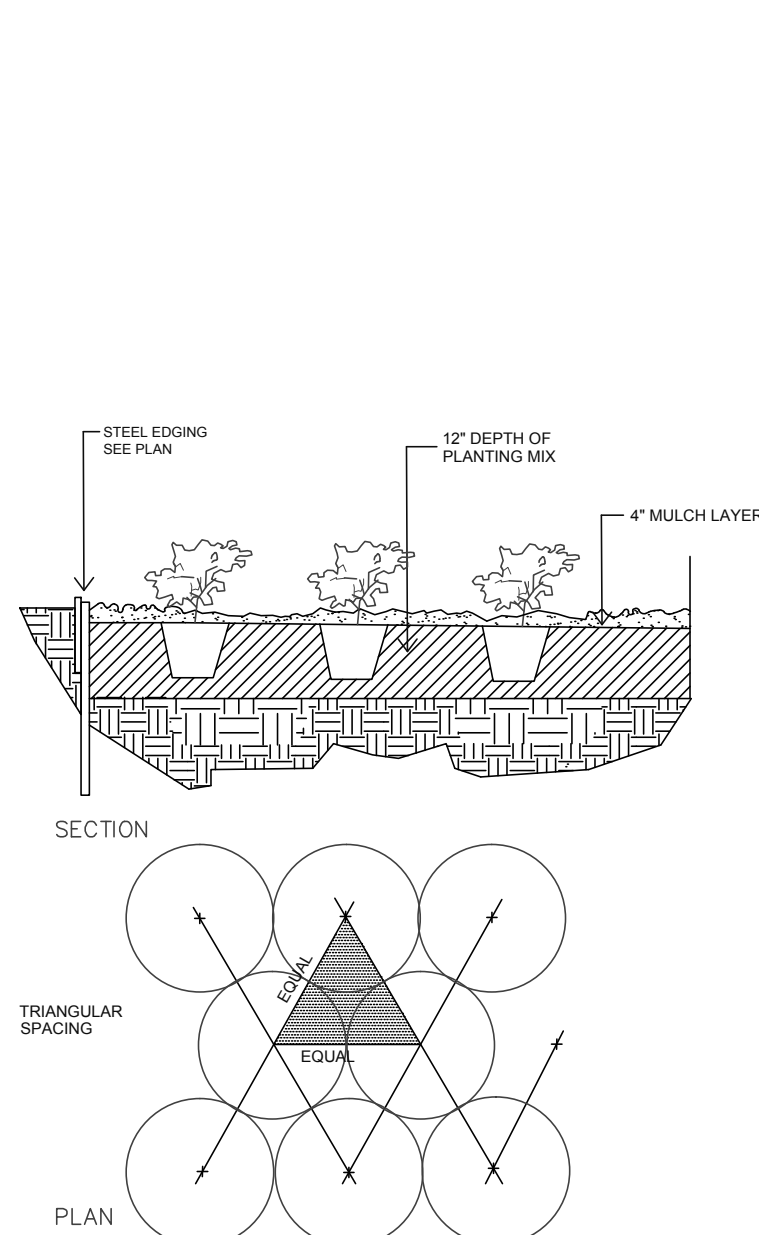
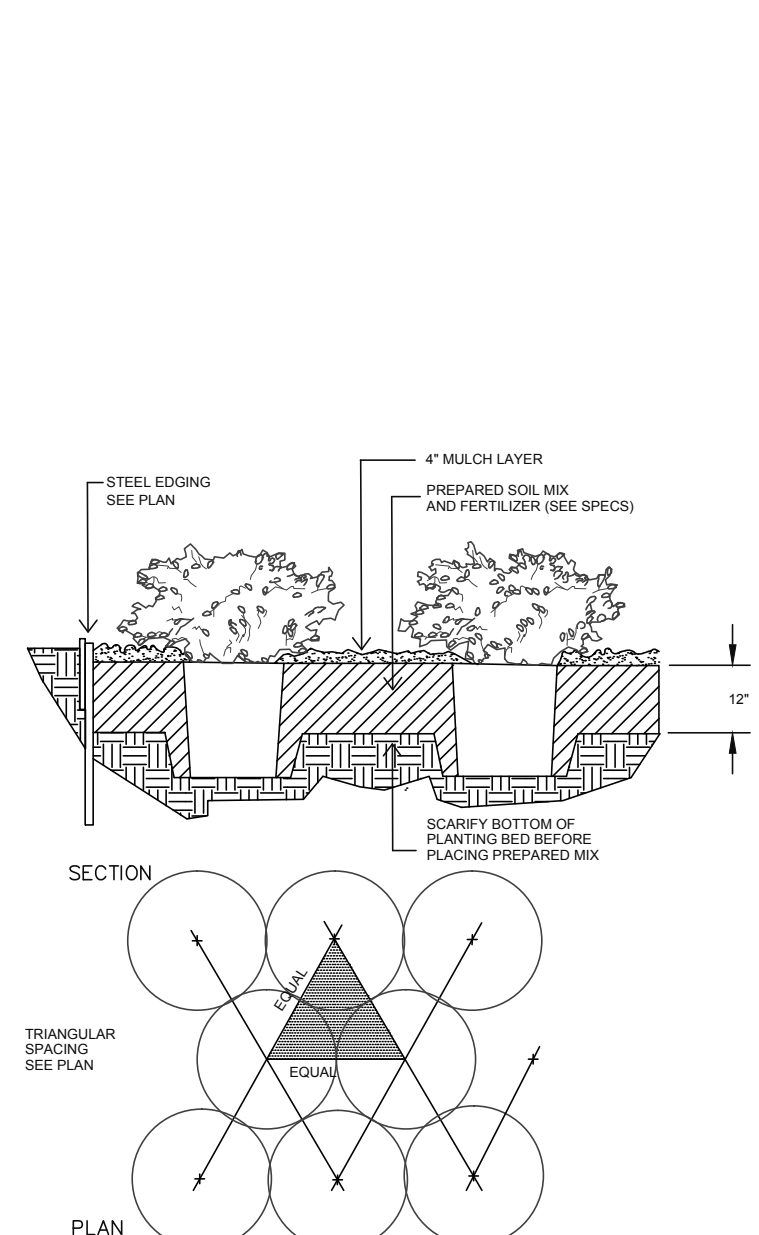
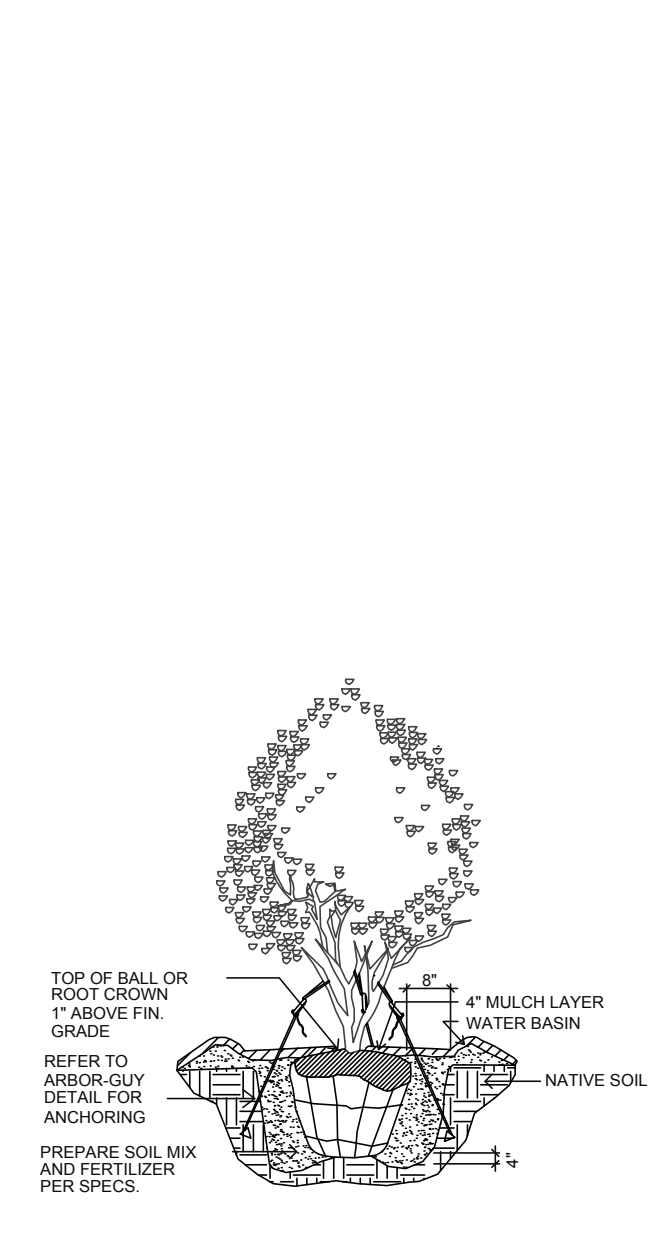
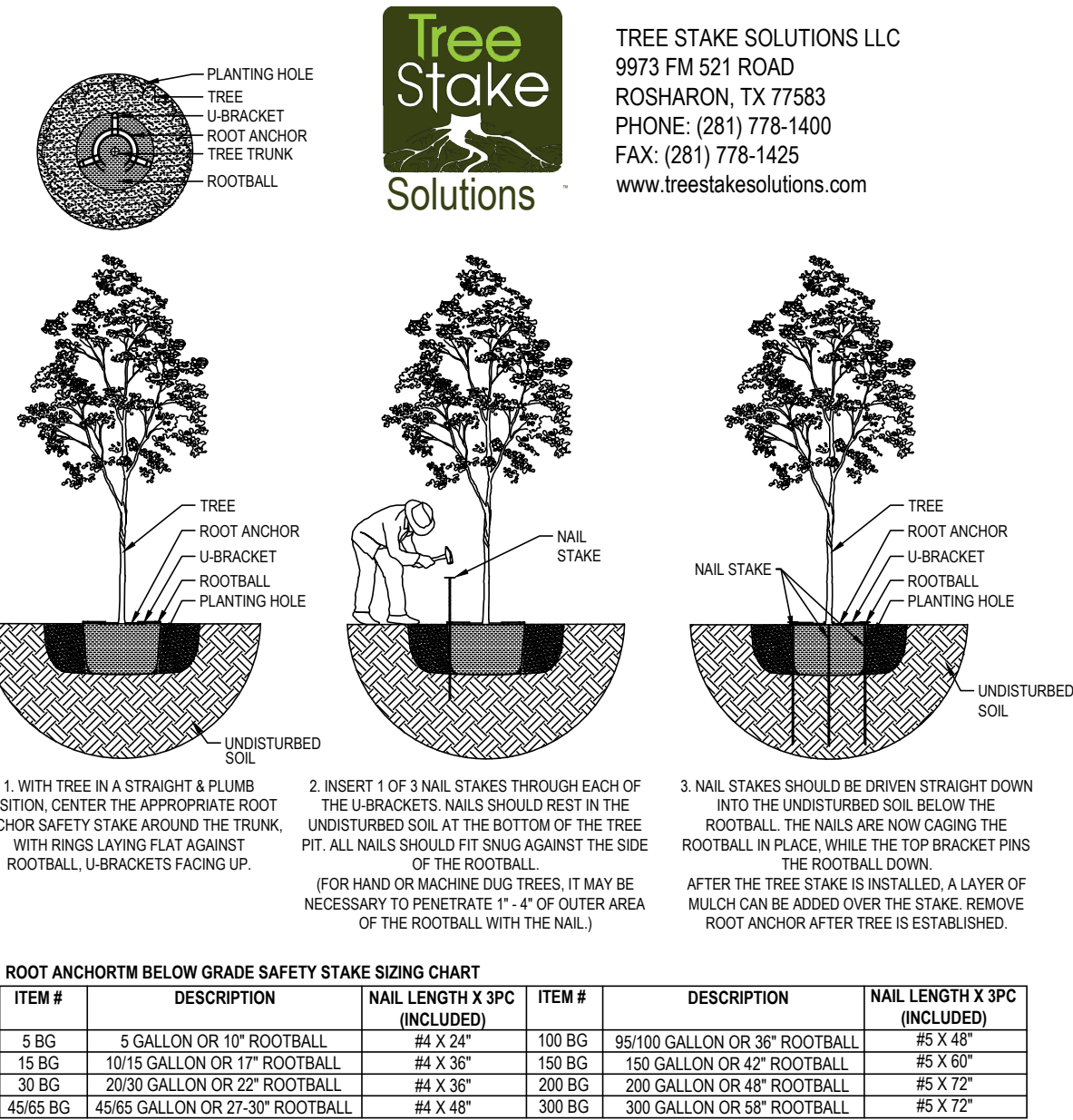
Primary tree inches removed - 38.5"
Secondary tree inches removed - 967 / 2 = 483.5"
Total protected inches removed - 522"

Net mitigation inches provided - 150"
Remainder mitigation to be laid into tree fund

EXISTING TREE LIST

| Number | Size | Type | Number | Size | Type |
|--------|-------------|-----------------|--------|-----------|-----------|
| 2000 | 8" 8" | Hackberry | 2054 | 8" | Hackberry |
| 2001 | 13" | Cedar | 2055 | 10" 17" | Hackberry |
| 2002 | 7" 10" 10" | Cedar | 2056 | 7" 9" | Ash |
| 2003 | 16" | Cedar | 2057 | 11" | Hackberry |
| 2004 | 17" | Cedar | 2058 | 8" | Hackberry |
| 2005 | 15" | Cedar | 2059 | 8" | Hackberry |
| 2006 | 12" | Cedar | 2060 | 8" | Hackberry |
| 2007 | 16" | Cedar | 2061 | 7" | Hackberry |
| 2008 | 26" | Cedar | 2062 | 8" | Hackberry |
| 2009 | 10" 13" 18" | Cedar | 2063 | 8" | Hackberry |
| 2010 | 10" | Cedar | 2064 | 10" | Hackberry |
| 2011 | 8" | Oak | 2065 | 8" | Hackberry |
| 2012 | 12" | Hackberry | 2066 | 16" | Hackberry |
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| 2026 | 12" | Hackberry | 2080 | 12" | Hackberry |
| 2027 | 12" | Hackberry | 2081 | 9" | Hackberry |
| 2028 | 11" | Cedar | 2082 | 13" | Hackberry |
| 2029 | 22" | Hackberry | 2083 | 8" | Hackberry |
| 2030 | 27" | Cedar | 2084 | 13" | Hackberry |
| 2031 | 8" | Hackberry | 2085 | 11" | Cedar |
| 2032 | 10" | Hackberry | 2086 | 13" | Cedar |
| 2033 | 16" | Hackberry | 2087 | 10" | Cedar |
| 2034 | 8" | Hackberry | 2088 | 10" | Cedar |
| 2035 | 22" | Live Oak | 2089 | 10" | Cedar |
| 2036 | 23" | Mulberry | 2090 | 10" | Cedar |
| 2037 | 17" | Mulberry | 2091 | 8" | Cedar |
| 2038 | 32" | Mulberry | 2092 | 12" | Cedar |
| 2039 | 17" | Mulberry | 2093 | 8" 12" | Cedar |
| 2040 | 15" | Mulberry | 2094 | 8" | Cedar |
| 2041 | 18" | Oak | 2095 | 10" | Cedar |
| 2042 | 8" | Cedar | 2096 | 10" | Cedar |
| 2043 | 14" | Mulberry | 2097 | 10" | Cedar |
| 2044 | 12" | Hackberry | 2098 | 12" | Cedar |
| 2045 | 8" 10" 10" | Hackberry | 2099 | 10" | Cedar |
| 2046 | 10" | Hackberry | 2100 | 8" | Cedar |
| 2047 | 16" | Cedar | 2101 | 10" | Cedar |
| 2048 | 12" | Cedar | 2102 | 10" | Cedar |
| 2049 | 10" | Hackberry | 2103 | 8" | Cedar |
| 2050 | 10" | Hackberry | 2104 | 15" | Cedar |
| 2051 | 10" 10" | Hackberry | 2105 | 10" | Hackberry |
| 2052 | 12" | Hackberry | 2106 | 10" | Hackberry |
| 2053 | 8" | Hackberry | | | |

* = PRESERVED TREE



1 CANOPY TREE PLANTING
SCALE: NONE

2 MULTI-TRUNK PLANTING
SCALE: NONE

3 SHRUB PLANTING
SCALE: NONE

4 GROUNDCOVER PLANTING
SCALE: NONE

PLOTTED BY: SCOTTFULLER
 PLOT DATE: 1/17/2019 9:25 AM
 LOCATION: C:\USERS\SCOTTFULLER\DOCUMENTS\AUTOCAD_L\RD\RANCH TRAIL\RANCH TRAIL.LS.DWG
 LAST SAVED: 1/17/2019 8:55 AM

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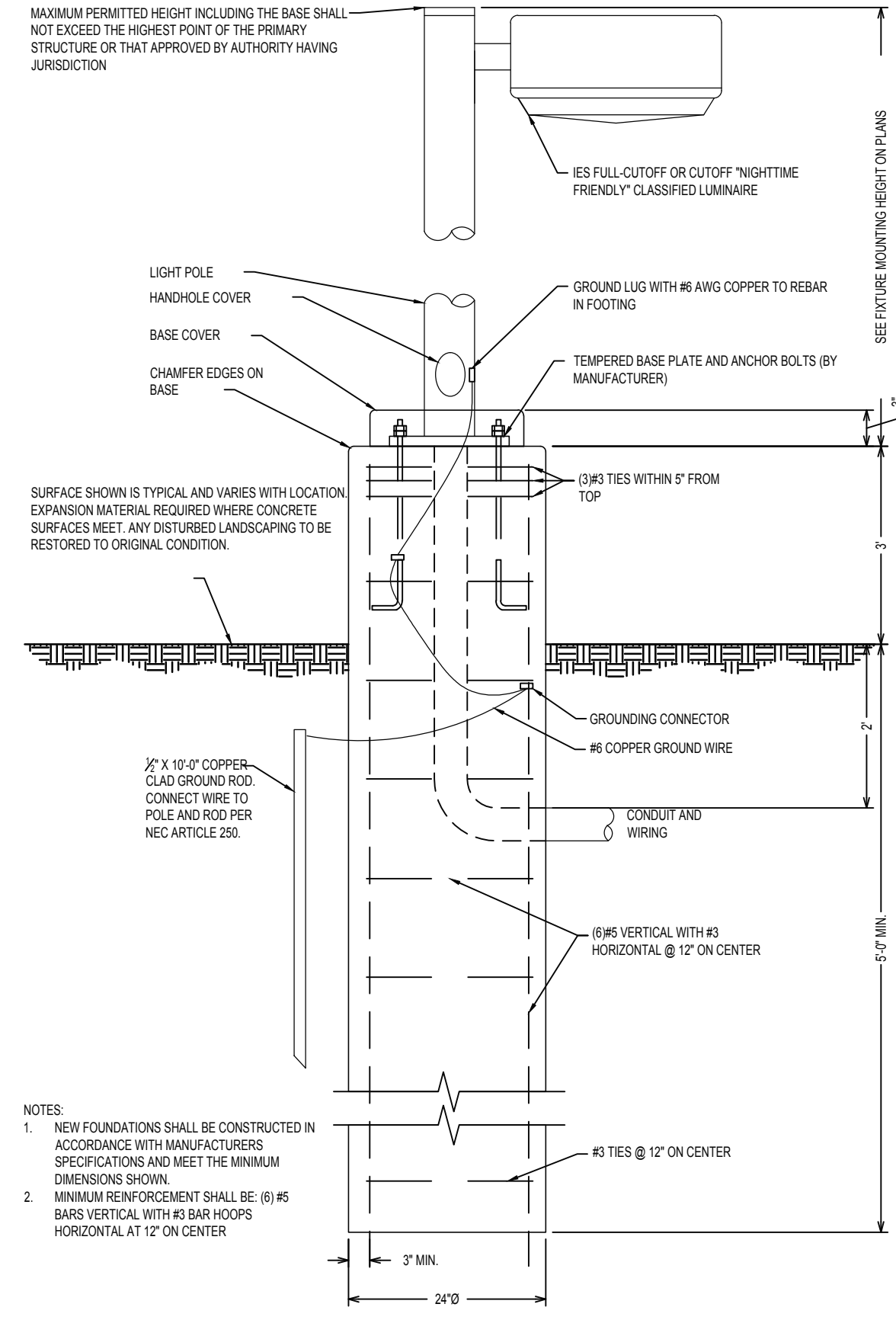
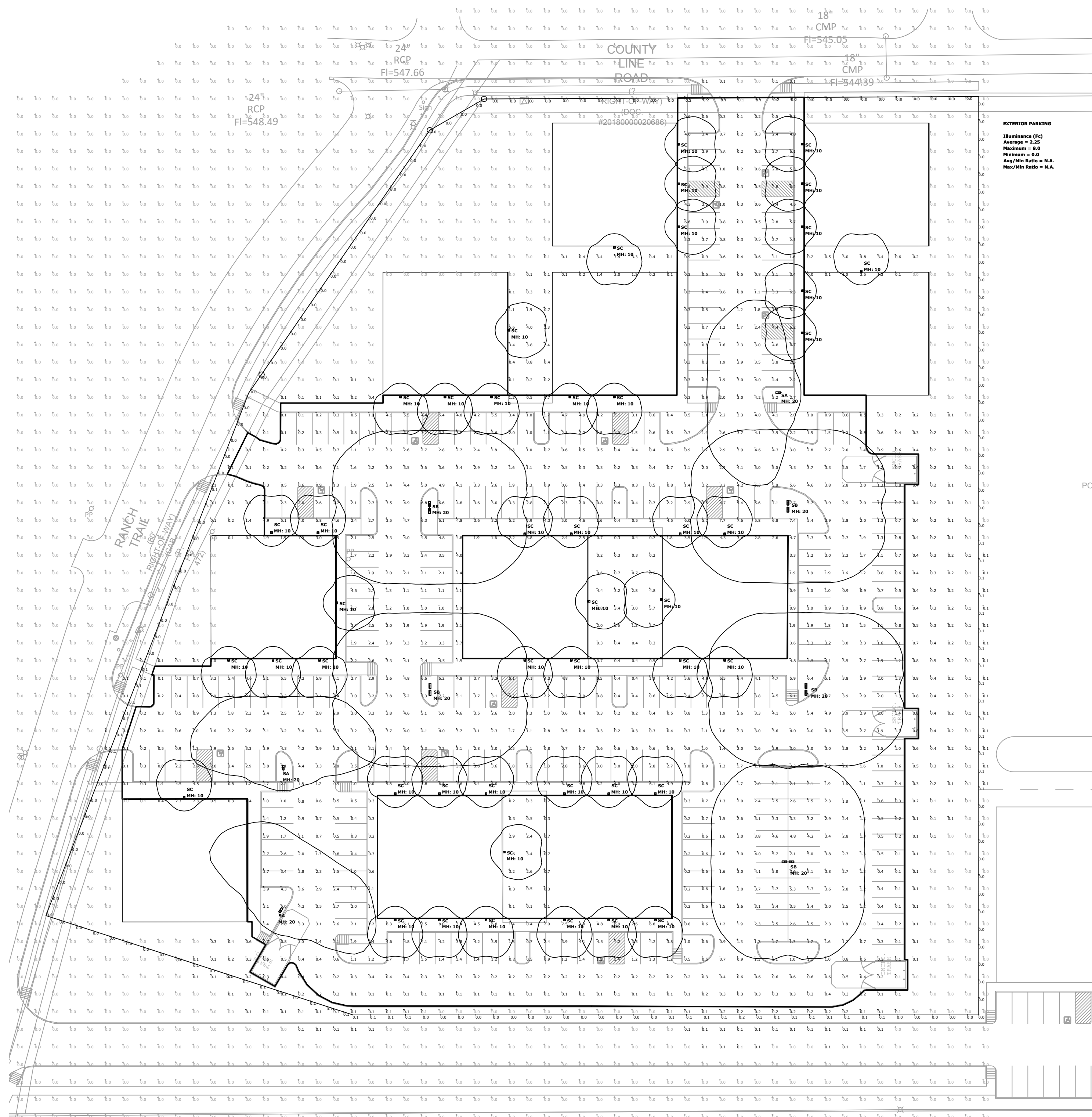
**RANCH TRAIL
ROCKWALL, TEXAS**

LANDSCAPE DETAILS

DESIGN: CWP
DRAWN: CWP
CHECKED: CLC
DATE: 01/17/2019

SHEET
L-3

File No. 2019-001



1 TYPICAL LIGHT POLE AND BASE
NOT TO SCALE

SITE PHOTOMETRIC NOTES

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.
2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT
3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN ADJACENT PROPERTIES.

| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
|--------|------|-----|---|--------------------|-------------------|----------------|-------------------|---------------------|
| SA | SA | 3 | LITHONIA_DSX1-LED-P6-40K-T3M-MVOLT-[MOUNTING]-[OPTIONS]-[FINISH]-DM19AS | 13452 | 163 | 1.000 | 0.808 | 1.000 |
| SB | SB | 5 | LITHONIA_DSX1-LED-P6-40K-T3M-MVOLT-[MOUNTING]-[OPTIONS]-[FINISH]-DM28AS | 36984 | 326 | 1.000 | 0.808 | 1.000 |
| SC | SC | 46 | LITHONIA_KAXX-LED-P1-40K-R4-MVOLT-[OPTIONS]-[FINISH] | 3644 | 29 | 1.000 | 0.808 | 1.000 |

| Calc. Location | Calc. Height (FT.) | Units | Avg | Max | Min | Avg/Min |
|------------------|--------------------|-------|------|-----|-----|---------|
| CalcPt. 1 | N.A. | Fc | 0.03 | 0.2 | 0.0 | N.A. |
| CalcPt. 2 | N.A. | Fc | 0.05 | 0.2 | 0.0 | N.A. |
| SITE Planar | 0 | Fc | 0.77 | 8.0 | 0.0 | N.A. |
| EXTERIOR PARKING | | Fc | 2.25 | 8.0 | 0.0 | N.A. |

- ELECTRICAL LIGHTING AND POWER NOTES**
1. ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS.
 2. LOADING AND BREAKER LAYOUT SHOWN IS BASED ON BEST AVAILABLE DATA. SPECIALTY, MEDICAL OR IT EQUIPMENT AND APPLIANCES, ETC MAY NEED SEPARATE CIRCUITS. INSTALLING ELECTRICIAN TO VERIFY ACTUAL EQUIPMENT WATTS AND SUPPLY CORRECT EQUIPMENT AS NEEDED.
 3. ALL RECEPTACLES SHALL BE GFCI PROTECTED IF REQUIRED BY NEC OR AHJ.
 4. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED WITH WEATHERPROOF IN-USE COVERS.
 5. ALL RECEPTACLES IN AREAS GENERALLY OCCUPIED BY CHILDREN INCLUDING CLASSROOMS, PATIENT EXAM ROOMS, WAITING ROOMS, RESTROOMS, HALLWAYS AND GYMS TO BE TAMPER-RESISTANT.
 6. ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL.
 7. ALL LIGHTING AND CONTROLS SHALL CONFORM TO CURRENT IECC SECTION C405.2
 8. EMERGENCY ELECTRICAL SYSTEM AS LOCATED ON THIS PLAN SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND AN INITIAL ILLUMINATION OF AN AVERAGE 1 FOOTCANDLE. EMERGENCY POWER SYSTEM TO BE IN COMPLIANCE WITH IBC SECTION 1006.
 9. ALUMINUM CONDUCTORS GREATER THAN 2/0 (APPROX 200 AMPS) CAN BE USED FOR THE INDIVIDUAL SERVICE.
 10. OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 11. CONTRACTOR TO CONTACT UNDERDESIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

- MEP GENERAL NOTES**
1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
 2. CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO INSTALLATION.
 3. REVIEW PLAN SHEET "MEP0 - MEP NOTES" PRIOR TO PERMITTING, BIDDING AND CONSTRUCTION.
 4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.
 5. SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
 6. SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
 7. WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
 8. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
 9. DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATION OCCURRING ON THE PROJECT THAT ARE OR SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.

