



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-001 P&Z DATE 1/29/19 CC DATE 2/12/19 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECIEPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
 PLANNING & ZONING CASE NO. SP2019-001
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
 DIRECTOR OF PLANNING: _____
 CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:
 Master Plat (\$100.00 + \$15.00 Acre)¹
 Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 Final Plat (\$300.00 + \$20.00 Acre)¹
 Replat (\$300.00 + \$20.00 Acre)¹
 Amending or Minor Plat (\$150.00)
 Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:
 Site Plan (\$250.00 + \$20.00 Acre)¹
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:
 Zoning Change (\$200.00 + \$15.00 Acre)¹
 Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:
 Tree Removal (\$75.00)

Notes:
¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____
 Subdivision _____ Lot _____ Block _____
 General Location Goliad/W. Heath/Alamo Property ID: 16663

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-50 Current Use _____
 Proposed Zoning _____ Proposed Use _____
 Acreage _____ Lots [Current] _____ Lots [Proposed] _____

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Kevin Lefere</u>	<input checked="" type="checkbox"/> Applicant	<u>Triton General Contractor</u>
Contact Person		Contact Person	<u>Reese Baez</u>
Address		Address	<u>1609 S. Goliad St #1101</u>
City, State & Zip		City, State & Zip	<u>Rockwall, TX 75081</u>
Phone	<u>469 628 9106</u>	Phone	<u>214-738-8752</u>
E-Mail	<u>klere@zanatas.com</u>	E-Mail	<u>rbaez@tritongc.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Reese Baez [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

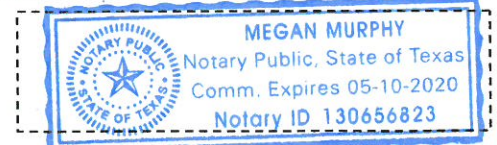
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 250.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of January, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of January, 20 19.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]
[Signature]



My Commission Expires 5-10-2020



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police


From: Planning & Zoning Department

Date: 1/18/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/25/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/29/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/29/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-001
Project Name: T3 Chiropractic
Project Type: SITE PLAN
Applicant Name: TRISTON GENERAL CONTRACTOR
Owner Name: FALLS, DAVID C & TERRI L
Project Description:

0 10 20 40 60 80 Feet

SP2019-001 - SITE PLAN FOR T3 CHIROPRACTIC
SITE PLAN - LOCATION MAP = 

SF-7

PD-50

GOLIAD

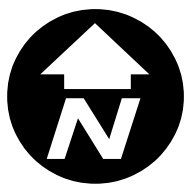
HEATH



City of Rockwall

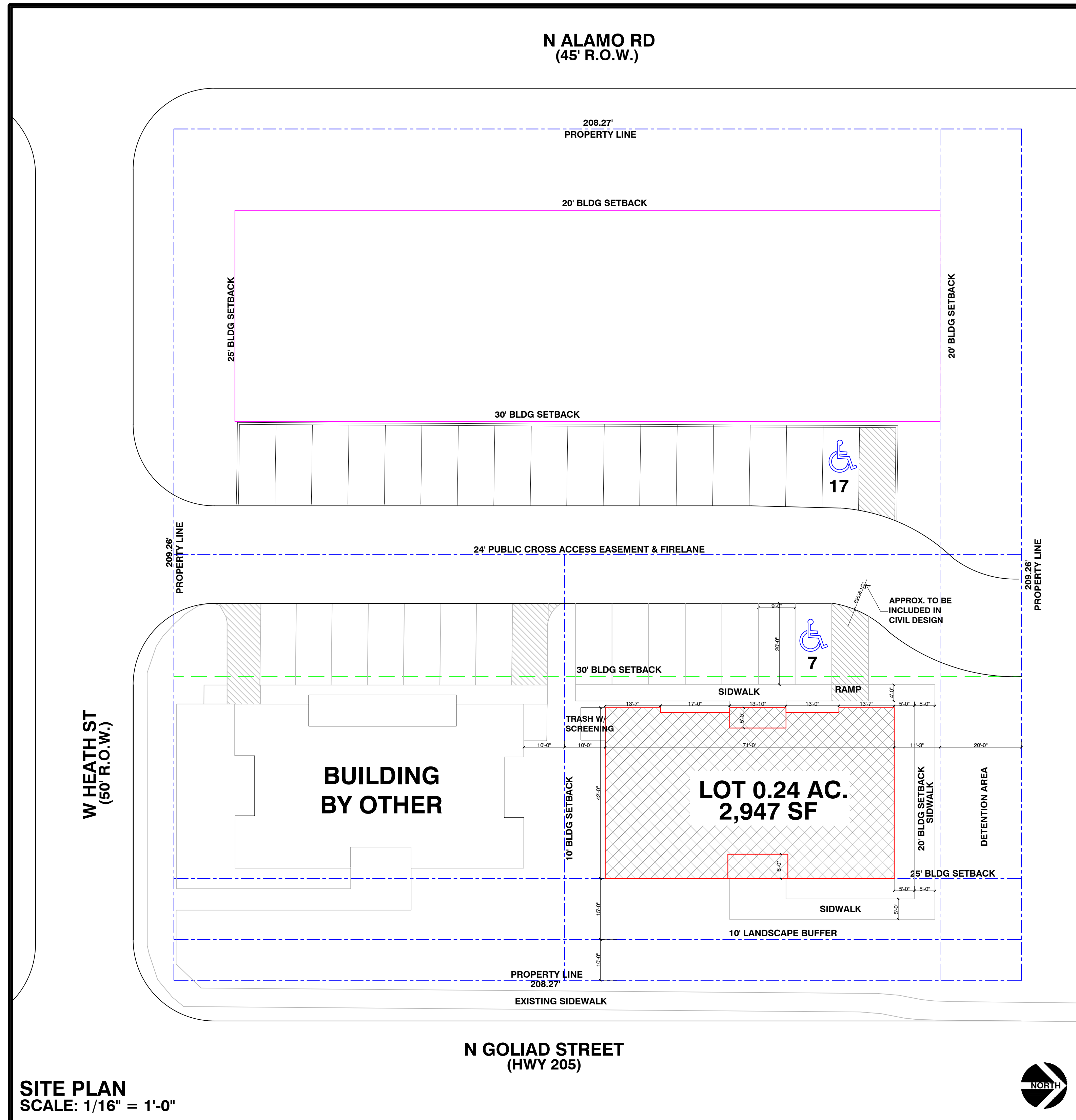
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

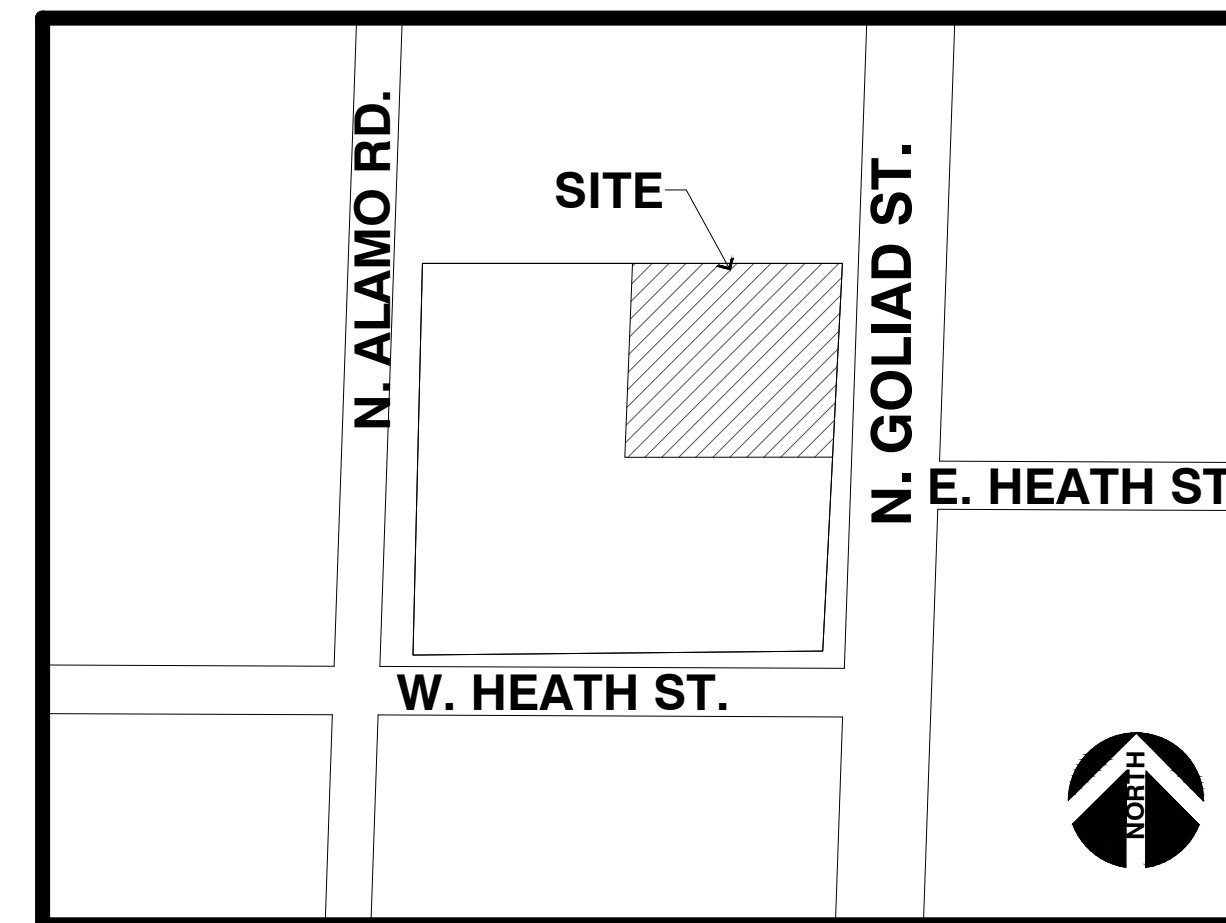


T³ Chiropractic

Office Building



SITE PLAN
SCALE: 1/16" = 1'-0"



VICINITY MAP

DEVELOPMENT PLANS
NOT FOR CONSTRUCTION

- ### GENERAL NOTES
- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
 - ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
 - ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
 - ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
 - THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
 - ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
 - ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
 - FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
 - DRIVEWAY FINISH TO BE SPECIFIED BY CIVIL AND/OR STRUCTURAL ENGINEER.
 - PLANT MATERIALS, INCLUDING SEED/SOD ARE NOT SPEC'D.
 - ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
 - ALL LUMBER SHALL BE S4S UNO
 - FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
 - GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
 - PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
 - PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR.
 - THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
 - CONTRACTOR TO VERIFY BUILDING/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

COPYRIGHT © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS, INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- FOUNDATION DESIGN

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVICE PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

ABBREVIATIONS

AB	ANCHOR BOLT	H	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	ABOVE FINISH FLOOR	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	OC	ON CENTER
CAB	CABINET	PT	PRESSURE TREATED
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIMR	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	WOOD

DRAWING/SHEET INDEX

A1	SITE PLAN
A2	-----
A3.1	LANDSCAPE PLAN
A3.2	LANDSCAPE PLAN
A4	PHOTOMETRIC PLAN
A5	FLOOR PLAN
A6	WEST & NORTH ELEVATIONS
A7	EAST & SOUTH ELEVATIONS

PROPERTY DESCRIPTION

PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	GOLIAD/W.HEATH/ALAMO
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	

LATIMER DESIGNS INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com



PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

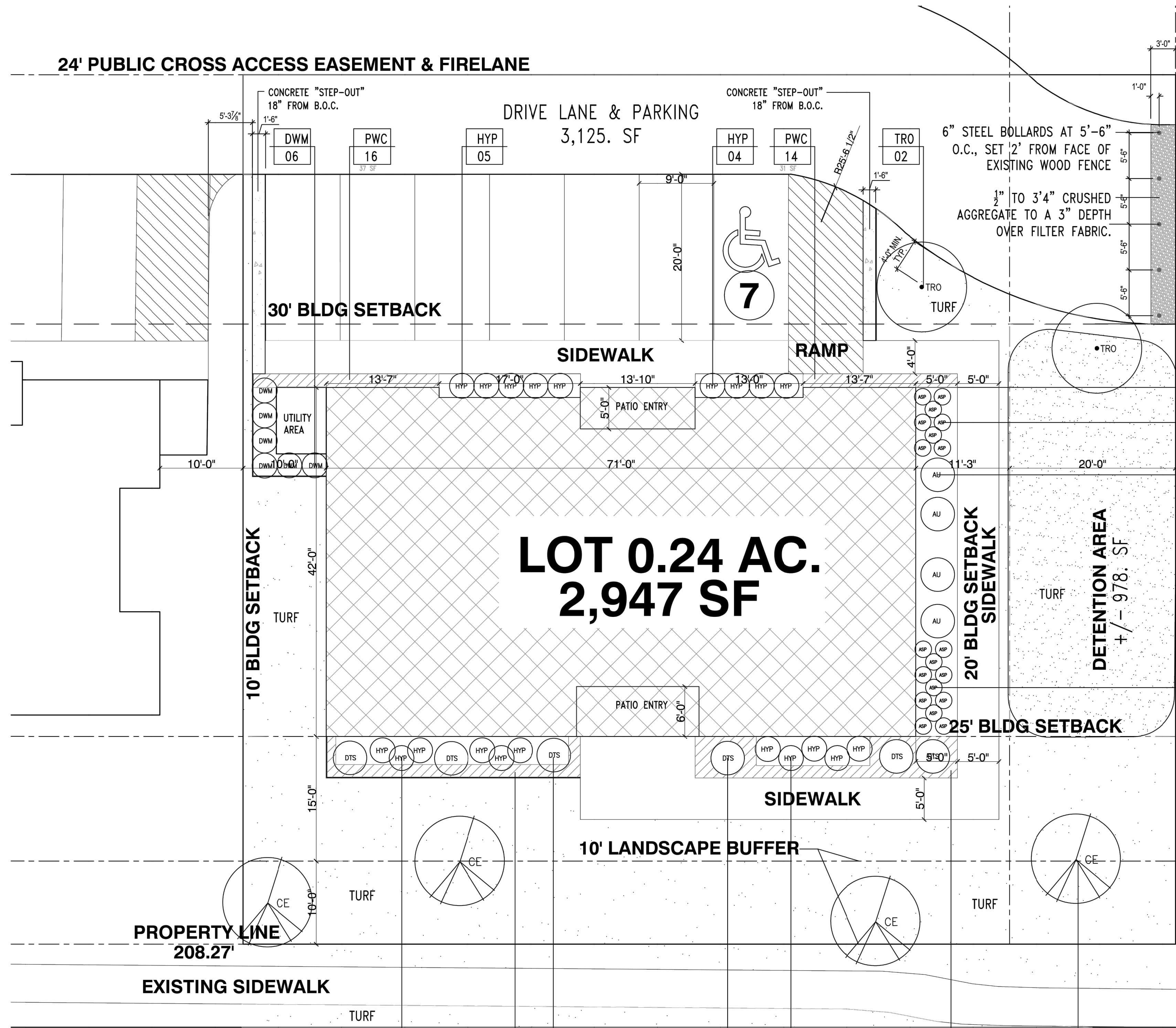
REVISIONS:

DRAWING:
SITE PLAN
SCALE:
1/16" = 1'-0"
SHEET SIZE:
24 X 36

SHEET NO.
A1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

24' PUBLIC CROSS ACCESS EASEMENT & FIRELANE

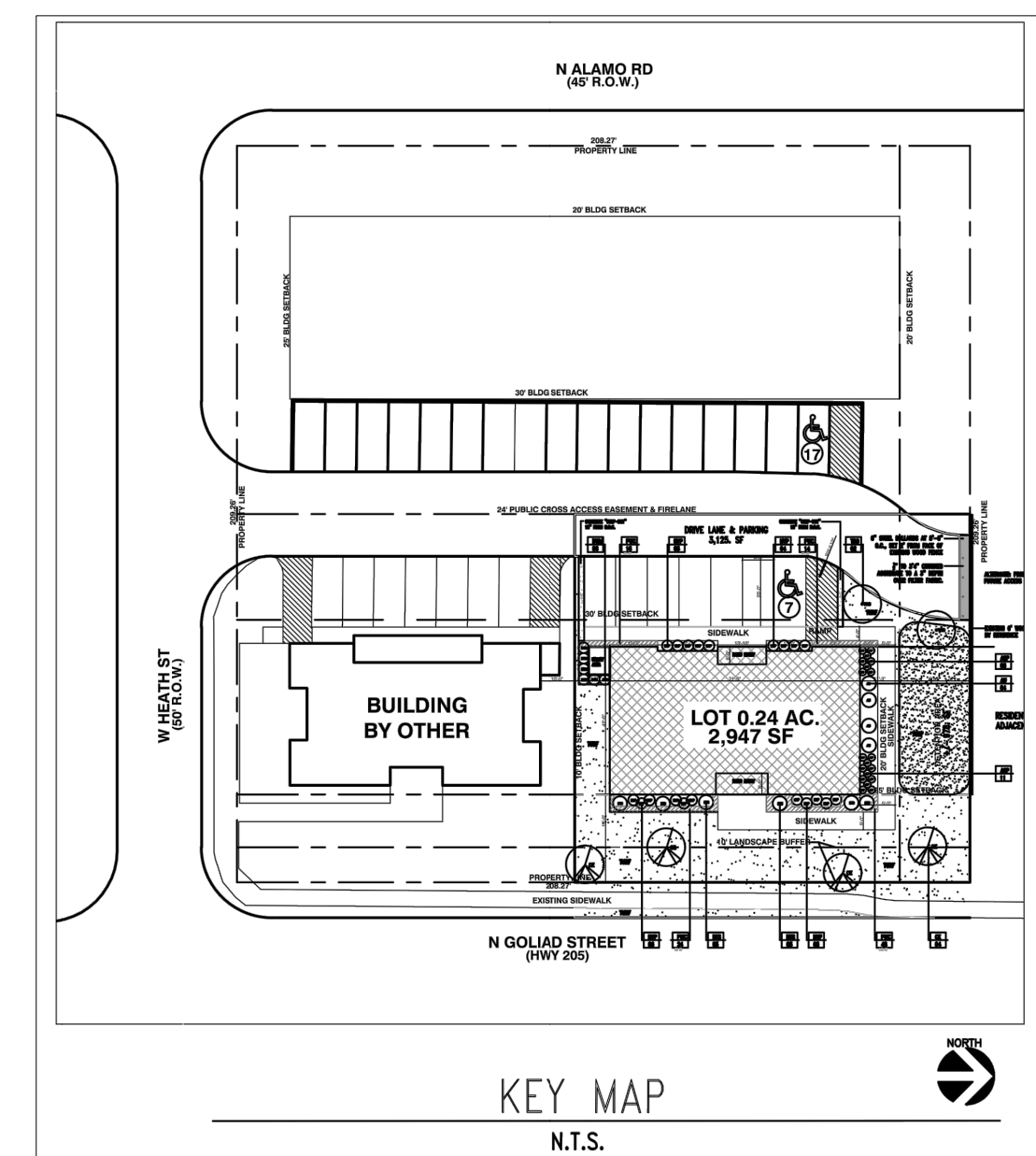
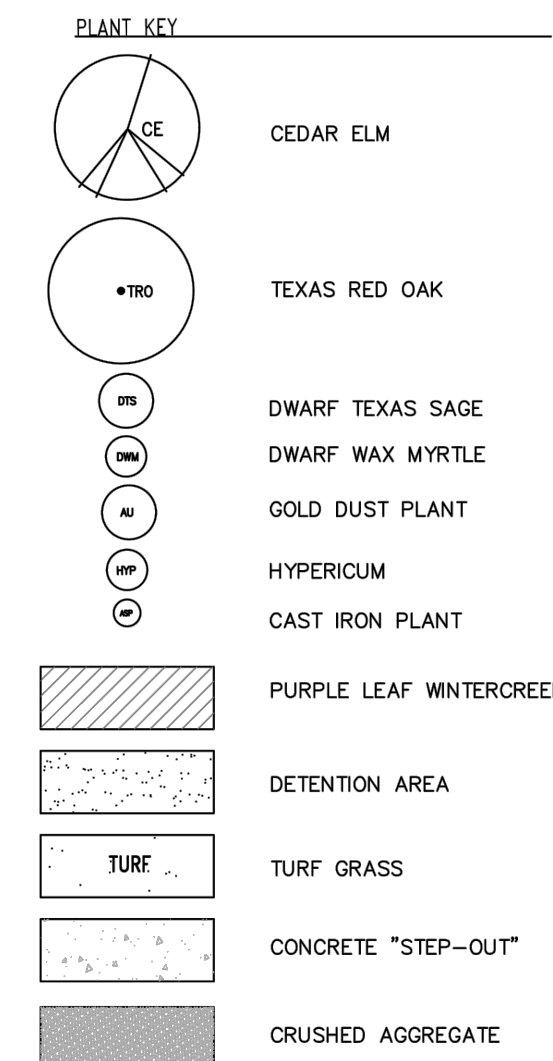


**LOT 0.24 AC.
2,947 SF**

**N GOLIAD STREET
(HWY 205)**

LANDSCAPE PLAN
SCALE: 1/8" = 1' - 0"

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	<i>Ulmus crassifolia</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
TRO	02	TEXAS RED OAK	<i>Acer saccharum 'caddo'</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DTS	06	DWARF TEXAS SAGE	<i>Leucophyllum candidum 'Thunder Cloud'</i>	7 GAL.	PLANT 42" O.C. MIN.
HYP	20	HYPERICUM	<i>Hypericum berryi</i>	5 GAL.	PLANT 36" O.C. MIN.
DWM	12	DWARF WAX MYRTLE	<i>Myrica pusilla</i>	7 GAL.	PLANT 36" O.C. MIN.
ASP	19	ASPIDISTRA	<i>Aspidistra elatior</i>	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	04	AUCUBA	<i>Aucuba japonica</i>	5 GAL.	PLANT EVENLY SPACED WHERE INDICATED, UNIFORM SIZE
PWC	102	COLORADO WINTER CREEPER	<i>Euonymus fortunei 'Coloratus'</i>	1 GAL.	PLANT 18" O.C.
TURF	-	COMMON BERMUDE GRASS	<i>Cynodon dactylon</i>	SOD	LEVEL SUB GRADE AND ROLL INTO PLACE.



LANDSCAPE TABULATION
LOT: .26 AC (11,746.81 SF)
BUILDING: 2,947 SF
ZONED: RESIDENTIAL-OFFICE / PD-50

5.1 LANDSCAPE BUFFER-STRIP
10' REQUIRED
10' PROVIDED

5.2 SCREENING OF OFF-STREET LOADING DOCKS
N/A

5.3 ACCEPTABLE LANDSCAPE MATERIALS
ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.

5.4 PROTECTION OF LANDSCAPE AREAS:
ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION:
AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES:
NORTH SIDE - RESIDENTIAL ADJACENCY
A 6' HT. MASONRY FENCE IS REQUIRED
A 6' HT. WOOD FENCE IS PROVIDED AND EXISTING

ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL, SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.

5.7 STREET LANDSCAPING:
1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 LF OF FRONTAGE REQUIRED
1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 LF OF FRONTAGE PROVIDED
N. GOLIAD STREET (HWY 205) = 208.27 LF
4 CANOPY TREES REQUIRED
4 CANOPY TREE PROVIDED

5.8 RIGHT-OF-WAY LANDSCAPING:
GRASS OR GROUNDCOVER REQUIRED
GRASS PROVIDED

THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.

5.9 PARKING LOT LANDSCAPING:
PARKING AND MANUEVERING = 3,125 SF
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.

5.10 - (DELETED):

5.11 DIMENSIONING OF LANDSCAPE AREA:
ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

5.12 REQUIRED LANDSCAPING:
ZONED: RESIDENTIAL-OFFICE
A. AMOUNT OF LANDSCAPING
2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED.
5,678.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.

B. LOCATION OF LANDSCAPING
50% REQUIRED IN FRONT YARD
1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.

C. DETENTION BASIN = +/- 978. SF
LANDSCAPE REQUIRED
LANDSCAPE PROVIDED
1 TREE / 750 SF REQUIRED
1.50 TREES REQUIRED
2.00 TREES PROVIDED

9.1 MAINTENANCE REQUIREMENT:
ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

9.2 UTILITY LINES AND RIGHTS-OF-WAY:
ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.

TREESCPE - PROTECTED TREE MITIGATION
THERE ARE NO PROTECTED TREES EXISTING ON SITE
THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY



This electronic drawing file is released under the authority of Steven R. Ryba, registration #1724 on 01-15-19. This electronic drawing file may be used as a background drawing. Pursuant to Rule 100.001 of the Rules and Regulations of the Texas Board of Architectural Examiners, the user of the electronic drawing file agrees to assume all responsibility for any modification to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modification to this electronic drawing file without the Landscape Architect's express written permission.

LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com



PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

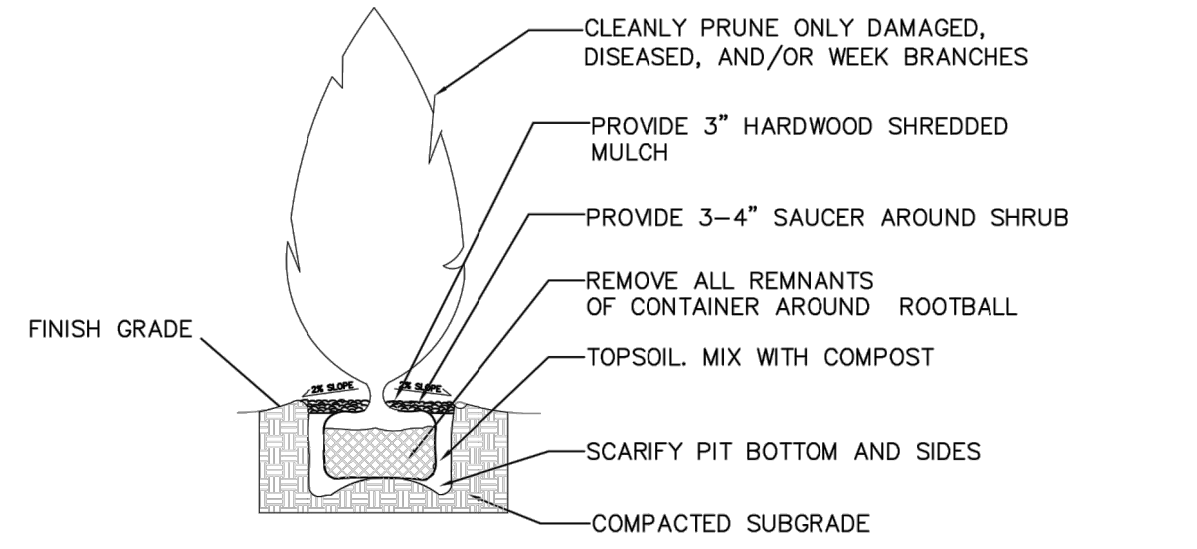
REVISIONS:

DRAWING:
LANDSCAPE
SCALE:
1/4" = 1'-0"
SHEET SIZE:
24 X 36
SHEET NO.
A3.1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

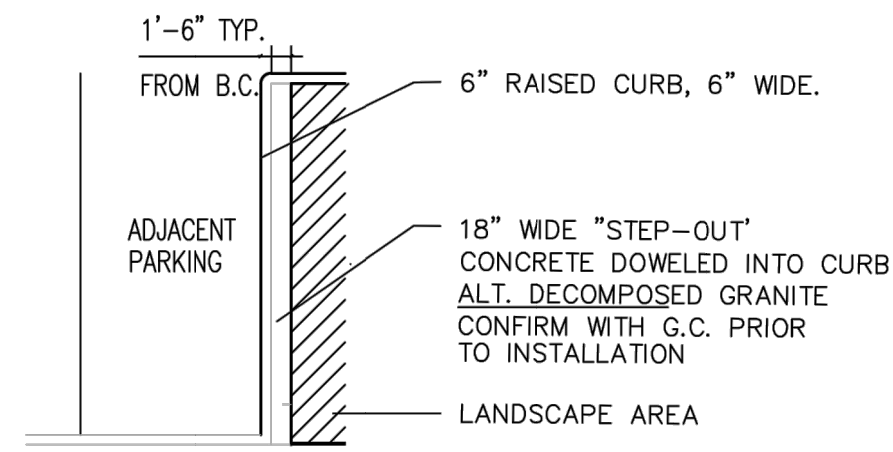


This electronic drawing file is released under the authority of Steven R. Ryba, registration #1724 on 07-23-07, who maintains the original file. This electronic drawing file may be used as a background drawing. Pursuant to Rule 1-103(b) of the Rules and Regulations of the Texas Board of Architectural Examiners, the user of the electronic drawing file agrees to assume all responsibility for any modification to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modification to this electronic drawing file without the Landscape Architect's express written permission.



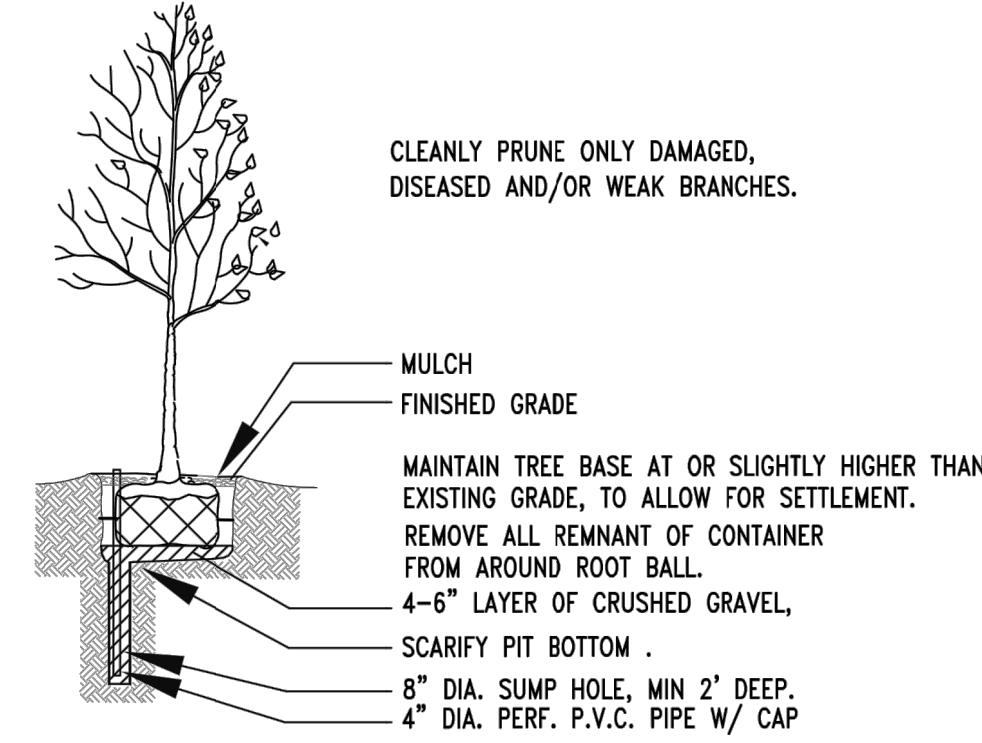
LARGE SHRUB-SECTION

N.T.S.



TYPICAL PARKING ISLAND-PLAN

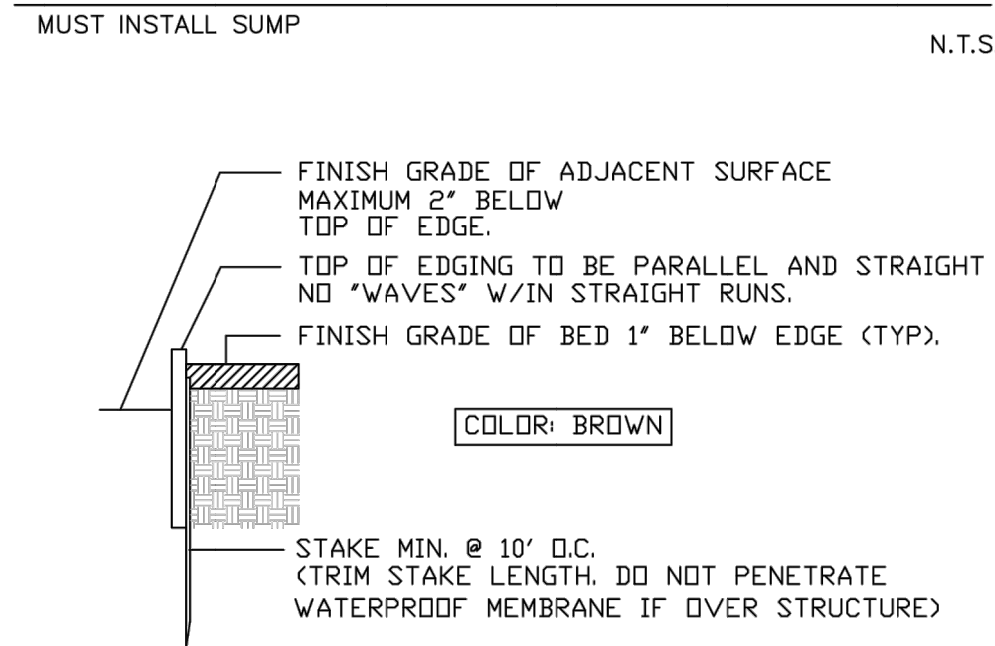
N.T.S.



- SPECIFICATIONS:
1. USE 4" DIA. PERF., PVC PIPE WITH SUMP.
 2. LINE BOTTOM OF PIT WITH 4-6" LAYER OF CRUSHED GRAVEL, 1/2" CRUSHED AGGREGATE, FREE OF FINES.
 3. DRILL 8" SUMP HOLE AT LOW SIDE OF PIT, SLOPE PIT BASE TO HOLE. FILL HOLE WITH 1/2" CRUSHED AGGREGATE, FREE OF FINES.

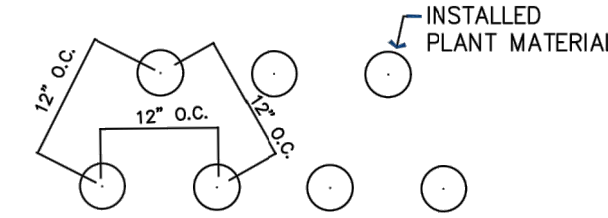
LARGE CANOPY TREE-SECTION

N.T.S.



STEEL EDGE-SECTION

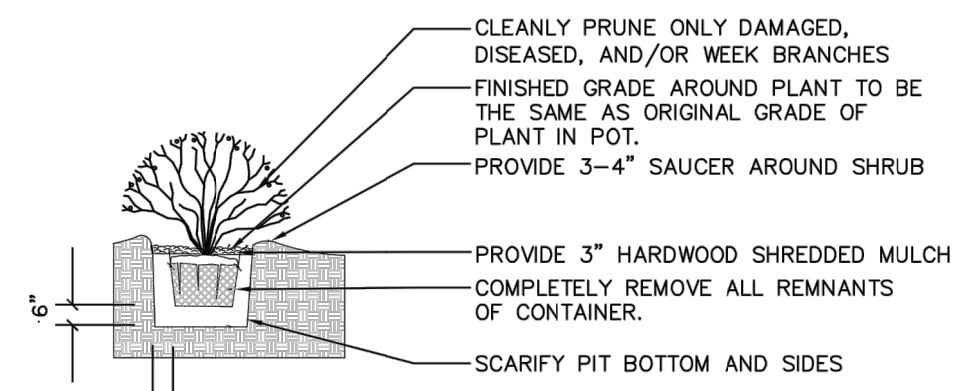
N.T.S.



- NOTE:
1. THE "ON CENTER" MAY VARY PER PLANT TYPE. REFER TO PLANT SCHEDULE, FOR VARIOUS "ON CENTERS".

GROUNDCOVER PLANTING-PLAN

N.T.S.



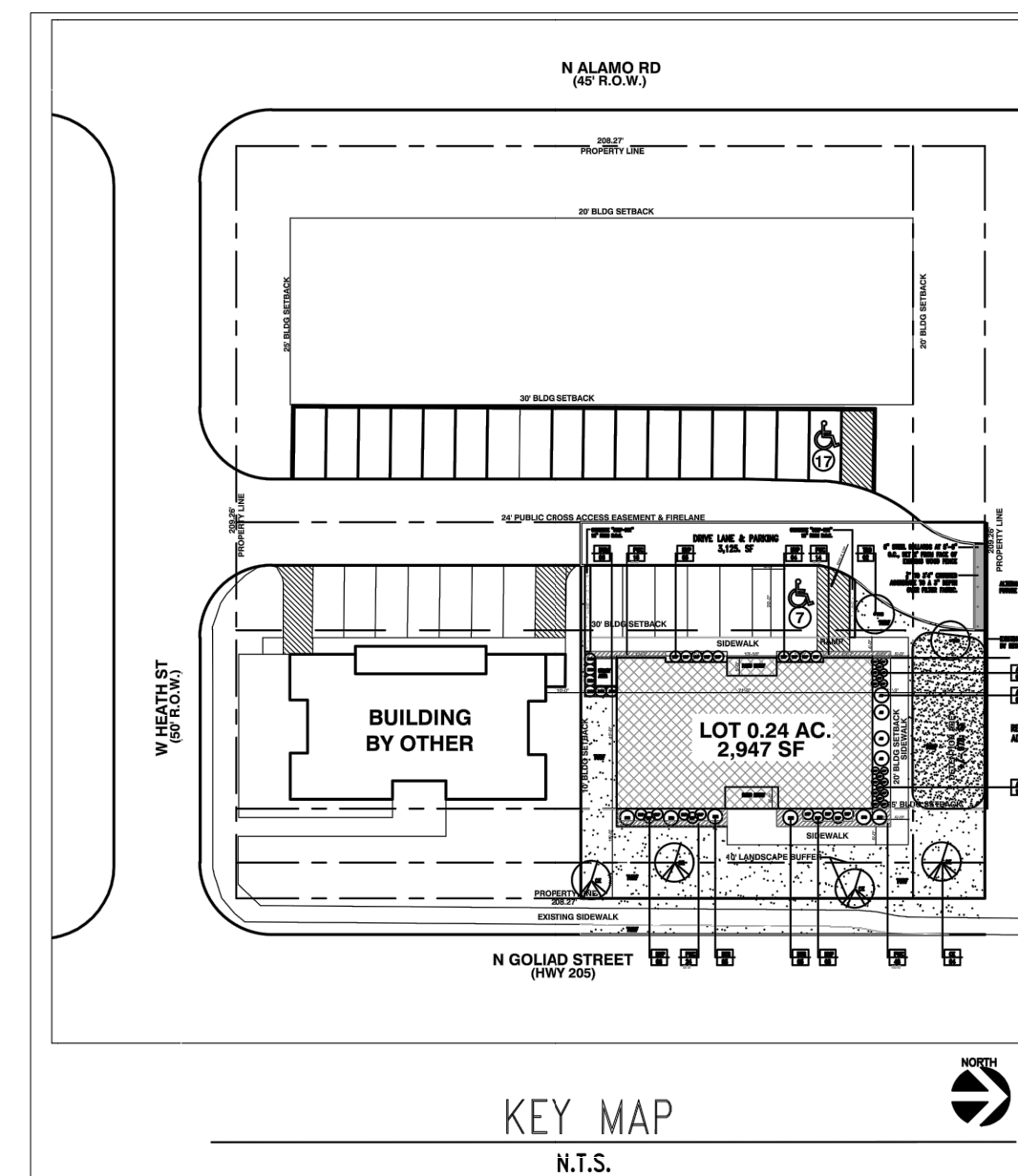
- NOTE:
1. USE MIXED COMPOST TO BACKFILL.
 2. FERTILIZE AND WATER THOROUGHLY AFTER INSTALLATION.
 3. EXCAVATE ENTIRE SHRUB BED, AS SHOWN.
 4. NO SHRUB, EDGER OF ROOTBALL, SHALL BE PLANTED CLOSER THAN 2'-0" FROM FOUNDATION OF BUILDING.

SHRUB PLANTING-SECTION

N.T.S.

GENERAL PLANTING NOTES:

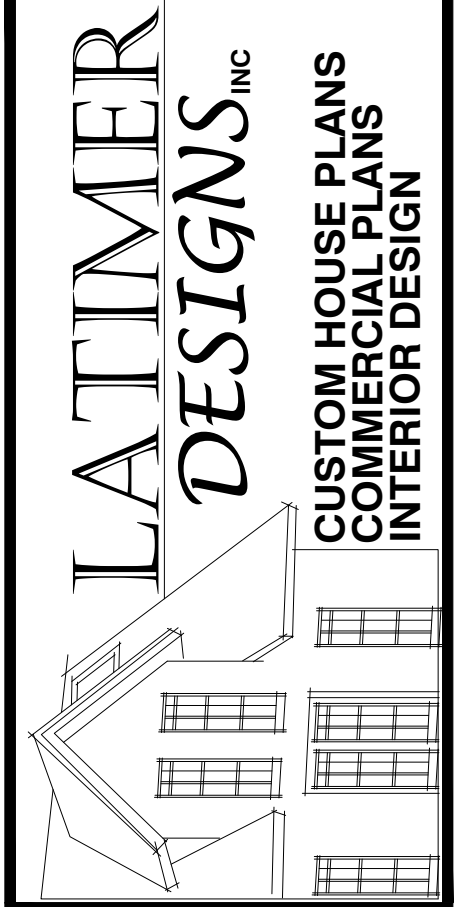
1. QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
3. SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL TO GRADE.
4. TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
5. SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
6. MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
7. BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AN ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
8. ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
9. ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
10. ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
11. GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
12. LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
13. THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
14. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
16. GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087

PHONE: 469.264.7415

EMAIL: latimerdesigngroup@gmail.com



PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087

DATE:
01.13.2019

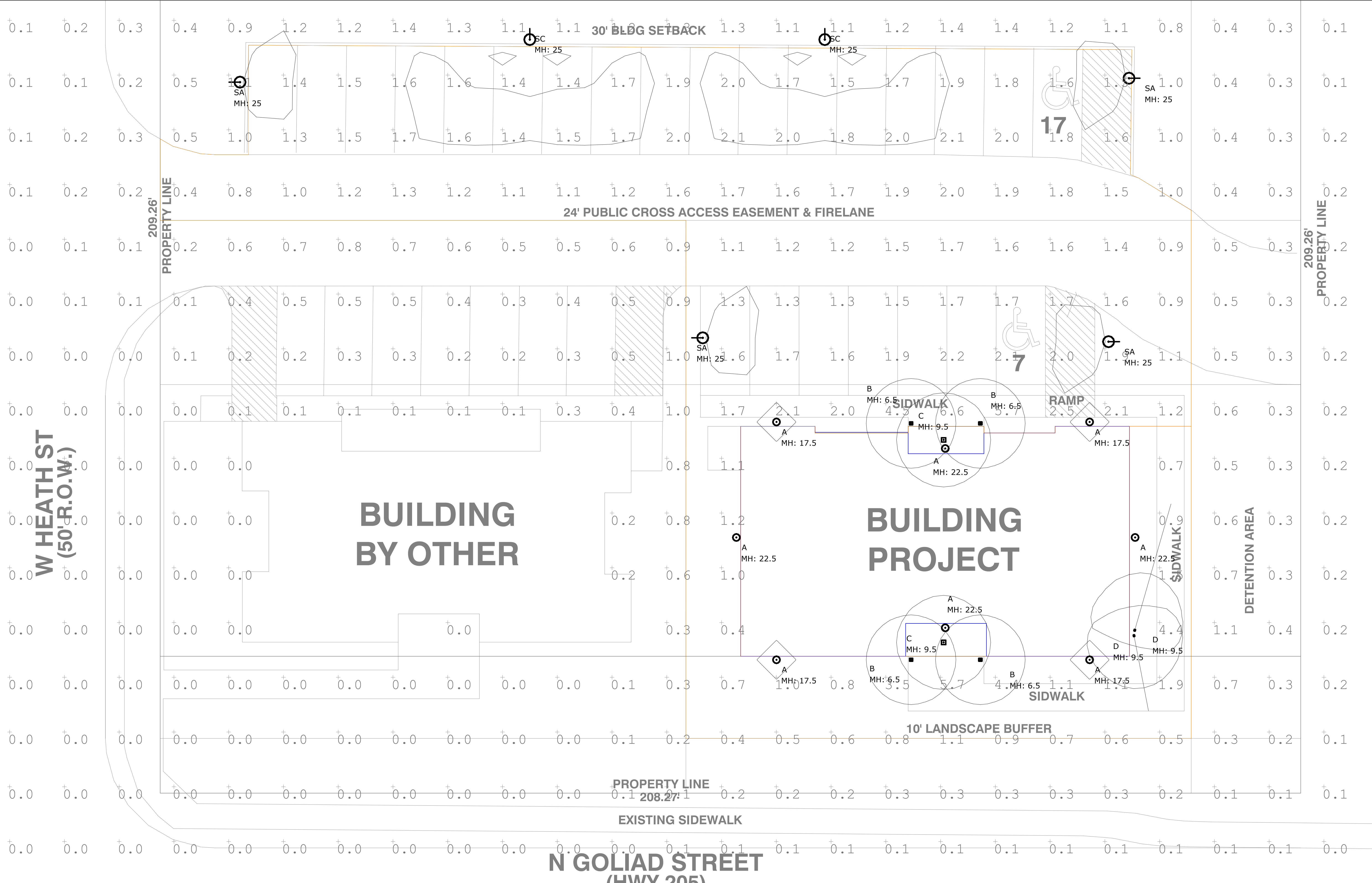
REVISIONS:

DRAWING:
LANDSCAPE

SCALE:
1/4" = 1'-0"

SHEET SIZE:
24 x 36

SHEET NO.
A3.2 OF



W HEATH ST
(50' R.O.W.)

