## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

P&Z CASE # 1009-040 P&Z DATE 1112	2019 CC DATE 11/18/2019 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE	HPAB DATE PARK BOARD DATE
ZONING APPLICATION         SPECIFIC USE PERMIT         ZONING CHANGE         PD CONCEPT PLAN         PD DEVELOPMENT PLAN         PD DEVELOPMENT PLAN         SITE PLAN APPLICATION         SITE PLAN         LANDSCAPE PLAN         TREESCAPE PLAN         PHOTOMETRIC PLAN         BUILDING ELEVATIONS         MATERIAL SAMPLES         COLOR RENDERING	<ul> <li>COPY OF ORDINANCE (ORD.#)</li> <li>APPLICATIONS</li> <li>RECEIPT</li> <li>LOCATION MAP</li> <li>HOA MAP</li> <li>PON MAP</li> <li>FLU MAP</li> <li>Stuber PUBLIC NOTICE</li> <li>STAFF REPORT</li> <li>CORRESPONDENCE</li> <li>COPY-ALL PLANS REQUIRED</li> <li>COPY-MARK-UPS</li> <li>CITY COUNCIL MINUTES-LASERFICHE</li> <li>MINUTES-LASERFICHE</li> <li>PLAT FILED DATE</li></ul>
	NOTES:
PLATTING APPLICATION     MASTER PLAT	
PRELIMINARY PLAT	
REPLAT ADMINISTRATIVE/MINOR PLAT	ZONING MAP UPDATED
LANDSCAPE PLAN	
TREESCAPE PLAN	

#### STAFF USE ONI **DEVELOPMENT APPLICATION** PLANNING & ZONING CASE NO. NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE City of Rockwall CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE **Planning and Zoning Department** SIGNED BELOW. 385 S. Goliad Street DIRECTOR OF PLANNING: Rockwall, Texas 75087 **CITY ENGINEER:** Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]: **Zoning Application Fees: Platting Application Fees:** [ ] Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup> [ ] Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup> [] Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup> [] Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup> ] PD Development Plans (\$200.00 + \$15.00 Acre) 1 [ Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup> [ ] Replat (\$300.00 + \$20.00 Acre)<sup>1</sup> **Other Application Fees:** [ ] Amending or Minor Plat (\$150.00) [ ] Tree Removal (\$75.00) [ ] Plat Reinstatement Request (\$100.00) [ ] Variance Request (\$100.00) Site Plan Application Fees: Notes: [ ] Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup> <sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the [ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00) per acre amount. For requests on less than one acre, round up to one (1) acre. **PROPERTY INFORMATION** [PLEASE PRINT] Address 501 Clark St bdivision B.F. Boyston Sorvey Lot Block Subdivision 0.91 acres **General Location** ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] RESIDDUTIAL REGIDENTIA Current Use **Current Zoning** 587 **Proposed Zoning** Proposed Use Lots [Proposed] Lots [Current] Acreage [] SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case. **OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] KYLE BRY M + BROOKE [ ] Applicant [] Owner PERFY BOWEN 401 E KANFMAN ROCKWAR TY 75087 **Contact Person Contact Person** Address Address City, State & Zip City, State & Zip Phone Phone phowenhomesesbeglobal.net E-Mail E-Mail NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared Perry K, Bower [Owner] the undersigned, who stated the information on this application to be true and certified the following: "I hereby certify that I am the owner for the purpose of this application; all information sybmitted herein is true and correct; and the application fee of \$ 32 cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_ beto bec\_\_\_\_\_\_, 20 4 . By signing this application , 20 4 . By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information." Given under my hand and seal of office on this the 18th day of October, 2019 TANYA BUEHLER Notary Public, State of Texa: **Owner's Signature** Comm. Expires 02-02-2021 Notary ID 130991925 Notary Public in and for the State of Texas • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727 DEVELOPMENT APPLICATION . CITY OF ROCKWALL



### DEVELOPMENT REVIEW COMMITTEE (DRC) CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745 Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications Jim Friske, Charter Communications Dinah Wood, Atmos Randy Voight, Oncor Phillip Dickerson, Oncor Brian Duncan, AT&T Javier Fernandez, RISD Brenda Callaway, TXDOT Stephen Geiger, Farmer's Electric Frank Spataro, Farmer's Electric

Internal Review:

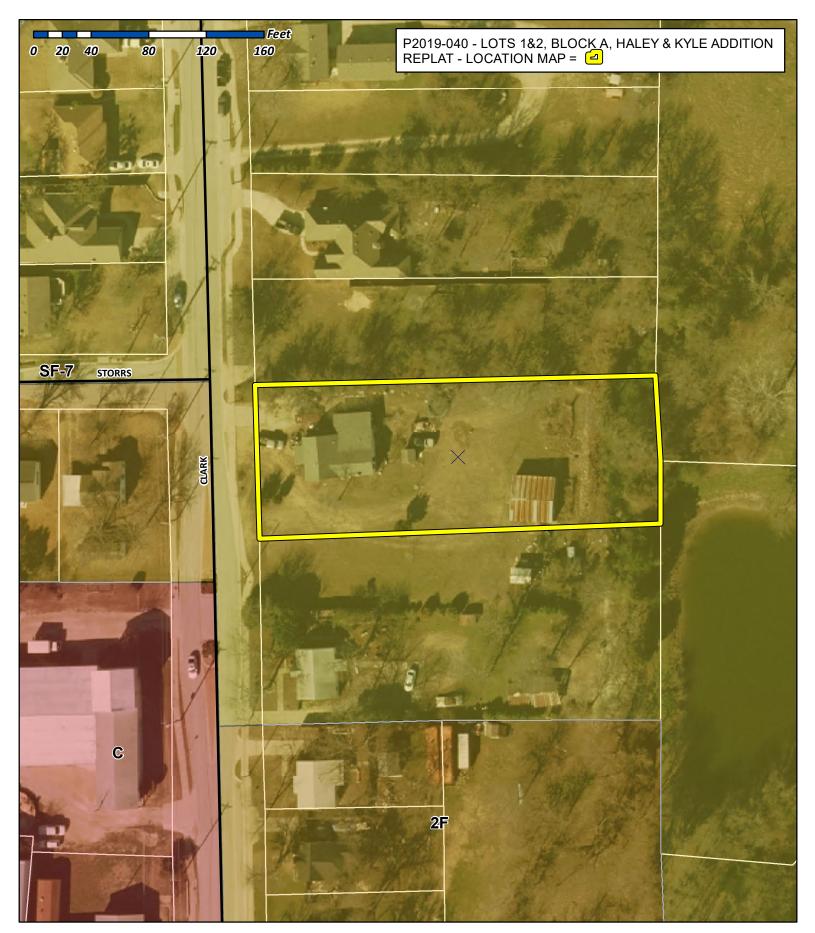
Amy Williams, Engineering John Shannon, Building Inspections Ariana Hargrove, Fire Andy Hesser, Parks Andy Villarreal, Police

