



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # P2019-040 P&Z DATE 11/21/2019 CC DATE 11/18/2019 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

#### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

#### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

#### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

#### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address 501 Clark St

Subdivision B.F. Boyston Society

Lot Block

General Location 0.97 acres

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL

Current Use RESIDENTIAL

Proposed Zoning SF7

Proposed Use SF7

Acreage 0.97

Lots [Current]

Lots [Proposed]

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner KYLE BRYAN + BROCKIE

Applicant SAME

Contact Person PERRY BOWEN

Contact Person

Address 401 E KAUFMAN  
ROCKWALL TX 75087

Address

City, State & Zip

City, State & Zip

Phone

Phone

E-Mail phowenhomes@sbcglobal.net

E-Mail

### NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Perry K. Bowen [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 320<sup>00</sup>, to cover the cost of this application, has been paid to the City of Rockwall on this the 18<sup>th</sup> day of October, 2019. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

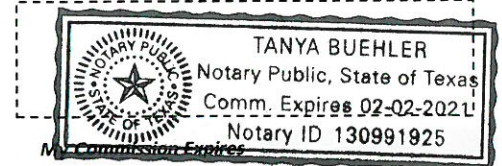
Given under my hand and seal of office on this the 18<sup>th</sup> day of October, 2019.

Owner's Signature

Perry Bowen

Notary Public in and for the State of Texas

Tanya Buehler





**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745  
Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department


Date: 10/21/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, . Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number: P2019-040**  
**Project Name: Lots 1&2, Block A, Haley & Kyle Addition**  
**Project Type: PLAT**  
**Applicant Name: KYLE BRYAN AND BROOKE**  
**Owner Name: SAUCEDO, RAUL &**  
**Project Description:**