AME Engineering, Inc.
 TEXAS FIRM F-16469
 mail@ameengineer.com | ofc 817-653-4122 | fax 817-754-6615
 3825 W Green Oaks Blvd Suite 200, Arlington TX 76016-2700

OWNER REVIEW: 01-18-2018

ISSUE:

DATE: JAN 2019

PROJECT NO: 2019001

DRAWN BY:

CHECKED BY:

OFFICE/WAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT

2 ESSEX COURT
 HEATH, TX 75032

CARROLL architects

750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

RANCH TRAIL ROCKWALL, TX 75087
 LEGAL DESCRIPTION AND OR ADDRESS:

RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES

OWNER
 JT Alliance, Inc.
 16 Meadowlake Drive
 Heath, TX 75032

APPLICANT
 Carroll Architects, INC
 750 E. Interstate 30 #110
 Rockwall, TX 75087
 Ph: 972-732-6085 Email: jc@carrollarch.com

CASE NUMBER
 2018XXX

DATE: JAN 2019 SHEET NO:

PROJECT NO: 2019001

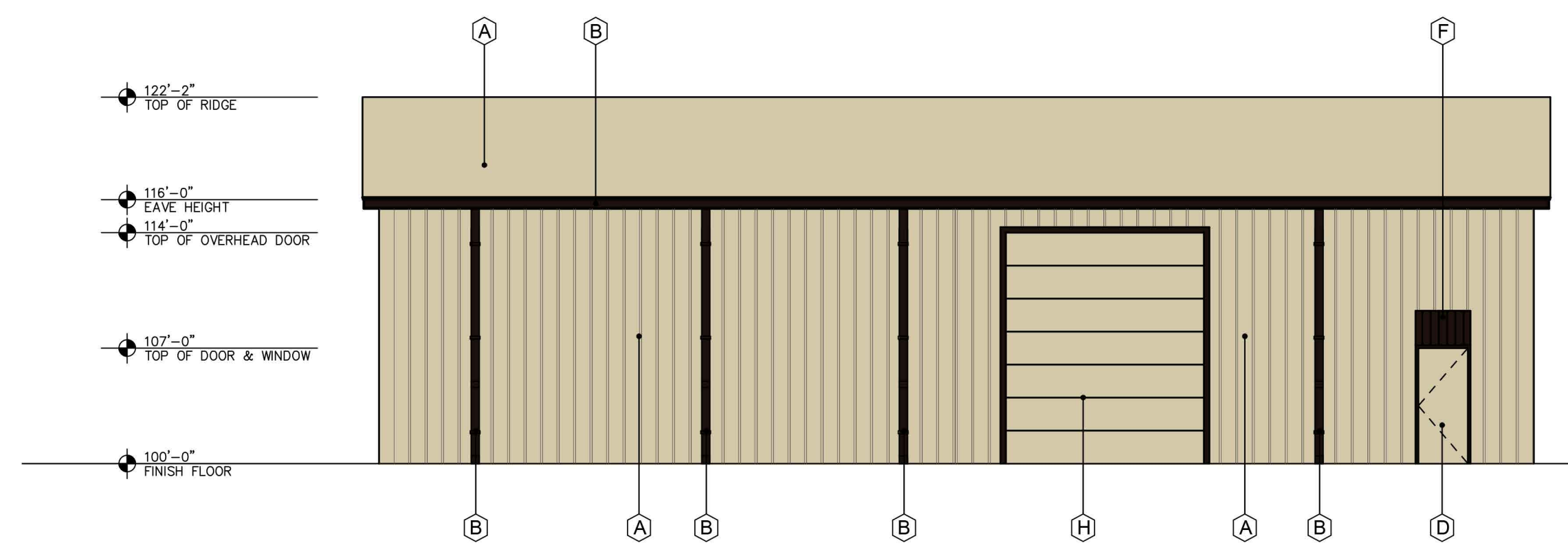
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CHECKED BY:

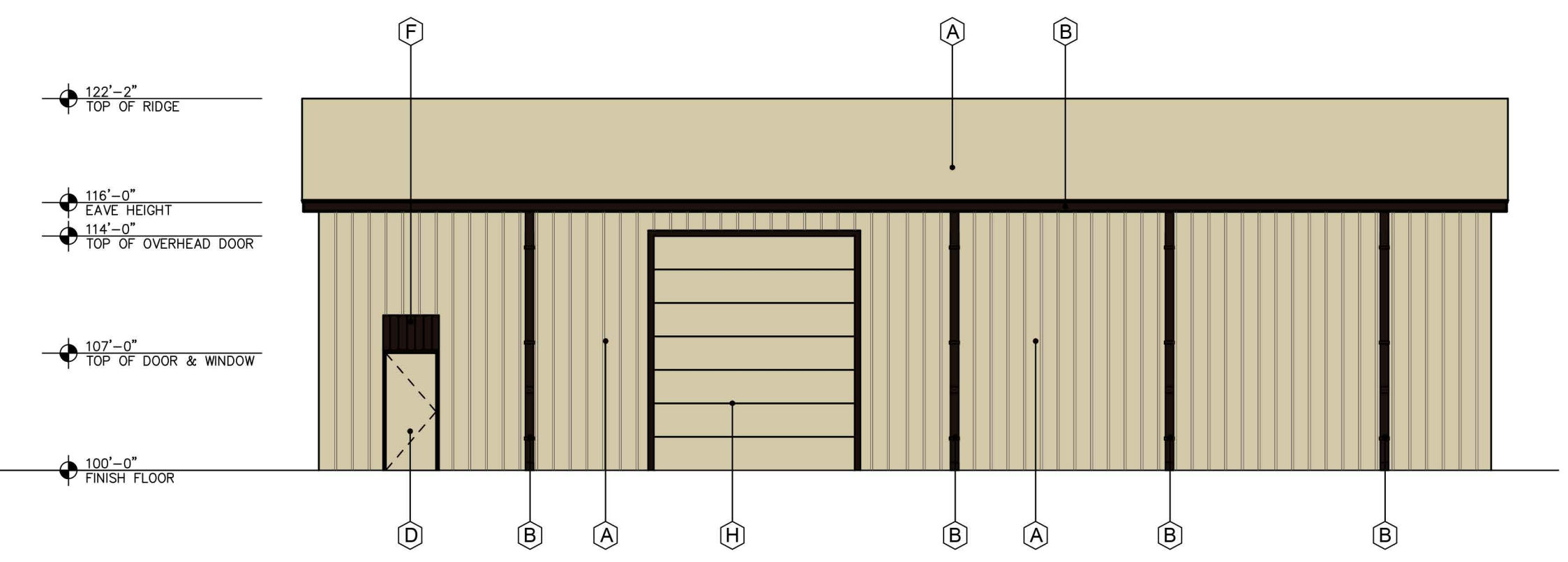
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407 RANCH TRAIL
ROCKWALL, TX 75032

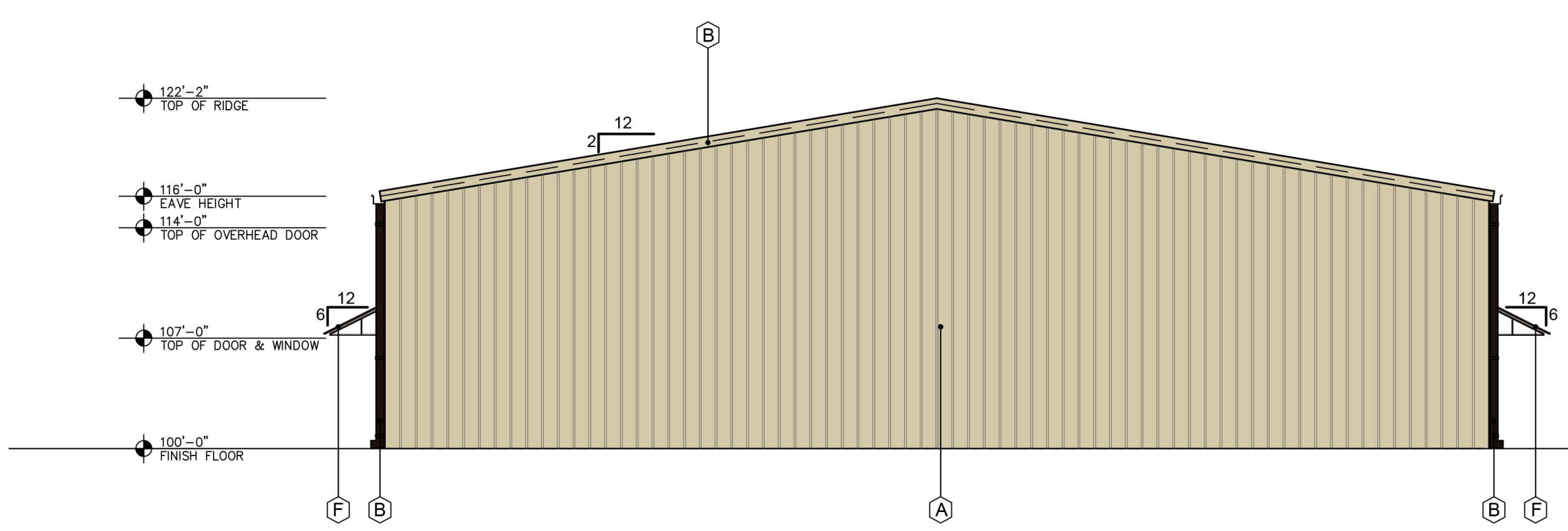
| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS. COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM. COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR -12x14 COLOR: MATCH - A |



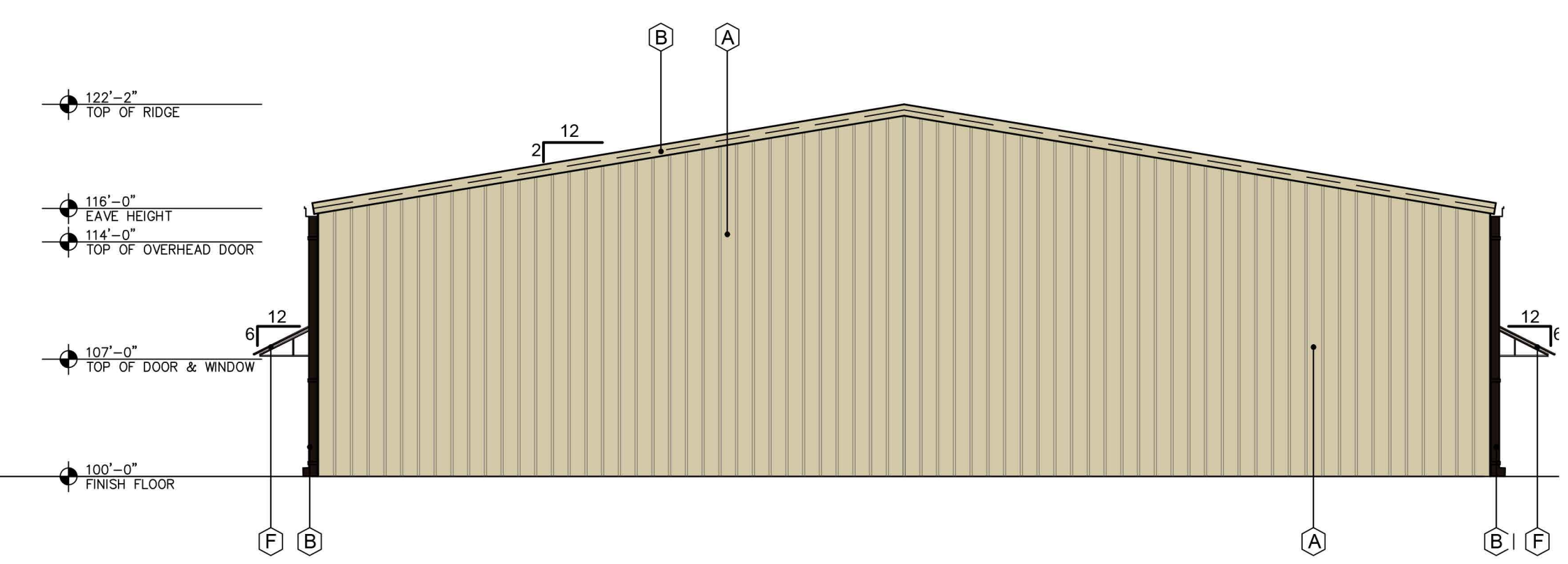
4 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



3 NORTH ELEVATION - STREET SIDE
 SCALE: 3/16"=1'-0"



2 WEST ELEVATION - STREET SIDE
 SCALE: 1/8"=1'-0"



1 EAST ELEVATION
 SCALE: 1/8"=1'-0"

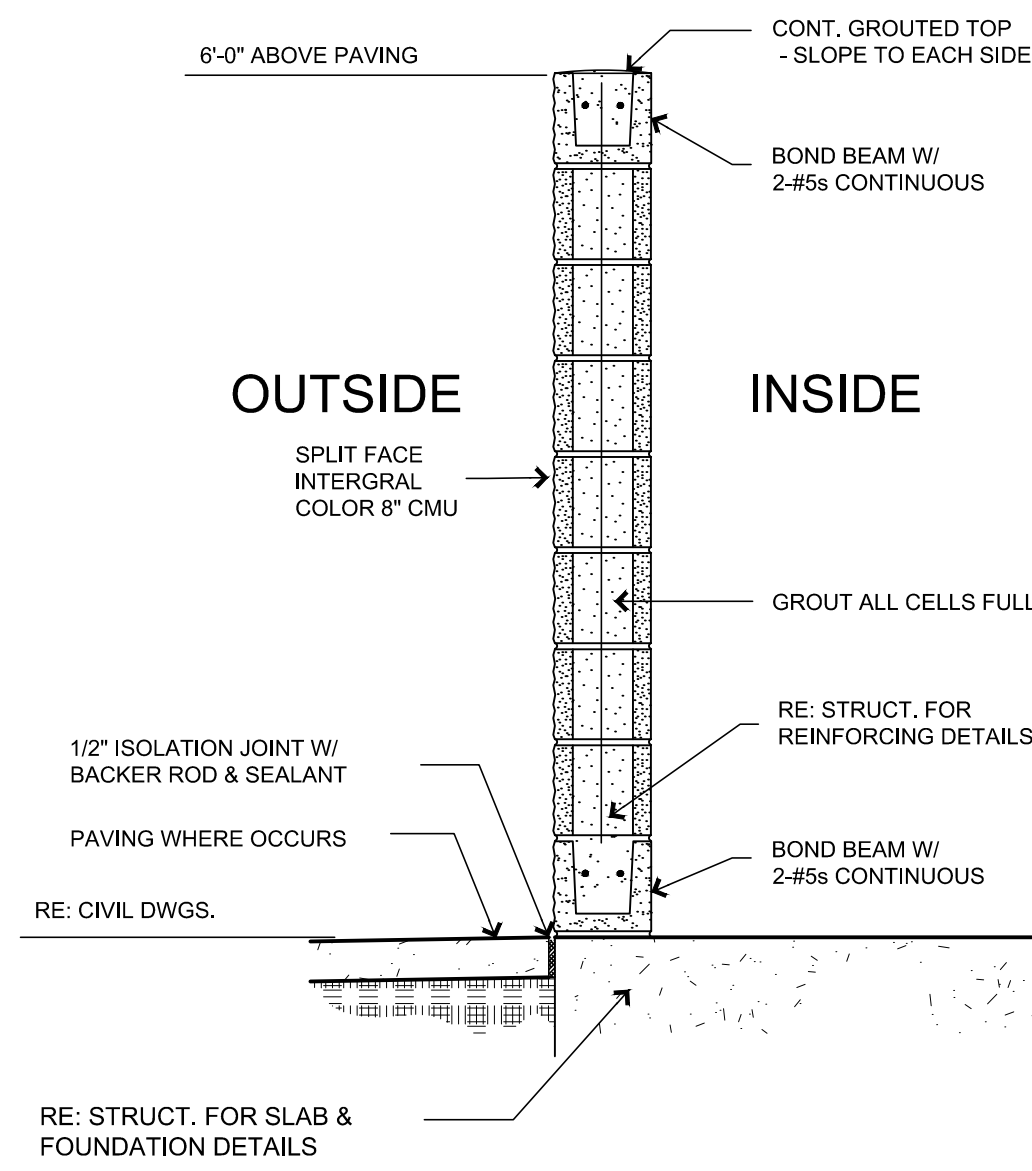
RANCH TRAIL DEVELOPMENT

2 ESSEX COURT
 HEATH, TX 75032

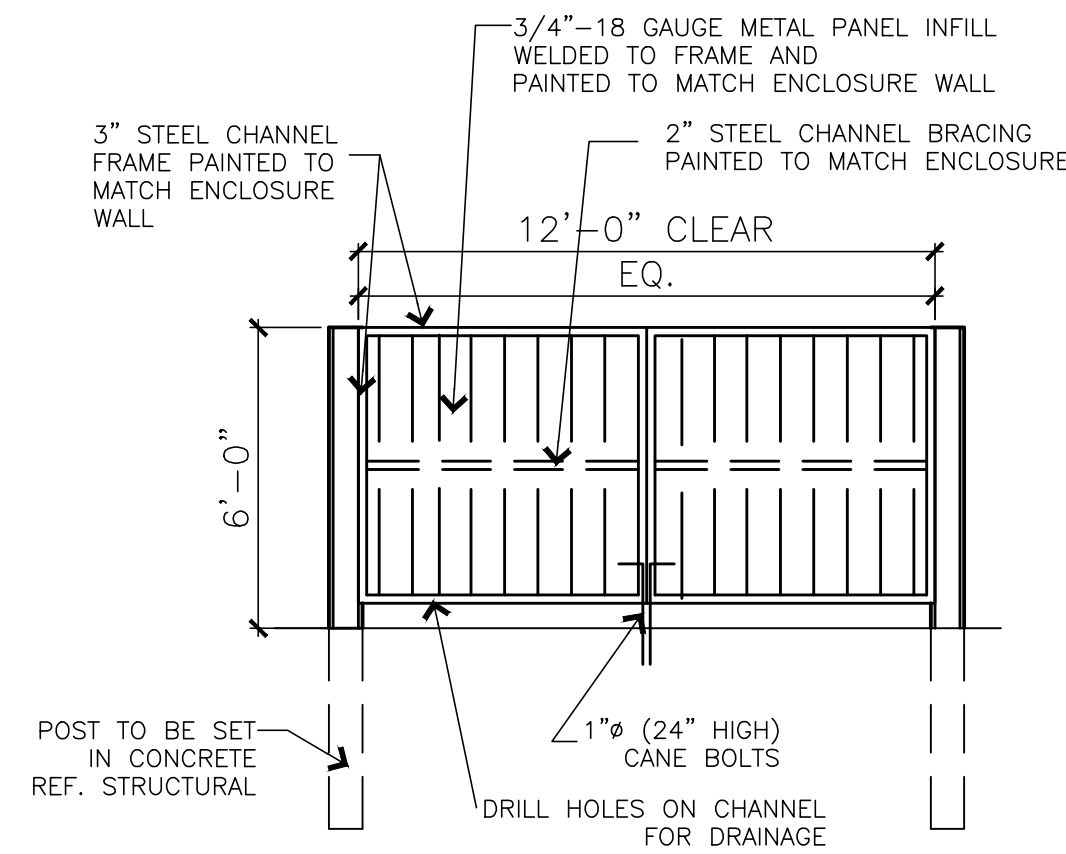


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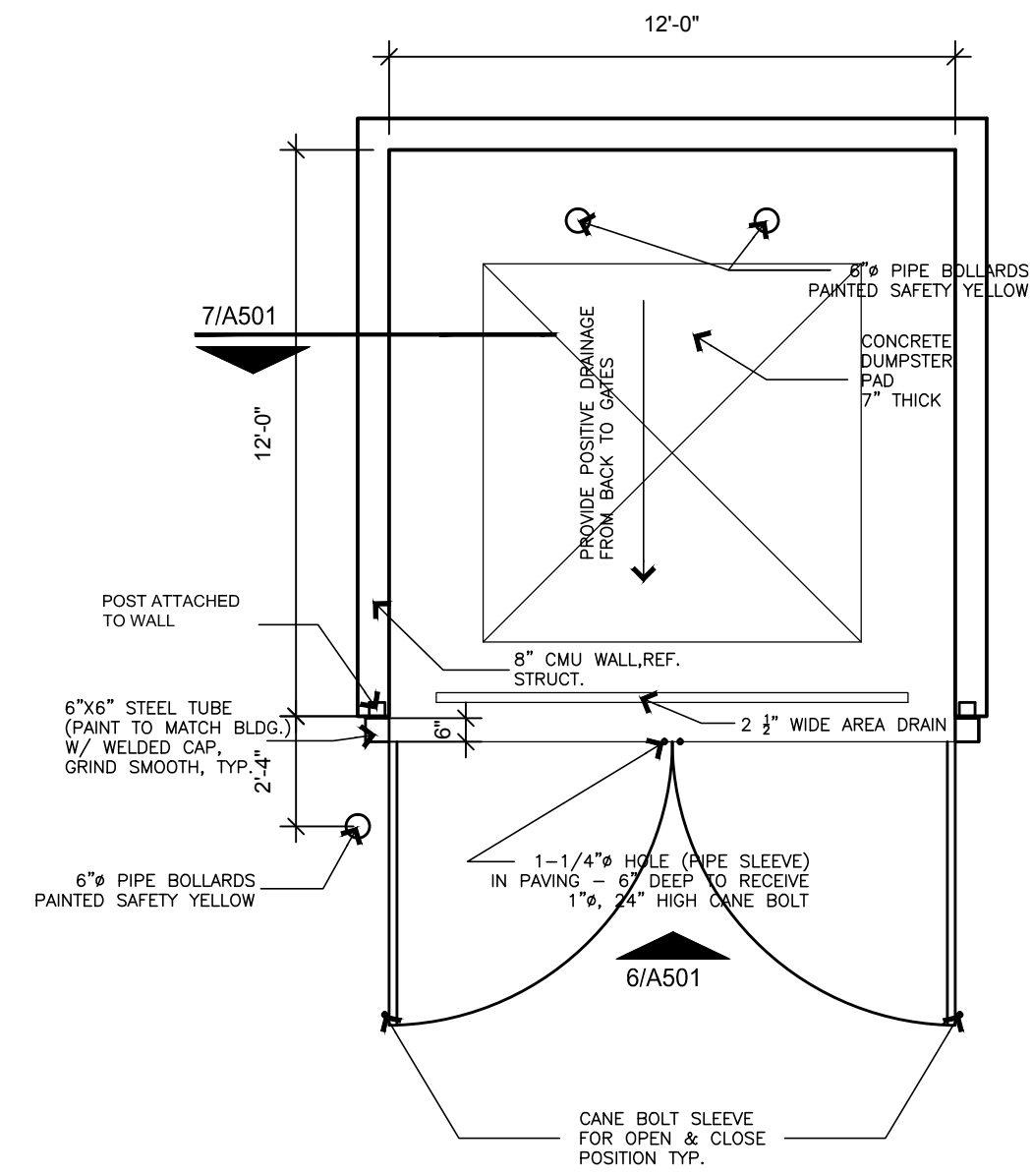
EXTERIOR ELEVATIONS CONCEPT A



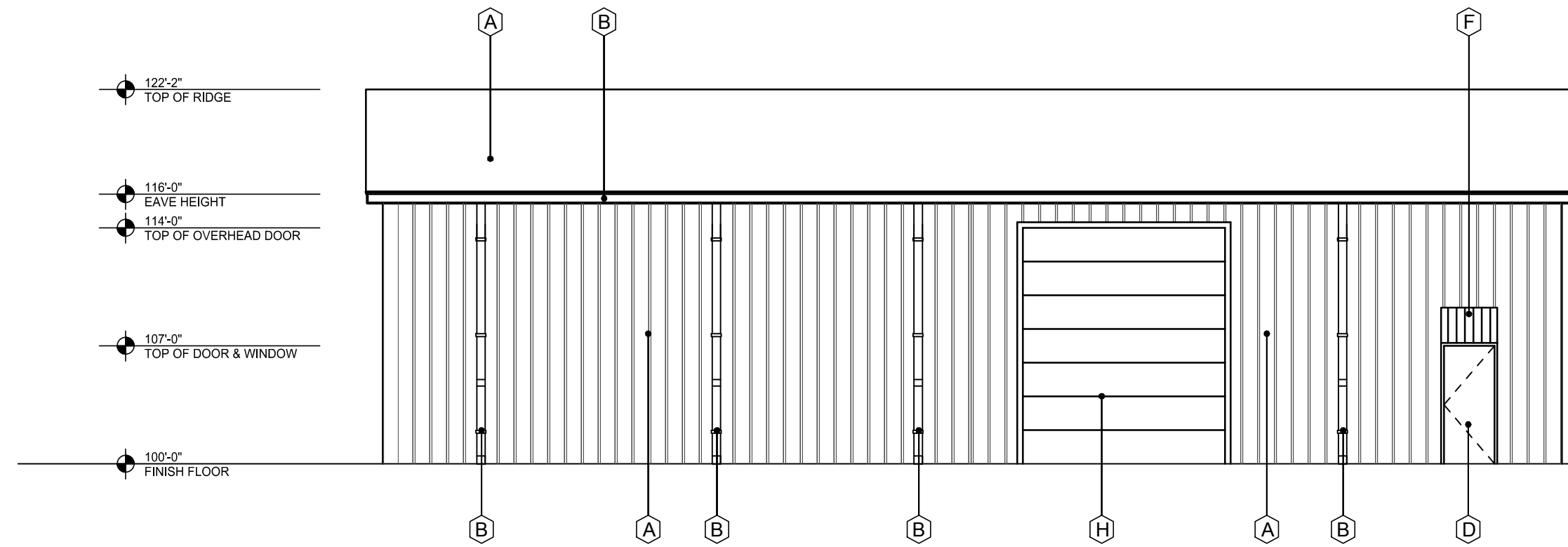
7 DUMPSTER SECTION
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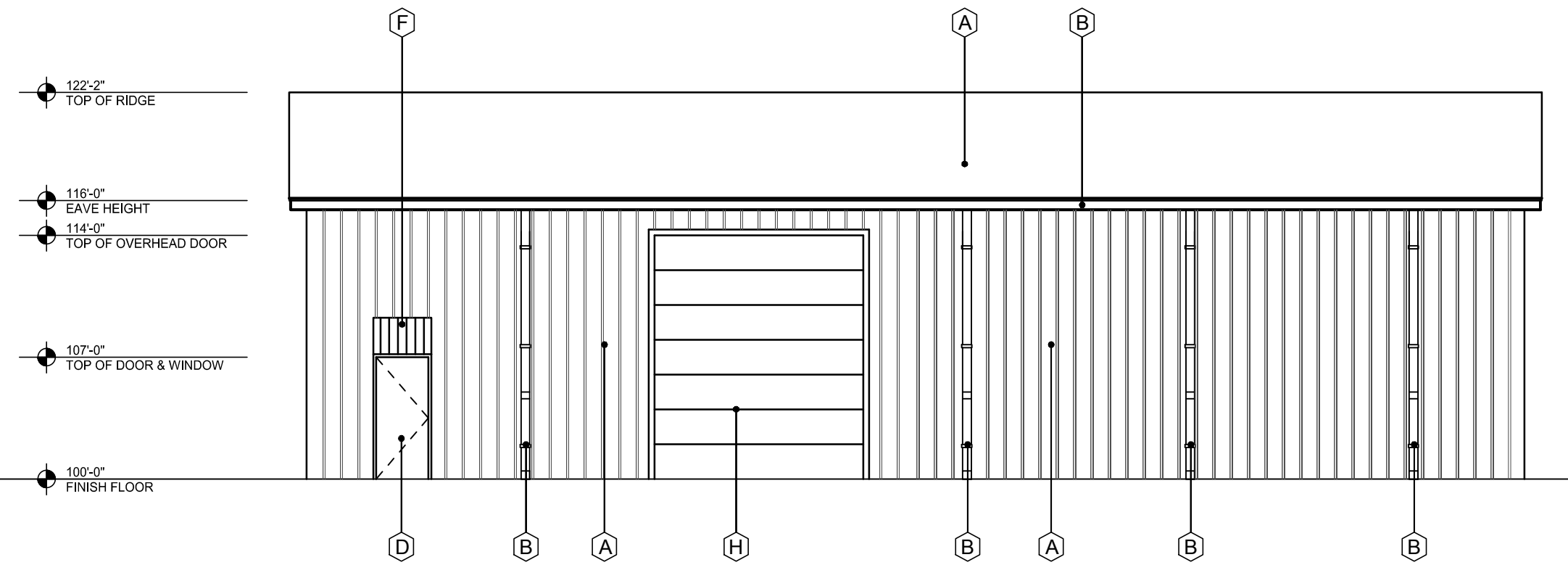
6 DUMPSTER ELEVATION
SCALE: 1/4"=1'-0"



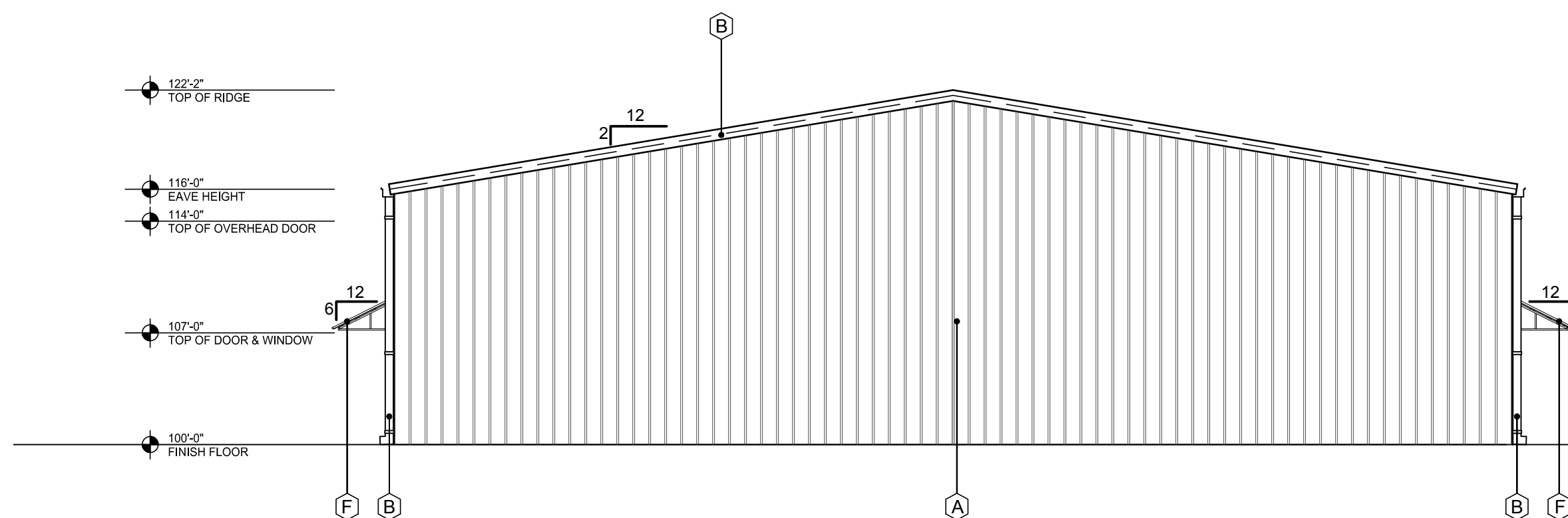
5 DUMPSTER PLAN
SCALE: 1/4"=1'-0"



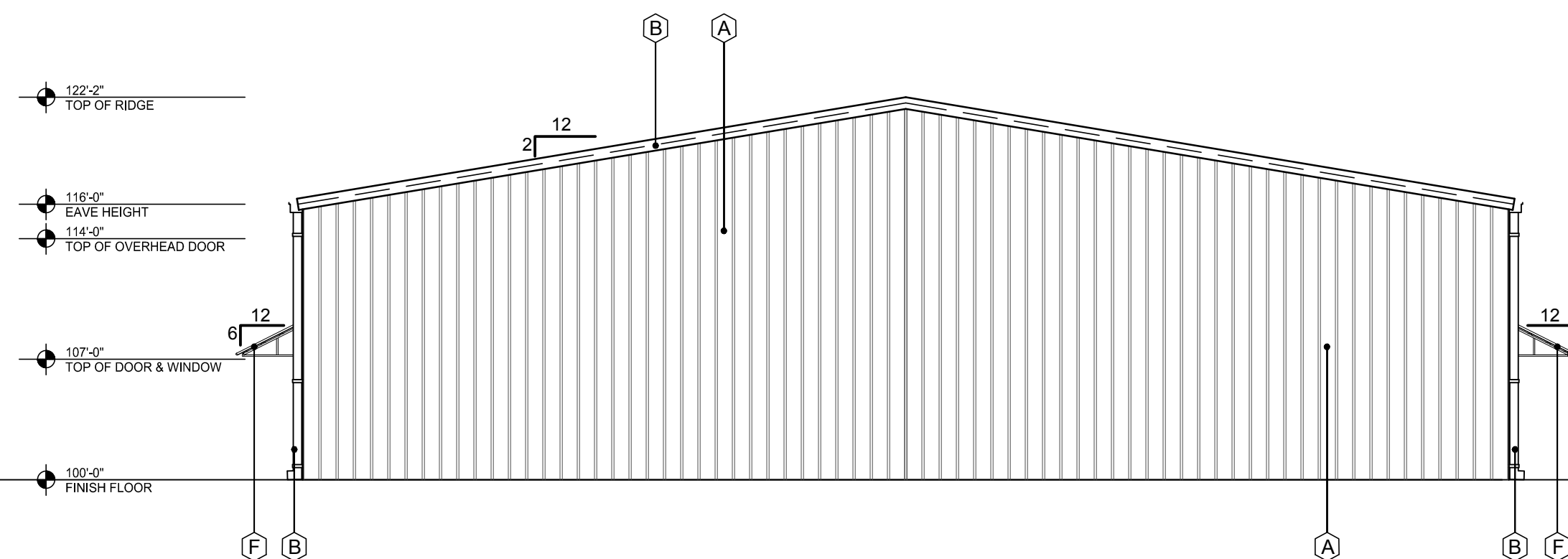
4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR - 12'-14" COLOR: MATCH - A |

| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| LEGAL DESCRIPTION AND/OR ADDRESS: | |
| RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES | |
| OWNER | |
| JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032 | |
| APPLICANT | |
| Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E-mail: info@carrollarch.com | |
| CASE NUMBER 2018XXX | |

ISSUE: OWNER REVIEW: 01-18-2018

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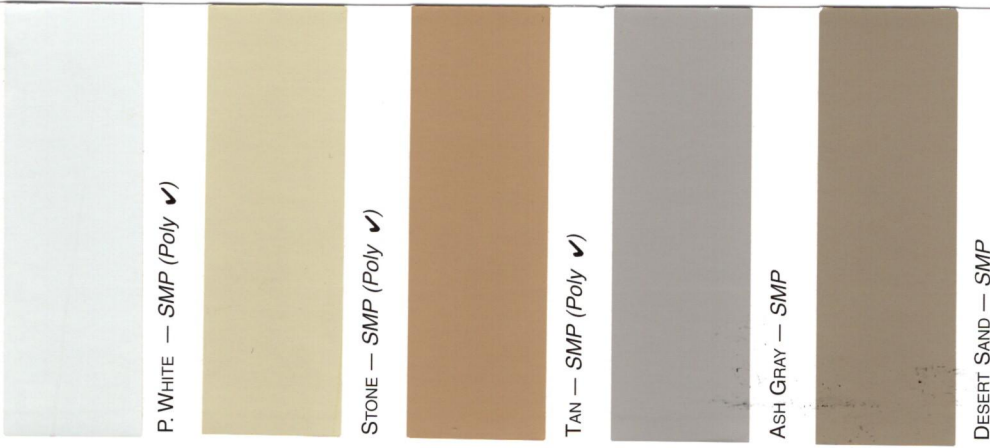
OFFICE/WAREHOUSE PROJECT
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RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT
 2 ESSEX COURT
 HEATH, TX 75032

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

**EXTERIOR ELEVATIONS
CONCEPT A**

DATE: JAN 2019 SHEET NO: A501
 PROJECT NO: 2019001
 DRAWN BY:
 CHECKED BY:




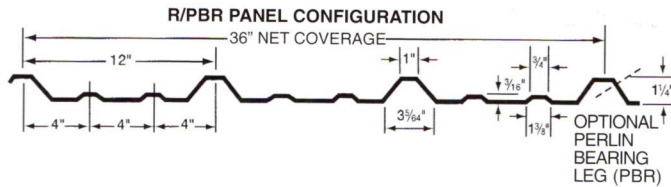
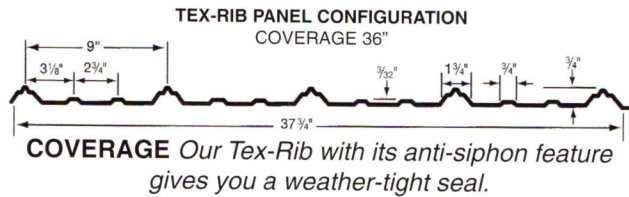

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HAWAIIAN BLUE — SMP



BURNISHED SLATE — SMP



RUSTIC RED — SMP



EVERGREEN — SMP



CHARCOAL GRAY — SMP



* Color requires minimum order
 ✓ Poly based on availability

Color samples shown approximate actual paint colors as closely as possible



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: 02/12/2019
APPLICANT: Matt Moore; *Claymoore Engineering, Inc.*
CASE NUMBER: SP2019-003.; *Site Plan for Multi-Tenant Office Complex*

SUMMARY

Discuss and consider a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

BACKGROUND

The subject property is located at the southeast quadrant of Ranch Trail and County Line Road, zoned Commercial (C) District, and is addressed as 407 Ranch Trail. The subject property was annexed in 2004 [*Ordinance No. 04-34*] and zoned Commercial (C) District in 2013 [*Case No. Z2013-020*]. At that time, the property owner's intent for the rezoning was to develop the property as an animal boarding/kennel facility; however, a site plan was never submitted and the facility was never constructed. Currently, the subject property along with several adjacent tracts in the surrounding area are vacant.