N GOLIAD STREET
(HWY 205)

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	8	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
□	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
□	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	SA	4	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R3 FINISH MODIFIED FROM AS1 LED 1 63B530	8224	72.7	1.000	0.460	0.570
⊙	SC	2	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R2 FINISH MODIFIED FROM AS1 LED 1 63B530	8422	72.9	1.000	0.460	1.000
⊙	D	2	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.27	6.6	0.0	N.A.
PARKING LOT & DRIVE WAY		Fc	1.67	6.6	0.4	4.18

PARKING LOT & DRIVE WAY
Illuminance (Fc)
Average = 1.67
Maximum = 6.6
Minimum = 0.4
Avg/Min Ratio = 4.18
Max/Min Ratio = 16.50

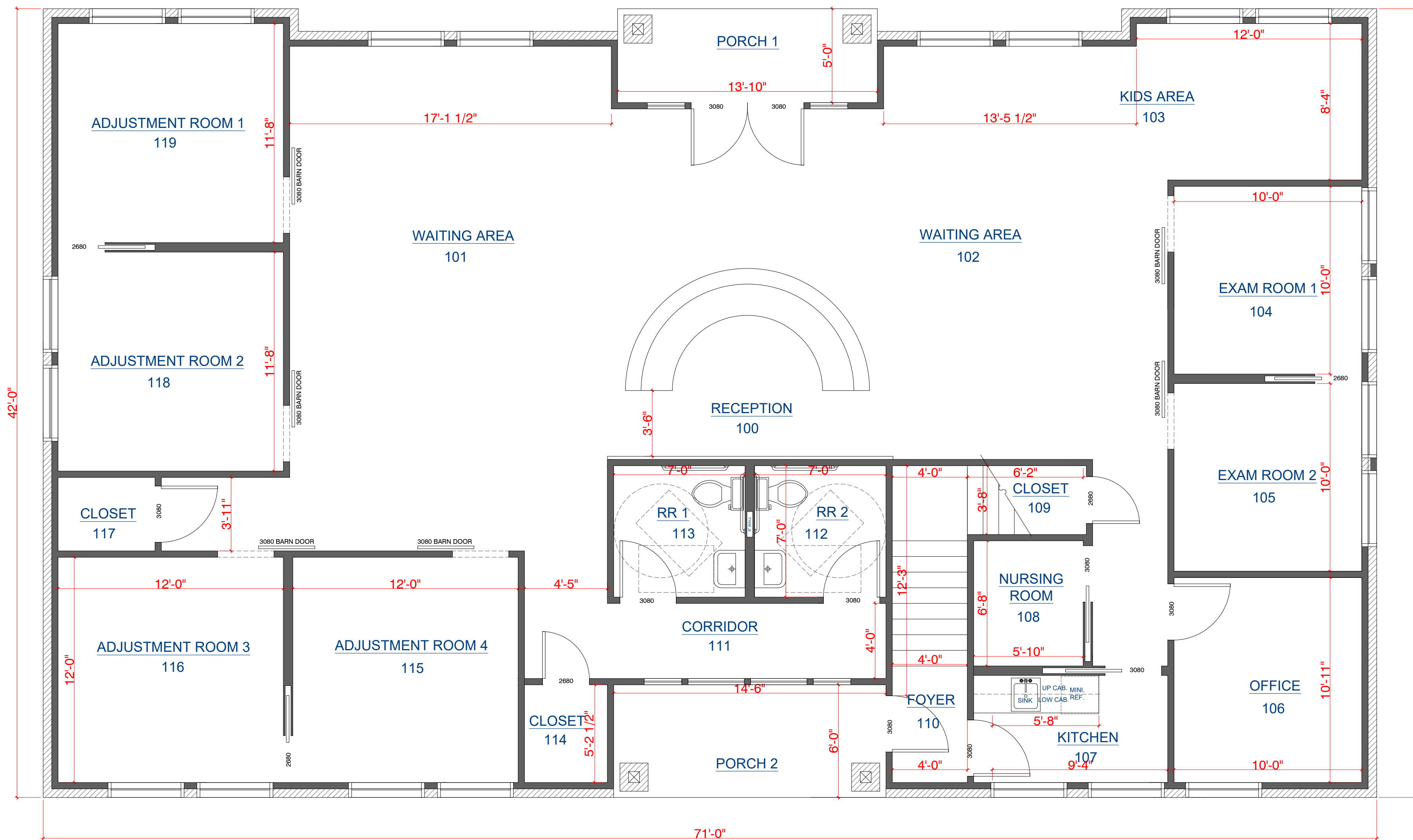
LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC
CUSTOM HOUSE PLANS
COMMERCIAL PLANS
INTERIOR DESIGN

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

REVISIONS:

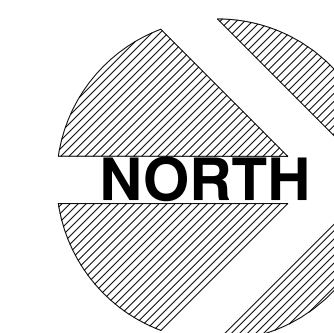
DRAWING:
PHOTOMETRIC
SCALE:
1/8" = 1'-0"
SHEET SIZE:
24 x 36
SHEET NO.
A4 OF



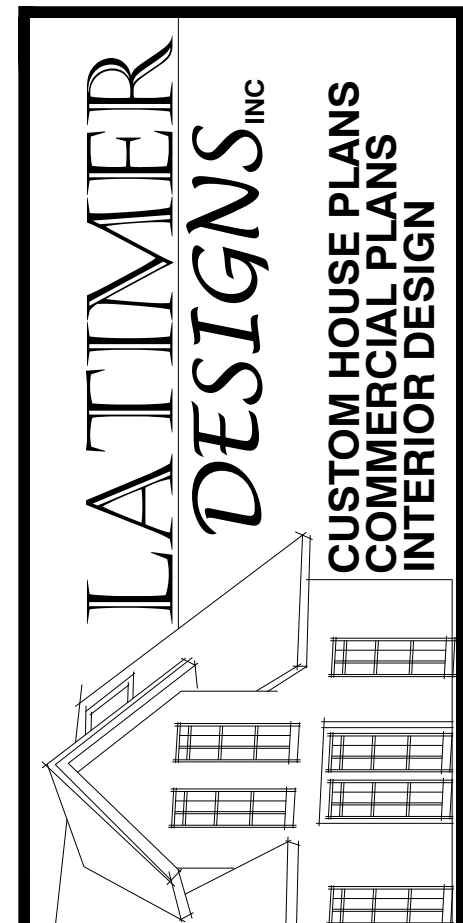
N. GOLIAD STREET

501 FLOOR PLAN
SCALE: 1/4" = 1' - 0"

SQUARE FOOTAGE	
1ST FLOOR	2788
PORCH 1	70
PORCH 2	89
2ND FLOOR	1891



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com



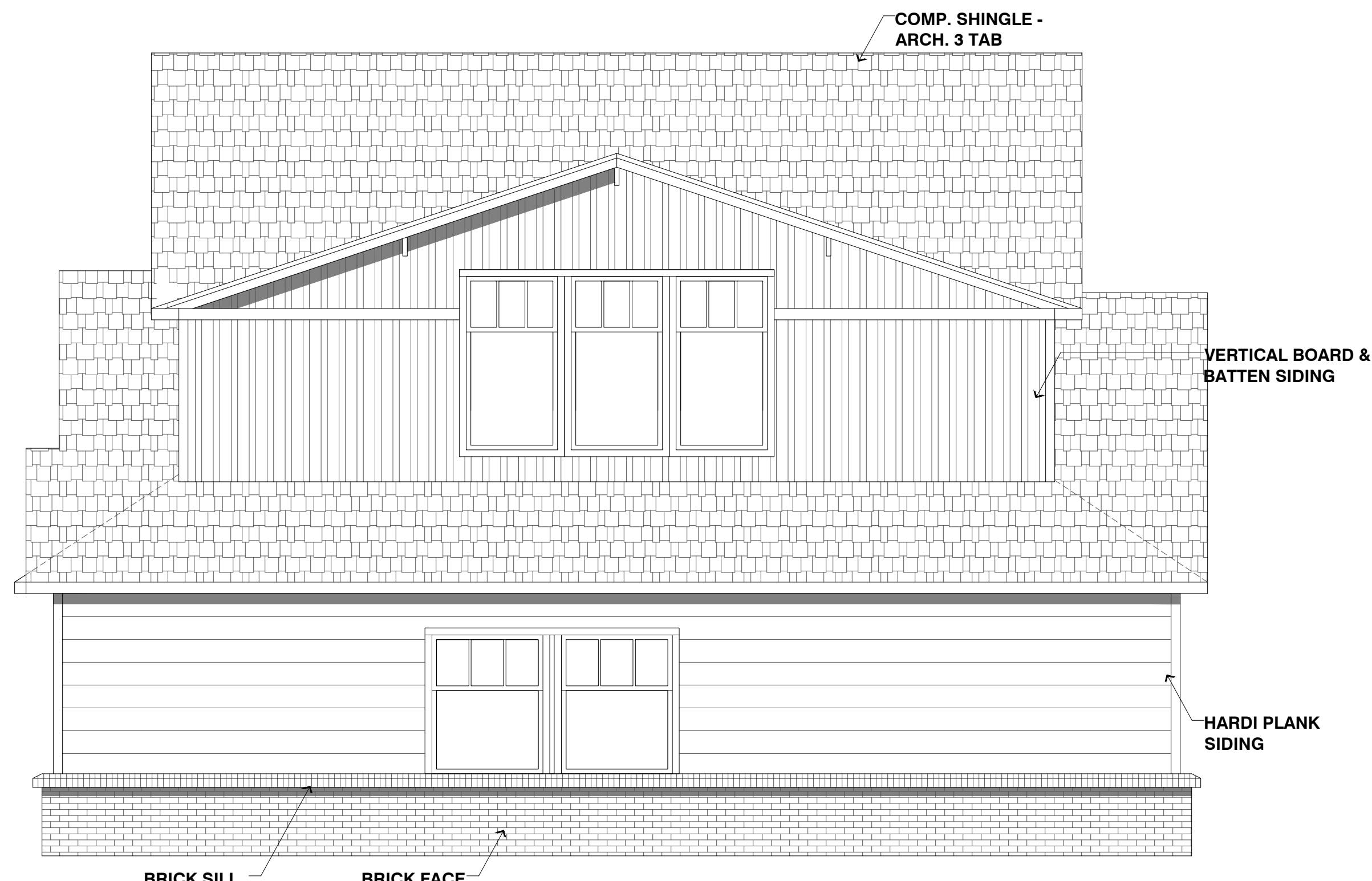
PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

REVISIONS:

DRAWING:
FLOOR PLAN
SCALE:
1/4" = 1'-0"
SHEET SIZE:
24 x 36
SHEET NO.
A5 OF



601 EAST ELEVATION: GOLIAD FRONTAGE
 SCALE: 1/4" = 1' - 0"



602 SOUTH ELEVATION
 SCALE: 1/4" = 1' - 0"

LATIMER DESIGN INC.
 ROCKWALL, TEXAS 75087
 PHONE: 469.264.7415
 EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC.
 CUSTOM HOUSE PLANS
 COMMERCIAL PLANS
 INTERIOR DESIGN

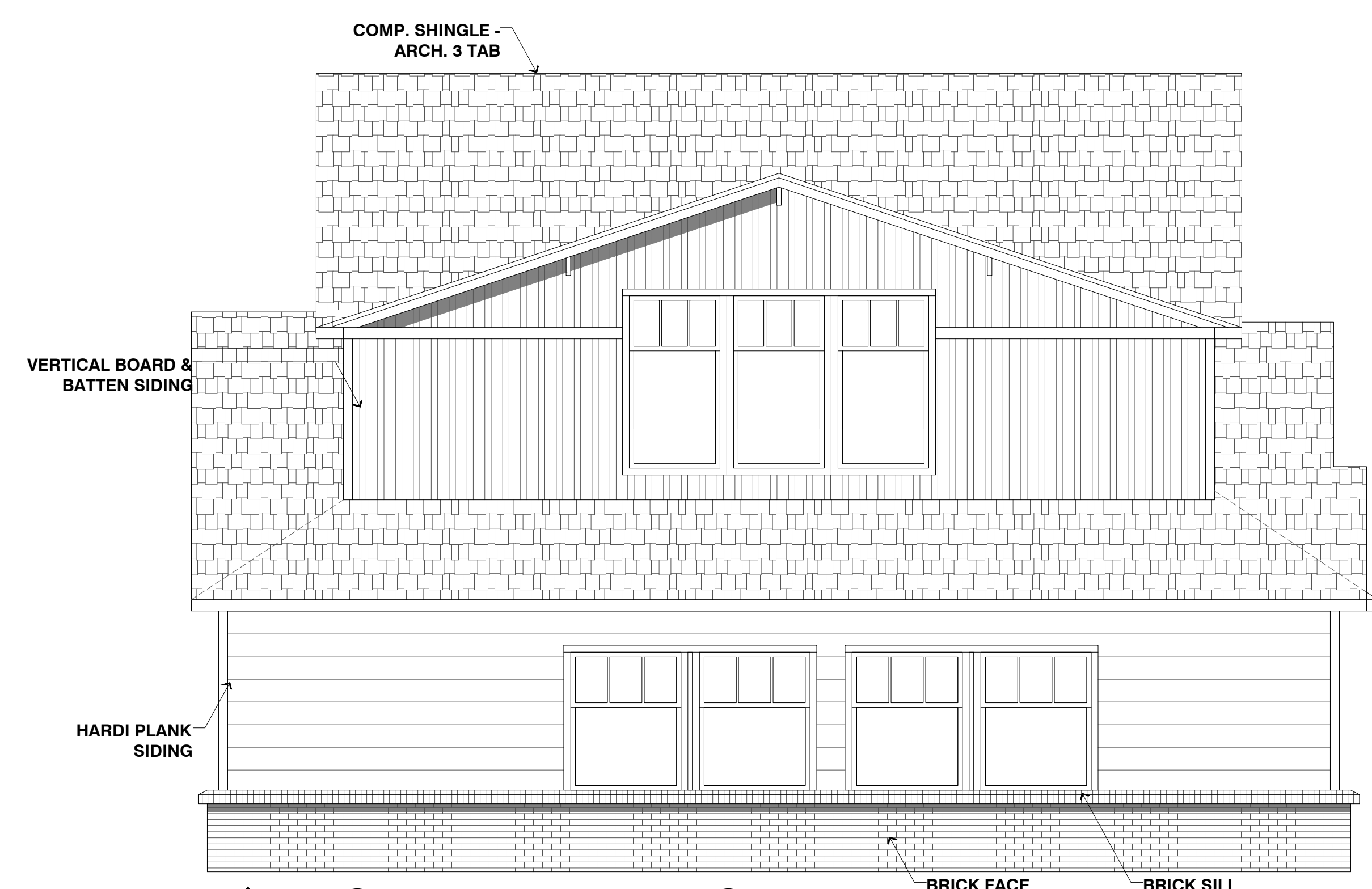
PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
 LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
 DATE:
01.13.2019

REVISIONS:

DRAWING:
ELEVATIONS
 SCALE:
1/4" = 1'-0"
 SHEET SIZE:
24 X 36
 SHEET NO.
A6 OF 7



701 WEST ELEVATION: PARKING LOT
SCALE: 1/4" = 1' - 0"



702 NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

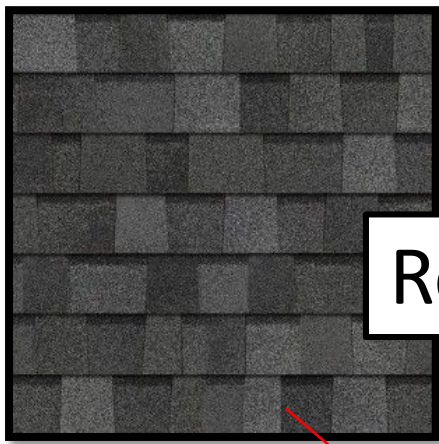
LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC.
CUSTOM HOUSE PLANS
COMMERCIAL PLANS
INTERIOR DESIGN

PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE
LOCATION: 205 & W.HEATH • ROCKWALL • TX • 75087
DATE: 01.13.2019

REVISIONS:

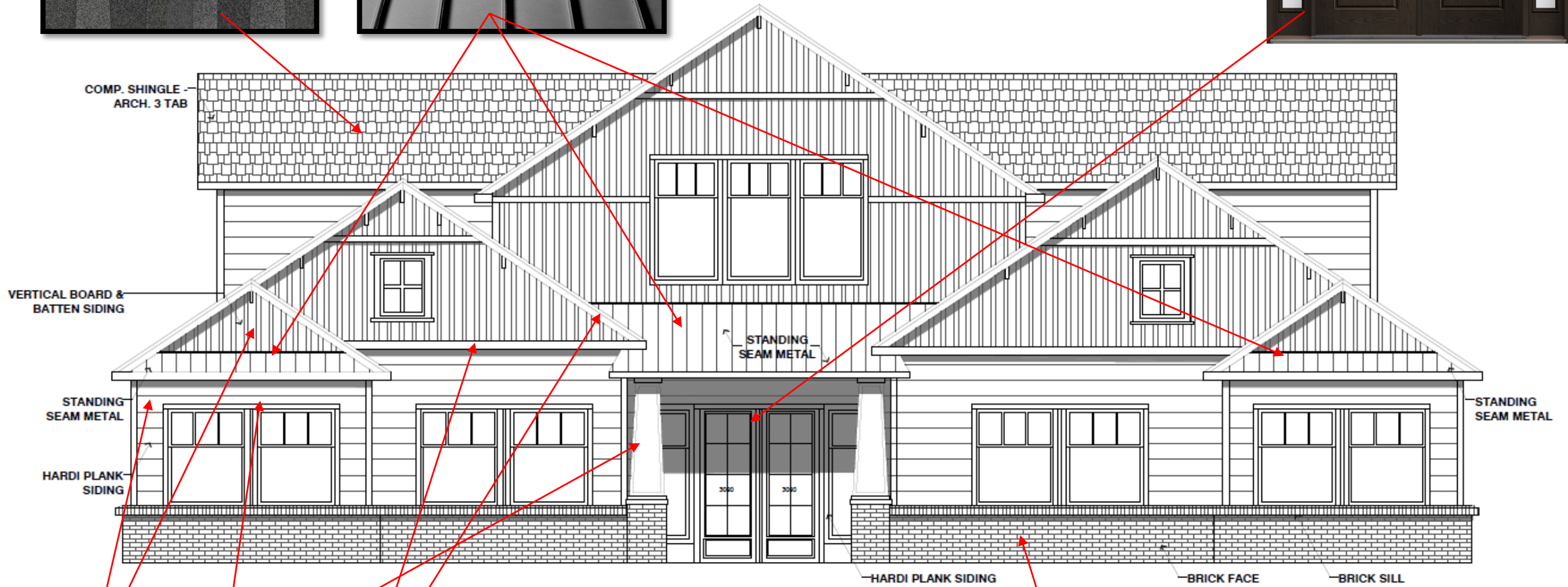
DRAWING: **ELEVATIONS**
SCALE: 1/4" = 1'-0"
SHEET SIZE: 24 X 36
SHEET NO. **A7 OF 7**



Roof



Doors & Sidelights



Paint Colors

Brick



City of Rockwall Project Plan Review History



Project Number SP2019-001	Owner FALLS, DAVID C & TERRI L	Applied 1/17/2019	LM
Project Name T3 Chiropractic	Applicant TRISTON GENERAL CONTRACTOR	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 903 N GOLIAD ST		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision GARNER	Tract NULL	Block ALL 26	Lot No NULL
		Parcel No 3730-0026-0ALL-00-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	1/17/2019	1/24/2019	1/22/2019	5	APPROVED	
ENGINEERING	Sarah Hager	1/17/2019	1/24/2019	1/25/2019	8	COMMENTS	<p>(1/25/2019 10:38 AM SH)</p> <ul style="list-style-type: none"> - Label the distance of the fire lane and the spacing between driveways. - Show all existing and proposed utilities on landscape plans. - Add note to landscape plans, "No trees within 5' of utilities." - The other sheets were not reviewed. <p>The following items are for your information for the engineering design.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees - Impact fees. - Min 20' utility easements. - No structures in easements. - Fire lane easement to be on plat. - Fire lane to be 24' wide with 20' radii. - Parking to be 20'x9' - No dead-end parking. - Driveway spacing must be labeled on Site Plan. - Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope. No vertical walls allowed in detention easement - No trees within 5' of public utilities. - Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls. - Must meet all City Engineering Standards.
FIRE	Ariana Hargrove	1/17/2019	1/24/2019	1/24/2019	7	COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(1/24/2019 6:10 PM AA) Proposed new and existing fire hydrants shall be indicated on the plans. Existing fire hydrants to be considered for the use shall be indicated on the plans. (Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants on public streets are allowed to be considered as available where streets are not provided with median dividers which cannot be crossed by fire fighters pulling hose lines.) Is the rear drive fire lane?							
GIS (1/22/2019 2:09 PM LS) ADDRESSING: North building will be 903 N. Goliad St. Rockwall, TX 75087 South building will be 901 N. Goliad St. Rockwall, TX 75087	Lance Singleton	1/17/2019	1/24/2019	1/22/2019	5	APPROVED	See comments
PLANNING	Korey Brooks	1/17/2019	1/24/2019	1/25/2019	8	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-001 Site Plan for T3 Chiropractic Office: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
?						This is a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205]
?						For questions or comments concerning this case please contact Corey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
?						For reference, include the case number (SP2019-001) in the lower right hand corner of all pages on future submittals.
?						Site Plan. Please show centerlines of all adjacent roadways and darken/use thicker line for property line.
?						Site Plan. The Site Plan looks more like a cover page.
?						Site Plan. The site plan appears to be scaled with an architectural scale. Please use engineering scale. The recommended scales are listed in the site plan checklist.
?						Site Plan. Please label existing sidewalks and proposed sidewalks and provide two different hatch/fill patterns.
?						Site Plan. Please use a hatch pattern for pavement (i.e. firelane) and provide thickness and material information.
?						Site Plan. Please provide highlighted information on attached checklist.
?						Site Plan. Please provide location of utilities.
?						Site Plan. Please utilize multiple line-weights for clarity.
?						Site Plan. Please label third lot "Future Development" and remove "building by other". Greyscale everything that is not directly related to the subject property.
?						Site Plan. Please change "Property Description" table to Site Data Table and provide on each sheet—Also, please provide the additional highlighted information. The lower left corner of the title block of each sheet should be the project information. Swapping the location of the project information and the "Sheet" information would work—for future Civils/Building Permit submittals, this requirement is different.
?						Landscape Plan. Please show centerlines of adjacent roadways.
?						Landscape Plan. Please provide site data table as shown on site plan.
?						Landscape Plan. Please utilize engineering scale and show adjacent properties.
?						Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing.
?						Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance.
?						Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
?						Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
?						Landscape Plan. Please show heavy landscape screening from the adjacent residential property.
?						Photometric Plan. Please darken and label property line on photometric plan.
?						Photometric Plan. Please show centerlines of all adjacent roadways.
?						Photometric Plan. Fixtures will need to be historic-looking (if possible). Please provide a cut sheet.
?						Photometric Plan. It is only necessary to show the subject property. Also, if the FC font could be smaller, that would help (for archiving/digitizing purposes).
?						Photometric Plan. Please provide title block in the lower right-hand corner of the page with the site/project info)
?						Photometric Plan. Please provide site data table as shown on the other plans.
?						Floor Plan. Please note that the floor plan is not reviewed during this phase so it does not need to be provided.
?						Building Elevations. Please provide dimensions
?						Building Elevations. Please provide material percentages per façade. The materials percentages only show "Masonry" and "Stone". We need each material broken down e.g. brick, stone, stucco.
?						Building Elevations. Please keep the architectural scale on building elevations (I asked for engineering on the other plans)
?						Building Elevations. Provide Site data Table as provided on other sheets.
?						Building Elevations. Provide color elevations and rendering, if possible.

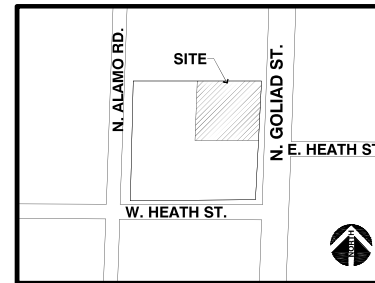
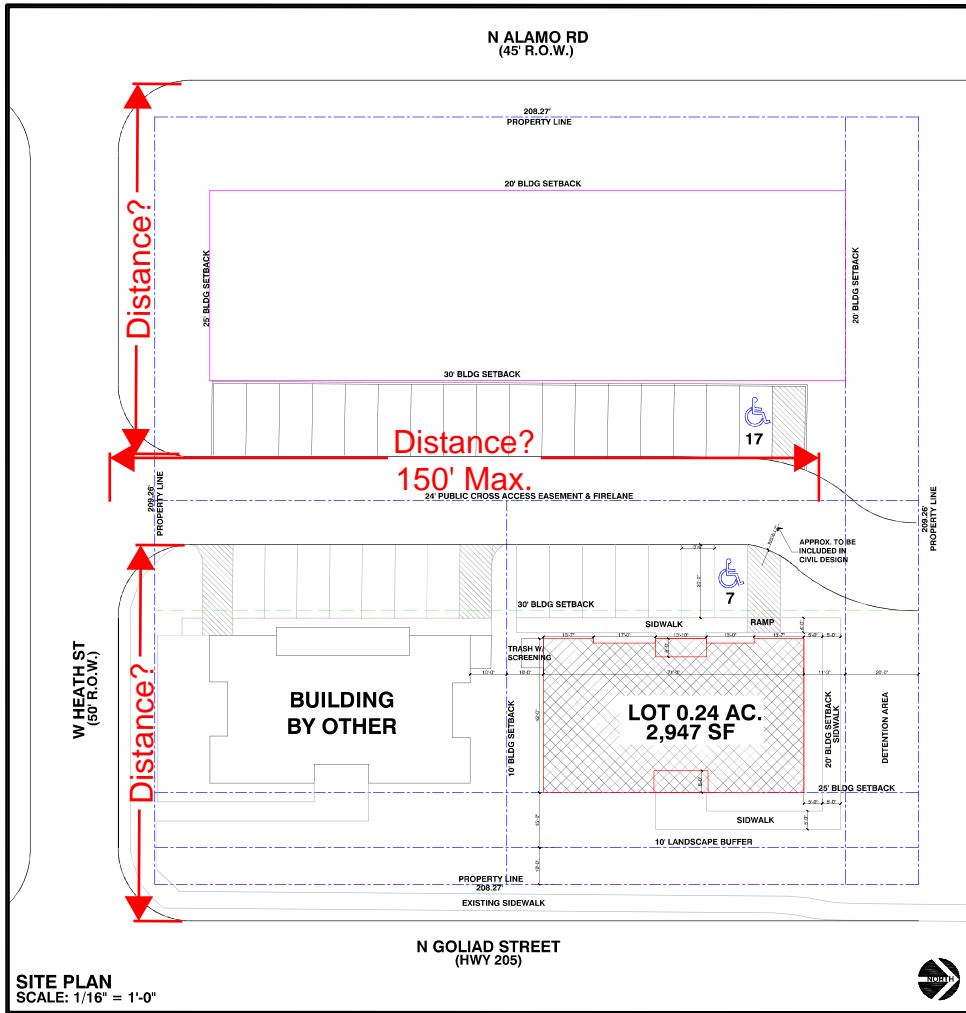
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
?	The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m.					
?	Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019					

T³Chiropractic

Office Building



- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled on Site Plan.
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.



VICINITY MAP

GENERAL NOTES

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE, THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPECS ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
- ALL JOB SITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.6" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPECS, (IF REQUIRED), TO BE PROVIDED BY GENERAL CONTRACTOR.
- DRIVEWAY FINISH TO BE SPECIFIED BY CIVIL AND/OR STRUCTURAL ENGINEER.
- PLANT MATERIALS, INCLUDING SEED SOG ARE NOT SPEC'D.
- ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL CARPENTRY WORK SHALL BE ERECTED PLUMBS AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPECS. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY BUILDING SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

AB	ANCHOR BOLT	H	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFB	ABOVE FINISH FLOOR	LG	LONG
BDD	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	OC	ON CENTER
CB	CABINET	PT	PRESSURE TREATED
CLG	Ceiling	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONE	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIAM	DIAMETER	SHWR	SHOWER
DN	DOWN	SM	SIMILAR
DWG	DRAWING	SO	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOU	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
QL	GLASS	WD	WOOD

COPYRIGHT © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPIING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS, INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
 - FOUNDATION DESIGN
- CONSULT WITH ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNER'S LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK ADVISEMENT PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

DRAWING/SHEET INDEX

A1	SITE PLAN
A2	
A3.1	LANDSCAPE PLAN
A3.2	LANDSCAPE PLAN
A4	PHOTOMETRIC PLAN
A5	FLOOR PLAN
A6	WEST & NORTH ELEVATIONS
A7	EAST & SOUTH ELEVATIONS

PROPERTY DESCRIPTION

PROPERTY ID	16963
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	COLLIAD/W. HEATH ALAMO
ZONING	Pd-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 6-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	

LATIMER DESIGNS INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com

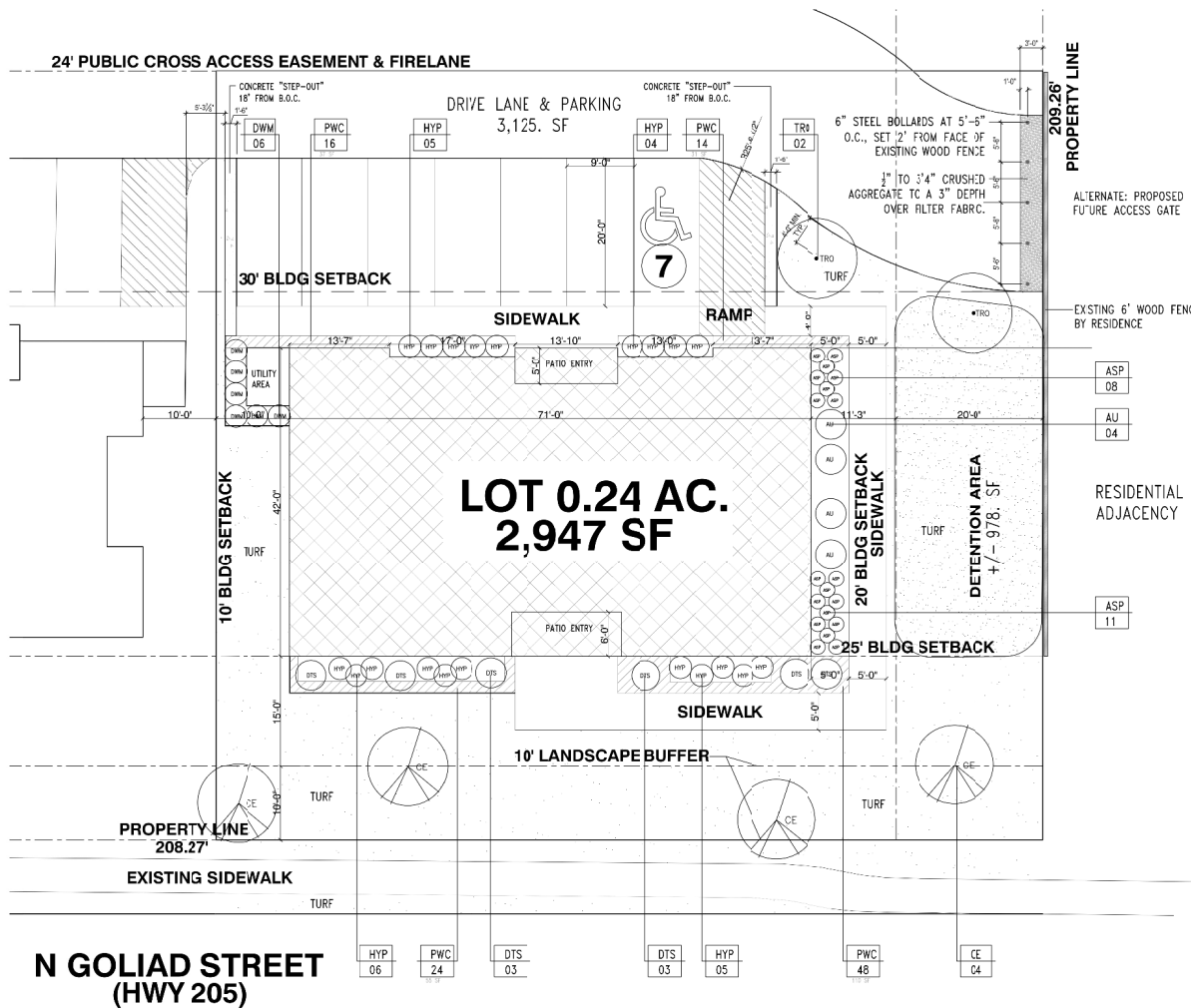


PROJECT CLIENT: T3 CHIROPRACTIC OFFICE
LOCATION: 205 & W. HEATH • ROCKWALL • TX • 75087
DATE: 01.13.2019

REVISIONS:

DRAWING: SITE PLAN
SCALE: 1/16" = 1'-0"
SHEET SIZE: 24 x 36
SHEET NO. A1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



- LANDSCAPE FABRICATION**
LOF: 26 AC (11,746.81 SF)
BUILDING: 2,947 SF
ZONING: RESIDENTIAL-OFFICE / PD-50
- 5.1 LANDSCAPE BUFFER-STRIP**
10' REQUIRED
10' PROVIDED
- 5.2 SCREENING OF OFF-STREET LOADING DOCKS**
N/A
- 5.3 ACCEPTABLE LANDSCAPE MATERIALS**
ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
ALL PLANT MATERIAL WILL OF CONTAINER GROWING QUALITY AND INSTALLED PER INDUSTRY STANDARDS.
- 5.4 PROTECTION OF LANDSCAPE AREAS:**
ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 4" CONCRETE CURBS OR DRIP STOPS.
- 5.5 IRRIGATION:**
AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FLEET/TANK SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.
- 5.6 SCREENING FROM RESIDENTIAL USES:**
NORTH SIDE - RESIDENTIAL ADJACENCY
A 6' HI. WOODEN FENCE IS REQUIRED
A 6' HI. WOOD FENCE IS PROVIDED AND EXISTING
- 5.7 STREET LANDSCAPING:**
1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 LF OF FRONTAGE REQUIRED
1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 LF OF FRONTAGE PROVIDED
N. GOLIAD STREET (HWY 205) = 208.27 LF
4 CANOPY TREES REQUIRED
4 CANOPY TREES PROVIDED
- 5.8 ROUTE-OF-WAY LANDSCAPING:**
GRASS OR GROUNDCOVER REQUIRED
GRASS PROVIDED
- 5.9 PARKING LOT LANDSCAPING:**
PARKING AND MAINTENANCE = 3,125 SF
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.
- 5.10 - (DELETED)**
- 5.11 DIMENSIONING OF LANDSCAPE AREA:**
ALL LANDSCAPING REQUIRED TO BE IN AN AREA NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
ALL LANDSCAPING PROVIDED TO BE IN AN AREA NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
- 5.12 REQUIRED LANDSCAPING:**
ZONING: RESIDENTIAL-OFFICE
A. AMOUNT OF LANDSCAPING:
2,936.45 SF = 20% OF SITE REQUIRED TO BE LANDSCAPED.
5,678.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.
- B. LOCATION OF LANDSCAPING
50% REQUIRED IN FRONT YARD
1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
2,937.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.
- C. DETENTION BASIN = +/- 978. SF
LANDSCAPE REQUIRED
LANDSCAPE PROVIDED
1 TREE / 750 SF REQUIRED
1.50 TREES REQUIRED
2.00 TREES PROVIDED
- 5.1 MAINTENANCE REQUIREMENT:**
ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES.
THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 1.4 AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 1.5 INCHES ABOVE THE ROOT BALL.
- 5.2 UTILITY LINES AND RIGHTS-OF-WAY:**
ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PROTECT THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PROPER LOCATIONS AFTER THE UTILITY WORK IS DONE. IF, NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.
- TERRACE - PROTECTED TREE MITIGATION**
THERE ARE NO PROTECTED TREES EXISTING ON SITE
THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY



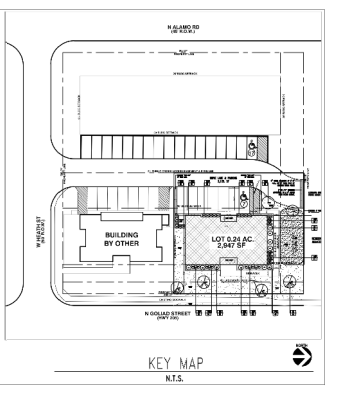
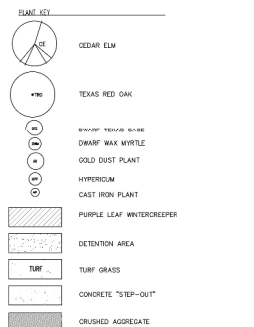
This document is intended to be used only for the project of STEVEN W. BYRNE, LICENSE NO. 1724, STATE OF TEXAS. It is not to be used for any other project without the written consent of the author. The user assumes all liability for any use of this document for any purpose other than that intended by the author. No responsibility is assumed by the author for any errors or omissions in this document.

LANDSCAPE PLAN
SCALE: 1/8" = 1' - 0"



Show Existing and Proposed Utilities.
Add note, " No trees within 5' of utilities."

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	Ulmus crinitus	2.5"-4" CAL	PLANT WHERE INDICATED
TR	02	TEXAS RED OAK	Quercus laevis	3.0"-4" CAL	PLANT WHERE INDICATED
W	215	LOWGROWING TEXAS SAGE	Leucophyllum frutescens	2" GAL	PLANT 48" O.D. MIN.
W	30	BOURNE BIRD	Plumbago auriculata	5" GAL	PLANT 30" O.D. MIN.
DW	12	DWARF WAX MYRTLE	Myrtalex sp.	2" GAL	PLANT 20" O.D. MIN.
W	12	CAST IRON PLANT	Aspidistra sp.	2" GAL	PLANT 20" O.D. MIN. EVENLY SPACED IN LANDSCAPE AREA
W	12	HYPERICUM	Hypericum sp.	2" GAL	PLANT 20" O.D. MIN. EVENLY SPACED ON PORCH SIDE
W	12	CRUSHED AGGREGATE	Gravel	5" GAL	PLANT 20" O.D. MIN.
W	12	CRUSHED AGGREGATE	Gravel	5" GAL	PLANT 20" O.D. MIN.
W	12	CRUSHED AGGREGATE	Gravel	5" GAL	PLANT 20" O.D. MIN.



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087

PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC.
CUSTOM HOUSE PLANS
INTERIOR DESIGN

PROJECT CLIENT:
T3 CHIROPRACTIC OFFICE

LOCATION:
205 & W. HEATH • ROCKWALL • TX • 75087

DATE:
01.13.2019

REVISIONS:

DRAWING:
LANDSCAPE

SCALE:
1/4" = 1'-0"

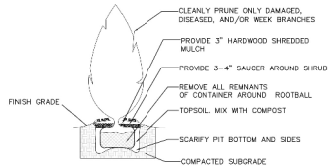
SHEET SIZE:
24 X 36

SHEET NO.
A3.1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

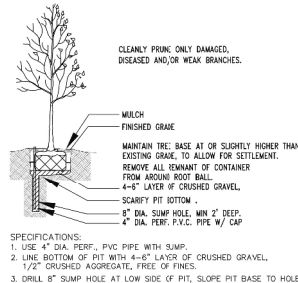


This drawing is prepared under the authority of Tyler W. Ryba, mechanical engineer, and shall not be used for any other purpose. The engineer assumes no responsibility for the design or construction of any structure or equipment shown on this drawing. The engineer's responsibility is limited to the design and construction of the mechanical systems shown on this drawing. The engineer is not responsible for the design or construction of any other structure or equipment shown on this drawing. The engineer is not responsible for the design or construction of any other structure or equipment shown on this drawing.



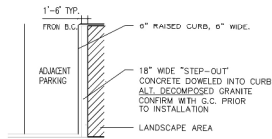
LARGE SHRUB-SECTION

N.T.S.



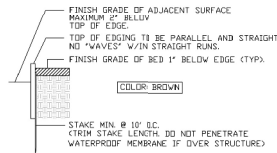
LARGE CANOPY TREE-SECTION

N.T.S.



TYPICAL PARKING ISLAND-PLAN

N.T.S.



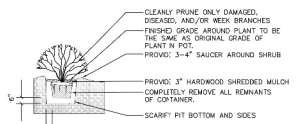
STEEL EDGE-SECTION

N.T.S.



GROUNDCOVER PLANTING-PLAN

N.T.S.



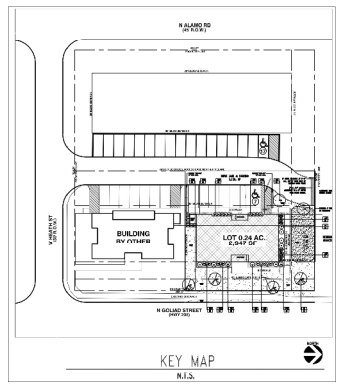
SHRUB PLANTING-SECTION

N.T.S.

GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL TO GRADE.
- TREE HOLES TO BE EXCAVATED 2" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 LUMPUS1 AS NOTED IN#3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI, 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- BED EDGING TO BE STEEL EDGING 120, X 5-5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLES) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SLUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE HOLE LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN.
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" FILLED INTO PLACE TO A 6" DEPTH.

Show Existing and Proposed Utilities. Add note, " No trees within 5' of utilities."