0 20 40 80 120 160 Feet

P2019-040 - LOTS 1&2, BLOCK A, HALEY & KYLE ADDITION  
REPLAT - LOCATION MAP = 



# City of Rockwall

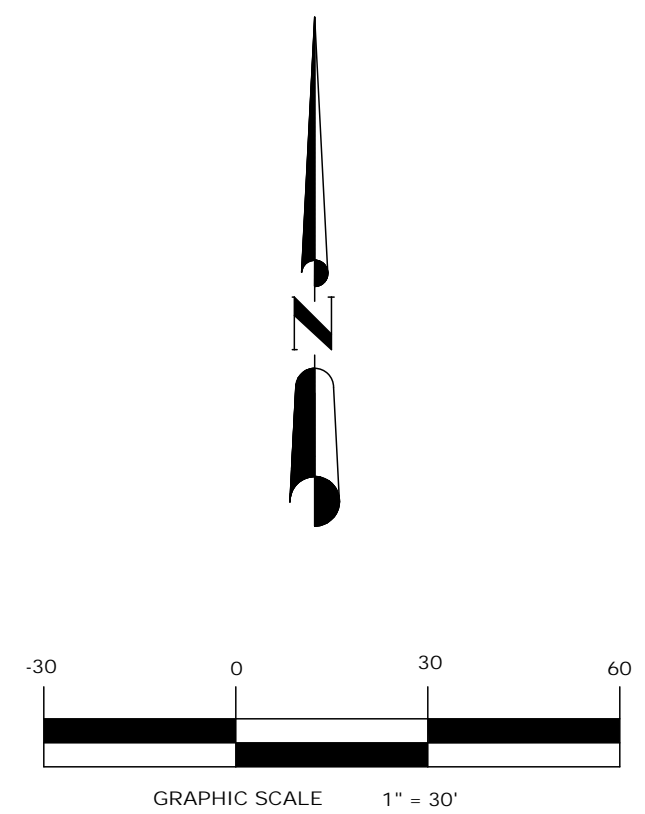
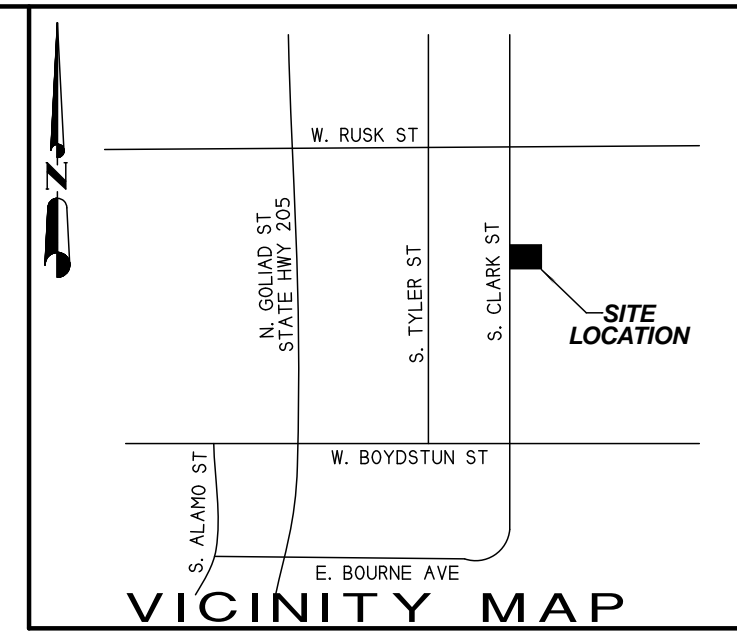
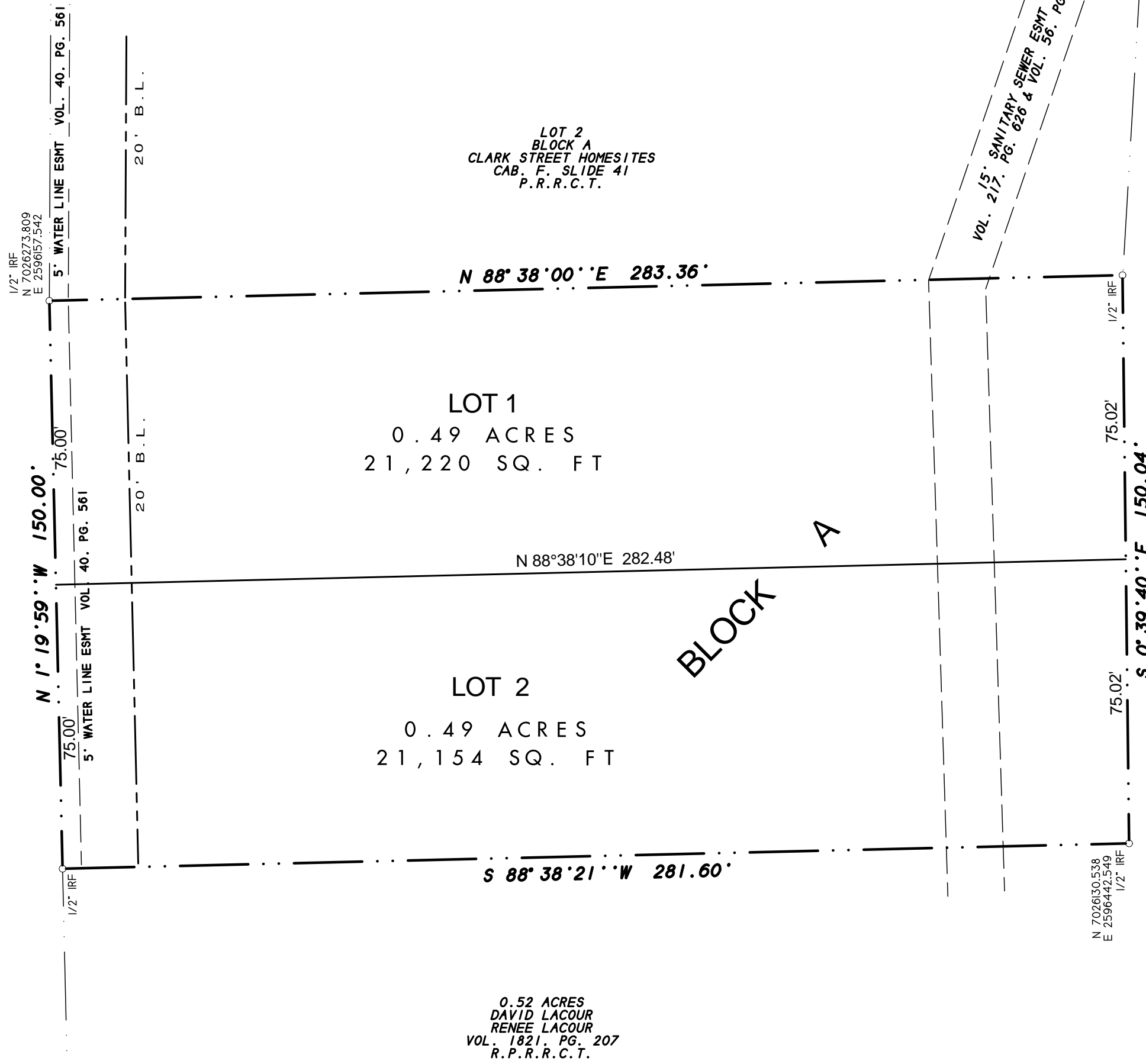
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