PURPOSE

The applicant is requesting approval of a site plan for a multi-tenant office/warehouse complex on the subject property. The proposed facility consists of 11 office buildings on approximately seven (7) acres. The proposed buildings will be approximately 4,999 SF, constructed of metal, utilize roll-up doors, and have a pitched roof design. The applicant is proposing to incorporate a seven (7) foot stone and brick wainscot on all building façades that are visible from the street. The remaining buildings will be internal to the complex, be constructed of metal, and will not be visible from the street. In order to provide some variation in the building facades, the applicant is proposing to utilize a contrasting roof and trim color, and utilize metal awnings on the façades visible from the street. Additionally, the applicant is proposing to provide landscape screening adjacent to the northern property line to screen the property from the adjacent residential land uses. According to the applicant, the intent of the development is to provide offices for multiple tenants such as plumbers, contractors, or other similar uses. Staff should note, outside storage is prohibited in the Commercial (C) District.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast quadrant of Ranch Trail and County Line Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as an MC (*minor collector, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a single-family residential subdivision (*i.e. Lake Rockwall Estates*), zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Following is a large tract of land that is zoned Agricultural (AG) District.

South: Directly south of the subject property is an office complex containing several metal buildings. Beyond this is a vacant tract of land that has an approved Specific Use Permit (SUP) for a mini-warehouse and additional several businesses that utilize metal buildings. These areas are zoned Commercial (C) District. South of these uses is Horizon Road [FM-3097], which is identified as a TxDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the city limits of Rockwall and the beginning of the Extraterritorial Jurisdiction (ETJ).

East: Directly east of the subject property is a large vacant tract of land, which is zoned Agricultural (AG) District followed by a single-family residential subdivision (i.e. the Oaks at Buffalo Way). This subdivision is zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this are two (2) single-family homes and several vacant tracts of land that are zoned Agricultural (AG) and/or General Retail (GR) Districts. Following this is S. Goliad Street [SH-205], which is identified as a TxDOT6D (*Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan.

West: Directly west of the subject property is Ranch Trail, which is identified as an MC (*minor collector, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this are several businesses (i.e. Sunbelt Equipment, Jerry Kisick Custom Homes, etc.). Following this is a vacant tract of land and several businesses (i.e. Horizon Auto Care, Dog Gone Pretty, Rockwall Customer Frame Shop), which are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (i.e. a multi-tenant office complex) is allowed by-right in a Commercial (C) District. Excluding the exceptions being requested, the submitted site plan, landscape plan, and photometric plan, generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|---|----------------------------------|--------------------------------------|
| <i>Minimum Lot Area</i> | <i>10,000 SF</i> | <i>327,554 SF; In Conformance</i> |
| <i>Minimum Lot Frontage</i> | <i>60-Feet</i> | <i>~367-465-Feet; In Conformance</i> |
| <i>Minimum Lot Depth</i> | <i>100-Feet</i> | <i>~455-838 SF; In Compliance</i> |
| <i>Minimum Front Yard Setback</i> | <i>15-Feet</i> | <i>15-Feet; In Compliance</i> |
| <i>Minimum Rear Yard Setback</i> | <i>10-Feet</i> | <i>10-Feet; In Compliance</i> |
| <i>Minimum Side Yard Setback</i> | <i>10-Feet</i> | <i>10-Feet; In Compliance</i> |
| <i>Maximum Building Height</i> | <i>60-Feet</i> | <i>22-Feet; In Compliance</i> |
| <i>Max Building/Lot Coverage</i> | <i>60%</i> | <i>37%; In Conformance</i> |
| <i>Minimum Masonry Requirement</i> | <i>90%</i> | <i>0-35%; Not In Conformance</i> |
| <i>Minimum Number of Parking Spaces</i> | <i>209 Spaces</i> | <i>216 Spaces: In Conformance</i> |
| <i>Minimum Stone Requirement</i> | <i>20%</i> | <i>0-21%; Not In Conformance</i> |
| <i>Minimum Landscaping Percentage</i> | <i>15%</i> | <i>63%; In Conformance</i> |
| <i>Maximum Impervious Coverage</i> | <i>85-95%</i> | <i>37%; In Conformance</i> |

TREESCAPE PLAN

The applicant has submitted a treescape plan showing that 38.5 caliper-inches of primary protected trees and 493 caliper-inches of secondary protected trees will be required to be removed to develop the subject property. According to Section 5, *Tree Mitigation Requirements*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), primary protected trees require mitigation calculated on an inch-for-inch basis and secondary protected trees require mitigation of ½ the total caliper inches being removed. Based on the submitted treescape plan, the total mitigation balance for

both primary and secondary protected trees is 285 caliper-inches. Since the applicant is planting 150 caliper-inches within the proposed development, the remaining balance will be 135 caliper-inches (*i.e. 47% of the total mitigation*). The Unified Development Code allows up to 20% of the total tree mitigation to be paid to the City's tree fund. The Unified Development Code (UDC) gives the City Council the ability to approve alternative tree mitigation agreements, pending a recommendation from the Planning and Zoning Commission. Since the applicant is proposing to exceed the 20% maximum allowable tree mitigation paid to the City's tree fund (*i.e. proposing 47% of total mitigation balance*), an alternative tree mitigation plan will need to be approved by the City Council, pending a recommendation by the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Southwest Residential District and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, the applicant is proposing a multi-tenant office facility that is composed of metal buildings. This use and the proposed metal buildings are similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.

CONFORMANCE WITH THE CITY'S CODES

Subsection 4.05, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the Commercial (C) District is a district intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district. In addition, these areas may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts. In this case, the applicant's proposal is adjacent to County Line Road -- *identified as a Minor Collector on the City's Master Thoroughfare Plan* --, and the office land use is not typically a high volume water/wastewater user. With regard to the land use, an office complex is permitted *by-right* in a Commercial (C) District.

According to Subsection 5.6, *Screening from Residential Uses*, of Section 5, *Mandatory Provisions*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), non-residential developments that are directly across the street from a residential development should incorporate a minimum ten (10) foot landscape buffer that incorporates trees on 50-foot centers. In this case, the applicant's plan does appear to meet the minimum requirements.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

(1) *Construction Materials*.

- (a) *Materials and Masonry Composition*. Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) stipulates minimum masonry requirements (*i.e. 90% Primary Materials, 20% stone, and no more than 10% Secondary Materials*) for commercial buildings. In this case, the applicant's proposed development does not conform to the minimum masonry

requirements. Specifically, the building façades are mostly metal (*i.e. between 69-100% metal*), which is considered to be a secondary material. The building façades contain between 0-35% masonry and 0-21% stone. Since the façades exceed the maximum amount of secondary materials and are below the minimum masonry requirements, an exception to the material requirements needs to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) *Building Articulation.*

- (a) *Horizontal Articulation.* Subsection 4.01, *General Commercial District Standards*, of Section 4, *Commercial District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) stipulates that the maximum wall length shall not exceed more than three (3) times the wall's height without a recess or projection of an architectural element. In this case the maximum wall length is approximately 66-feet; however, the proposed buildings have walls that are between 70 and 75 feet in length. Since this exceeds the maximum allowable length, an exception to the building articulation standards is required to be approved by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

These exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a simple majority vote. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

ARCHITECTURAL REVIEW BOARD (ARB):

On January 29, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant provide additional articulation to the building facades, utilize a combination of materials on the facades, to provide a color contrasting roof on each building, and to incorporate elements such as awnings to provide some relief on the facades. The applicant has submitted revisions that appear to be in conformance with the request from the Architectural Review Board (ARB). The Architectural Review Board (ARB) will review the revised building elevations and forward a recommendation to the Planning and Zoning Commission at the February 12, 2019 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

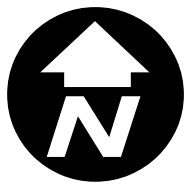
- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

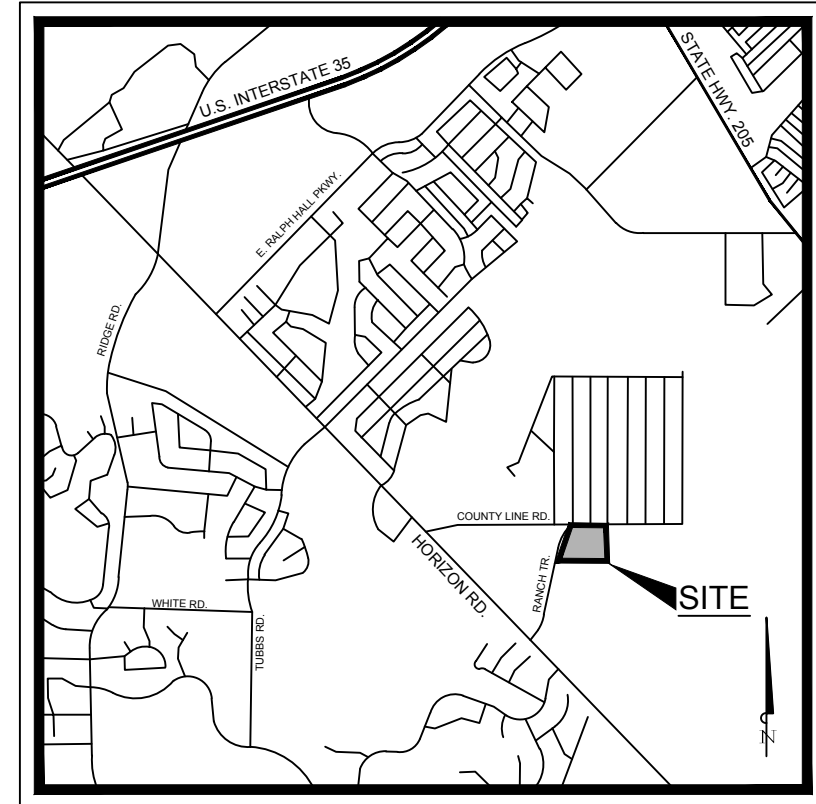
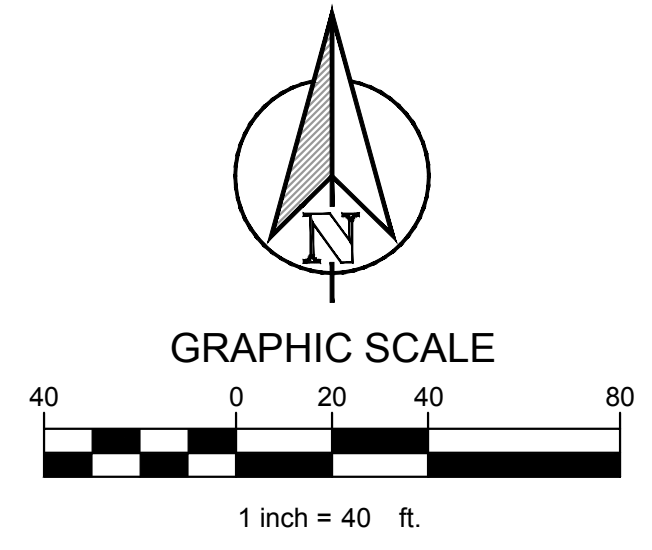
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



| SITE DATA TABLE | |
|------------------------|---------------------------------------|
| SITE AREA | 7.52 AC 327,554 SF |
| ZONING | C - COMMERCIAL |
| PROPOSED USE | COMMERCIAL |
| BUILDING SIZE | 11 BLDG @ 4,999 SF 54,989 SF TOTAL |
| LOT COVERAGE (MAX 60%) | 36.9% |
| FLOOR TO AREA RATIO | 0.17 : 1 |
| IMPERVIOUS (MAX 90%) | 36.9% |
| LANDSCAPE MIN(15%) | 63.1% |
| BUILDING HEIGHT | 1 STORY |

- NOTES:
- DUMPSTERS SHALL HAVE AN OPAQUE, SELF-LATCHING GATE.
 - ROLL UP DOORS SHALL NOT BE VISIBLE FROM THE STREET.

| PARKING TABLE | |
|----------------------|--|
| PARKING REQUIREMENTS | 3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR |
| PARKING REQUIRED | 209 SPACES |
| PARKING PROVIDED | 216 SPACES |
| ADA REQUIRED | 7 SPACES |
| ADA PROVIDED | 11 SPACES |



VICINITY MAP
N.T.S.

| CONSTRUCTION SCHEDULE | |
|-----------------------|-----------------------------------|
| [Symbol] | STANDARD DUTY (6" CONCRETE) |
| [Symbol] | HEAVY DUTY (6" CONCRETE) |
| [Symbol] | DUMPSTER PAD (7" CONCRETE) |
| [Symbol] | PROPOSED SIDEWALK CONCRETE |
| [Symbol] | PROPOSED CONCRETE CURB AND GUTTER |
| [Symbol] | PROPOSED FIRE LANE |
| [Symbol] | PARKING COUNT |

| CONSTRUCTION SCHEDULE | |
|-----------------------|---------------------------------------|
| ① | 15' VISIBILITY TRIANGLES |
| ② | PAVEMENT STRIPING |
| ③ | PARKING STALL STRIPING, 4" WIDE |
| ④ | SIDEWALK, 5FT MIN. WIDTH |
| ⑤ | ADA ACCESSIBLE RAMP |
| ⑥ | APPROXIMATE LOCATION OF OVERHEAD DOOR |
| ⑦ | LOADING ZONE |
| ⊕ | PROPOSED FIRE HYDRANT |
| Ⓜ | ADA PARKING SYMBOL |

**405 RANCH TRAIL
ROCKWALL, TX 75087**

LEGAL DESCRIPTION AND/OR ADDRESS:
**RAINBOW ACRES,
LOT 18 & S PT OF 19,
ACRES 9.76**

OWNER:
JT ALLIANCE, INC.
16 MEADOWLAKE DRIVE
HEATH, TX 75032

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CASE NUMBER
SP2019-003

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
1105 CREEK SPARGER RD. SUITE #1
COLLEGEVILLE, TX 76034
PHONE: 817.281.0572
WWW.CLAYMOORE.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: CLAY CRISTY
P.E. No. 109800, Date 02/04/2019

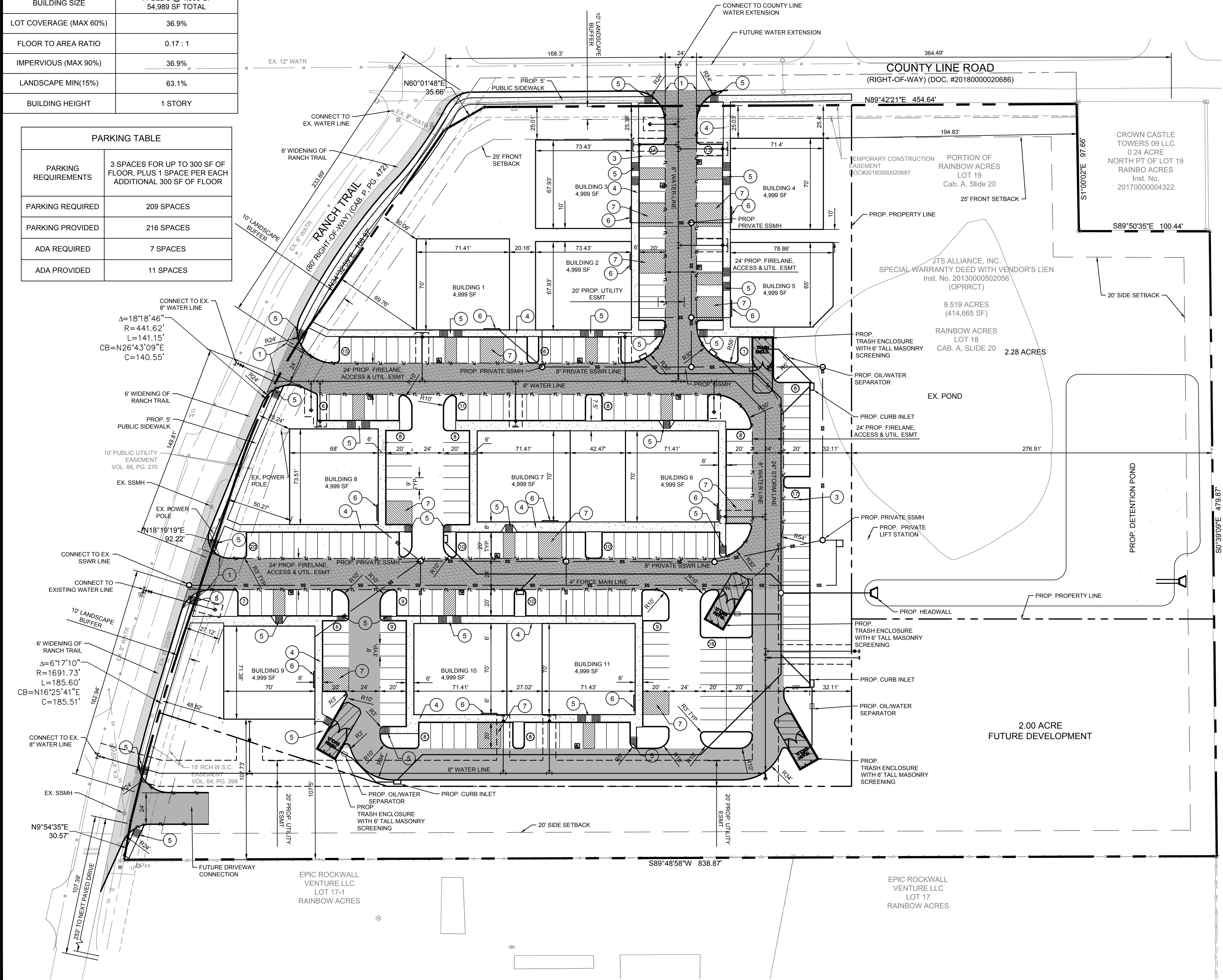
**405 RANCH TRAIL
ROCKWALL, TEXAS 75032**

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |
| | | | |

CITY SITE PLAN

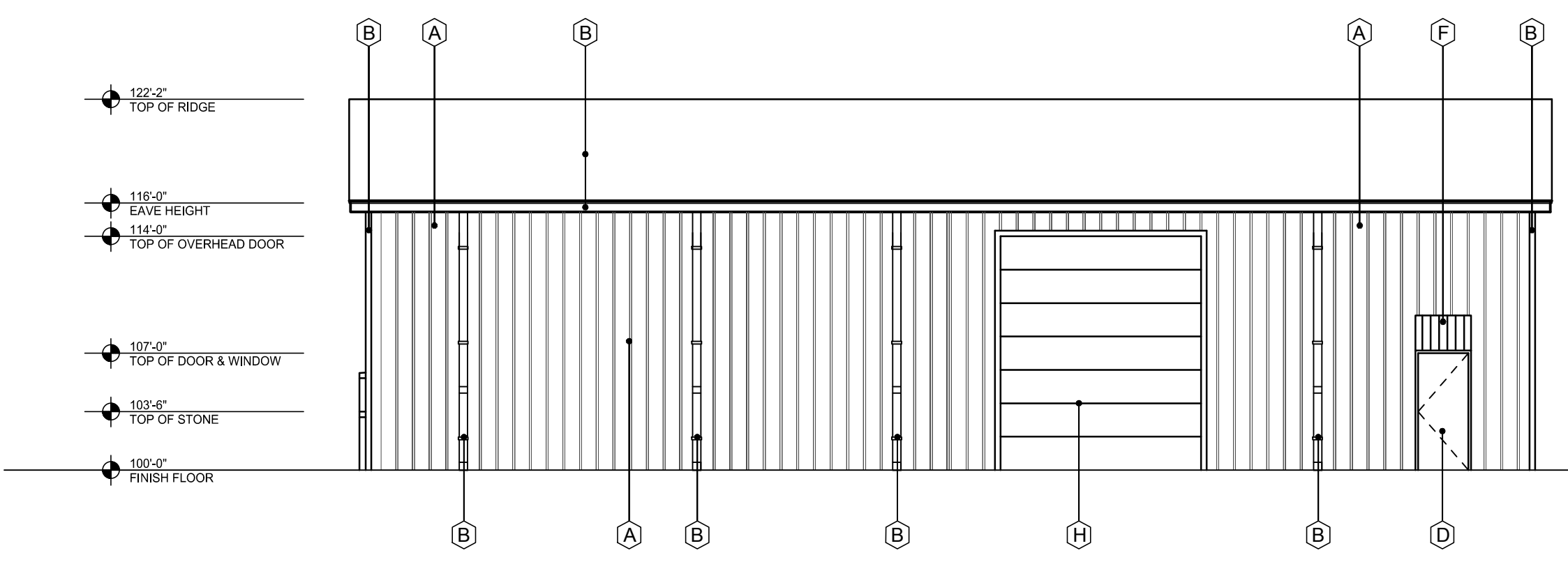
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| CHECKED: | CLC |
| DATE: | 02/04/2019 |
| SHEET | |
| SP-1 | |
| File No. | 2019-003 |

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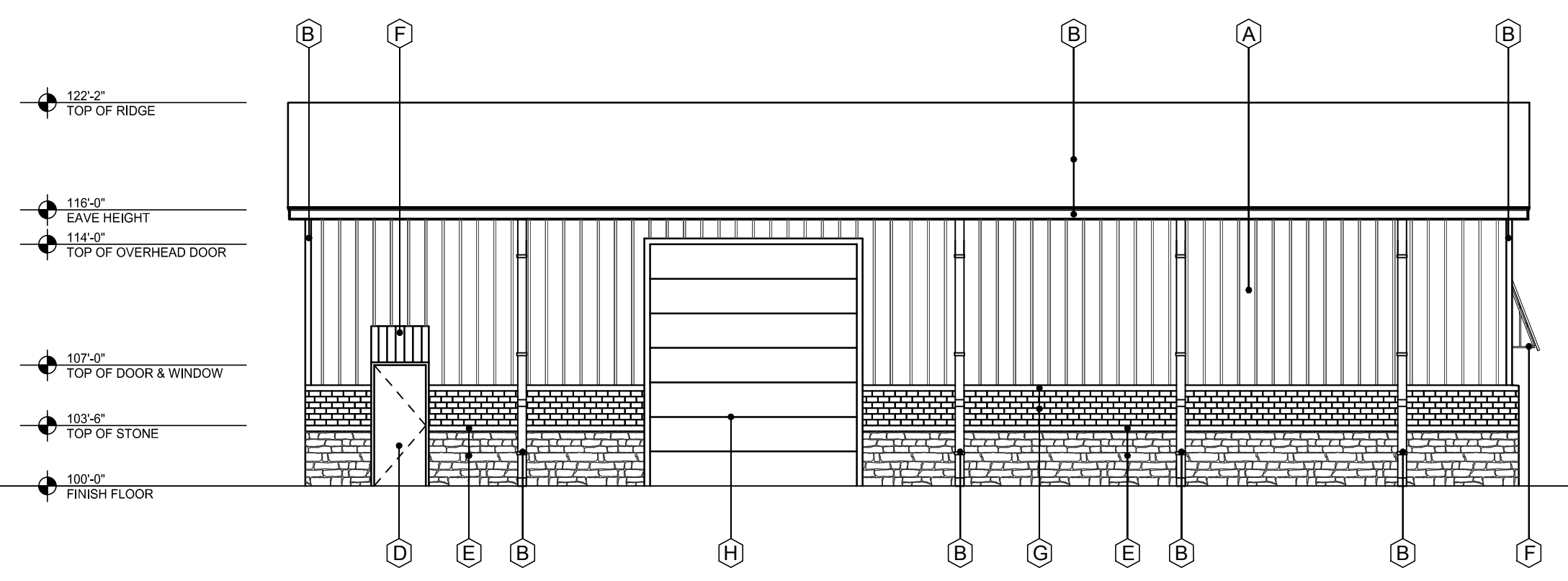


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| ZONING | C - COMMERCIAL |
| PROPOSED USE | COMMERCIAL |
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| LOT COVERAGE | 36.9% |
| FLOOR TO AREA RATIO | 0.17 : 1 |
| BUILDING HEIGHT | 1 STORY |