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com


LATIMER DESIGNS INC.
CUSTOM HOUSE PLANS
INTERIOR DESIGN

PROJECT CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W. HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

REVISIONS:

DRAWING:
LANDSCAPE
SCALE:
1/4" = 1'-0"
SHEET SIZE:
24 X 36
SHEET NO.
A3.2 OF

0 10 20 40 60 80 Feet

SP2019-001 - SITE PLAN FOR T3 CHIROPRACTIC
SITE PLAN - LOCATION MAP = 

SF-7

PD-50

GOLIAD

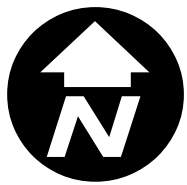
HEATH



City of Rockwall

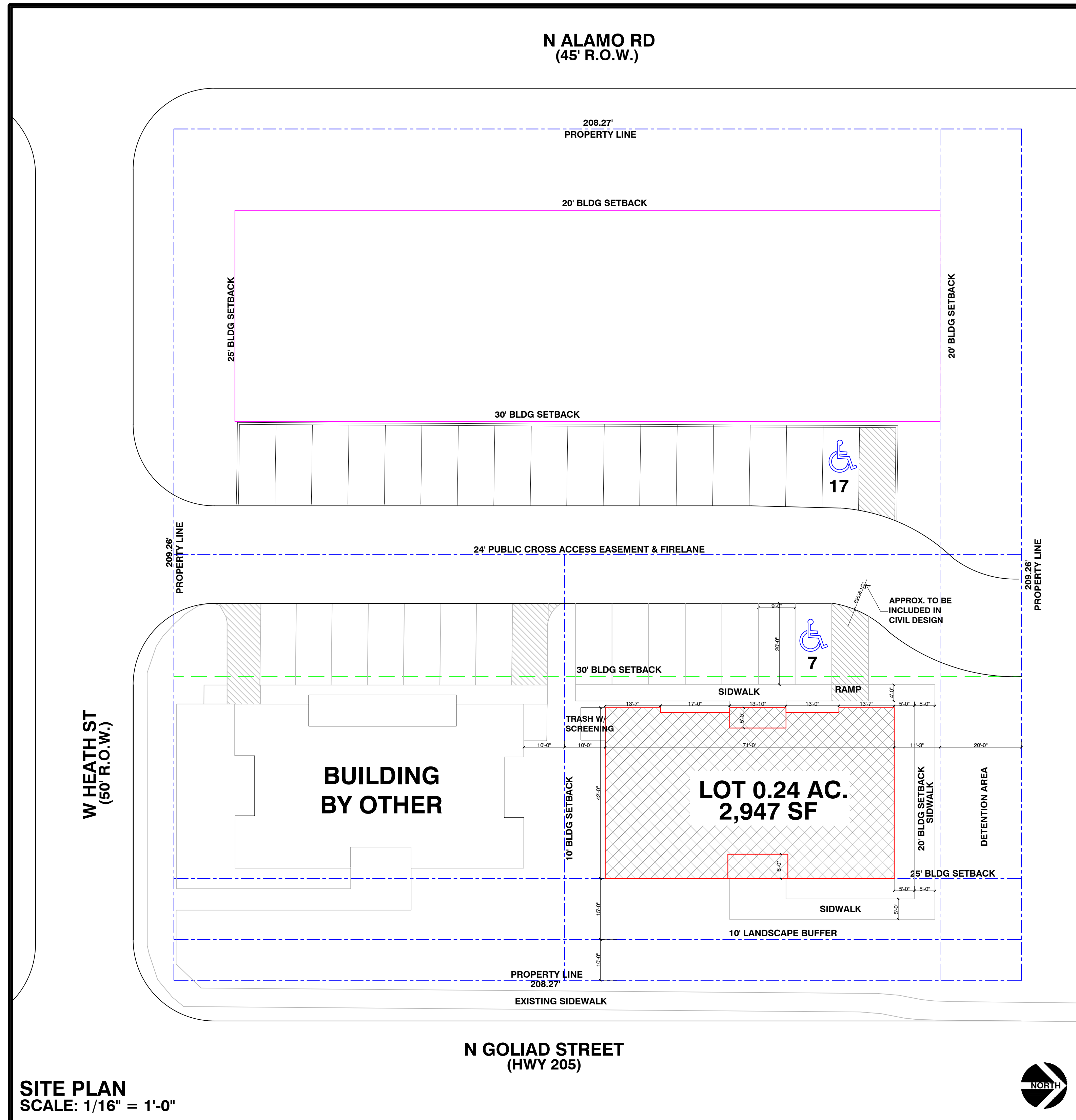
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

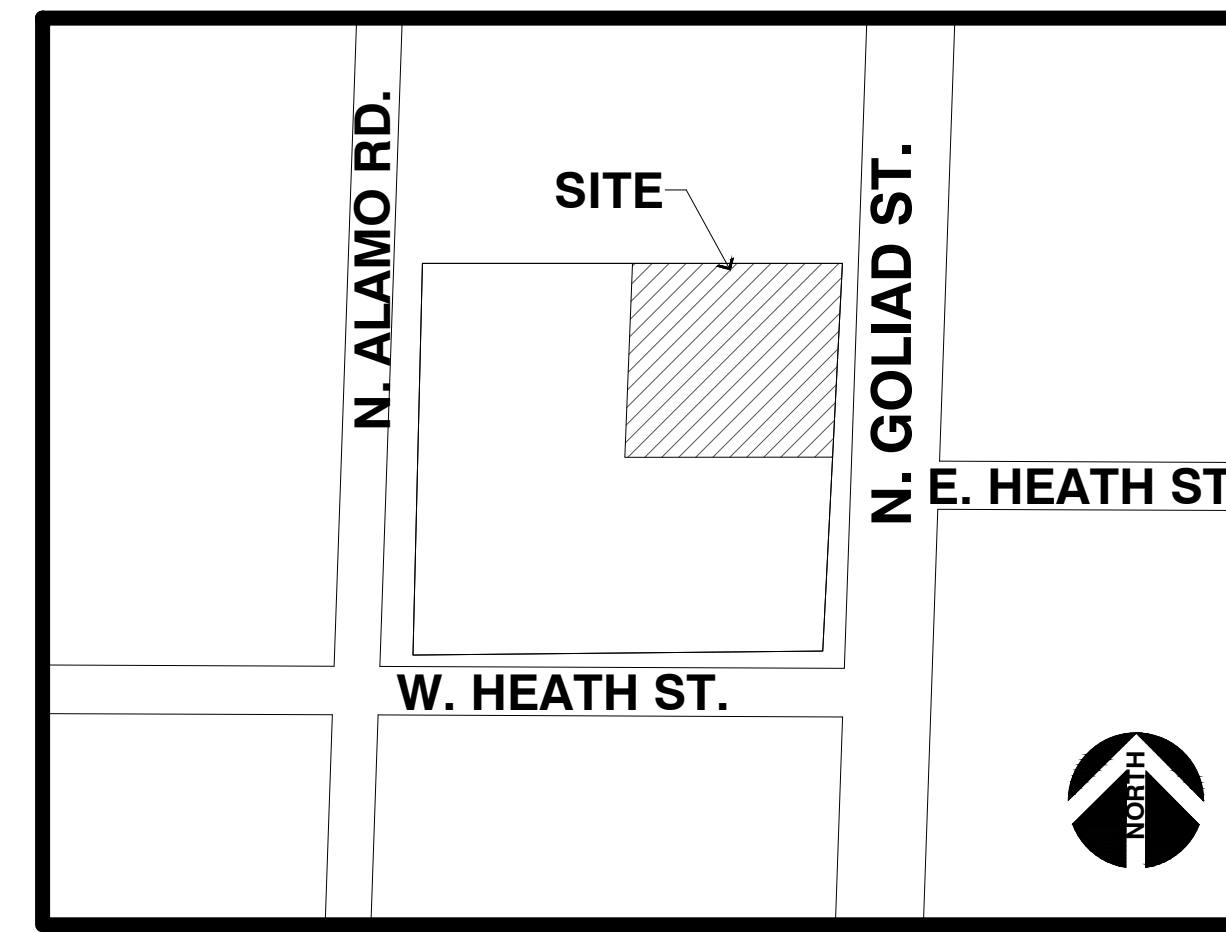


T³ Chiropractic

Office Building



SITE PLAN
SCALE: 1/16" = 1'-0"



VICINITY MAP

DEVELOPMENT PLANS
NOT FOR CONSTRUCTION

GENERAL NOTES

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
- ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- DRIVEWAY FINISH TO BE SPECIFIED BY CIVIL AND/OR STRUCTURAL ENGINEER.
- PLANT MATERIALS, INCLUDING SEED/SOD ARE NOT SPEC'D.
- ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY BUILDING/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

AB	ANCHOR BOLT	H	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	ABOVE FINISH FLOOR	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	OC	ON CENTER
CAB	CABINET	PT	PRESSURE TREATED
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIMR	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	WOOD

COPYRIGHT © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS, INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- FOUNDATION DESIGN

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVICE PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

DRAWING/SHEET INDEX

A1	SITE PLAN
A2	-----
A3.1	LANDSCAPE PLAN
A3.2	LANDSCAPE PLAN
A4	PHOTOMETRIC PLAN
A5	FLOOR PLAN
A6	WEST & NORTH ELEVATIONS
A7	EAST & SOUTH ELEVATIONS

PROPERTY DESCRIPTION

PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	GOLIAD/W.HEATH/ALAMO
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	

LATIMER DESIGNS INC.
ROCKWALL, TEXAS 75087
PHONE:
469.264.7415
EMAIL:
latimerdesigngroup@gmail.com

LATIMER
DESIGNS inc
CUSTOM HOUSE PLANS
INTERIOR DESIGN
RENOVATIONS

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

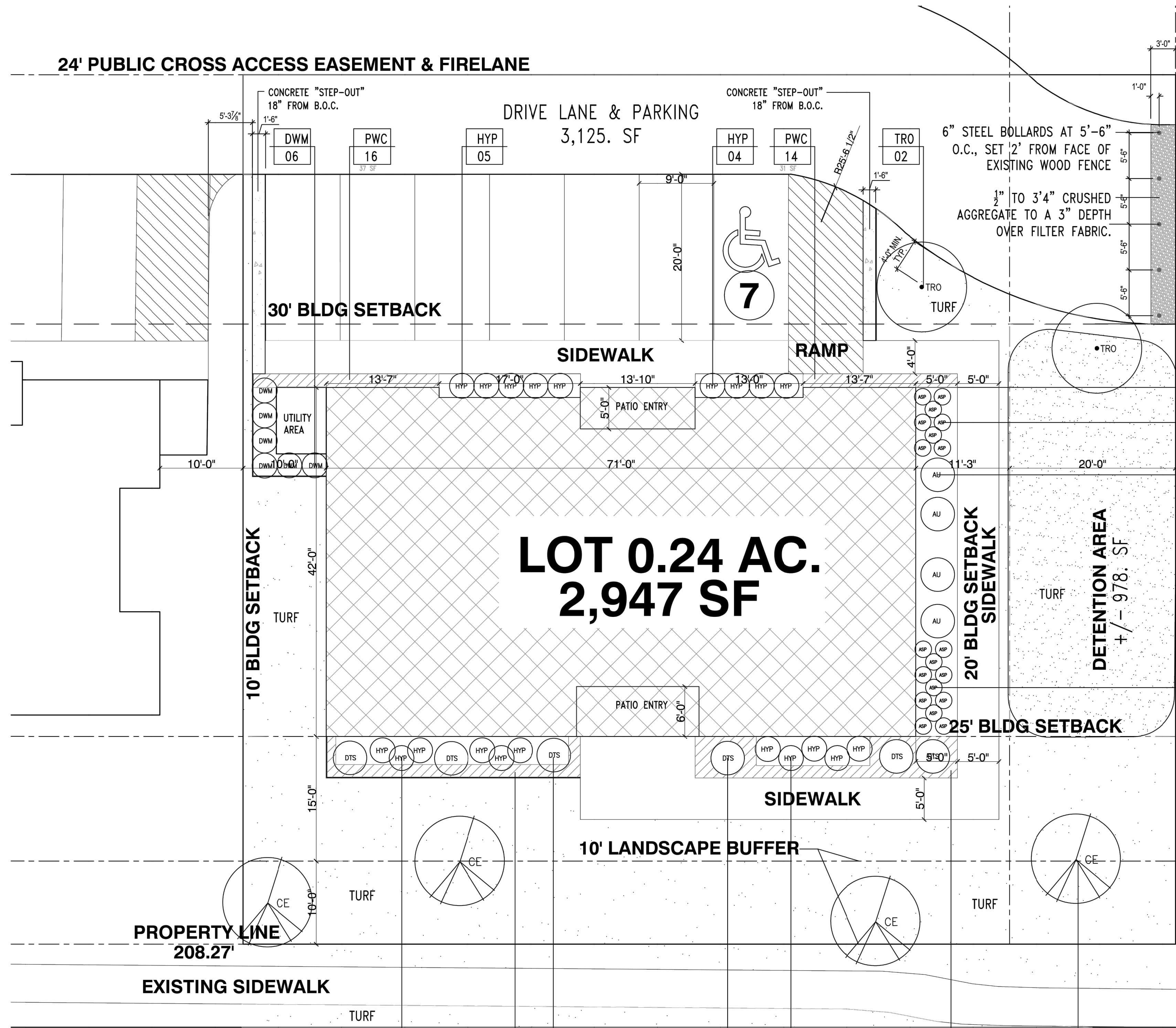
REVISIONS:

DRAWING:
SITE PLAN
SCALE:
1/16" = 1'-0"
SHEET SIZE:
24 X 36

SHEET NO.
A1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

24' PUBLIC CROSS ACCESS EASEMENT & FIRELANE



**LOT 0.24 AC.
2,947 SF**

**N GOLIAD STREET
(HWY 205)**

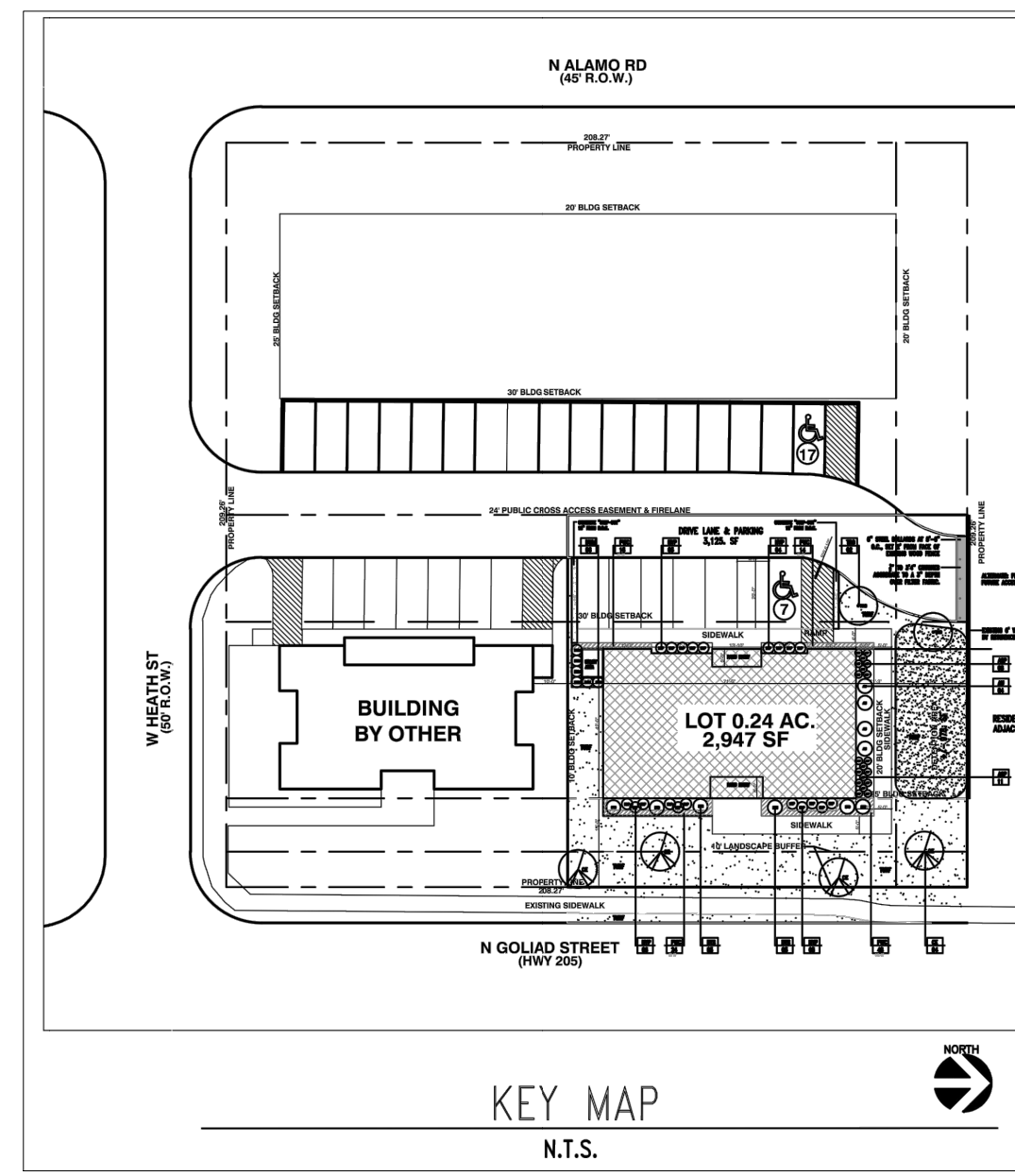
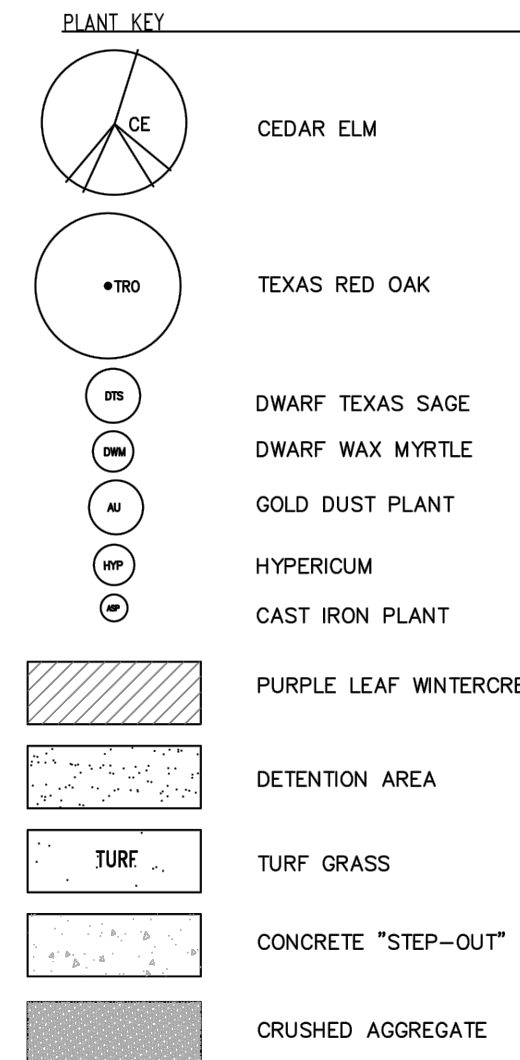
LANDSCAPE PLAN
SCALE: 1/8" = 1' - 0"

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	<i>Ulmus crassifolia</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
TRO	02	TEXAS RED OAK	<i>Acer saccharum 'caddo'</i>	3.5'-4" CAL.	PLANT WHERE INDICATED
DTS	06	DWARF TEXAS SAGE	<i>Leucophyllum candidum 'Thunder Cloud'</i>	7 GAL.	PLANT 42" O.C. MIN.
HYP	20	HYPERICUM	<i>Hypericum berry</i>	5 GAL.	PLANT 36" O.C. MIN.
DWM	12	DWARF WAX MYRTLE	<i>Myrica pusilla</i>	7 GAL.	PLANT 36" O.C. MIN.
ASP	19	ASPIDISTRA	<i>Aspidistra elatior</i>	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	04	AUCUBA	<i>Aucuba japonica</i>	5 GAL.	PLANT EVENLY SPACED WHERE INDICATED, UNIFORM SIZE
PWC	102	COLORADO WINTER CREEPER	<i>Euonymus fortunei 'Coloratus'</i>	1 GAL.	PLANT 18" O.C.
TURF	-	COMMON BERMUDE GRASS	<i>Cynodon dactylon</i>	SOD	LEVEL SUB GRADE AND ROLL INTO PLACE.

LANDSCAPE TABULATION
LOT: .26 AC (11,746.81 SF)
BUILDING: 2,947 SF
ZONED: RESIDENTIAL-OFFICE / PD-50



- 5.1 LANDSCAPE BUFFER-STRIP
10' REQUIRED
10' PROVIDED
- 5.2 SCREENING OF OFF-STREET LOADING DOCKS
N/A
- 5.3 ACCEPTABLE LANDSCAPE MATERIALS
ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.
- 5.4 PROTECTION OF LANDSCAPE AREAS:
ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.
- 5.5 IRRIGATION:
AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.
- 5.6 SCREENING FROM RESIDENTIAL USES:
NORTH SIDE - RESIDENTIAL ADJACENCY
A 6' HT. MASONRY FENCE IS REQUIRED
A 6' HT. WOOD FENCE IS PROVIDED AND EXISTING
- ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL, SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.
- 5.7 STREET LANDSCAPING:
1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 LF OF FRONTAGE REQUIRED
1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 LF OF FRONTAGE PROVIDED
N. GOLIAD STREET (HWY 205) = 208.27 LF
4 CANOPY TREES REQUIRED
4 CANOPY TREE PROVIDED
- 5.8 RIGHT-OF-WAY LANDSCAPING:
GRASS OR GROUNDCOVER REQUIRED
GRASS PROVIDED
- THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.
- 5.9 PARKING LOT LANDSCAPING:
PARKING AND MANUEVERING = 3,125 SF
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.
- 5.10 - (DELETED):
- 5.11 DIMENSIONING OF LANDSCAPE AREA:
ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
- 5.12 REQUIRED LANDSCAPING:
ZONED: RESIDENTIAL-OFFICE
A. AMOUNT OF LANDSCAPING
2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED.
5,678.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.
B. LOCATION OF LANDSCAPING
50% REQUIRED IN FRONT YARD
1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.
C. DETENTION BASIN = +/- 978. SF
LANDSCAPE REQUIRED
LANDSCAPE PROVIDED
1 TREE / 750 SF REQUIRED
1.50 TREES REQUIRED
2.00 TREES PROVIDED
- 9.1 MAINTENANCE REQUIREMENT:
ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.
- 9.2 UTILITY LINES AND RIGHTS-OF-WAY:
ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.
- TREESCAPE - PROTECTED TREE MITIGATION
THERE ARE NO PROTECTED TREES EXISTING ON SITE
THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com



PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

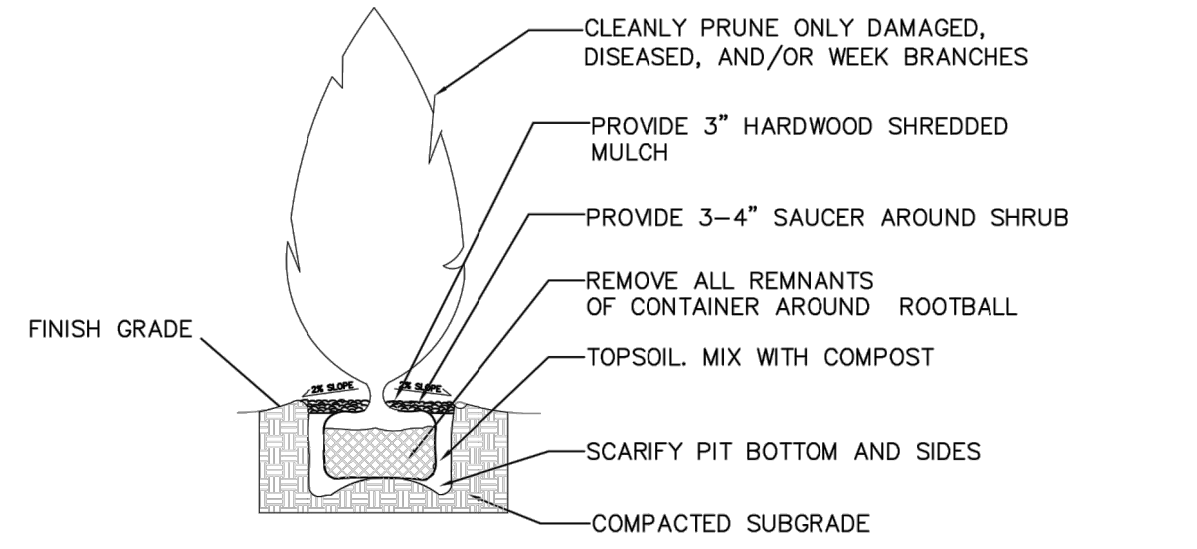
REVISIONS:

DRAWING:
LANDSCAPE
SCALE:
1/4" = 1'-0"
SHEET SIZE:
24 X 36
SHEET NO.
A3.1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

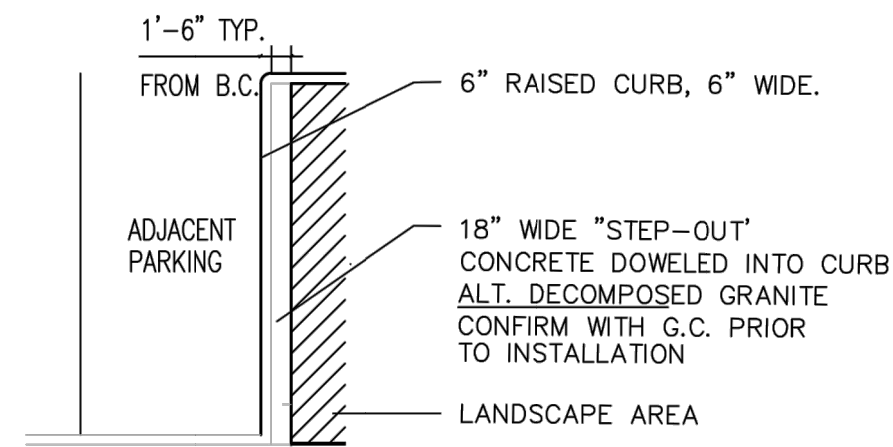


This electronic drawing file is released under the authority of Steven R. Ryba, registration #1724 on 07-23-07, who maintains the original file. This electronic drawing file may be used as a background drawing. Pursuant to Rule 1-103(b) of the Rules and Regulations of the Texas Board of Architectural Examiners, the user of the electronic drawing file agrees to assume all responsibility for any modification to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modification to this electronic drawing file without the Landscape Architect's express written permission.



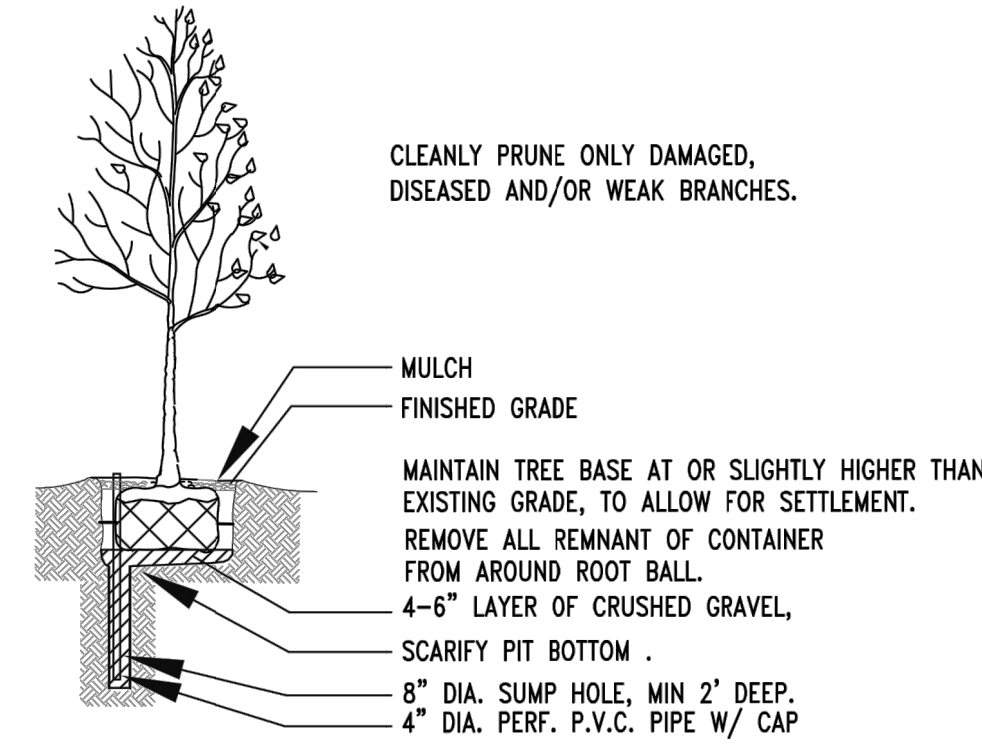
LARGE SHRUB-SECTION

N.T.S.



TYPICAL PARKING ISLAND-PLAN

N.T.S.

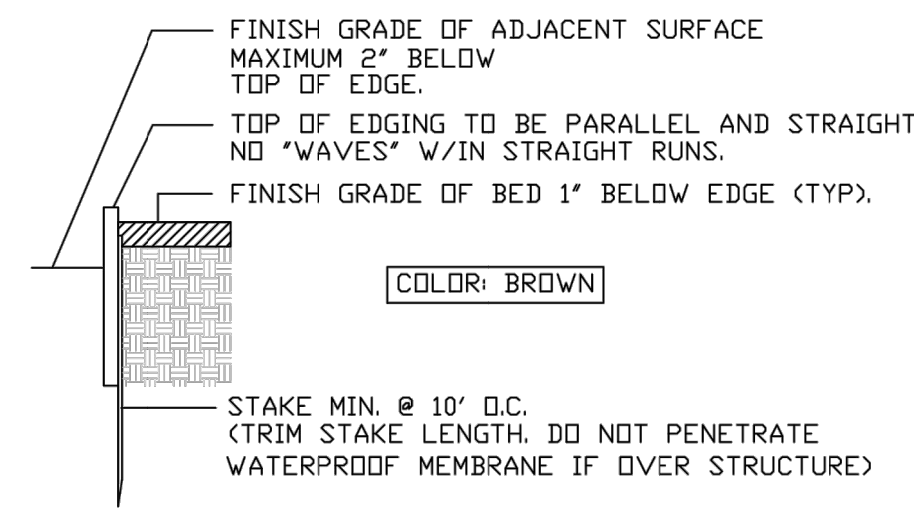


- SPECIFICATIONS:
- USE 4" DIA. PERF., PVC PIPE WITH SUMP.
 - LINE BOTTOM OF PIT WITH 4-6" LAYER OF CRUSHED GRAVEL, 1/2" CRUSHED AGGREGATE, FREE OF FINES.
 - DRILL 8" SUMP HOLE AT LOW SIDE OF PIT, SLOPE PIT BASE TO HOLE. FILL HOLE WITH 1/2" CRUSHED AGGREGATE, FREE OF FINES.

LARGE CANOPY TREE-SECTION

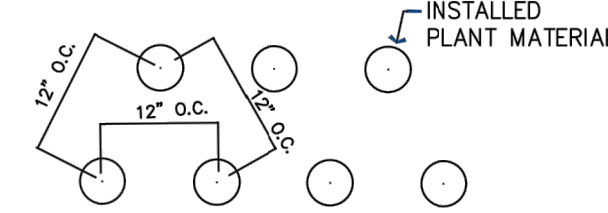
MUST INSTALL SUMP

N.T.S.



STEEL EDGE-SECTION

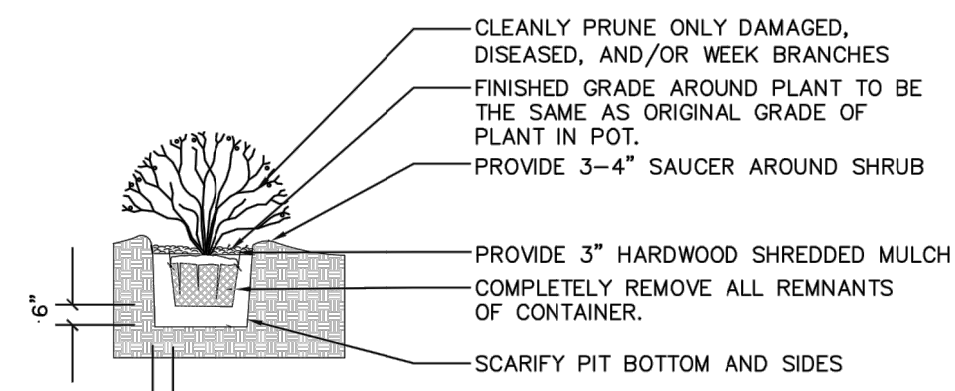
N.T.S.



- NOTE:
- THE "ON CENTER" MAY VARY PER PLANT TYPE. REFER TO PLANT SCHEDULE, FOR VARIOUS "ON CENTERS".

GROUNDCOVER PLANTING-PLAN

N.T.S.



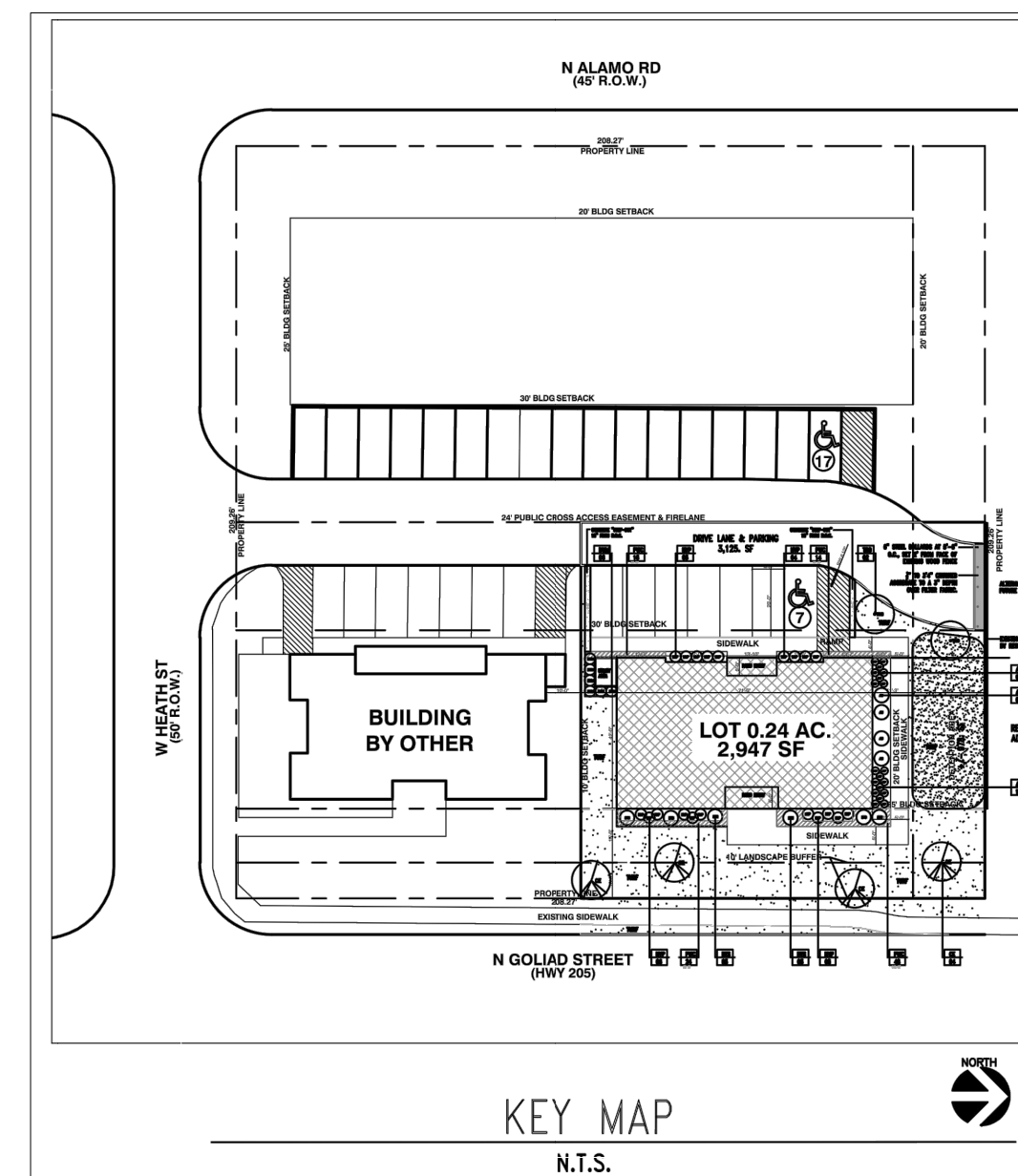
- NOTE:
- USE MIXED COMPOST TO BACKFILL.
 - FERTILIZE AND WATER THOROUGHLY AFTER INSTALLATION.
 - EXCAVATE ENTIRE SHRUB BED, AS SHOWN.
 - NO SHRUB, EDGER OF ROOTBALL, SHALL BE PLANTED CLOSER THAN 2'-0" FROM FOUNDATION OF BUILDING.

SHRUB PLANTING-SECTION

N.T.S.

GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL TO GRADE.
- TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AN ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087

PHONE:
469.264.7415

EMAIL:
latimerdesigngroup@gmail.com



PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE

LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087

DATE:
01.13.2019

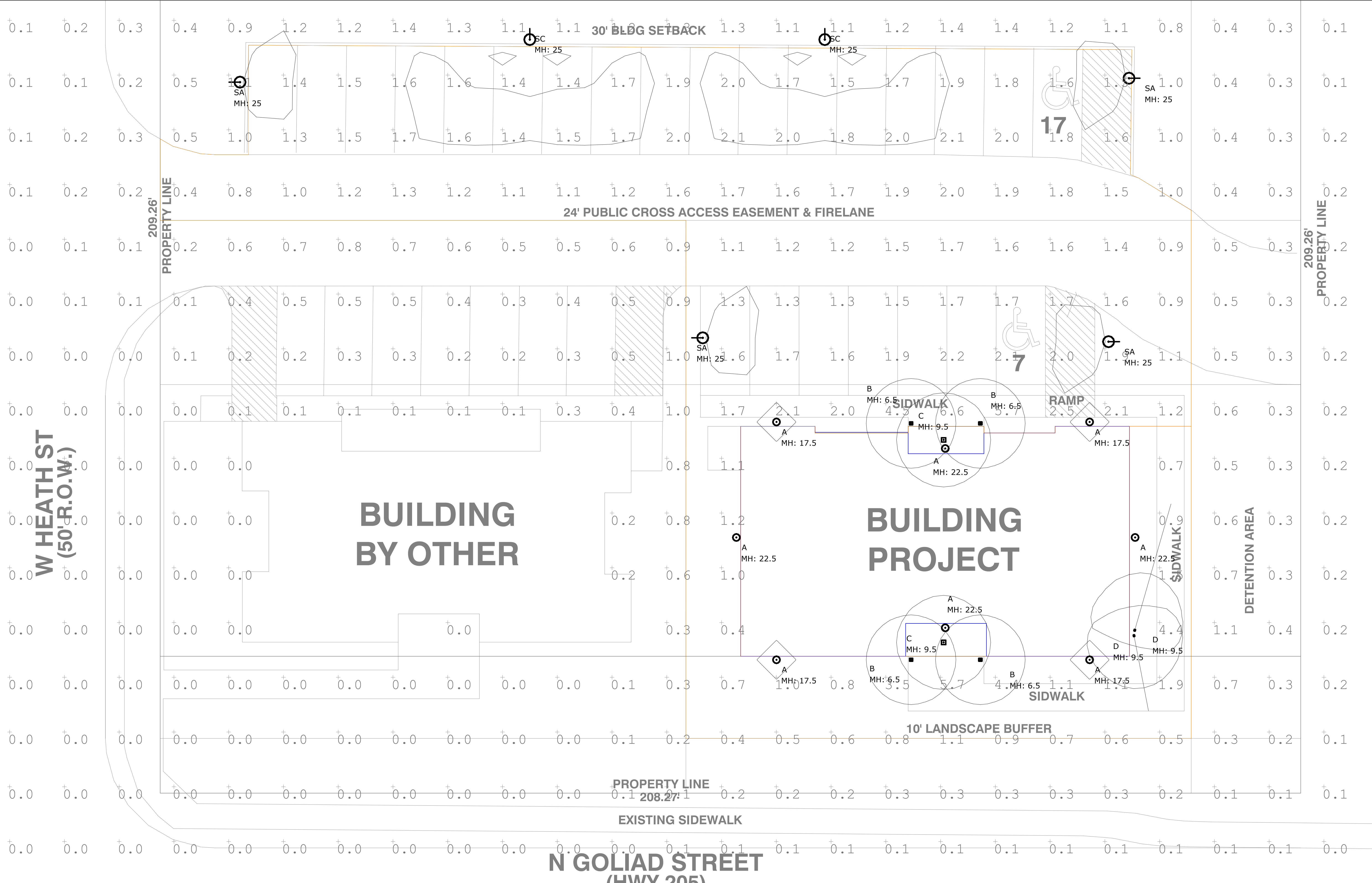
REVISIONS:

DRAWING:
LANDSCAPE

SCALE:
1/4" = 1'-0"

SHEET SIZE:
24 x 36

SHEET NO.
A3.2 OF



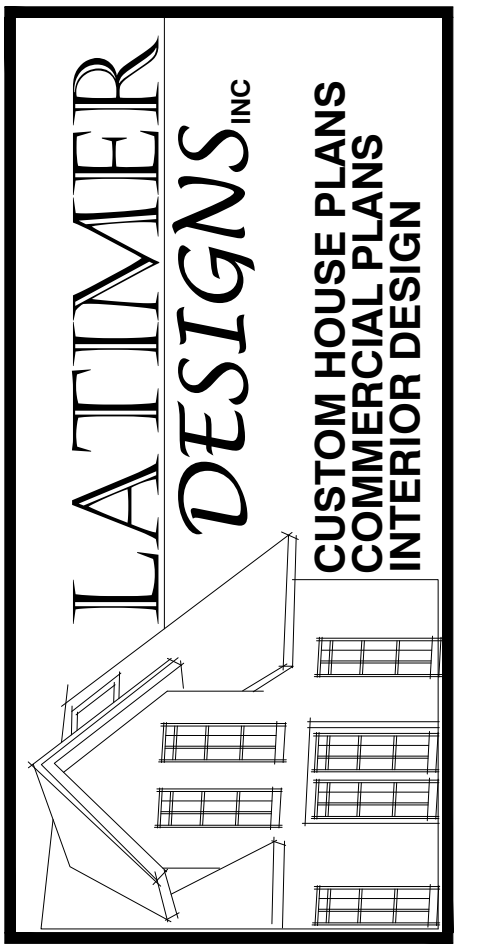
PRELIMINARY PLANS - NOT FOR CONSTRUCTION

Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	8	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
□	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
□	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	SA	4	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R3 FINISH MODIFIED FROM AS1 LED 1 63B530	8224	72.7	1.000	0.460	0.570
⊙	SC	2	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R2 FINISH MODIFIED FROM AS1 LED 1 63B530	8422	72.9	1.000	0.460	1.000
⊙	D	2	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.27	6.6	0.0	N.A.
PARKING LOT & DRIVE WAY		Fc	1.67	6.6	0.4	4.18

PARKING LOT & DRIVE WAY
 Illuminance (Fc)
 Average = 1.67
 Maximum = 6.6
 Minimum = 0.4
 Avg/Min Ratio = 4.18
 Max/Min Ratio = 16.50