S. CLARK STREET

60' R.O.W



FINAL PLAT  
**HALEY & KYLE ADDITION**  
**LOTS 1 & 2, BLOCK A**  
 0.97 ACRES OR 42,375 S.F.  
 ( 2 LOTS )  
 B.F. BOYSTON SURVEY  
 ABSTRACT NO. 14  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
  - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

OWNER:  
 KYLE BRYAN &  
 HALEY BROOKE BOWEN  
 401 E. KAUFMAN STREET  
 ROCKWALL, TEXAS 75087

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION
⊗	CABLE RISER
⊕	GAS
⊙	ELEC. METER
⊚	ELECTRIC JUNCTION BOX
⊛	TRANSFORMER
⊜	PHONE RISER
⊝	PHONE METER
⊞	LP GAS METER
⊟	LP GAS JUNCTION BOX
⊠	LP GAS METER
⊡	1/2" IRF
⊢	BOX AND FOUND CORNER
⊣	1/2" IRF
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⊑	1/2" IRF





## City of Rockwall Project Plan Review History



<b>Project Number</b> P2019-040	<b>Owner</b> SAUCEDO, RAUL &	<b>Applied</b> 10/18/2019 LM
<b>Project Name</b> Lot 1&2, Block A, Haley & Kyle Addition	<b>Applicant</b> HALFF ASSOCIATES	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> FINAL		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b> 501 S CLARK ST	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------------	--	---------------

<b>Subdivision</b> CLARK STREET HOMESITE	<b>Tract</b> A	<b>Block</b> 107	<b>Lot No</b> A	<b>Parcel No</b> 3140-0107-0000-A0-OR	<b>General Plan</b>
---	-------------------	---------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/18/2019	10/25/2019	10/22/2019	4	APPROVED	
ENGINEERING (10/24/2019 4:47 PM SJ) M - Add note, "Property owner is responsible for maintaining, repairing, or replacing any drainage system/drainway in drainage easement." M - Add a 10' utility easement along S Clark St frontage. M - The existing Harris plat shows the lots to be 120' deep. Are you combining with the B.F. Boydston Survey? M - Must show the drainage Easement for floodplain defined per section 3.2.7 of standards. M - Need to show 100-YR floodplain of squabble creek along with X-sections and 100-YR WSEL. M - Will need topographic survey and contours to determine exact location of floodplain live to determine easement.	Sarah Johnston	10/18/2019	10/25/2019	10/24/2019	6	COMMENTS	
FIRE	Ariana Hargrove	10/18/2019	10/25/2019	10/24/2019	6	APPROVED	
GIS	Lance Singleton	10/18/2019	10/25/2019	10/22/2019	4	APPROVED	
PLANNING	Korey Brooks	10/18/2019	10/25/2019	10/24/2019	6	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2019-040; Replat for Lots 1 & 2, Block A, Haley & Kyle Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2019-040) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 This request is considered to be a complete application.						
M.6 Replat. Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide Point of Beginning						
2) Please review title block and legal description. Is this a replat of Lot A, Block 107, B.F. Boydston Addition?						
3) Please add "7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements."						
4) Please show topography lines on this plat.						
I.7 Please note that failure to address all comments provided by staff by noon on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; The Park Board Meeting for this case is November 5, 2019. The Planning & Zoning Meeting November 12, 2019. The City Council Meeting is November 18, 2019.						










