



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP 2019-025 P&Z DATE 8/14/2018 CC DATE 8/20/2018 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECEIPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2018-025

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address La Jolla Point Drive

Subdivision LA JOLLA POINT ADDITION

Lot 6

Block B

General Location Southwest Corner of Ridge Road and La Jolla Point Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District with SUP Permit

Current Use Undevelop Tract of Land

Proposed Zoning n/a

Proposed Use 3-story Office Building

Acreage 1.080

Lots [Current] 1

Lots [Proposed] 1

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner DFW Hospitality of Rockwall, LLC

Applicant PSA Engineering, LLC

Contact Person Shailesh Vora, M.D.

Contact Person Pann S. Sribhen, P.E.

Address 2402 Pathway

Address 17819 Davenport Road, Ste 215

City, State & Zip El Dorado, AR 71730

City, State & Zip Dallas, TX 75252

Phone +1 (870) 918-7339

Phone +1 (972) 567-8239

E-Mail scvora@sbcglobal.net

E-Mail Panns@psaengr.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Pann S. Sribhen [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

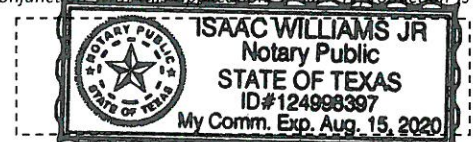
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of July, 20 18. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of July, 20 18.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Handwritten Signature: Pann S. Sribhen]
[Handwritten Signature: Isaac Williams Jr]



My Commission Expires 8-15-2020



RECEIPT

Project Number: SP2018-025
Job Address: LA JOLLA POINTE DR
ROCKWALL, TX 75087

Receipt Number: B81046

Printed: 7/17/2018 4:08 pm

Fee Description	Account Number	Fee Amount
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SITE PLANNING		
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	01-4280	
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		\$ 270.00
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Total Fees Paid:

\$ 270.00

Date Paid: 7/18/2018 12:00:00AM

Paid By: PSA ENGINEERING, LLC

Pay Method: CHECK 11639

Received By: LM



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 7/17/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 07/27/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 7/31/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 7/31/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2018-025
Project Name: Office Building
Project Type: SITE PLAN
Applicant Name: PSA ENGINEERING, LLC
Owner Name: ROCKWAY, PARTNERS LLP
Project Description:



August 31, 2018

ATTN: PANN SRIBHEN
PSA ENGINEERING, LLC
17819 DAVENPORT ROAD, SUITE 215
Dallas, TX 75252

RE: SITE PLAN (SP2018-025), Office Building

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council on 08/20/2018. The following is a record of all recommendations, voting records and conditions of approval:

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board requested the applicant incorporate the Coronado stone with the wood appearance on the large column at the main entrance. The board shared their concern for the lack of vertical and horizontal elements to provide relief for the building. The ARB will provide a recommendation to the Planning and Zoning Commission during the next scheduled meeting to be held on August 14, 2018.

On August 14, 2018, the applicant provided elevations meeting the intent of the ARB's recommendations. After reviewing the revised elevations, the Architectural Review Board made a motion recommending approval of the elevations, which passed by a vote of 6 to 0 with Board Member Mitchell absent. This motion included a condition of approval that the applicant provide Austin Stone as depicted on the elevations and not a synthetic stone as was attached to the materials sample board. Additionally, the motion included a recommendation of approval of the variance being requested regarding vertical articulation.

RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit; and*
- 2) Any construction or building necessary to complete the Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On August 14, 2018, the Planning and Zoning Commission's motion to approve the site plan with staff conditions, and the Architectural Review Board's recommendations, which passed by a vote of 6 to 0 with Commissioner Fishman absent. Additionally, the motion included a recommendation of approval of the variances being requested.



CITY COUNCIL:

On August 20, 2018 the City Council's motion to approve the variances requested to the articulation requirement of the Unified Development Code (UDC) with staff conditions passed by a vote of 4 to 1 with Councilmember Daniels dissenting, and Councilmembers Macalik & Fowler absent. Additionally, a second motion to deny the variance request for not meeting the parking standards passed by a vote of 5 to 0.

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

David Gonzales, AICP
Senior Planner
Planning & Zoning Department
City of Rockwall, TX



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE PLANS SET

NO.	DATE	BY	REVISION
0	Y-M-D	PSS	

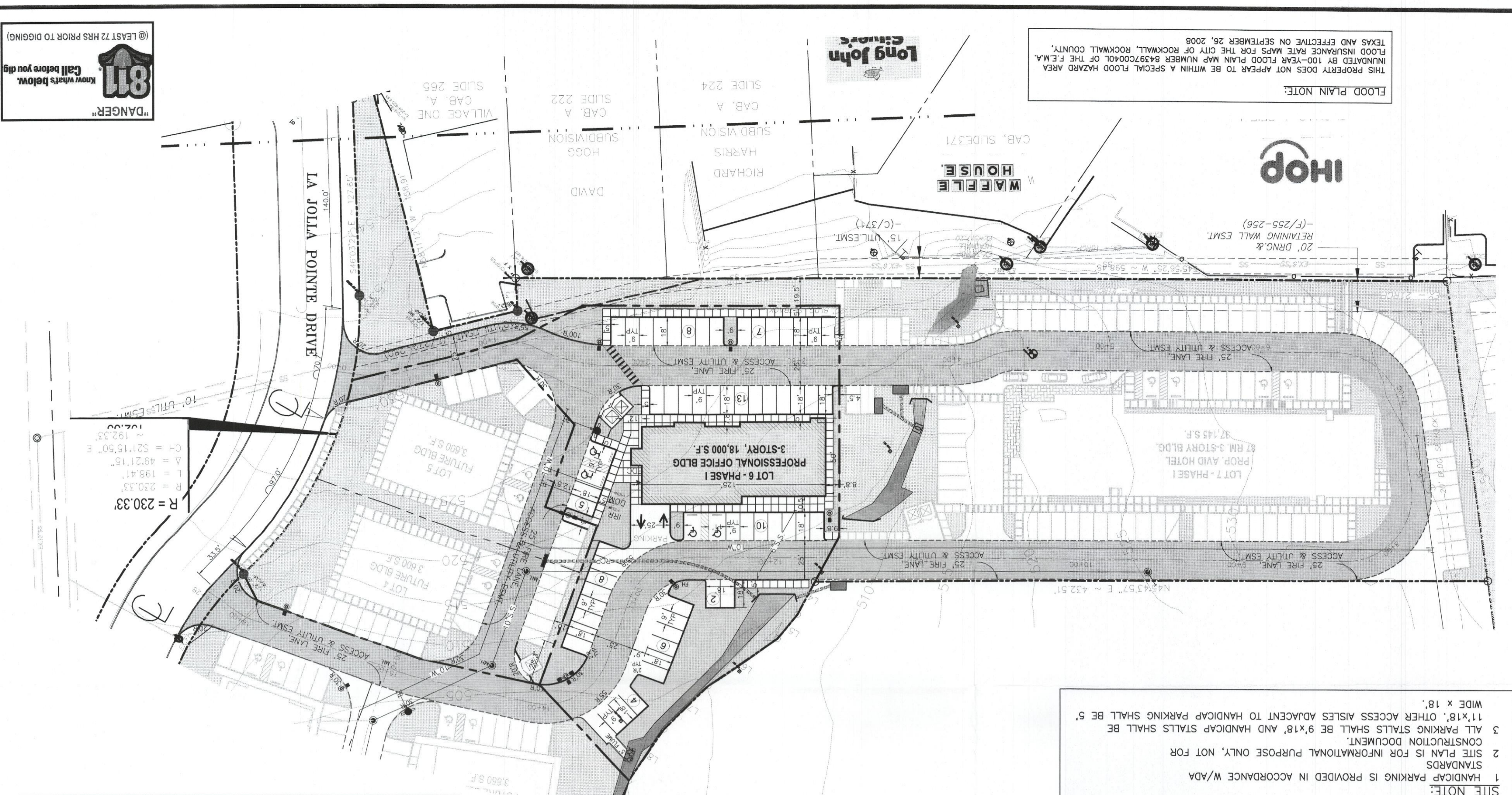
REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
17819 DAVEPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651
TX T.B.P.E. REGISTRATION # F-008974
T.B.P.L.S. FIRM REGISTRATION # 100453

SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS
PROJECT NO. 21737.VPR
DATE: JULY 16, 2018
SHEET: C-01



LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LEGEND

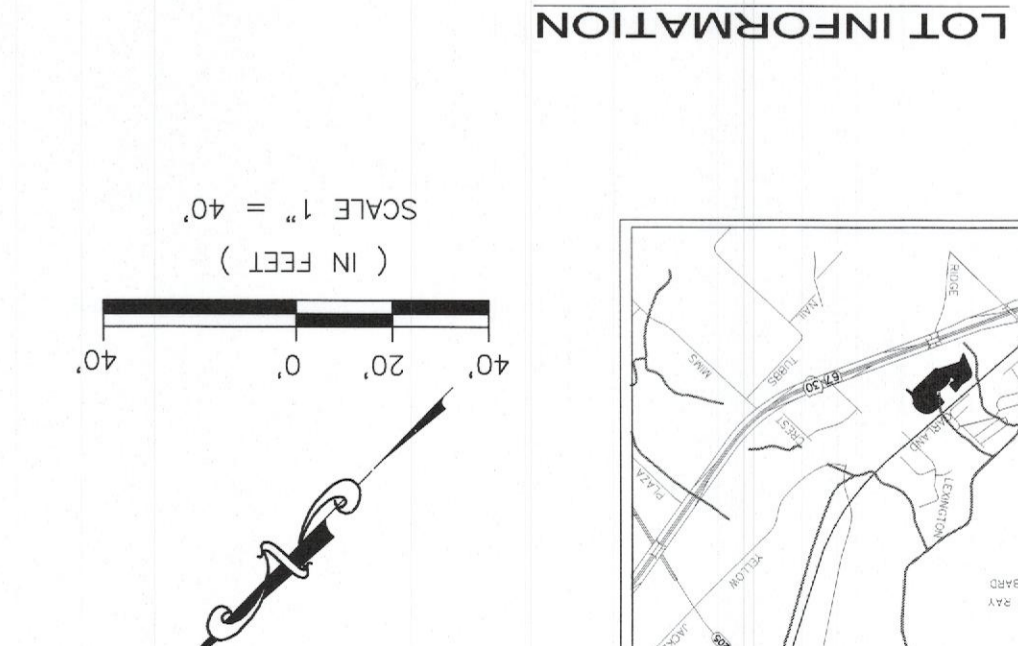
	PROPOSED S.S. LINE
	PROPERTY LINE
	EASEMENT LINE
	STORM SEWER LINE
	PROPOSED WTR. LINE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	RIGHT OF WAY
	BUILDING SETBACK LINE
	EXISTING SANITARY SEWER MANHOLE
	WATER LINE
	EXISTING UTILITY
	EASEMENT
	IRON ROD
	IRON ROD FOUND
	CAPED REBAR SET
	REBAR FOUND
	INDICATE CURB INLET
	INDICATE GRATE INLET

NOTE:
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

SITE NOTE:
1 HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
2 SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
3 ALL PARKING STALLS SHALL BE 9'x18' AND HANDICAP PARKING SHALL BE 5'11'x18'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 18'.
4 BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15'-FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING AND FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
5 A TURNING RADIUS OF 30'-FEET FOR BUILDING 30'-FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.
6

LOT 6 - PHASE I

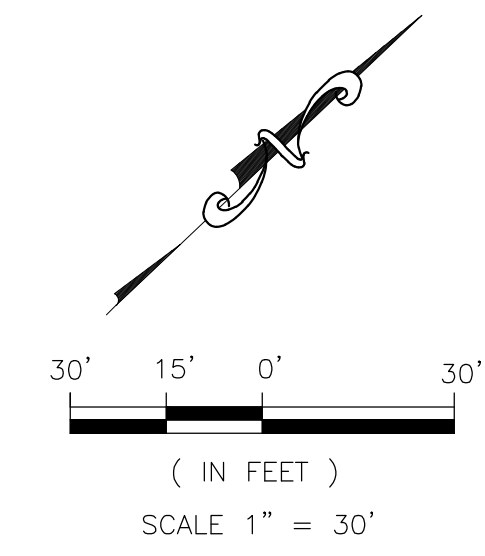
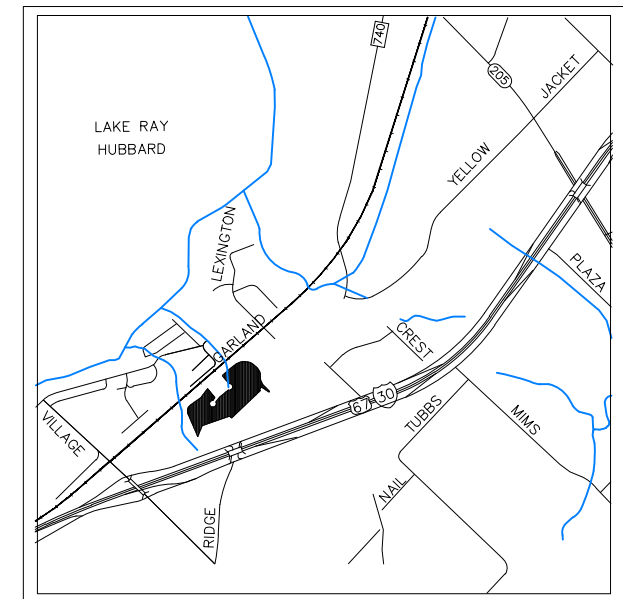
AREA LOT	= 47,027 S.F. (1.080 AC.)
TOTAL BLDG. AREA	= 18,000 S.F.
PROPOSED	= PROFESSIONAL BLDG.
PARKING REQUIREMENTS	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 90 SP
TOTAL PARKING PROVIDED	= 90 SP
HANDICAP PARKING REQUIRED	= 4 SP
HANDICAP PARKING PROVIDED	= 86 SP
SURFACE PARKING PROVIDED	= 27 SP
GARAGE PARKING PROVIDED	= 27 SP



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FLOOD PLAIN NOTE:
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAN MAP NUMBER 843970040L OF THE F.E.M.A. TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

811 Call before you dig
"DANGER"
@ LEAST 72 HRS PRIOR TO DIGGING



LEGEND			
	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF.	IRON ROD FOUND
	EASEMENT LINE	IRS.	IRON ROD SET
	STROM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
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	INDICATE CURB INLET		

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LOT INFORMATION	
LOT 6 - PHASE I	
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PROPOSED	= PROFESSIONAL BLDG. 3-STORY
PARKING REQUIREMENTS	
PARKING RATIO	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 90 SP
TOTAL PARKING PROVIDED	= 90 SP
HANDICAP PARKING REQUIRED	= 4 SP
SURFACE PARKING PROVIDED	= 59 SP
GARAGE PARKING PROVIDED	= 27 SP