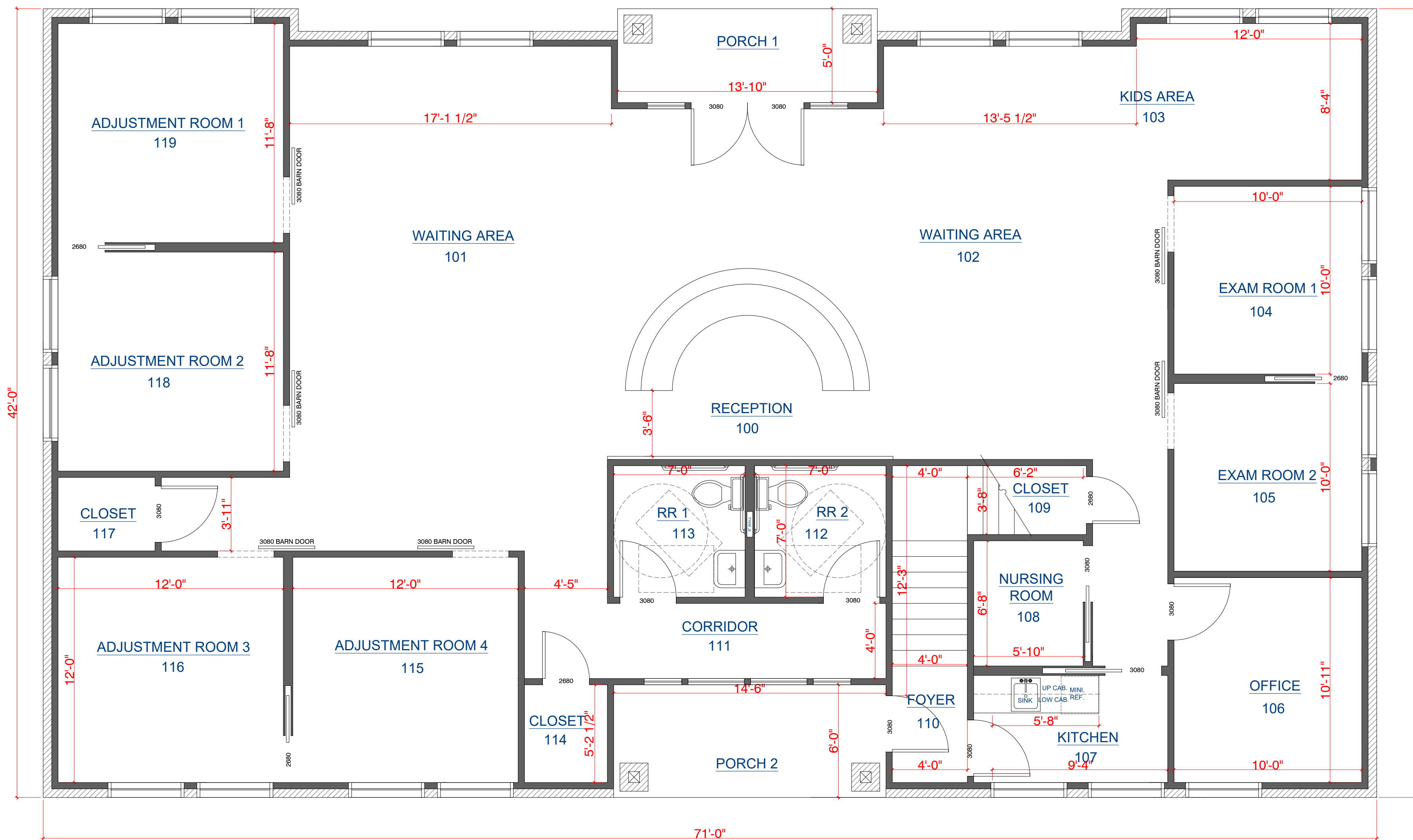
LATIMER DESIGN INC.
 ROCKWALL, TEXAS 75087
 PHONE: 469.264.7415
 EMAIL: latimerdesigngroup@gmail.com



PROJECT/CLIENT:
 T3 CHIROPRACTIC OFFICE
 LOCATION:
 205 & W.HEATH • ROCKWALL • TX • 75087
 DATE:
 01.13.2019

REVISIONS:

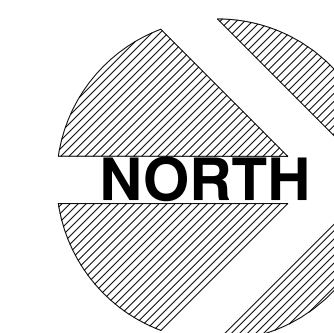
DRAWING:
PHOTOMETRIC
 SCALE:
1/8" = 1'-0"
 SHEET SIZE:
24 x 36
 SHEET NO.
A4 OF



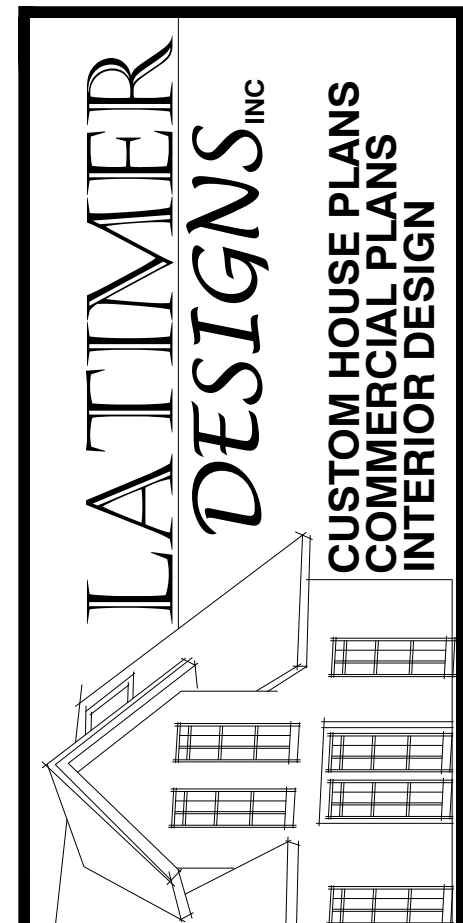
N. GOLIAD STREET

501 FLOOR PLAN
SCALE: 1/4" = 1' - 0"

SQUARE FOOTAGE	
1ST FLOOR	2788
PORCH 1	70
PORCH 2	89
2ND FLOOR	1891



LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com



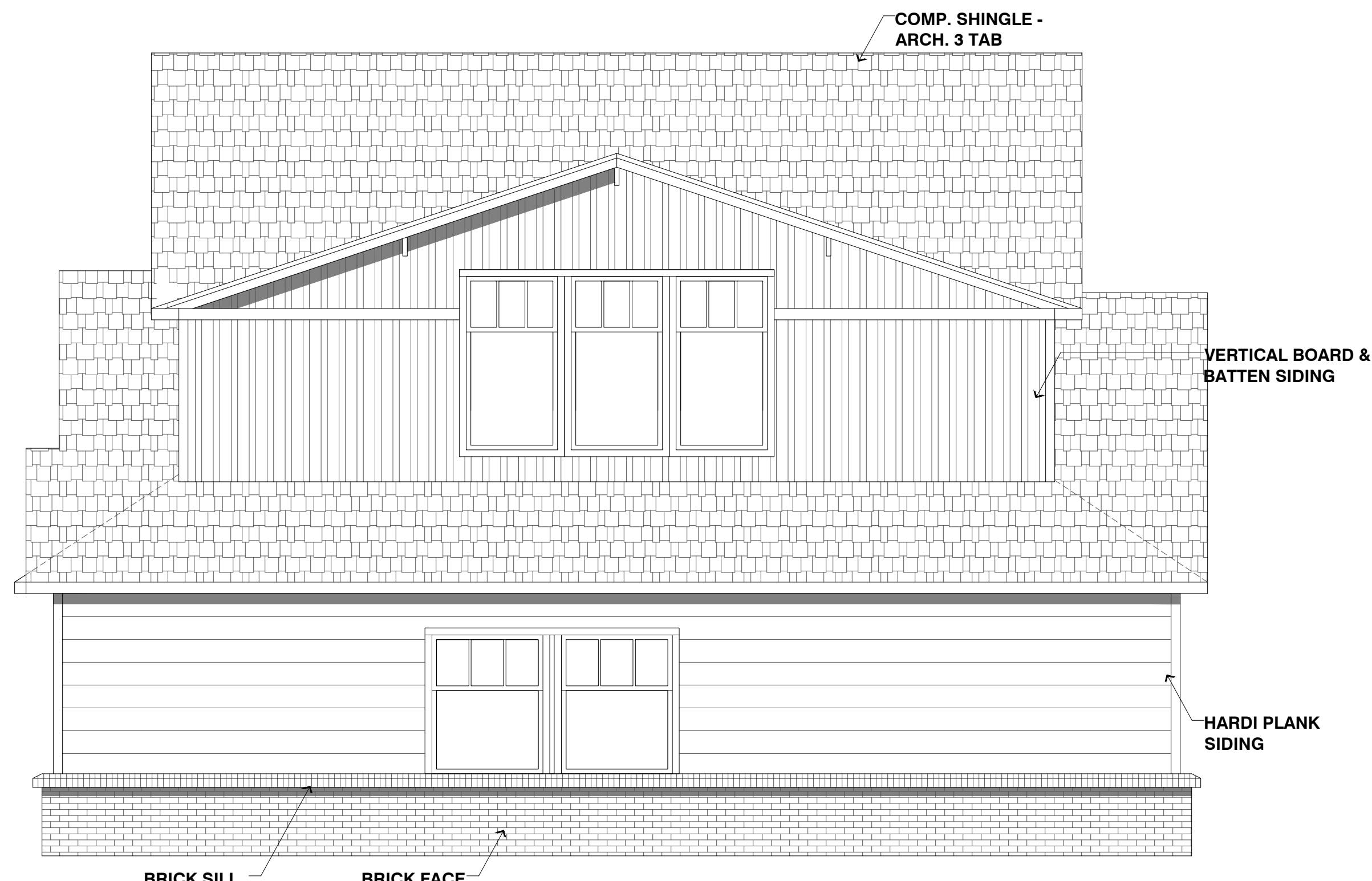
PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
DATE:
01.13.2019

REVISIONS:

DRAWING:
FLOOR PLAN
SCALE:
1/4" = 1'-0"
SHEET SIZE:
24 x 36
SHEET NO.
A5 OF



601 EAST ELEVATION: GOLIAD FRONTAGE
 SCALE: 1/4" = 1' - 0"



602 SOUTH ELEVATION
 SCALE: 1/4" = 1' - 0"

LATIMER DESIGN INC.
 ROCKWALL, TEXAS 75087
 PHONE: 469.264.7415
 EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC.
 CUSTOM HOUSE PLANS
 COMMERCIAL PLANS
 INTERIOR DESIGN

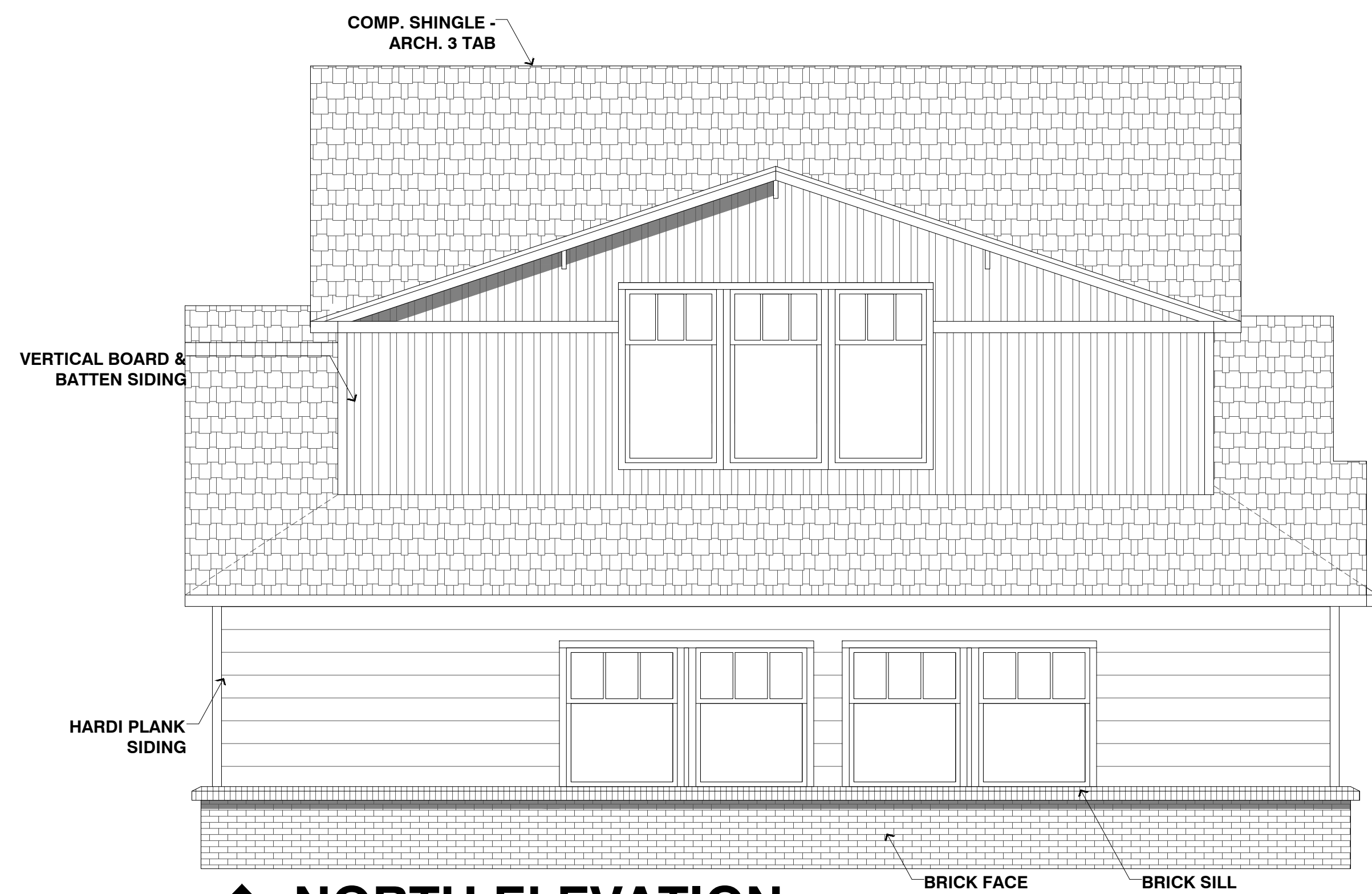
PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
 LOCATION:
205 & W.HEATH • ROCKWALL • TX • 75087
 DATE:
01.13.2019

REVISIONS:

DRAWING:
ELEVATIONS
 SCALE:
1/4" = 1'-0"
 SHEET SIZE:
24 X 36
 SHEET NO.
A6 OF 7



701 WEST ELEVATION: PARKING LOT
SCALE: 1/4" = 1' - 0"



702 NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

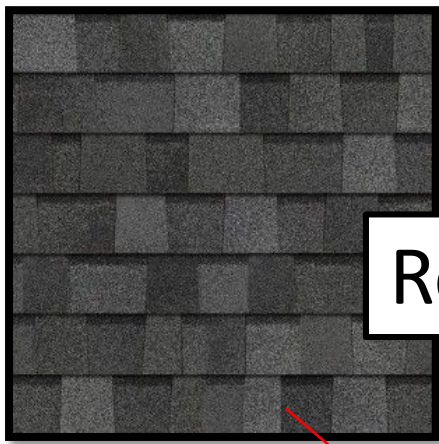
LATIMER DESIGN INC.
ROCKWALL, TEXAS 75087
PHONE: 469.264.7415
EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGNS INC.
CUSTOM HOUSE PLANS
COMMERCIAL PLANS
INTERIOR DESIGN

PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE
LOCATION: 205 & W.HEATH • ROCKWALL • TX • 75087
DATE: 01.13.2019

REVISIONS:

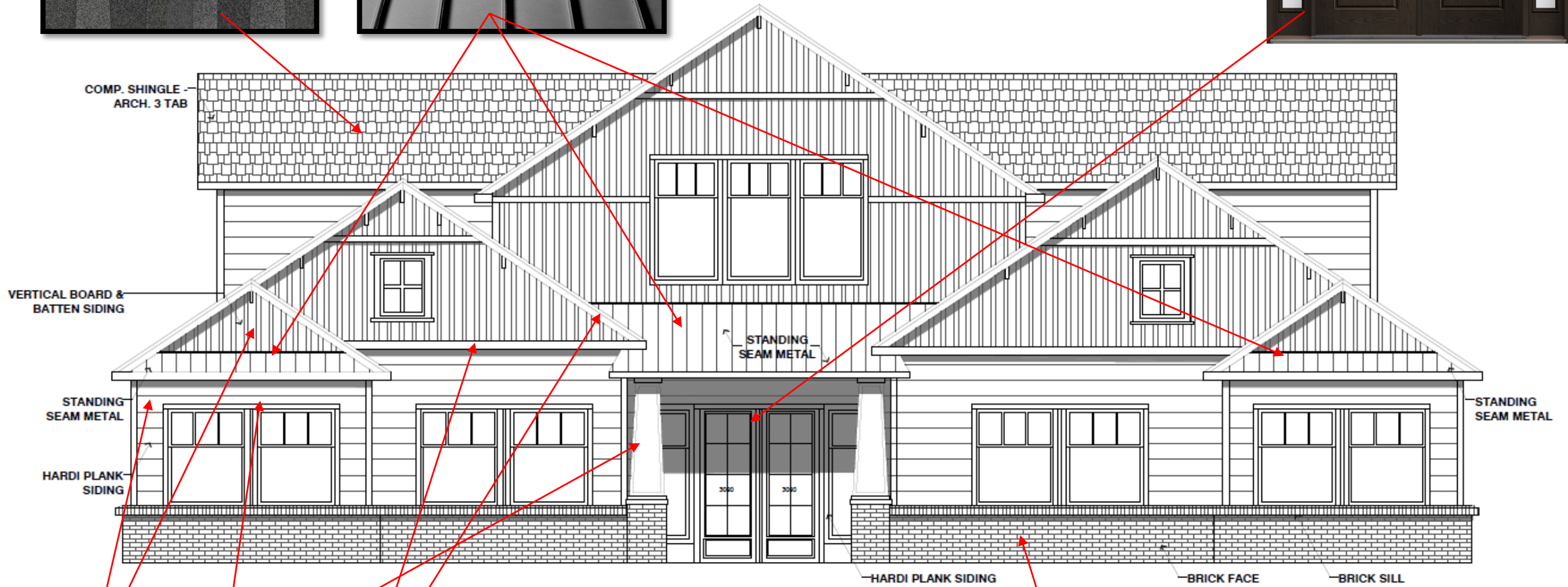
DRAWING: **ELEVATIONS**
SCALE: 1/4" = 1'-0"
SHEET SIZE: 24 X 36
SHEET NO. **A7 OF 7**



Roof



Doors & Sidelights



Paint Colors

Brick





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: 02/12/2019
APPLICANT: Reese Baez; *Triton General Contractors*
CASE NUMBER: SP2019-001; *Site Plan for T3 Chiropractic*

SUMMARY

Discuss and consider a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The property is located in Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District and located at the northwest corner of W. Heath Street and S. Goliad Street [SH-205]. The North Goliad Corridor Overlay (NGC OV) District is a specialized overlay district along N. Goliad Street that begins just north of the Downtown (DT) District and terminates at Live Oak Street. Since this corridor is recognized as a main entrance into the City, additional development standards—with the intent of protecting the scenic and historic qualities of the district—are required. In addition, any development within the district requires a Certificate of Appropriateness (COA) to be approved by the Historic Preservation Advisory Board (HPAB). In December 2018, the applicant submitted a request [*Case No. H2018-025*] to the Historic Preservation Advisory Board (HPB) for the approval of a Certificate of Appropriateness (COA) for the purpose of constructing a medical office building on the subject property. On December 20, 2018, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) based on the request.

PURPOSE

The applicant is requesting approval of a site plan for an approximately 2,947 SF *medical office building (i.e. T3 Chiropractic)* on a 0.26-acre tract of land, which is currently vacant. The proposed medical office building will be constructed in the Craftsman-style architecture, clad with brick and hardie board (or similar cementitious material), and have a board and batten façade. The applicant has stated the reason for choosing a Craftsman-style architecture is to blend with the adjacent office building to the south, which recently had a site plan [*Case No. SP2018-036*] approved. The proposed medical office building will have dual front facades with the parking located to the interior of the property (*i.e. behind the building*). Utilizing this type of construction allows the medical office building to appear to be a residential structure from the street, which allows it to blend with the surrounding structures and provide screening from the parking lot.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a single-family home followed by several residential-office buildings (e.g. *Natural Massage Spa, Phillips and Associates, etc.*). Beyond this is a daycare facility (i.e. *Children’s Learning Center*) followed by several single-family homes. These areas are zoned Single-Family 7 (SF-7) District and Planned Development 50 District (PD-50) for Residential-Office (RO) District land uses.

South: Directly south of the subject property is a vacant tract of land with an approved site plan [Case No. SP2018-036] for an office building. This is followed by Heath Street, which is recognized as an R2 (*residential, two [2]-lane, undivided roadway*) on the City’s Master Thoroughfare Plan. Beyond this are several single-family homes followed by a real estate office (i.e. *The Real Estate Center*). These areas are zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses.

East: Directly east of the subject property is S. Goliad Street [SH-205], which is recognized as an M4U-M (*modified major collector, four [4]-lane, undivided roadway*) on the City’s Master Thoroughfare Plan. Beyond this are several residential-office buildings (e.g. *Heavenly Hands Birthing Center, Service First Mortgage, Women In Need*) that are zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses. Beyond this is a single-family residential subdivision (i.e. *North Towne Subdivision*), which is zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is a vacant tract of land followed by Alamo Road, which is identified as an MC (*minor collector, two [2]-lane, undivided roadway*) on the City’s Master Thoroughfare Plan. This area is zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses. Beyond this are several single-family homes zoned Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Subsection 6.04, *North Goliad Corridor Overlay (NGC OV) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), any development within this district shall generally utilize historic architectural styles such as Craftsman, Queen Anne, Folk Victorian, or Bungalow and requires approval from the Historic Preservation Advisory Board (HPAB). The Unified Development Code (UDC) goes on to state that any new construction shall not exceed a height of 36-feet and shall incorporate elements commonly found within the district (e.g. *cladding, roofing materials, roof structure, ornamentation, etc.*). Staff should note, the proposed medical office building is allowed in Planned Development District 50 (PD-50) by-right. The site plan, landscape plan, photometric plan, and building elevations conform to the technical requirements contained within the UDC for a property located within Planned Development District 50 (PD-50) and the North Goliad Corridor Overlay (NGC OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>10,770 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>~105-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>~103-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>30-Feet</i>	<i>30-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet¹</i>	<i>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>29-Feet; In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Max Building/Lot Coverage</i>	40%	~27%; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	90	100%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	15 Spaces	24 Spaces; <i>In Conformance</i>
<i>Minimum Stone Requirement</i>	0	0; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	25%	48%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	75-80%	52%; <i>In Conformance</i>

Note: 1. 20-feet when property has residential adjacency.

TREESCAPE PLAN:

The applicant has provided a landscape plan stating that there are no protected trees being removed for the development on the subject property.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, the subject property is located in the Downtown District and is designated for Live/Work land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Contained in the Downtown District is the North Goliad Corridor, which is a unique live/work corridor that offers residential units, offices, event venues, and boutiques. The intent of the North Goliad Corridor is not only to protect and preserve the historic architecture and significance within the district, but to also ensure that infill development does not negatively impact the surrounding properties or the district. In this case, the applicant’s request is in conformance with the Future Land Use Plan. Specifically, the proposed medical office building is constructed to a residential scale and is Craftsman-style architecture, which is representative of the North Goliad Corridor. Additionally, the proposed building could be utilized as a residence, an office, or both.

CONFORMANCE WITH THE CITY’S CODES

The proposed medical office building is located in Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses and allowed by-right. Subsection 4.02, *Residential-Office (RO) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Residential Office (RO) District is “...intended to allow for low-intensity office development providing professional, medical, and other office services and limited retail uses to residents in adjacent neighborhoods...” The Unified Development Code (UDC) goes on to state that the Residential-Office (RO) District may “...serve as an area of transition between high-intensity or non-residential uses, or busy arterial thoroughfares...” In this case, the applicant’s request conforms to the intent of the Residential-Office (RO) District standards. Currently, there is residential adjacency to the north of the subject property and the proposed medical office building will serve as a transition from the heavier intensity uses to the south to the lower intensity residential uses to the North. With that being said, given the proximity of the surrounding residential office buildings and the North Goliad Corridor, one could reasonably expect those properties to be converted into residential-office buildings in the future. Since the subject property has residential adjacency to the north, the applicant is required to screen the parking lot. In this case, the applicant is proposing to screen the parking lot from the residential properties located to the north utilizing landscape screening. This is in conformance with the residential adjacency requirements as stipulated in the Unified Development Code (UDC). Staff should note, the Residential-Office (RO) District allows for flexible live/work arrangements, which allows individuals to live, work, or live/work within the district. Additionally, should the proposed chiropractic office no longer occupy the proposed structure, there may be an opportunity for the structure to be utilized as a single-family home and/or an office building (or both) in the future.

HISTORIC PRESERVATION ADVISORY BOARD (HPAB):

On December 20, 2018, the Historic Preservation Advisory Board (HPAB) reviewed the applicant's request and passed a motion to approve a Certificate of Appropriateness (COA) by a vote of 4-0 with Board Members Bowlin, Mishler, and Francisco absent.

ARCHITECTURAL REVIEW BOARD (ARB):


On January 29, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval of the site plan by a vote of 7-0.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a medical office building on the subject property, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to submittal of a building permit;
- (2) The parking lot shall be screened from the residential properties located to the north; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 10 20 40 60 80 Feet

SP2019-001 - SITE PLAN FOR T3 CHIROPRACTIC
SITE PLAN - LOCATION MAP = 

SF-7

PD-50

GOLIAD

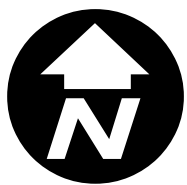
HEATH



City of Rockwall

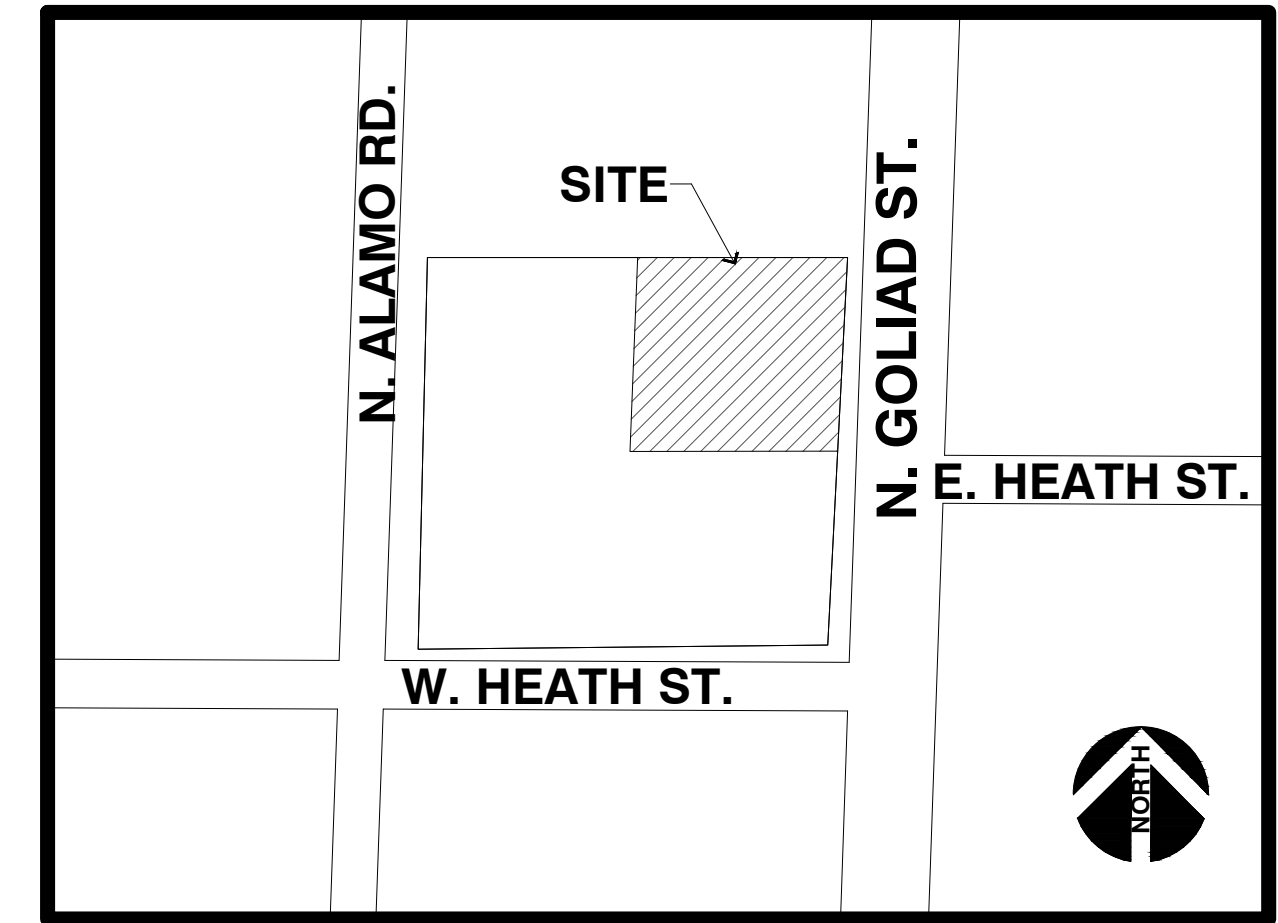
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

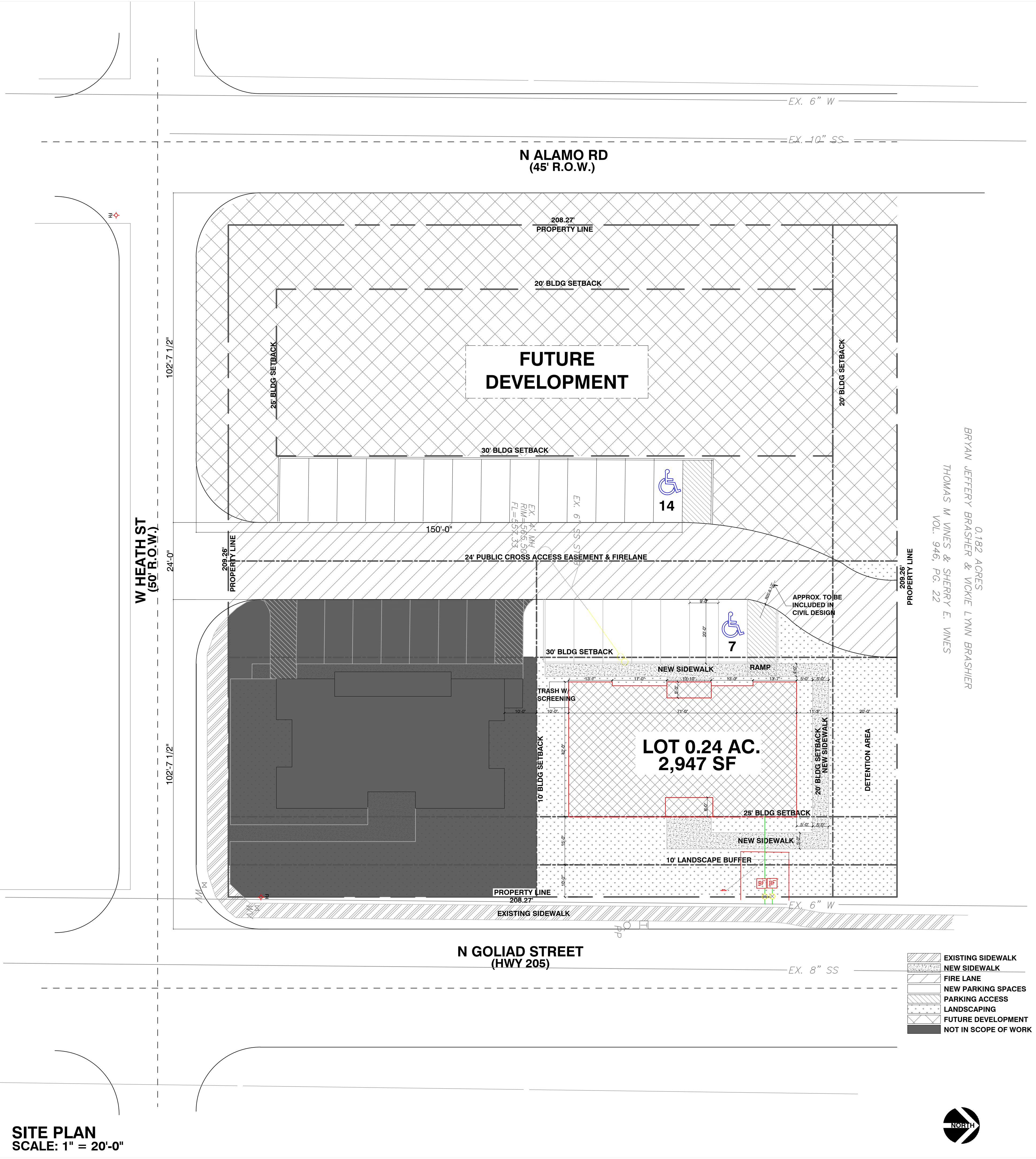


DEVELOPMENT PLANS
NOT FOR CONSTRUCTION

DRAWN BY:
CHECKED BY:
DATE:
ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:
REVISIONS:



VICINITY MAP



0.182 ACRES
BRYAN JEFFERY BRASHER & VICKIE LYNN BRASHER
THOMAS M VINES & SHERRY E. VINES
VOL. 946, PG. 22

SITE PLAN
SCALE: 1" = 20'-0"

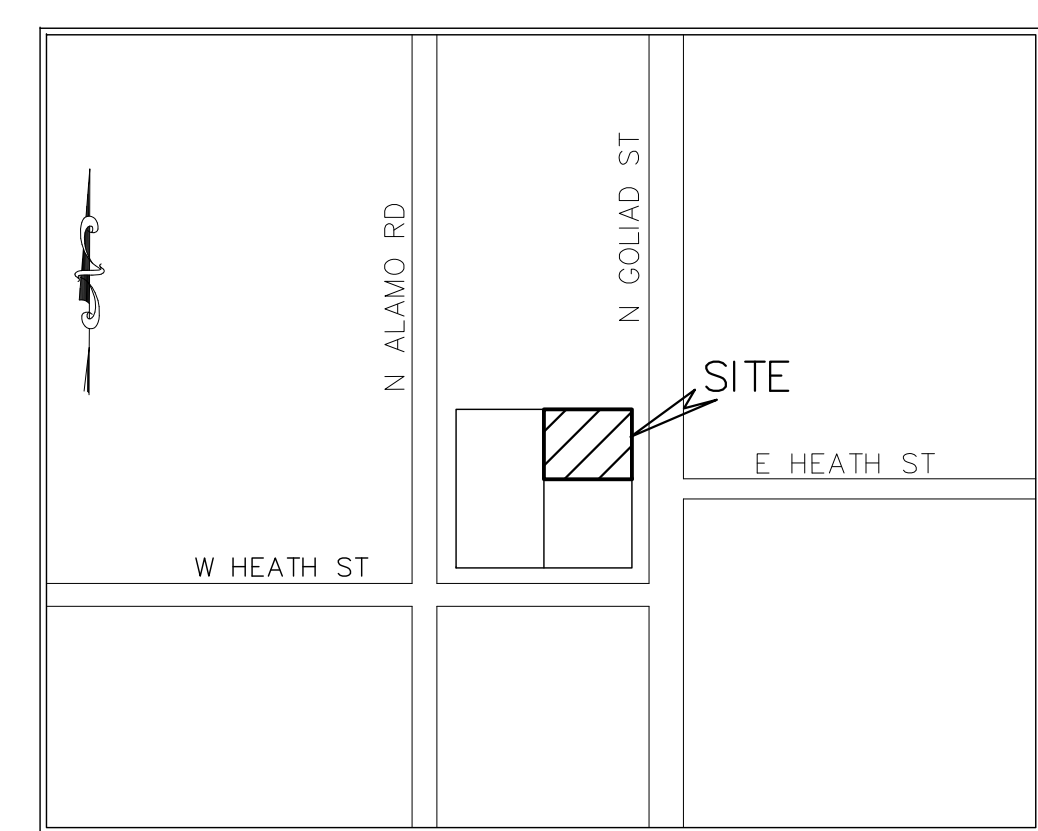
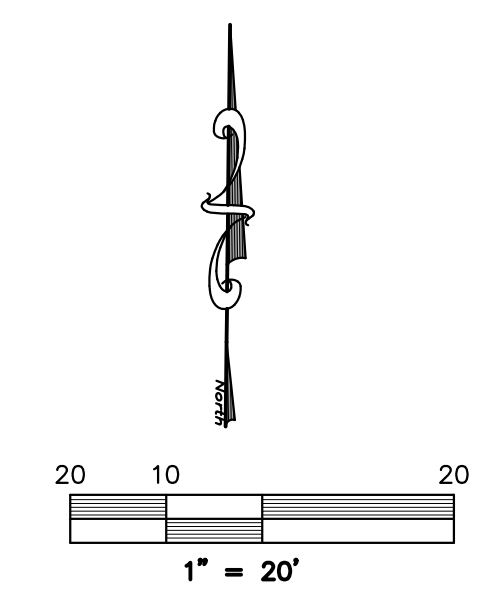
- EXISTING SIDEWALK
- NEW SIDEWALK
- FIRE LANE
- NEW PARKING SPACES
- PARKING ACCESS
- LANDSCAPING
- FUTURE DEVELOPMENT
- NOT IN SCOPE OF WORK

SITE DATA TABLE	
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	903 N. GOLIAD ST. ROCKWALL, TX
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	
CASE # SP2019-001	

DRAWING:
SITE PLAN
SCALE:
1" = 20'-0"
SHEET SIZE:
24 x 36

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
903 N.GOLIAD ST • ROCKWALL • TX • 75087
DATE:
02.03.2019

SHEET NO.
A1 OF



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- FFH = EXISTING FIRE HYDRANT
- WV = EXISTING WATER VALVE
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

SITE DATA:

LOT AREA:
0.24 Acres, 10,454.4 sq. ft.
LOT COVERAGE:
26.7%
FLOOR TO AREA RATIO:
3.75:1
BUILDING AREA:
TOTAL: 2,788 sq.ft.
BUILDING HEIGHT:
1 STORY
PROPOSED USE:
Chiropractic Office
IMPERVIOUS AREA
(including buildings):
6,816.4 sq.ft.
ZONING:
PD50
PARKING:
Required: Medical Office (1/200sf) = 14
Provided:
Handicap = 2
Standard = 22
Total Provided = 24
LANDSCAPE AREA:
Required: (15%) 1,568.14 sq.ft.
Provided: 3,638 sq.ft.

* THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #:

SITE & DIMENSION CONTROL PLAN

CHIROPRACTIC CLINIC

205 & W. HEATH
GARNER ADDITION
Blk 26, 0.24 ACRES
City of Rockwall, Rockwall County, Texas 75087

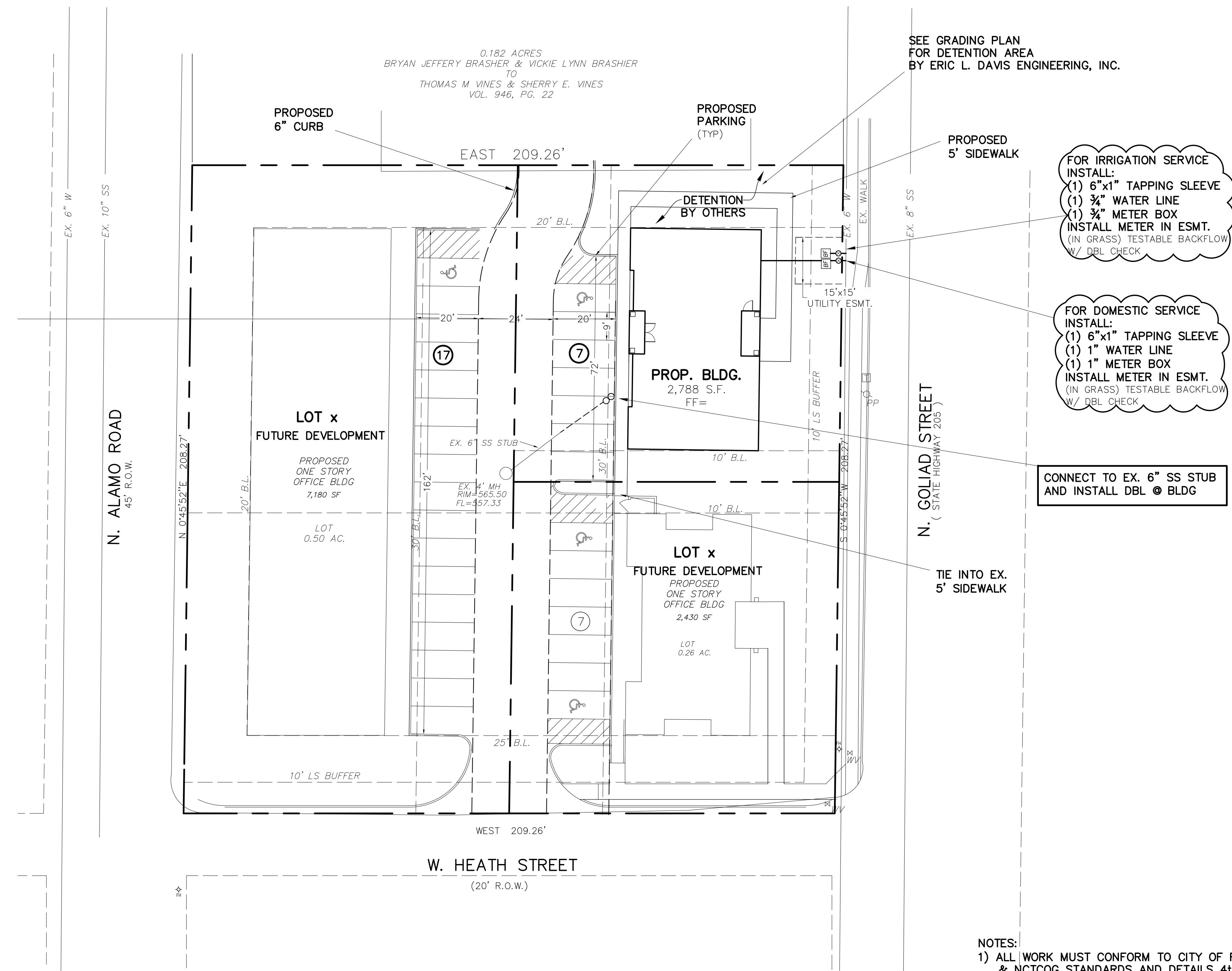
owner:
KEVIN LEFERE
EMAIL: klefere@zanatas.com

prepared by:

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2019 Monk Consulting Engineers, Inc., All Rights Reserved
PROJECT NO.: 2018-18 REG. NO.: F-2567

date: 2/4/19 scale: 1"=20' sheet: C101



SEE GRADING PLAN FOR DETENTION AREA BY ERIC L. DAVIS ENGINEERING, INC.

FOR IRRIGATION SERVICE INSTALL:
(1) 6"x1" TAPPING SLEEVE
(1) 3/4" WATER LINE
(1) 3/4" METER BOX
INSTALL METER IN ESMT.
(IN GRASS) TESTABLE BACKFLOW W/ DBL CHECK

FOR DOMESTIC SERVICE INSTALL:
(1) 6"x1" TAPPING SLEEVE
(1) 1" WATER LINE
(1) 1" METER BOX
INSTALL METER IN ESMT.
(IN GRASS) TESTABLE BACKFLOW W/ DBL CHECK

CONNECT TO EX. 6" SS STUB AND INSTALL DBL @ BLDG

TIE INTO EX. 5' SIDEWALK

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

WARNING:

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

PAVING NOTES:

- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

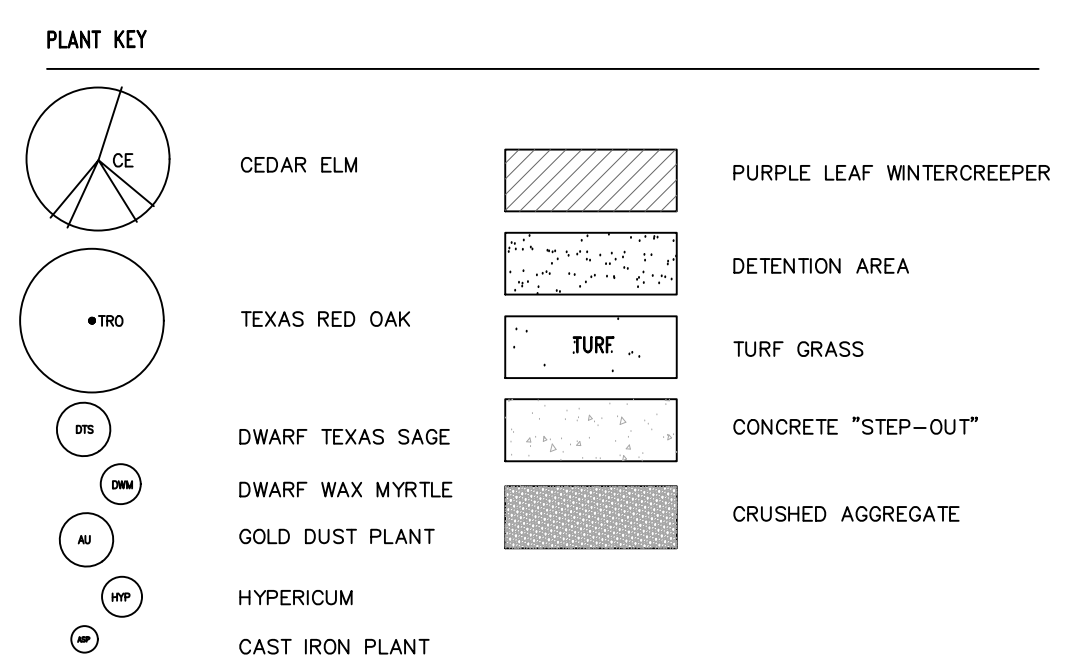
0.182 ACRES
BRYAN JEFFERY BRASHER & VICKIE LYNN BRASHIER
TO
THOMAS M. VINES & SHERRY E. VINES
VOL. 946, PG. 22

N. ALAMO ROAD
45' R.O.W.

N. GOLIAD STREET
(STATE HIGHWAY 205)

W. HEATH STREET
(20' R.O.W.)

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	Ulmus crassifolia	3.5'-4" CAL.	PLANT WHERE INDICATED
TRO	02	TEXAS RED OAK	Acer saccharum 'cadillo'	3.5'-4" CAL.	PLANT WHERE INDICATED
CM	03	CREPE MYRTLE	Lagerstroemia indica 'Natchez'	8/8 8'-10' HT	PLANT WHERE INDICATED, 6' FROM ADJACENT EXISTING WOOD FENCE
DTS	06	DWARF TEXAS SAGE	Leucophyllum candidum 'Thunder Cloud'	7 GAL.	PLANT 42" O.C. MIN.
HYP	20	HYPERICUM	Hypericum berry	5 GAL.	PLANT 36" O.C. MIN.
DWM	20	DWARF WAX MYRTLE	Myrica pusilla	7 GAL.	PLANT 36" O.C. MIN.
ASP	19	ASPIDISTRA	Aspidistra eliator	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	04	AUCUBA	Aucuba japonica	5 GAL.	PLANT EVENLY SPACED WHERE INDICATED, UNIFORM SIZE
PWC	102	COLORADO WINTER CREEPER	Euonymus fortunei 'Coloratus'	1 GAL.	PLANT 18" O.C.
TURF	-	COMMON BERMUDA GRASS	Cynodon dactylon	SOD	LEVEL SUB GRADE AND ROLL INTO PLACE.