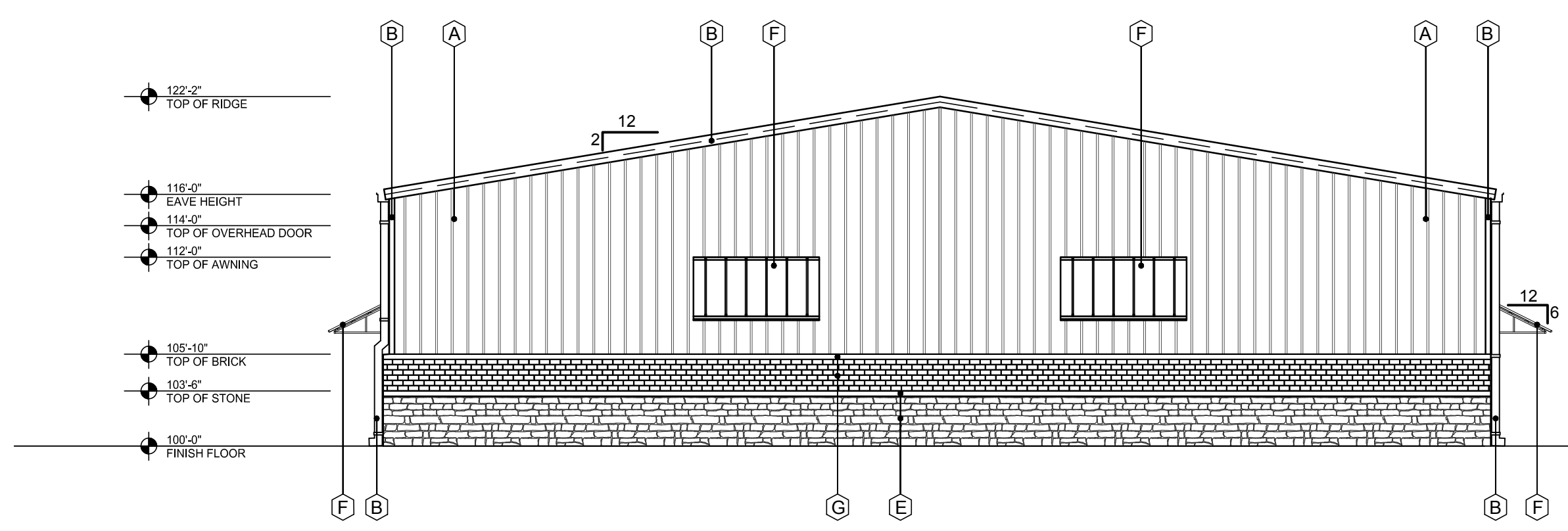


4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

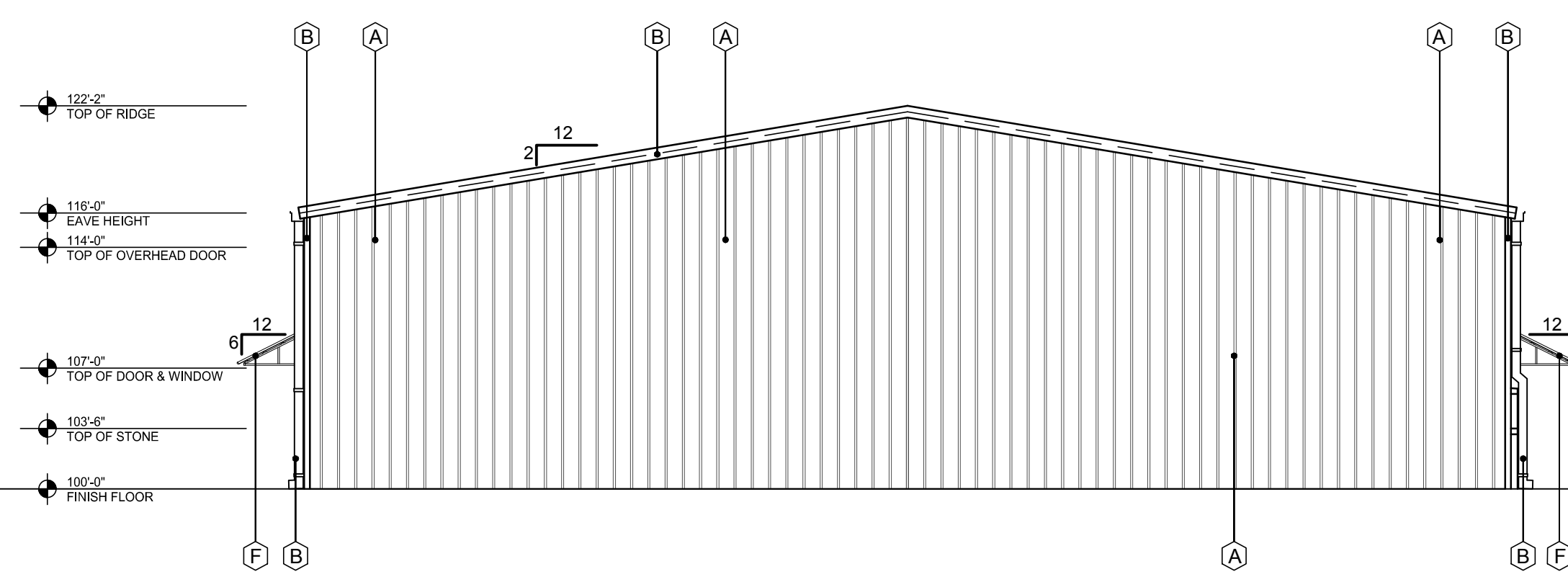


3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"
MASONRY -
BRICK: 12 %
STONE: 19 %
TOTAL: 31 %

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALL PANELS - COLOR: STONE |
| B | ROOF, PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM. COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT: COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR - 12'x14' COLOR: MATCH - A |



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"
MASONRY -
BRICK: 14 %
STONE: 21 %
TOTAL: 35 %



1 EAST ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| <small>LEGAL DESCRIPTION AND OR ADDRESS:</small> | |
| RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES | |
| <small>OWNER</small> | |
| JT Alliance, Inc. 16 Meadowlark Drive Heath, TX 75032 | |
| <small>APPLICANT</small> | |
| Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E-mail: carrollarch.co | |
| <small>CASE NUMBER</small> SP2019-003 | |

OFFICEWAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

**RANCH TRAIL
DEVELOPMENT**
2. ESSEX COURT
HEATH, TX 75032

CARROLL
architects

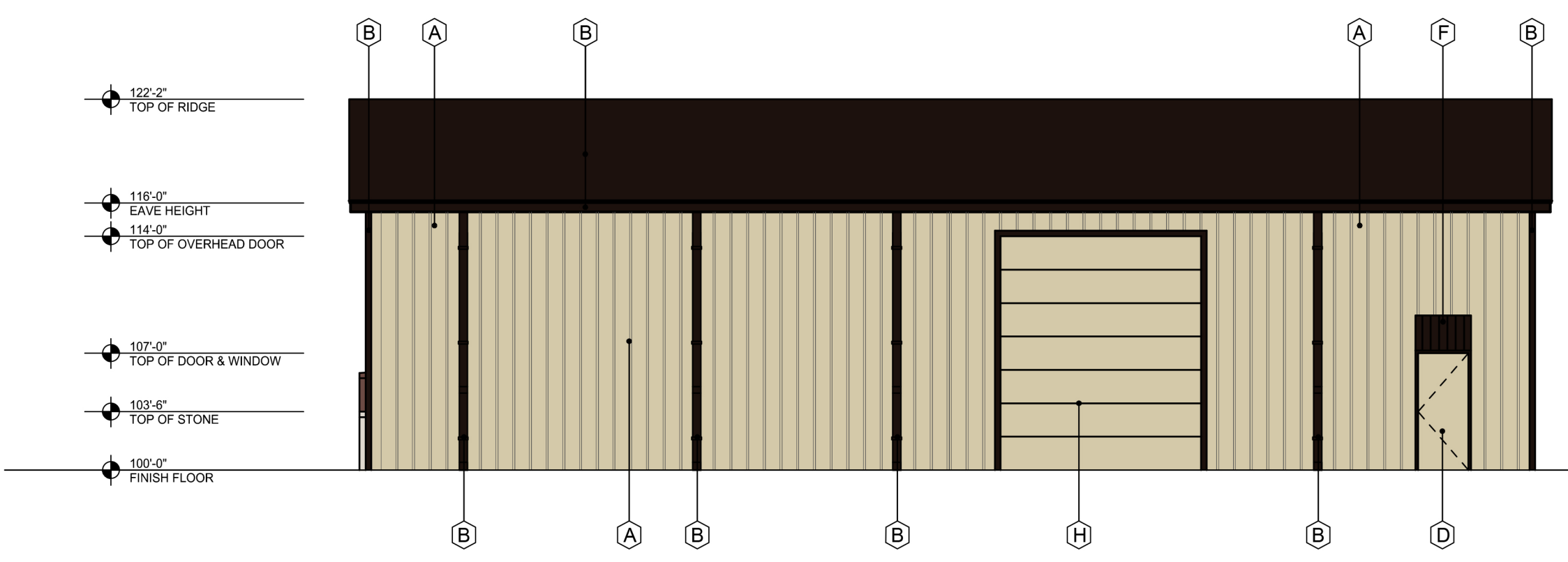
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**EXTERIOR
ELEVATIONS**

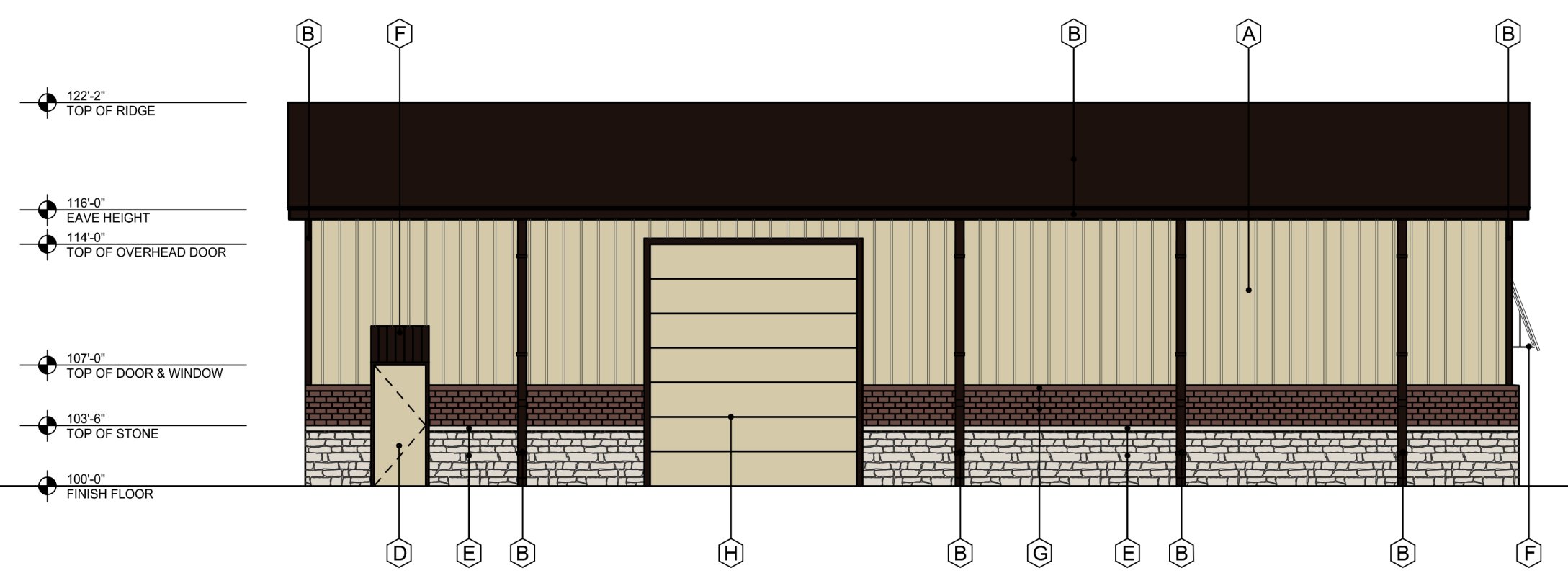
ISSUE: OWNER REVIEW: 01-18-2018

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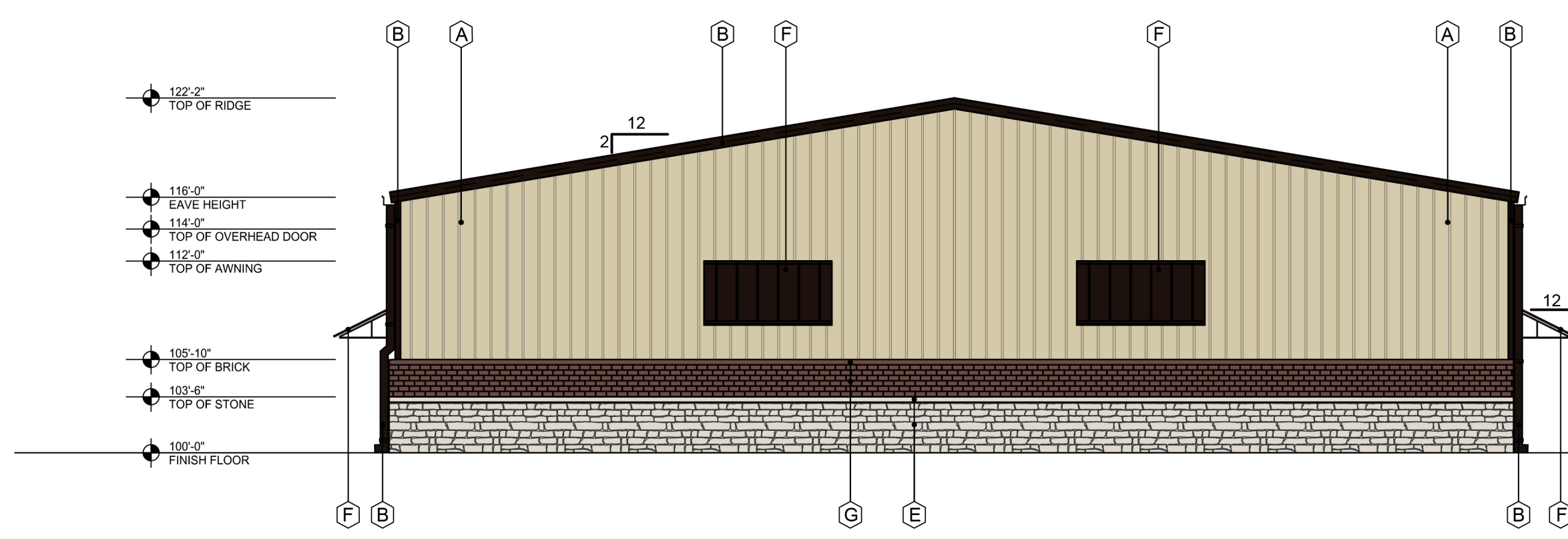


4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

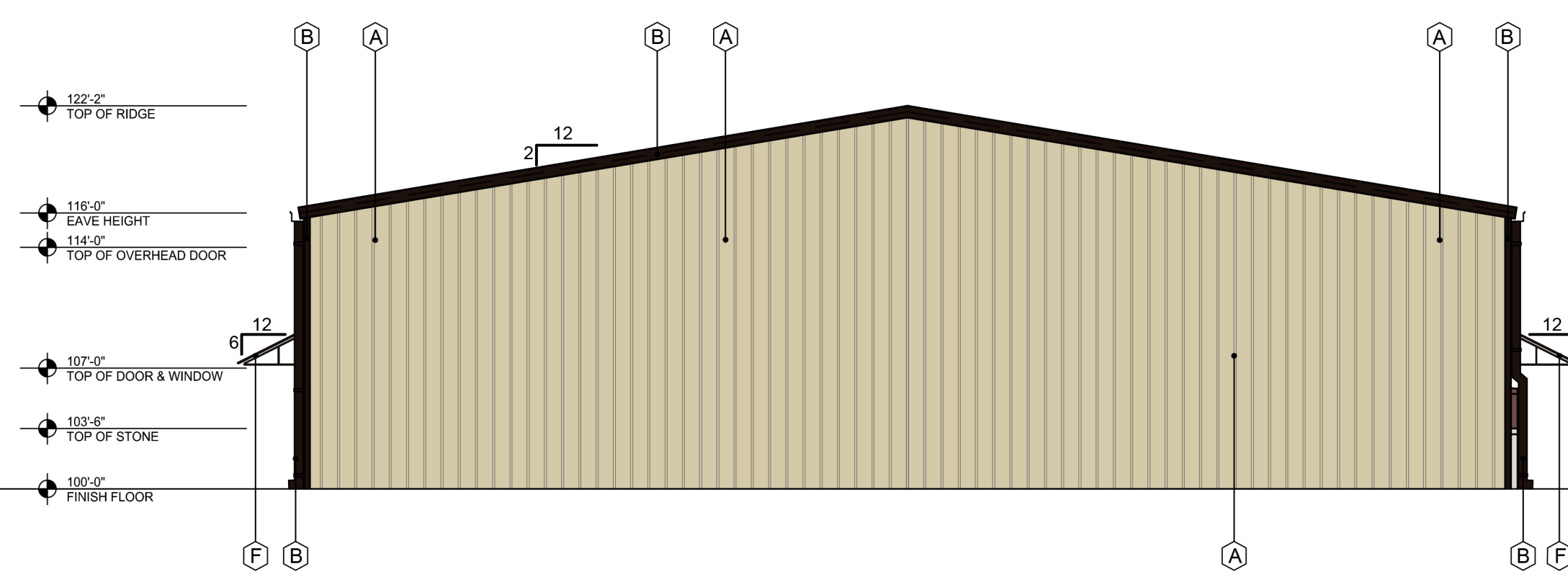


3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"
MASONRY -
BRICK: 12 %
STONE: 19 %
TOTAL: 31 %

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALL PANELS; COLOR: STONE |
| B | ROOF, PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM; COLOR: BURNISH SLATE |
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2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"
MASONRY -
BRICK: 14 %
STONE: 21 %
TOTAL: 35 %



1 EAST ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

| | |
|---|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| <small>LEGAL DESCRIPTION AND OR ADDRESS:</small> | |
| RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES | |
| <small>OWNER</small> | |
| JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032 | |
| <small>APPLICANT</small> | |
| Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com | |
| <small>CASE NUMBER</small> SP2019-003 | |

OFFICEWAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT
2. ESSEX COURT
HEATH, TX 75032

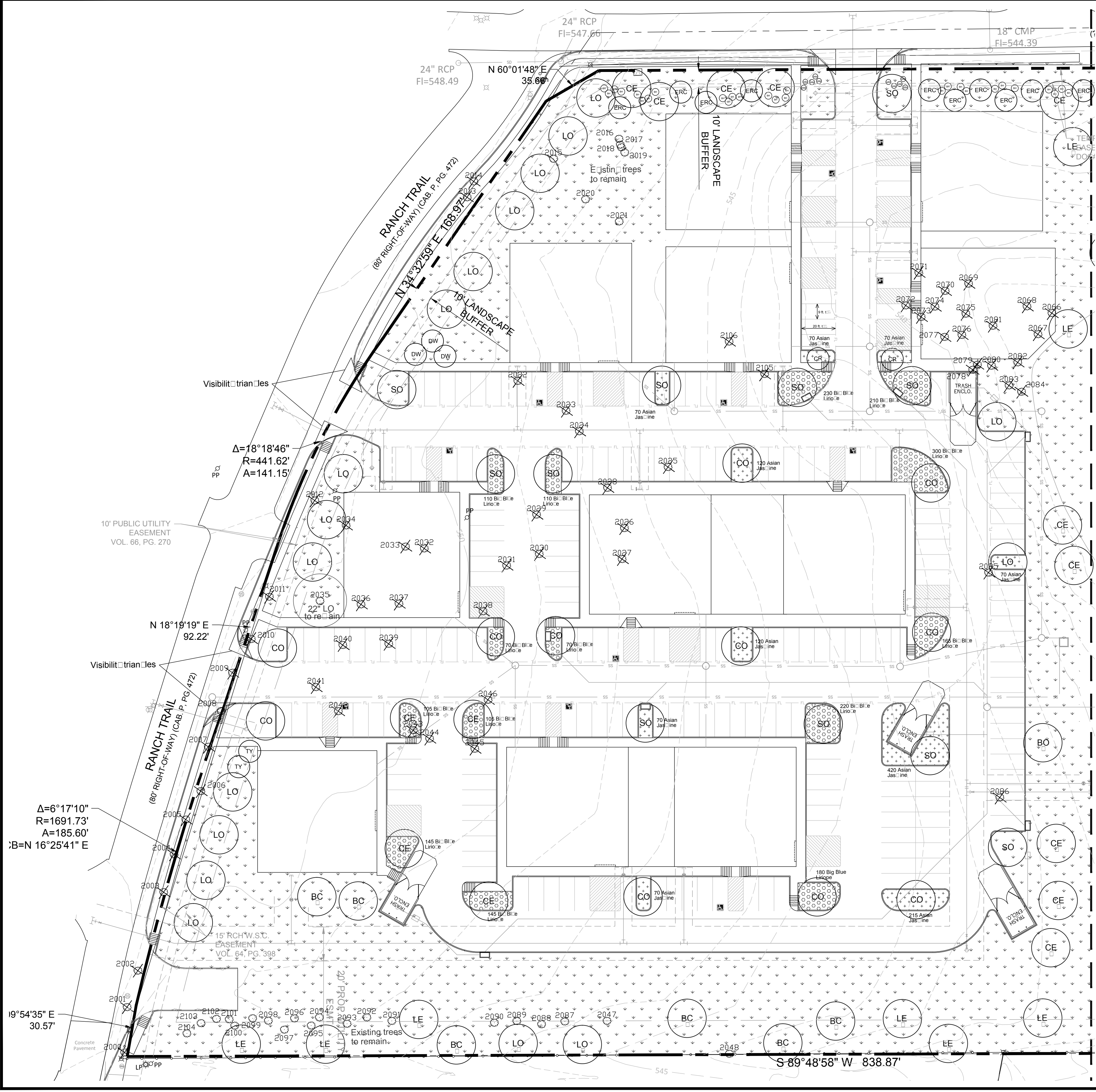


750 E. Interstate 30
Suite 110
Rockwall, TX 75087
T: 972-732-6085
F: 972-732-8058

EXTERIOR ELEVATIONS

DATE: JAN 2019 SHEET NO:
PROJECT NO: 2019001
DRAWN BY: A501
CHECKED BY:

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TREE LEGEND

- Cano Trees
- SO Shard Oak
 - BO Birch
 - LE Bosque Elm
 - CO Chinquapin Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - CR Crabapple
 - DW Desert Willow
 - 2021 Existing trees to be retained
- Ornamental Trees
- CR Crabapple
 - TY Tree Yucca

SHRUB LEGEND

- DY Dwarf Yucca
- DA Dwarf Abelia
- BA Barberr
- MF Mexican Feather Grass
- WM Dwarf Wax Myrtle
- RY Red Yucca
- DB Dwarf Bradford Holly
- NGL New Gold Lantana
- CO Coreopsis
- DIH Dwarf Indian Hawthorne
- TC Texas Canna
- HD Harbor Dwarf Nandina
- GL Giant Liriodendron
- TX Texas Sage
- PM Pin Myrtle
- CS Cherrypine
- GC Green Cloud Sage
- RO Rosemary
- AJ Asian Jasmine

HATCH LEGEND

- Asian Jasmine
- Big Blue Liriodendron
- Solid Sod Bermuda Grass

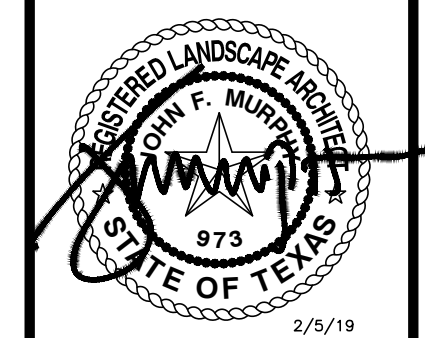
LANDSCAPE NOTES

- The project shall have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shredded material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil pH and organic percentage.
- Solid sod in all areas disturbed by construction activities.
- No trees within 5' of utilities.
- No planting space shall be more than 80 feet from a tree.

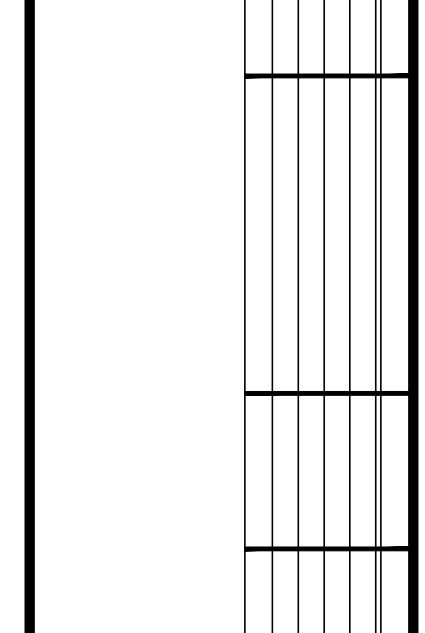
site integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7529 Cross Gate Way
 Tyler, TX 75703
 john@siteint.com
 scott@siteint.com

512.432.3822 - Tyler
 512.589.9584 - Austin
 www.siteint.com

TEXAS REGISTRATION #14199
GLAY MOORE ENGINEERING
 PHONE: 017.28.0022
 1105 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75841
 WWW.GLAYMOORE.COM



**RANCH TRAIL
 ROCKWALL, TEXAS**



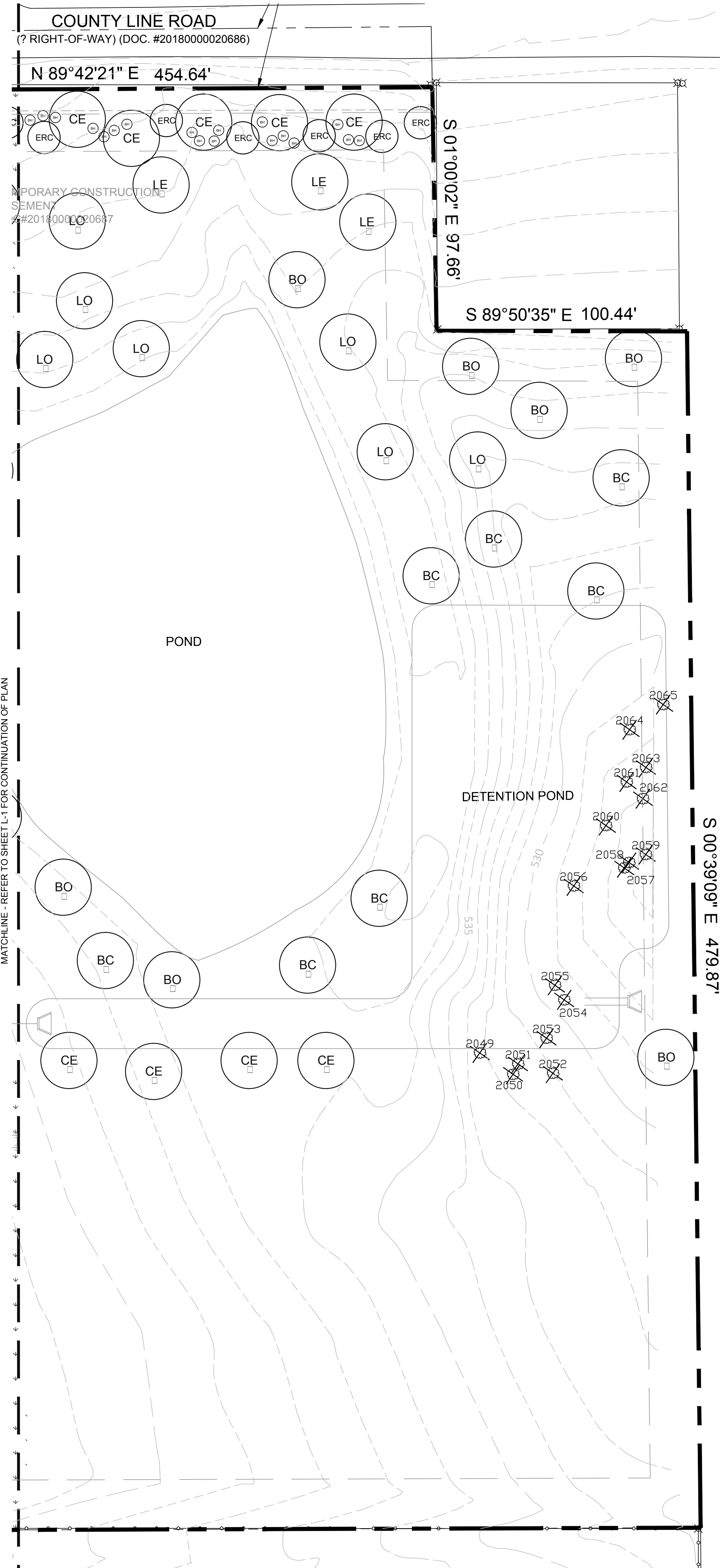
LANDSCAPE PLAN

DESIGN: CWP
 DRAWN: CWP
 CHECKED: CLC
 DATE: 02/05/2019

SHEET
L-1

File No. 2019-001

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 LAST SAVED: 2/5/2019 11:33 AM



TREE LEGEND

- Cano Trees
- SO Shōard Oak
 - BO Bur Oak
 - LE Bosōe Elm
 - CO Chinōlin Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cress
 - Mitigation trees
 - 2021 Existing trees to be removed
- Ornaental Trees
- CR Crapōdle
 - TY Tree Yaōn
 - DW Desert Willo

SHRUB LEGEND

- DY Dwarf Yaōn
- DA Dwarf Abelia
- BA Barbery
- MF Mexican Feather Grass
- WM Dwarf Wax Mōtle
- RY Red Yōcca
- DB Dwarf Blōford Holl
- NGL Neō Gold Lantana
- CO Coreōsis
- DIH Dwarf Indian Hōlthorne
- TC Trōis Cō
- HD Harbor Dōf Nandina
- GL Giant Linoō
- TX Texas Sōte
- PM Pin Mōhl
- CS Cherrō Sōte
- GC Green Clōd Sōte
- RO Roseōar
- AJ Asian Jasōine

HATCH LEGEND

- Asian Jasōine
- Blue Linoō
- Solid Sod Berōda Grass

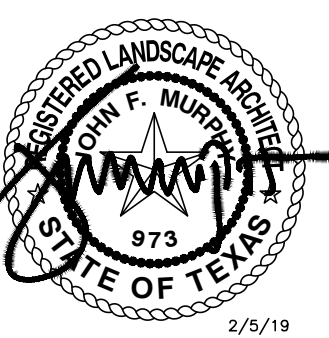
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 www.siteint.com

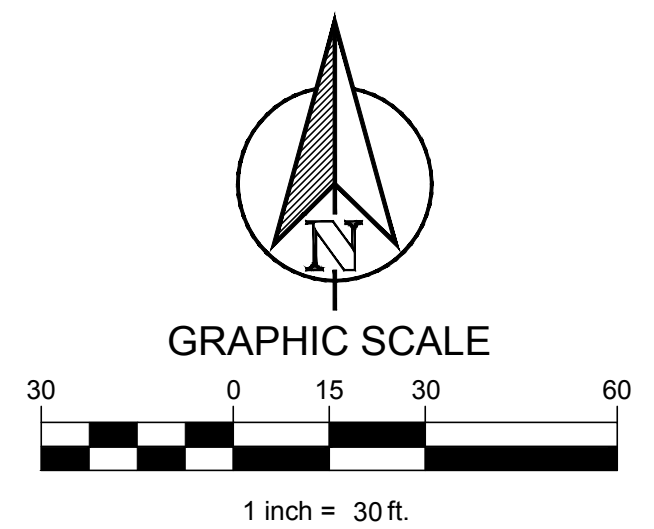
TEXAS REGISTRATION #14199

 PHONE: 017.261.0022
 WWW.GLAYMOORE.COM
 1105 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75841



RANCH TRAIL
ROCKWALL, TEXAS

LANDSCAPE PLAN



| | |
|------------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CLC |
| DATE: | 02/05/2019 |
| SHEET | |
| L-2 | |
| File No. | 2019-001 |