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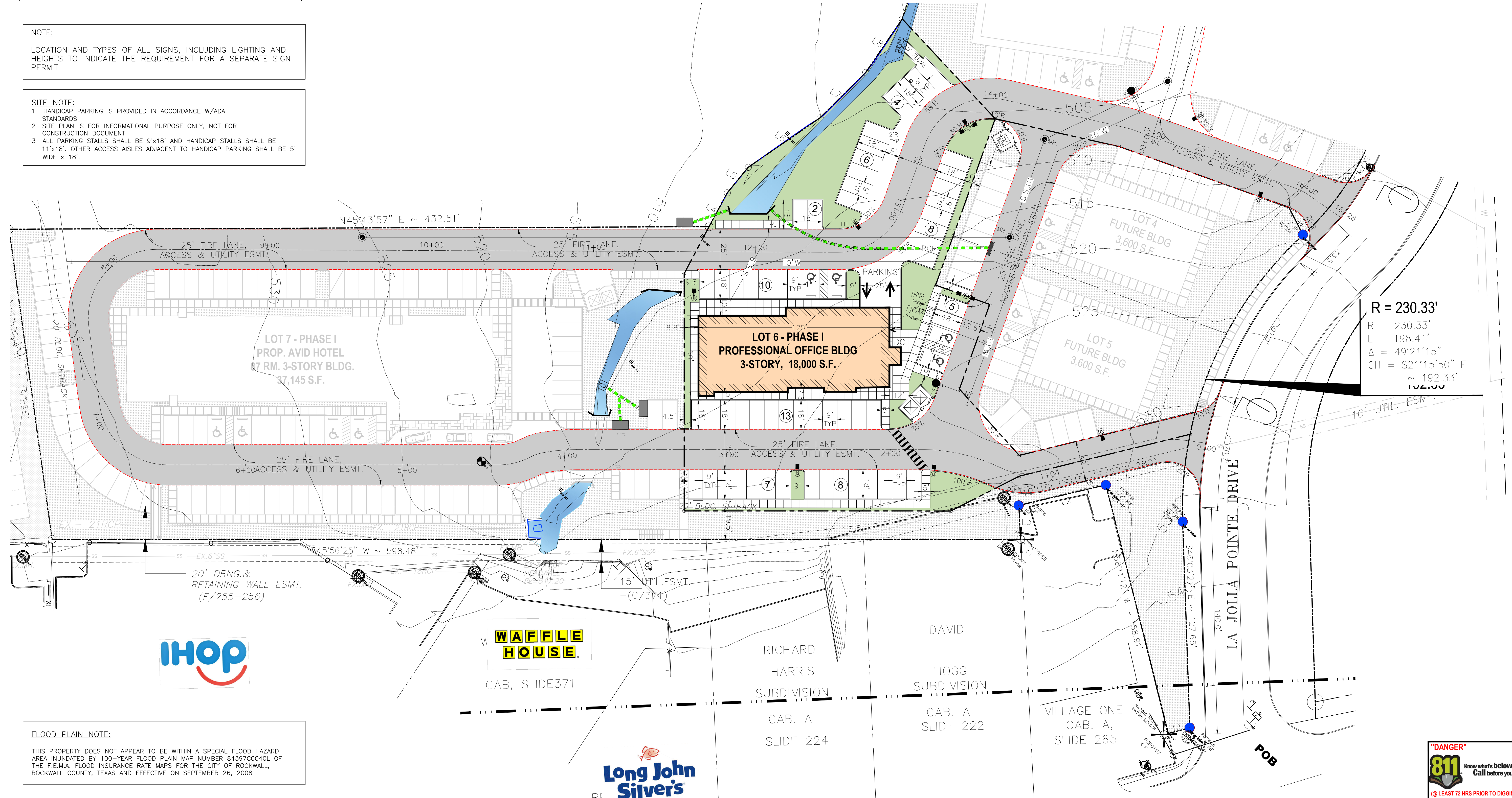
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- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

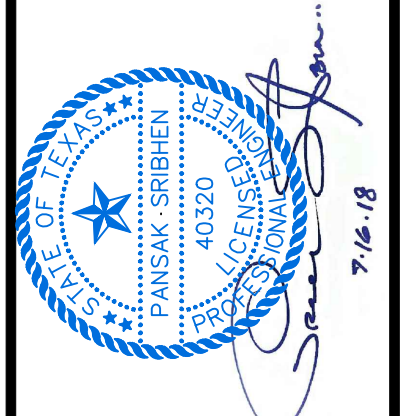
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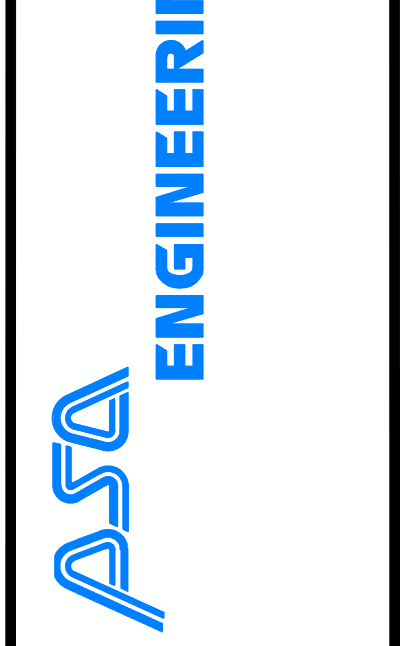


REVISION		
NO.	DATE	BY
0	Y-M-D	P55

SITE PLAN FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS



17819 DANFORTH ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.P.E REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433



SCALE:	AS SHOWN
DESIGNED:	P55
DRAWN:	P5A
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 16, 2018
SHEET:	C-01



FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008

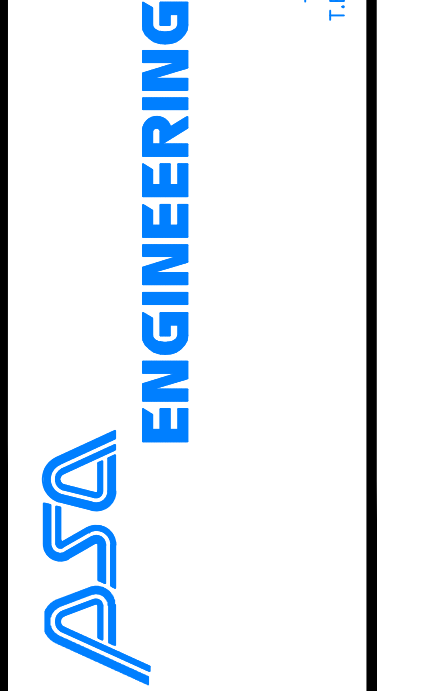
REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17818 DAWSONPORT ROAD, SUITE 215
DALLAS, TEXAS 75244
(972) 248-8651
TX T.B.S.F. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 109433



SCALE: AS SHOWN

DESIGNED: PSS

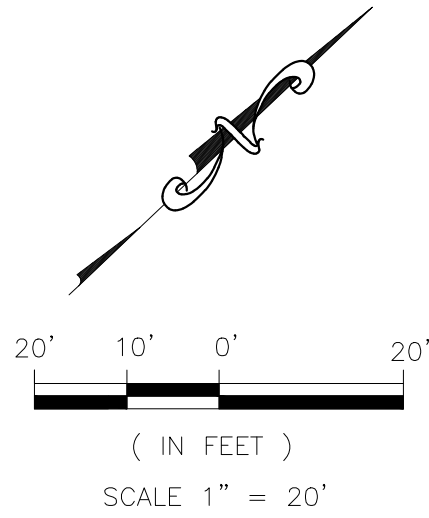
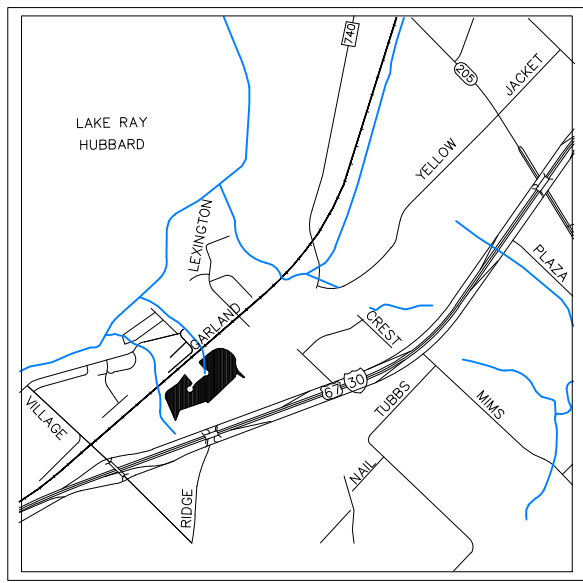
DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737-VPR

DATE: JULY 16, 2018

SHEET: L-01



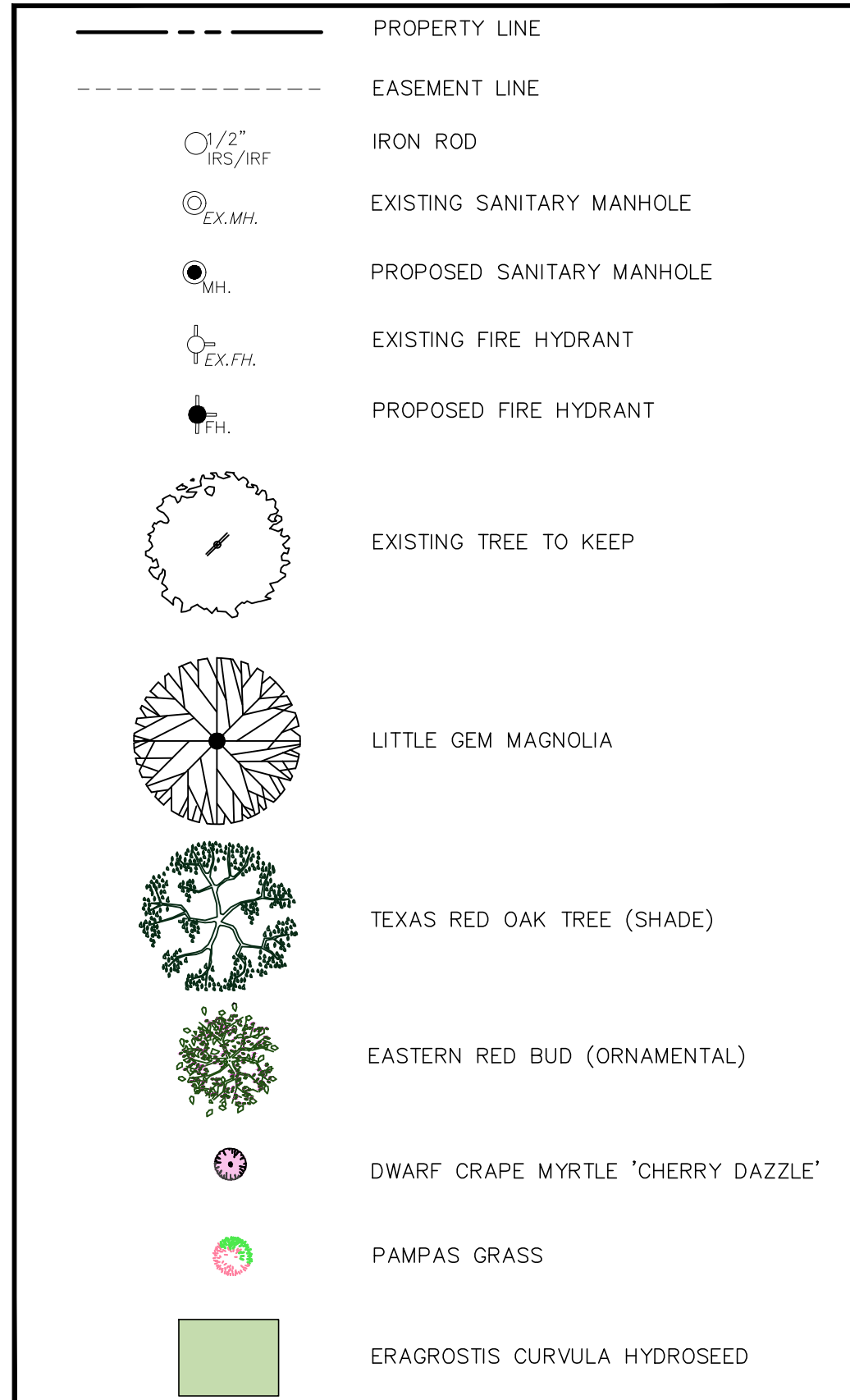
PLANT MATERIAL SCHEDULE :

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
02	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
07	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
01	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
22	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
18	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
6,998 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	

LANDSCAPE NOTE:

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTÉ 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN OR LOCAL (TEXAS ASSOCIATION OF NURSEYMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTOILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURERS RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

LEGENDS:



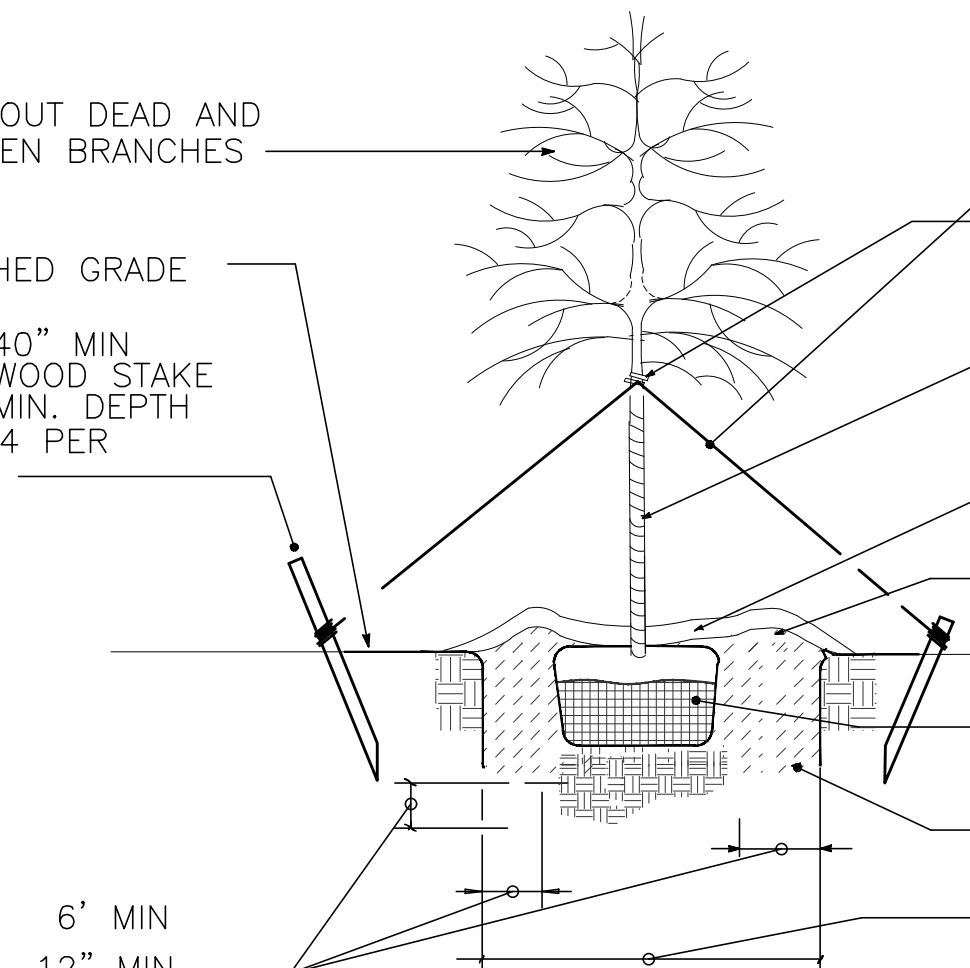
LANDSCAPE TABULATIONS:

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP 1 TREE PER 50 FT. OF STREET FRONTAGE (N/A FT.)	N/A	N/A
PARKING SPACE (67 SP) 1 TREE PER 10 REQ. PARKING SPACES (60 REQ. SPACES)	7 TREES	10 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 47,027 SF.) COMMERCIAL/ GENERAL RETAIL	6,536 SF.	8,336 SF.
	15% OF LOT AREA	

THIN OUT DEAD AND BROKEN BRANCHES

FINISHED GRADE

2x2x40" MIN MIN WOOD STAKE
30" MIN. DEPTH
USE 4 PER TREE



DOUBLE STRAND OF 12 GAUGE WIRE

2 PLY REINFORCED RUBBER HOSE

WRAP TREE TRUNK AS SPECIFIED

2" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK

SAUCER, 4" HEIGHT

REMOVE BURLAP FROM TOP 1/3 OF TREE

PREPARED PLANTING SOIL MIXTURE, SEE SPECS.