From: Planning & Zoning Department

Date: 10/21/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, . Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

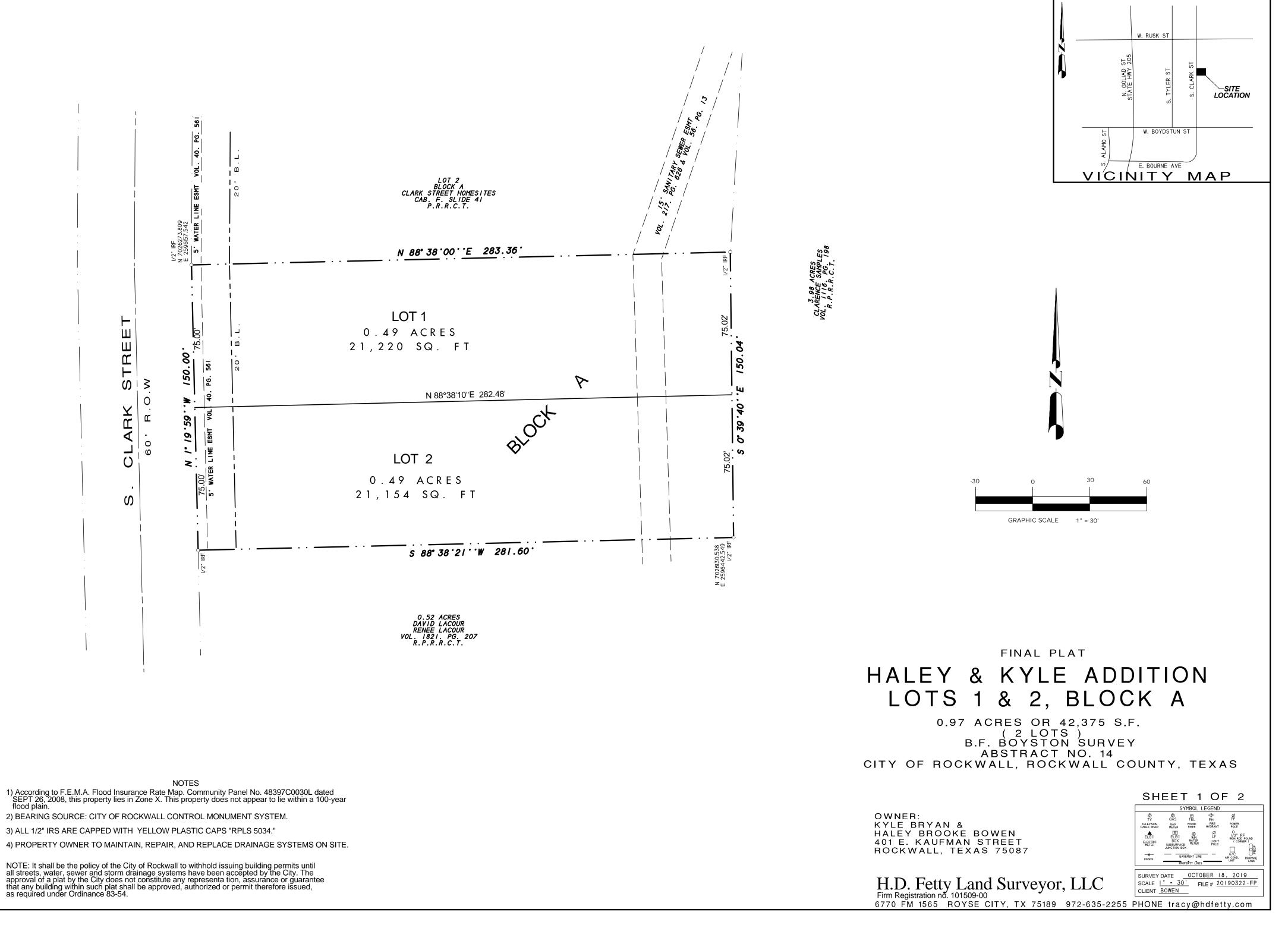
Project Number:	P2019-040
Project Name:	Lots 1&2, Block A, Haley & Kyle Addition
Project Type:	PLAT
Applicant Name:	KYLE BRYAN AND BROOKE
Owner Name:	SAUCEDO, RAUL &
Project Description:	





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com





STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 20190000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

## STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been partief and signed this plat. subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

**KYLE BRYAN** 

HALEY BROOKE BOWEN

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_

Notary Public in and for the State of Texas

My Commission Expires:

	•	at I prepared this plat monuments shown thereon
Harold D. Fetty, III Registered Professional Land Surveyo	r No. 5034	HAROLD D. FETTY III $\gamma_{A} \in G^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in G^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in S^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in S^{(STER_{E})} \rightarrow \gamma_{G}$
RECOMMENDED FOR FINAL APPRC	DVAL	
Planning and Zoning Commission	Date	
APPROVED		
I hereby certify that the above and fore BLOCK A, an addition to the City of Ro was approved by the City Council of the This approval shall be invalid unless the		
This approval shall be invalid unless th office of the County Clerk of Rockwall, from said date of final approval. Said addition shall be subject to all the		
City of Rockwall.	day of	
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Mayor, City of Rockwall	City Secretary (	City of Rockwall
City Engineer	Date	
HAIFY &	final pla <sup>-</sup> <b>K YI F</b>	_
_	KYLE	- ADDITION LOCK A
LOTS 1	KYLE & 2, B CRES OR 42,	ADDITION LOCK A 375 S.F.
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14 ALL COUNTY, TEXAS SHEET 2 OF
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) - BOYSTON ABSTRACT NO VALL, ROCKW	ADDITION LOCK A 375 S.F. SURVEY