0 20 40 80 120 160 Feet

P2019-040 - LOTS 1&2, BLOCK A, HALEY & KYLE ADDITION  
REPLAT - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

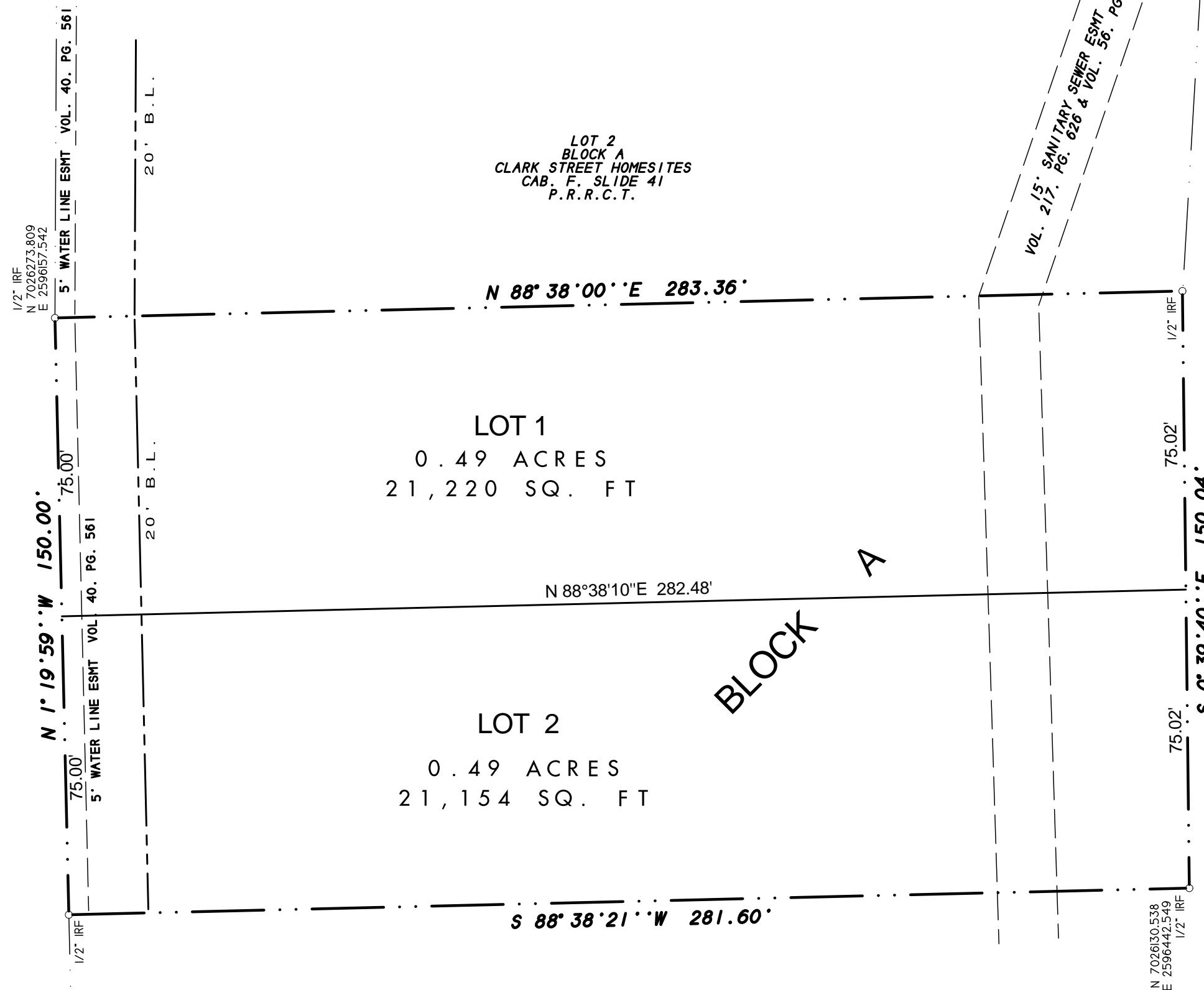
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S. CLARK STREET