25' BLDG SETBACK

20' BLDG SETBACK

30' BLDG SETBACK

209.26' PROPERTY LINE

209.26' PROPERTY LINE

24' PUBLIC CROSS ACCESS EASEMENT & FIRELANE

DRIVE LANE & PARKING 3,125 SF

FUTURE DEVELOPMENT

LOT 0.24 AC. 2,947 SF

10' BLDG SETBACK

20' BLDG SETBACK

25' BLDG SETBACK

10' LANDSCAPE BUFFER

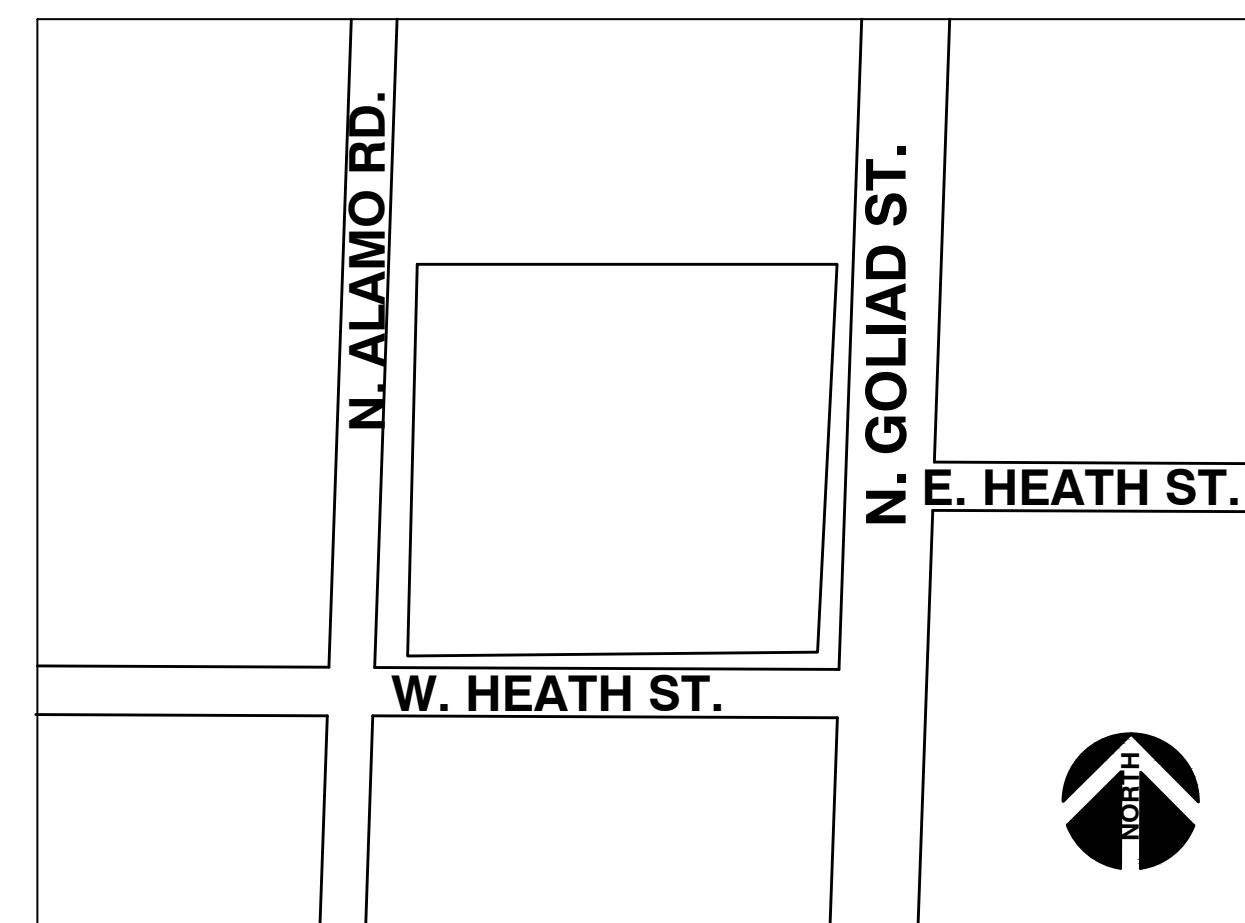
PROPERTY LINE 208.27'

EXISTING SIDEWALK

N GOLIAD STREET (HWY 205)

SITE LANDSCAPE - PLAN

PROPERTY DESCRIPTION	
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-OALL-00-0R
ADDRESS	GOLIAD/W.HEATH/ALAMO
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	28'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	



VICINITY MAP N.T.S.

- LANDSCAPE TABULATION**
 LOT: .26 AC (11,746.81 SF)
 BUILDING: 2,947 SF
 ZONED: RESIDENTIAL-OFFICE / PD-50
- 5.1 LANDSCAPE BUFFER-STRIP**
 10' REQUIRED
 10' PROVIDED
- 5.2 SCREENING OF OFF-STREET LOADING DOCKS**
 N/A
- 5.3 ACCEPTABLE LANDSCAPE MATERIALS**
 ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
 ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
 ALL PLANT MATERIAL WILL BE CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.
- 5.4 PROTECTION OF LANDSCAPE AREAS:**
 ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.
- 5.5 IRRIGATION:**
 AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.
- 5.6 SCREENING FROM RESIDENTIAL USES:**
 NORTH SIDE - RESIDENTIAL ADJACENCY
 A 6' HT. MASONRY FENCE IS REQUIRED
 A 6' HT. WOOD FENCE IS PROVIDED AND EXISTING
 ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.
- 5.7 STREET LANDSCAPING:**
 1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 LF OF FRONTAGE REQUIRED
 1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 LF OF FRONTAGE PROVIDED
 N. GOLIAD STREET (HWY 205) = 112.33 LF
 2.24 CANOPY TREES REQUIRED
 2.00 CANOPY TREE PROVIDED
- 5.8 RIGHT-OF-WAY LANDSCAPING:**
 GRASS OR GROUNDCOVER REQUIRED
 GRASS PROVIDED
- THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.
- 5.9 PARKING LOT LANDSCAPING:**
 PARKING AND MANEUVERING = 3,125 SF
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.
- 5.10 - (DELETED):**
- 5.11 DIMENSIONING OF LANDSCAPE AREA:**
 ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
 ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
- 5.12 REQUIRED LANDSCAPING:**
 ZONED: RESIDENTIAL-OFFICE
 A. AMOUNT OF LANDSCAPING
 2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED.
 5,676.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.
- B. LOCATION OF LANDSCAPING
 50% REQUIRED IN FRONT YARD
 1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
 2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.
- C. DETENTION BASIN = +/- 978. SF
 LANDSCAPE REQUIRED
 LANDSCAPE PROVIDED
 1 TREE / 750 SF REQUIRED
 1.30 TREES REQUIRED
 2.00 TREES PROVIDED
- 5.13 MAINTENANCE REQUIREMENT:**
 ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES.
 THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
 A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14" AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.
- 5.14 UTILITY LINES AND RIGHTS-OF-WAY:**
 ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.
- NO TREES ARE TO BE LOCATED WITHIN 5' OF ANY PUBLIC UTILITY.
- TREESCAPING - PROTECTED TREE MITIGATION**
 THERE ARE NO PROTECTED TREES EXISTING ON SITE
 THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY

W HEATH ST (50' R.O.W.)

REVISIONS
 REV PER PRZ STAFF 2-4-19
 COMMENTS

PROJECT NO.
 014197C
 DRAWN
 SR
 CHECKED
 SR
 SUBMITTAL DATES
 07/15/19

LANDSCAPE ARCHITECTURE
 Site Planning
 10670 North Central Expwy.
 6th Floor
 Dallas, TX 75231
 (214) 629-2052
 ria@airmail.net
 www.rybadesign.com

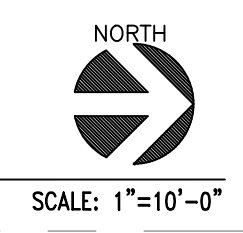
RYBA Inc.
 Steven R. Ryba
 1724
 REGISTERED ARCHITECT
 01/15/19

T3 Chiropractic Office Building
 205 & W. Heath
 Rockwall, Texas

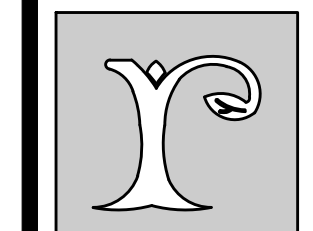
LANDSCAPE DEVELOPMENT

SHEET TITLE
 LANDSCAPE PLAN

SHEET
 L1.01



This electronic drawing file is released under the authority of Steven R. Ryba, registration #1724 on 07-23-07, who maintains the original file. This electronic drawing file may be used as a background drawing. Pursuant to Rule 51.103 of the Rules and Regulations of the Texas Board of Architectural Examiners, the user of the electronic drawing file agrees to assume all responsibility for any modification to or use of this drawing that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modification to the electronic drawing file without the Landscape Architects express written permission.



RYBA
Inc.

Landscape Architecture
Site Planning

10670 North Central Expwy.
8th Floor
Dallas, TX 75231

(214) 629-2052
rsg@airmail.net
www.rybadesign.com



T3 Chiropractic Office Building
205 & w. Heath
Rockwall, Texas

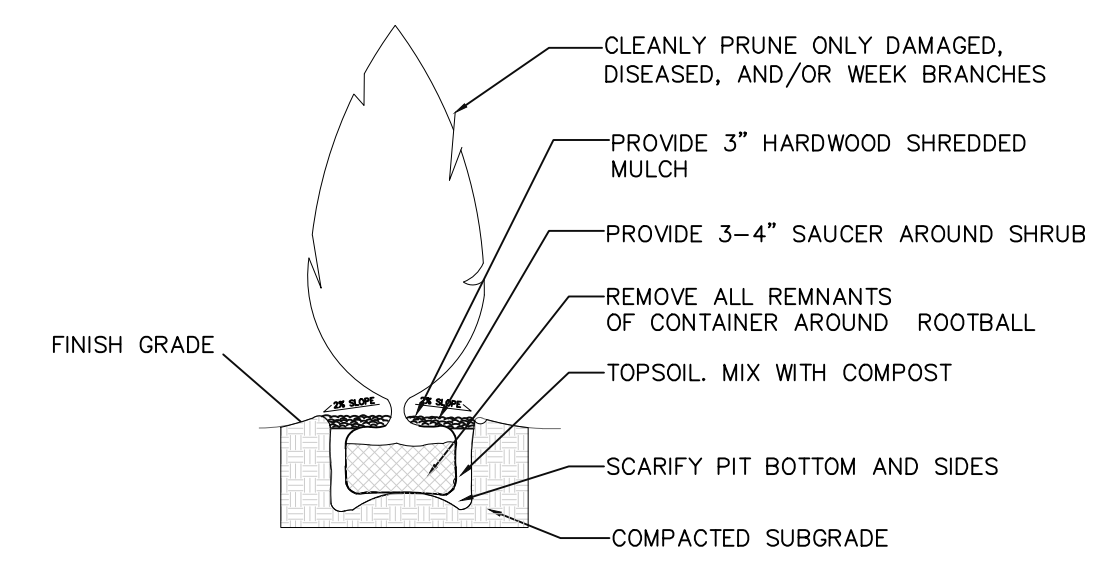
LANDSCAPE
DEVELOPMENT

SHEET TITLE

LANDSCAPE
DETAILS

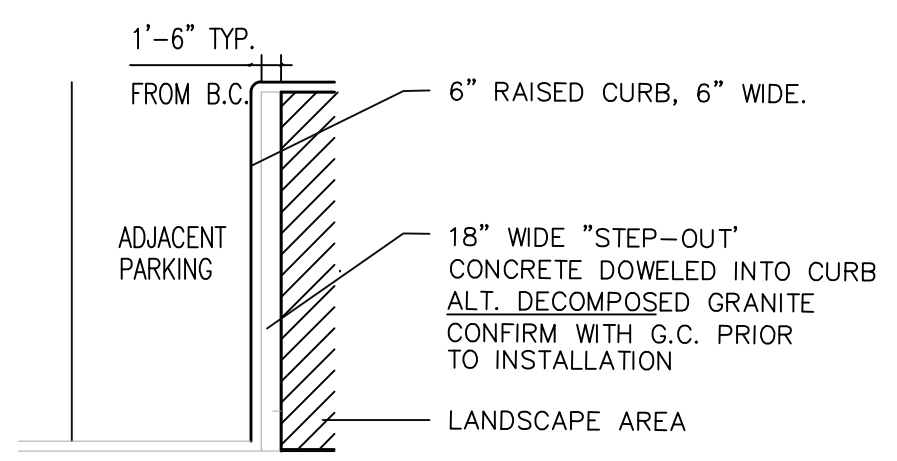
SHEET

L2.01



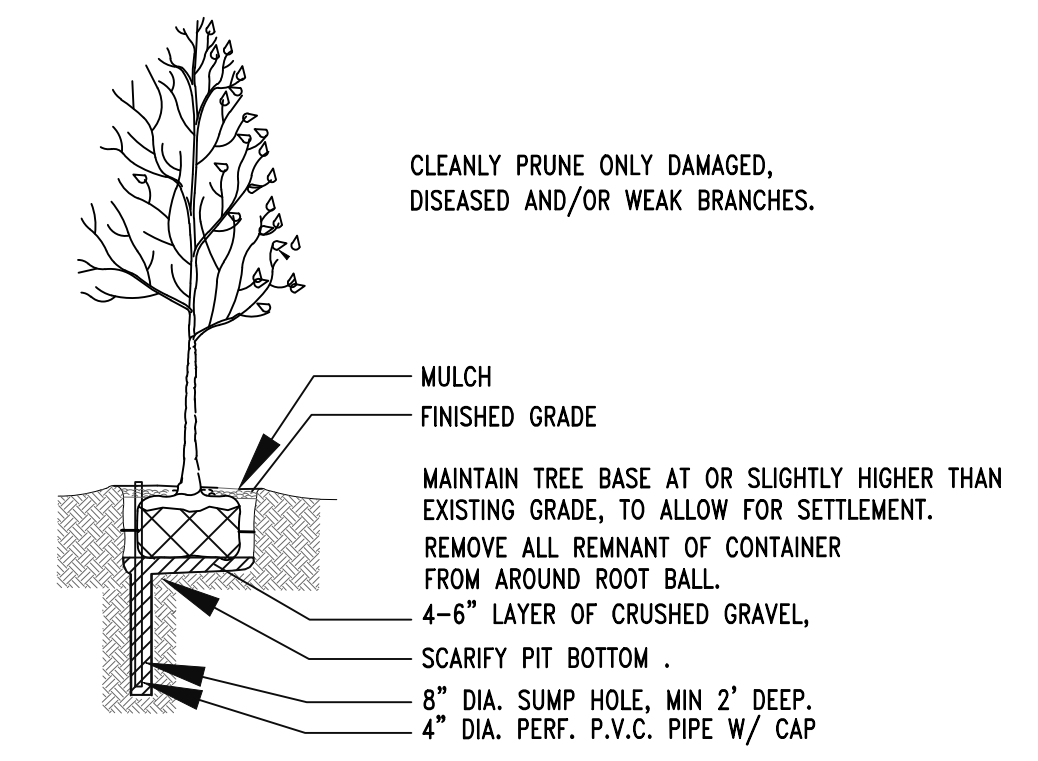
LARGE SHRUB-SECTION

N.T.S.



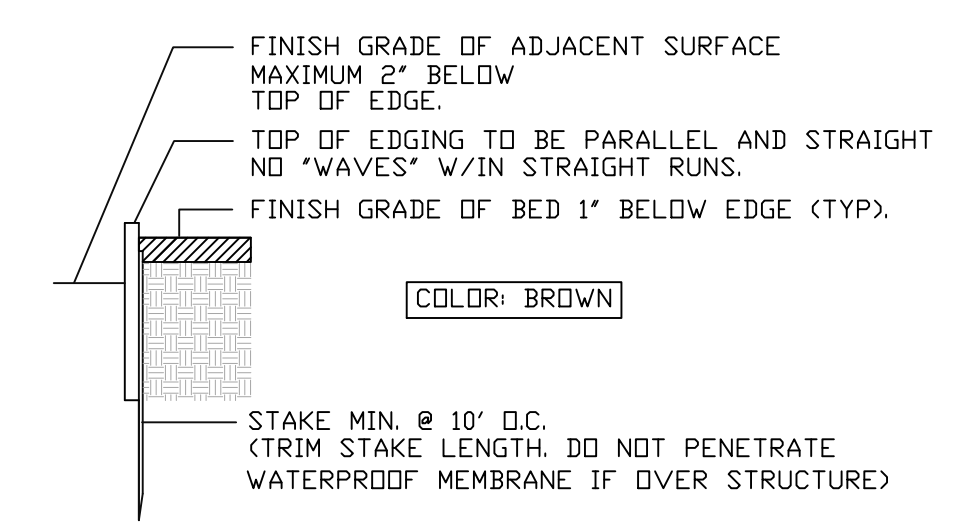
TYPICAL PARKING ISLAND-PLAN

N.T.S.



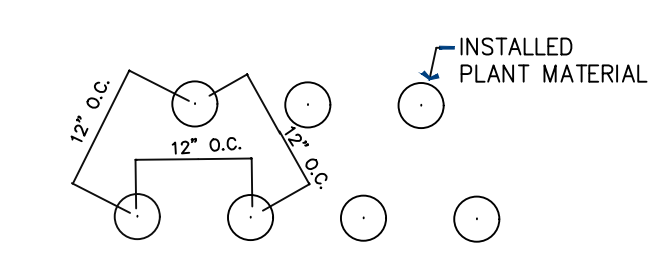
LARGE CANOPY TREE-SECTION

N.T.S.



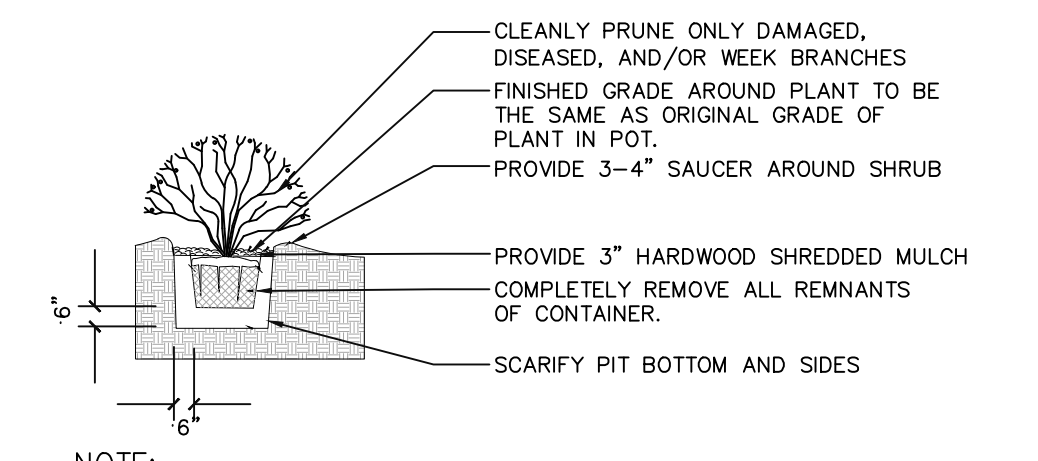
STEEL EDGE-SECTION

N.T.S.



GROUNDCOVER PLANTING-PLAN

N.T.S.



SHRUB PLANTING-SECTION

N.T.S.

GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL. TO GRADE.
- TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.

This electronic drawing file is released under the authority of Steven R. Ryba, registration #1724 on 07-23-07, who maintains the original file. This electronic drawing file may be used as a background drawing. Pursuant to Rule 5.103(f) of the Rules and Regulations of the Texas Board of Architectural Examiners, the user of the electronic drawing file agrees to accept all responsibility for any modification to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modification to the electronic drawing file without the Landscape Architects express written permission.



DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

DRAWING: PHOTOMETRIC

SCALE: 1/8" = 1'-0"

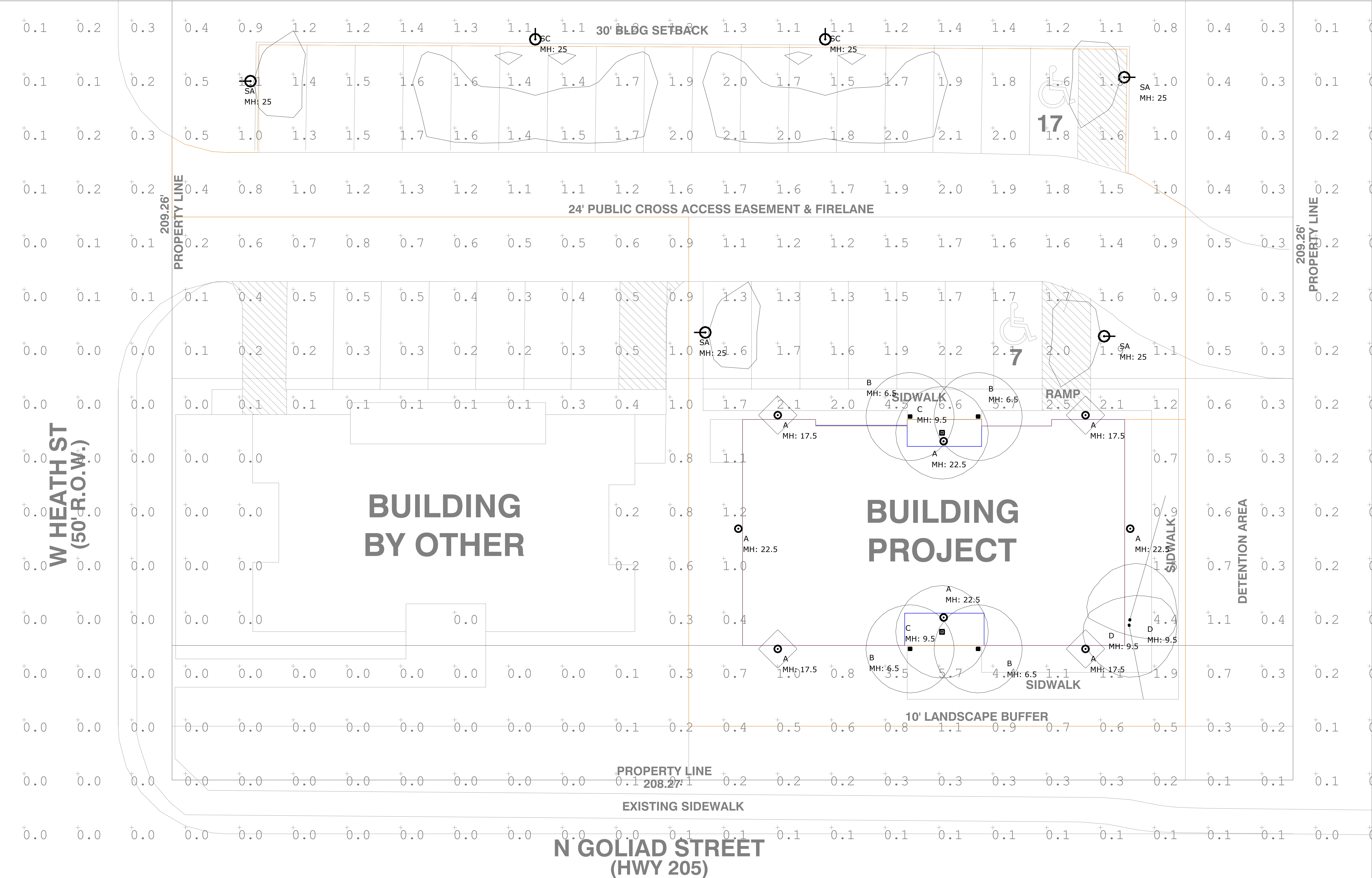
SHEET SIZE: 24 x 36

PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE

LOCATION: 903 N. GOLIAD ST • ROCKWALL • TX • 75087

DATE: 02.03.2019

SHEET NO.: A4 OF



PRELIMINARY PLANS - NOT FOR CONSTRUCTION

Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	8	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
□	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
□	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	SA	4	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R3 FINISH MODIFIED FROM AS1 LED 1 63B530	8224	72.7	1.000	0.460	0.570
⊙	SC	2	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R2 FINISH MODIFIED FROM AS1 LED 1 63B530	8422	72.9	1.000	0.460	1.000
⊙	D	2	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.27	6.6	0.0	N.A.
PARKING LOT & DRIVE WAY		Fc	1.67	6.6	0.4	4.18

PARKING LOT & DRIVE WAY

Illuminance (Fc)
 Average = 1.67
 Maximum = 6.6
 Minimum = 0.4
 Avg/Min Ratio = 4.18
 Max/Min Ratio = 16.50

SITE DATA TABLE	
PROPERTY ID	18683
GEOGRAPHIC ID	3790-0026-0ALL-00-0R
ADDRESS	903 N. GOLIAD ST. ROCKWALL, TX
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	
CASE # SP2019-001	



H-15316-B

Warehouse Shade Collection

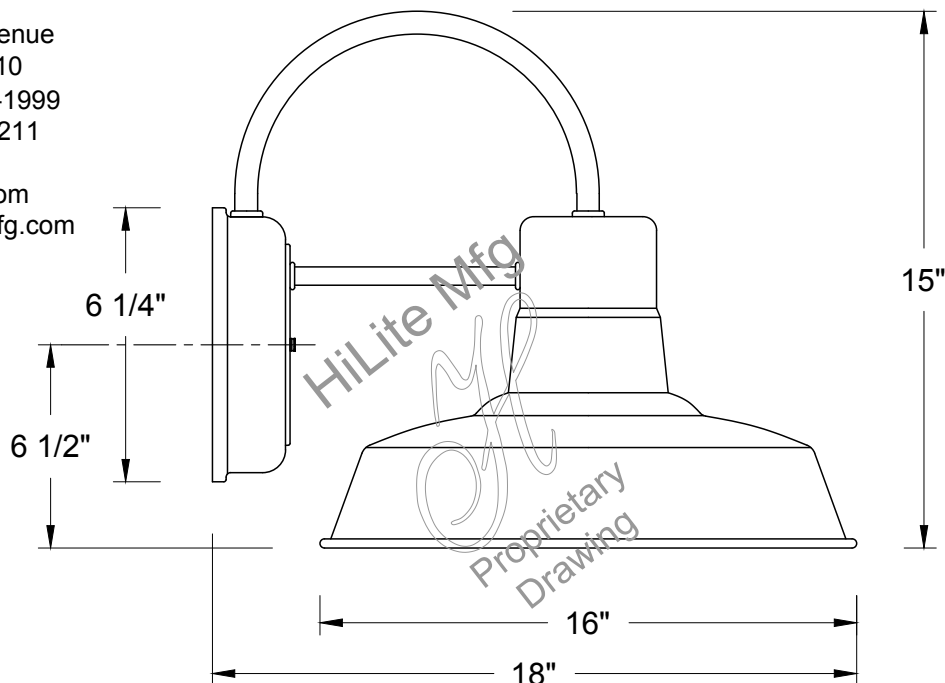
Job Name: _____

Type: _____

Quantity: _____

**HI-LITE MFG.
CO., INC**

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
e-mail: sales@hilitemfg.com



FINISH -Multi-stage pretreatment procedure using materials of polyester/polished powder coat, baking enamel liquid, raw metals, and galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 138, 139, 140, 01, 11, 22, 25, 33, 77, 89.

(Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

MOUNTING - Wall Mount.

ACCESSORIES - CGU(Cast Guard and Glass), LCGU(Large Cast Guard and Glass), WGU(Wire Guard and Glass), LWGU(Large Wire Guard and Glass), ARN(Acorn Globe), LARN(Large Acorn Globe) and WGR(Wire Guard) available.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:

Incandescent

- rated 200 watt max/120 volt, medium base.

Compact Fluorescent(CFL)

- rated 13/18/26/32/42/57 watt max/120/277 volt, GX24Q base.

Metal Halide(MH)

- rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.

High Pressure Sodium(HPS)

- rated 50/70/100/150 watt max/120/277 volt, medium base.

Light-Emitted Diode(LED)

-See LED specification sheet.

MADE IN THE U.S.A.

Suitable for wet location.





Hi-Lite Mfg. Co.

LED 2 Series Specifications

Description

The Hi-Lite LED 2 series is a drop-in LED light engine with integrated thermal management and optics. The LED 2 series is available for Open-rated fixtures. The LED 2 series is offered in five lumen outputs: 850, 1250, 2000, 3000, and 4000.

Specifications

- Open-rated fixture only (not rated for use within a sealed fixture or glass enclosure)
- 96° Beam Angle Domed Lens
- 9W, 850lm, 440mA (tested at 4000 K)
- 13W, 1250lm, 440mA (tested at 4000 K)
- 21W, 2000lm, 900mA (tested at 4000 K)
- 31W, 3000lm, 900mA (tested at 4000 K)
- 38W, 4000lm, 900mA (tested at 4000 K)
- ≥ 90 CRI for all CCTs (2700 K, 3000 K, 3500 K, 4000 K)
- 3-year Limited Warranty-LED Module only
- 1-year Limited Warranty-LED Driver only
- Designed to last 50,000 hours at L₇₀



(USE THIS FORMAT TO PLACE ORDER)

Wattage /	Light Source /	Color Temperature /	Dimming Option /	Driver Location -	Voltage
9 (850 lumens)	LED2	27 (2700 K)	Leave blank if dimming is not required.	BCM (Ballast Canopy Mount)	9W & 13W 1 (120V) 2 (277)
13 (1250 lumens)		30 (3000 K)			
21 (2000 lumens)		35 (3500 K)	For 9W and 13W only I (Incandescent) (Not available in 277V) E (0-10V Dimming 10%)		21W, 31W, & 38W M (Multi 120/277)
31 (3000 lumens)		40 (4000 K)			
38 (4000 lumens)					
31	LED2	30		BCM	- M
31/LED2/30/BCM-M					

Ordering Examples:

- 31/LED2/30/BCM-M - 31W, LED2, 3000 K, Non-Dimming, Ballast Canopy Mount, 120/277 V
- 21/LED2/27/E/BCM-M - 21W, LED2, 2700 K, Electronic Dimming, Ballast Canopy Mount, 120/277 V
- 38L2/40/BCM-M - 38W, LED2, 4000 K, Non-Dimming, Ballast Canopy Mount, 120/277 V

- ## Key Features
- Rated for 50,000 hours
 - Min 0°C start up temp

FEISS
EST. 1955

Job Name:

Job Type:

Comments:

Quantity:

OL18013ORB: 1 - Light Outdoor Wall Sconce**Dimensions:**

Length: 6 1/4"
Width: 7"
Height: 14"
Weight: 4.4 lbs.

Extends: 7"
Wire: 8" (color/Black/White)
Mounting Proc.: Universal Mounting Plate
Connection: Mounted To Box

Bulbs:

1 - Medium A19 60w Max. 120v - Not included

Features:

.

Material List:

1 Body - Steel / Aluminum / Glass - Oil Rubbed Bronze

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (OL18002-OL18013)



Collection: Lumiere®

Medium Base Squirrel Cage Antique Bulb Recommended

UPC #: 014817528121

Finish: Oil Rubbed Bronze (ORB)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Panel	Glass	Clear Seeded	3									

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	6		3/4			

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship

Individual	OL18013ORB	1	014817528121	16.5	12.25	9.5	1.111	5.8	175	Yes
NJ Pallet		50		48	40	67.5	75	290		No
NV Pallet		50		48	40	67.5	75	290		No

FEISS
EST. 1955

Job Name:

Job Type:

Comments:

Quantity:

F2959/1ORB: 1 - Light Lumiere' Mini Chandelier**Dimensions:**

Length: 9 1/2"

Width: 9 1/2"

Height: 20"

Weight: 9.46 lbs.

Overall Height: 86"

Wire: 160" (color/Black)

Chain: 60"

Connection: Mounted To Box

Bulbs:

1 - Medium A19 75w Max. 120v - Not included

Features:

.

Material List:

1 Body - Steel / Aluminum / Glass - Oil Rubbed Bronze

Safety Listing:

Safety Listed for Dry Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (F2959-1)

Collection: Lumiere'

Medium Base Squirrel Cage Antique Bulb Recommended

UPC #:014817527780**Finish:** Oil Rubbed Bronze (ORB)**Backplate / Canopy Details:**

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Canopy	1 1/8					

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	F2959/1ORB	1	014817527780	24.5	13	16.25	2.995	12.5	175	Yes
NJ Pallet		24		48	40	68	75.556	300		No
NV Pallet		20		48	40	69.75	77.5	253		No



OLF 2RH LED with Motion Occupancy Security Floodlight

Catalog
Number

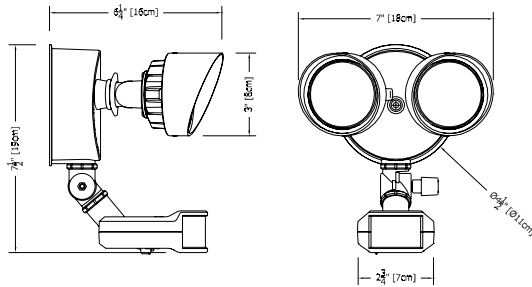
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Width:	7.00" (17.8 cm)
Height:	7.5" (19.1 cm)
Depth:	6.25" (15.9 cm)
Weight:	1.5 lbs. (0.68 kg)



Introduction

The OLF 2RH LED security floodlight featuring motion occupancy technology, combines powerful LED security lighting with motion response light-on-detection. Features include 180 degree range/70ft forward detection, built-in photocell to prevent daylight operation, sensor sensitivity adjustment and a test/time switch to adjust duration lights stay illuminated.

Delivering 2,160 lumens, at only 25 input watts, OLF 2RH replaces up to (2) 90W PAR incandescent lamps offering 86% energy savings. Motion Occupancy (MO) combined with enhanced design features and breadth of options make the OLF family the best choice for residential and commercial applications that require reliable security lighting.

Ordering Information

EXAMPLE: OLF 2RH 40K 120 MO BZ

OLF					
Series	Number of heads	Color Temperature ¹	Voltage	Control	Finish
OLF	2RH 2 heads, round	40K 4000K ¹	120 120 volts	MO PIR motion detection with photocell	BZ Bronze WH White

Complete list of configurations available:

OLF 2RH 40K 120 MO BZ
OLF 2RH 40K 120 MO WH

NOTES

- Correlated color temperature (CCT) shown is nominal per ANSI C78, 377-2008.
- LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.

FEATURES & SPECIFICATIONS

INTENDED USE

25 watt LED wall or ceiling mount security floodlight delivers 2,160 lumens for an energy-efficient replacement of (2) 90W incandescent security lights. The OLF LED provides years of maintenance-free general illumination for outdoor applications. OLF 2RH with option MO turns LED's on when occupants in the space are detected. Ideal for entrances, walkways, corridors, yards, driveways and patios.

CONSTRUCTION

Rugged cast-aluminum, corrosion-resistant housing with dark bronze or white polyester powder paint for lasting durability. Motion sensor features corrosion resistant thermo-plastic housing. LED lamp heads are thermally isolated from the driver that is located in the rear housing, promoting a long service life. Lenses are sealed to keep out moisture, dirt and bugs. LEDs maintain 70% of light output at 50,000 hours of service life².

ELECTRICAL

Consumes 25 input watts utilizing 120V 60Hz driver. The OMS1000 motion detection head controls turning LED's on/off when occupancy is detected within the space. Detection range is 180 degrees at 70ft forward detection. A built-in photocell is included to prevent daylight

operation. See diagram and installation instructions for more information. Rated for outdoor installations, -40°C minimum ambient.

INSTALLATION

Mounts to a recessed junction box on wall or ceiling. Crossbar and hardware provided. Wet location listed for mounting 4 feet above ground. Tool-less adjustable heads allow for precise aiming. Neighbor-friendly visors are adjustable or removable.

LISTINGS

UL/cUL listed Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

Five-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

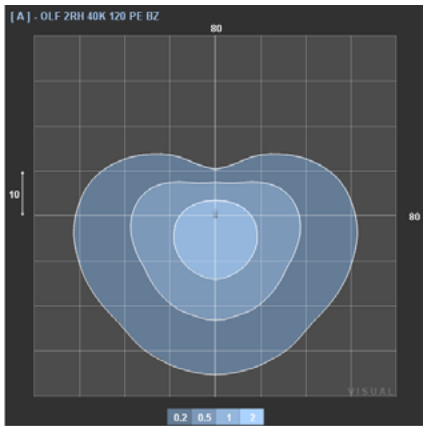


Photometric Diagrams

Full photometric data report available within 2 weeks from request. Contact Acuity tech support.

LEGEND

- 0.1 fc
- 0.2 fc
- 0.5 fc
- 1.0 fc



Lighting Facts Labels

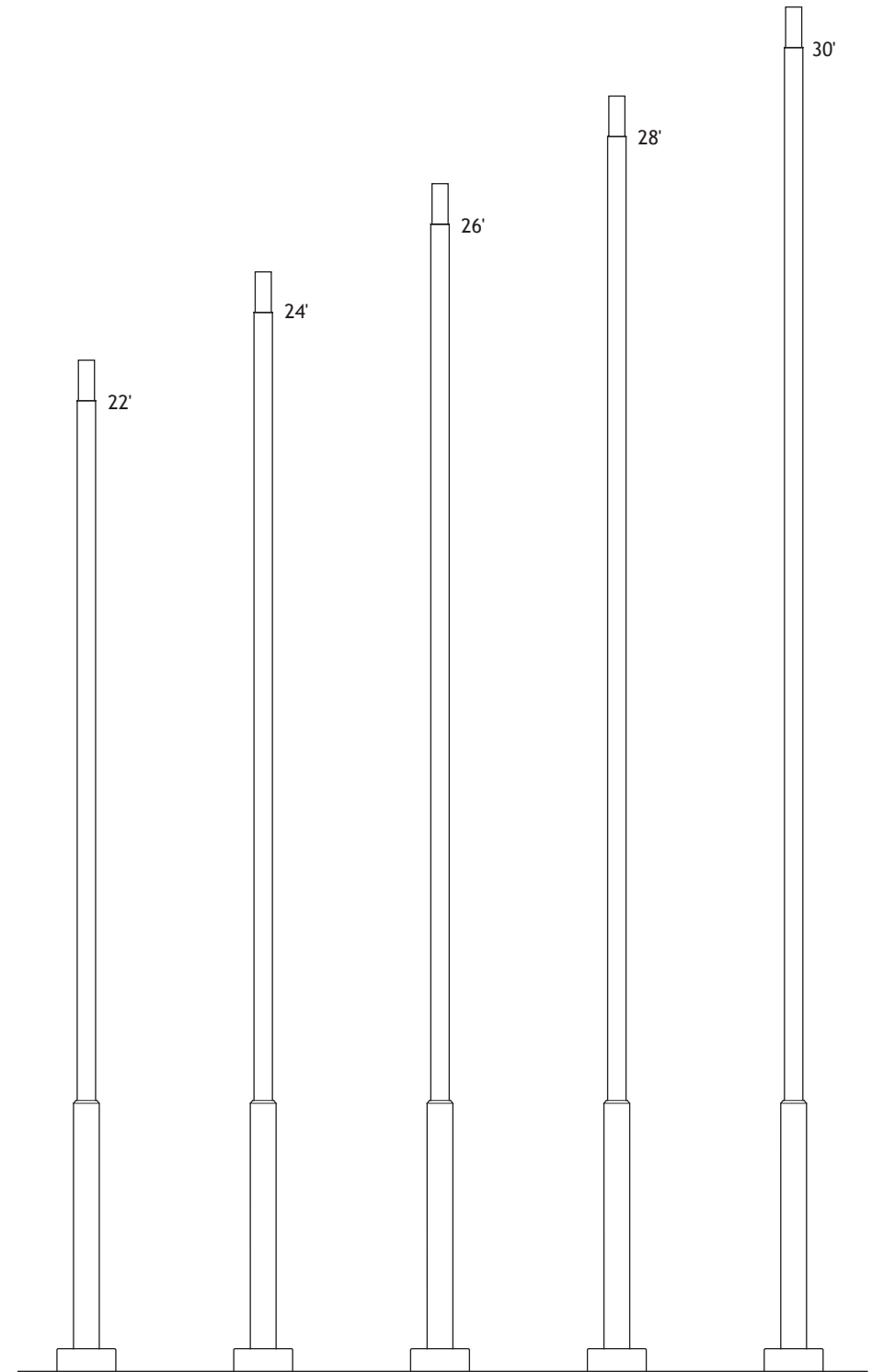
LED lighting facts A Program of the U.S. DOE	
Light Output (Lumens)	2159
Watts	25.31
Lumens per Watt (Efficacy)	85.3
Color Accuracy Color Rendering Index (CRI) 70	
Light Color Correlated Color Temperature (CCT) 4000 (Bright White)	
<small>All results are according to IESNA LM-79-2008: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.</small>	
<small>Visit www.lightingfacts.com for the Label Reference Guide.</small>	
<small>Registration Number: NJSM-Z18BGO (5/10/2015) Model Number: OLF 2RH 40K 120 XX Type: Luminaire - Other</small>	

OLF with motion occupancy features OMS1000 sensor head (Please refer to installation instructions for more information).



EUROTIQUE™ STEEL POLES

5"Ø/7"Ø • 22'-30' tall



EPSX 22 S5S7 finish EPSX 24 S5S7 finish EPSX 26 S5S7 finish EPSX 28 S5S7 finish EPSX 30 S5S7 finish

SPECIFICATIONS

DESCRIPTION

The lighting poles shall be one-piece all steel construction with an aluminum two-piece base cover. The poles shall have a stepped shaft with integral anchor/base plate. All welding shall be per ANSI/AWS D1.1. All welders shall be certified. The poles shall be Antique Street Lamps' catalog number **EPSX XX S5S7 finish**.

MATERIALS

The poles and anchor plates shall be steel. The base cover and handhole cover shall be cast aluminum. All exposed hardware shall be tamper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized. Partially galvanized bolts are not acceptable.

DIMENSIONS

The poles shall be $X'-XX''$ in height with a 16" diameter base cover. An integral 4.375" O.D. x 11" tenon shall be provided at the top for mounting Eurotique 5" arms (exceptions following). A 4.375" O.D. x 8" tenon shall be provided for mounting Eurotique arm EAL5. No tenon shall be provided at the top when mounting Eurotique arm EAK5 which has an internal tenon.