### Project Plan Review History



Project Name Type Subtype	P2019-040 Lot 1&2, Block A, Haley & PLAT FINAL Staff Review	Kyle Addition	Owner Applicant		DO, RAUL & ASSOCIATES		Applied 10/18/2019 LM Approved Closed Expired Status
Site Address		City, State Zip					
501 S CLARK ST		ROCKWALL, TX 7	75087				Zoning
Subdivision		Tract		Block	Lot No	Parcel No	General Plan
CLARK STREET HOM	1ESITE	А		107	А	3140-0107-0000	-A0-0R
Type of Review / Not	es Contact	Sent Due	e Recei	ved	Elapsed Status		Remarks
BUILDING	Russell McDowell	10/18/2019 10/	25/2019 10/2	2/2019	4 APPRO	DVED	
	Sarah Johnston 7 PM SJ) Property owner is respons lity easement along S Clai	•			6 COMM	-	nage easement."
	Harris plat shows the lots	-	e you combini	ng with th	e B.F. Boydstun	Survey?	
	he drainage Easement for	•	•				
	w 100-YR floodplain of sq	-					
	pographic survey and con						
FIRE	Ariana Hargrove	10/18/2019 10/	25/2019 10/2	4/2019	6 APPRO	JVED	
GIS	Lance Singleton	10/18/2019 10/	25/2019 10/2	2/2019	4 APPRO	DVED	
PLANNING	Korey Brooks	10/18/2019 10/	25/2019 10/2	4/2019	6 COMM	<b>MENTS</b>	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	
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Remarks

P2019-040; Replat for Lots 1 & 2, Block A, Haley & Kyle Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This is a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street.

I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (P2019-040) in the lower right-hand corner of all pages on future submittals.

1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).

M.5 This request is considered to be a complete application.

M.6 Replat. Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

1) Please provide Point of Beginning

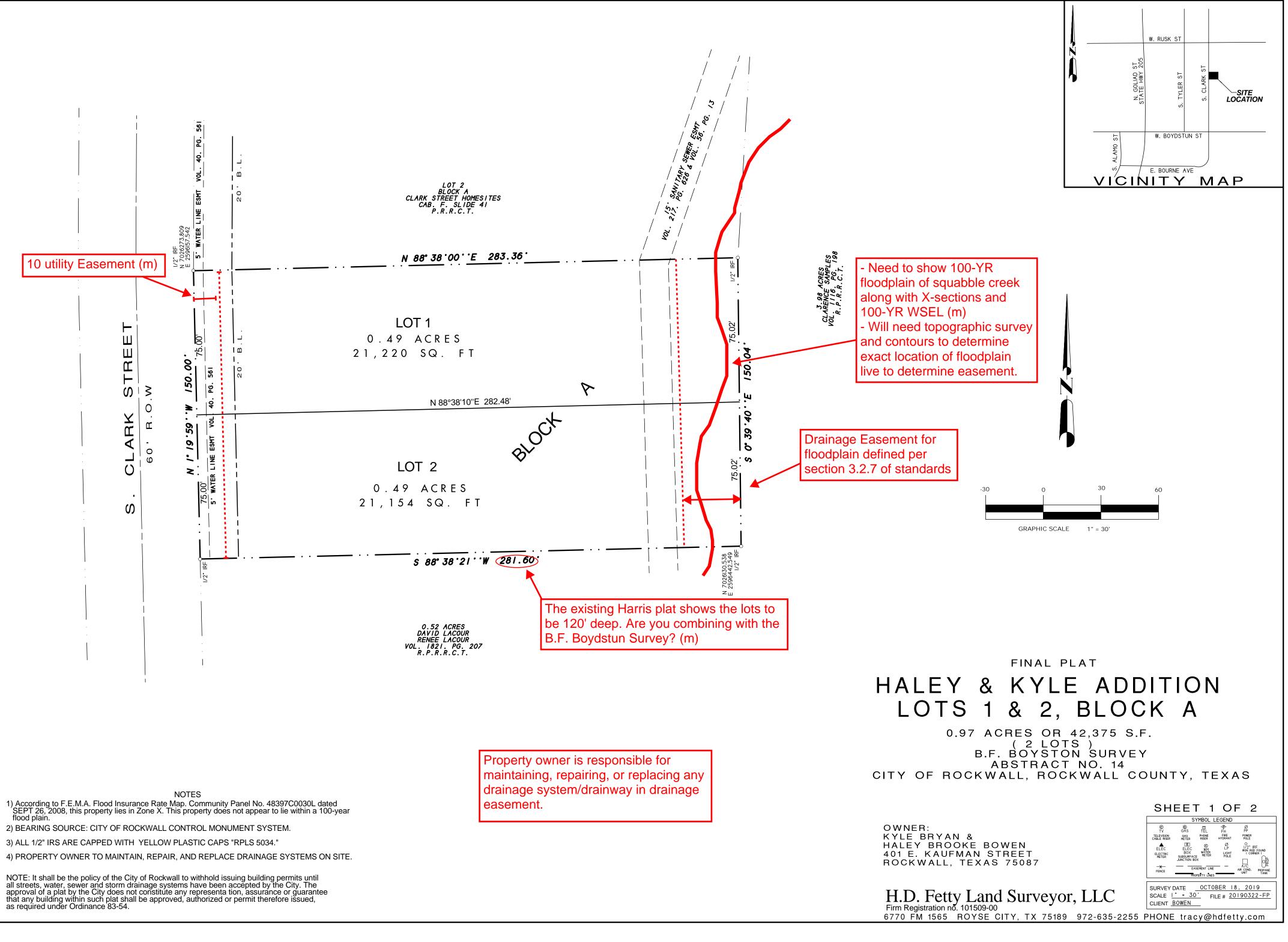
2) Please review title block and legal description. Is this a replat of Lot A, Block 107, B.F. Boydstun Addition?