PLANT LIST

| CANOPY TREES | | | | |
|-----------------------|-----|-------------------|---------------------------------------|---|
| 11 | LE | Lacebark Elm | Ulmus parviflorus | 3" cal. B&B 12' ht. 5' spread |
| 24 | LO | Lie Oak | Quercus prinus | 3" cal. B&B 12' ht. 5' spread |
| 11 | CO | Chinquapin Oak | Quercus chenopodiata | 3" cal. B&B 12' ht. 5' spread |
| 23 | CE | Cedar Elm | Ulmus crassifolia | 3" cal. B&B 12' ht. 5' spread |
| 13 | BC | Bald Cypress | Taxodium distichum | 3" cal. B&B 12' ht. 5' spread |
| 11 | SO | Shoard Oak | Quercus shumardii | 3" cal. B&B 12' ht. 5' spread |
| 8 | BO | Burr Oak | Quercus macrocarpa | 3" cal. B&B 12' ht. 5' spread |
| ORNAMENTAL TREES | | | | |
| 2 | TY | Tree Yucca | Yucca filamentosa | 30 cal. 8' ht. 10' spread |
| 2 | CR | Crape Myrtle | Lagerstroemia indica 'Tuscarora' | 30 cal. 8' ht. 3 trunk 2 1/2" cal. 10 in. |
| 3 | DW | Desert Willow | Chilopsis linearis 'Tennessee Beauty' | 30 cal. 6' ht. 2 1/2" cal. 10 in. |
| 16 | ERC | Eastern Red Cedar | Juniperus virginiana | 30 cal. 6' ht. 2 1/2" cal. 10 in. |
| SHRUBS & GROUNDCOVERS | | | | |
| 45 | BH | Burford Holly | Ilex cornuta burfordii | 10 cal. as shown |
| 10 | WM | Dark Wax Myrtle | Mirica illinoensis | 5 cal. 36" oc |
| 1,295 | AJ | Asian Jasmine | Trachelosperma asiaticum | 1 cal. 18" oc |
| 2,165 | BBL | Blue Liriodendron | Liriodendron scarlet-bell | 1 cal. 18" oc |

City of Rockwall, Texas LANDSCAPE CALCULATIONS

| | | | |
|--------------------|------------|-----------|------------------|
| Total Lot Area | 414,665 SF | Required | Provided |
| Landscape Area 10% | | 41,467 SF | 135,609 SF (32%) |

| Street Buffer Trees | 1 Shade tree 3" cal. per 50 LF of frontage | Required | Provided |
|---------------------|--|----------|----------|
| Ranch Trail | 618.51 LF | 13 | 13 |
| County Line Road | 454.64 LF | 10 | 10 |

| Parcel Lot Landscape | Required | Provided |
|---|----------|----------|
| Parcel Spaces 238 1 tree per 10 spaces | 24 | 26 |

Tree Mitigation

Primary tree inches removed - 38.5"
 Secondary tree inches removed - 493" / 2 = 246.5"
 Total protected inches removed - 285"

Diseased trees, ROW trees, reserved trees, and secondary trees under 11" not included in mitigation total

Net mitigation inches provided - 150"
 Remainder mitigation to be paid into tree fund - 135" (47.3%)

EXISTING TREE LIST

| ROW | Number | Size | Type |
|-----|--------|-------------|-----------------|
| ROW | 2000 | 8" 8" | Hackberry |
| ROW | 2001 | 13" | Cedar |
| ROW | 2002 | 7" 10" 10" | Cedar |
| ROW | 2003 | 16" | Cedar |
| ROW | 2004 | 17" | Cedar |
| ROW | 2005 | 15" | Cedar |
| ROW | 2006 | 12" | Cedar |
| ROW | 2007 | 16" | Cedar |
| ROW | 2008 | 26" | Cedar |
| ROW | 2009 | 10" 13" 18" | Cedar |
| ROW | 2010 | 10" | Cedar |
| ROW | 2011 | 8" | Oak |
| ROW | 2012 | 12" | Hackberry |
| ROW | 2013 | 10" | Cedar |
| ROW | 2014 | 14" 20" | Cedar |
| * | 2015 | 15" 14" | Cedar-Hackberry |
| * | 2016 | 10" | Hackberry |
| * | 2017 | 10" | Hackberry |
| * | 2018 | 10" | Hackberry |
| * | 2019 | 10" | Hackberry |
| * | 2020 | 7" 10" | Hackberry |
| * | 2021 | 13" | Cedar |
| | 2022 | 22" | Cedar |
| | 2023 | 12" 16" | Cedar |
| | 2024 | 16" | Cedar |
| | 2025 | 15" | Cedar |
| | 2026 | 12" | Hackberry |
| D | 2027 | 12" | Hackberry |
| | 2028 | 11" | Cedar |
| | 2029 | 22" | Hackberry |
| D | 2030 | 27" | Cedar |
| D | 2031 | 8" | Hackberry |
| D | 2032 | 10" | Hackberry |
| D | 2033 | 16" | Hackberry |
| | 2034 | 8" | Hackberry |
| * | 2035 | 22" | Live Oak |
| D | 2036 | 23" | Mulberry |
| D | 2037 | 17" | Mulberry |
| D | 2038 | 32" | Mulberry |
| D | 2039 | 17" | Mulberry |
| D | 2040 | 15" | Mulberry |
| | 2041 | 18" | Oak |
| | 2042 | 8" | Cedar |
| | 2043 | 14" | Mulberry |
| | 2044 | 12" | Hackberry |
| | 2045 | 8" 10" 10" | Hackberry |
| | 2046 | 10" | Hackberry |
| * | 2047 | 16" | Cedar |
| * | 2048 | 12" | Cedar |
| | 2049 | 10" | Hackberry |
| | 2050 | 10" | Hackberry |
| | 2051 | 10" 10" | Hackberry |
| | 2052 | 12" | Hackberry |
| | 2053 | 8" | Hackberry |
| | 2054 | 8" | Hackberry |
| | 2055 | 10" 17" | Cedar |
| | 2056 | 7" 9" | Ash |
| | 2057 | 11" | Hackberry |
| | 2058 | 8" | Hackberry |
| | 2059 | 8" | Hackberry |
| | 2060 | 8" | Hackberry |
| | 2061 | 7" | Hackberry |
| | 2062 | 8" | Hackberry |
| | 2063 | 8" | Hackberry |
| | 2064 | 10" | Hackberry |
| | 2065 | 8" | Hackberry |
| | 2066 | 16" | Hackberry |
| | 2067 | 8" 8" 10" | Hackberry |
| | 2068 | 16" | Hackberry |
| | 2069 | 8" 8" | Hackberry |
| | 2070 | 15" | Hackberry |
| | 2071 | 10" 12" | Hackberry |
| | 2072 | 13" | Hackberry |
| | 2073 | 7" 9" | Hackberry |
| | 2074 | 13" | Hackberry |
| | 2075 | 13" | Hackberry |
| | 2076 | 11" | Hackberry |
| | 2077 | 11" | Hackberry |
| | 2078 | 9" | Hackberry |
| | 2079 | 9" | Hackberry |
| | 2080 | 12" | Hackberry |
| | 2081 | 9" | Hackberry |
| | 2082 | 13" | Hackberry |
| | 2083 | 8" | Hackberry |
| | 2084 | 13" | Hackberry |
| | 2085 | 11" | Cedar |
| | 2086 | 13" | Cedar |
| * | 2087 | 10" | Cedar |
| * | 2088 | 10" | Cedar |
| * | 2089 | 10" | Cedar |
| * | 2090 | 10" | Cedar |
| * | 2091 | 8" | Cedar |
| * | 2092 | 12" | Cedar |
| * | 2093 | 8" 12" | Cedar |
| * | 2094 | 8" | Cedar |
| * | 2095 | 10" | Cedar |
| | 2096 | 10" | Cedar |
| | 2097 | 10" | Cedar |
| | 2098 | 12" | Cedar |
| | 2099 | 10" | Cedar |
| | 2100 | 8" | Cedar |
| | 2101 | 10" | Cedar |
| | 2102 | 10" | Cedar |
| | 2103 | 8" | Cedar |
| | 2104 | 15" | Cedar |
| | 2105 | 10" | Hackberry |
| | 2106 | 10" | Hackberry |

D = DISEASED TREE
 ROW = TREE IN RIGHT OF WAY
 * = PRESERVED TREE

site integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design

John F. Murphy, ASLA

7529 Cross Gate Way
 Tyler, TX 75703
 john@siteint.com
 scott@siteint.com

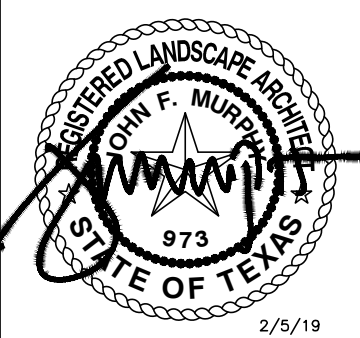
512.632.3822 - Tyler
 512.589.9584 - Austin
 www.siteint.com

TEXAS REGISTRATION #14199

GLAY MOORE ENGINEERING

1105 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75840

PHONE: 017.28.0822
 WWW.GLMENGINEERING.COM



**RANCH TRAIL
 ROCKWALL, TEXAS**

LANDSCAPE DETAILS

DESIGN: CWP
 DRAWN: CWP
 CHECKED: CLC
 DATE: 02/05/2019

SHEET
L-3

File No. 2019-001

SCOTT WILDER
 2/5/2019 11:37 AM
 C:\USERS\SCOTT WILDER\DOCUMENTS\AUTOCAD_LRD\RANCH TRAIL\RANCH TRAIL.LS.DWG
 2/5/2019 11:33 AM

Tree Stake Solutions LLC
 9973 FM 521 ROAD
 ROSHARON, TX 77583
 PHONE: (281) 778-1400
 FAX: (281) 778-1425
 www.treestakesolutions.com

1 CANOPY TREE PLANTING
 SCALE: NONE

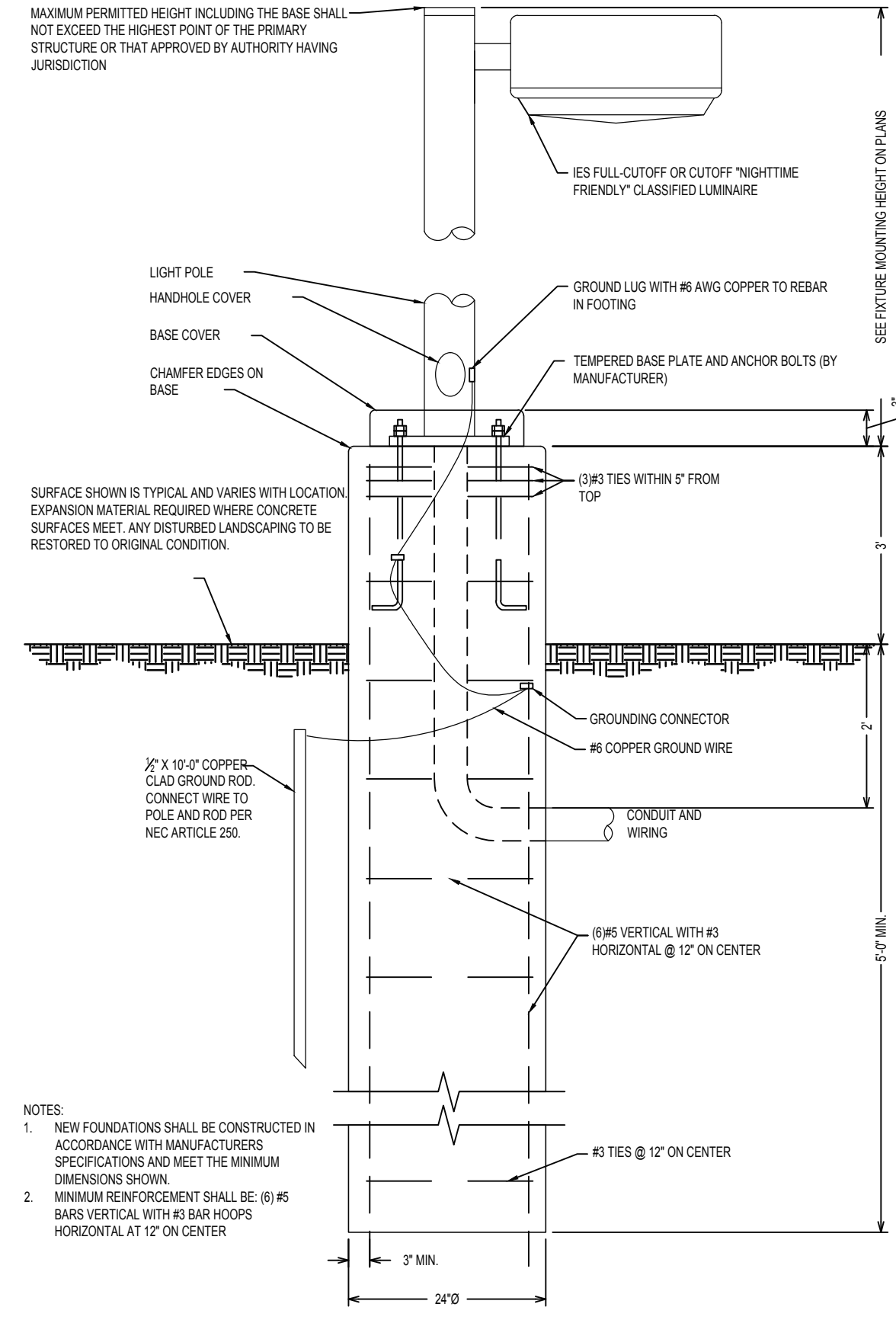
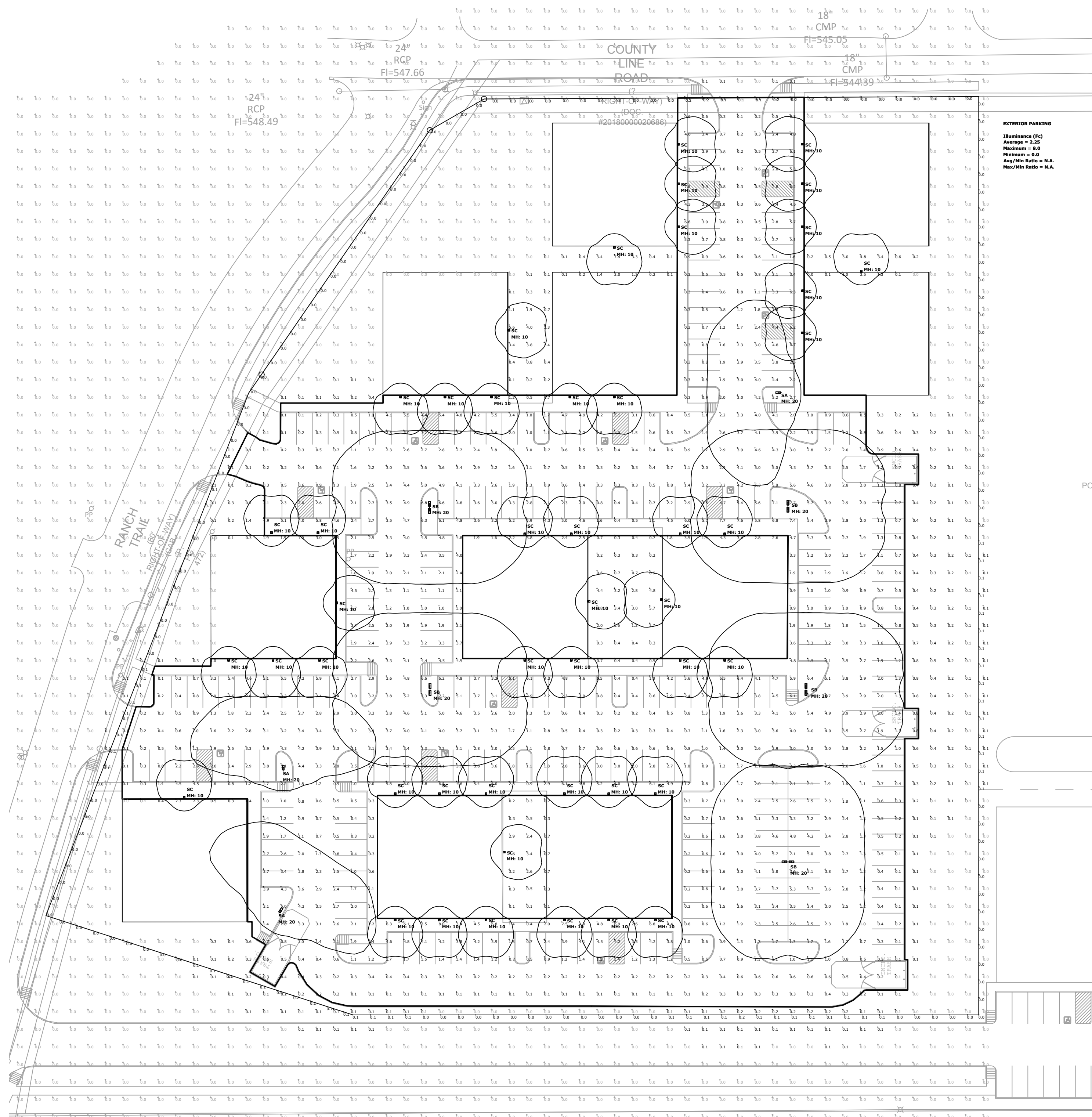
2 MULTI-TRUNK PLANTING
 SCALE: NONE

3 SHRUB PLANTING
 SCALE: NONE

4 GROUNDCOVER PLANTING
 SCALE: NONE

ROOT ANCHOR™ BELOW GRADE SAFETY STAKE SIZING CHART

| ITEM # | DESCRIPTION | NAIL LENGTH X SPC (INCLUDED) | ITEM # | DESCRIPTION | NAIL LENGTH X SPC (INCLUDED) |
|----------|---------------------------------|------------------------------|--------|-------------------------------|------------------------------|
| 3 BG | 3 GALLON OR 10" ROOTBALL | #4 X 24" | 100 BG | 95/100 GALLON OR 36" ROOTBALL | #5 X 48" |
| 15 BG | 10/15 GALLON OR 17" ROOTBALL | #4 X 36" | 150 BG | 150 GALLON OR 42" ROOTBALL | #5 X 60" |
| 30 BG | 20/30 GALLON OR 22" ROOTBALL | #4 X 36" | 200 BG | 200 GALLON OR 48" ROOTBALL | #5 X 72" |
| 45/65 BG | 45/65 GALLON OR 27-30" ROOTBALL | #4 X 48" | 300 BG | 300 GALLON OR 58" ROOTBALL | #5 X 72" |



1 TYPICAL LIGHT POLE AND BASE
NOT TO SCALE

SITE PHOTOMETRIC NOTES

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.
2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT
3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN ADJACENT PROPERTIES.

| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
|--------|------|-----|---|--------------------|-------------------|----------------|-------------------|---------------------|
| SA | SA | 3 | LITHONIA_DSX1-LED-P6-40K-T3M-MVOLT-[MOUNTING]-[OPTIONS]-[FINISH]-DM19AS | 13452 | 163 | 1.000 | 0.808 | 1.000 |
| SB | SB | 5 | LITHONIA_DSX1-LED-P6-40K-T3M-MVOLT-[MOUNTING]-[OPTIONS]-[FINISH]-DM28AS | 36984 | 326 | 1.000 | 0.808 | 1.000 |
| SC | SC | 46 | LITHONIA_KAXX-LED-P1-40K-R4-MVOLT-[OPTIONS]-[FINISH] | 3644 | 29 | 1.000 | 0.808 | 1.000 |

| Calc. Location | Calc. Height (ft.) | Units | Avg | Max | Min | Avg/Min |
|------------------|--------------------|-------|------|-----|-----|---------|
| CalcPt. 1 | N.A. | Fc | 0.03 | 0.2 | 0.0 | N.A. |
| CalcPt. 2 | N.A. | Fc | 0.05 | 0.2 | 0.0 | N.A. |
| SITE Planar | 0 | Fc | 0.77 | 8.0 | 0.0 | N.A. |
| EXTERIOR PARKING | | Fc | 2.25 | 8.0 | 0.0 | N.A. |

- ELECTRICAL LIGHTING AND POWER NOTES**
1. ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS.
 2. LOADING AND BREAKER LAYOUT SHOWN IS BASED ON BEST AVAILABLE DATA. SPECIALTY, MEDICAL OR IT EQUIPMENT AND APPLIANCES, ETC MAY NEED SEPARATE CIRCUITS. INSTALLING ELECTRICIAN TO VERIFY ACTUAL EQUIPMENT WATTS AND SUPPLY CORRECT EQUIPMENT AS NEEDED.
 3. ALL RECEPTACLES SHALL BE GFCI PROTECTED IF REQUIRED BY NEC OR AHJ.
 4. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED WITH WEATHERPROOF IN-USE COVERS.
 5. ALL RECEPTACLES IN AREAS GENERALLY OCCUPIED BY CHILDREN INCLUDING CLASSROOMS, PATIENT EXAM ROOMS, WAITING ROOMS, RESTROOMS, HALLWAYS AND GYMS TO BE TAMPER-RESISTANT.
 6. ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL.
 7. ALL LIGHTING AND CONTROLS SHALL CONFORM TO CURRENT IECC SECTION C405.2
 8. EMERGENCY ELECTRICAL SYSTEM AS LOCATED ON THIS PLAN SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND AN INITIAL ILLUMINATION OF AN AVERAGE 1 FOOTCANDLE. EMERGENCY POWER SYSTEM TO BE IN COMPLIANCE WITH IBC SECTION 1006.
 9. ALUMINUM CONDUCTORS GREATER THAN 2/0 (APPROX 200 AMPS) CAN BE USED FOR THE INDIVIDUAL SERVICE.
 10. OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 11. CONTRACTOR TO CONTACT UNDERDESIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

- MEP GENERAL NOTES**
1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
 2. CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO INSTALLATION.
 3. REVIEW PLAN SHEET "MEP0 - MEP NOTES" PRIOR TO PERMITTING, BIDDING AND CONSTRUCTION.
 4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.
 5. SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
 6. SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
 7. WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
 8. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
 9. DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATION OCCURRING ON THE PROJECT THAT ARE OR SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.

AME Engineering, Inc. TEXAS FIRM F-16469
 mail@ameengineer.com | ofc 817-653-4122 | fax 817-754-6615
 3825 W Green Oaks Blvd Suite 200, Arlington TX 76016-2700

OWNER REVIEW: 01-18-2018

ISSUE:

DATE: JAN 19 2019

PROJECT NO: 2019001

DRAWN BY:

CHECKED BY:

OFFICE/WAREHOUSE PROJECT
 for
 RANCH TRAIL DEVELOPMENT
 407 RANCH TRAIL
 ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT

2 ESSEX COURT
 HEATH, TX 75032

750 E Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

**RANCH TRAIL
 ROCKWALL, TX 75087**

LEGAL DESCRIPTION AND OR ADDRESS:

**RAINBOW ACRES,
 LOT 18 & S PT OF 19,
 9.76 ACRES**

OWNER
 JT Alliance, Inc.
 16 Meadowlake Drive
 Heath, TX 75032

APPLICANT
 Carroll Architects, INC
 750 E. Interstate 30 #110
 Rockwall, TX 75087
 Ph: 972-732-6085 Email: jc@carrollarch.com