DIAMETER OF BALL PLUS 24" 4'-6" MIN.

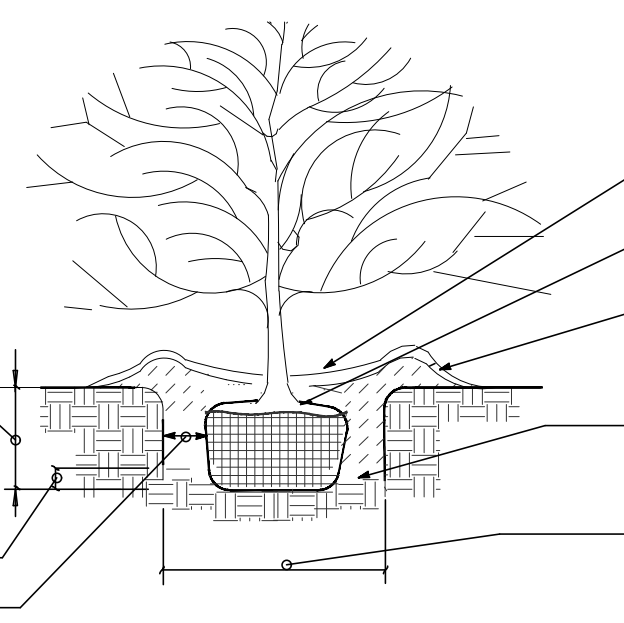
LARGE TREE STAKING DETAIL

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

BALL DEPTH PLUS 4" 18" MIN.

PREPARED PLANTING SOIL MIXTURE, SEE SPECIFICATION

BALL DIAMETER PLUS 12" MINIMUM



3" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK.

CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.

SAUCER

PREPARED PLANTING SOIL MIXTURE. SEE SPECIFICATION

BALL DIAMETER PLUS 12" MINIMUM

SHRUB PLANTING DETAIL

NOT TO SCALE



IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



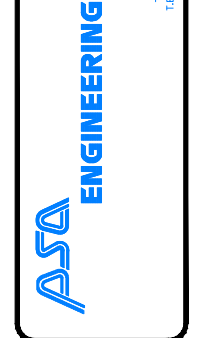
REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

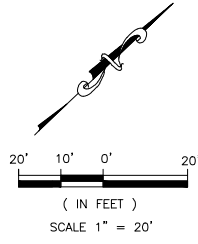
TREE PRESERVATION PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TX 75244
TEL: 972.284.2651
TX T.B.P.E. REGISTRATION # F-008754
T.B.P.L.S. FIRM REGISTRATION # 100433



SCALE:	AS SHOWN
DESIGNED:	PSS
DRAWN:	PSA
CHECKED:	PSS
PROJECT NO.	21737.VPR
DATE:	JULY 16, 2018
SHEET:	L-02



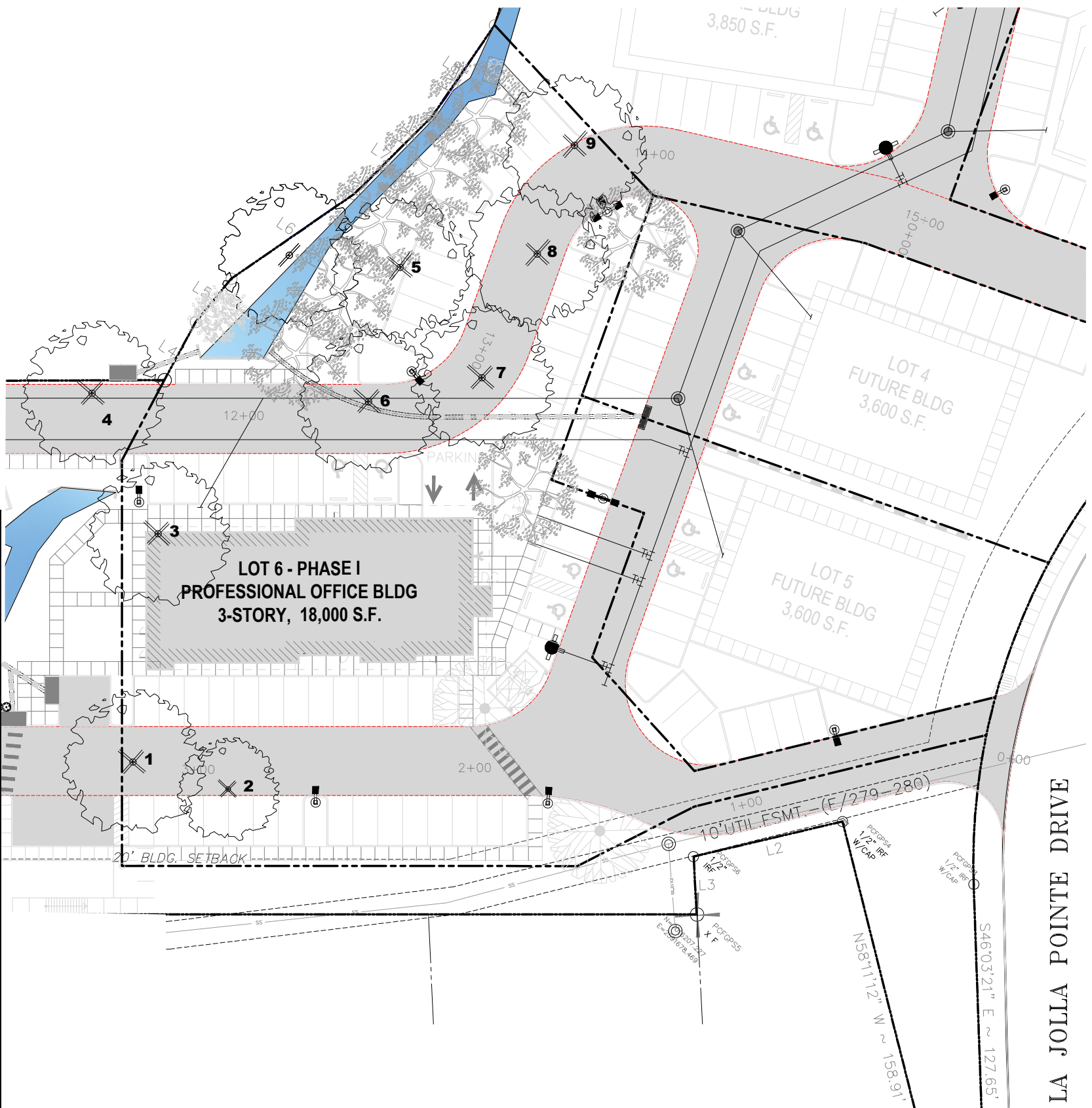
PROTECTED TREE SURVEY

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	9"	WHITE OAK	QUERCUS ALBA
2	8"	WHITE OAK	QUERCUS ALBA
3	11"	WHITE OAK	QUERCUS ALBA
4	9"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	14"	LIVE OAK	QUERCUS VIRGINIANA
7	11"	WHITE OAK	QUERCUS ALBA
8	14"	WHITE OAK	QUERCUS ALBA
9	12"	WHITE OAK	QUERCUS ALBA
94"	TOTAL INCHES OF TREE REMOVED-100% REPLACEMENT RATIO		
94"	TOTAL INCHES OF TREE REPLACEMENT REQUIRED		
57"	TOTAL INCHES OF TREE REPLACEMENT PROVIDED		
-37"	PURCHASE OF CREDIT		

LEGENDS:

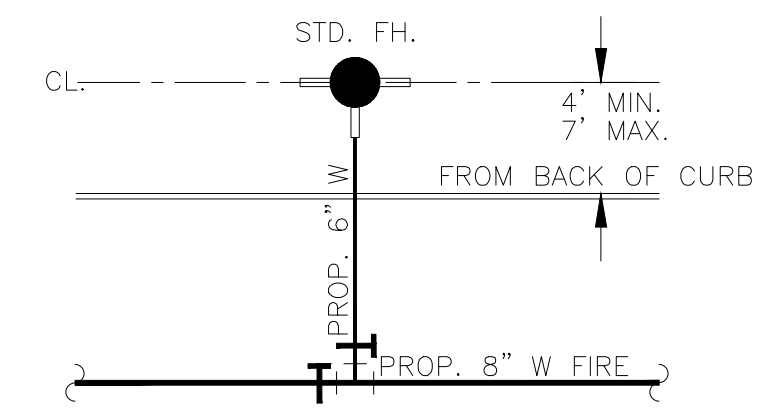
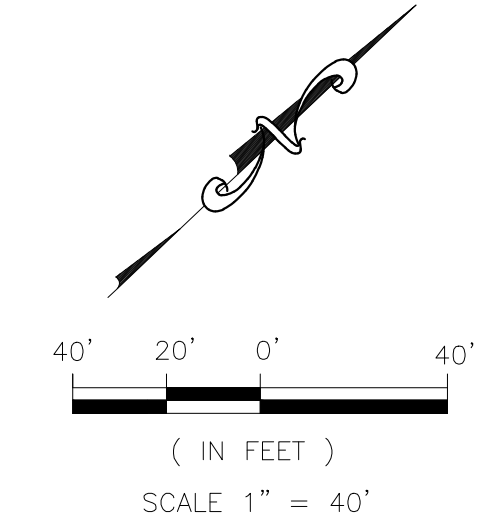
EXISTING TREE					
	PROPERTY LINE		EXISTING TREE TO KEEP		
	EASEMENT LINE		EXISTING TREE TO BE REMOVED		
	IRON ROD				
	EXISTING SANITARY MANHOLE				
	PROPOSED SANITARY MANHOLE				
	EXISTING FIRE HYDRANT				
	PROPOSED FIRE HYDRANT				

TREE REPLACEMENT					
SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
	3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
	7	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
	1	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN



IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.





TYP. FIRE HYDRANT DETAIL
NTS

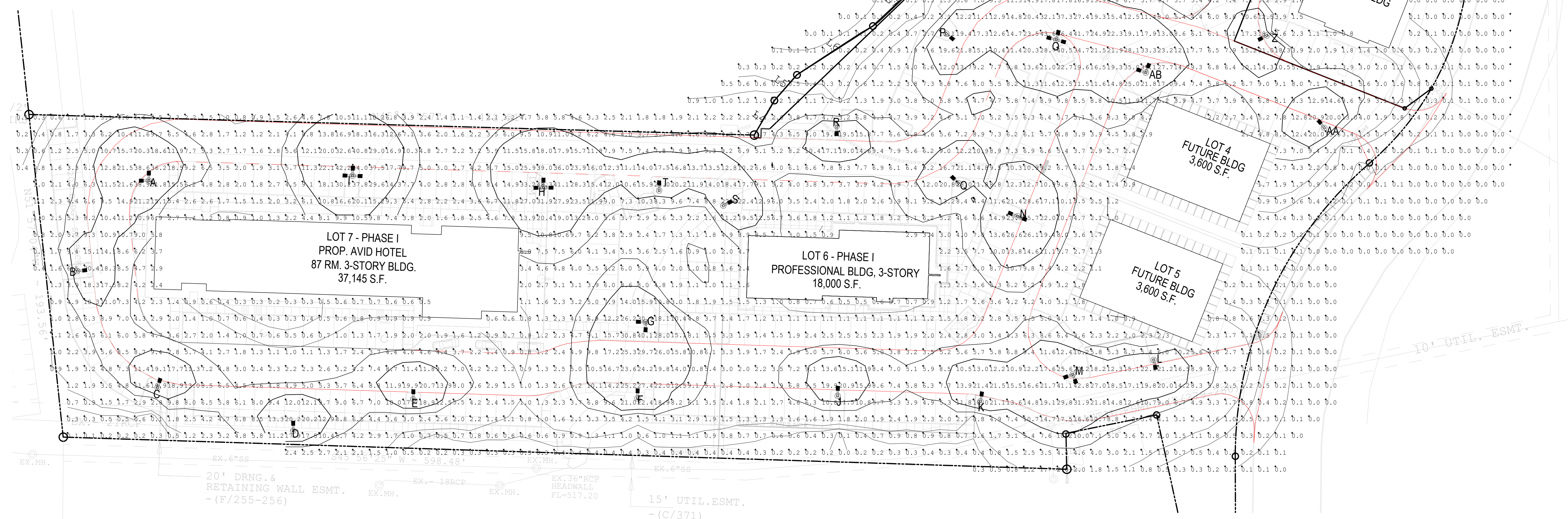
LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 10" W PROP. 10" WATER LINE
- S.S. PROP. 8" S.S. LINE
- PROPOSED WATER TEE
- PROPOSED WATER VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE (ONE HEAD)
- PROPOSED LIGHT POLE (TWO HEADS)
- PROPOSED LIGHT POLE (THREE HEADS)

Luminaire Tag Summary		Qty
90 DOUBLE HEAD		5
90 TRIPLE HEAD		3
B2B		1
SINGLE HEAD		19

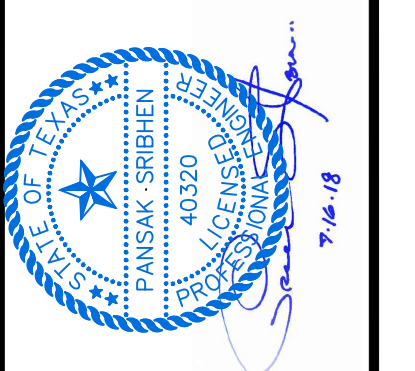
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	ILLUMINANCE	Fc	4.21	56.4	0.0	N.A.	N.A.