3) Please add "7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements."

4) Please show topography lines on this plat.

1.7 Please note that failure to address all comments provided by staff by noon on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; The Park Board Meeting for this case is November 5, 2019. The Planning & Zoning Meeting November 12, 2019. The City Council Meeting is November 18, 2019.



STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 20190000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

## STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been partief and signed this plat. subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

**KYLE BRYAN** 

HALEY BROOKE BOWEN

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS COUNTY OF ROCKWALL

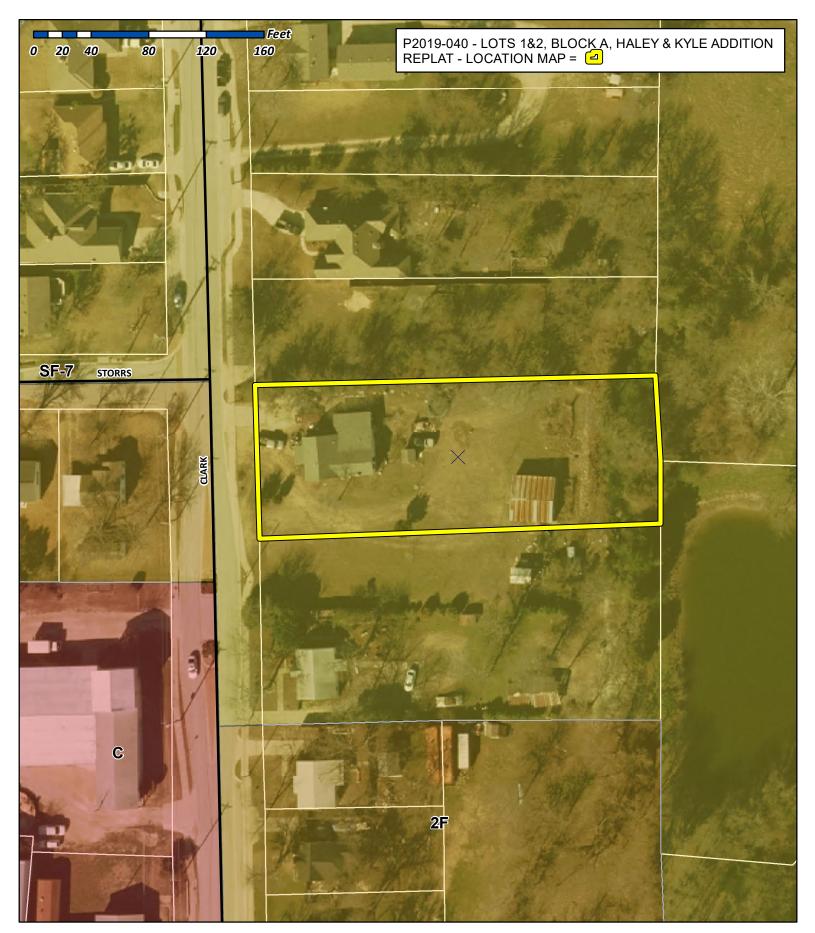
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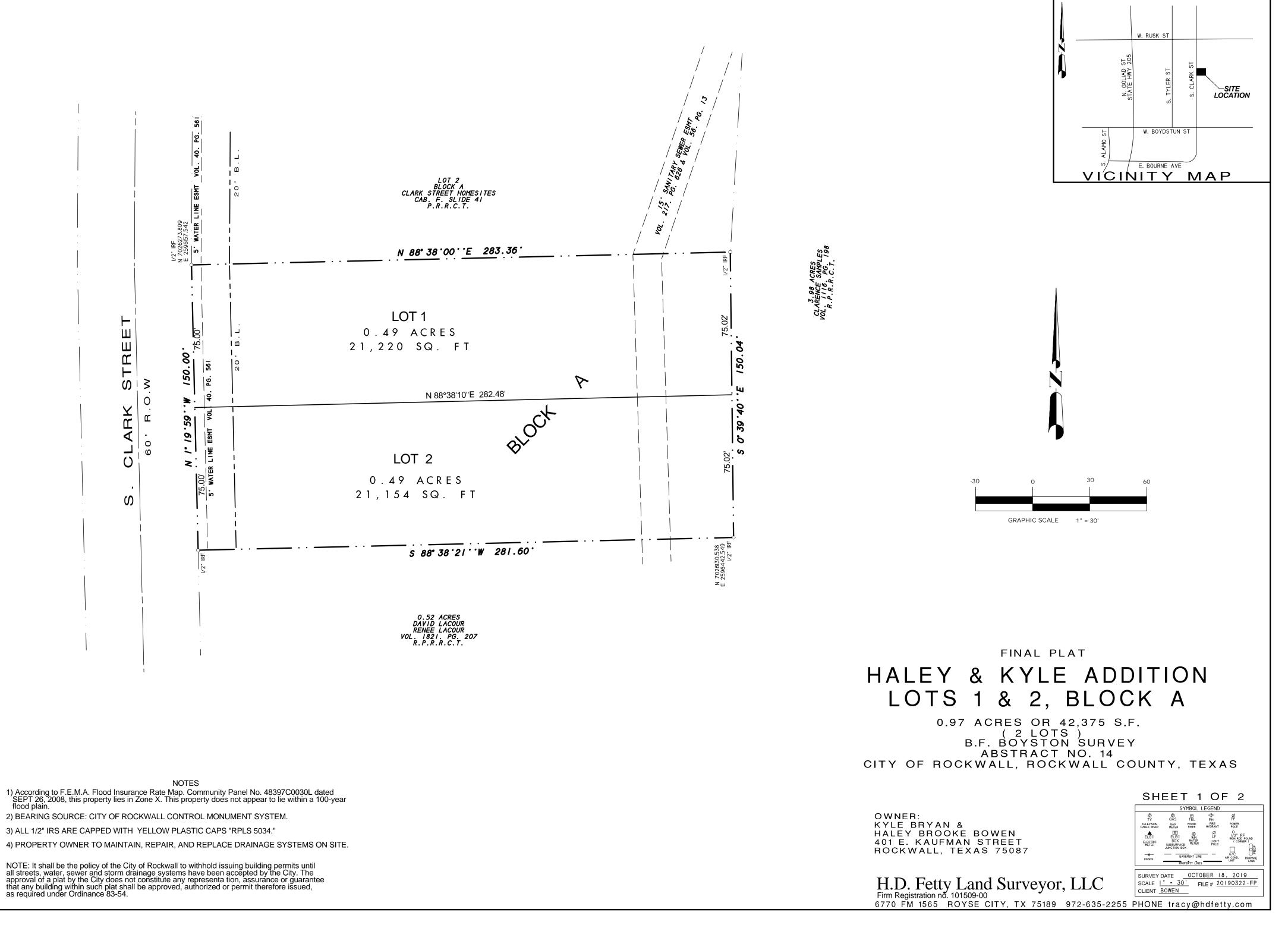
	•	at I prepared this plat monuments shown thereon
Harold D. Fetty, III Registered Professional Land Surveyo	r No. 5034	HAROLD D. FETTY III $\gamma_{A} \in G^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in G^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in S^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in S^{(STER_{E})} \rightarrow \gamma_{G}$
RECOMMENDED FOR FINAL APPRC	DVAL	
Planning and Zoning Commission	Date	
APPROVED		
I hereby certify that the above and fore BLOCK A, an addition to the City of Ro was approved by the City Council of the This approval shall be invalid unless the		
This approval shall be invalid unless th office of the County Clerk of Rockwall, from said date of final approval. Said addition shall be subject to all the		
City of Rockwall.	day of	
		··
Mayor, City of Rockwall	City Secretary (	City of Rockwall
City Engineer	Date	
HAIFY &	final pla <sup>-</sup> <b>K YI F</b>	_
_	KYLE	- ADDITION LOCK A
LOTS 1	KYLE & 2, B CRES OR 42,	ADDITION LOCK A 375 S.F.
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14 ALL COUNTY, TEXAS SHEET 2 OF
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) - BOYSTON ABSTRACT NO VALL, ROCKW	ADDITION LOCK A 375 S.F. SURVEY