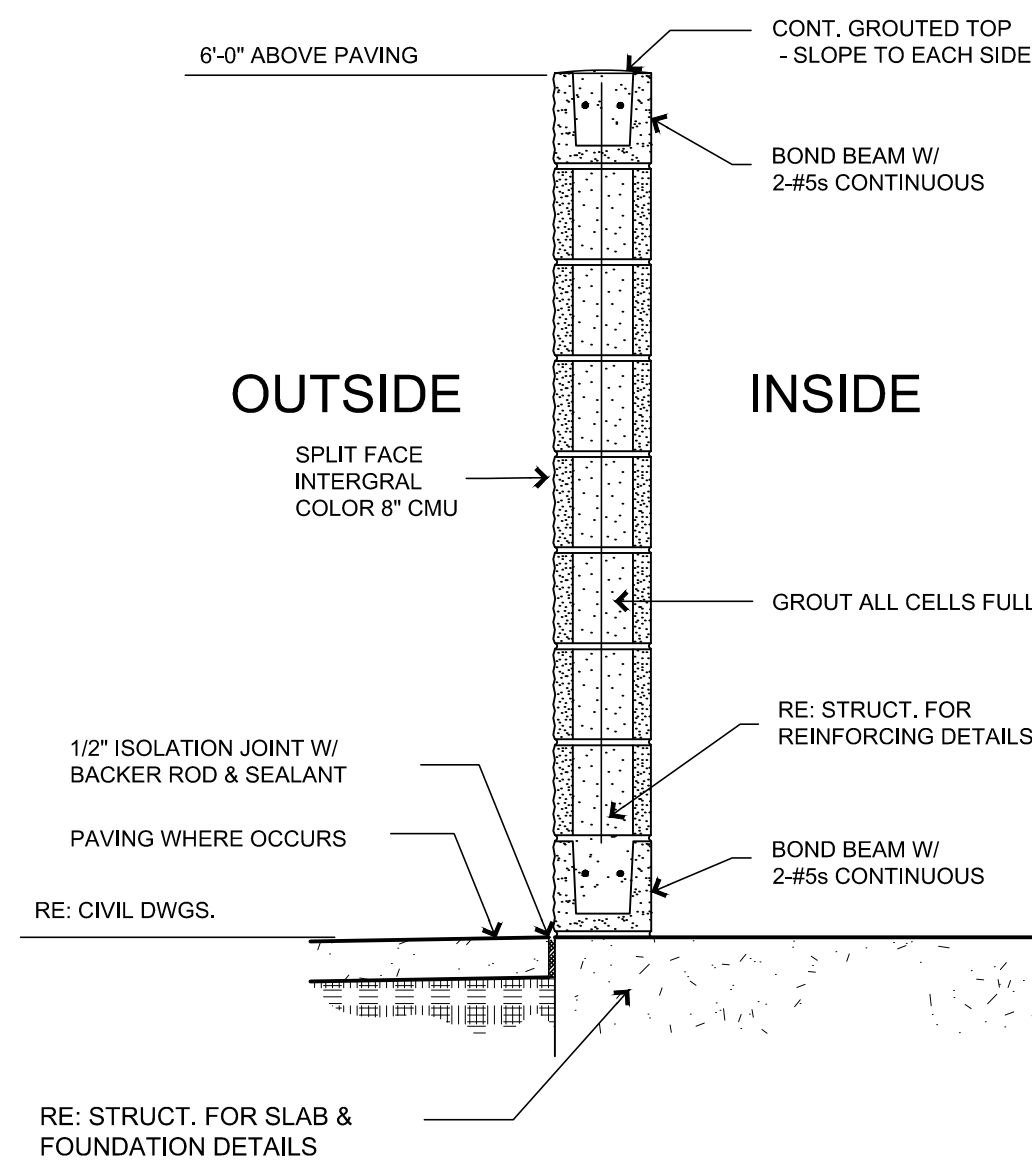
CASE NUMBER
 2018XXX

DATE: JAN 19 2019

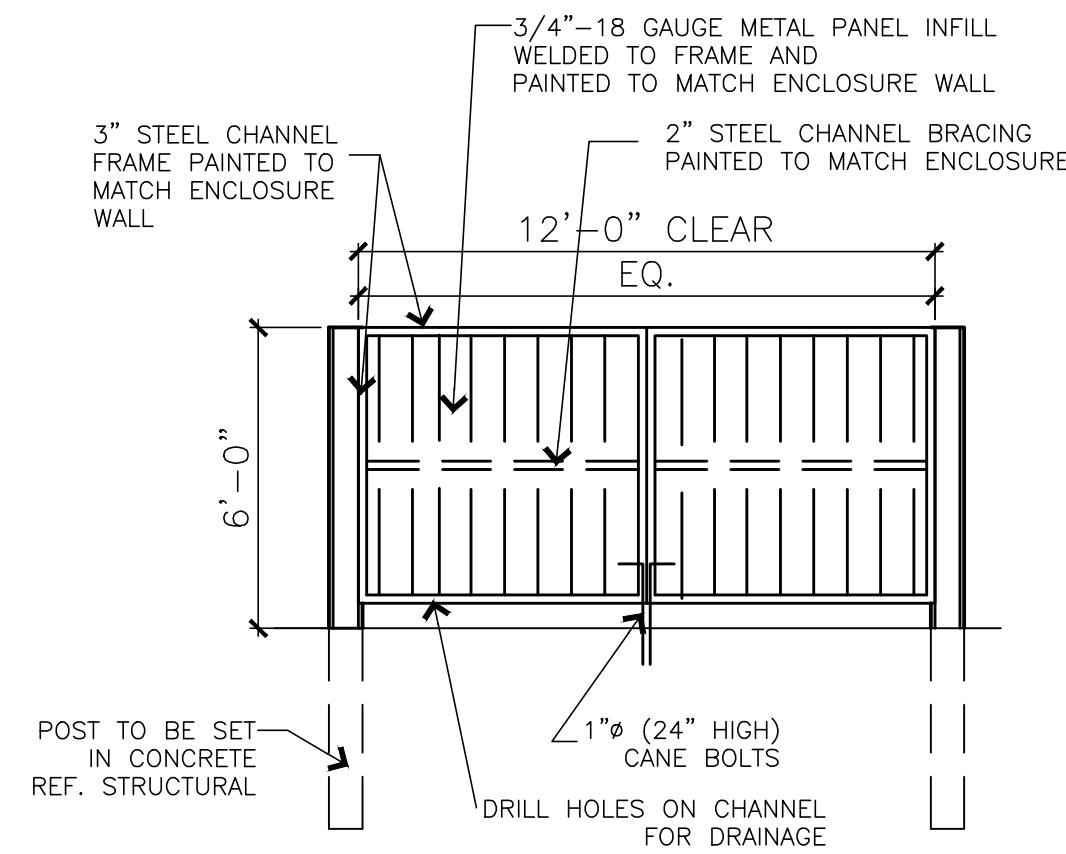
PROJECT NO: 2019001

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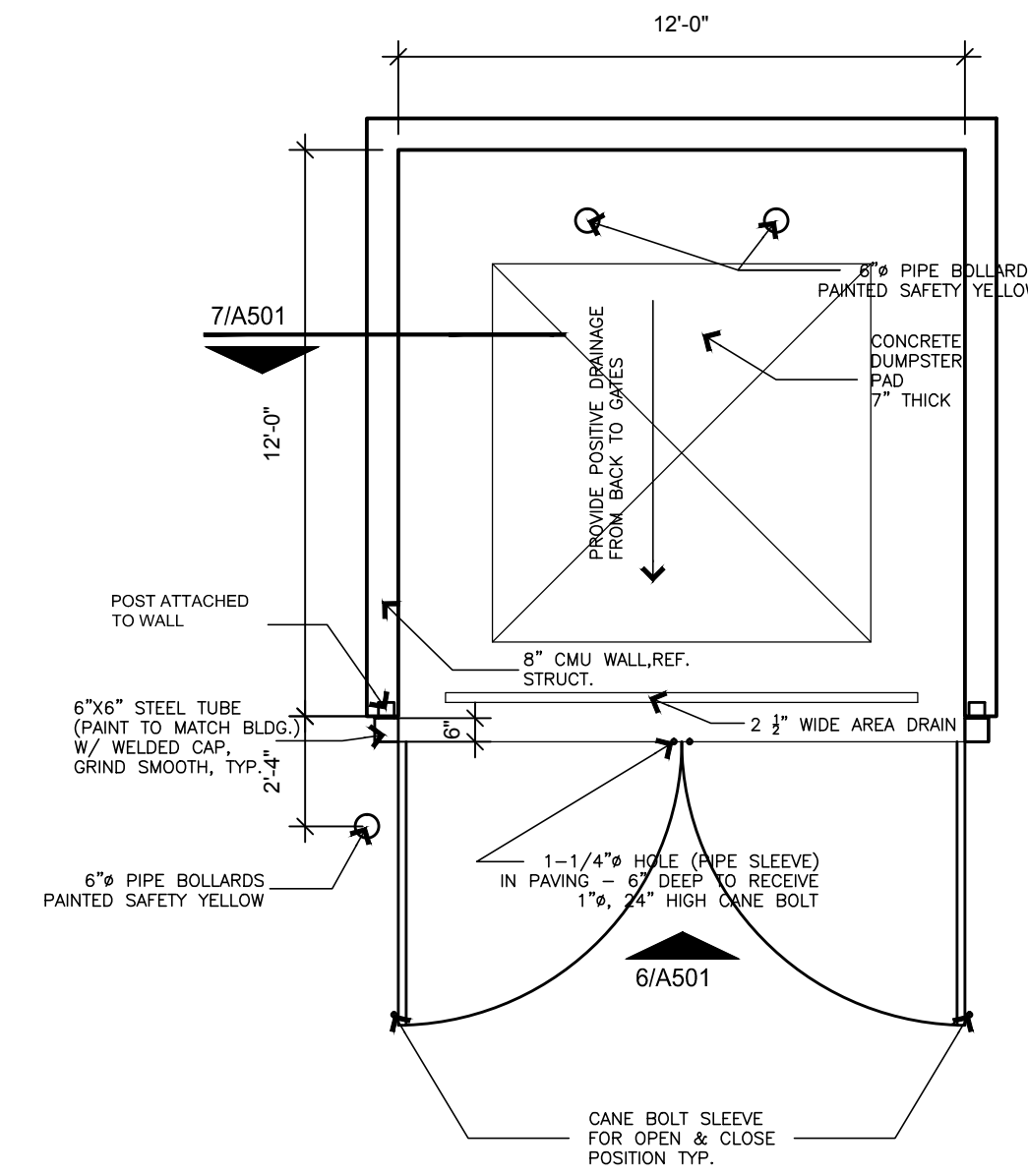
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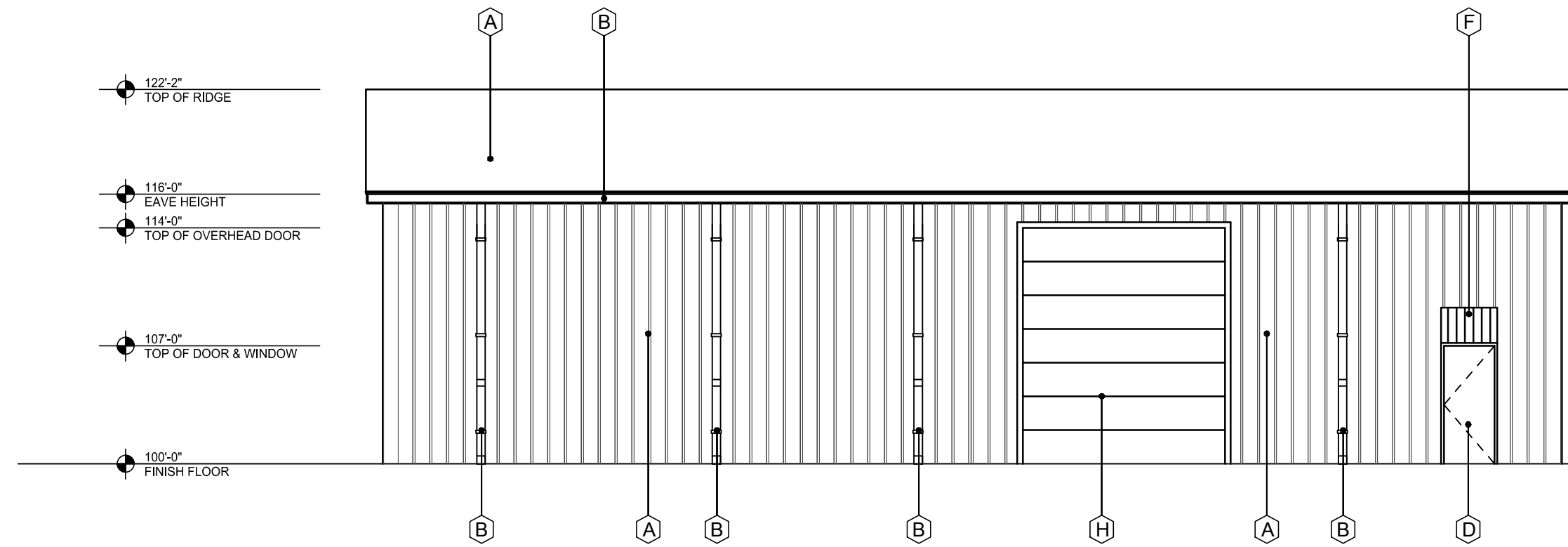
7 DUMPSTER SECTION
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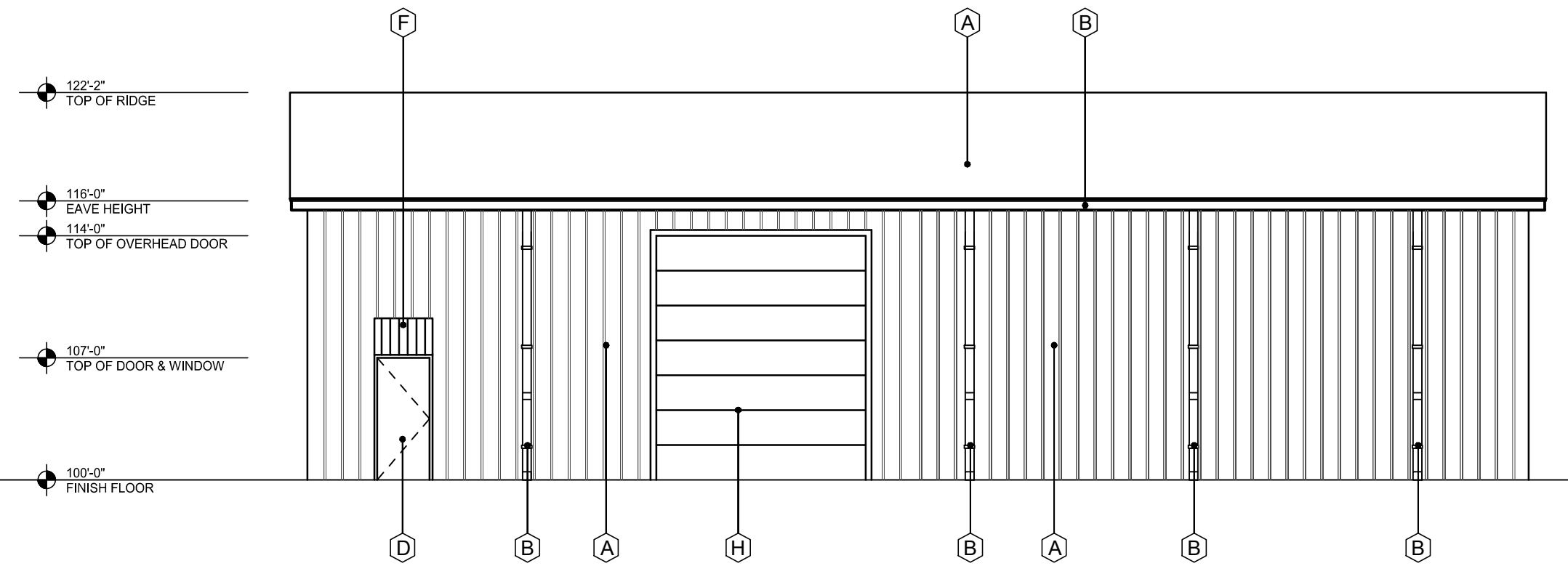
6 DUMPSTER ELEVATION
SCALE: 1/4"=1'-0"



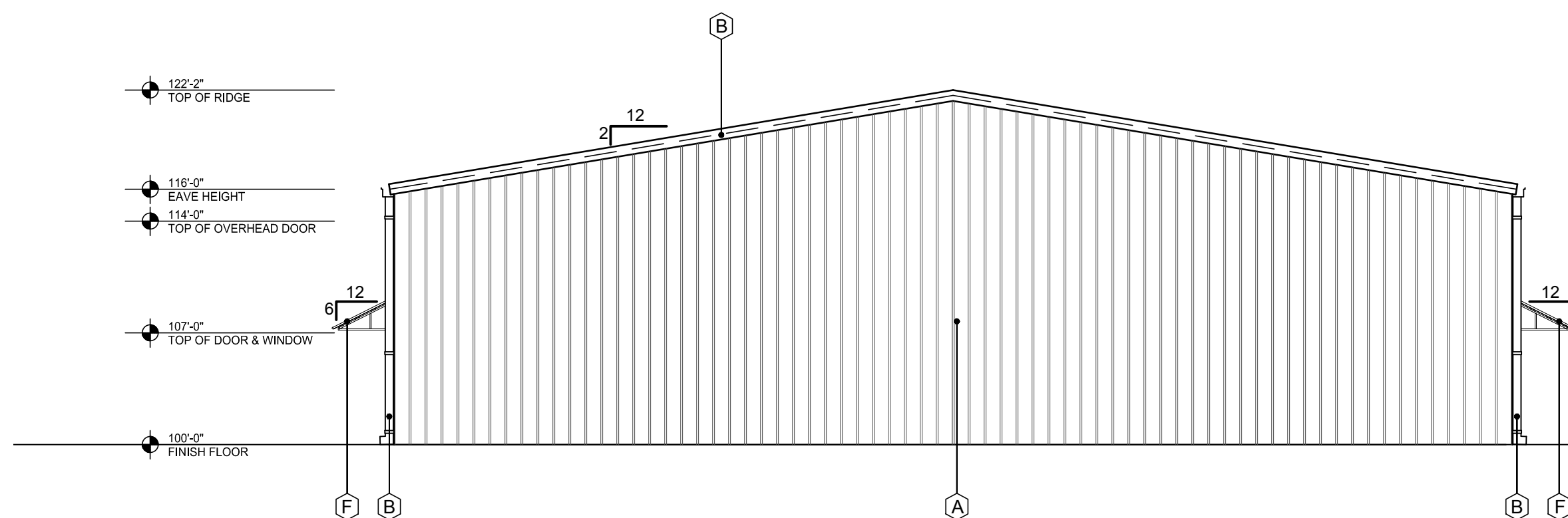
5 DUMPSTER PLAN
SCALE: 1/4"=1'-0"



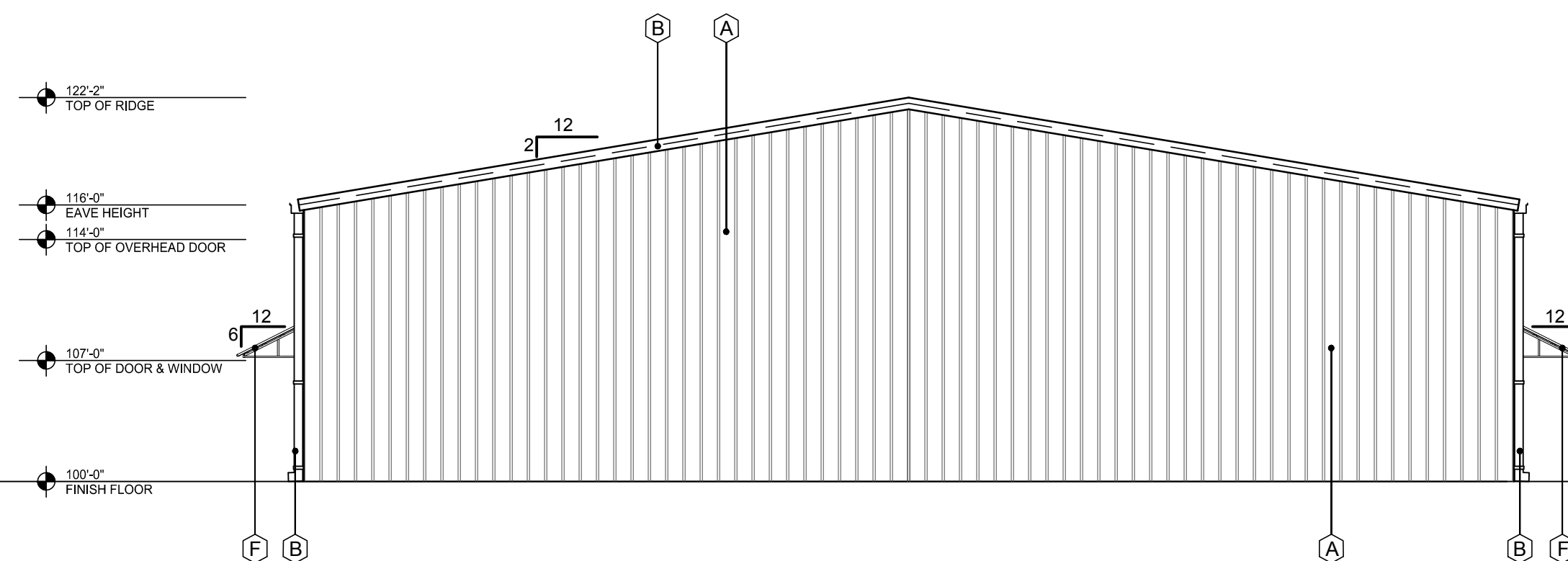
4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR - 12-14 COLOR: MATCH - A |

| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| LEGAL DESCRIPTION AND OR ADDRESS: | |
| RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES | |
| OWNER | |
| JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032 | |
| APPLICANT | |
| Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E-mail: info@carrollarch.com | |
| CASE NUMBER 2018XXX | |

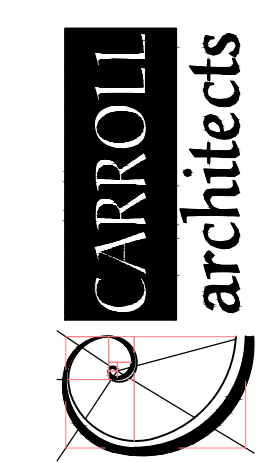
ISSUE: OWNER REVIEW: 01-18-2018

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OFFICE/WAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

**RANCH TRAIL
DEVELOPMENT**

2 ESSEX COURT
HEATH, TX 75032



750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

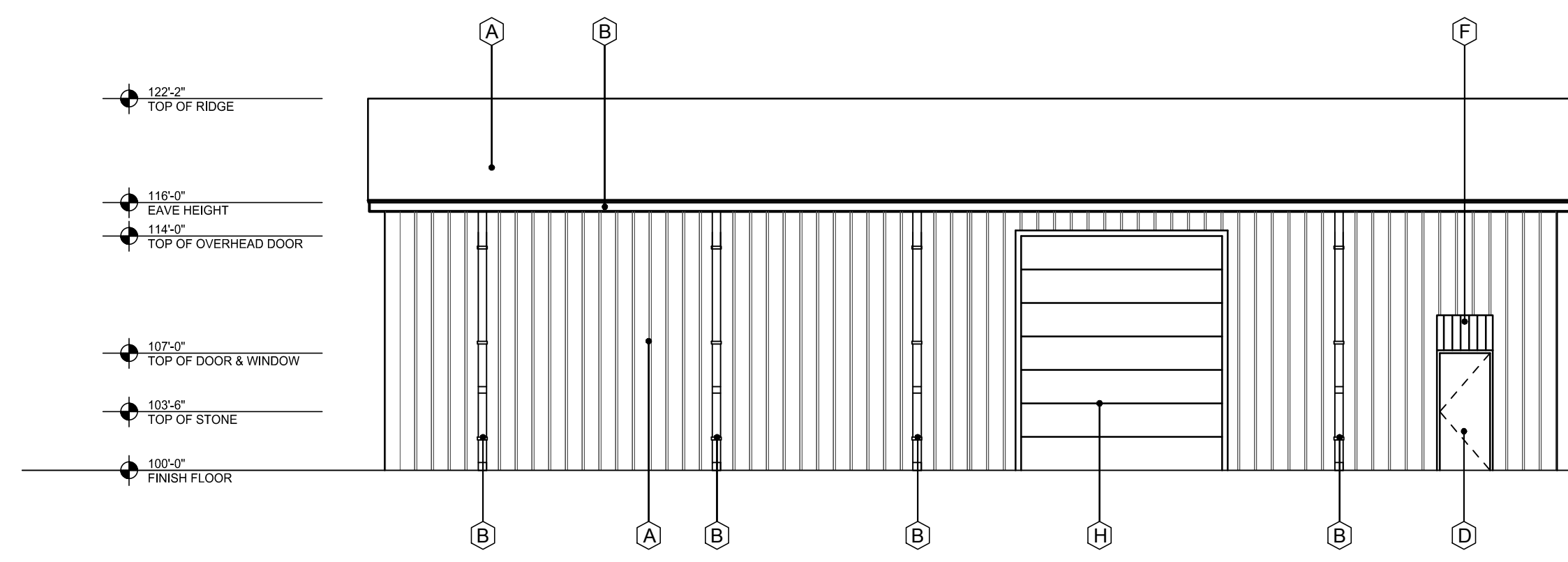
**EXTERIOR
ELEVATIONS
CONCEPT A**

DATE: _____ SHEET NO: _____
 PROJECT NO: JAN 2019
 DRAWN BY: 2019001 **A501**
 CHECKED BY: _____

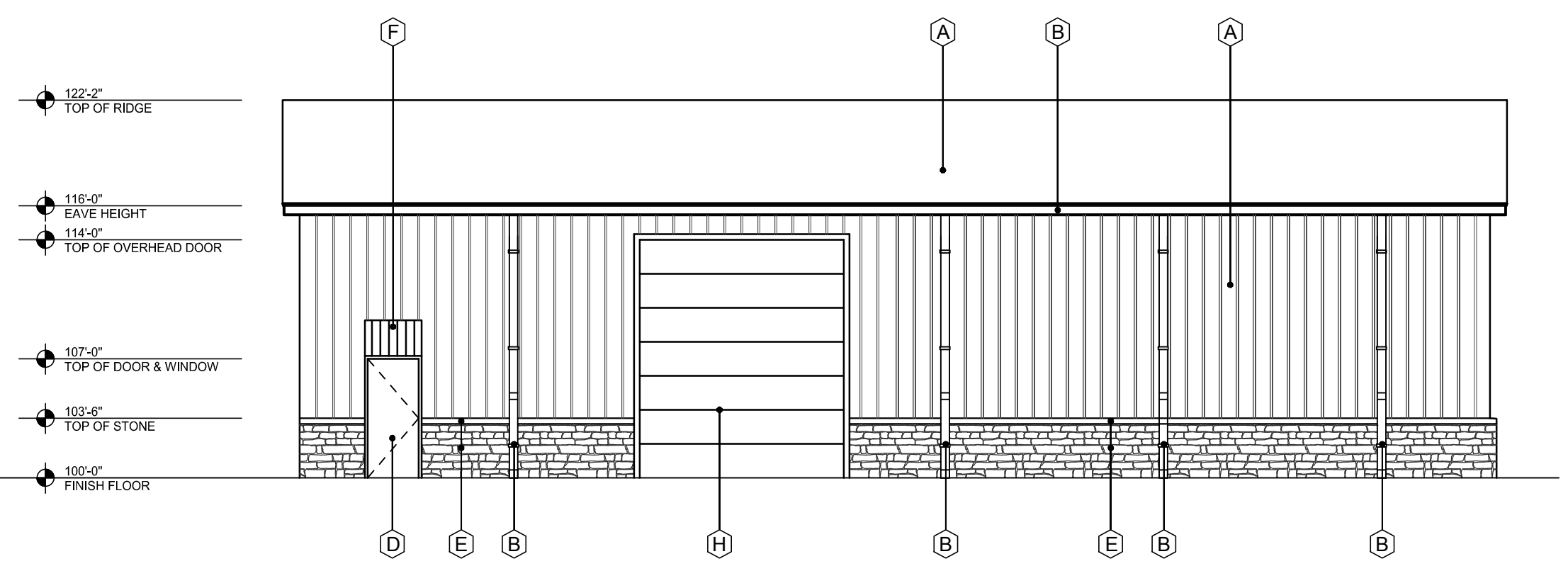
OWNER REVIEW: 01-18-2018

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OFFICE/WAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

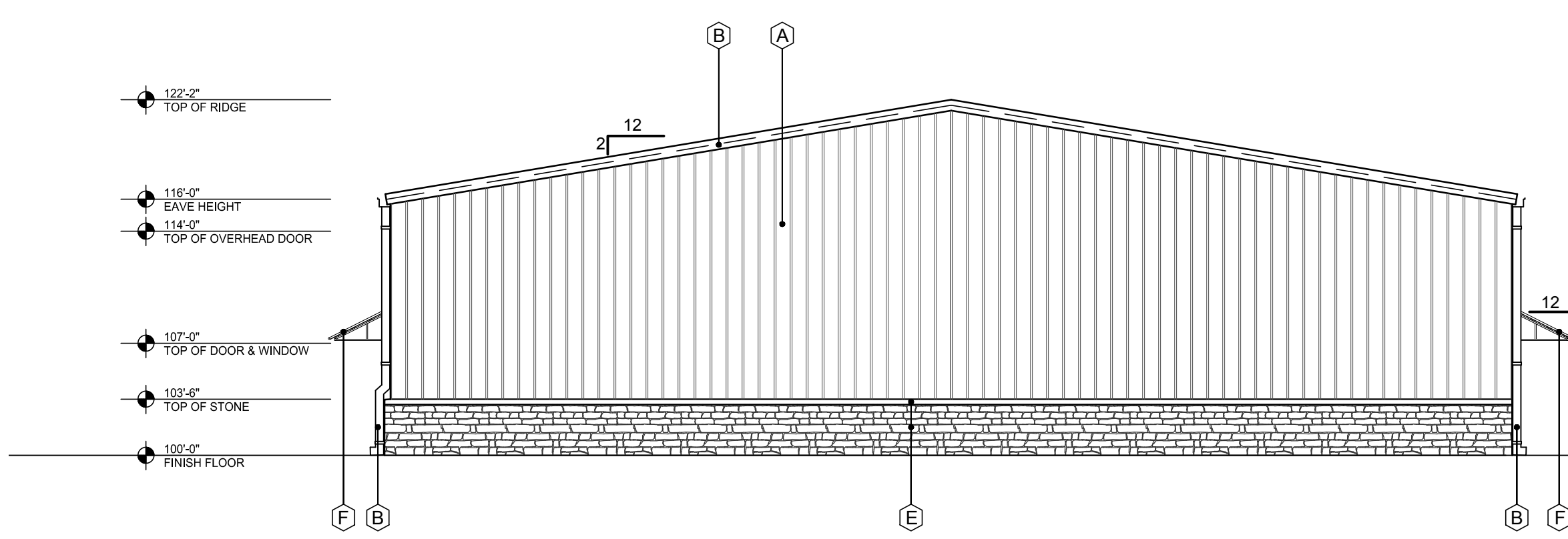


4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

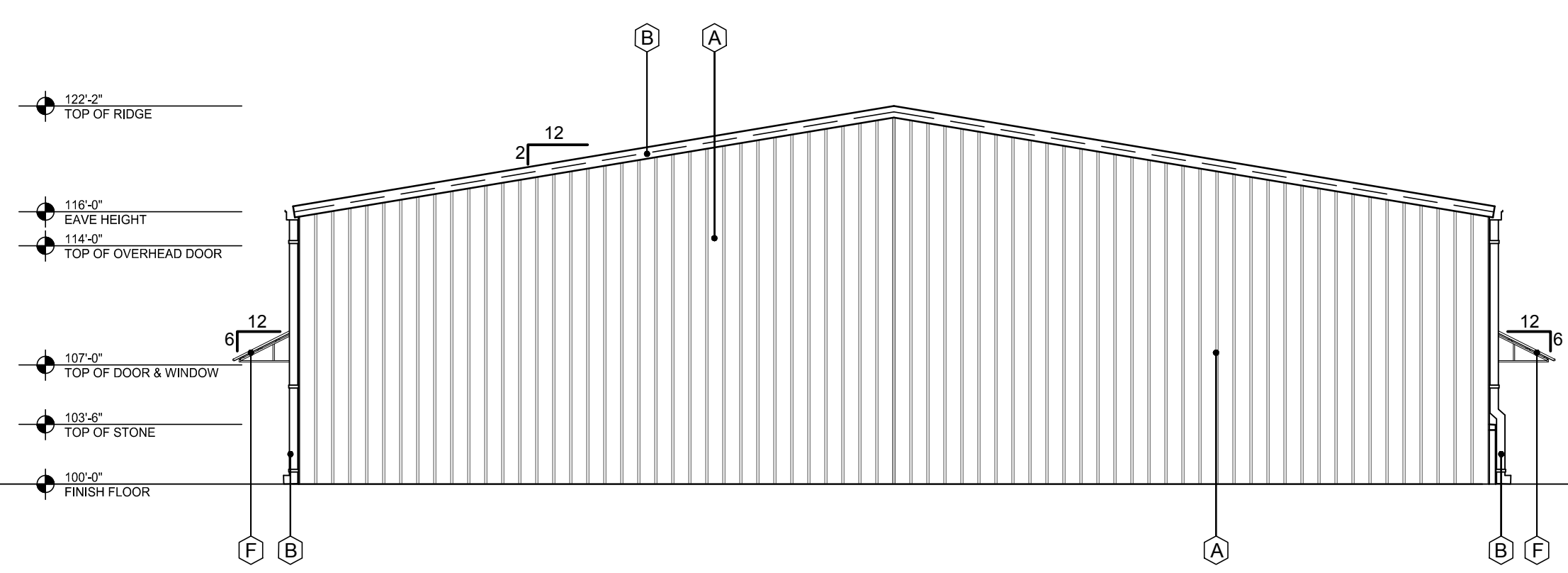


3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR-12-14 COLOR: MATCH - A |



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"

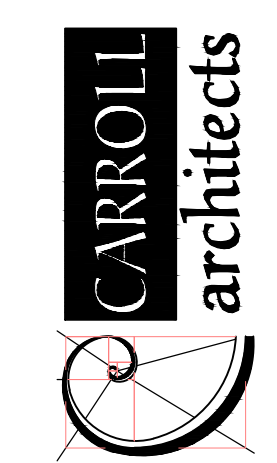


1 EAST ELEVATION
SCALE: 1/8"=1'-0"

| | |
|--|--|
| RANCH TRAIL ROCKWALL, TX 75087 | |
| <small>LEGAL DESCRIPTION AND/OR ADDRESS:</small> | |
| RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES | |
| <small>OWNER</small> | |
| JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032 | |
| <small>APPLICANT</small> | |
| Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E-mail: info@carrollarch.com | |
| <small>CASE NUMBER</small> 2018XXX | |

RANCH TRAIL
DEVELOPMENT

2 ESSEX COURT
HEATH, TX 75032



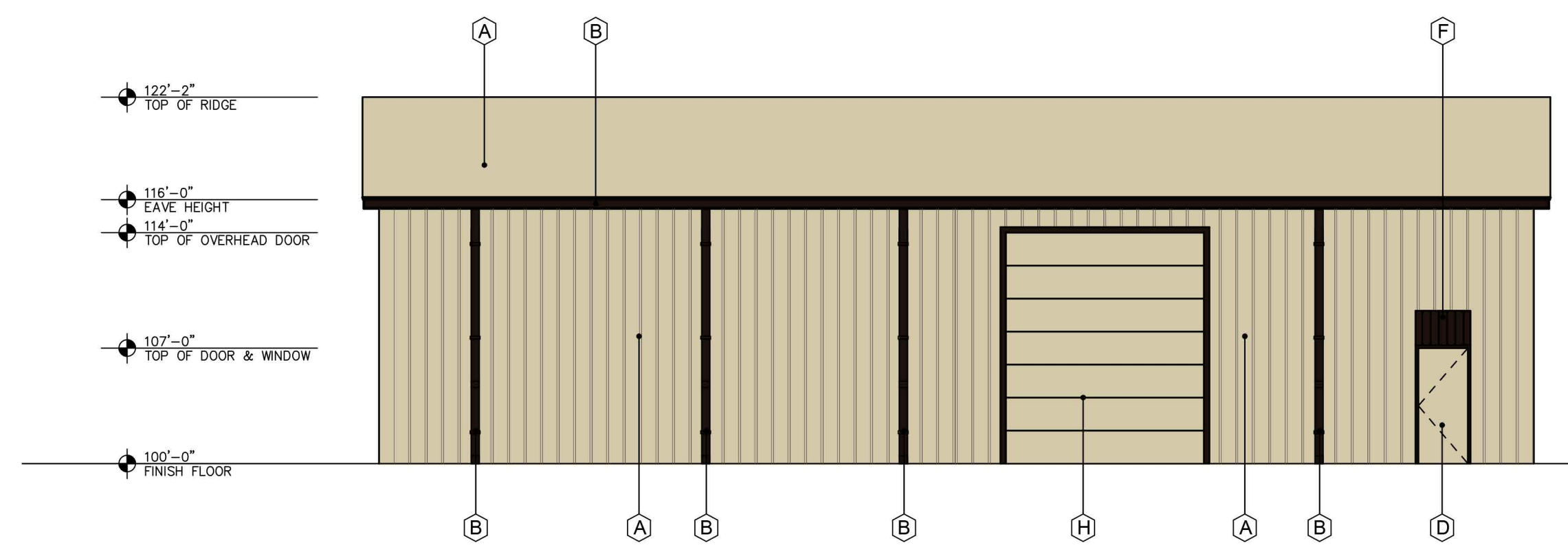
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**EXTERIOR
ELEVATIONS
CONCEPT B**