Expanded Luminaire Location Summary										
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
A	EALP01 L2AN750	2591258	7016270	20	90	0	2591258	7016270	0	1
B	EALP01 L2AN750	2591215	7016216	20	6.365	0	2591215	7016216	0	1
C	EALP01 L2AN750	2591263	7016146	20	72.791	0	2591263	7016146	0	1
D	EALP01 L2AN750	2591344	7016120	20	90	0	2591344	7016120	0	1
E	EALP01 L2AN750	2591416	7016140	20	90.25	0	2591416	7016140	0	1
F	EALP01 L2AN750	2591548	7016140	20	91.848	0	2591548	7016140	0	1
G	EALP01 L2AN750	2591554	7016185	20	177.09	0	2591554	7016185	0	1
H	EALP01 L2AN750	2591493	7016265	20	90.464	0	2591493	7016265	0	1
I	EALP01 L2AN750	2591378	7016275	20	0.805	0	2591378	7016275	0	1
J	EALP01 L2AN750	2591667	7016143	20	89.597	0	2591667	7016143	0	1
K	EALP01 L2AN750	2591751	7016140	20	79.595	0	2591751	7016140	0	1
L	EALP01 L2AN750	2591857	7016162	20	281.912	0	2591857	7016162	0	1
M	EALP01 L2AN750	2591809	7016154	20	290.556	0	2591809	7016154	0	1
N	EALP01 L2AN750	2591776	7016248	20	158.478	0	2591776	7016248	0	1
O	EALP01 L2AN750	2591797	7016353	20	341.607	0	2591797	7016353	0	1
P	EALP01 L2AN750	2591740	7016268	20	132.274	0	2591740	7016268	0	1
Q	EALP01 L2AN750	2591733	7016357	20	320.194	0	2591733	7016357	0	1
R	EALP01 L2AN750	2591668	7016302	20	270	0	2591668	7016302	0	1
S	EALP01 L2AN750	2591600	7016255	20	28.95	0	2591600	7016255	0	1
T	EALP01 L2AN750	2591562	7016264	20	90	0	2591562	7016264	0	1
U	EALP01 L2AN750	2591936	7016431	20	175.278	0	2591936	7016431	0	1
V	EALP01 L2AN750	2591879	7016479	20	3.991	0	2591879	7016479	0	1
W	EALP01 L2AN750	2591945	7016529	20	64.515	0	2591945	7016529	0	1
X	EALP01 L2AN750	2591996	7016569	20	202.557	0	2591996	7016569	0	1
Y	EALP01 L2AN750	2591949	7016658	20	227.726	0	2591949	7016658	0	1
Z	EALP01 L2AN750	2591924	7016356	20	207.613	0	2591924	7016356	0	1
AA	EALP01 L2AN750	2591958	7016301	20	128.418	0	2591958	7016301	0	1
AB	EALP01 L2AN750	2591852	7016334	20	70.017	0	2591852	7016334	0	1

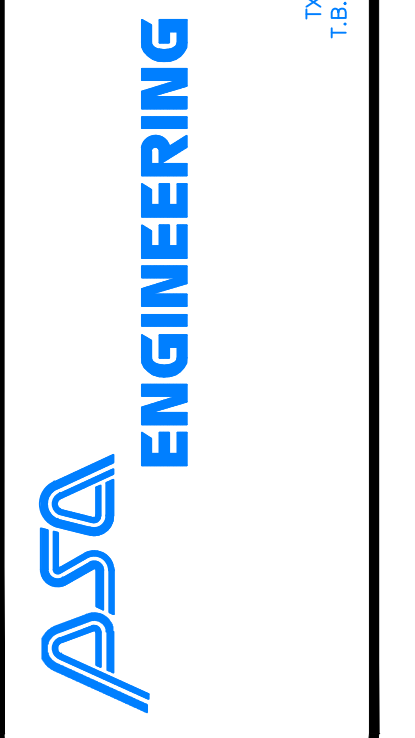


REVISION		
NO.	DATE	BY
0	Y-M-D	P55

OVERALL PHOTOMETRIC
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17919 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 246-9851
TX. T.B.E. REGISTRATION # F-000974
I.B.P.L.S. FIRM REGISTRATION # 100423



SCALE:	AS SHOWN
DESIGNED:	P55
DRAWN:	PSA
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 13, 2018
SHEET:	C-05

Z:\2017\21737.VPR\CURRENT\SHEET\18-07-14 SITE PLAN SET\PLANS SET - MEDICAL OFFICE\04-07.dwg, C:05, 7/16/2018 11:42:22 PM.
 DWG TO PDF PLOT: ACR (Expanded) 12x18 (8.5x11.69)

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS
FOR
TRACT 1 - PROFESSIONAL OFFICE @
DFW HOSPITALITY OF ROCKWALL, LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

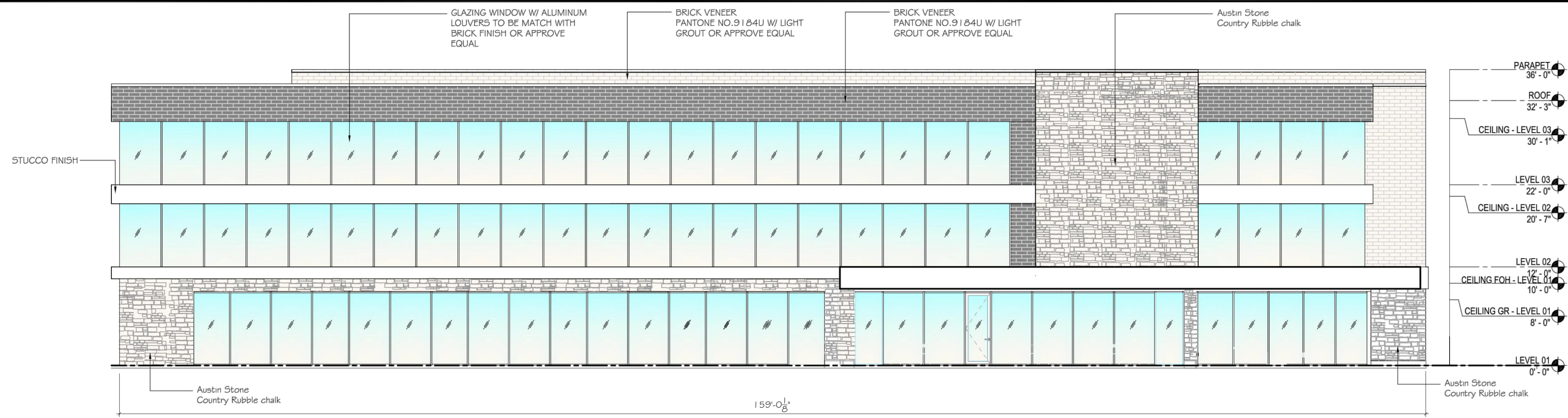
R.T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: A2.0



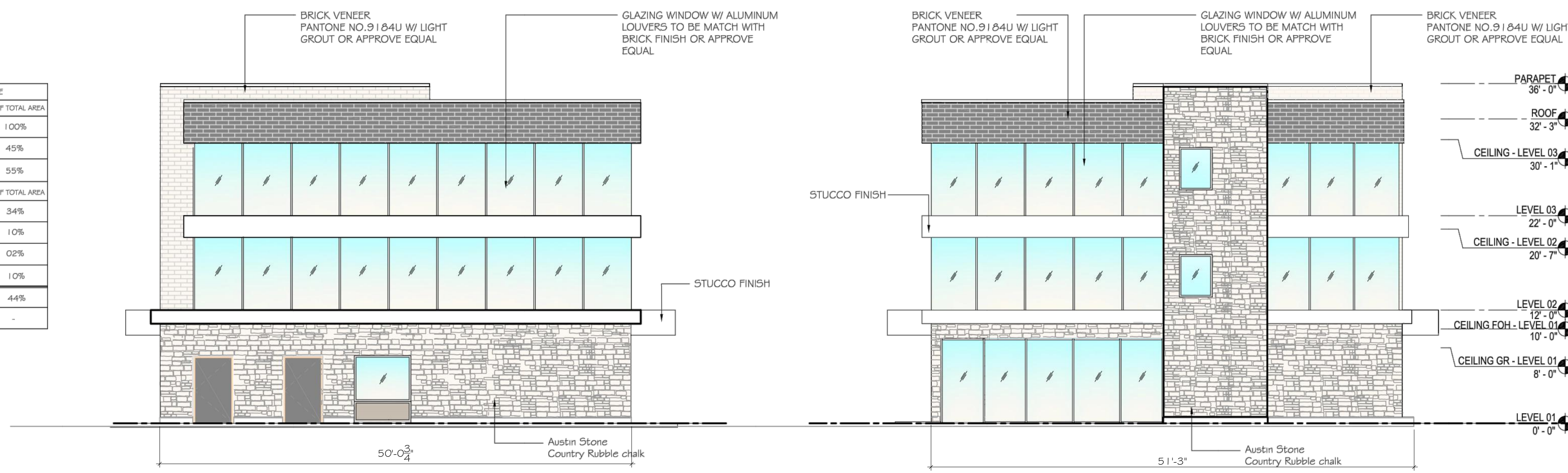
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS CALCULATION TABLE:

DESCRIPTION	FRONT SIDE		REAR SIDE		LEFT SIDE		RIGHT SIDE	
	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
TOTAL OF ELEVATION AREA	5,215 S.F.	100%	5,402 S.F.	100%	1,620 S.F.	100%	1,727 S.F.	100%
GLAZING DOORS + WINDOWS	3,063 S.F.	59%	2,922 S.F.	54%	759 S.F.	45%	775 S.F.	45%
NET AREA (EXCLUSIVE OF W/D)	2,152 S.F.	41%	2,480 S.F.	46%	861 S.F.	55%	952 S.F.	55%
DESCRIPTION	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
M1 - AUSTIN STONE VENEER	594 S.F.	11%	916 S.F.	17%	396 S.F.	24%	577 S.F.	34%
M2 - BRICK VENEER	616 S.F.	12%	663 S.F.	12%	207 S.F.	12%	172 S.F.	10%
M3 - BRICK VENEER	317 S.F.	6%	319 S.F.	6%	109 S.F.	6%	29 S.F.	2%
M4 - STUCCO	623 S.F.	12%	560 S.F.	11%	207 S.F.	12%	174 S.F.	10%
GLAZING DOOR + WINDOW	3,063 S.F.	59%	2,922 S.F.	54%	717 S.F.	43%	775 S.F.	44%
DOOR	-	-	-	-	42 S.F.	3%	-	-

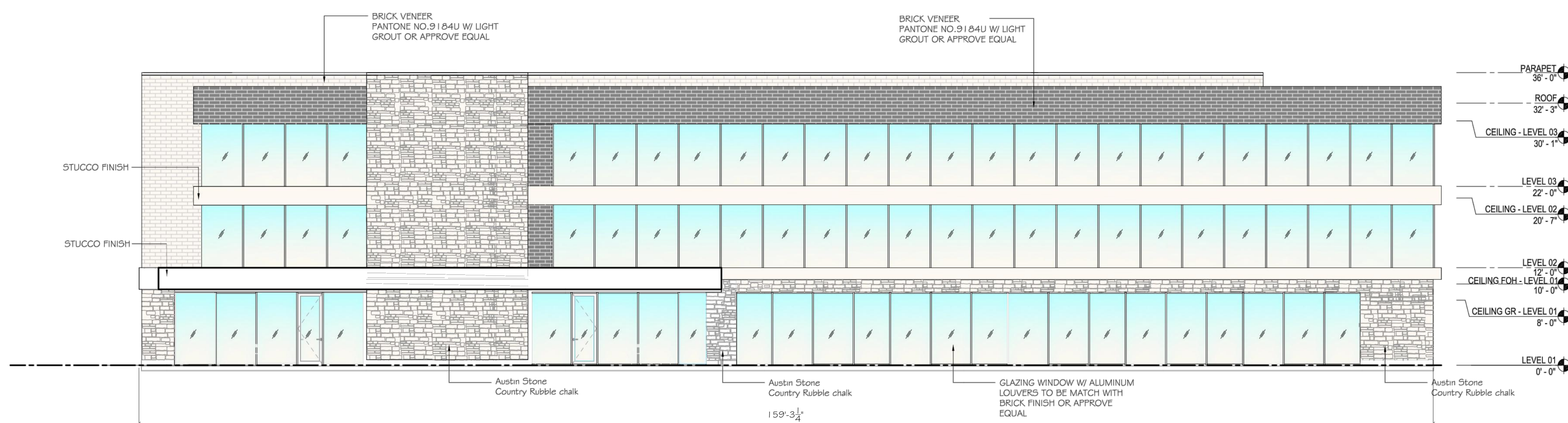
FINISH SCHEDULE

- AUSTIN STONE VENEER COUNTRY RUBBLE CHALK
- STUCCO WALL
- BRICK VENEER
- BRICK VENEER
- GLAZING



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"

City of Rockwall Project Plan Review History



Project Number SP2018-025	Owner ROCKWAY, PARTNERS LLP	Applied 7/17/2018 LM
Project Name Office Building	Applicant PSA ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 7/24/2018 DG

Site Address 516 LA JOLLA POINTE DR	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision RICHARD HARRIS	Tract 6	Block A	Lot No 6	Parcel No 4119-000A-0006-00-OR	General Plan
--------------------------------------	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/25/2018 4:19 PM SH) - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a 90* angle. - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area - Parking to be 20' by 9' standard. - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced - Dumpster to drain to an oil/water separator. - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - No grate inlets allowed - Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide. - Must loop water line now. - Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives. - Driveway spacing must be 100' minimum. - 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together. - Must add 5' sidewalks along La Jolla Dr. 2' off of property line. - Will the sewer lines under La Jolla be bored or Steet encased? - Please see attached mark up.							
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
(7/19/2018 10:03 AM LS) Address assignment will be: 516 LA JOLLA POINTE DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p>						
<p>* Planning Department General Comments to be addressed:</p>						
<ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits. 3. Label all revised site plan documents with "Case No. SP2018-025" at the lower right corner. 4. The development is to comply with the Scenic Overlay (SOV) District standards. 						
<p>VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:</p>						
<p>The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):</p>						
<ol style="list-style-type: none"> 1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation standards for the north and south elevations. 2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north & south facing elevations. 3. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building 4. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof. 						
<p>THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:</p>						
<ol style="list-style-type: none"> a. On & Off-Site Surface Drainage Area Map - submit with civil set. b. Proposed Utility Layout Plan - submit with civil set. c. Level 01 - Floor Plan - submit with building permit. d. Overall Location - informational only. 						
<p>** Please address the following Planning Comments for each plan submitted</p>						
<p>Site Plan:</p>						
<ol style="list-style-type: none"> 1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan. 2. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility). 						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
3. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with enclosure walls to a minimum of 8-ft in height and the exterior materials matching the primary structure.						
4. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such when lot is reconfigured						
5. Verify parking count; two (2) spaces short (i.e. 61 spaces) = east are marked 5, has 4 spaces & north area marked 10, has 9 parking spaces. Also provide a garage layout indicating the parking spaces to be used.						
6. Verify building length-- not equal to what is depicted on elevation drawings. Verify and correct.						
7. Verify scale of 1 inch = 40-ft.						

Landscape Plan:

1. Provide a row of trees behind the perimeter of the building per SOV standards
2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide trees in islands.
3. Correct legend to indicate 7,054 SF of landscaping required (47,027 SF x 15%).

Treescape Plan:

1. Mitigation credit of 8 inches to be used towards mitigation balance [see SP2018-024 & SP2018-025] of 37 inches, which leaves a mitigation balance due of 29 caliper inches. Mitigation balance may be satisfied by either a) replacing 10 - 3 caliper inch trees on site, b) donate the trees to the parks department, c) provide a payment of up to 20% of the mitigation balance (20% x 29 inches = 5.8 inches @ \$100 per inch = \$580 to the tree fund, with the balance of 23.2 inches being planted/donated (i.e. 8 - 3 inch trees). If none of the above are preferred, the applicant may request an Alternative Tree Mitigation Settlement Agreement which requires approval by the City Council in order for the applicant to pay 100% of the mitigation balance to the tree fund (i.e. \$2,900). Identify which method will be used to satisfy the mitigation balance.

Photometric Plan:

1. Provide a separate photometric plan for each lot/development.
2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan.
3. Exterior light pole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above.

Building Elevations:

1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration.
2. Length of building does not equal building footprint on site plan. Verify and correct.
3. Dash in RTU's. Must be visually screened from rights-of-way and adjacent properties.
4. See variance above for not meeting the vertical articulation standards.
5. See variance above for not meeting the minimum 20% stone requirement.
6. Provide a materials sample board for the ARB meeting on July 31, 2018.