60' R.O.W



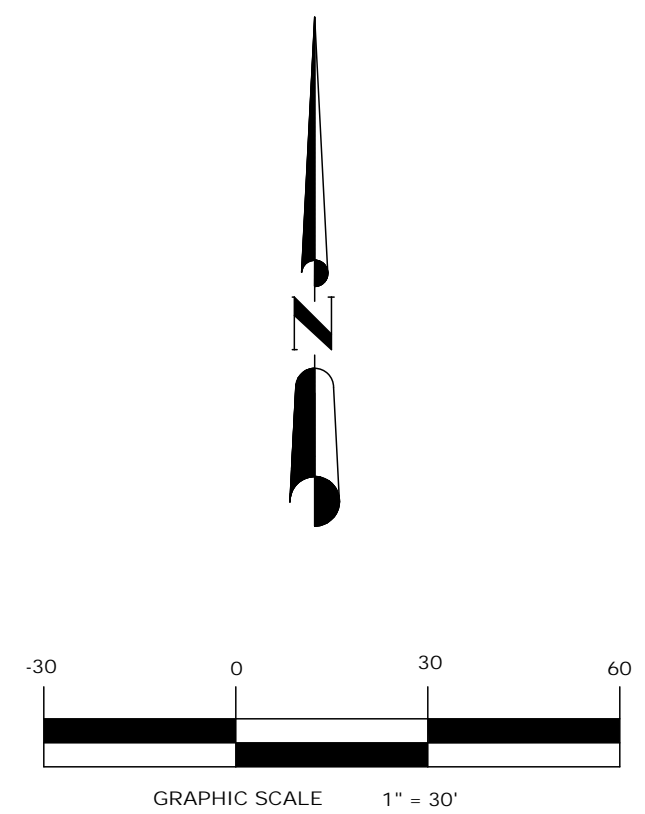
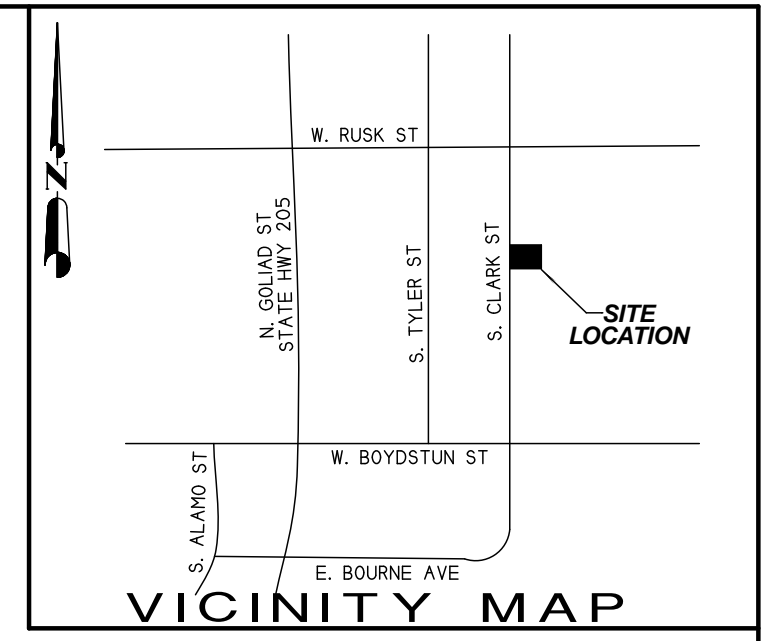
LOT 2  
BLOCK A  
CLARK STREET HOMESITES  
CAB. F. SLIDE 41  
P.R.R.C.T.