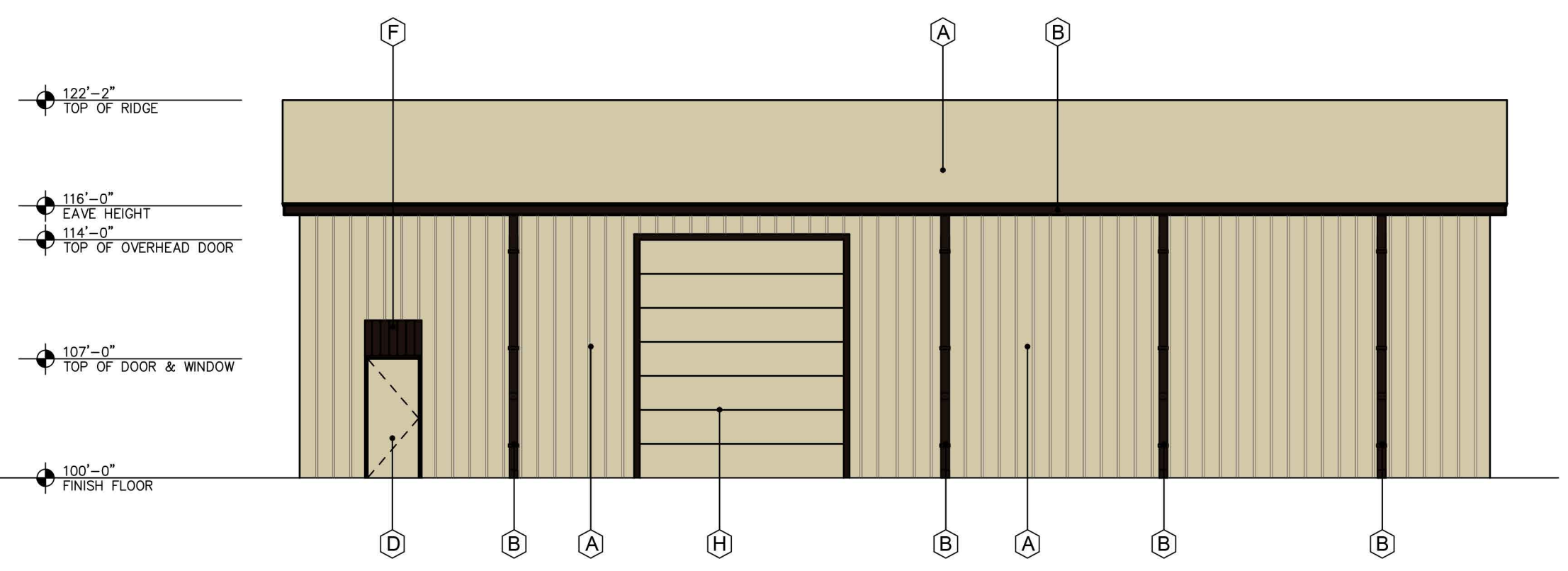
DATE: _____ SHEET NO: _____
PROJECT NO: JAN 2019
DRAWN BY: 2019001 **A501**
CHECKED BY: _____

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OFFICE/WAREHOUSE PROJECT
 for
RANCH TRAIL DEVELOPMENT
 407 RANCH TRAIL
 ROCKWALL, TX 75032

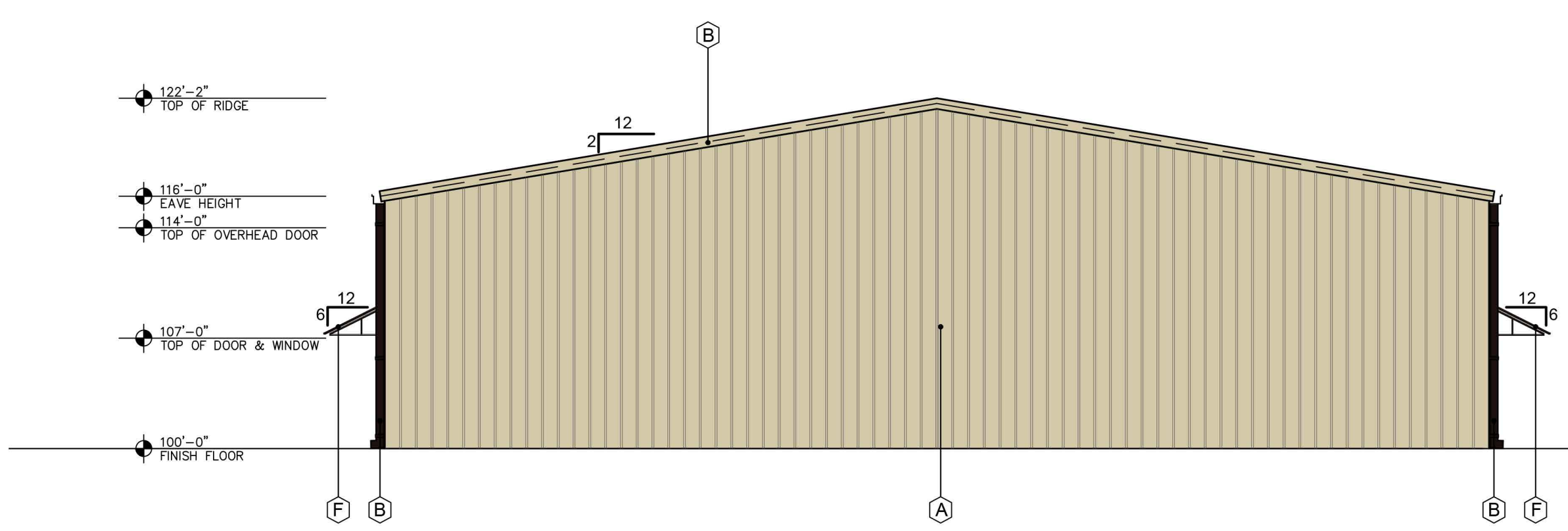


4 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

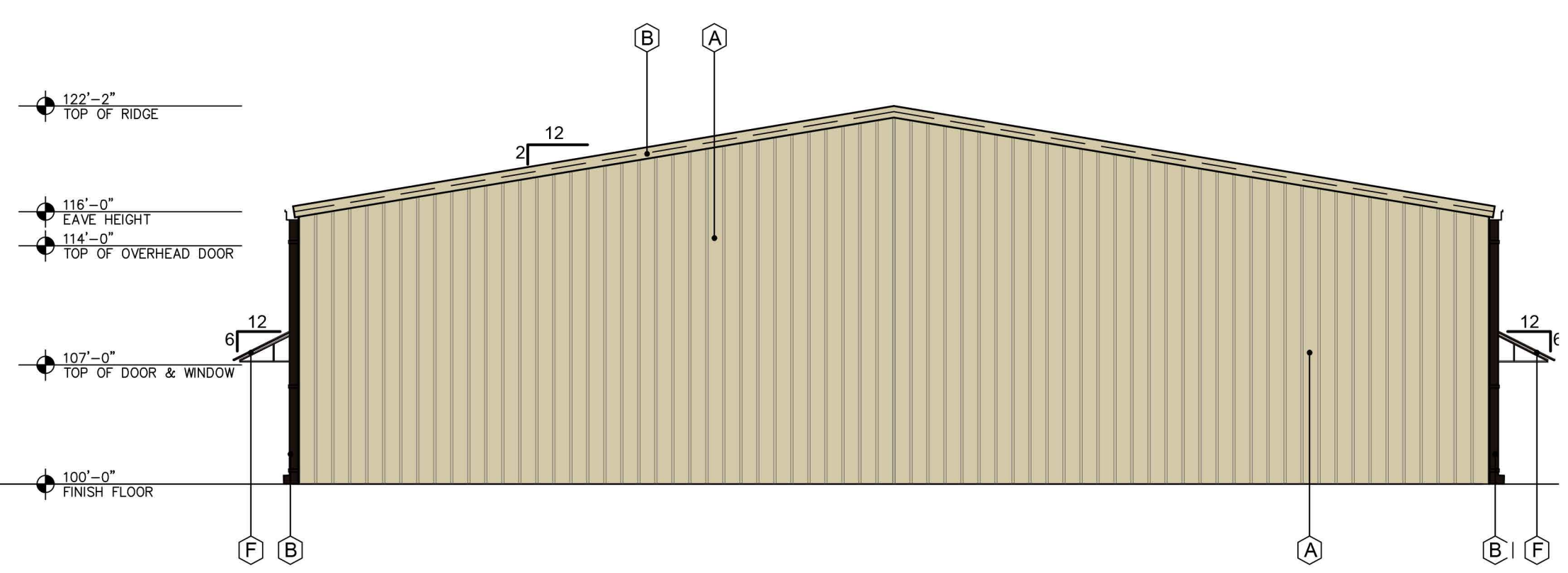


3 NORTH ELEVATION - STREET SIDE
 SCALE: 3/16"=1'-0"

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
| D | EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH - A |
| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR -12x14 COLOR: MATCH - A |



2 WEST ELEVATION - STREET SIDE
 SCALE: 1/8"=1'-0"



1 EAST ELEVATION
 SCALE: 1/8"=1'-0"

RANCH TRAIL DEVELOPMENT

2 ESSEX COURT
 HEATH, TX 75032



750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

EXTERIOR ELEVATIONS CONCEPT A

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OFFICE/WAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT

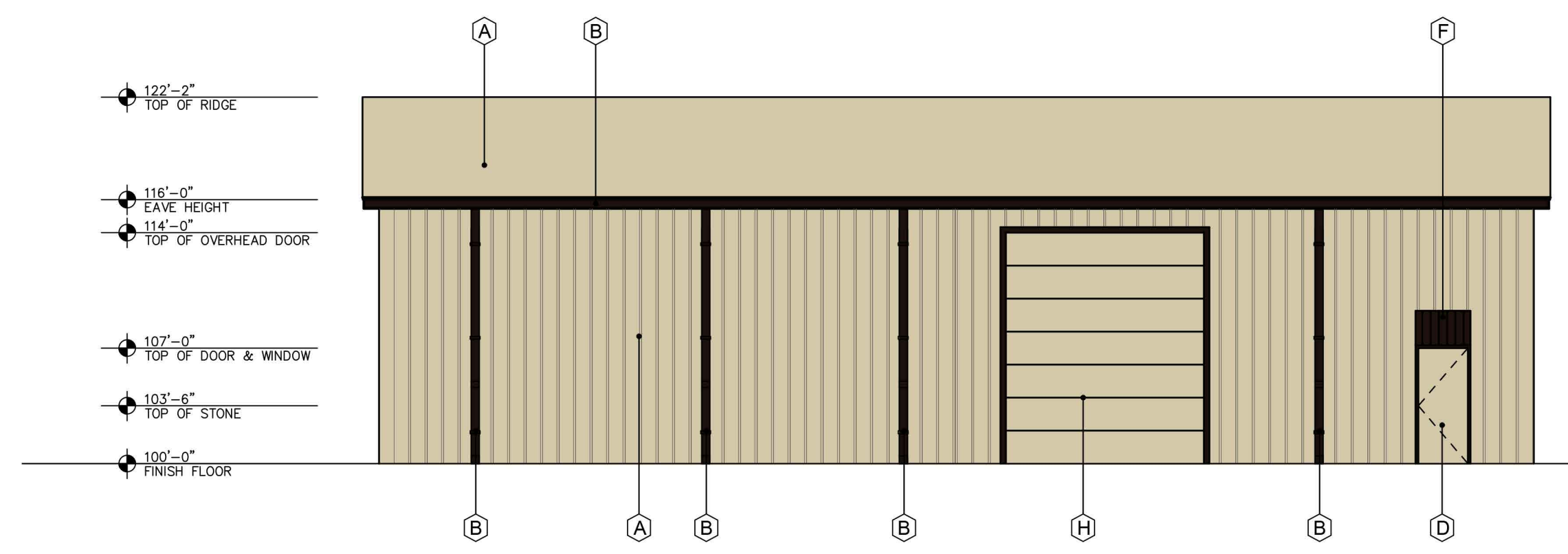
2 ESSEX COURT
HEATH, TX 75032



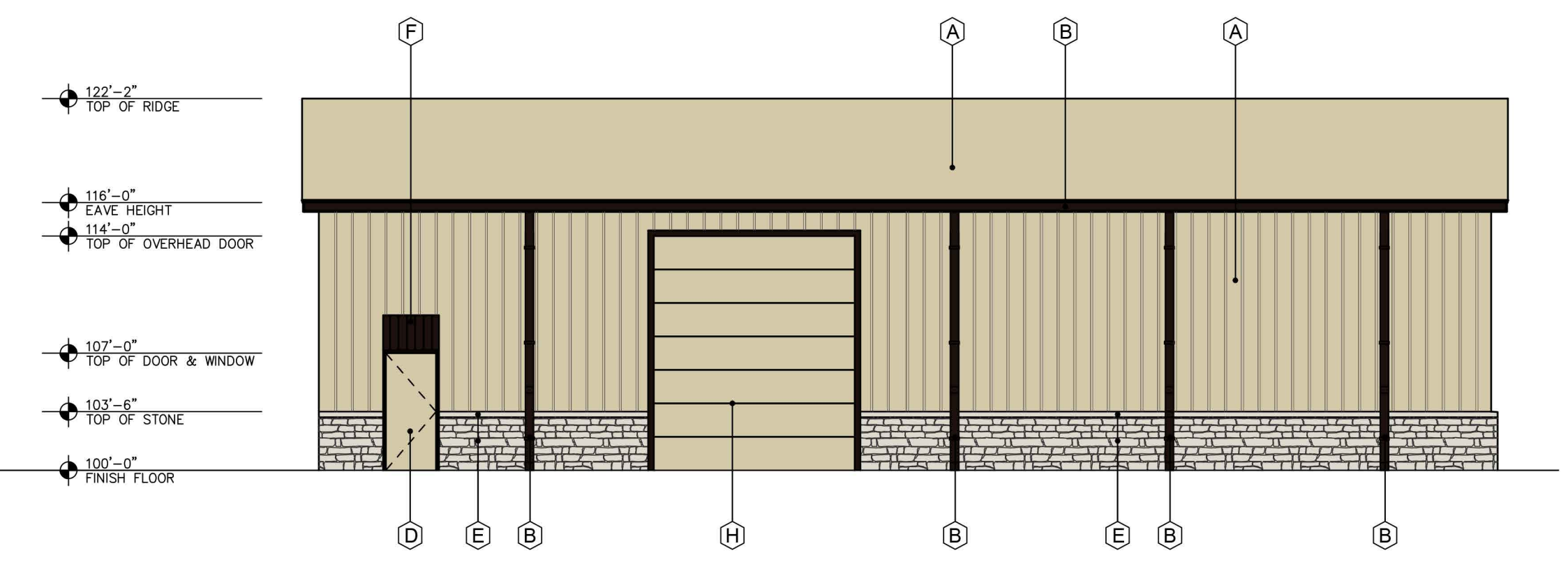
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR ELEVATIONS CONCEPT B

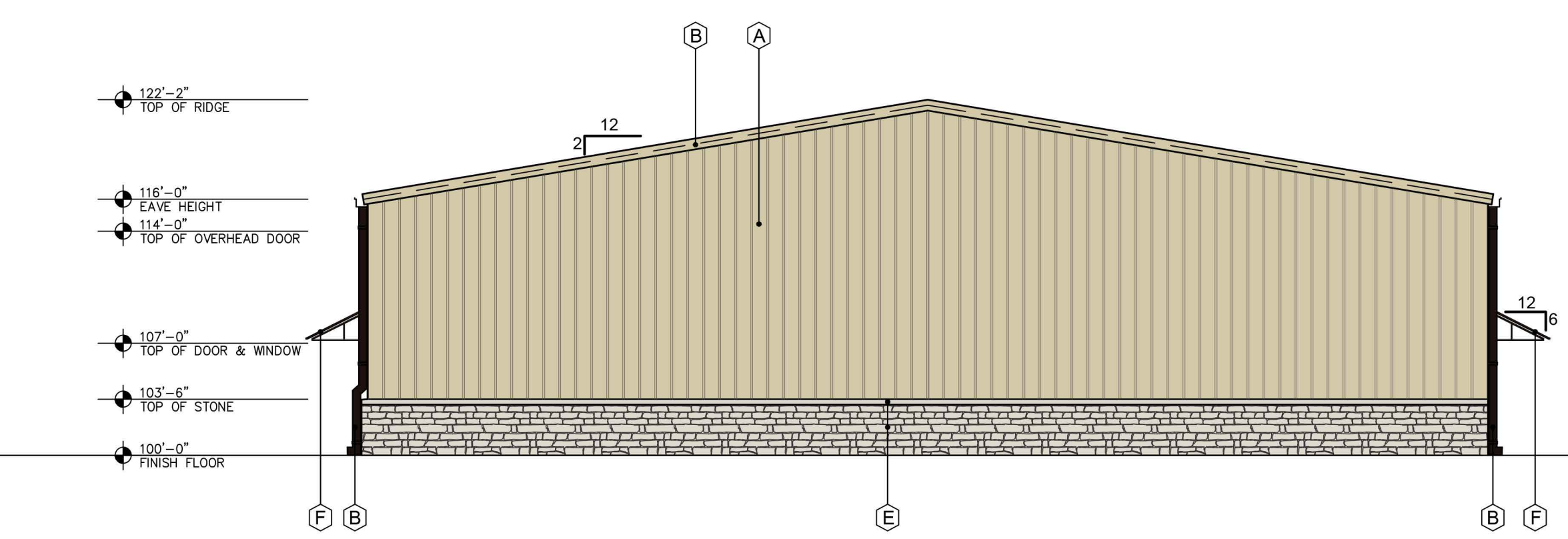
| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE |
| B | PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE |
| C | ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED |
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| E | STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP |
| F | PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE |
| G | BRICK VENEER COLOR: ACME, OXFORD PLACE |
| H | OVERHEAD DOOR -12x14 COLOR: MATCH - A |



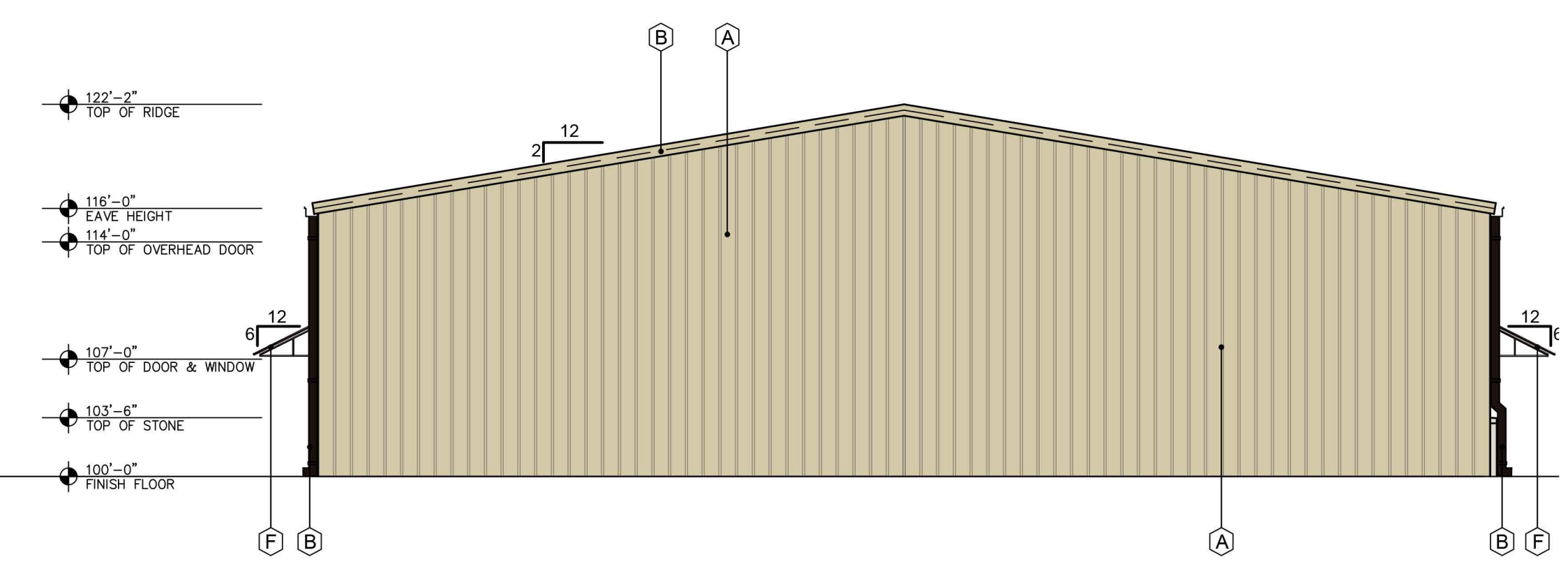
4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



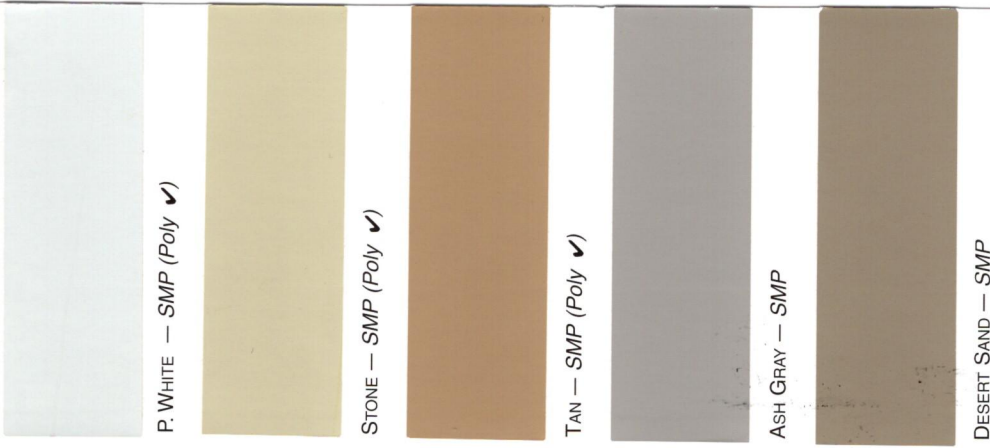
3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"



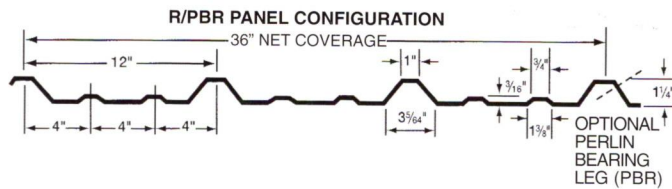
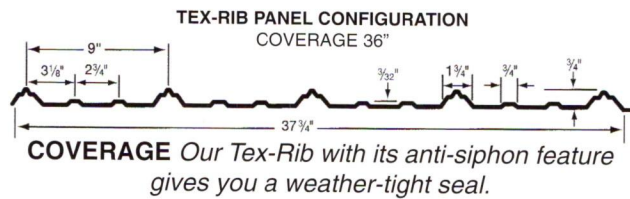
SAWYER

METAL

12562 Hwy 64W, Tyler, TX 75704
 (903) 531-0182 • Fax: (903) 531-2402
www.sawyermetal.com

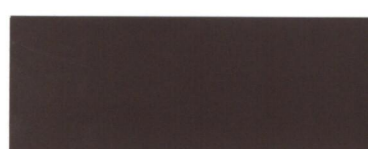
The Weather XL™ Silicone Polyester coil coatings from Valspar are ideal for agricultural, residential & commercial roofing, industrial applications, and pre-engineered metal buildings.

- 40 yr paint warranty on SMP Paint Systems.
- 10 yr paint warranty on Poly Paint Systems.
- Custom Trim available.
- Complete line of metal roofing and metal building components.
- Bolt up Steel Building Kits.
- UL 2218 Classified Steel.



valspar

WeatherXL



* Color requires minimum order
 ✓ Poly based on availability
 Color samples shown approximate actual paint colors as closely as possible

1/25/2019

City of Rockwall Project Plan Review History



| | | | | | | |
|-----------------------|-------------------------|------------------|-----------------------------|-----------------|-----------|----|
| Project Number | SP2019-003 | Owner | JT ALLIANCE, INC. | Applied | 1/18/2019 | LM |
| Project Name | Ranch Trail Development | Applicant | CLAYMOORE ENGINEERING, INC. | Approved | | |
| Type | SITE PLAN | | | Closed | | |
| Subtype | | | | Expired | | |
| Status | Staff Review | | | Status | | |

| | | |
|---------------------|------------------------|---------------|
| Site Address | City, State Zip | Zoning |
| 405 RANCH TRAIL | Rockwall, TX 75032 | |

| | | | | | |
|--------------------|--------------|--------------|---------------|------------------|---------------------|
| Subdivision | Tract | Block | Lot No | Parcel No | General Plan |
|--------------------|--------------|--------------|---------------|------------------|---------------------|

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|------------------------|------------------|-----------|-----------|-----------|---------|----------|---------------|
| BUILDING | Russell McDowell | 1/18/2019 | 1/25/2019 | 1/22/2019 | 4 | APPROVED | |
| ENGINEERING | Sarah Hager | 1/18/2019 | 1/25/2019 | 1/25/2019 | 7 | COMMENTS | See comments. |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|-----------------|-----------|-----------|-----------|----------------|--------------|
| (1/25/2019 11:21 AM SH) | | | | | | |
| <ul style="list-style-type: none"> - All parking to be 20'x9' and all drive isle radii must be 20' minimum. - Water line must be centered in 20' Utility Easement. - Sewer and lift station will all be private. Label each item and private. - Need the new plans for COunty Line Road Reconstruction. - Must tie water into the 12" line in County Line Road or we will stub out to you if the reconstruction gets there first. - No grate inlets allowed. Must be curb inlets for paving. - Dumpsters to drain to oil/water separator prior to entering the storm system. - Drainage must be in sheet flow condition before crossing the property line from detention. - Landscape Plan, add note, "8. No trees within 5' of utilities." <p>The following is for your information for engineering plan review.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees - Impact fees. - Min 20' utility easements. - No structures in easements. - Fire lane easement to be on plat. - Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). - Parking to be 20'x9' - 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required. - 8" sewer in Ranch Trl. - Sewer pro-rata of \$432.74/acre. - Must install 5' sidewalk along County Line. - Dumpster area to drain to oil/water separator or grease trap, depending on use. - No trees within 5' of public utilities. - Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls. - Must have detention. Manning's "c-value" is per zoning for the entire property. - If using the pond for detention, it must be over the existing level. - Must have a waters of the US Study if touching the pond. - Detention outfall must reach sheet flow conditions prior to crossing the property line. - Must meet all City Engineering Standards. | | | | | | |
| FIRE | Ariana Hargrove | 1/18/2019 | 1/25/2019 | 1/24/2019 | 6 COMMENTS | See comment |
| (1/24/2019 6:31 PM AA) | | | | | | |
| <p>Any building with a total floor area of 5,000 square feet or greater shall be protected by automatic fire sprinklers. The total floor area is calculated by adding the square footage of all floor levels within the exterior walls including mezzanines, and under the horizontal projections of the roof of a building.</p> | | | | | | |
| GIS | Lance Singleton | 1/18/2019 | 1/25/2019 | 1/22/2019 | 4 APPROVED | See comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed | Status | Remarks |
|---|--------------|-----------|-----------|-----------|---------|----------|----------|
| <p>(1/22/2019 2:36 PM LS)</p> <p>Address assignment: The complex address will be 405 Ranch Trail, Rockwall, TX 75032. Each building should be given a letter designation such as A, B, C...</p> <p>In each building - the units / suits can be assigned at the time of permitting and should be given a number such as 101,103, 105 or 102,104,106 allowing number gaps for future demising walls. (200+ numbers designate two+ story buildings etc.) Example: 405 Ranch Trail B-101, Rockwall, TX 75032.</p> | | | | | | | |
| PLANNING | Korey Brooks | 1/18/2019 | 1/25/2019 | 1/25/2019 | 7 | COMMENTS | Comments |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|--|---------|------|-----|----------|----------------|--|
| SP2019-003 Site Plan for Multi-Tenant Office/Warehouse on 403 Ranch Trail: Please address the following comments (M= Mandatory Comments; I = Informational Comments) | | | | | | |
| ? | | | | | | This is a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trai |
| ? | | | | | | For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. |
| ? | | | | | | For reference, include the case number (SP2019-003) in the lower right hand corner of all pages on future submittals. |
| ? | | | | | | Site Plan. Please note, there is missing information on the Site Data Table (e.g. pervious vs impervious, landscape percentage, etc). Please check the Site Plan Checklist.. |
| ? | | | | | | Site Plan. Please check driveway spacing with the Engineering Department and the "Future Driveway Connection" |
| ? | | | | | | Site Plan. Please note that at 5,000 SF, the buildings will need to have a sprinkler system. The Fire Department may already require a sprinkler due to the type of use. |
| ? | | | | | | Site Plan. Please note, there will need to be heavy landscape screening at the property lines |
| ? | | | | | | Site Plan. Please show any rollup doors on the building (i.e. provide a notch or something that indicates where the doors are located) |
| ? | | | | | | Site Plan. Please note that roll-up door should not be visible from the street. |
| ? | | | | | | Site Plan. Please show easements |
| ? | | | | | | Site Plan. In order to clean-up the plan, please remove the ADA symbols and callouts. Also, for other items, try to limit callouts and maybe utilize hatching/shading and provide information in a legend. |
| ? | | | | | | Site Plan. Please provide SF of office and SF of warehouse for each building. |
| ? | | | | | | Site Plan. Perhaps, number the buildings (for site planning purposing only) so that they are easier to refer to. |
| ? | | | | | | Site Plan. Please utilize a combination of lineweights, especially adjacent to Ranch Trail. Things seem to get lost and its difficult to see centerline of Ranch Trail v. dimensions, etc. |
| ? | | | | | | Site Plan. Please label each lot. For instance, there appears to be three different lots. Numbering the lots makes it easier to refer to. |
| ? | | | | | | Site Plan. Please provide visibility triangles where driveways meet the street. |
| ? | | | | | | Site Plan. Please provide centerlines of all adjacent roadways. (It may be there already but difficult to see.) |
| ? | | | | | | Some of the buildings have lines in the middle of them, which are not dimension lines. For clarity, what are these lines? |
| ? | | | | | | Site Plan. Please note, parking spaces should be 20 x 9 (unless a clear 2-foot overhang, which you show). Just check with Engineering to be sure those spaces are ok. Please dimension typical parking spaces and head to head space. |
| ? | | | | | | Site Plan. Please note that the dumpster cannot directly face the street. Perhaps they can be angled? |
| ? | | | | | | Site Plan. Is the footprint of each building going to be perfectly square, rectangle, etc? If not, please show the building footprint as it would actually appear. |
| ? | | | | | | Site Plan. Please greyscale pond. |
| ? | | | | | | Site Plan. Please show setbacks. |
| ? | | | | | | Site Plan. "Construction Schedule" does not necessarily call out the ADA Symbol and pavement striping. The sidewalk could be a hatch pattern in the legend that shows the hatch and states the width of sidewalk. ADA accessible ramp could be shown as a symbol in a symbol legend. |
| ? | | | | | | Site Plan. Show fire hydrants as symbol and provide in legend. |
| ? | | | | | | Site Plan. The existing firelane symbol is difficult to read. Perhaps the firelane could be shown as a stippling pattern (or some other hatch)? |
| ? | | | | | | Site Plan. Add a note that the dumpster enclosure shall have an opaque, self-latching gate. Also, check the minimum dimensions of the enclosure to ensure compliance—they seem tobe slightly undersized. |
| ? | | | | | | Site Plan. The substitution of symbols in a legend rather than call outs would be helpful. |
| ? | | | | | | Site Plan. Show and label landscape buffers adjacent to roadways (perhaps in greyscale). |
| ? | | | | | | Site Plan. Please remove the footprints of the buildings on the adjacent property to the south. Also any information not related to this site should be removed. |

| Type of Review / Notes | Contact | Sent | Due | Received | Elapsed Status | Remarks |
|------------------------|---------|------|-----|----------|----------------|--|
| | | | | | | For example, in the lower lefthand corner next to the future driveway there is a light pole and a power pole showing in addition to "Ex. Gravel Drive". |
| ? | | | | | | Site Plan. The drive approaches for the properties across the roadways do not need to be shown |
| ? | | | | | | Site Plan. The adjacent roadway labels should be more noticeable. |
| ? | | | | | | Site Plan. The parking spaces need to be behind the front façade of the buildings. There are two or three parking spaces located at the drive aisle off county line road that will need to be moved. |
| ? | | | | | | Site Plan. The parking space closest to the dumpster enclosure at the east property line may have to be eliminated due to lack of backing out space. |
| ? | | | | | | Site Plan. Please note our updated screening requirements for residential adjacency. |
| ? | | | | | | Site Plan. Will the detention be regional? If so, indicate. |
| ? | | | | | | Landscape Plan. Please show centerlines of adjacent roadways. |
| ? | | | | | | Landscape Plan. Please provide site data table as shown on landscape plan. Also, please check the site plan checklist that shows additional information to be added to site data table (e.g. pervious vs. impervious percentage, landscape percentage, etc.) |
| ? | | | | | | Landscape Plan. Please check trees along the property line to ensure that they are not within 5-feet of a utility. |
| ? | | | | | | Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing. Also, please show and label landscape buffer adjacent to roadways. |
| ? | | | | | | Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance. Also, dimension a typical parking space as well as typical head to head. |
| ? | | | | | | Landscape Plan. Please show any easements. |
| ? | | | | | | Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline. |
| ? | | | | | | Landscape Plan. Please show heavy landscape screening from the adjacent residential property |
| ? | | | | | | Landscape Plan. Please provide engineering information on all plans (e.g turning radii, easements, utilities, etc). Also provide visibility triangle. |
| ? | | | | | | Landscape Plan. What is the square black box in the middle of the drive aisle off County Line Road? Please indicate in legend. |
| ? | | | | | | Landscape Plan. There are a number of trees that show "70 AJ" or similar. What is that? |
| ? | | | | | | Landscape Plan. Please label pond. Also you may have to check to see if this is Waters of the U.S. |
| ? | | | | | | Landscape Plan. Please label detention pond. |
| ? | | | | | | Landscape Plan. Please indicate the number of caliper inches and percentage of caliper inches that is being paid into the tree fund. |
| ? | | | | | | Landscape Plan. Am I correct that only one tree is being preserved? Just as a note, |
| ? | | | | | | Photometric Plan. If any additional lighting is being provided, please provide a photometric plan. |
| ? | | | | | | Building Elevations. Please provide updated drawings showing the proposed wainscot and material percentages. |
| ? | | | | | | Building Elevations. Staff recommends that all facades visible from a public street by full masonry |
| ? | | | | | | Building Elevations. Provide Site data Table as provided on other sheets. |
| ? | | | | | | Photometric Plan. Please provide cut sheets. |
| ? | | | | | | The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m. |
| ? | | | | | | Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019,at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019 |

| SITE DATA TABLE | |
|---------------------|------------------------------------|
| SITE AREA | 7.52 AC 327,554 SF |
| ZONING | C - COMMERCIAL |
| PROPOSED USE | COMMERCIAL |
| BUILDING SIZE | 11 BLDG @ 4,999 SF TO 54,989 SF TO |
| LOT COVERAGE | 36.9% |
| FLOOR TO AREA RATIO | 0.17 : 1 |
| BUILDING HEIGHT | 1 STORY |

| PARKING TABLE | |
|----------------------|--|
| PARKING REQUIREMENTS | 3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR |
| PARKING REQUIRED | 209 SPACES |
| PARKING PROVIDED | 250 SPACES |
| ADA REQUIRED | 7 SPACES |
| ADA PROVIDED | 11 SPACES |

Need to get new County Line Road plans from the City.