*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com

**** Scheduled Meeting Dates to Attend

Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]
 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Architectural Review Board August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e.approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						

REVISION		
NO.	DATE	BY
0	Y-M-D	P55

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

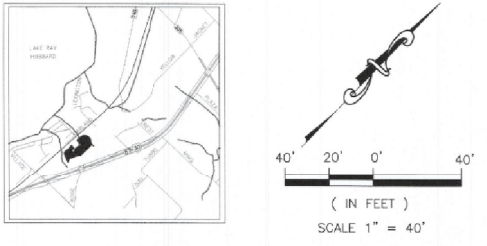
SITE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75225
 (972) 248-9851
 TX T.B.P.E. REGISTRATION # F-006874
 T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN
 DESIGNED: P55
 DRAWN: P5A
 CHECKED: P55

PROJECT NO. 21737.VPR
 DATE: JULY 16, 2018
 SHEET: C-01



SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x18' AND HANDICAP STALLS SHALL BE 11'x58'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 18'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

NOTE:
 LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LEGEND

	PROPOSED WTR. LINE		INDICATE GRATE INLET
	PROPOSED S.S. LINE		INDICATE CURB INLET
	PROPERTY LINE		REBAR FOUND
	EASEMENT LINE		CAPPED REBAR SET
	STORM SEWER LINE		IRON ROD FOUND
	IRON ROD		IRON ROD SET
	PROPOSED SANITARY MANHOLE		UTILITY EASEMENT
	EXISTING SANITARY MANHOLE		EXISTING
	EXISTING FIRE HYDRANT		WATER LINE
	PROPOSED FIRE HYDRANT		EXISTING SANITARY SEWER MANHOLE
	PROPOSED SITE LIGHTING 20' HT. MAX.		BUILDING SETBACK LINE
	INDICATE PARKING NO.		RIGHT OF WAY

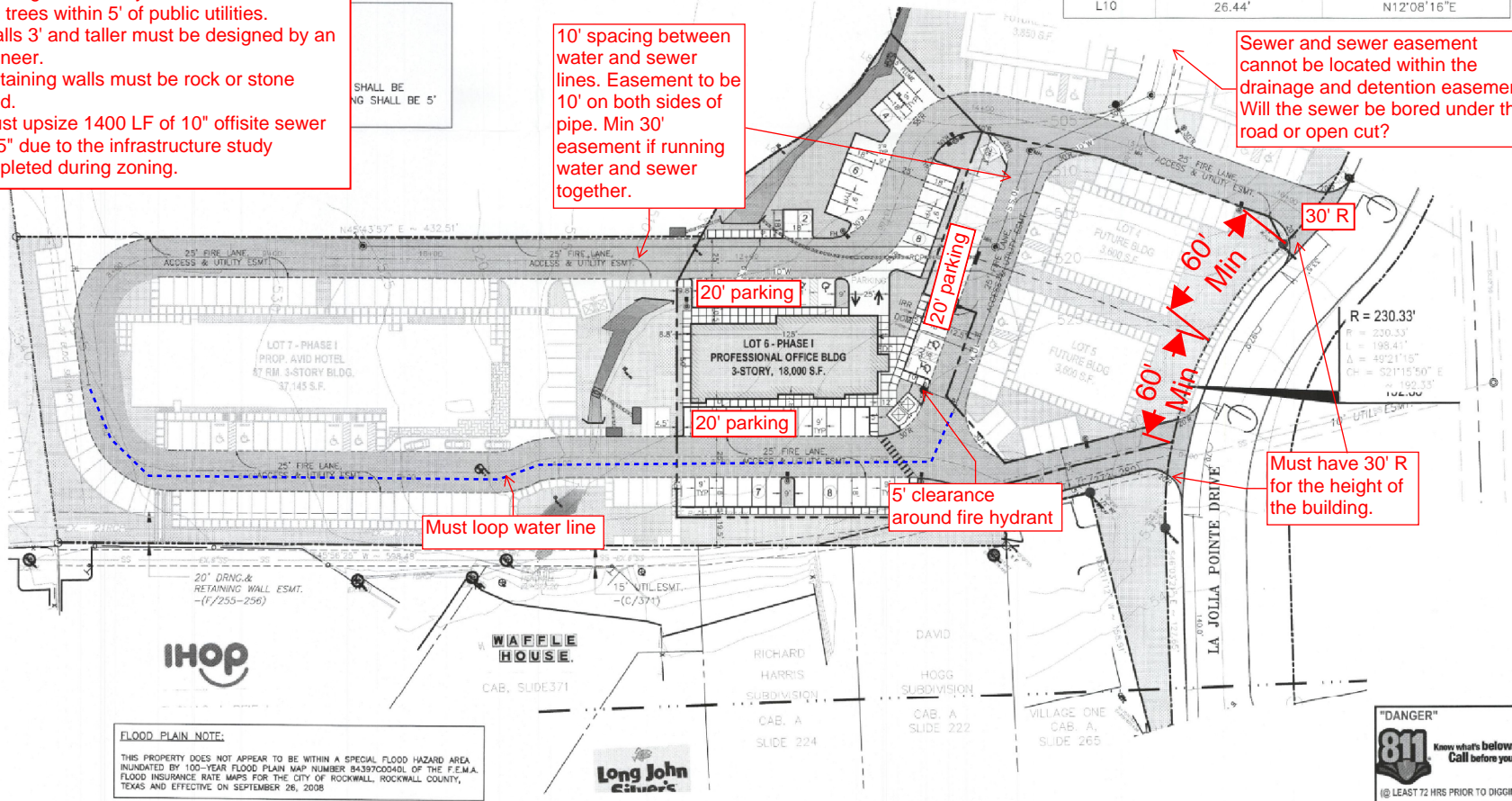
LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90° angle.
- Must build complete water line loop now.
- must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area.
- Parking to be 20' by 9' standard.
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.

Sewer and sewer easement cannot be located within the drainage and detention easement. Will the sewer be bored under the road or open cut?



FLOOD PLAIN NOTE:
 THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAN MAP NUMBER BA3970004DL OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



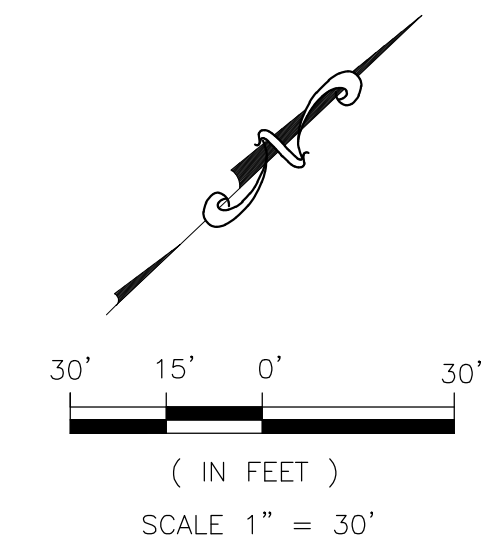
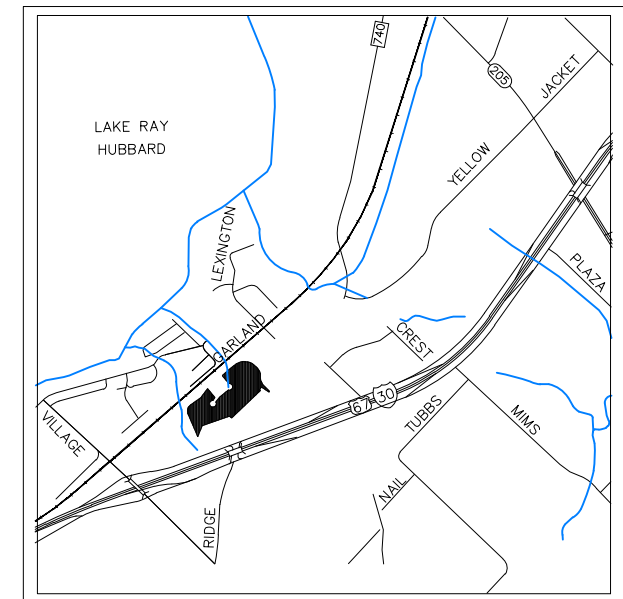


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND	
	PROPOSED WTR. LINE
	PROPOSED S.S. LINE
	PROPERTY LINE
	EASEMENT LINE
	STROM SEWER LINE
	IRON ROD
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED SITE LIGHTING 20' HT. MAX.
	INDICATE PARKING NO.
	INDICATE GRATE INLET
	INDICATE CURB INLET
RF	REBAR FOUND
CRS	CAPPED REBAR SET
IRF.	IRON ROD FOUND
IRS.	IRON ROD SET
UTIL.	UTILITY
ESMT.	EASEMENT
EX.	EXISTING
WTR.	WATER LINE
EX.MH.	EXISTING SANITARY SEWER MANHOLE
B.L.	BUILDING SETBACK LINE
R.O.B.	RIGHT OF WAY

LINE TABLE-TRACT 1		
LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
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L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LOT INFORMATION	
LOT 6 - PHASE I	
AREA LOT	= 47,027 S.F. (1.080 AC.)
TOTAL BLDG. AREA	= 18,000 S.F.
PROPOSED	= PROFESSIONAL BLDG. 3-STORY
PARKING REQUIREMENTS	
PARKING RATIO	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 90 SP
TOTAL PARKING PROVIDED	= 90 SP
HANDICAP PARKING REQUIRED	= 4 SP
SURFACE PARKING PROVIDED	= 59 SP
GARAGE PARKING PROVIDED	= 27 SP

SITE NOTE:

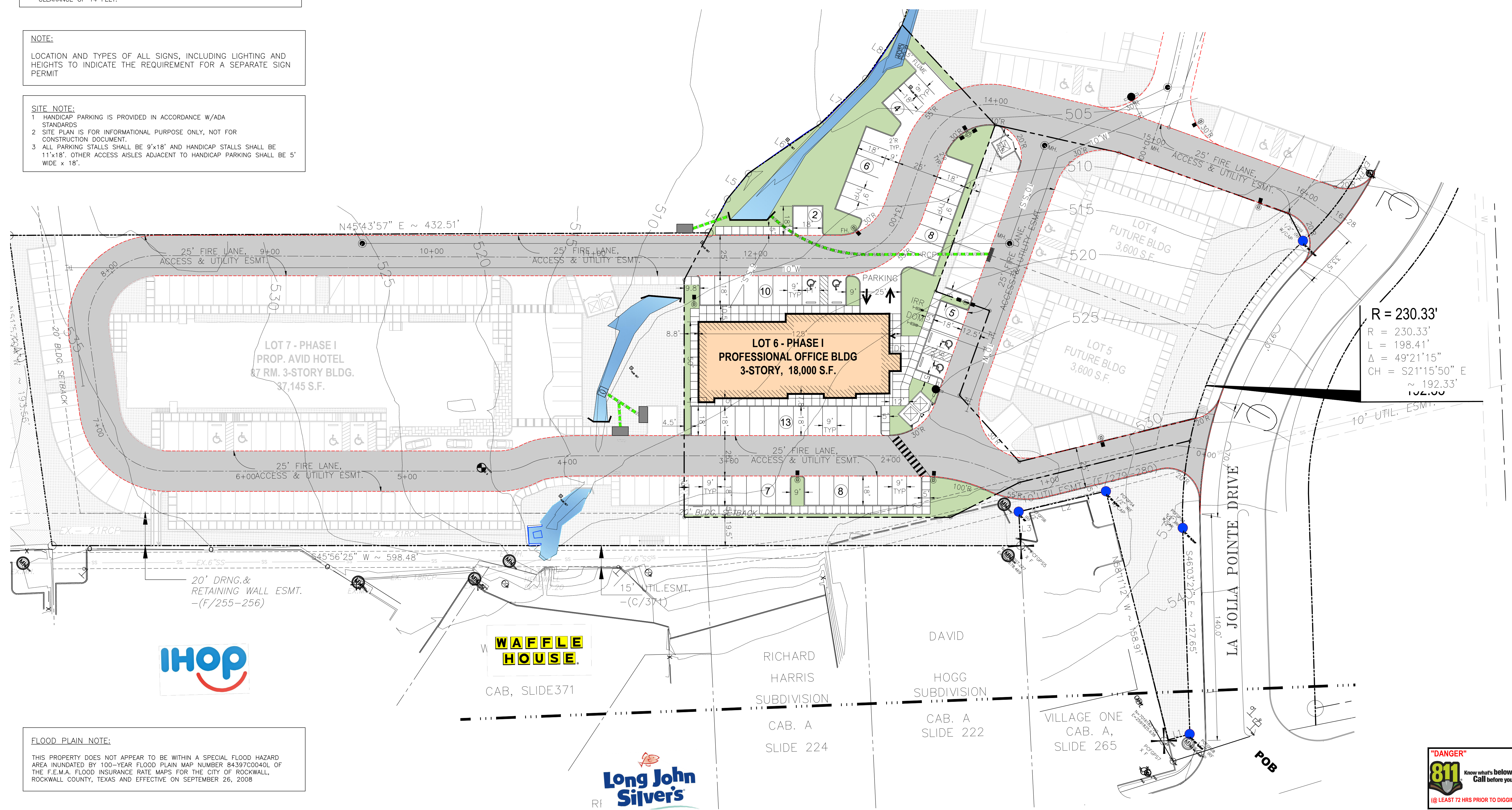
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- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
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NOTE:

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SITE NOTE:

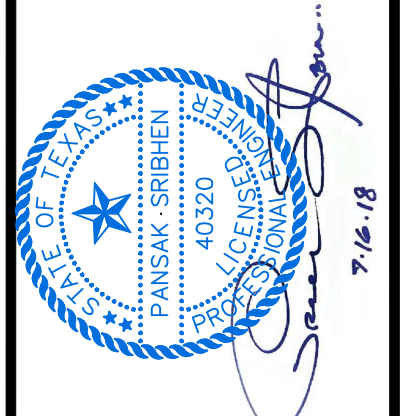
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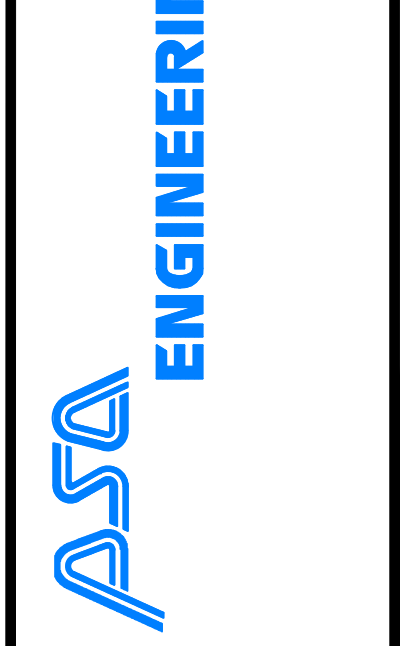
R = 230.33'
 R = 230.33'
 L = 198.41'
 Δ = 49°21'15"
 CH = S21°15'50" E
 ≈ 192.33'

REVISION		
NO.	DATE	BY
0	Y-M-D	P55

SITE PLAN FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS



17819 DANFORTH ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.P.E. REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433



SCALE:	AS SHOWN
DESIGNED:	P55
DRAWN:	P5A
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 16, 2018
SHEET:	C-01



FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008

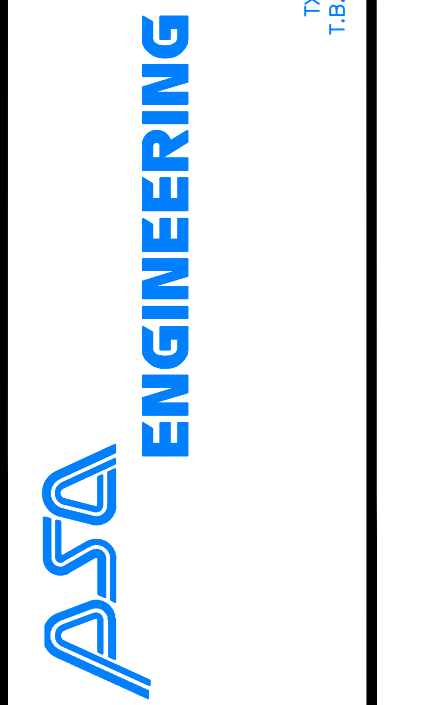
REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17818 DAWSONPORT ROAD, SUITE 215
DALLAS, TEXAS 75244
(972) 248-8651
TX T.B.S.F. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 100433



SCALE: AS SHOWN

DESIGNED: PSS

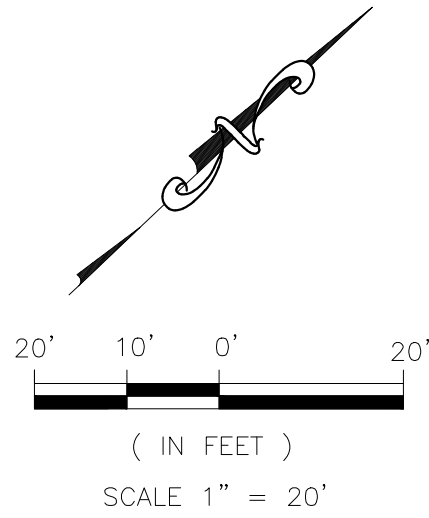
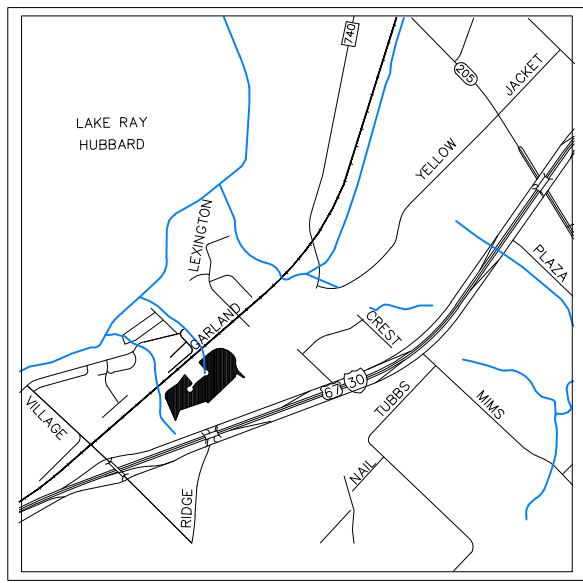
DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: JULY 16, 2018

SHEET: L-01



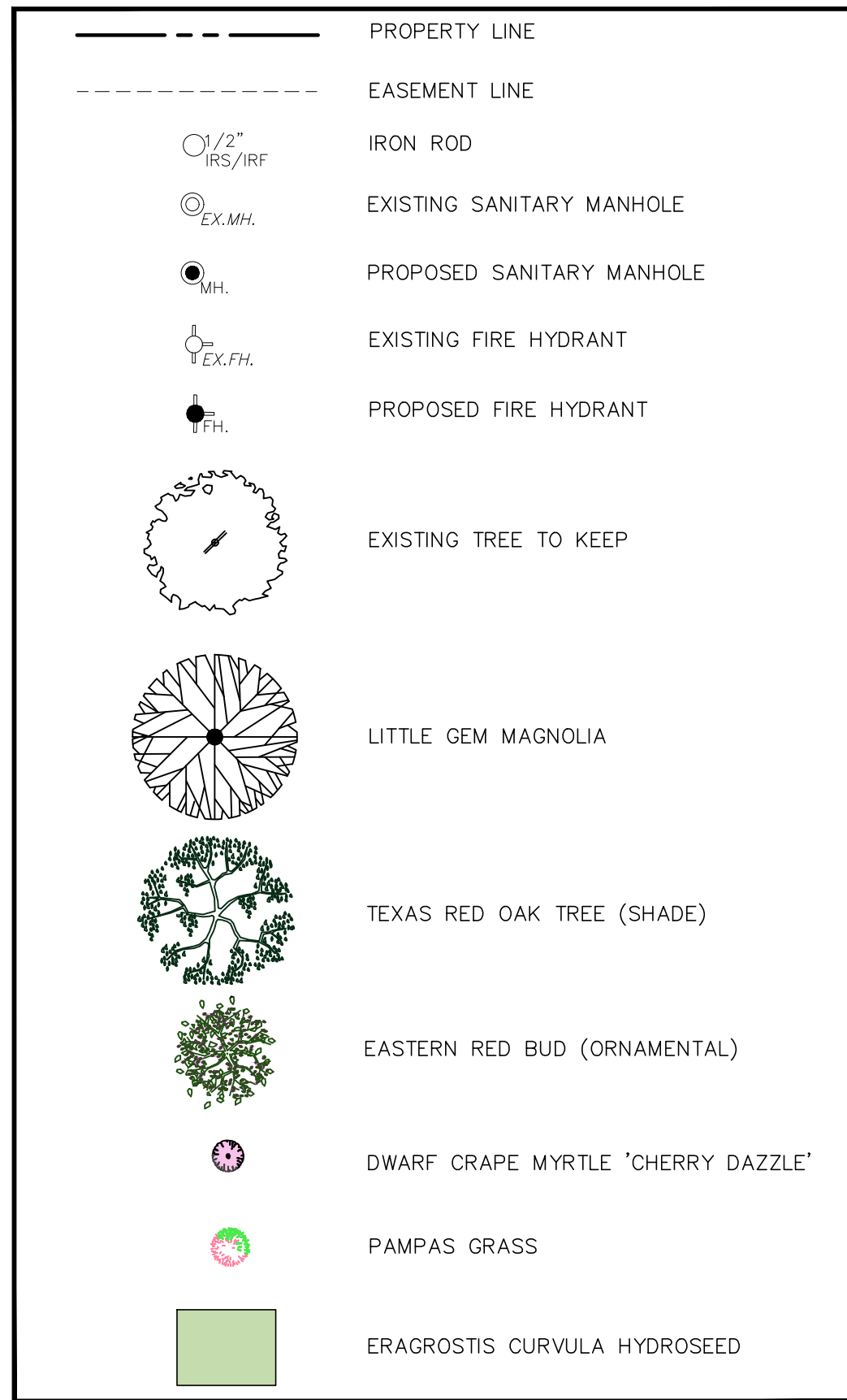
PLANT MATERIAL SCHEDULE :

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
02	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
07	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
01	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
22	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
18	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
6,998 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	

LANDSCAPE NOTE:

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTÉ 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN OR LOCAL (TEXAS ASSOCIATION OF NURSERMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTOILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURERS RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

LEGENDS:



LANDSCAPE TABULATIONS:

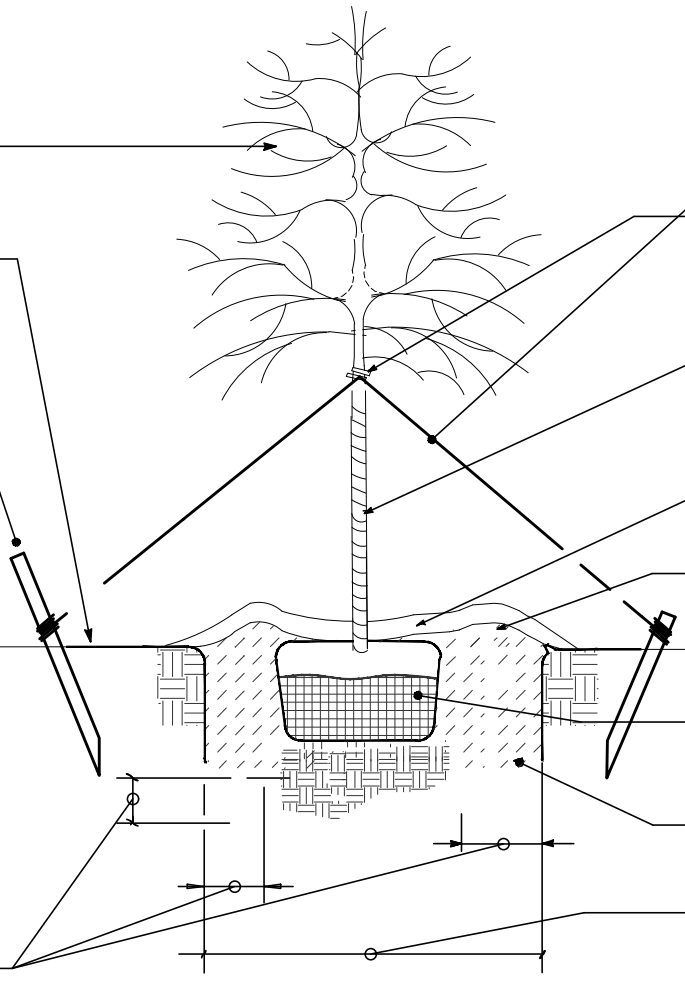
	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP 1 TREE PER 50 FT. OF STREET FRONTAGE (N/A FT.)	N/A	N/A
PARKING SPACE (67 SP) 1 TREE PER 10 REQ. PARKING SPACES (60 REQ. SPACES)	7 TREES	10 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 47,027 SF.) COMMERCIAL/ GENERAL RETAIL	6,536 SF.	8,336 SF.
	15% OF LOT AREA	

THIN OUT DEAD AND BROKEN BRANCHES

FINISHED GRADE

2x2x40" MIN
MIN WOOD STAKE
30" MIN. DEPTH
USE 4 PER TREE

6" MIN
12" MIN.



LARGE TREE STAKING DETAIL

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

DOUBLE STRAND OF 12 GAUGE WIRE

2 PLY REINFORCED RUBBER HOSE

WRAP TREE TRUNK AS SPECIFIED

2" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK

SAUCER, 4" HEIGHT

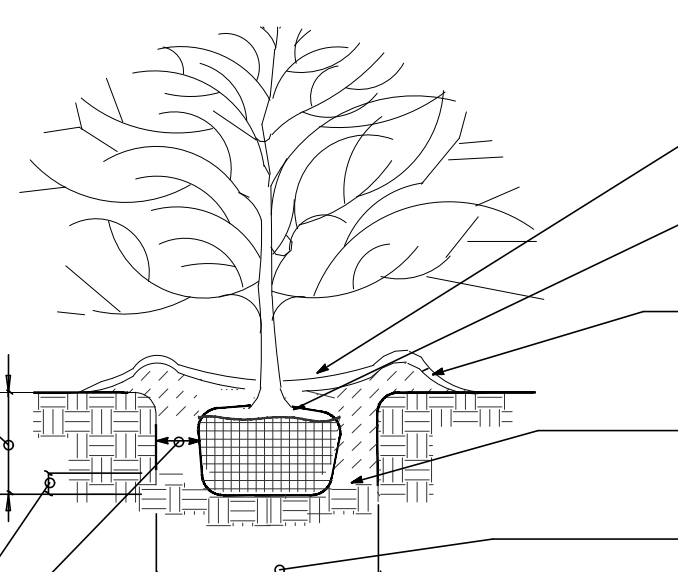
REMOVE BURLAP FROM TOP 1/3 OF TREE

PREPARED PLANTING SOIL MIXTURE, SEE SPECS.

DIAMETER OF BALL PLUS 24" 4'-6" MIN.

BALL DEPTH PLUS 4" 18" MIN.

4" MIN
6" MIN.



SHRUB PLANTING DETAIL

NOT TO SCALE



IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



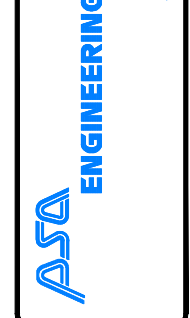
REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

TREE PRESERVATION PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TX 75248
TX T.B.P.E. REGISTRATION # F-008754
T.B.P.L.S. FIRM REGISTRATION # 100443

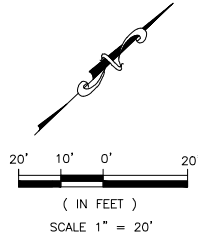


SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: JULY 16, 2018

SHEET: L-02



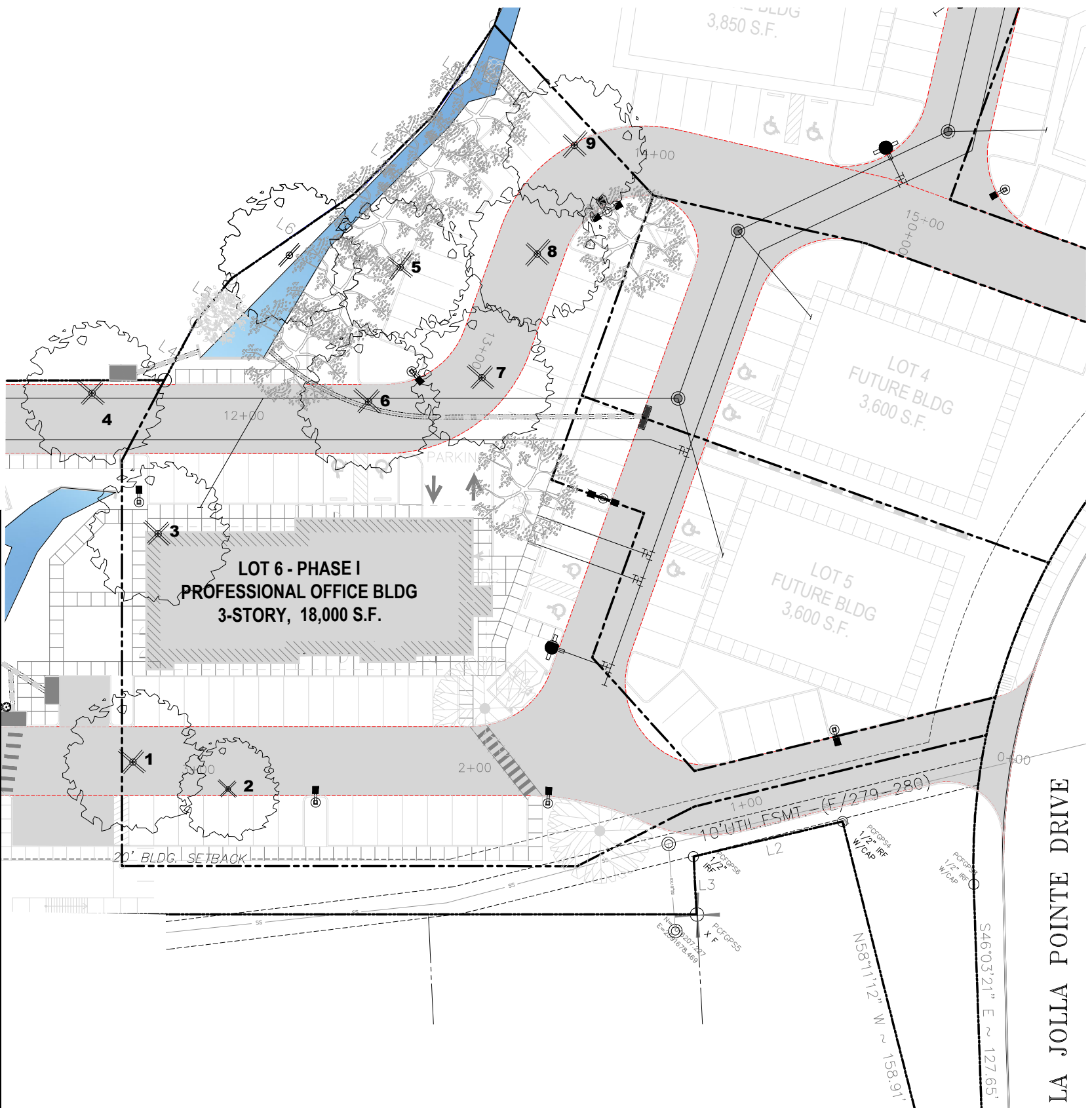
PROTECTED TREE SURVEY

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	9"	WHITE OAK	QUERCUS ALBA
2	8"	WHITE OAK	QUERCUS ALBA
3	11"	WHITE OAK	QUERCUS ALBA
4	9"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	14"	LIVE OAK	QUERCUS VIRGINIANA
7	11"	WHITE OAK	QUERCUS ALBA
8	14"	WHITE OAK	QUERCUS ALBA
9	12"	WHITE OAK	QUERCUS ALBA
94"	TOTAL INCHES OF TREE REMOVED-100% REPLACEMENT RATIO		
94"	TOTAL INCHES OF TREE REPLACEMENT REQUIRED		
57"	TOTAL INCHES OF TREE REPLACEMENT PROVIDED		
-37"	PURCHASE OF CREDIT		