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com





STATE OF TEXAS COUNTY OF ROCKWALL

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BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

## STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been partief and signed this plat. subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

**KYLE BRYAN** 

HALEY BROOKE BOWEN

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_

Notary Public in and for the State of Texas

My Commission Expires:

	•	at I prepared this plat monuments shown thereon
Harold D. Fetty, III Registered Professional Land Surveyo	r No. 5034	HAROLD D. FETTY III $\gamma_{A} \in G^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in G^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in S^{(STER_{E})} \rightarrow \gamma_{G}$ $\gamma_{A} \in S^{(STER_{E})} \rightarrow \gamma_{G}$
RECOMMENDED FOR FINAL APPRC	DVAL	
Planning and Zoning Commission	Date	
APPROVED		
I hereby certify that the above and fore BLOCK A, an addition to the City of Ro was approved by the City Council of the This approval shall be invalid unless the		
This approval shall be invalid unless th office of the County Clerk of Rockwall, from said date of final approval. Said addition shall be subject to all the		
City of Rockwall.	day of	
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Mayor, City of Rockwall	City Secretary (	City of Rockwall
City Engineer	Date	
HAIFY &	final pla <sup>-</sup> <b>K YI F</b>	_
_	KYLE	- ADDITION LOCK A
LOTS 1	KYLE & 2, B CRES OR 42,	ADDITION LOCK A 375 S.F.
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14 ALL COUNTY, TEXAS SHEET 2 OF
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) - BOYSTON ABSTRACT NO VALL, ROCKW	ADDITION LOCK A 375 S.F. SURVEY



## CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

Planning and Zoning Commission
November 12, 2019
Perry Bowen
P2019-040.; Lots 1 & 2, Block A, Haley & Kyle Addition