Tie into 12" water line in County Line Road unless City is there first and we will stub out to you.

All parking must be 20'x9' and curve radius must be 20' minimum for drive isles.

No Grate Inlets. Must use curb inlets in paving.

Drainage must meet sheet flow conditions before it crosses the property line

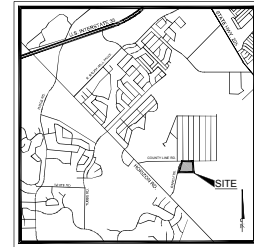
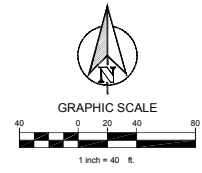
All sewer lines will be private. Label each line as "Private"

This will be a private lift station.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height).
- Parking to be 20'x9'
- 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
- 8" sewer in Ranch Trl.
- Sewer pro-rata of \$432.74/acre.
- Must install 5' sidewalk along County Line.
- Dumpster area to drain to oil/water separator or grease trap, depending on use.
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must have detention. Manning's "c-value" is per zoning for the entire property.
- If using the pond for detention, it must be over the existing level.
- Must have a waters of the US Study if touching the pond.
- Detention outfall must reach sheet flow conditions prior to crossing the property line.
- Must meet all City Engineering Standards.

Waterline must be centered in a 20' Utility Easement

All dumpsters to drain to oil/water separator prior to entering the storm system.



| CONSTRUCTION SCHEDULE | |
|-----------------------|-----------------------------------|
| 1 | STANDARD DUTY (5" CONCRETE) |
| 2 | HEAVY DUTY (6" CONCRETE) |
| 3 | DUMPMSTER PAD (7" CONCRETE) |
| 4 | PROPOSED SIDEWALK CONCRETE |
| 5 | PROPOSED CONCRETE CURB AND GUTTER |
| 6 | PROPOSED FIRE LANE |
| 7 | PARKING COUNT |

| CONSTRUCTION SCHEDULE | |
|-----------------------|---------------------------------|
| 1 | HANDICAP SYMBOL |
| 2 | PAVEMENT STRIPING |
| 3 | PARKING STALL STRIPING, 4" WIDE |
| 4 | SIDEWALK, SFT MIN. WIDTH |
| 5 | ADA ACCESSIBLE RAMP |

| | |
|---|--|
| RANCH TRAIL ROCKWALL, TX 75087 LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S FT OF 19, ACRES 9.76 | |
| OWNER: | JT'S ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032 |
| APPLICANT: | CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 |
| CASE NUMBER: | X |



PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
Engineering and Planning
CONSULTANTS
CLAY CREEK
Project No. 108900, Date 2/18/2019

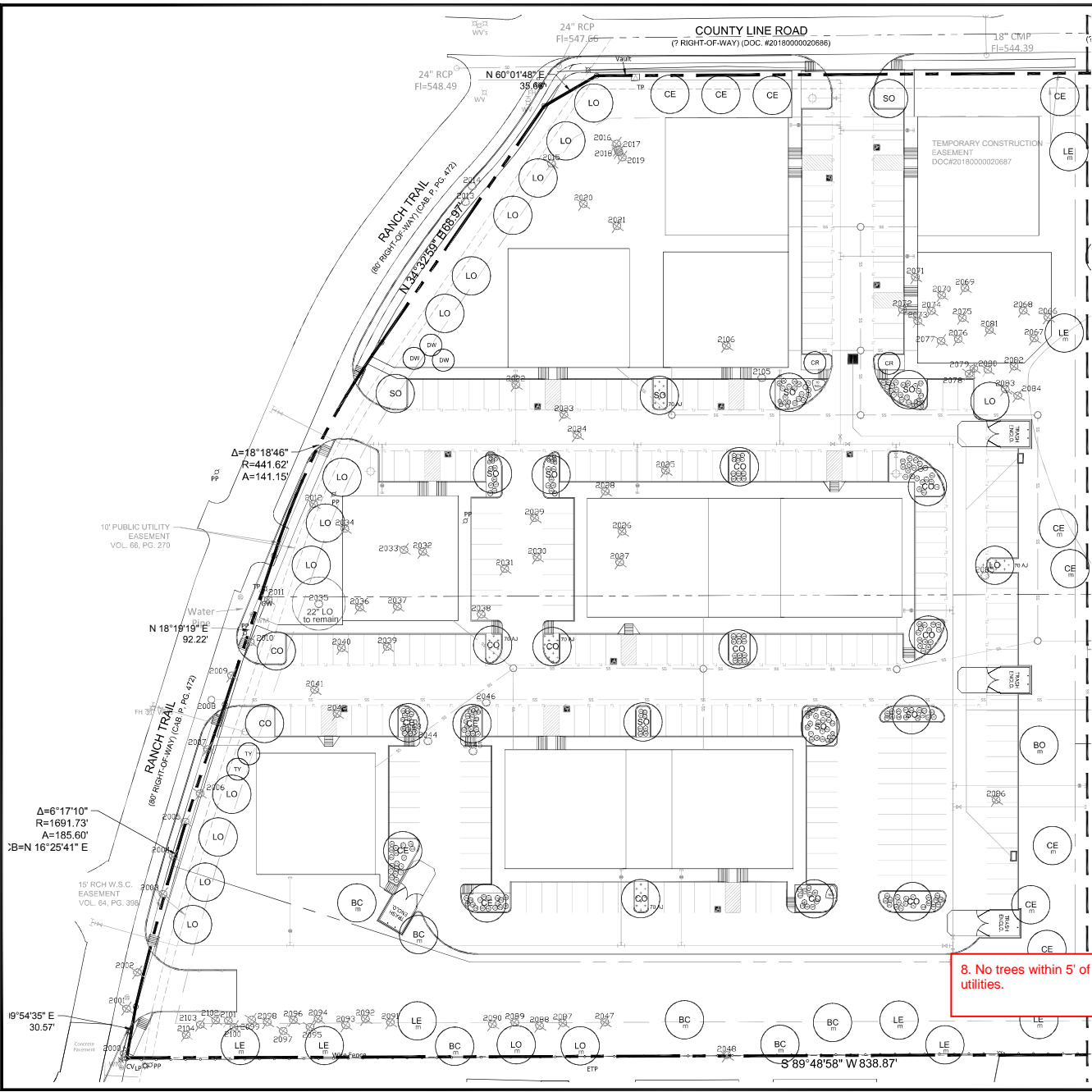
**RANCH TRAIL
ROCKWALL, TEXAS**

CITY SITE PLAN

DESIGN: CUP
DRAWN: CUP
CHECKED: CUP
DATE: 01/15/2019
SHEET
SP-1
File No. 2019-001

PLOTTED BY: LYNN ROWLAND, INC.
PLOT DATE: 1/17/2019, 2:36:36 PM
PLOT FILE: C:\Users\lrowland\Documents\2019-001_RANCH TRAIL ROCKWALL\CADD\SHEETS\SP-1_SITE PLAN.DWG
LAST SAVED: 1/17/2019, 2:36:36 PM

PLOTTED BY: SCOTT FULMER
 PLOT DATE: 1/17/2019 11:38 PM
 LOCATION: C:\USERS\SCOTT.FULMER\DOCUMENTS\AUTOCAD_LRD\RANCH TRAIL\TRAIL.LS.DWG
 LAST SAVED: 1/17/2019 9:25 AM




Integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7020 Green Valley Way
 New York, NY 10019
 914.482.3822 • Fax: 914.482.3823 • Text: 914.288.7994 • Email: john@integrationstudio.com www.integrationstudio.com


CLAY MOORE ENGINEERING
 1000 WEST 10TH STREET, SUITE 100
 ROCKWALL, TEXAS 75087
 (972) 967-0000



RANCH TRAIL
ROCKWALL, TEXAS

LANDSCAPE PLAN

| | |
|----------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CWP |
| DATE: | 01/17/2019 |
| SHEET | |
| L-1 | |

File No. 2019-001

TREE LEGEND

- Canopy Trees**
- SO Sherrard Oak
 - BO Bur Oak
 - LE Bosque Elm
 - CO Chinquapin Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - GR Migration trees
 - TY Existing trees to be removed
- Ornamental Trees**
- CR Crepe Myrtle
 - TY Tree Yucca
 - DW Desert Willow

SHRUB LEGEND

- DY Dwarf Yucca
- TC Turks Cap
- DA Dwarf Abelia
- HD Harbor Dwarf Nandina
- BA Battery
- GL Giant Liriodie
- MF Mexican Feather Grass
- TX Texas Sage
- WM Dwarf Wax Myrtle
- PM Pink Muhly
- RY Red Yucca
- CS Cherry Sage
- DB Dwarf Burford Holly
- GC Green Cloud Sage
- NOL New Cold Lantana
- RD Rosemary
- CO Coreopsis
- AJ Asian Jasmine
- DIH Dwarf Indian Hawthorne

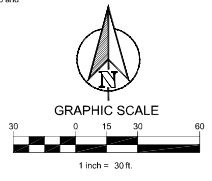
HATCH LEGEND

- Asian Jasmine

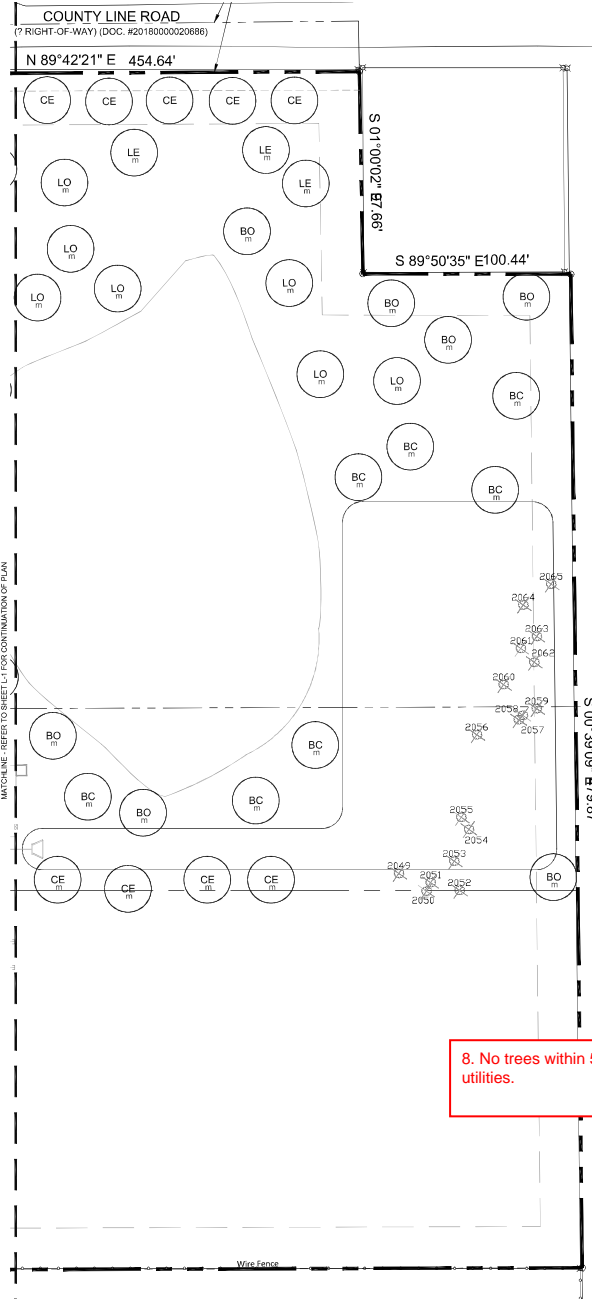
LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities.

8. No trees within 5' of utilities.



PLOTTED BY: SCOTT WILMER
 PLOT DATE: 1/17/2019 1:39 PM
 LOCATION: C:\USERS\SCOTT\WILMER\DOCUMENTS\AUTOCAD_LBO\RANCH TRAIL\RANCH TRAIL_LANDSCAPE.DWG
 LAST SAVED: 1/17/2019 2:25 AM



TREE LEGEND

- Canopy Trees**
- SO Shumard Oak
 - BO Bur Oak
 - LE Blue Elm
 - CO Chickasaw Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - 2021 Existing trees to be removed
 - ⊕ Migration trees
- Ornamental Trees**
- CR Crape Myrtle
 - TY Tree Yucca
 - DW Desert Willow

SHRUB LEGEND

- | | |
|---------------------------|-------------------------|
| DY Dwarf Yucca | TC Turks Cap |
| DA Dwarf Abelia | HD Harbor Dwarf Nandina |
| BA Barberry | GL Gladiolus |
| MF Mexican Feather Grass | TX Texas Sage |
| WM Dwarf Wax Myrtle | PM Pink Muhly |
| RY Red Yucca | CS Cherry Sage |
| DB Dwarf Burford Holly | GC Green Cloud Sage |
| NGL New God Lantana | RD Rosemary |
| CO Coleseps | AJ Asian Jasmine |
| DH Dwarf Indian Hawthorne | |

HATCH LEGEND

- Asian Jasmine

LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double strand finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities.

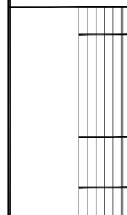
8. No trees within 5' of utilities.

Integration studio
 Landscape Architecture • Sustainable Site Planning • Natural Resource Design
John F. Murphy, ASLA
 7629 Green Valley Way
 Tyler, TX 75703
 936.282.8822 • Fax 936.282.8823
 jmurphy@integrationstudio.com

TRAVIS COUNTY RECORD TITLE PLAN NO. 1027
CLAY MOORE ENGINEERING
 10000 DALLAS ROAD, SUITE 410
 DALLAS, TEXAS 75243
 PHONE: 972.382.1000
 FAX: 972.382.1001



**RANCH TRAIL
 ROCKWALL, TEXAS**

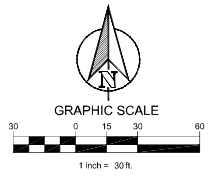


LANDSCAPE PLAN

| | |
|----------|------------|
| DESIGN: | CWP |
| DRAWN: | CWP |
| CHECKED: | CWP |
| DATE: | 01/17/2019 |

SHEET
L-2

File No. 2019-001



PLANT LIST

| CANOPY TREES | | | |
|-----------------------|-----|------------------------|--|
| 11 | LE | Lacebark Elm | Ulmus parviflora 3" cal. B&B 12' ht. 5' spread |
| 14 | LO | Live Oak | Quercus virginiana 3" cal. B&B 12' ht. 5' spread |
| 11 | OO | Chinquapin Oak | Quercus muhlenbergii 3" cal. B&B 12' ht. 5' spread |
| 22 | CE | Cedar Elm | Ulmus crassifolia 3" cal. B&B 12' ht. 5' spread |
| 11 | BC | Bald Cypress | Taxodium distichum 3" cal. B&B 12' ht. 5' spread |
| 10 | SO | Shumard Oak | Quercus shumardii 3" cal. B&B 12' ht. 5' spread |
| 8 | BO | Bur Oak | Quercus macrocarpa 3" cal. B&B 12' ht. 5' spread |
| ORNAMENTAL TREES | | | |
| 2 | TY | Tree Yaupon | Ilex vomitoria 30 gal. 8' ht. multi-trunk female |
| 2 | GR | Crapeymyle | Lagotis indica 'Tocaroni' 30 gal. 8' ht. 3 trunk 2 1/2" cal. min. |
| 3 | DW | Desert Willow | Chilopsis linearis 'Timeless Beauty' 30 gal. 6' ht. 2 1/2" cal. min. |
| SHRUBS & GROUNDCOVERS | | | |
| 9 | DY | Dwarf Yaupon | Ilex vomitoria 'Nana' 5 gal. 30" oc |
| 21 | DA | Dwarf Abelia | Abelia x grandiflora 'Ed. Goucher' 5 gal. 30" oc |
| 12 | BA | Berberis | Berberis thunbergii 5 gal. 30" oc |
| 25 | MF | Mexican Feather Grass | Nassella tenuissima 1 gal. 18" oc |
| 5 | WM | Dwarf Wax Myrtle | Myrica asplena 5 gal. 30" oc |
| 15 | RY | Red Yucca | Hesperaloe parviflora 5 gal. 30" oc |
| 11 | DB | Dwarf Burford Holly | Ilex cornuta 'Burfordii' 5 gal. 30" oc |
| 20 | NGL | New Gold Lantana | Lantana 'New Gold' 1 gal. 24" oc |
| 15 | OO | Coreopsis | Coreopsis 'Early Sunrise' 1 gal. 24" oc |
| 24 | DIH | Dwarf Indian Hawthorne | Raphiolepis indica 'Pinkie' 5 gal. 30" oc |
| 14 | TC | Turks Cap | Mikolobos autochous 1 gal. 24" oc |
| 32 | HD | Harbor Dwf. Nandina | Nandina 'Harbor Dwarf' 1 gal. 18" oc |
| 14 | GL | Giant Liriope | Liriope gigantea 3 gal. 30" oc |
| 14 | TX | Texas Sage | Leucophyllum frutescens 'Silverado' 5 gal. 30" oc |
| 23 | PM | Pink Muhly | Muhlenbergia capillaris 1 gal. 30" oc |
| 23 | CS | Cherry Sage | Salvia greggii 1 gal. 30" oc |
| 16 | CC | Cream Cloud Sage | Leucophyllum frutescens 5 gal. 30" oc |
| 2 | RO | Rosemary | Rosemarinus prostratus 5 gal. 30" oc |
| 350 | AJ | Asian Jasmine | Trachelospermum asiaticum 1 gal. 18" oc |

**City of Rockwall, Texas
LANDSCAPE CALCULATIONS**

| | | | |
|--------------------|------------|-----------|------------------|
| Total Lot Area | 414,665 SF | Required | Provided |
| Landscape Area 10% | | 41,467 SF | 135,609 SF (32%) |

| | | | |
|---------------------|--|----------|----------|
| Street Buffer Trees | 1 Shade tree 3' cal. per 50 LF of frontage | Required | Provided |
| Ranch Trail | 618.51 LF | 13 | 13 |
| County Line Road | 454.64 LF | 9 | 9 |

| | | |
|-----------------------|----------|----------|
| Parking Lot Landscape | Required | Provided |
| Parking Spaces 257 | 26 | 26 |
| 1 tree per 10 spaces | | |

Tree Mitigation
 Primary tree inches removed - 38.5"
 Secondary tree inches removed - 967 / 2 = 483.5"
 Total protected inches removed - 522"

New mitigation inches provided - 150"
 Remainder mitigation to be paid into tree fund

EXISTING TREE LIST

| Number | Size | Type | Number | Size | Type |
|--------|-------------|-----------------|--------|-----------|-----------|
| 2000 | 8" 8" | Hackberry | 2054 | 8" | Hackberry |
| 2001 | 13" | Cedar | 2055 | 10" 17" | Hackberry |
| 2002 | 7" 10" 10" | Cedar | 2056 | 7" 9" | Ash |
| 2003 | 16" | Cedar | 2057 | 11" | Hackberry |
| 2004 | 17" | Cedar | 2058 | 8" | Hackberry |
| 2005 | 15" | Cedar | 2059 | 8" | Hackberry |
| 2006 | 12" | Cedar | 2060 | 8" | Hackberry |
| 2007 | 16" | Cedar | 2061 | 7" | Hackberry |
| 2008 | 26" | Cedar | 2062 | 8" | Hackberry |
| 2009 | 10" 13" 18" | Cedar | 2063 | 8" | Hackberry |
| 2010 | 10" | Cedar | 2064 | 10" | Hackberry |
| 2011 | 8" | Oak | 2065 | 8" | Hackberry |
| 2012 | 12" | Hackberry | 2066 | 16" | Hackberry |
| 2013 | 10" | Cedar | 2067 | 8" 8" 10" | Hackberry |
| 2014 | 14" 20" | Cedar | 2068 | 16" | Hackberry |
| 2015 | 15" 14" | Cedar-Hackberry | 2069 | 8" 8" | Hackberry |
| 2016 | 10" | Hackberry | 2070 | 15" | Hackberry |
| 2017 | 10" | Hackberry | 2071 | 10" 12" | Hackberry |
| 2018 | 10" | Hackberry | 2072 | 13" | Hackberry |
| 2019 | 10" | Hackberry | 2073 | 7" 9" | Hackberry |
| 2020 | 7" 10" | Hackberry | 2074 | 13" | Hackberry |
| 2021 | 13" | Cedar | 2075 | 13" | Hackberry |
| 2022 | 22" | Cedar | 2076 | 11" | Hackberry |
| 2023 | 12" 16" | Cedar | 2077 | 11" | Hackberry |
| 2024 | 16" | Cedar | 2078 | 9" | Hackberry |
| 2025 | 15" | Cedar | 2079 | 9" | Hackberry |
| 2026 | 12" | Hackberry | 2080 | 12" | Hackberry |
| 2027 | 12" | Hackberry | 2081 | 9" | Hackberry |
| 2028 | 11" | Cedar | 2082 | 13" | Hackberry |
| 2029 | 22" | Hackberry | 2083 | 8" | Hackberry |
| 2030 | 27" | Cedar | 2084 | 13" | Hackberry |
| 2031 | 8" | Hackberry | 2085 | 11" | Cedar |
| 2032 | 10" | Hackberry | 2086 | 13" | Cedar |
| 2033 | 16" | Hackberry | 2087 | 10" | Cedar |
| 2034 | 8" | Hackberry | 2088 | 10" | Cedar |
| * 2035 | 22" | Live Oak | 2089 | 10" | Cedar |
| 2036 | 23" | Mulberry | 2090 | 10" | Cedar |
| 2037 | 17" | Mulberry | 2091 | 8" | Cedar |
| 2038 | 32" | Mulberry | 2092 | 12" | Cedar |
| 2039 | 17" | Mulberry | 2093 | 8" 12" | Cedar |
| 2040 | 15" | Mulberry | 2094 | 8" | Cedar |
| 2041 | 18" | Oak | 2095 | 10" | Cedar |
| 2042 | 8" | Cedar | 2096 | 10" | Cedar |
| 2043 | 14" | Mulberry | 2097 | 10" | Cedar |
| 2044 | 12" | Hackberry | 2098 | 12" | Cedar |
| 2045 | 8" 10" 10" | Hackberry | 2099 | 10" | Cedar |
| 2046 | 10" | Hackberry | 2100 | 8" | Cedar |
| 2047 | 16" | Cedar | 2101 | 10" | Cedar |
| 2048 | 12" | Cedar | 2102 | 10" | Cedar |
| 2049 | 10" | Hackberry | 2103 | 8" | Cedar |
| 2050 | 10" | Hackberry | 2104 | 15" | Cedar |
| 2051 | 10" 10" | Hackberry | 2105 | 10" | Hackberry |
| 2052 | 12" | Hackberry | 2106 | 10" | Hackberry |
| 2053 | 8" | Hackberry | | | |

Integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
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 www.integrationstudio.com

CLAY MOORE ENGINEERING
 11717 N. RANCH TRAIL, ROCKWALL, TEXAS 75087
 972.962.1100



**RANCH TRAIL
ROCKWALL, TEXAS**



LANDSCAPE DETAILS

| | |
|---------|------------|
| DESIGN | CWP |
| DRAWING | CWP |
| CHECKED | CWP |
| DATE | 01/17/2010 |

SHEET
L-3

File No. 2010-001

PLOTTED BY: SCOTTE MILLER
 PLOT DATE: 1/17/2010 9:25 AM
 LOCATION: C:\USERS\SCOTT\MILLER\DOCUMENTS\AUTOCAD_LRO\RANCH TRAIL\RANCH TRAIL_LLS.DWG
 LAST SAVED: 1/17/2010 9:25 AM

treeStake Solutions
 TREE STAKE SOLUTIONS LLC
 9973 FM 521 ROAD
 ROSSARON, TX 77583
 PHONE: (281) 775-1400
 FAX: (281) 775-1405
 www.treestakesolutions.com

1. WITH TREE IN A STRAIGHT LINE, RUB POSTION, CENTER THE APPROPRIATE HOLES IN THE BRACKET. NAIL SHOULD REST IN THE HOLES. SAFETY STAKE SHOULD BE PLACED WITH THE TREE TRUNK. WITH THE SAFETY STAKE IN PLACE, THE TREE SHOULD BE PLACED IN THE SAFETY STAKE. THE SAFETY STAKE SHOULD BE PLACED IN THE SAFETY STAKE. THE SAFETY STAKE SHOULD BE PLACED IN THE SAFETY STAKE.

2. INSERT 1 OF 3 NAIL STAKES THROUGH EACH OF THE 3 BRACKETS. NAIL SHOULD REST IN THE HOLES. SAFETY STAKE SHOULD BE PLACED WITH THE TREE TRUNK. WITH THE SAFETY STAKE IN PLACE, THE TREE SHOULD BE PLACED IN THE SAFETY STAKE. THE SAFETY STAKE SHOULD BE PLACED IN THE SAFETY STAKE.

3. NAIL STAKES SHOULD BE DRIVEN STRAIGHT DOWN INTO THE UNDISTURBED SOIL BELOW THE ROOTBALL. THE NAIL SHOULD REST IN THE HOLES. SAFETY STAKE SHOULD BE PLACED WITH THE TREE TRUNK. WITH THE SAFETY STAKE IN PLACE, THE TREE SHOULD BE PLACED IN THE SAFETY STAKE. THE SAFETY STAKE SHOULD BE PLACED IN THE SAFETY STAKE.

| ITEM # | DESCRIPTION | QUANTITY | SCALE |
|--------|--------------------------------------|----------|------------|
| 1 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 2 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 3 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 4 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 5 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 6 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 7 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 8 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 9 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |
| 10 | 1" DIA. GALVANNED STEEL SAFETY STAKE | 100 BS | 1" = 1'-0" |

3 SHRUB PLANTING

4 GROUNDCOVER PLANTING



February 25, 2019

ATTN: MATT MOORE
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE 406
Bedford, TX 76021

RE: SITE PLAN (SP2019-003), Ranch Trail Development

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 02/12/2019. The following is a record of all recommendations, voting records and conditions of approval:

ARCHITECTURAL REVIEW BOARD (ARB):

On January 29, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant provide additional articulation to the building facades, utilize a combination of materials on the facades, to provide a color contrasting roof on each building, and to incorporate elements such as awnings to provide some relief on the facades. The applicant has submitted revisions that appear to be in conformance with the request from the Architectural Review Board (ARB). The Architectural Review Board (ARB) will review the revised building elevations and forward a recommendation to the Planning and Zoning Commission at the February 12, 2019 meeting.

On February 12, 2019, the Architectural Review Board (ARB) reviewed the revised building elevations and passed a motion to recommend approval of the building elevations and exceptions to the masonry requirements and building articulation standards by a vote of 3-0 with Board Members Mitchell, Tovar, Miller, and Neill absent. The recommendation also included the conditions that all street-facing buildings have a stone wainscot on three (3) sides of the building and to remove the proposed brick.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;*
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*



PLANNING AND ZONING COMMISSION:

On February 12, 2019, the Planning and Zoning Commission's motion to approve the site plan and recommend approval of the alternative tree mitigation plan passed by a vote of 6-1 with Commissioner Logan dissenting.

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Korey Brooks', is written over a faint, light blue circular stamp.

Korey Brooks, AICP
Senior Planner
Planning & Zoning Department
City of Rockwall, TX