LOT 1  
0.49 ACRES  
21,220 SQ. FT

LOT 2  
0.49 ACRES  
21,154 SQ. FT

0.52 ACRES  
DAVID LACOUR  
RENEE LACOUR  
VOL. 1821, PG. 207  
R.P.R.C.T.

3.98 ACRES  
CLARENCE SAMPLES  
VOL. 16, PG. 198  
R.P.R.C.T.



FINAL PLAT  
**HALEY & KYLE ADDITION**  
**LOTS 1 & 2, BLOCK A**  
0.97 ACRES OR 42,375 S.F.  
( 2 LOTS )  
B.F. BOYSTON SURVEY  
ABSTRACT NO. 14  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
- 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

OWNER:  
KYLE BRYAN &  
HALEY BROOKE BOWEN  
401 E. KAUFMAN STREET  
ROCKWALL, TEXAS 75087

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION
⊗	CABLE RISER
⊕	GAS
⊖	ELEC. METER
⊙	ELECTRIC JUNCTION BOX
⊗	PHONE RISER
⊕	FIRE HYDRANT
⊖	LP
⊙	WATER METER
⊗	1/2" IRS
⊕	BOX AND FOUND CORNER
⊖	LIGHT POLE
⊙	A/C UNIT
⊗	PROpane TANK
---	EASEMENT LINE
---	PROPERTY LINES

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 18, 2019  
SCALE 1" = 30' FILE # 20190322-FP  
CLIENT BOWEN





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 12, 2019  
**APPLICANT:** Perry Bowen  
**CASE NUMBER:** P2019-040.; *Lots 1 & 2, Block A, Haley & Kyle Addition*

---

### **SUMMARY**

Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

### **PLAT INFORMATION**

- The applicant is requesting to replat one (1) lot (*i.e. Lot A, Block 107, B. F. Boydston Addition*) into two (2) lots (*i.e. Lots 1 & 2, Block A, Haley & Kyle Addition*) for the purpose of subdividing the property in order to construct two (2) single-family homes.
- The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is addressed as 501 S. Clark Street.
- On November 5, 2019, the Parks and Recreation Board reviewed the proposed *replat* and made the following recommendations:
  - 1) The developer shall pay pro-rata equipment fees for Park District No. 21 in the amount of \$516.00 for Lot 2. This will need to be paid at time of final plat; and
  - 2) The developer shall pay cash-in-lieu of land fees for Park District No. 21 in the amount of \$499.00 for Lot 2 to be paid at the time of final plat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.


### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 1 & 2, Block A, Haley & Kyle Addition*, staff would propose the following conditions of approval:



- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 20 40 80 120 160 Feet

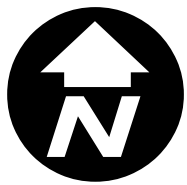
P2019-040 - LOTS 1&2, BLOCK A, HALEY & KYLE ADDITION  
REPLAT - LOCATION MAP = 



# City of Rockwall

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# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** November 18, 2019  
**APPLICANT:** Perry Bowen  
**CASE NUMBER:** P2019-040; *Lots 1 & 2, Block A, Haley & Kyle Addition*

---

### **SUMMARY**

Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

### **PLAT INFORMATION**

- The applicant is requesting to replat one (1) lot (*i.e. Lot A, Block 107, B. F. Boydston Addition*) into two (2) lots (*i.e. Lots 1 & 2, Block A, Haley & Kyle Addition*) for the purpose of subdividing the property in order to construct two (2) single-family homes.
- The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is addressed as 501 S. Clark Street.
- On November 5, 2019, the Parks and Recreation Board reviewed the proposed *replat* and made the following recommendations:
  - 1) The developer shall pay pro-rata equipment fees for Park District No. 21 in the amount of \$516.00 for Lot 2. This will need to be paid at time of final plat; and
  - 2) The developer shall pay cash-in-lieu of land fees for Park District No. 21 in the amount of \$499.00 for Lot 2 to be paid at the time of final plat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for final plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the replat for *Lots 1 & 2, Block A, Haley & Kyle Addition*, staff would propose the following conditions of approval:


- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On November 12, 2019, the Planning and Zoning Commission's motion to recommend approval of the applicant's request with staff's conditions of approval passed by a vote of 5-0 with Commissioners Fishman and Welch absent.



0 20 40 80 120 160 Feet

P2019-040 - LOTS 1&2, BLOCK A, HALEY & KYLE ADDITION  
REPLAT - LOCATION MAP = 



# City of Rockwall

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