### **SUMMARY**

Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

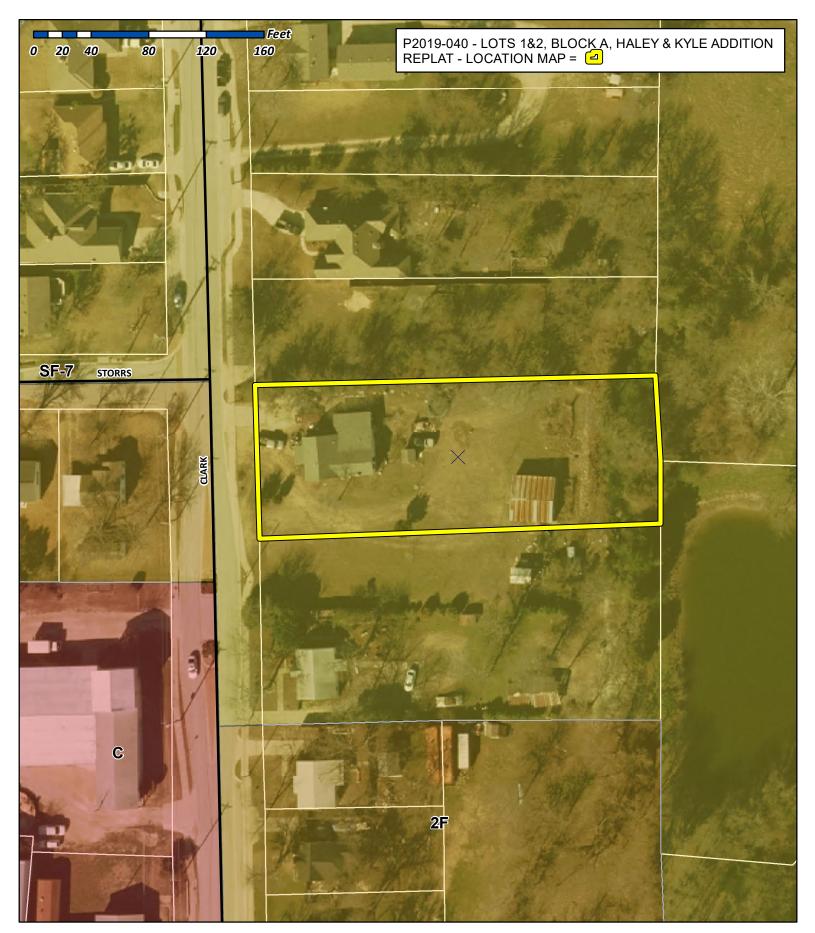
### PLAT INFORMATION

- ☑ The applicant is requesting to replat one (1) lot (*i.e. Lot A, Block 107, B. F. Boydstun Addition*) into two (2) lots (*i.e. Lots 1 & 2, Block A, Haley & Kyle Addition*) for the purpose of subdividing the property in order to construct two (2) single-family homes.
- ☑ The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is addressed as 501 S. Clark Street.
- ☑ On November 5, 2019, the Parks and Recreation Board reviewed the proposed *replat* and made the following recommendations:
  - 1) The developer shall pay pro-rata equipment fees for Park District No. 21 in the amount of \$516.00 for Lot 2. This will need to be paid at time of final plat; and
  - 2) The developer shall pay cash-in-lieu of land fees for Park District No. 21 in the amount of \$499.00 for Lot 2 to be paid at the time of final plat.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 1 & 2*, *Block A, Haley & Kyle Addition*, staff would propose the following conditions of approval:

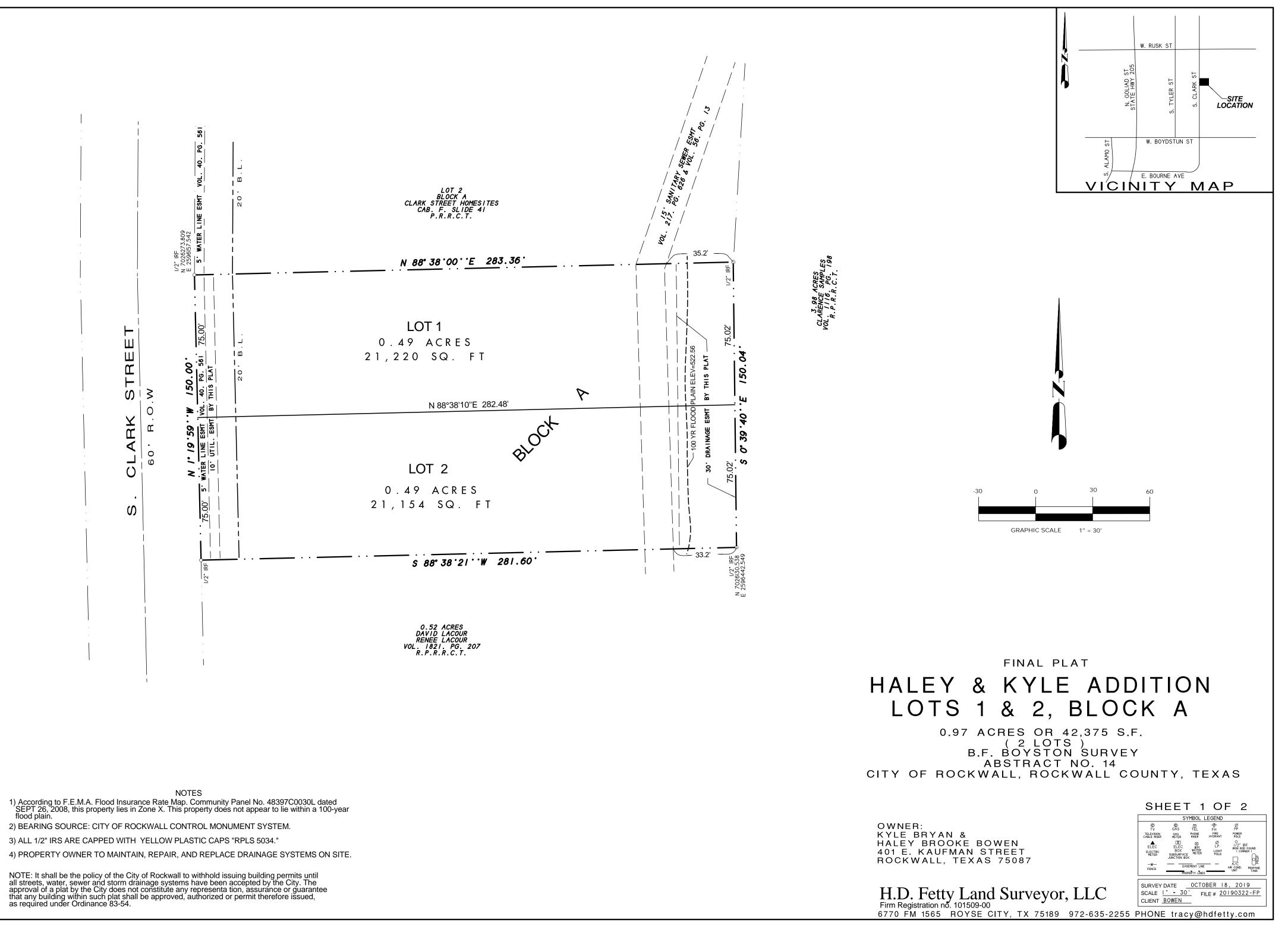
- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com





STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 20190000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

## STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been partief and signed this plat. subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