LEGENDS:

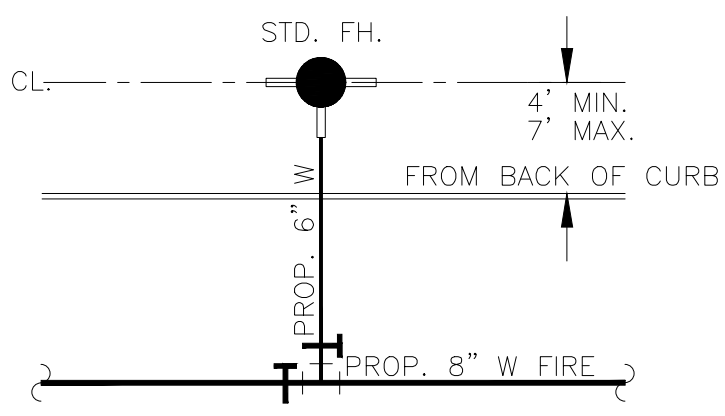
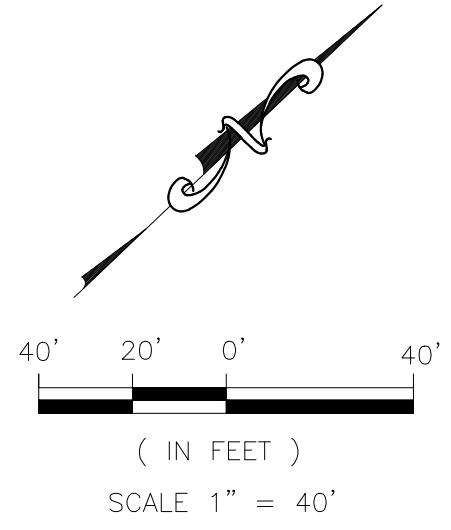
EXISTING TREE					
	PROPERTY LINE		EXISTING TREE TO KEEP		
	EASEMENT LINE		EXISTING TREE TO BE REMOVED		
	IRON ROD				
	EXISTING SANITARY MANHOLE				
	PROPOSED SANITARY MANHOLE				
	EXISTING FIRE HYDRANT				
	PROPOSED FIRE HYDRANT				

TREE REPLACEMENT					
SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
	3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
	7	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
	1	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN



IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.





TYP. FIRE HYDRANT DETAIL
NTS

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 10" W PROP. 10" WATER LINE
- S.S. PROP. 8" S.S. LINE
- PROPOSED WATER TEE
- PROPOSED WATER VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE (ONE HEAD)
- PROPOSED LIGHT POLE (TWO HEADS)
- PROPOSED LIGHT POLE (THREE HEADS)

Luminaire Tag Summary

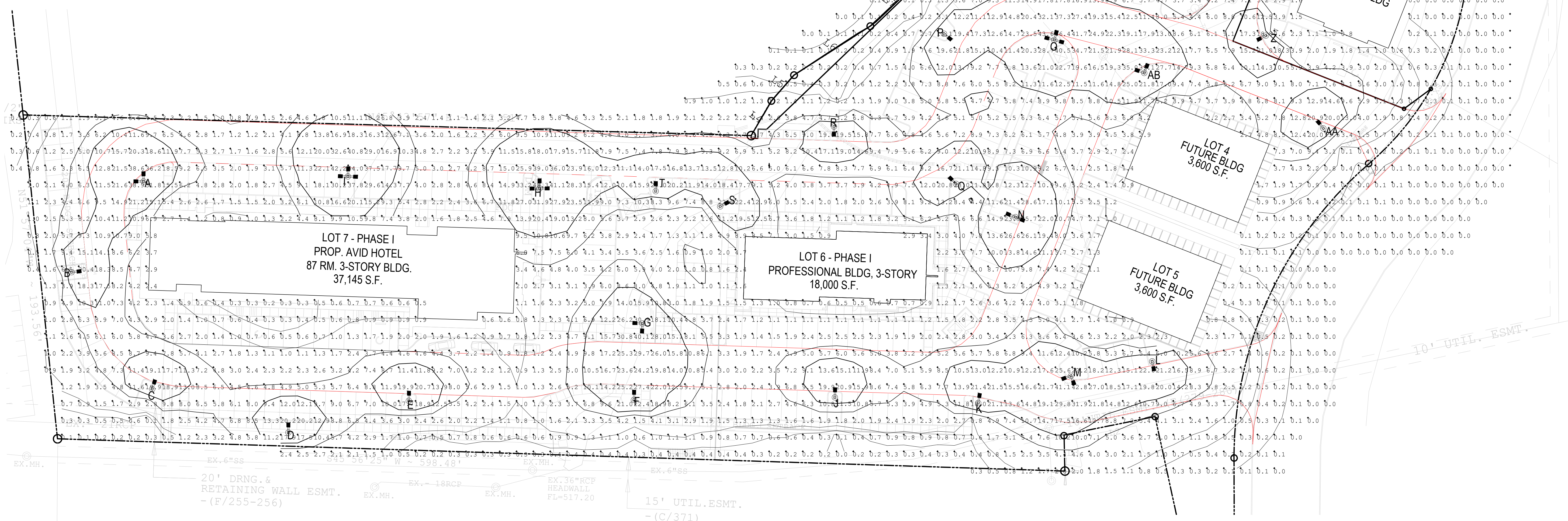
Tag	Qty
90 DOUBLE HEAD	5
90 TRIPLE HEAD	3
B2B	1
SINGLE HEAD	19

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	ILLUMINANCE	Fc	4.21	56.4	0.0	N.A.	N.A.

Expanded Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
A	EALP01 L2AN750	2591258	7016270	20	90	0	2591258	7016270	0	1
B	EALP01 L2AN750	2591215	7016216	20	6.365	0	2591215	7016216	0	1
C	EALP01 L2AN750	2591263	7016146	20	72.791	0	2591263	7016146	0	1
D	EALP01 L2AN750	2591344	7016120	20	90	0	2591344	7016120	0	1
E	EALP01 L2AN750	2591416	7016140	20	90.25	0	2591416	7016140	0	1
F	EALP01 L2AN750	2591548	7016140	20	91.848	0	2591548	7016140	0	1
G	EALP01 L2AN750	2591554	7016185	20	177.09	0	2591554	7016185	0	1
H	EALP01 L2AN750	2591493	7016265	20	90.464	0	2591493	7016265	0	1
I	EALP01 L2AN750	2591378	7016275	20	0.805	0	2591378	7016275	0	1
J	EALP01 L2AN750	2591667	7016143	20	89.597	0	2591667	7016143	0	1
K	EALP01 L2AN750	2591751	7016140	20	79.595	0	2591751	7016140	0	1
L	EALP01 L2AN750	2591857	7016162	20	281.912	0	2591857	7016162	0	1
M	EALP01 L2AN750	2591809	7016154	20	290.556	0	2591809	7016154	0	1
N	EALP01 L2AN750	2591776	7016248	20	158.478	0	2591776	7016248	0	1
O	EALP01 L2AN750	2591797	7016353	20	341.607	0	2591797	7016353	0	1
P	EALP01 L2AN750	2591740	7016268	20	132.274	0	2591740	7016268	0	1
Q	EALP01 L2AN750	2591733	7016357	20	320.194	0	2591733	7016357	0	1
R	EALP01 L2AN750	2591668	7016302	20	270	0	2591668	7016302	0	1
S	EALP01 L2AN750	2591600	7016255	20	28.95	0	2591600	7016255	0	1
T	EALP01 L2AN750	2591562	7016264	20	90	0	2591562	7016264	0	1
U	EALP01 L2AN750	2591936	7016431	20	175.278	0	2591936	7016431	0	1
V	EALP01 L2AN750	2591879	7016479	20	3.991	0	2591879	7016479	0	1
W	EALP01 L2AN750	2591945	7016529	20	64.515	0	2591945	7016529	0	1
X	EALP01 L2AN750	2591996	7016569	20	202.557	0	2591996	7016569	0	1
Y	EALP01 L2AN750	2591949	7016658	20	227.726	0	2591949	7016658	0	1
Z	EALP01 L2AN750	2591924	7016356	20	207.613	0	2591924	7016356	0	1
AA	EALP01 L2AN750	2591958	7016301	20	128.418	0	2591958	7016301	0	1
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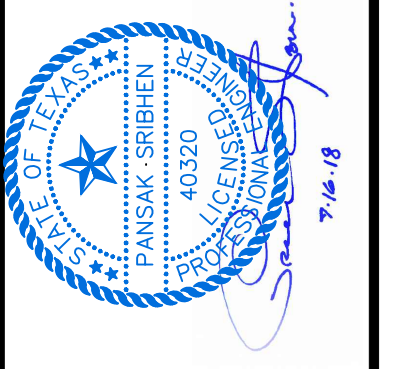


REVISION

NO.	DATE	BY
0	Y-M-D	P55

REMARK:
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

FOR
OVERALL PHOTOMETRIC
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851
TX T.B.E. REGISTRATION # F-008974
L.B.P.L.S. FIRM REGISTRATION # 100423

SCALE: AS SHOWN
DESIGNED: P55
DRAWN: PSA
CHECKED: P55

PROJECT NO. 21737.VPR
DATE: JULY 13, 2018

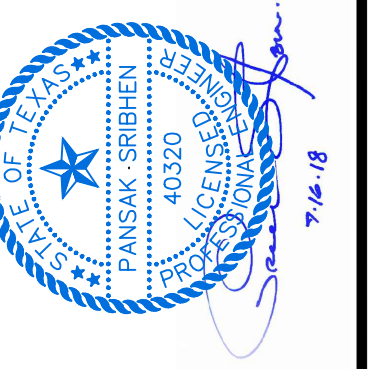
SHEET: C-05

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

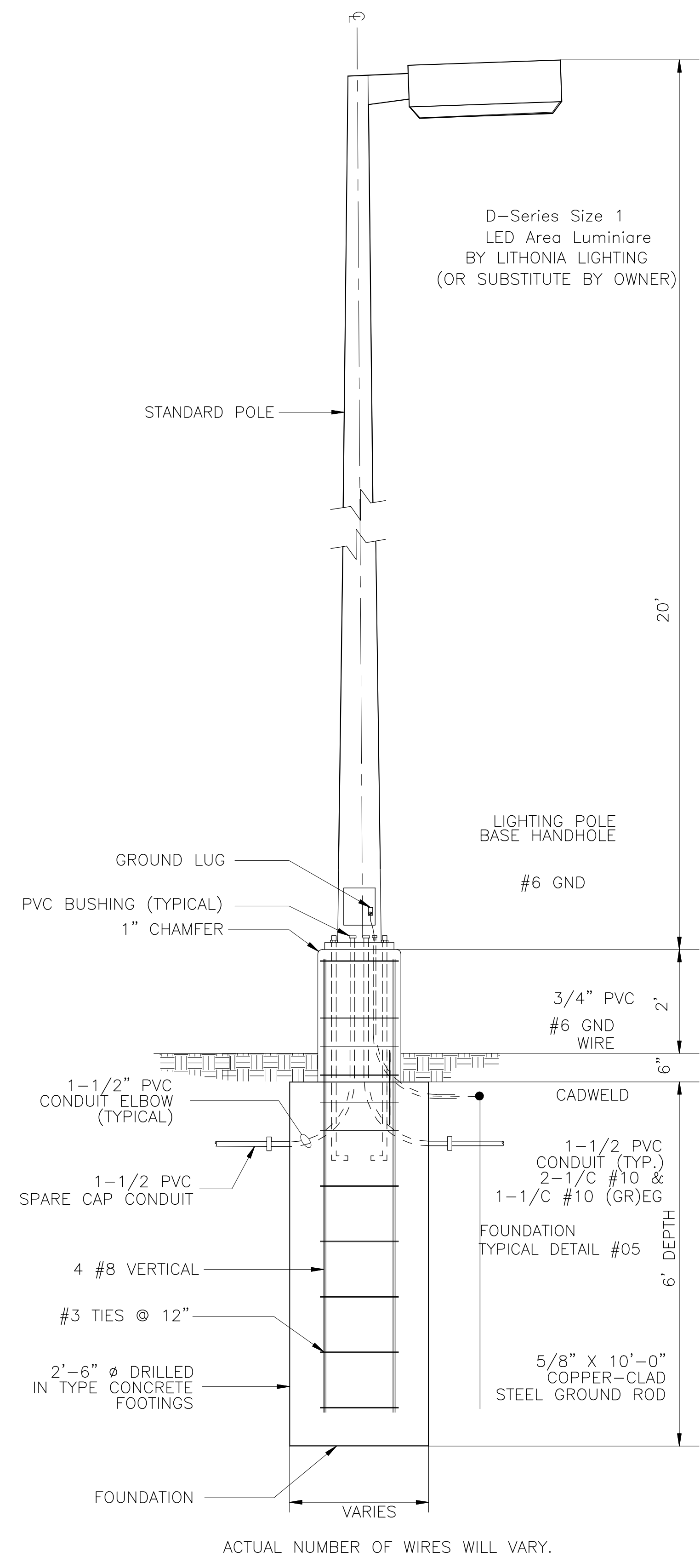
REMARK:
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