INSTALLATION

The one-piece poles shall be provided with four 1.25" diameter by 42" long, L-type anchor bolts to be installed on an 11" diameter bolt circle. A handhole with cover shall be provided in the lower shaft section for wiring access. A grounding screw shall be provided inside the handhole. Eight set screws shall be provided at the top when mounting Eurotique arm EAK5.

For finish specifications and color options, see "Finish" section in catalog.

EUROTIQUE™
Architectural Lighting

ANTIQUE Street Lamps

An **Acuity** Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758

Ph (512) 977-8444 • Fax (512) 977-9622

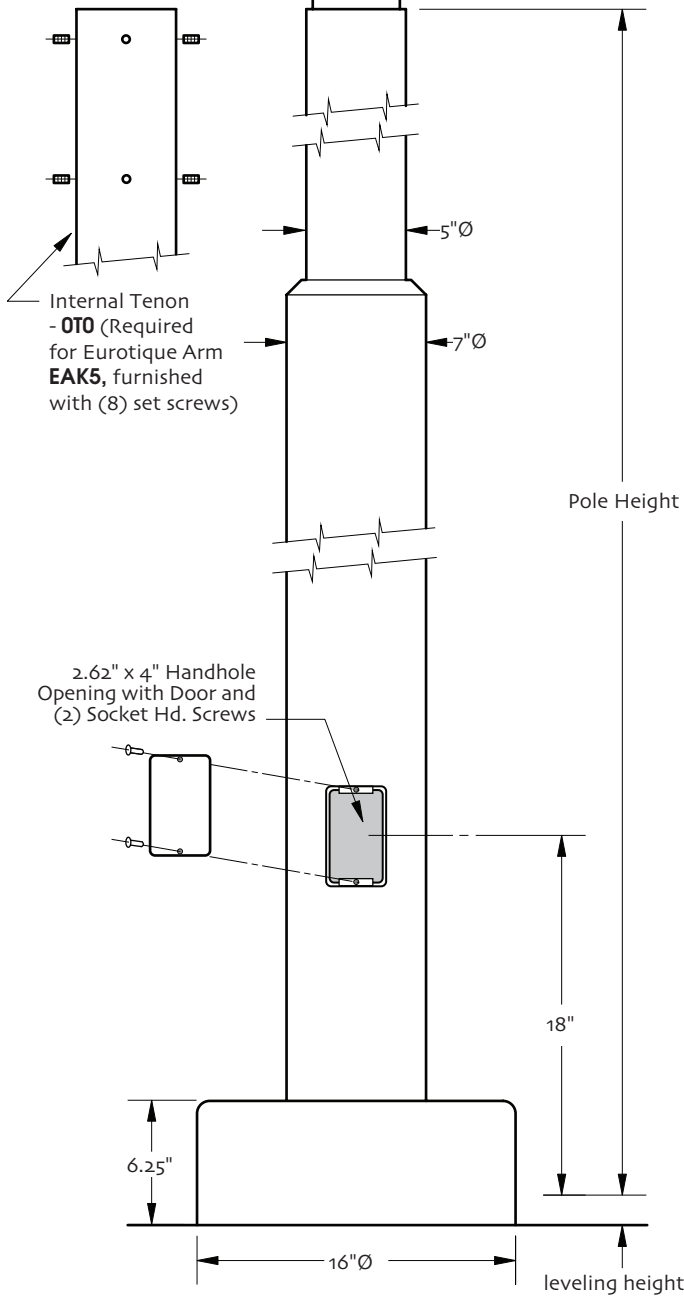
www.antiquestreetlamps.com

EUROTIQUE™ STEEL POLES

5"Ø/7"Ø • 22' - 30' tall

4.375" O.D. x 11" High Tenon
4-3/8T11 (standard)

4.375" O.D. x 8" High Tenon
4-3/8T8 (Required for Eurotique Arm EAL5)



ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

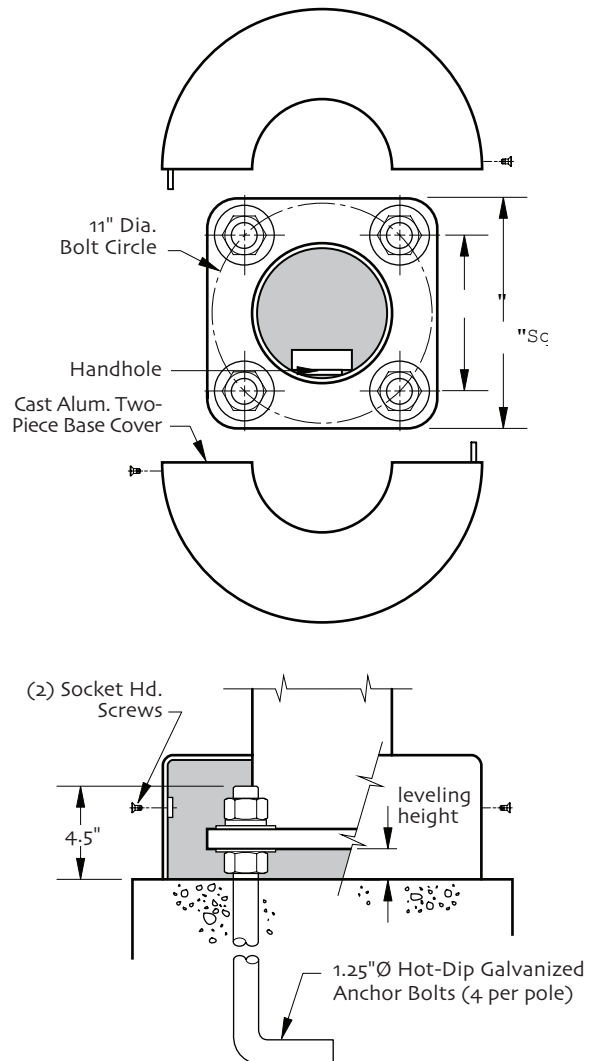
Example: **EPSX 22 S5S7 4-3/8T11 ANPP Options**

Pole Series	Height	Finish ¹
EPSX	22	ANBK Black
EUROTIQUE™ Poles Steel	24	ANDB Dark Bronze
	26	ANDG Dark Green
	28	ANVG Verde Green
	30	ANPP Prime Painted
		CM Custom Match
		CS Custom Select RAL colors
Shaft Type		Options
S5S7	5" dia. / 7" dia. shaft	Receptacles
Tenon		Flagpole Holders
4-3/8T11	Standard Tenon	(see Accessories section in the catalog or contact Antique Street Lamps)
4-3/8T8	Tenon for Arm EAL5	
OTO	Tenon for Arm EAK5	

NOTES:

1. For finish specifications and color options, see **Finish** section in catalog or contact Antique Street Lamps.

ANCHORAGE GUIDE



ANTIQUE Street Lamps
An **Acuity** Brands Company

2011-B.W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

ANTIQUE STREET LAMPS™

EML25 LED MUNICH PENDANT

CATALOG # _____

PROJECT _____

TYPE _____



This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNJP6 option when ordering 4" arm); see arm specification sheets for details on mounting options.



Max EPA: 1.86 sq feet
Max Height: 26-1/2" (67.3cm)
Max Width: 25" (63.5cm)
Max Weight: 60 lbs (27.2 kg)
Listing: CSA listed for wet locations

Sample Catalog number:

EML25	ST	49LED 350MA	3K	GCF	MVOLT	R3	SF	DBL
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distrib.	Options	Finish

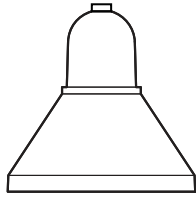
Ordering Guide:

Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distribution	Options	Finish
EML25	ST RT FT	49LED 350MA 49LED 525MA 63LED 350MA 63LED 525MA	3K 4K 5K	GCF GCSG	MVOLT 120 208 240 277 347 480	R2 R3 R4 R5	SF DF SPD	DBL DDB DNA DWH CS CM ANBK ANDB ANDG ANVG

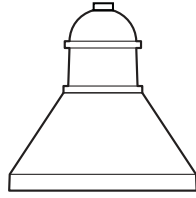
Data is considered accurate as of the revision date shown.
 Antique Street Lamps reserves the right to modify specifications without notice.

EML25 LED

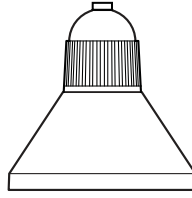
BASE



ST
Smooth



RT
Ringed



FT
Fluted

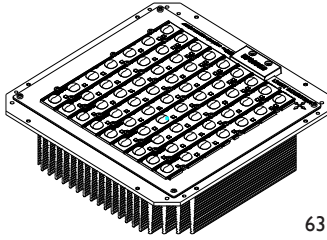
SELECT YOUR OPTIONS FROM

- ST** Smooth Ballast Housing
- RT** Ringed Ballast Housing
- FT** Fluted Ballast Housing

Notes:

Must select ST, RT, or FT style; optional IDS feature can be specified in addition to any selection (ex: EHL16 GCF ST IDS)

SOURCE AND WATTAGE



63LED light engine module

SELECT YOUR CHOICE FROM

- 49LED 350MA** 49 chips, 350 mA
- 49LED 525MA** 49 chips, 525 mA
- 63LED 350MA** 63 chips, 350 mA
- 63LED 525MA** 63 chips, 525 mA

Performance Package	Lens Type	Dist.	Input Watts	3000K CCT (opt)			4000K CCT (opt)			5000K CCT (opt)			L70 Life (hrs) @ 25°C
				Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	
63LED 350mA	GCSG	R3	72.7	6421	88.32	66	6421	88.32	66	6421	88.32	66	70000
		R4	72.5	6272	86.51	66	6272	86.51	66	6272	86.51	66	70000
		R5	72.4	6657	91.95	66	6657	91.95	66	6657	91.95	66	70000

Data is considered accurate as of the revision date, shown in the highest operating temperature available.

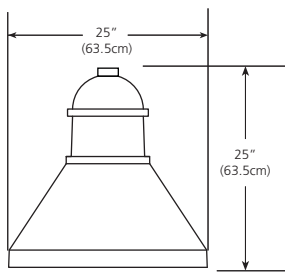
Antique Street Lamps reserves the right to modify specifications without notice.

COLOR TEMP

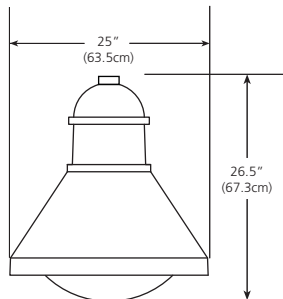
SELECT YOUR OPTIONS FROM

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K

LENS OPTION



GCF
Glass, Clear Flat



GCSG
Glass, Clear Sag

SELECT YOUR OPTIONS FROM

- GCF** Glass, Clear Flat (Standard)
- GCSG** Glass, Clear Sag



Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

Notes:

Nighttime Friendly™ distributions available with GCF lens only.

EML25 LED

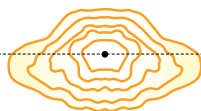
VOLTAGE

SELECT YOUR OPTIONS FROM

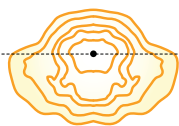
- MVOLT** MVOLT
- 120** 120V
- 208** 208V
- 240** 240V
- 277** 277V
- 347** 347V
- 480** 480V

DISTRIBUTION

House Side
Street Side



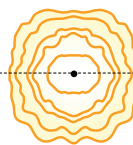
R2
Type II
Distributes light slightly ahead of luminaire location with significant lateral spread.



R3
Type III
Provides light farther ahead of the luminaire than a Type II pattern but maintains a significant lateral spread.



R4
Type IV
Sharp Cutoff
Distributes light almost exclusively forward with an emphasis on eliminating light trespass and spill light behind the pole.



R5
Type V
Provides improved uniformity with a variance of the Type V distribution with a slightly square pattern compared to the regular Type V.

SELECT YOUR OPTIONS FROM

- R2** Type II
- R3** Type III
- R4** Type IV
- R5** Type V

OPTIONS

SELECT YOUR OPTIONS FROM

(Fuse Not Included)

- SF** Single Fuse
- DF** Double Fuse
- SPD** Surge Protection Device

FINISH

The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.









For a complete listing of colors, visit:
www.acuitybrandslighting.com/architecturalcolors

Notes:

- Consult factory for CM option.

Data is considered accurate as of the revision date shown.
Antique Street Lamps reserves the right to modify specifications without notice.

SELECT YOUR OPTIONS FROM

- DBL** Black 
- DDB** Dark Bronze 
- DNA** Natural Aluminum 
- DWH** White 
- CS** Custom Select (RAL colors)
- CM** Custom Match
- ANBK** ASL Black 
- ANDB** ASL Dark Bronze 
- ANDG** ASL Dark Green 
- ANVG** ASL Verde Green 

Refer to website

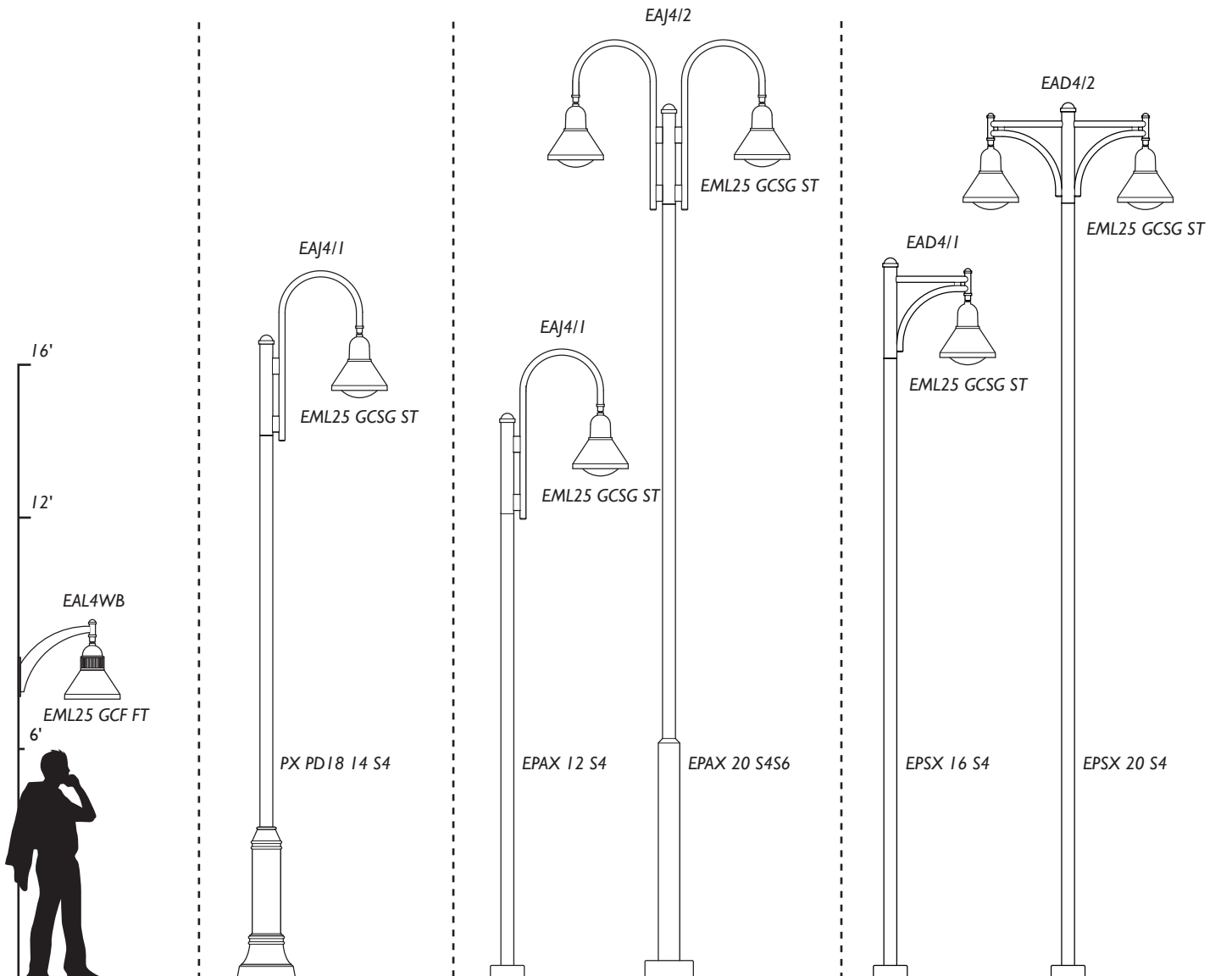
EML25 LED

PENDANT WALL
BRACKET SERIES

PHILADELPHIA
SERIES
CAST ALUMINUM POST

URBAN ALUMINUM
POLE SERIES

URBAN STEEL
POLE SERIES



For detailed product specifications for Poles and Arm/Wall Mount see the Antique Street Lamps website.

CATALOG # _____

PROJECT _____

TYPE _____



This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNJP6 option when ordering 4" arm); see arm specification sheets for details on mounting options.



Max EPA: 1.86 sq feet
Max Height: 26-1/2" (67.3cm)
Max Width: 25" (63.5cm)
Max Weight: 60 lbs (27.2 kg)
Listing: CSA listed for wet locations

Sample Catalog number:

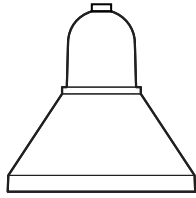
EML25	ST	49LED 350MA	3K	GCF	MVOLT	R3	SF	DBL
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distrib.	Options	Finish

Ordering Guide:

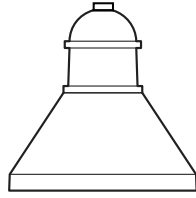
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distribution	Options	Finish
EML25	ST RT FT	49LED 350MA 49LED 525MA 63LED 350MA 63LED 525MA	3K 4K 5K	GCF GCSG	MVOLT 120 208 240 277 347 480	R2 R3 R4 R5	SF DF SPD	DBL DDB DNA DWH CS CM ANBK ANDB ANDG ANVG

Data is considered accurate as of the revision date shown.
 Antique Street Lamps reserves the right to modify specifications without notice.

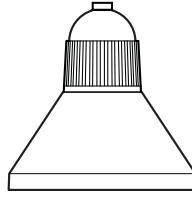
BASE



ST
Smooth



RT
Ringed



FT
Fluted

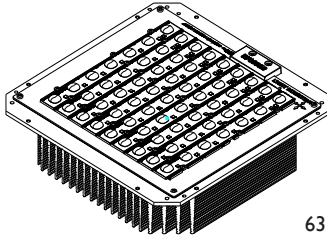
SELECT YOUR OPTIONS FROM

- ST** Smooth Ballast Housing
- RT** Ringed Ballast Housing
- FT** Fluted Ballast Housing

Notes:

Must select ST, RT, or FT style; optional IDS feature can be specified in addition to any selection (ex: EHL16 GCF ST IDS)

SOURCE AND WATTAGE



63LED light engine module

SELECT YOUR CHOICE FROM

- 49LED 350MA** 49 chips, 350 mA
- 49LED 525MA** 49 chips, 525 mA
- 63LED 350MA** 63 chips, 350 mA
- 63LED 525MA** 63 chips, 525 mA

Performance Package	Lens Type	Dist.	Input Watts	3000K CCT (opt)			4000K CCT (opt)			5000K CCT (opt)			L70 Life (hrs) @ 25°C
				Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	
63LED 350mA	GCSG	R3	72.7	6421	88.32	66	6421	88.32	66	6421	88.32	66	70000
		R4	72.5	6272	86.51	66	6272	86.51	66	6272	86.51	66	70000
		R5	72.4	6657	91.95	66	6657	91.95	66	6657	91.95	66	70000

Data is considered accurate as of the revision date, shown in the highest operating temperature available.

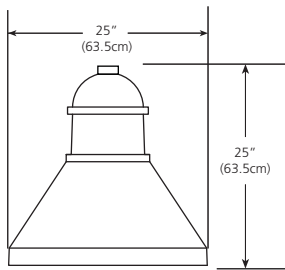
Antique Street Lamps reserves the right to modify specifications without notice.

COLOR TEMP

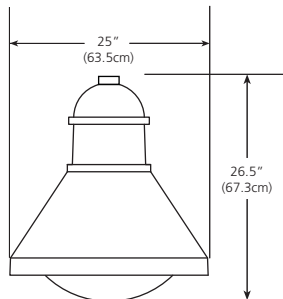
SELECT YOUR OPTIONS FROM

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K

LENS OPTION



GCF
Glass, Clear Flat



GCSG
Glass, Clear Sag

SELECT YOUR OPTIONS FROM

- GCF** Glass, Clear Flat (Standard)
- GCSG** Glass, Clear Sag



Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

Notes:

Nighttime Friendly™ distributions available with GCF lens only.

EML25 LED

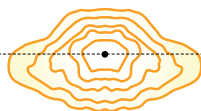
VOLTAGE

SELECT YOUR OPTIONS FROM

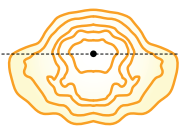
- MVOLT** MVOLT
- 120** 120V
- 208** 208V
- 240** 240V
- 277** 277V
- 347** 347V
- 480** 480V

DISTRIBUTION

House Side
Street Side



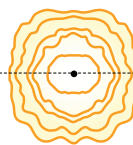
R2
Type II
Distributes light slightly ahead of luminaire location with significant lateral spread.



R3
Type III
Provides light farther ahead of the luminaire than a Type II pattern but maintains a significant lateral spread.



R4
Type IV
Sharp Cutoff
Distributes light almost exclusively forward with an emphasis on eliminating light trespass and spill light behind the pole.



R5
Type V
Provides improved uniformity with a variance of the Type V distribution with a slightly square pattern compared to the regular Type V.

SELECT YOUR OPTIONS FROM

- R2** Type II
- R3** Type III
- R4** Type IV
- R5** Type V

OPTIONS

SELECT YOUR OPTIONS FROM

(Fuse Not Included)

- SF** Single Fuse
- DF** Double Fuse
- SPD** Surge Protection Device

FINISH

The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.








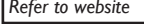
For a complete listing of colors, visit:
www.acuitybrandslighting.com/architecturalcolors

Notes:

- Consult factory for CM option.

Data is considered accurate as of the revision date shown.
Antique Street Lamps reserves the right to modify specifications without notice.

SELECT YOUR OPTIONS FROM

- DBL** Black 
- DDB** Dark Bronze 
- DNA** Natural Aluminum 
- DWH** White 
- CS** Custom Select (RAL colors)
- CM** Custom Match
- ANBK** ASL Black 
- ANDB** ASL Dark Bronze 
- ANDG** ASL Dark Green 
- ANVG** ASL Verde Green 

Refer to website

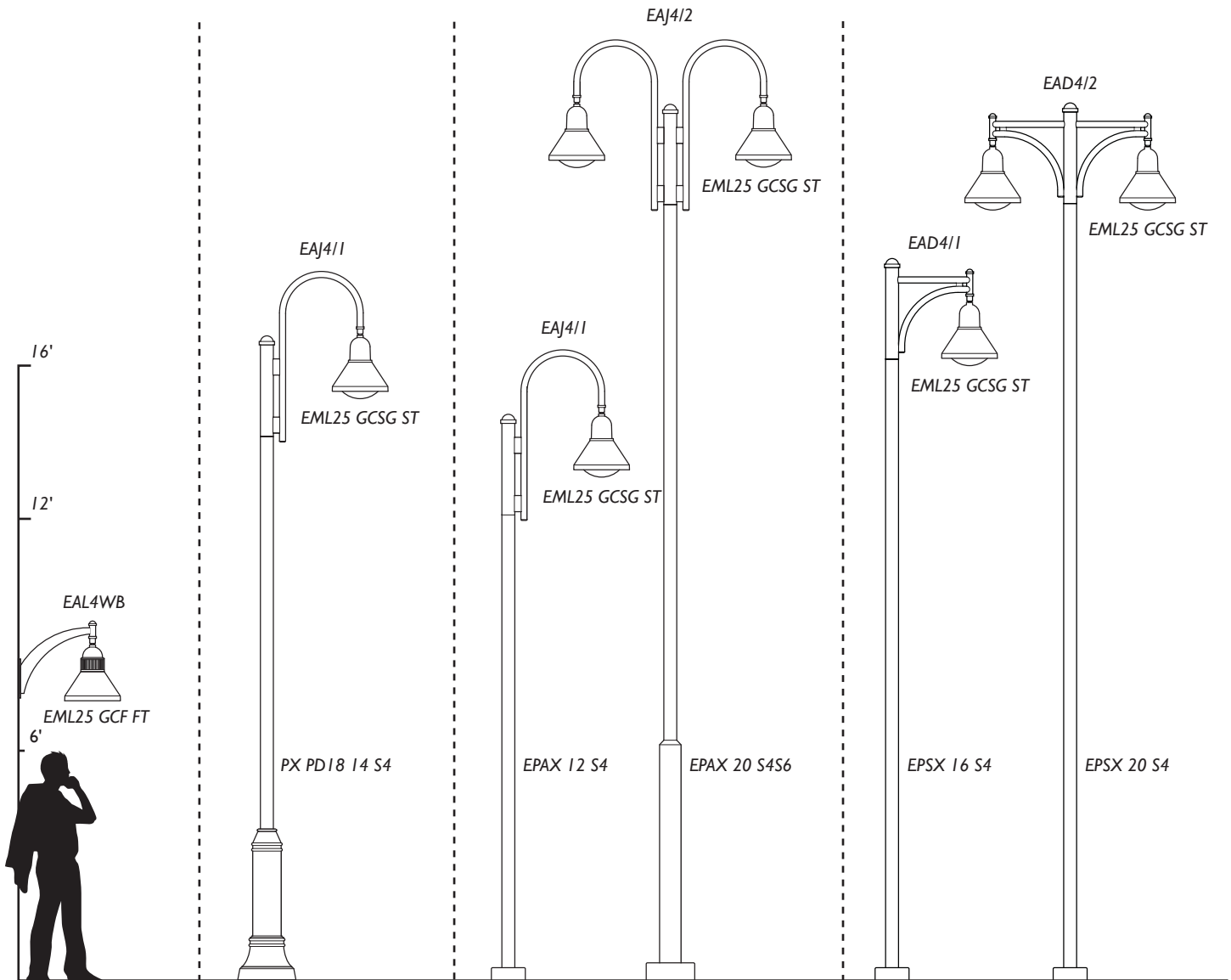
EML25 LED

PENDANT WALL
BRACKET SERIES

PHILADELPHIA
SERIES
CAST ALUMINUM POST

URBAN ALUMINUM
POLE SERIES

URBAN STEEL
POLE SERIES



For detailed product specifications for Poles and Arm/Wall Mount see the Antique Street Lamps website.

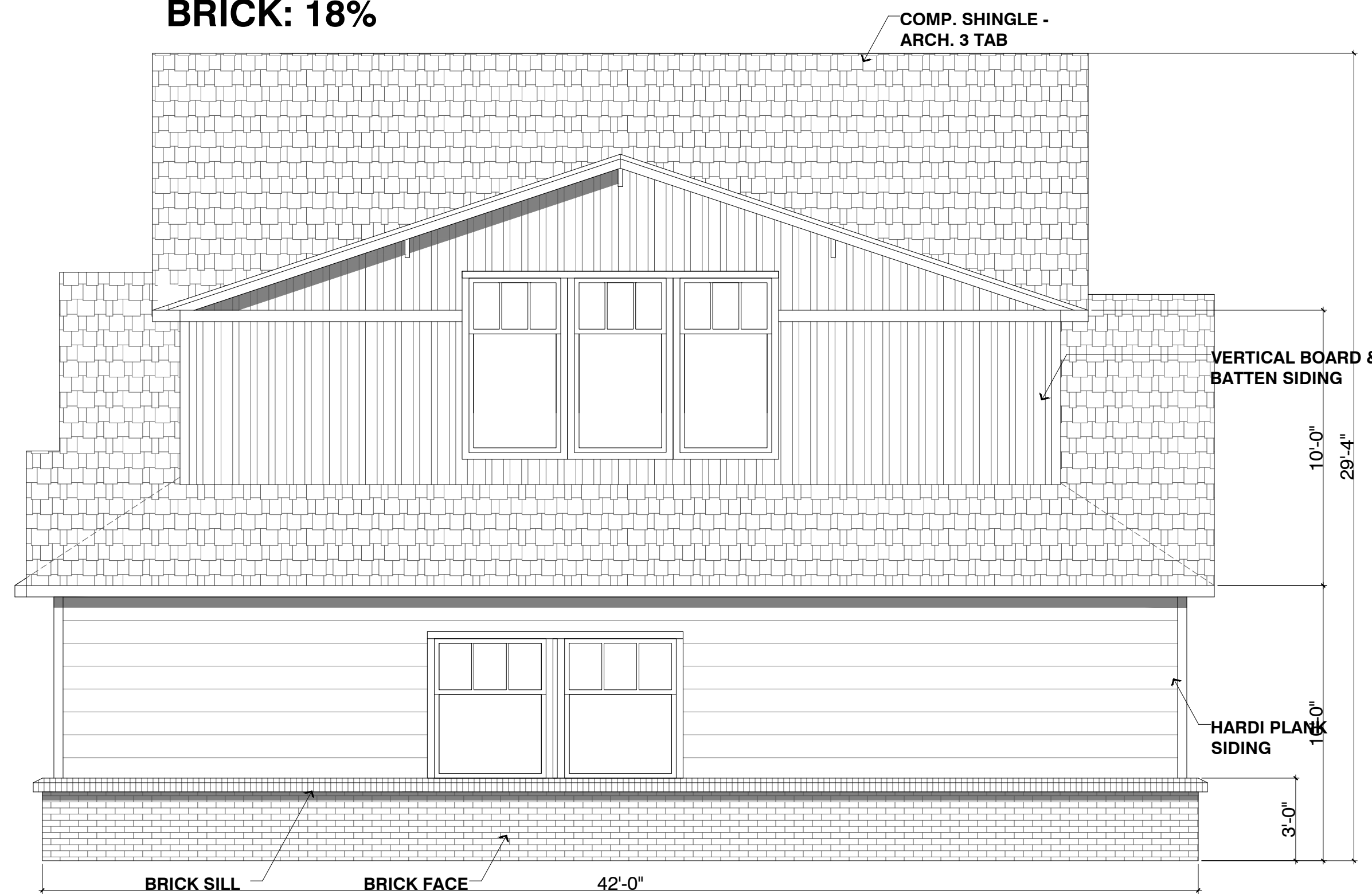
HORIZONTAL HARDI: 47%
VERTICAL BOARD & BATTEN HARDI: 39%
BRICK: 14%



EAST ELEVATION: GOLIAD FRONTAGE

SCALE: 1/4" = 1' - 0"

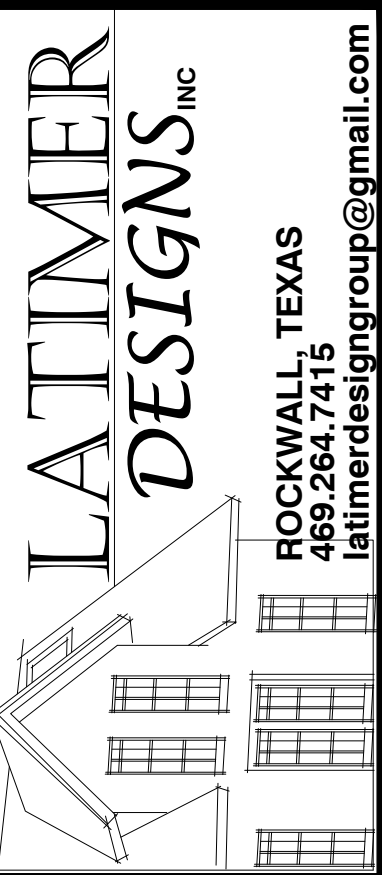
HORIZONTAL HARDI: 40%
VERTICAL BOARD & BATTEN HARDI: 42%
BRICK: 18%



SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

SITE DATA TABLE	
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	903 N. GOLIAD ST. ROCKWALL, TX
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	
CASE # SP2019-001	



DRAWN BY: _____

CHECKED BY: _____

DATE: _____

ISSUED FOR PERMIT: _____

ISSUED FOR CONSTRUCTION: _____

REVISIONS:

DRAWING: **ELEVATIONS**

SCALE: **1/4" = 1'-0"**

SHEET SIZE: **24 x 36**

PROJECT/CLIENT: **T3 CHIROPRACTIC OFFICE**

LOCATION: **903 N. GOLIAD ST • ROCKWALL • TX • 75087**

DATE: **02.03.2019**

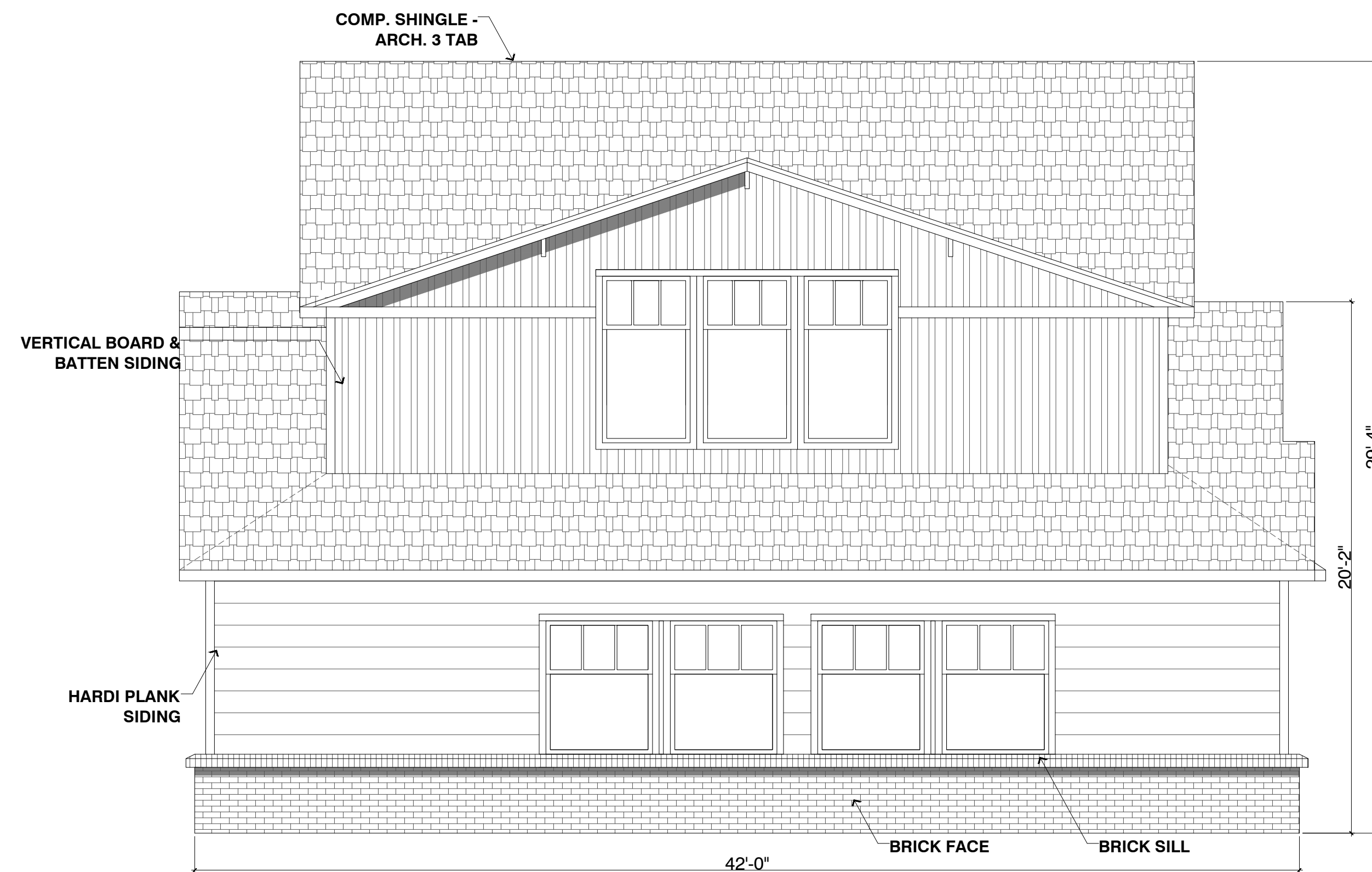
HORIZONTAL HARDI: 55%
VERTICAL BOARD & BATTEN HARDI: 33%
BRICK: 12%



WEST ELEVATION: PARKING LOT

SCALE: 1/4" = 1' - 0"

HORIZONTAL HARDI: 40%
VERTICAL BOARD & BATTEN HARDI: 42%
BRICK: 18%



NORTH ELEVATION

SCALE: 1/4" = 1' - 0"

SITE DATA TABLE	
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	903 N. GOLIAD ST. ROCKWALL, TX
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	
CASE # SP2019-001	

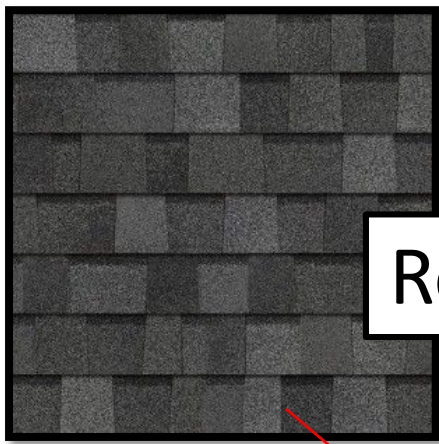


DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 ISSUED FOR PERMIT: _____
 ISSUED FOR CONSTRUCTION: _____
 REVISIONS: _____

DRAWING: **ELEVATIONS**
 SCALE: **1/4" = 1'-0"**
 SHEET SIZE: **24 x 36**

PROJECT/CLIENT: **T3 CHIROPRACTIC OFFICE**
 LOCATION: **903 N. GOLIAD ST • ROCKWALL • TX • 75087**
 DATE: **02.03.2019**

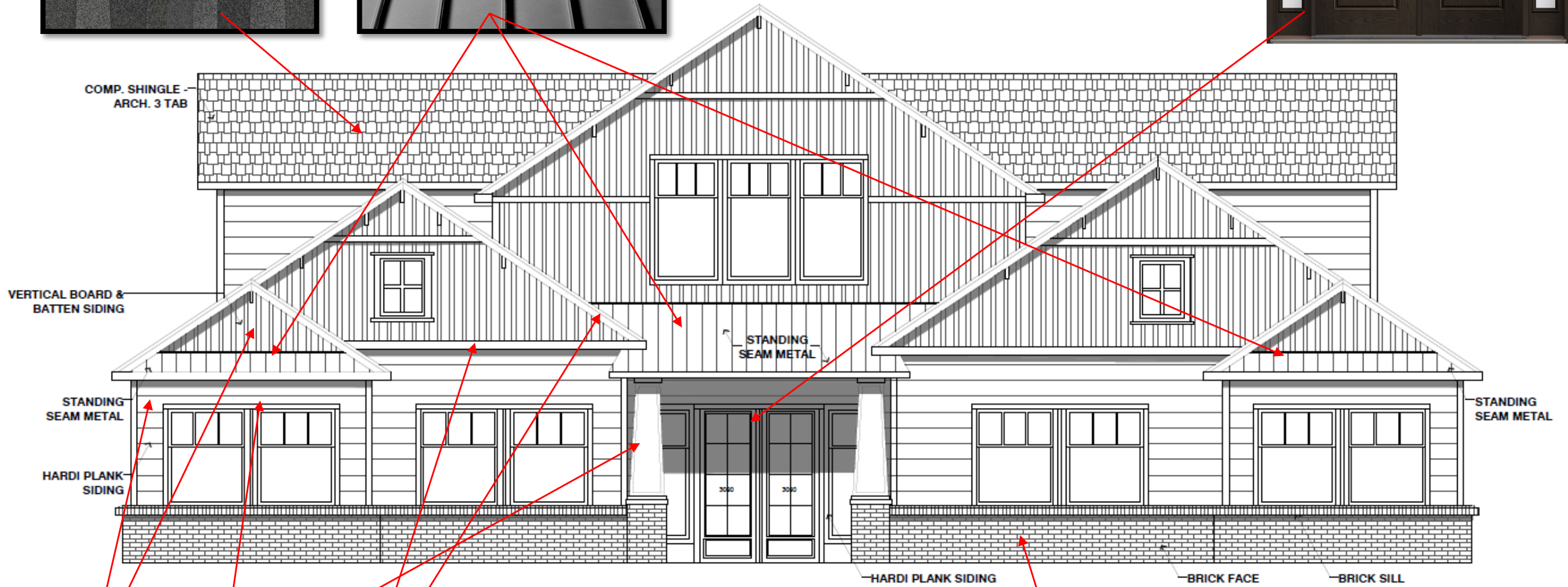
SHEET NO. **A7 OF**



Roof



Doors & Sidelights



Paint Colors

Brick

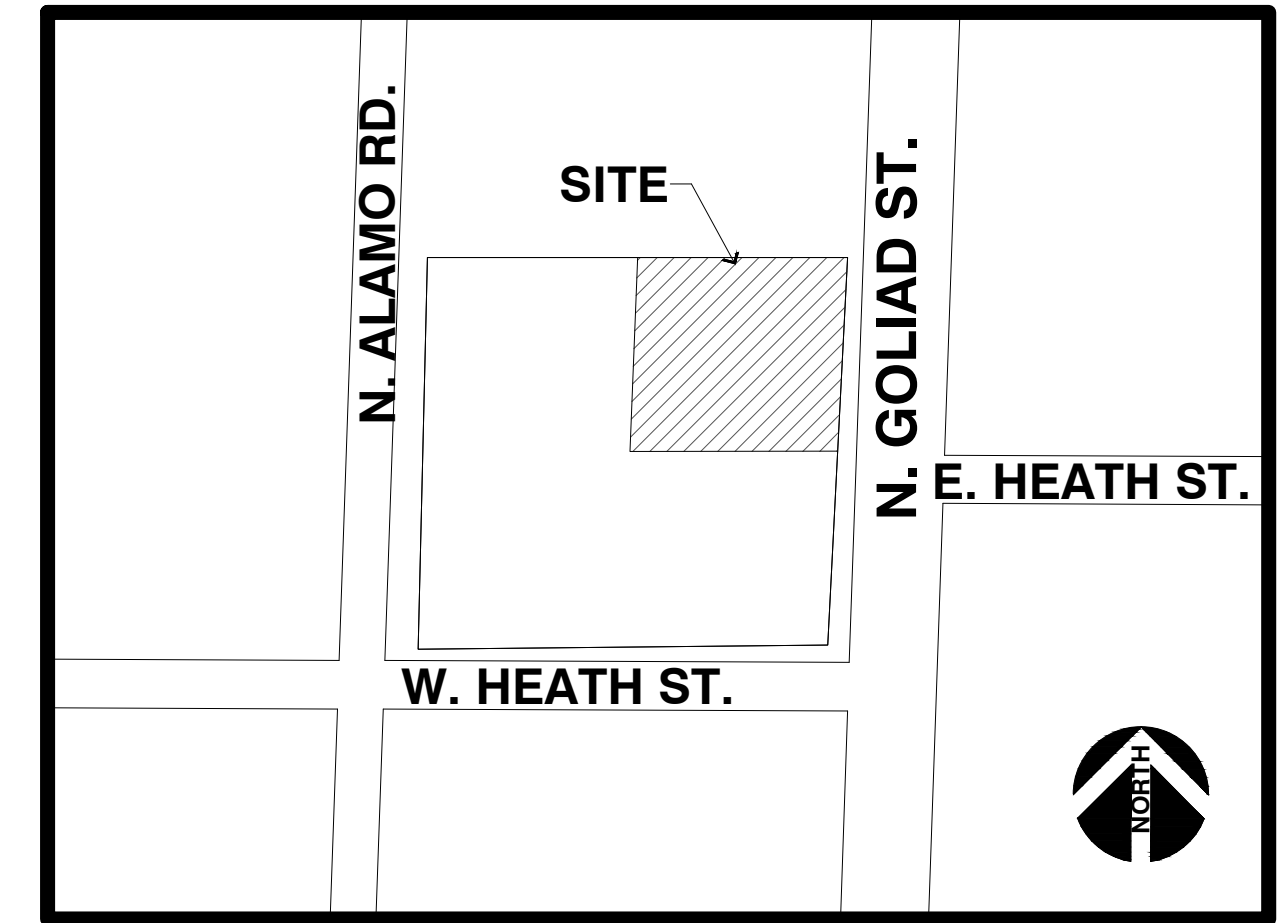




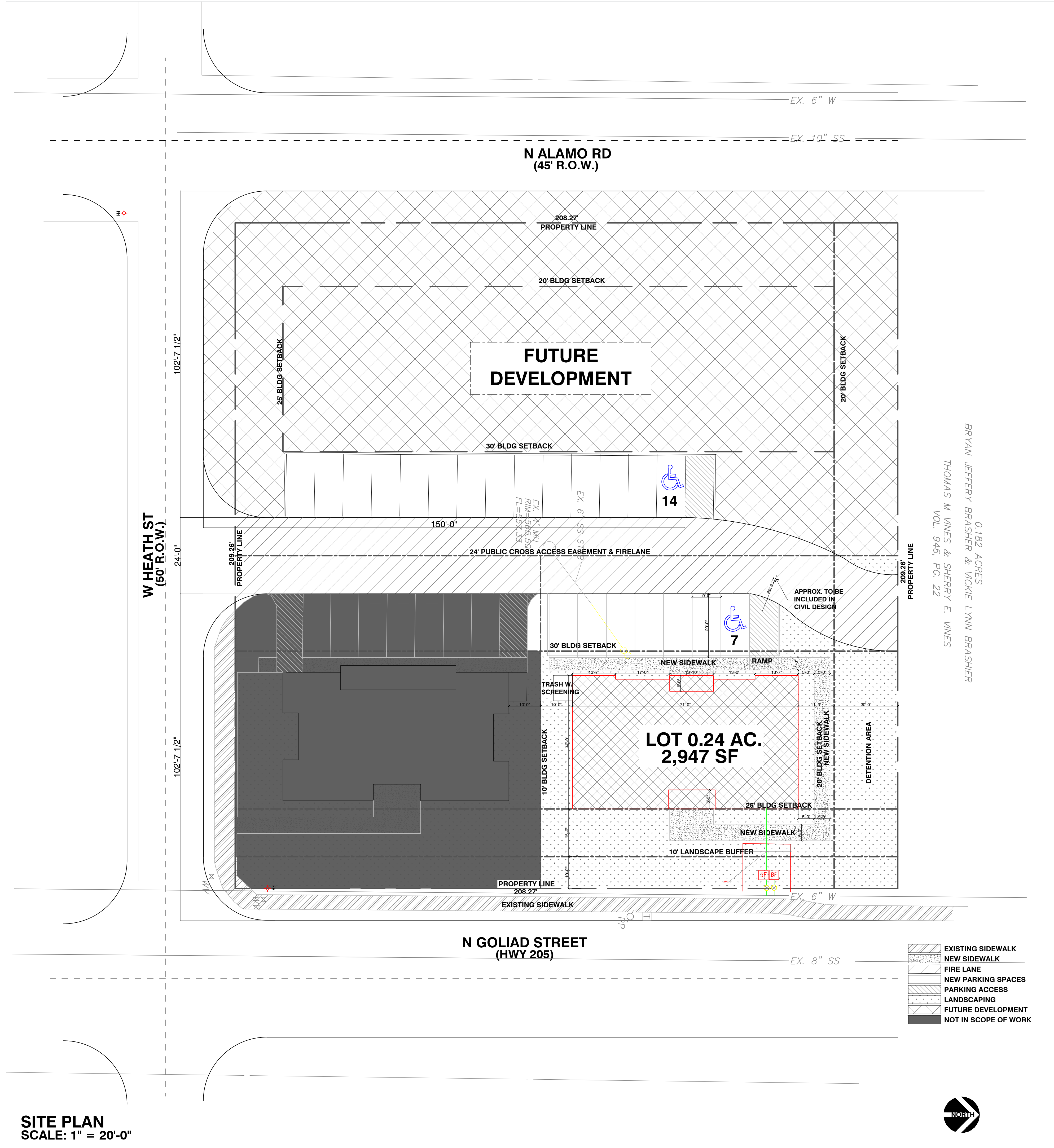
PERCEPTUAL ILLUSTRATION

DEVELOPMENT PLANS
NOT FOR CONSTRUCTION

DRAWN BY:
CHECKED BY:
DATE:
ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:
REVISIONS:



VICINITY MAP



0.182 ACRES
BRYAN JEFFERY BRASHER & VICKIE LYNN BRASHER
THOMAS M VINES & SHERRY E. VINES
VOL. 946, PG. 22

- EXISTING SIDEWALK
- NEW SIDEWALK
- FIRE LANE
- NEW PARKING SPACES
- PARKING ACCESS
- LANDSCAPING
- FUTURE DEVELOPMENT
- NOT IN SCOPE OF WORK



SITE PLAN
SCALE: 1" = 20'-0"

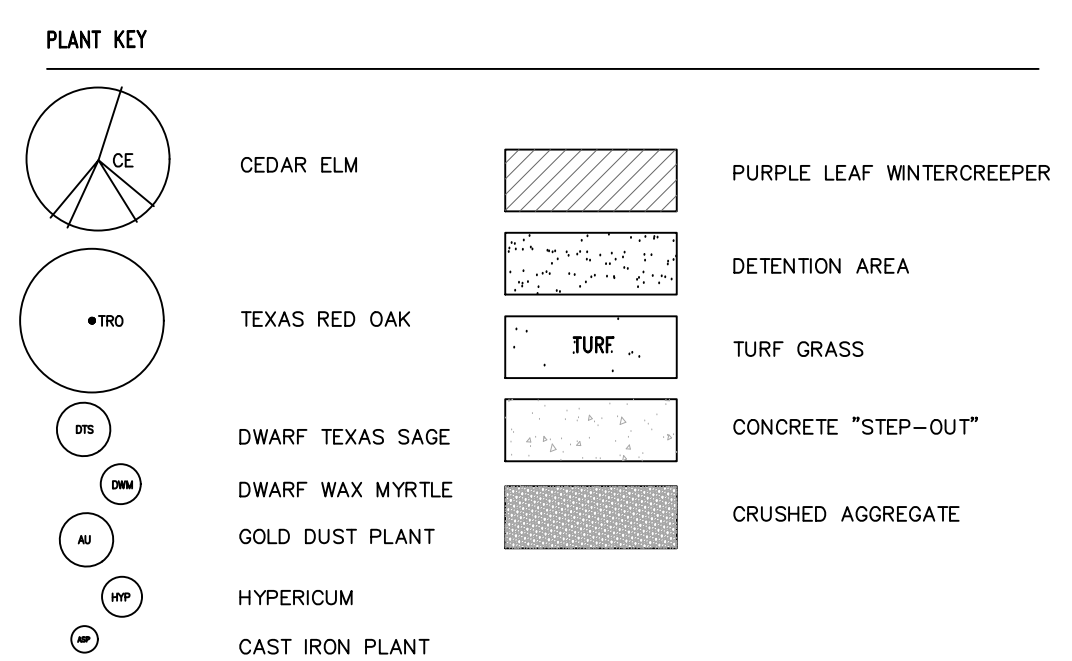
SITE DATA TABLE	
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	903 N. GOLIAD ST. ROCKWALL, TX
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	
CASE # SP2019-001	

DRAWING:
SITE PLAN
SCALE:
1" = 20'-0"
SHEET SIZE:
24 x 36

PROJECT/CLIENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
903 N.GOLIAD ST • ROCKWALL • TX • 75087
DATE:
02.03.2019

SHEET NO.
A1 OF

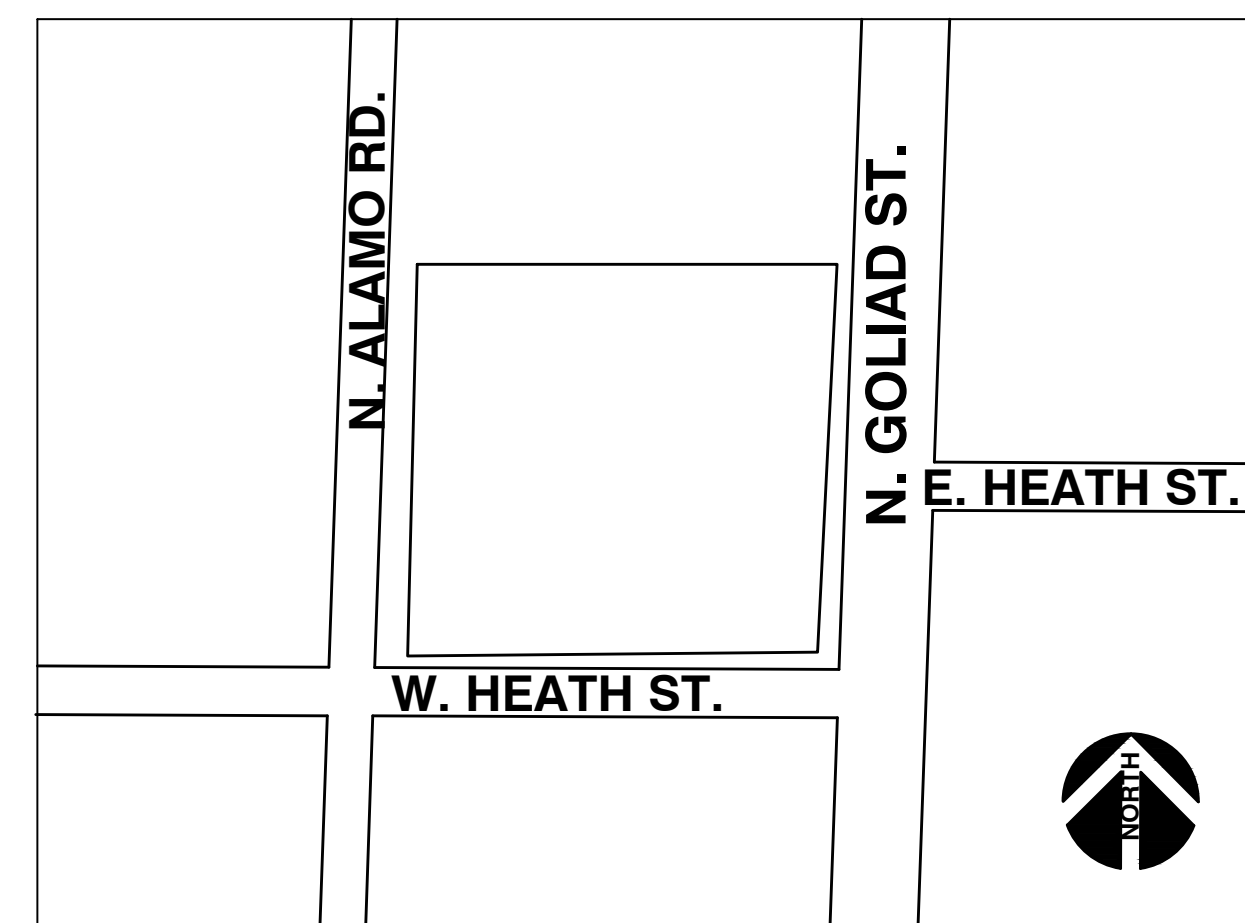
KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	Ulmus crassifolia	3.5'-4" CAL.	PLANT WHERE INDICATED
TRO	02	TEXAS RED OAK	Acer saccharum 'cadillo'	3.5'-4" CAL.	PLANT WHERE INDICATED
CM	03	CREPE MYRTLE	Lagerstroemia indica 'Natchez'	8/8 8'-10' HT	PLANT WHERE INDICATED, 6' FROM ADJACENT EXISTING WOOD FENCE
DTS	06	DWARF TEXAS SAGE	Leucophyllum candidum 'Thunder Cloud'	7 GAL.	PLANT 42" O.C. MIN.
HYP	20	HYPERICUM	Hypericum berry	5 GAL.	PLANT 36" O.C. MIN.
DWM	20	DWARF WAX MYRTLE	Myrica pusilla	7 GAL.	PLANT 36" O.C. MIN.
ASP	19	ASPIDISTRA	Aspidistra eliator	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	04	AUCUBA	Aucuba japonica	5 GAL.	PLANT EVENLY SPACED WHERE INDICATED, UNIFORM SIZE
PWC	102	COLORADO WINTER CREEPER	Euonymus fortunei 'Coloratus'	1 GAL.	PLANT 18" O.C.
TURF	-	COMMON BERMUDA GRASS	Cynodon dactylon	SOD	LEVEL SUB GRADE AND ROLL INTO PLACE.



25' BLDG SETBACK

20' BLDG SETBACK

30' BLDG SETBACK



VICINITY MAP
N.T.S.

- LANDSCAPE TABULATION**
 LOT: .26 AC (11,746.81 SF)
 BUILDING: 2,947 SF
 ZONED: RESIDENTIAL-OFFICE / PD-50
- 5.1 LANDSCAPE BUFFER-STRIP**
 10' REQUIRED
 10' PROVIDED
- 5.2 SCREENING OF OFF-STREET LOADING DOCKS**
 N/A
- 5.3 ACCEPTABLE LANDSCAPE MATERIALS**
 ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE
 ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER
 ALL PLANT MATERIAL WILL BE CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS.
- 5.4 PROTECTION OF LANDSCAPE AREAS:**
 ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.
- 5.5 IRRIGATION:**
 AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.
- 5.6 SCREENING FROM RESIDENTIAL USES:**
 NORTH SIDE - RESIDENTIAL ADJACENCY
 A 6' HT. MASONRY FENCE IS REQUIRED
 A 6' HT. WOOD FENCE IS PROVIDED AND EXISTING
- ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.
- 5.7 STREET LANDSCAPING:**
 1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 LF OF FRONTAGE REQUIRED
 1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 LF OF FRONTAGE PROVIDED
 N. GOLIAD STREET (HWY 205) = 112.33 LF
 2.24 CANOPY TREES REQUIRED
 2.00 CANOPY TREE PROVIDED
- 5.8 RIGHT-OF-WAY LANDSCAPING:**
 GRASS OR GROUNDCOVER REQUIRED
 GRASS PROVIDED
- THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.
- 5.9 PARKING LOT LANDSCAPING:**
 PARKING AND MANEUVERING = 3,125 SF
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED.
 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.
- 5.10 - (DELETED):**
- 5.11 DIMENSIONING OF LANDSCAPE AREA:**
 ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
 ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.
- 5.12 REQUIRED LANDSCAPING:**
 ZONED: RESIDENTIAL-OFFICE
 A. AMOUNT OF LANDSCAPING
 2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED.
 5,676.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.
- B. LOCATION OF LANDSCAPING
 50% REQUIRED IN FRONT YARD
 1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
 2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.
- C. DETENTION BASIN = +/- 978. SF
 LANDSCAPE REQUIRED
 LANDSCAPE PROVIDED
 1 TREE / 750 SF REQUIRED
 1.30 TREES REQUIRED
 2.00 TREES PROVIDED
- 5.13 MAINTENANCE REQUIREMENT:**
 ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES.
 THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY.
 A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.
- 5.14 UTILITY LINES AND RIGHTS-OF-WAY:**
 ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLANT MATERIAL.
- NO TREES ARE TO BE LOCATED WITHIN 5' OF ANY PUBLIC UTILITY.
- TREESCAPING - PROTECTED TREE MITIGATION**
 THERE ARE NO PROTECTED TREES EXISTING ON SITE
 THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY

209.26' PROPERTY LINE

209.26' PROPERTY LINE

24' PUBLIC CROSS ACCESS EASEMENT & FIRELANE

DRIVE LANE & PARKING
3,125 SF

FUTURE DEVELOPMENT

LOT 0.24 AC.
2,947 SF

W HEATH ST
(50' R.O.W.)

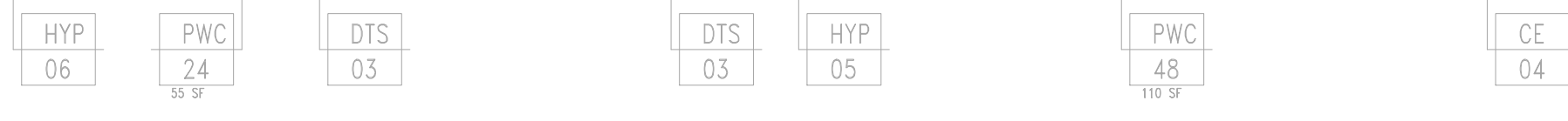
PROPERTY LINE
208.27'

EXISTING SIDEWALK

N GOLIAD STREET
(HWY 205)

SITE LANDSCAPE - PLAN

PROPERTY DESCRIPTION	
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-OALL-00-0R
ADDRESS	GOLIAD/W.HEATH/ALAMO
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	28'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	



SCALE: 1"=10'-0"

REVISIONS
 REV PER PRZ STAFF 2-4-19
 COMMENTS

PROJECT NO.
014197C

DRAWN
SR

CHECKED
SR

SUBMITTAL DATES

OTB DATE

RYBA
Inc.

Landscape Architecture
Site Planning
10670 North Central Expwy.
6th Floor
Dallas, TX 75231
(214) 629-2052
ria@airmail.net
www.rybadesign.com

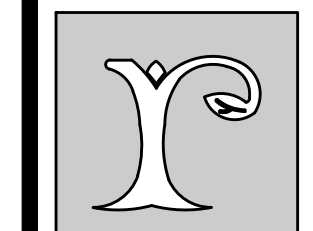
REGISTERED ARCHITECT
STEVEN R. RYBA
1724
01/15/19

T3 Chiropractic Office Building
205 & W. Heath
Rockwall, Texas

LANDSCAPE DEVELOPMENT

SHEET TITLE
LANDSCAPE PLAN

SHEET
L1.01



RYBA
Inc.

Landscape Architecture
Site Planning

10670 North Central Expwy.
8th Floor
Dallas, TX 75231

(214) 629-2052
rja@airmail.net
www.rybadesign.com



T3 Chiropractic Office Building
205 & w. Heath
Rockwall, Texas

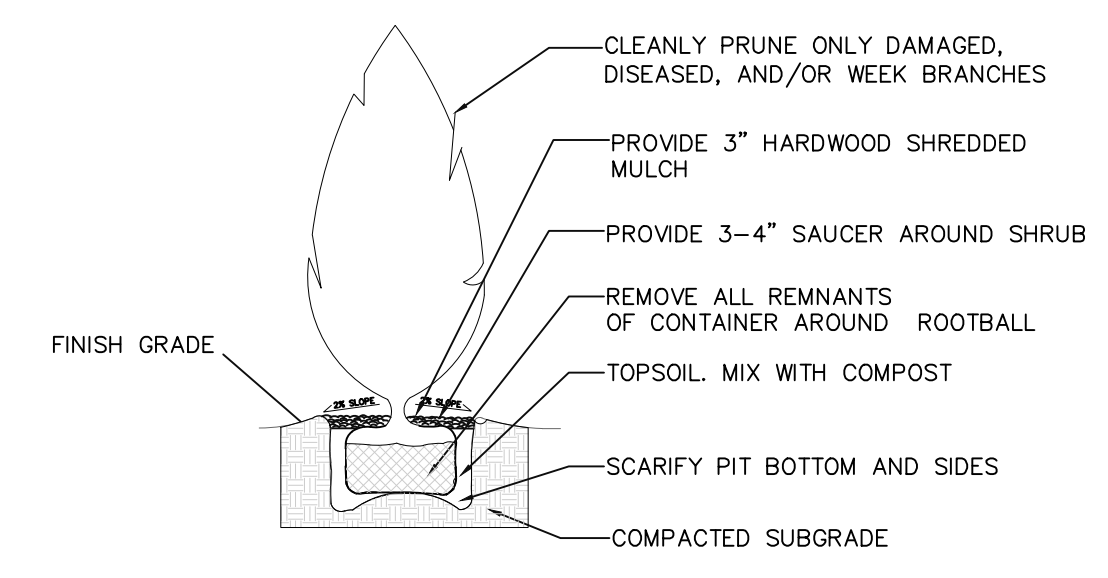
LANDSCAPE
DEVELOPMENT

SHEET TITLE

LANDSCAPE
DETAILS

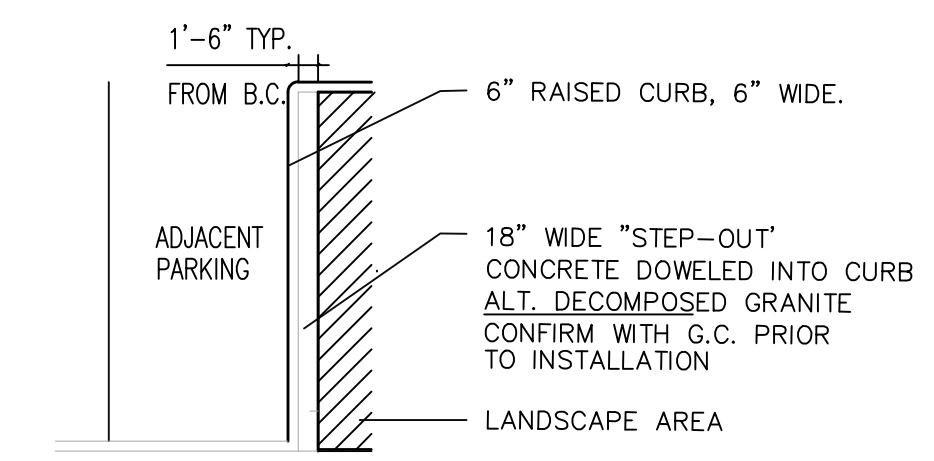
SHEET

L2.01



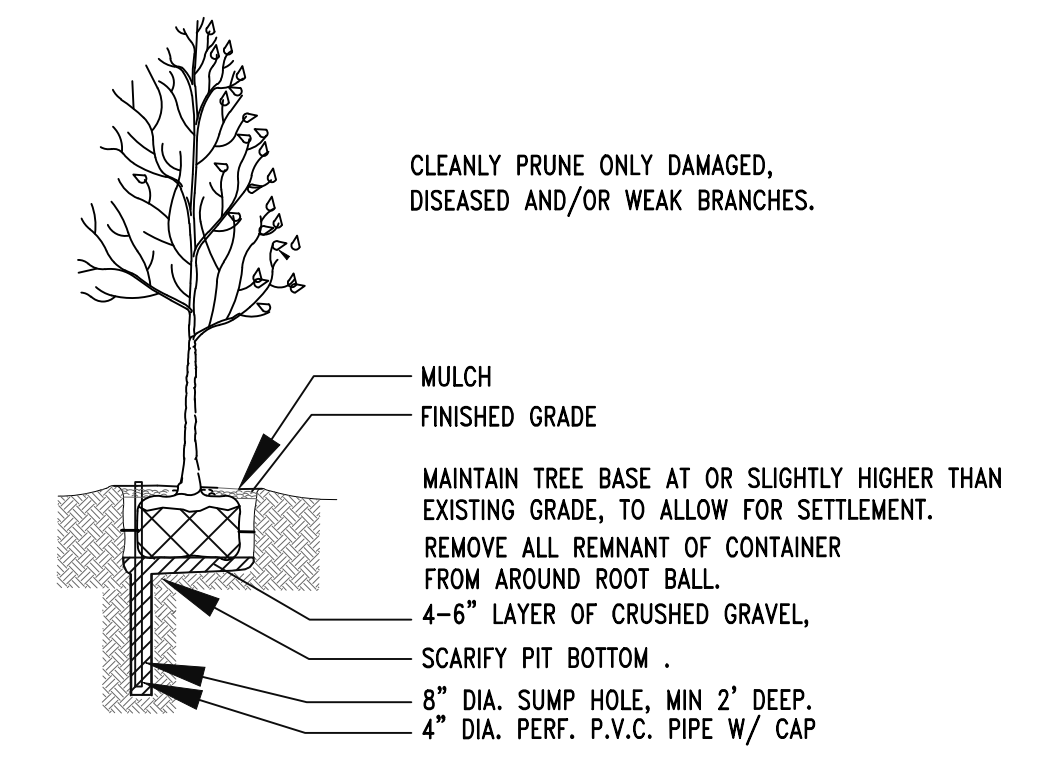
LARGE SHRUB-SECTION

N.T.S.



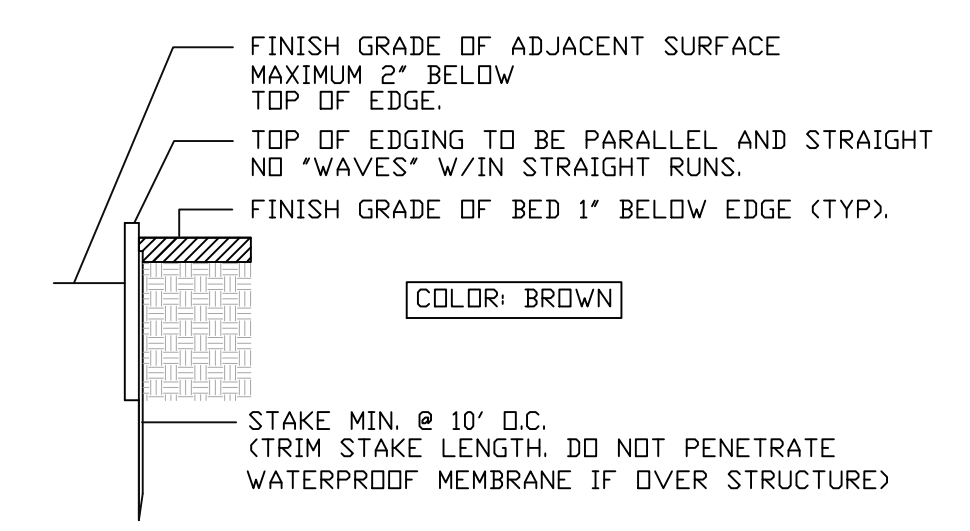
TYPICAL PARKING ISLAND-PLAN

N.T.S.



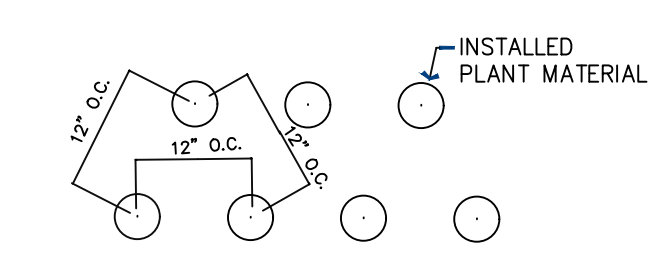
LARGE CANOPY TREE-SECTION

N.T.S.



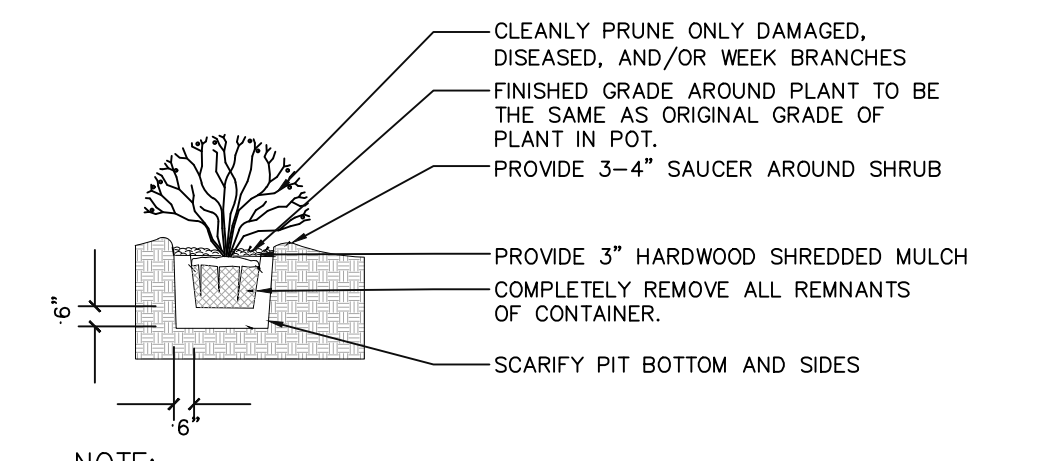
STEEL EDGE-SECTION

N.T.S.



GROUNDCOVER PLANTING-PLAN

N.T.S.



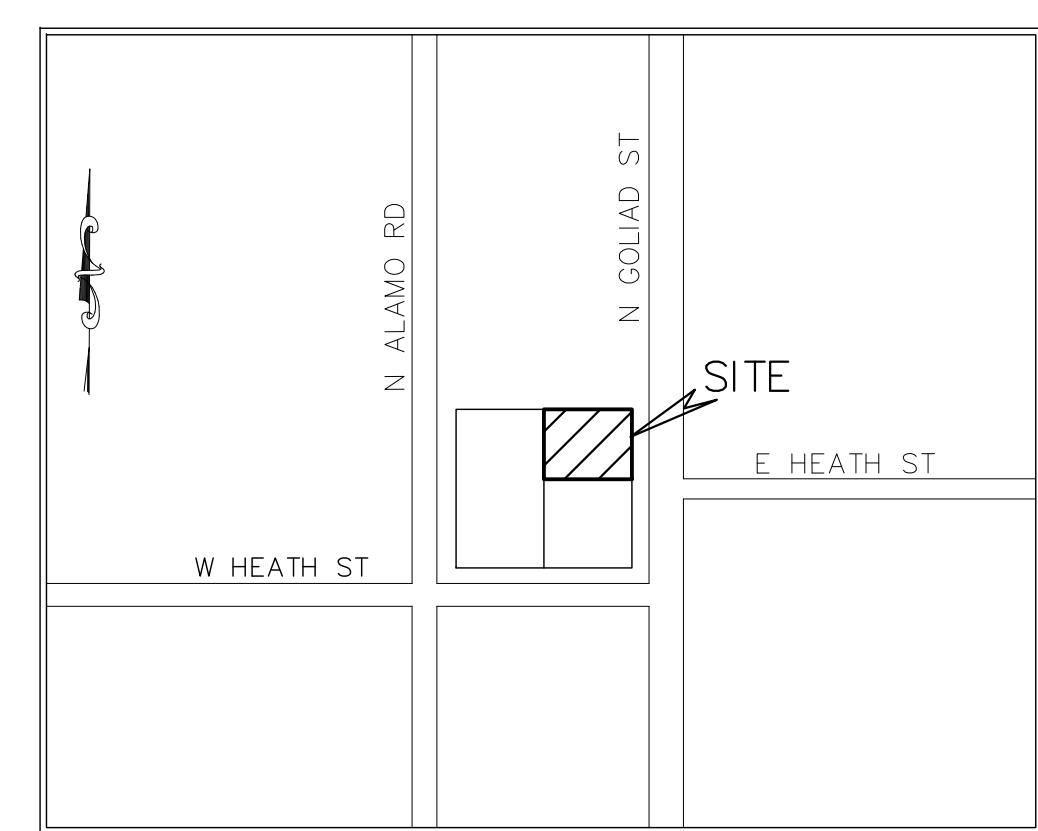
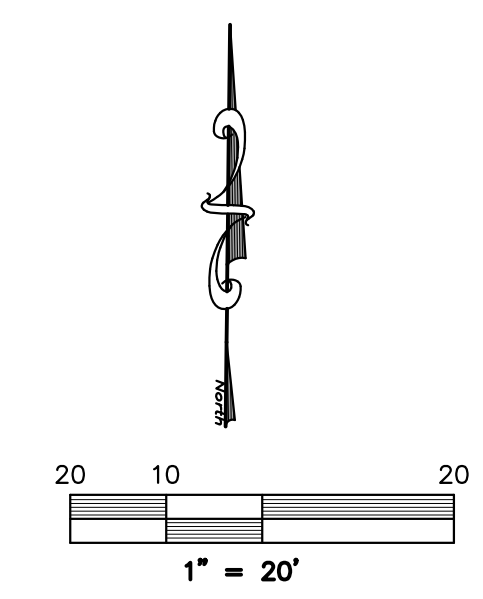
SHRUB PLANTING-SECTION

N.T.S.

GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL. TO GRADE.
- TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.

This electronic drawing file is released under the authority of Steven R. Ryba, registration #1724 on 07-23-07, who maintains the original file. This electronic drawing file may be used as a background drawing. Pursuant to Rule 5.103(f) of the Rules and Regulations of the Texas Board of Architectural Examiners, the user of the electronic drawing file agrees to accept all responsibility for any modification to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modification to the electronic drawing file without the Landscape Architects express written permission.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- FFH = EXISTING FIRE HYDRANT
- WV = EXISTING WATER VALVE
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

SITE DATA:

LOT AREA:
0.24 Acres, 10,454.4 sq. ft.
LOT COVERAGE:
26.7%
FLOOR TO AREA RATIO:
3.75:1
BUILDING AREA:
TOTAL: 2,788 sq.ft.
BUILDING HEIGHT:
1 STORY
PROPOSED USE:
Chiropractic Office
IMPERVIOUS AREA
(including buildings):
6,816.4 sq.ft.
ZONING:
PD50
PARKING:
Required: Medical Office (1/200sf) = 14
Provided:
Handicap = 2
Standard = 22
Total Provided = 24
LANDSCAPE AREA:
Required: (15%) 1,568.14 sq.ft.
Provided: 3,638 sq.ft.

* THERE ARE NO BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #:

SITE & DIMENSION CONTROL PLAN

CHIROPRACTIC CLINIC

205 & W. HEATH
GARNER ADDITION
Blk 26, 0.24 ACRES
City of Rockwall, Rockwall County, Texas 75087

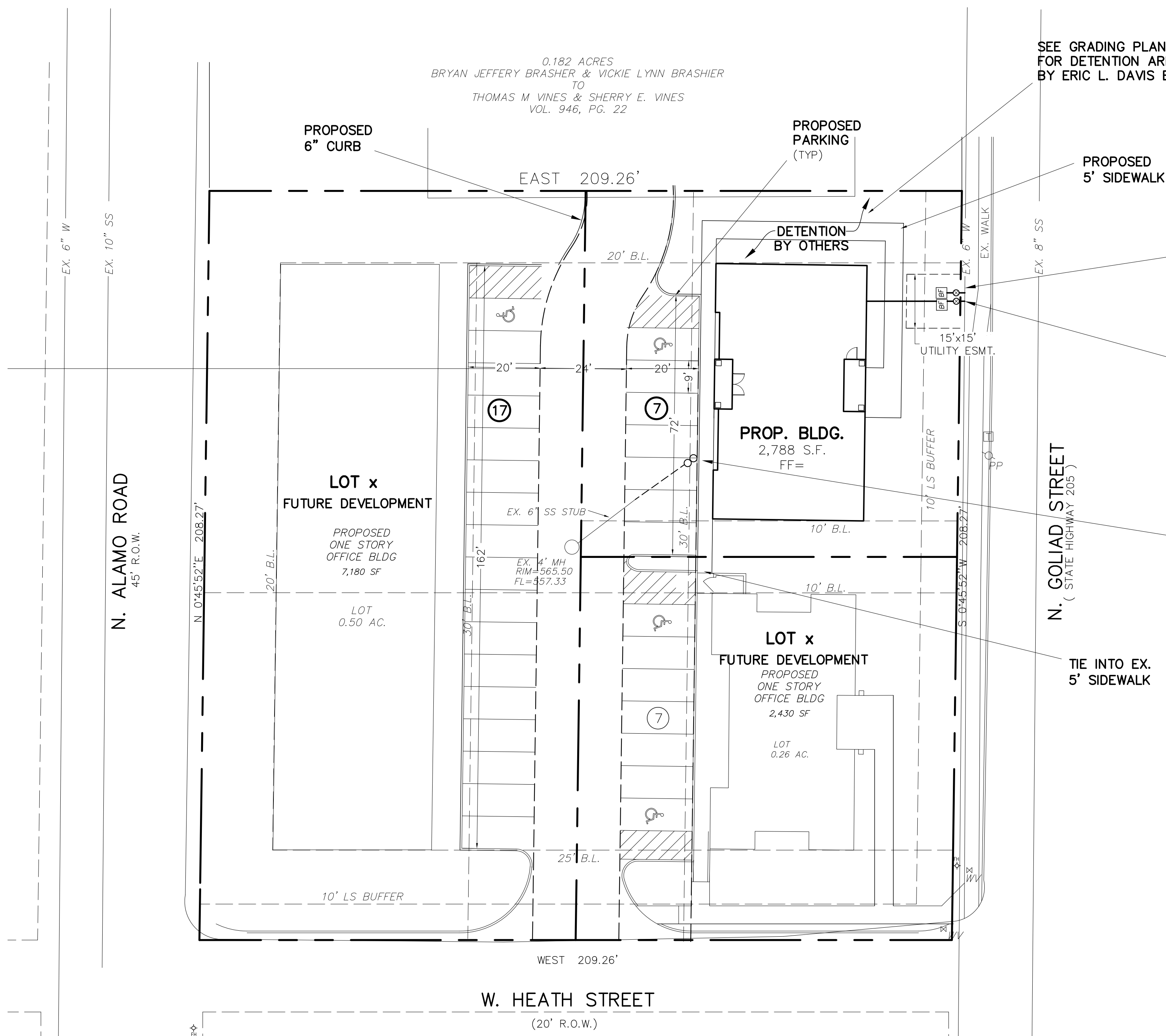
owner:
KEVIN LEFERE
EMAIL: klefere@zanatas.com

prepared by:

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2019 Monk Consulting Engineers, Inc., All Rights Reserved
PROJECT NO.: 2018-18 REG. NO.: F-2567

date: 2/4/19 scale: 1"=20' sheet: C101



SEE GRADING PLAN FOR DETENTION AREA BY ERIC L. DAVIS ENGINEERING, INC.

FOR IRRIGATION SERVICE INSTALL:
(1) 6"x1" TAPPING SLEEVE
(1) 3/4" WATER LINE
(1) 3/4" METER BOX
INSTALL METER IN ESMT.
(IN GRASS) TESTABLE BACKFLOW W/ DBL CHECK

FOR DOMESTIC SERVICE INSTALL:
(1) 6"x1" TAPPING SLEEVE
(1) 1" WATER LINE
(1) 1" METER BOX
INSTALL METER IN ESMT.
(IN GRASS) TESTABLE BACKFLOW W/ DBL CHECK

CONNECT TO EX. 6" SS STUB AND INSTALL DBL @ BLDG

TIE INTO EX. 5' SIDEWALK

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

WARNING:

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

PAVING NOTES:

- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

0.182 ACRES
BRYAN JEFFERY BRASHER & VICKIE LYNN BRASHIER
TO
THOMAS M. VINES & SHERRY E. VINES
VOL. 946, PG. 22



DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

DRAWING: PHOTOMETRIC

SCALE: 1/8" = 1'-0"

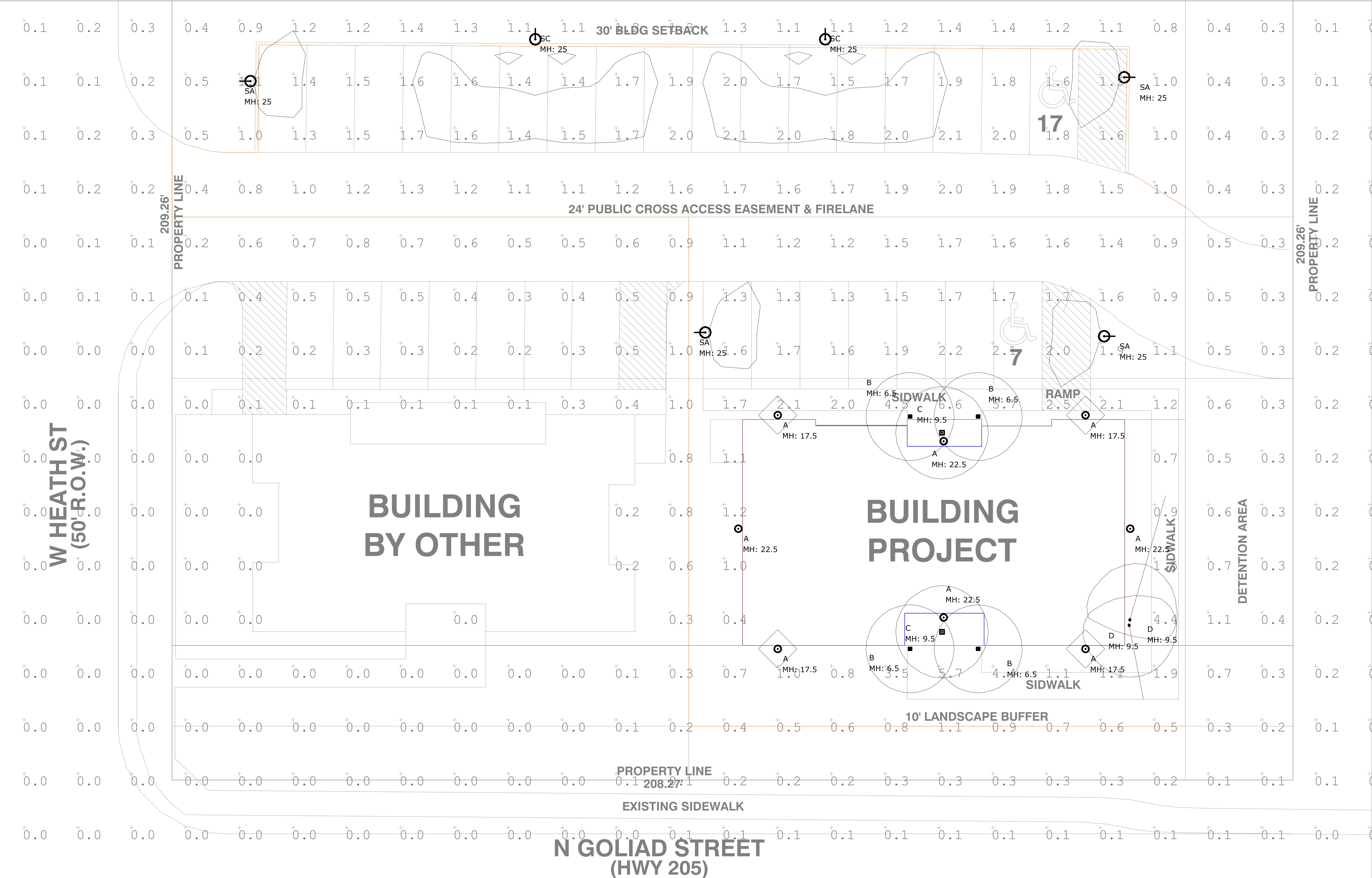
SHEET SIZE: 24 x 36

PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE

LOCATION: 903 N. GOLIAD ST • ROCKWALL • TX • 75087

DATE: 02.03.2019

SHEET NO.: A4 OF



PRELIMINARY PLANS - NOT FOR CONSTRUCTION

Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	A	8	HI LITE_H-15316-B	404	60	1.000	2.261	2.800
□	B	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800
□	C	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800
⊙	SA	4	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R3 FINISH MODIFIED FROM AS1 LED 1 63B530	8224	72.7	1.000	0.460	0.570
⊙	SC	2	ANTIQUE STREET LAMP_EML25 ST 49LED525 4K GCF MVOLT R2 FINISH MODIFIED FROM AS1 LED 1 63B530	8422	72.9	1.000	0.460	1.000
⊙	D	2	LITHONIA_OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.27	6.6	0.0	N.A.
PARKING LOT & DRIVE WAY		Fc	1.67	6.6	0.4	4.18

PARKING LOT & DRIVE WAY

Illuminance (Fc)
 Average = 1.67
 Maximum = 6.6
 Minimum = 0.4
 Avg/Min Ratio = 4.18
 Max/Min Ratio = 16.50

SITE DATA TABLE	
PROPERTY ID	18683
GEOGRAPHIC ID	3790-0026-0ALL-00-0R
ADDRESS	903 N. GOLIAD ST. ROCKWALL, TX
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROXIMATE	
CASE # SP2019-001	



H-15316-B

Warehouse Shade Collection

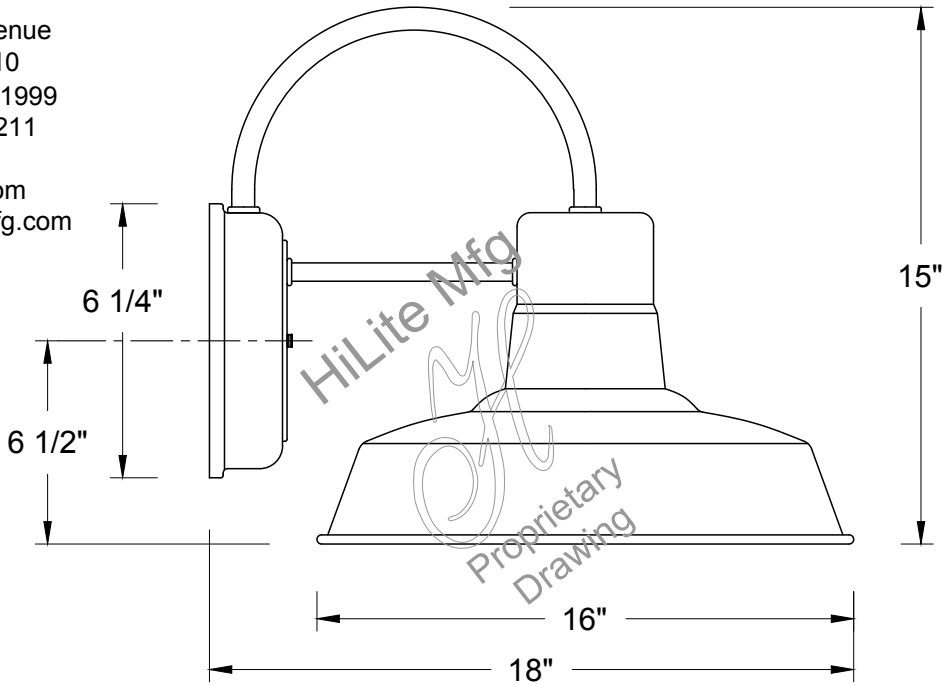
Job Name: _____

Type: _____

Quantity: _____

**HI-LITE MFG.
CO., INC**

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
e-mail: sales@hilitemfg.com



FINISH -Multi-stage pretreatment procedure using materials of polyester/polished powder coat, baking enamel liquid, raw metals, and galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 138, 139, 140, 01, 11, 22, 25, 33, 77, 89.

(Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

MOUNTING - Wall Mount.

ACCESSORIES - CGU(Cast Guard and Glass), LCGU(Large Cast Guard and Glass), WGU(Wire Guard and Glass), LWGU(Large Wire Guard and Glass), ARN(Acorn Globe), LARN(Large Acorn Globe) and WGR(Wire Guard) available.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:

- Incandescent
 - rated 200 watt max/120 volt, medium base.
- Compact Fluorescent(CFL)
 - rated 13/18/26/32/42/57 watt max/120/277 volt, GX24Q base.
- Metal Halide(MH)
 - rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.
- High Pressure Sodium(HPS)
 - rated 50/70/100/150 watt max/120/277 volt, medium base.

Light-Emitted Diode(LED)
-See LED specification sheet.

MADE IN THE U.S.A.

Suitable for wet location.





Hi-Lite Mfg. Co.

LED 2 Series Specifications

Description

The Hi-Lite LED 2 series is a drop-in LED light engine with integrated thermal management and optics. The LED 2 series is available for Open-rated fixtures. The LED 2 series is offered in five lumen outputs: 850, 1250, 2000, 3000, and 4000.

Specifications

- Open-rated fixture only (not rated for use within a sealed fixture or glass enclosure)
- 96° Beam Angle Domed Lens
- 9W, 850lm, 440mA (tested at 4000 K)
- 13W, 1250lm, 440mA (tested at 4000 K)
- 21W, 2000lm, 900mA (tested at 4000 K)
- 31W, 3000lm, 900mA (tested at 4000 K)
- 38W, 4000lm, 900mA (tested at 4000 K)
- ≥ 90 CRI for all CCTs (2700 K, 3000 K, 3500 K, 4000 K)
- 3-year Limited Warranty-LED Module only
- 1-year Limited Warranty-LED Driver only
- Designed to last 50,000 hours at L₇₀



(USE THIS FORMAT TO PLACE ORDER)

Wattage /	Light Source /	Color Temperature /	Dimming Option /	Driver Location -	Voltage
9 (850 lumens)	LED2	27 (2700 K)	Leave blank if dimming is not required.	BCM (Ballast Canopy Mount)	9W & 13W 1 (120V) 2 (277)
13 (1250 lumens)		30 (3000 K)			
21 (2000 lumens)		35 (3500 K)	For 9W and 13W only I (Incandescent) (Not available in 277V) E (0-10V Dimming 10%)		21W, 31W, & 38W M (Multi 120/277)
31 (3000 lumens)		40 (4000 K)			
38 (4000 lumens)					
31	LED2	30		BCM	- M
31/LED2/30/BCM-M					

Ordering Examples:

- 31/LED2/30/BCM-M - 31W, LED2, 3000 K, Non-Dimming, Ballast Canopy Mount, 120/277 V
- 21/LED2/27/E/BCM-M - 21W, LED2, 2700 K, Electronic Dimming, Ballast Canopy Mount, 120/277 V
- 38L2/40/BCM-M - 38W, LED2, 4000 K, Non-Dimming, Ballast Canopy Mount, 120/277 V

- ## Key Features
- Rated for 50,000 hours
 - Min 0°C start up temp

FEISS
EST. 1955

Job Name:

Job Type:

Comments:

Quantity:

OL18013ORB: 1 - Light Outdoor Wall Sconce**Dimensions:**

Length: 6 1/4"
Width: 7"
Height: 14"
Weight: 4.4 lbs.

Extends: 7"
Wire: 8" (color/Black/White)
Mounting Proc.: Universal Mounting Plate
Connection: Mounted To Box

Bulbs:

1 - Medium A19 60w Max. 120v - Not included

Features:

.

Material List:

1 Body - Steel / Aluminum / Glass - Oil Rubbed Bronze

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (OL18002-OL18013)



Collection: Lumiere'

Medium Base Squirrel Cage Antique Bulb Recommended

UPC #:014817528121

Finish: Oil Rubbed Bronze (ORB)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Panel	Glass	Clear Seeded	3									

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	6		3/4			

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship

Individual	OL18013ORB	1	014817528121	16.5	12.25	9.5	1.111	5.8	175	Yes
NJ Pallet		50		48	40	67.5	75	290		No
NV Pallet		50		48	40	67.5	75	290		No

FEISS
EST. 1955

Job Name:

Job Type:

Comments:

Quantity:

F2959/1ORB: 1 - Light Lumiere' Mini Chandelier**Dimensions:**

Length: 9 1/2"

Width: 9 1/2"

Height: 20"

Weight: 9.46 lbs.

Overall Height: 86"**Wire:** 160" (color/Black)**Chain:** 60"**Connection:** Mounted To Box**Bulbs:**

1 - Medium A19 75w Max. 120v - Not included

Features:

.

Material List:

1 Body - Steel / Aluminum / Glass - Oil Rubbed Bronze

Safety Listing:

Safety Listed for Dry Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (F2959-1)

Collection: Lumiere'

Medium Base Squirrel Cage Antique Bulb Recommended

UPC #:014817527780**Finish:** Oil Rubbed Bronze (ORB)**Backplate / Canopy Details:**

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Canopy	1 1/8					

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	F2959/1ORB	1	014817527780	24.5	13	16.25	2.995	12.5	175	Yes
NJ Pallet		24		48	40	68	75.556	300		No
NV Pallet		20		48	40	69.75	77.5	253		No



OLF 2RH LED with Motion Occupancy Security Floodlight

Catalog
Number

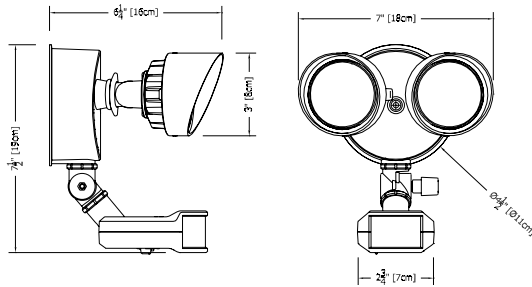
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Width:	7.00" (17.8 cm)
Height:	7.5" (19.1 cm)
Depth:	6.25" (15.9 cm)
Weight:	1.5 lbs. (0.68 kg)



Introduction

The OLF 2RH LED security floodlight featuring motion occupancy technology, combines powerful LED security lighting with motion response light-on-detection. Features include 180 degree range/70ft forward detection, built-in photocell to prevent daylight operation, sensor sensitivity adjustment and a test/time switch to adjust duration lights stay illuminated.

Delivering 2,160 lumens, at only 25 input watts, OLF 2RH replaces up to (2) 90W PAR incandescent lamps offering 86% energy savings. Motion Occupancy (MO) combined with enhanced design features and breadth of options make the OLF family the best choice for residential and commercial applications that require reliable security lighting.

Ordering Information

EXAMPLE: OLF 2RH 40K 120 MO BZ

OLF					
Series	Number of heads	Color Temperature ¹	Voltage	Control	Finish
OLF	2RH 2 heads, round	40K 4000K ¹	120 120 volts	MO PIR motion detection with photocell	BZ Bronze WH White

Complete list of configurations available:

OLF 2RH 40K 120 MO BZ
OLF 2RH 40K 120 MO WH

NOTES

- Correlated color temperature (CCT) shown is nominal per ANSI C78, 377-2008.
- LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.

FEATURES & SPECIFICATIONS

INTENDED USE

25 watt LED wall or ceiling mount security floodlight delivers 2,160 lumens for an energy-efficient replacement of (2) 90W incandescent security lights. The OLF LED provides years of maintenance-free general illumination for outdoor applications. OLF 2RH with option MO turns LED's on when occupants in the space are detected. Ideal for entrances, walkways, corridors, yards, driveways and patios.

CONSTRUCTION

Rugged cast-aluminum, corrosion-resistant housing with dark bronze or white polyester powder paint for lasting durability. Motion sensor features corrosion resistant thermo-plastic housing. LED lamp heads are thermally isolated from the driver that is located in the rear housing, promoting a long service life. Lenses are sealed to keep out moisture, dirt and bugs. LEDs maintain 70% of light output at 50,000 hours of service life².

ELECTRICAL

Consumes 25 input watts utilizing 120V 60Hz driver. The OMS1000 motion detection head controls turning LED's on/off when occupancy is detected within the space. Detection range is 180 degrees at 70ft forward detection. A built-in photocell is included to prevent daylight

operation. See diagram and installation instructions for more information. Rated for outdoor installations, -40°C minimum ambient.

INSTALLATION

Mounts to a recessed junction box on wall or ceiling. Crossbar and hardware provided. Wet location listed for mounting 4 feet above ground. Tool-less adjustable heads allow for precise aiming. Neighbor-friendly visors are adjustable or removable.

LISTINGS

UL/cUL listed Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

Five-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

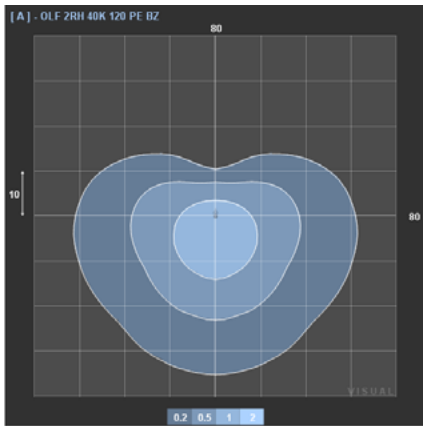


Photometric Diagrams

Full photometric data report available within 2 weeks from request. Contact Acuity tech support.

LEGEND

- 0.1 fc
- 0.2 fc
- 0.5 fc
- 1.0 fc



Lighting Facts Labels

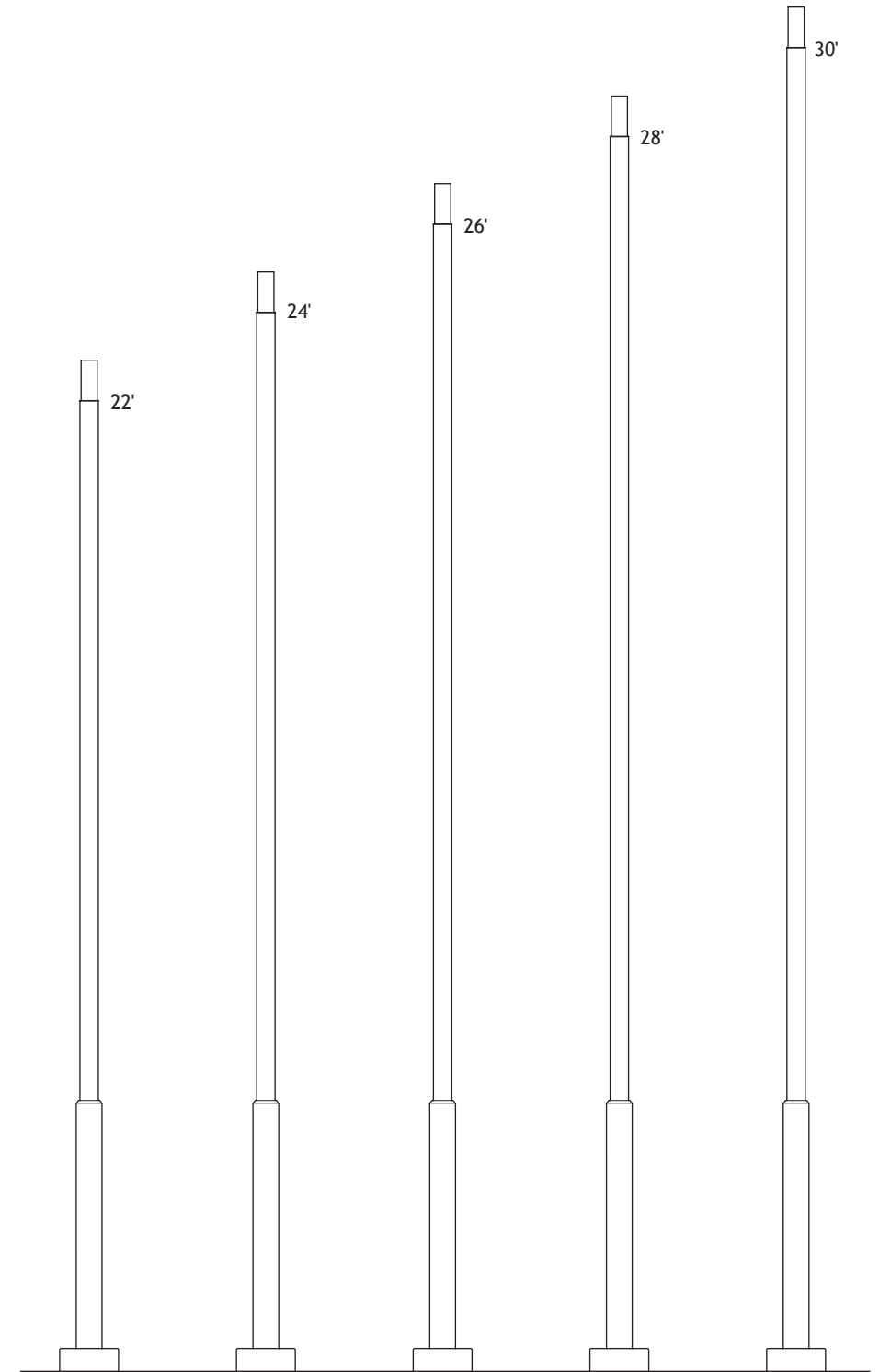
LED lighting facts A Program of the U.S. DOE	
Light Output (Lumens)	2159
Watts	25.31
Lumens per Watt (Efficacy)	85.3
Color Accuracy Color Rendering Index (CRI) 70	
Light Color Correlated Color Temperature (CCT) 4000 (Bright White)	
<small>All results are according to IESNA LM-79-2008: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.</small>	
<small>Visit www.lightingfacts.com for the Label Reference Guide.</small>	
<small>Registration Number: NJSM-Z18BGO (8/10/2015) Model Number: OLF 2RH 40K 120 XX Type: Luminaire - Other</small>	

OLF with motion occupancy features OMS1000 sensor head (Please refer to installation instructions for more information).



EUROTIQUE™ STEEL POLES

5"Ø/7"Ø • 22'-30' tall



EPSX 22 S5S7 finish EPSX 24 S5S7 finish EPSX 26 S5S7 finish EPSX 28 S5S7 finish EPSX 30 S5S7 finish

SPECIFICATIONS

DESCRIPTION

The lighting poles shall be one-piece all steel construction with an aluminum two-piece base cover. The poles shall have a stepped shaft with integral anchor/base plate. All welding shall be per ANSI/AWS D1.1. All welders shall be certified. The poles shall be Antique Street Lamps' catalog number **EPSX XX S5S7 finish**.

MATERIALS

The poles and anchor plates shall be steel. The base cover and handhole cover shall be cast aluminum. All exposed hardware shall be tamper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized. Partially galvanized bolts are not acceptable.

DIMENSIONS

The poles shall be X'-XX" in height with a 16" diameter base cover. An integral 4.375" O.D. x 11" tenon shall be provided at the top for mounting Eurotique 5" arms (exceptions following). A 4.375" O.D. x 8" tenon shall be provided for mounting Eurotique arm EAL5. No tenon shall be provided at the top when mounting Eurotique arm EAK5 which has an internal tenon.

INSTALLATION

The one-piece poles shall be provided with four 1.25" diameter by 42" long, L-type anchor bolts to be installed on an 11" diameter bolt circle. A handhole with cover shall be provided in the lower shaft section for wiring access. A grounding screw shall be provided inside the handhole. Eight set screws shall be provided at the top when mounting Eurotique arm EAK5.

For finish specifications and color options, see "Finish" section in catalog.

EUROTIQUE™
Architectural Lighting

ANTIQUE Street Lamps

An **Acuity** Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758

Ph (512) 977-8444 • Fax (512) 977-9622

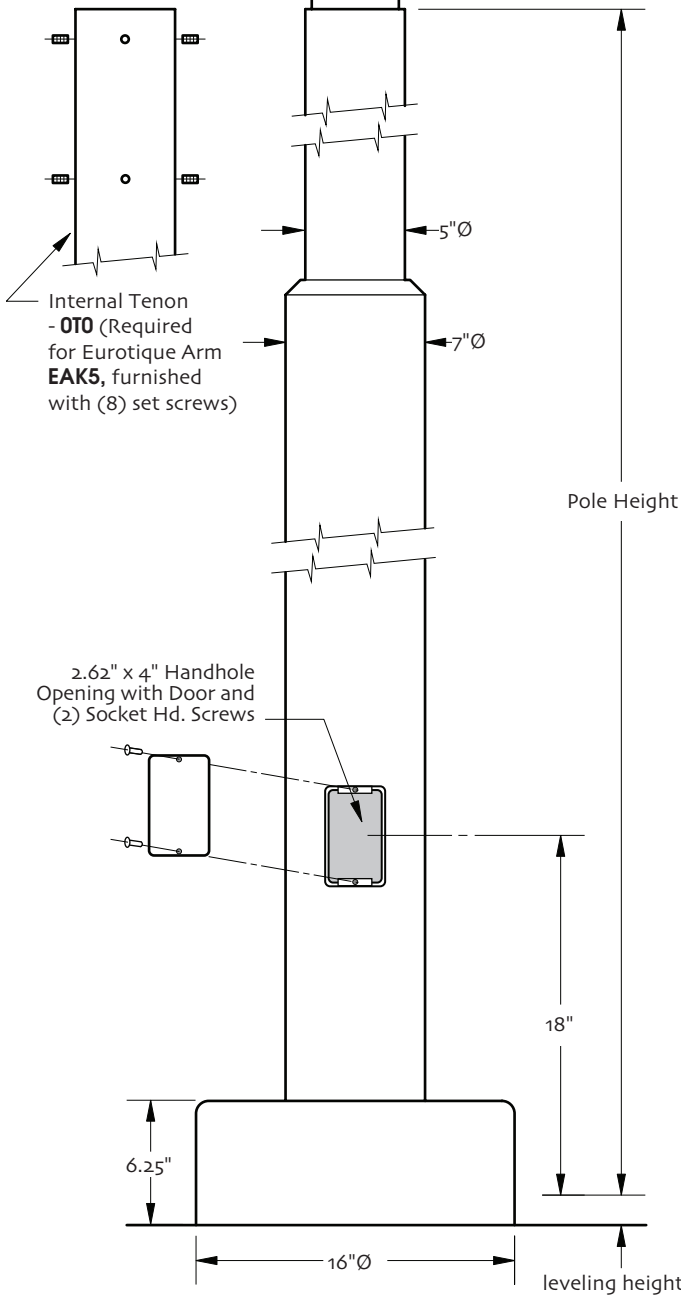
www.antiquestreetlamps.com

EUROTIQUE™ STEEL POLES

5"Ø/7"Ø • 22' - 30' tall

4.375" O.D. x 11" High Tenon
4-3/8T11 (standard)

4.375" O.D. x 8" High Tenon
4-3/8T8 (Required for Eurotique Arm EAL5)



ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

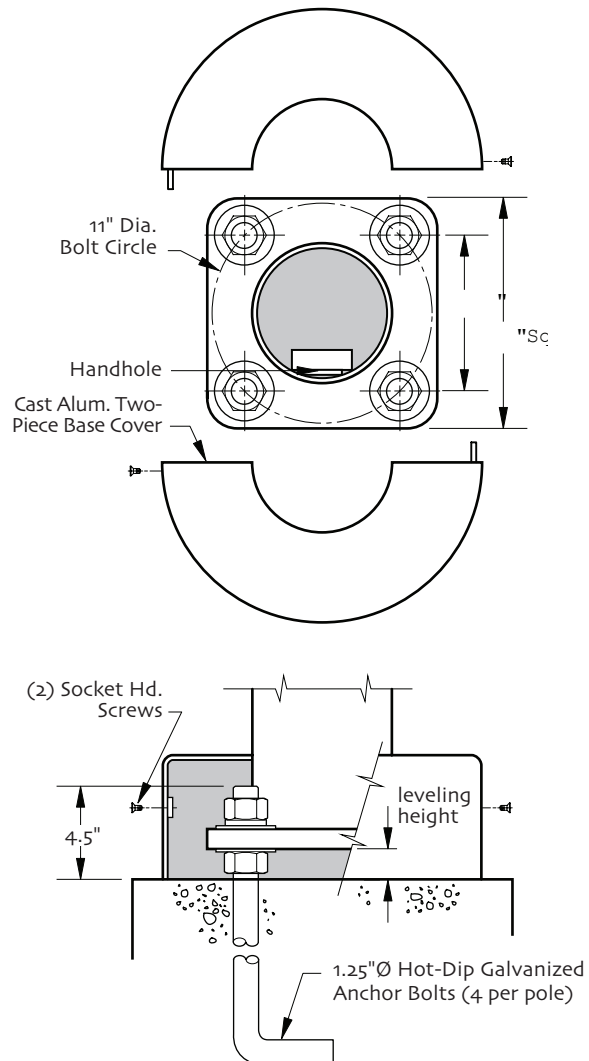
Example: **EPSX 22 S5S7 4-3/8T11 ANPP Options**

Pole Series	Height	Finish ¹
EPSX	22	ANBK Black
EUROTIQUE™ Poles Steel	24	ANDB Dark Bronze
	26	ANDG Dark Green
	28	ANVG Verde Green
	30	ANPP Prime Painted
		CM Custom Match
		CS Custom Select RAL colors
Shaft Type		Options
S5S7	5" dia. / 7" dia. shaft	Receptacles
Tenon		Flagpole Holders
4-3/8T11	Standard Tenon	(see Accessories section in the catalog or contact Antique Street Lamps)
4-3/8T8	Tenon for Arm EAL5	
OTO	Tenon for Arm EAK5	

NOTES:

1. For finish specifications and color options, see **Finish** section in catalog or contact Antique Street Lamps.

ANCHORAGE GUIDE



ANTIQUE Street Lamps
An **Acuity** Brands Company

2011-B.W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

ANTIQUE STREET LAMPS™

EML25 LED MUNICH PENDANT

CATALOG # _____

PROJECT _____

TYPE _____



This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNJP6 option when ordering 4" arm); see arm specification sheets for details on mounting options.



Max EPA: 1.86 sq feet
Max Height: 26-1/2" (67.3cm)
Max Width: 25" (63.5cm)
Max Weight: 60 lbs (27.2 kg)
Listing: CSA listed for wet locations

Sample Catalog number:

EML25	ST	49LED 350MA	3K	GCF	MVOLT	R3	SF	DBL
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distrib.	Options	Finish

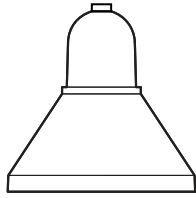
Ordering Guide:

Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distribution	Options	Finish
EML25	ST RT FT	49LED 350MA 49LED 525MA 63LED 350MA 63LED 525MA	3K 4K 5K	GCF GCSG	MVOLT 120 208 240 277 347 480	R2 R3 R4 R5	SF DF SPD	DBL DDB DNA DWH CS CM ANBK ANDB ANDG ANVG

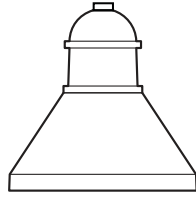
Data is considered accurate as of the revision date shown.
 Antique Street Lamps reserves the right to modify specifications without notice.

EML25 LED

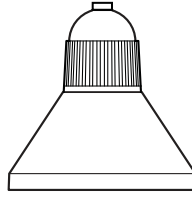
BASE



ST
Smooth



RT
Ringed



FT
Fluted

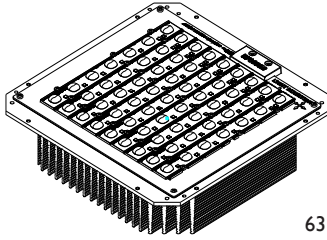
SELECT YOUR OPTIONS FROM

- ST** Smooth Ballast Housing
- RT** Ringed Ballast Housing
- FT** Fluted Ballast Housing

Notes:

Must select ST, RT, or FT style; optional IDS feature can be specified in addition to any selection (ex: EHL16 GCF ST IDS)

SOURCE AND WATTAGE



63LED light engine module

SELECT YOUR CHOICE FROM

- 49LED 350MA** 49 chips, 350 mA
- 49LED 525MA** 49 chips, 525 mA
- 63LED 350MA** 63 chips, 350 mA
- 63LED 525MA** 63 chips, 525 mA

Performance Package	Lens Type	Dist.	Input Watts	3000K CCT (opt)			4000K CCT (opt)			5000K CCT (opt)			L70 Life (hrs) @ 25°C
				Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	
63LED 350mA	GCSG	R3	72.7	6421	88.32	66	6421	88.32	66	6421	88.32	66	70000
		R4	72.5	6272	86.51	66	6272	86.51	66	6272	86.51	66	70000
		R5	72.4	6657	91.95	66	6657	91.95	66	6657	91.95	66	70000

Data is considered accurate as of the revision date, shown in the highest operating temperature available.

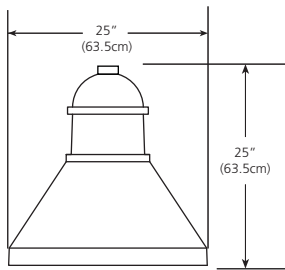
Antique Street Lamps reserves the right to modify specifications without notice.

COLOR TEMP

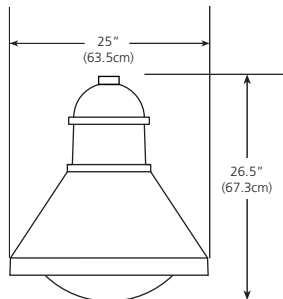
SELECT YOUR OPTIONS FROM

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K

LENS OPTION



GCF
Glass, Clear Flat



GCSG
Glass, Clear Sag

SELECT YOUR OPTIONS FROM

- GCF** Glass, Clear Flat (Standard)
- GCSG** Glass, Clear Sag



Notes:

Nighttime Friendly™ distributions available with GCF lens only.

EML25 LED

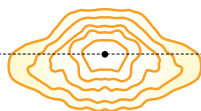
VOLTAGE

SELECT YOUR OPTIONS FROM

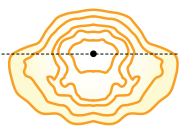
- MVOLT** MVOLT
- 120** 120V
- 208** 208V
- 240** 240V
- 277** 277V
- 347** 347V
- 480** 480V

DISTRIBUTION

House Side
Street Side



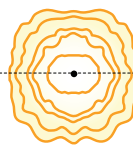
R2
Type II
Distributes light slightly ahead of luminaire location with significant lateral spread.



R3
Type III
Provides light farther ahead of the luminaire than a Type II pattern but maintains a significant lateral spread.



R4
Type IV
Sharp Cutoff
Distributes light almost exclusively forward with an emphasis on eliminating light trespass and spill light behind the pole.



R5
Type V
Provides improved uniformity with a variance of the Type V distribution with a slightly square pattern compared to the regular Type V.

SELECT YOUR OPTIONS FROM

- R2** Type II
- R3** Type III
- R4** Type IV
- R5** Type V

OPTIONS

SELECT YOUR OPTIONS FROM

(Fuse Not Included)

- SF** Single Fuse
- DF** Double Fuse
- SPD** Surge Protection Device

FINISH

The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.








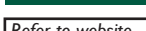
For a complete listing of colors, visit:
www.acuitybrandslighting.com/architecturalcolors

Notes:

- Consult factory for CM option.

Data is considered accurate as of the revision date shown.
Antique Street Lamps reserves the right to modify specifications without notice.

SELECT YOUR OPTIONS FROM

- DBL** Black 
- DDB** Dark Bronze 
- DNA** Natural Aluminum 
- DWH** White 
- CS** Custom Select (RAL colors)
- CM** Custom Match
- ANBK** ASL Black 
- ANDB** ASL Dark Bronze 
- ANDG** ASL Dark Green 
- ANVG** ASL Verde Green  Refer to website

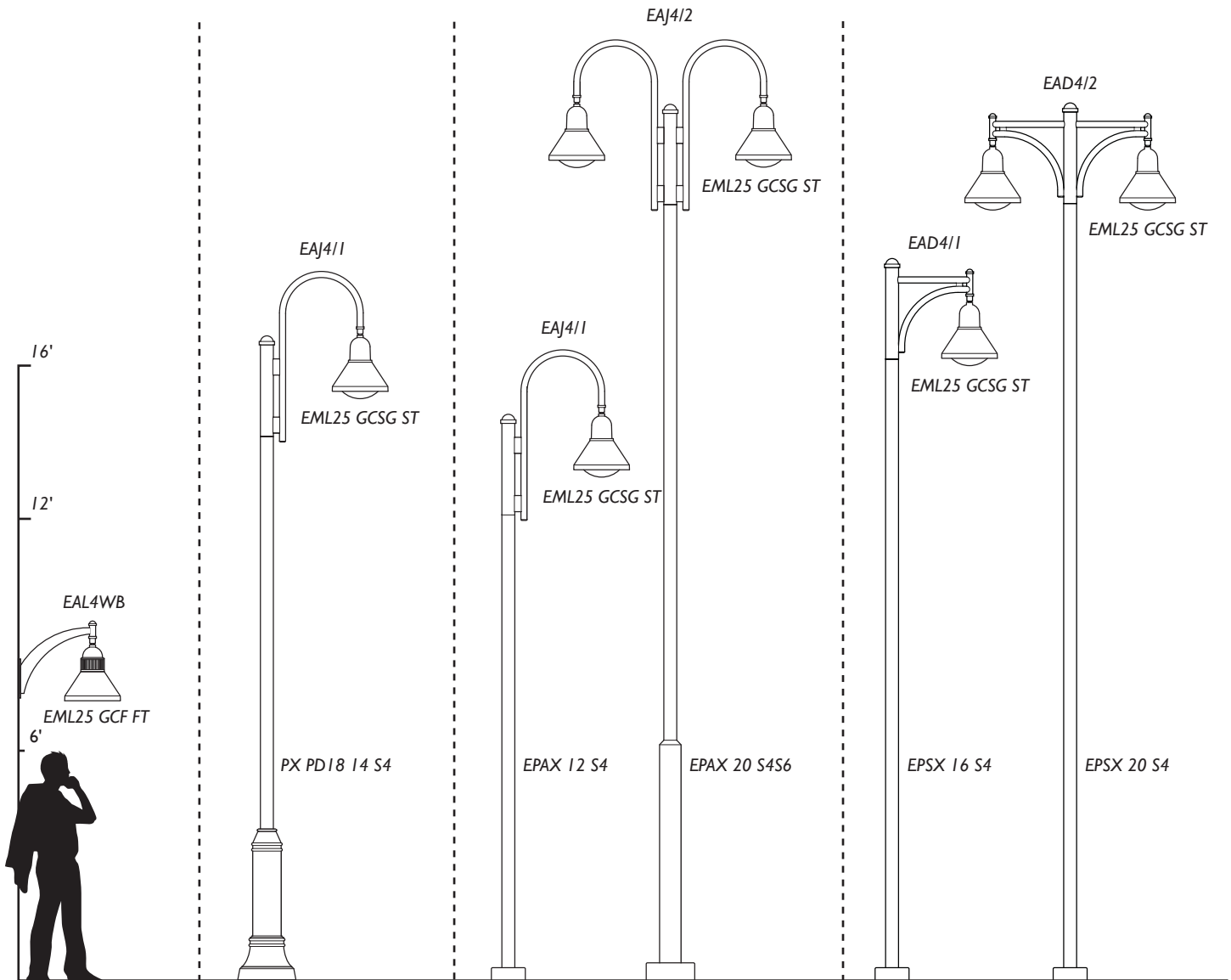
EML25 LED

PENDANT WALL
BRACKET SERIES

PHILADELPHIA
SERIES
CAST ALUMINUM POST

URBAN ALUMINUM
POLE SERIES

URBAN STEEL
POLE SERIES



For detailed product specifications for Poles and Arm/Wall Mount see the Antique Street Lamps website.

CATALOG # _____

PROJECT _____

TYPE _____



This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNJP6 option when ordering 4" arm); see arm specification sheets for details on mounting options.



Max EPA: 1.86 sq feet
Max Height: 26-1/2" (67.3cm)
Max Width: 25" (63.5cm)
Max Weight: 60 lbs (27.2 kg)
Listing: CSA listed for wet locations

Sample Catalog number:

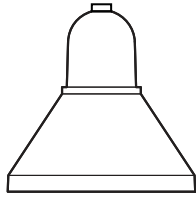
EML25	ST	49LED 350MA	3K	GCF	MVOLT	R3	SF	DBL
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distrib.	Options	Finish

Ordering Guide:

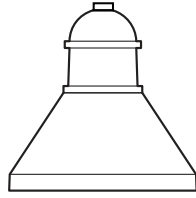
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distribution	Options	Finish
EML25	ST RT FT	49LED 350MA 49LED 525MA 63LED 350MA 63LED 525MA	3K 4K 5K	GCF GCSG	MVOLT 120 208 240 277 347 480	R2 R3 R4 R5	SF DF SPD	DBL DDB DNA DWH CS CM ANBK ANDB ANDG ANVG

Data is considered accurate as of the revision date shown.
 Antique Street Lamps reserves the right to modify specifications without notice.

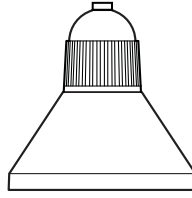
BASE



ST
Smooth



RT
Ringed



FT
Fluted

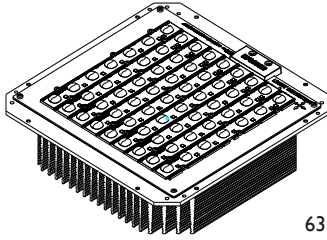
SELECT YOUR OPTIONS FROM

- ST** Smooth Ballast Housing
- RT** Ringed Ballast Housing
- FT** Fluted Ballast Housing

Notes:

Must select ST, RT, or FT style; optional IDS feature can be specified in addition to any selection (ex: EHL16 GCF ST IDS)

SOURCE AND WATTAGE



63LED light engine module

SELECT YOUR CHOICE FROM

- 49LED 350MA** 49 chips, 350 mA
- 49LED 525MA** 49 chips, 525 mA
- 63LED 350MA** 63 chips, 350 mA
- 63LED 525MA** 63 chips, 525 mA

Performance Package	Lens Type	Dist.	Input Watts	3000K CCT (opt)			4000K CCT (opt)			5000K CCT (opt)			L70 Life (hrs) @ 25°C
				Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	
63LED 350mA	GCSG	R3	72.7	6421	88.32	66	6421	88.32	66	6421	88.32	66	70000
		R4	72.5	6272	86.51	66	6272	86.51	66	6272	86.51	66	70000
		R5	72.4	6657	91.95	66	6657	91.95	66	6657	91.95	66	70000

Data is considered accurate as of the revision date, shown in the highest operating temperature available.

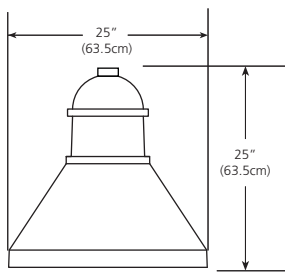
Antique Street Lamps reserves the right to modify specifications without notice.

COLOR TEMP

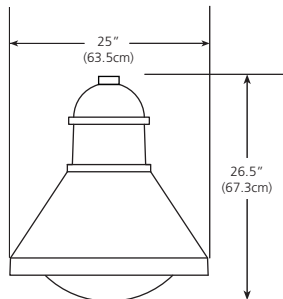
SELECT YOUR OPTIONS FROM

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K

LENS OPTION



GCF
Glass, Clear Flat



GCSG
Glass, Clear Sag

SELECT YOUR OPTIONS FROM

- GCF** Glass, Clear Flat (Standard)
- GCSG** Glass, Clear Sag



Notes:

Nighttime Friendly™ distributions available with GCF lens only.

EML25 LED

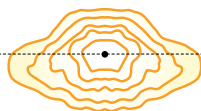
VOLTAGE

SELECT YOUR OPTIONS FROM

- MVOLT** MVOLT
- 120** 120V
- 208** 208V
- 240** 240V
- 277** 277V
- 347** 347V
- 480** 480V

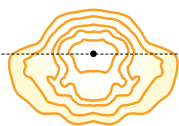
DISTRIBUTION

House Side
Street Side



R2 Type II

Distributes light slightly ahead of luminaire location with significant lateral spread.



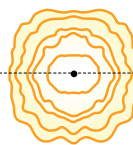
R3 Type III

Provides light farther ahead of the luminaire than a Type II pattern but maintains a significant lateral spread.



R4 Type IV

Sharp Cutoff
Distributes light almost exclusively forward with an emphasis on eliminating light trespass and spill light behind the pole.



R5 Type V

Provides improved uniformity with a variance of the Type V distribution with a slightly square pattern compared to the regular Type V.

SELECT YOUR OPTIONS FROM

- R2** Type II
- R3** Type III
- R4** Type IV
- R5** Type V

OPTIONS

SELECT YOUR OPTIONS FROM

(Fuse Not Included)

- SF** Single Fuse
- DF** Double Fuse
- SPD** Surge Protection Device

FINISH

The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.








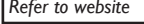
For a complete listing of colors, visit:
www.acuitybrandslighting.com/architecturalcolors

Notes:

- Consult factory for CM option.

Data is considered accurate as of the revision date shown.
Antique Street Lamps reserves the right to modify specifications without notice.

SELECT YOUR OPTIONS FROM

- DBL** Black 
- DDB** Dark Bronze 
- DNA** Natural Aluminum 
- DWH** White 
- CS** Custom Select (RAL colors)
- CM** Custom Match
- ANBK** ASL Black 
- ANDB** ASL Dark Bronze 
- ANDG** ASL Dark Green 
- ANVG** ASL Verde Green 

Refer to website

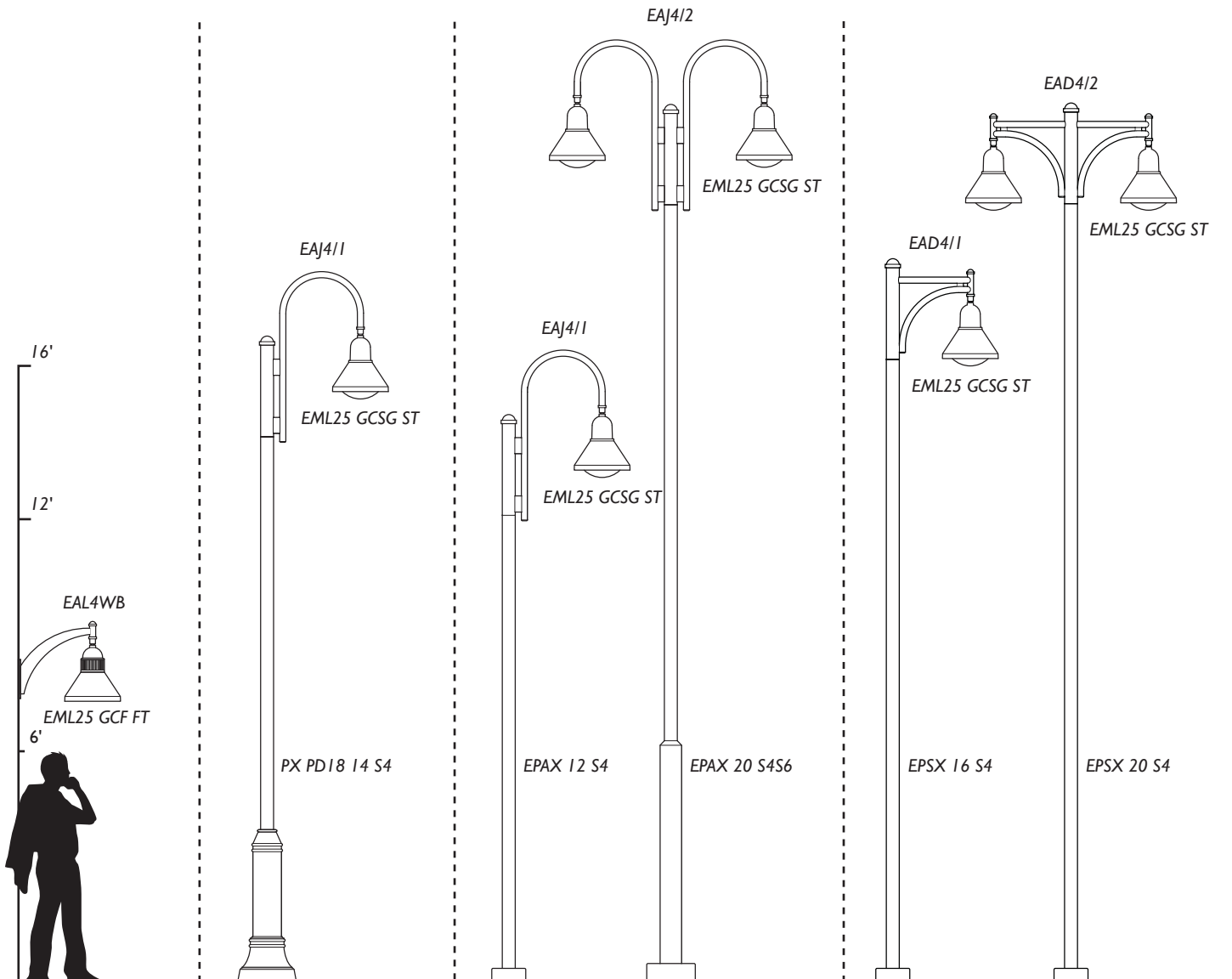
EML25 LED

PENDANT WALL
BRACKET SERIES

PHILADELPHIA
SERIES
CAST ALUMINUM POST

URBAN ALUMINUM
POLE SERIES

URBAN STEEL
POLE SERIES



For detailed product specifications for Poles and Arm/Wall Mount see the Antique Street Lamps website.



February 14, 2019

ATTN: REESE BAEZ
TRISTON GENERAL CONTRACTOR
609 S. GOLIAD STREET, SUITE 1101
ROCKWALL, TX 75087

RE: SITE PLAN (SP2019-001), T3 Chiropractic

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 02/12/2019. The following is a record of all recommendations, voting records and conditions of approval:

HISTORIC PRESERVATION ADVISORY BOARD (HPAB):

On December 20, 2018, the Historic Preservation Advisory Board (HPAB) reviewed the applicant's request and passed a motion to approve a Certificate of Appropriateness (COA) by a vote of 4-0 with Board Members Bowlin, Mishler, and Francisco absent.

ARCHITECTURAL REVIEW BOARD (ARB):

On January 29, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval of the site plan by a vote of 7-0.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a medical office building on the subject property, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to submittal of a building permit;*
- (2) The parking lot shall be screened from the residential properties located to the north; and*
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*



PLANNING AND ZONING COMMISSION:

On February 12, 2019, the Planning and Zoning Commission's motion to approve the site plan passed by a vote of 7-0.

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

A handwritten signature in blue ink, appearing to read "Korey Brooks".

Korey Brooks, AICP
Senior Planner
Planning & Zoning Department
City of Rockwall, TX