**KYLE BRYAN** 

HALEY BROOKE BOWEN

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_

Notary Public in and for the State of Texas

My Commission Expires:

	o. 5034, do hereby certify tha the land, and that the corner r al supervision.	F OF TO
Harold D. Fetty, III Registered Professional Land Surveyo	r No. 5034	HAROLD D. FETTY III $PO_{FESS}^{A} = 5034$
RECOMMENDED FOR FINAL APPRC	DVAL	
Planning and Zoning Commission	Date	_
APPROVED		
I hereby certify that the above and fore BLOCK A, an addition to the City of Ro was approved by the City Council of the This approval shall be invalid unless the		
This approval shall be invalid unless th office of the County Clerk of Rockwall, from said date of final approval. Said addition shall be subject to all the		
City of Rockwall.	day of	
	, , , , , , , , , , , , , , , , , , ,	
Mayor, City of Rockwall	City Secretary C	City of Rockwall
City Engineer	Date	
HAIFY &	final plat <b>K YI F</b>	
_	KYLE	ADDITION LOCK A
LOTS 1	KYLE & 2, B CRES OR 42,	ADDITION LOCK A 375 S.F.
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON S ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON S ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14 ALL COUNTY, TEXAS SHEET 2 OF
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON S ABSTRACT NO VALL, ROCKW	ADDITION LOCK A 375 S.F. SURVEY D. 14



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

Mayor and City Council
November 18, 2019
Perry Bowen
P2019-040; Lots 1 & 2, Block A, Haley & Kyle Addition

### <u>SUMMARY</u>

Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

### PLAT INFORMATION

- ☑ The applicant is requesting to replat one (1) lot (*i.e. Lot A, Block 107, B. F. Boydstun Addition*) into two (2) lots (*i.e. Lots 1 & 2, Block A, Haley & Kyle Addition*) for the purpose of subdividing the property in order to construct two (2) single-family homes.
- ☑ The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is addressed as 501 S. Clark Street.
- ☑ On November 5, 2019, the Parks and Recreation Board reviewed the proposed *replat* and made the following recommendations:
  - 1) The developer shall pay pro-rata equipment fees for Park District No. 21 in the amount of \$516.00 for Lot 2. This will need to be paid at time of final plat; and
  - 2) The developer shall pay cash-in-lieu of land fees for Park District No. 21 in the amount of \$499.00 for Lot 2 to be paid at the time of final plat.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat conforming to the requirements for final plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

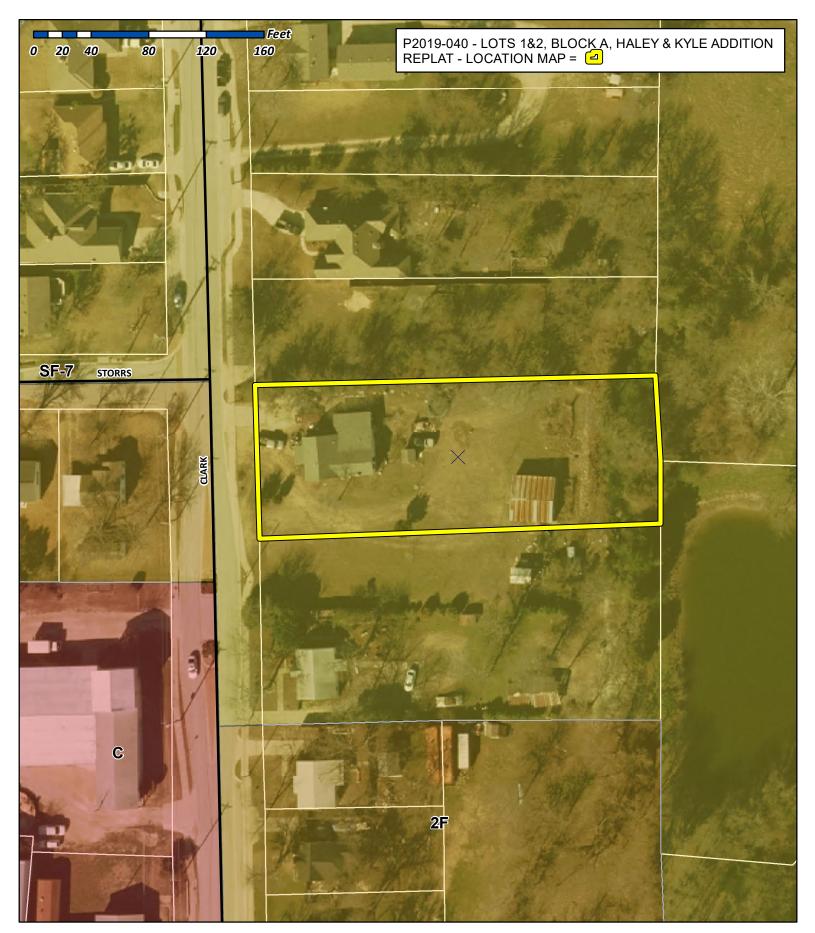
### CONDITIONS OF APPROVAL

If the City Council chooses to approve the replat for *Lots 1 & 2, Block A, Haley & Kyle Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### PLANNING AND ZONING COMMISSION

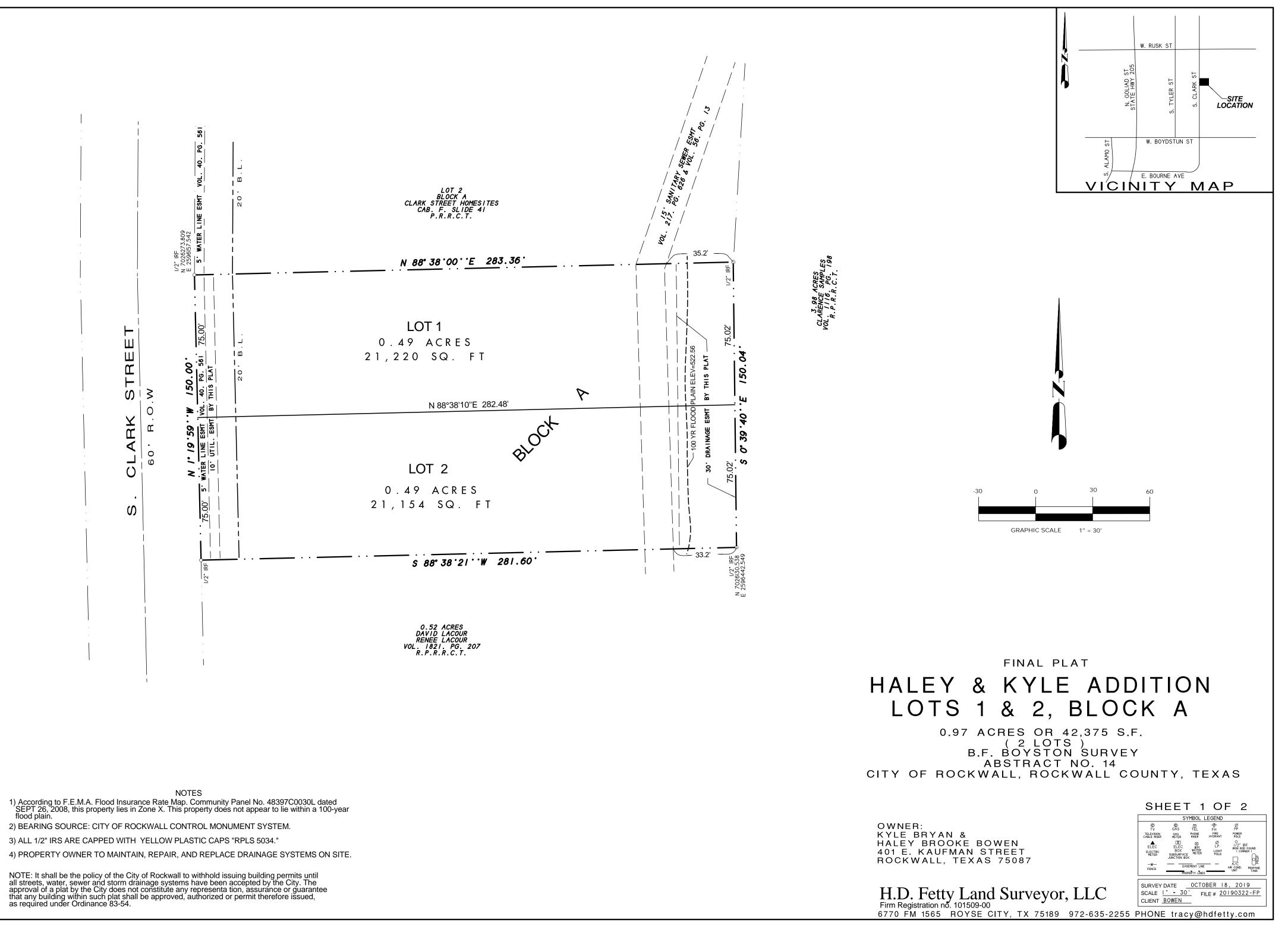
On November 12, 2019, the Planning and Zoning Commission's motion to recommend approval of the applicant's request with staff's conditions of approval passed by a vote of 5-0 with Commissioners Fishman and Welch absent.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com





STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS KYLE BRYAN and HALEY BROOKE BOWEN, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that 0.97 acres tract of land as described in a Warranty deed from Mario Del Bosque to Kyle Bryan and Haley Brooke Bowen, dated May 19, 2019 and being recorded in Document no. 20190000007530 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way line of Clark Street (60' R.O.W.) at the Southwest corner of the above cited tract of land, said point also being at the Northwest corner of a 0.52 acres tract of land as described in a Contract for deed to David Lecour and Renee Lecour, dated January 15, 1999 and being recorded in Volume 1821, Page 207 of the Real Property Records of Rockwall County, Texas;

THENCE N. 01 deg. 19 min. 59 sec. W. along said right-of-way line, a distance of 150.00 feet to a 1/2" iron rod found for corner at the Northwest corner of said Bryan and Bowen tract and at the southwest corner of Lot 2, Block 1, Clark Street Homesites Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet F, Slide 41 of the Plat Records of Rockwall County, Texas;

THENCE N. 88 deg. 38 min. 00 sec. E. a distance of 283.36 feet to a 1/2" iron rod found for corner at the Northeast corner of said Bryan and Bowen tract;

THENCE S. 00 deg. 39 min. 40 sec. E. a distance of 150.04 feet to a 1/2" iron rod found for corner at the Northeast corner of said Lecour tract;

THENCE S. 88 deg. 38 min. 21 sec. W. a distance of 281.60 feet to the POINT OF BEGINNING and containing 42,375 square feet or 0.97 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

## STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as HALEY & KYLE ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the subdivision have been partief and signed this plat. subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

**KYLE BRYAN** 

HALEY BROOKE BOWEN

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared KYLE BRYAN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HALEY BROOKE BOWEN known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_

Notary Public in and for the State of Texas

My Commission Expires:

	o. 5034, do hereby certify tha the land, and that the corner r al supervision.	F OF TO
Harold D. Fetty, III Registered Professional Land Surveyo	r No. 5034	HAROLD D. FETTY III $PO_{FESS}^{A} = 5034$
RECOMMENDED FOR FINAL APPRC	DVAL	
Planning and Zoning Commission	Date	_
APPROVED		
I hereby certify that the above and fore BLOCK A, an addition to the City of Ro was approved by the City Council of the This approval shall be invalid unless the		
This approval shall be invalid unless th office of the County Clerk of Rockwall, from said date of final approval. Said addition shall be subject to all the		
City of Rockwall.	day of	
	, , , , , , , , , , , , , , , , , , ,	
Mayor, City of Rockwall	City Secretary C	City of Rockwall
City Engineer	Date	
HAIFY &	final plat <b>K YI F</b>	
_	KYLE	ADDITION LOCK A
LOTS 1	KYLE & 2, B CRES OR 42,	ADDITION LOCK A 375 S.F.
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON S ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON S ABSTRACT NO	ADDITION LOCK A 375 S.F. SURVEY D. 14 ALL COUNTY, TEXAS SHEET 2 OF
LOTS 1 0.97 A B.F	KYLE & 2, B CRES OR 42, (2 LOTS) BOYSTON S ABSTRACT NO VALL, ROCKW	ADDITION LOCK A 375 S.F. SURVEY D. 14