POLE'S DETAIL
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

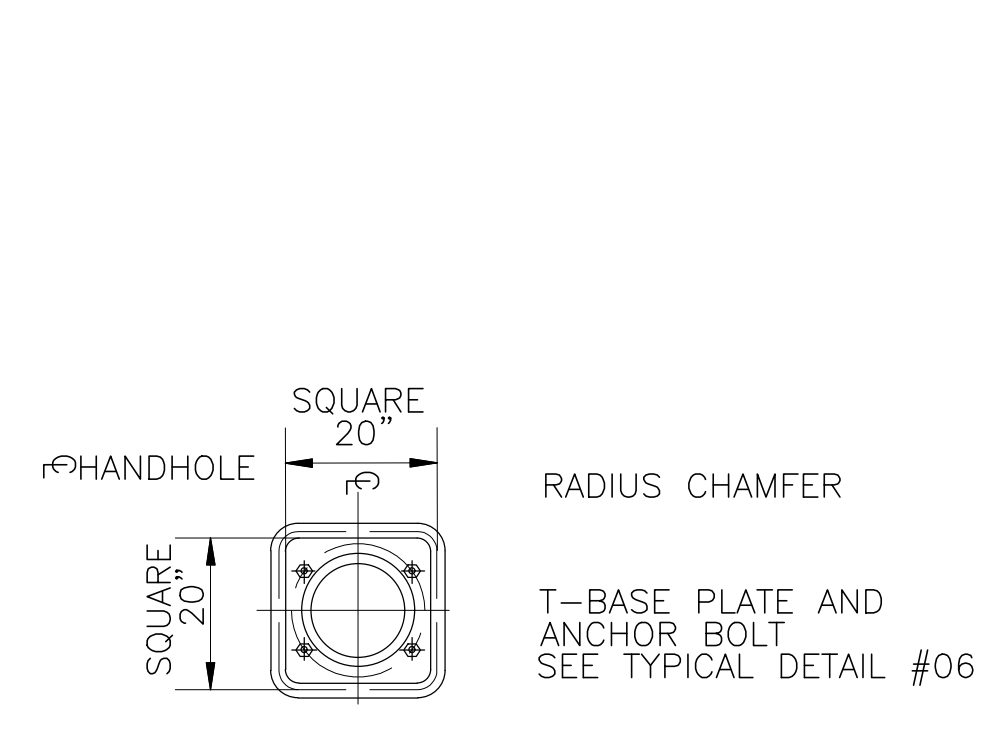


ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9851
 TX T.E.P.E. REGISTRATION # F-006974
 T.E.P.L.S. FIRM REGISTRATION # 100433

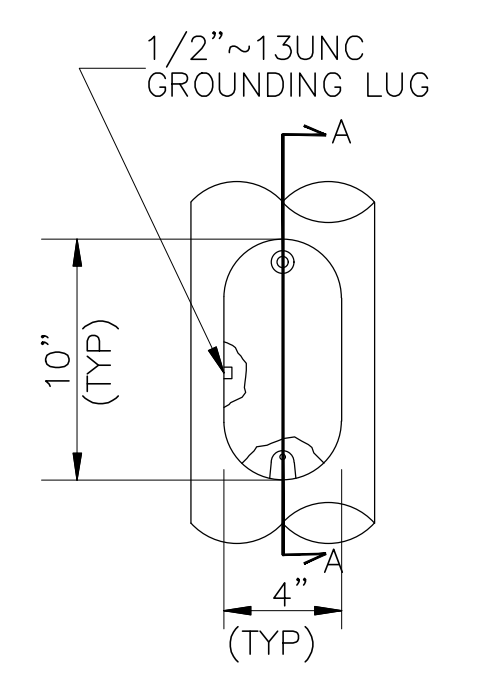
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 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS
 PROJECT NO. 21737.VPR
 DATE: JULY 13, 2018
 SHEET: C-06



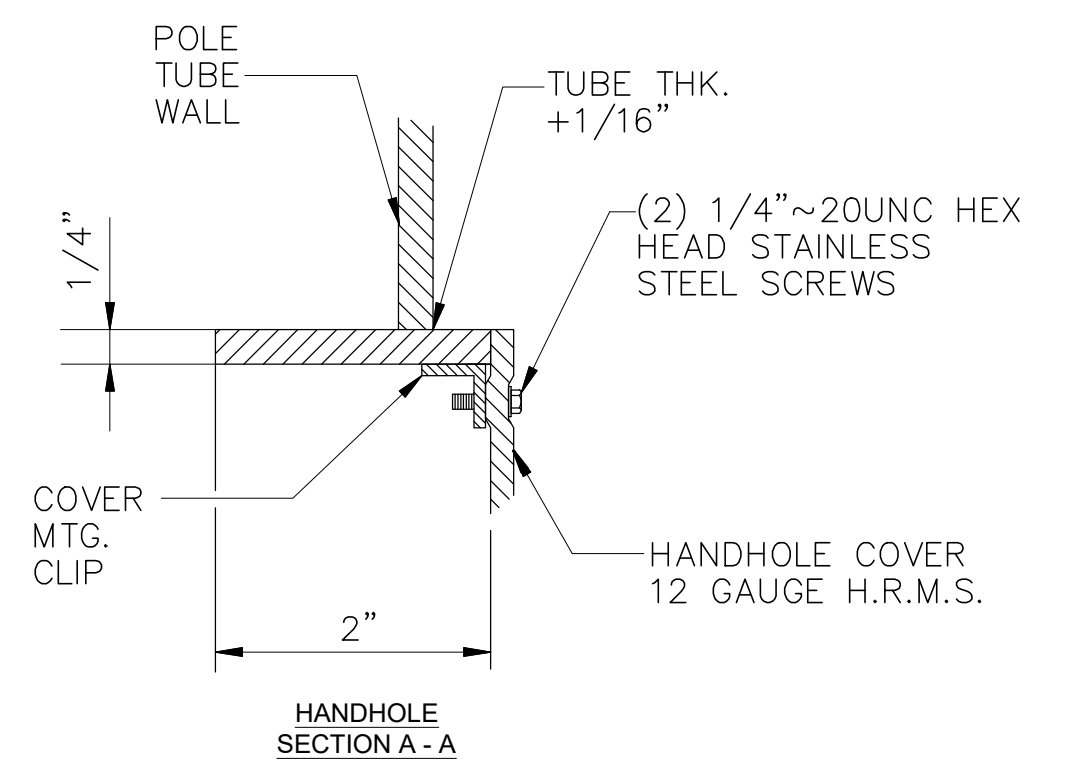
02 TYP. SINGLE LIGHT POLE DETAILS
NTS



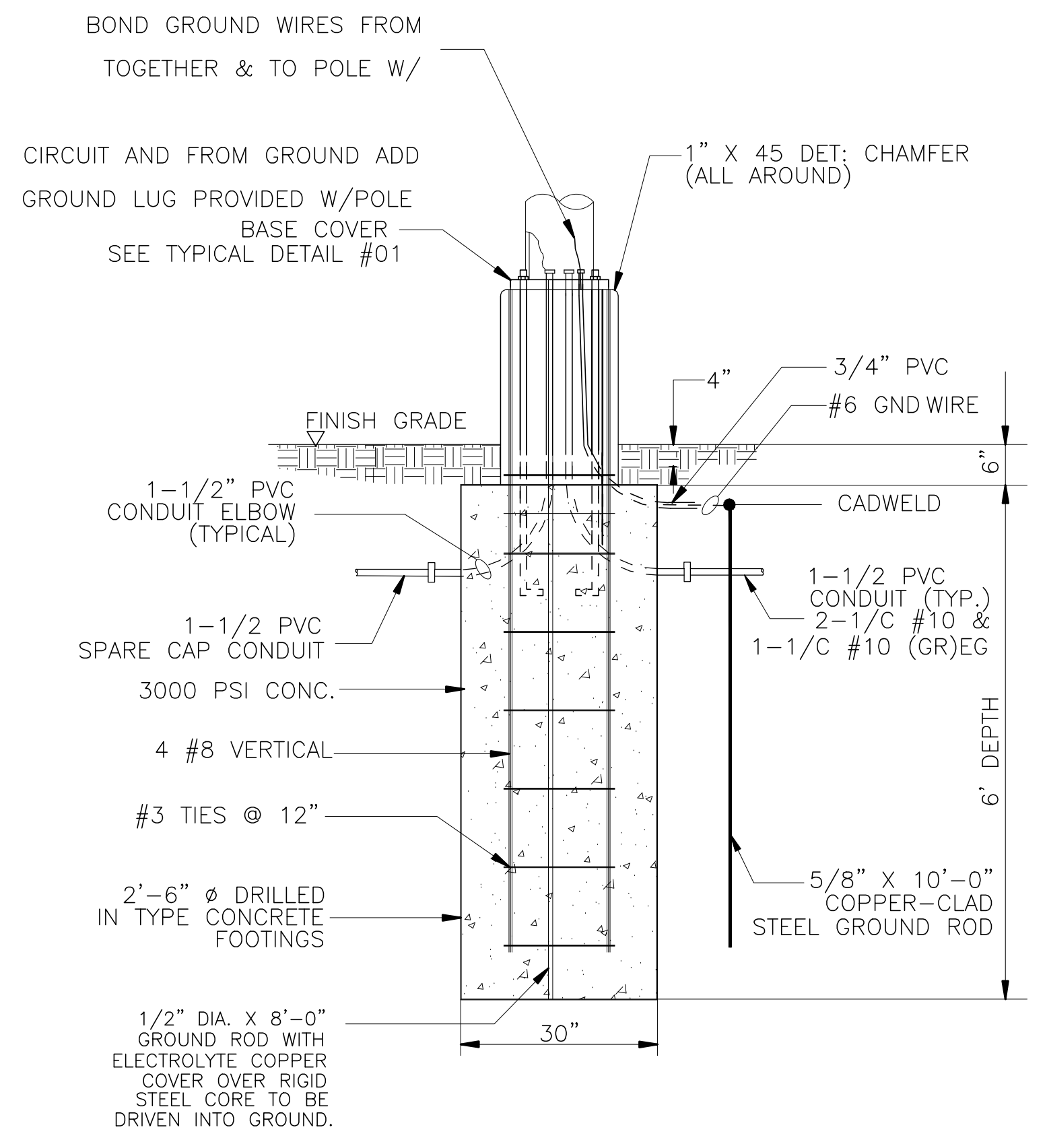
01 TYPICAL DETAIL



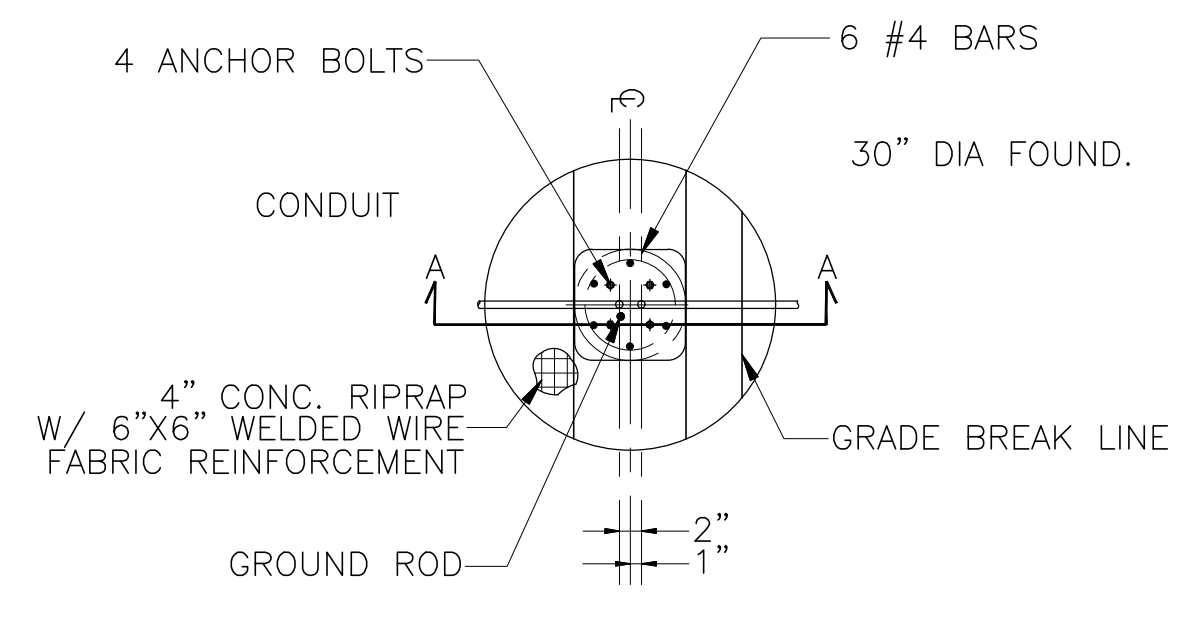
03 TYPICAL DETAIL
HANDHOLE ELEVATION



03 TYPICAL DETAIL
NTS

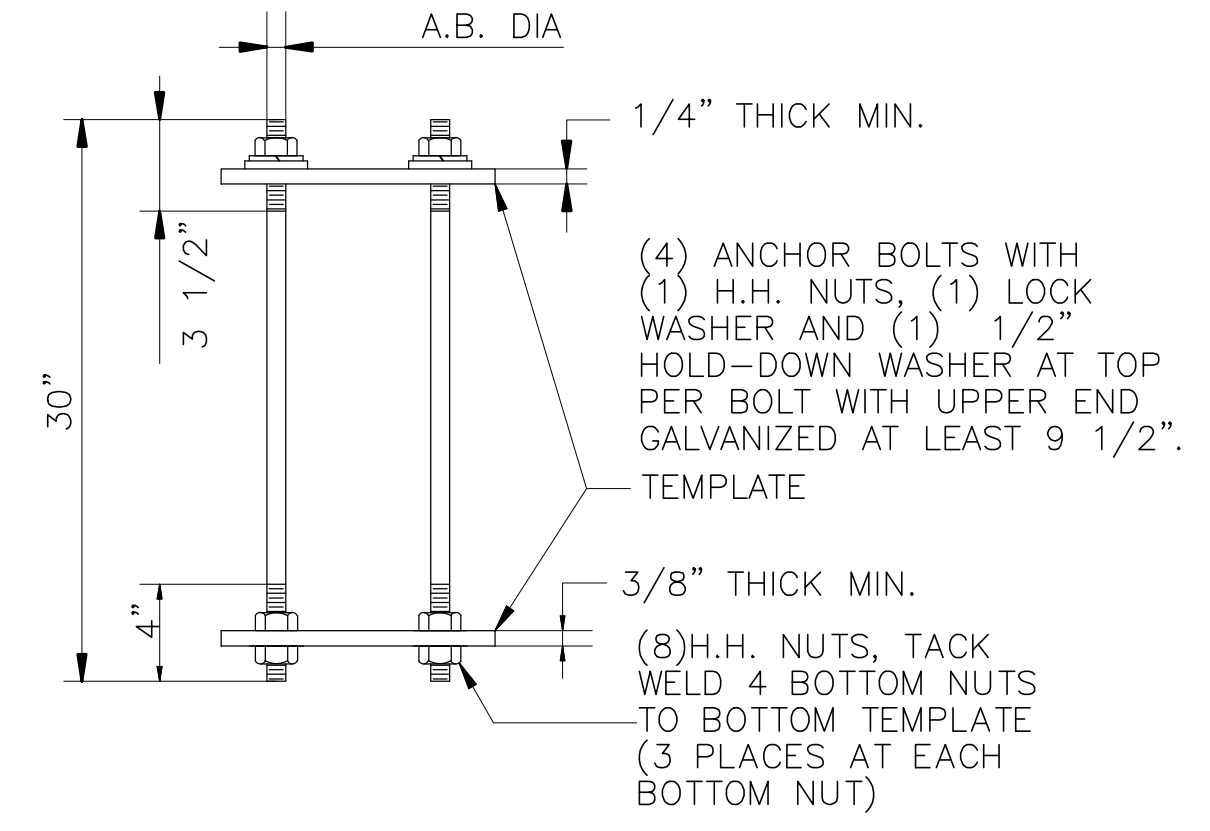


05 SECTION A-A'
NTS



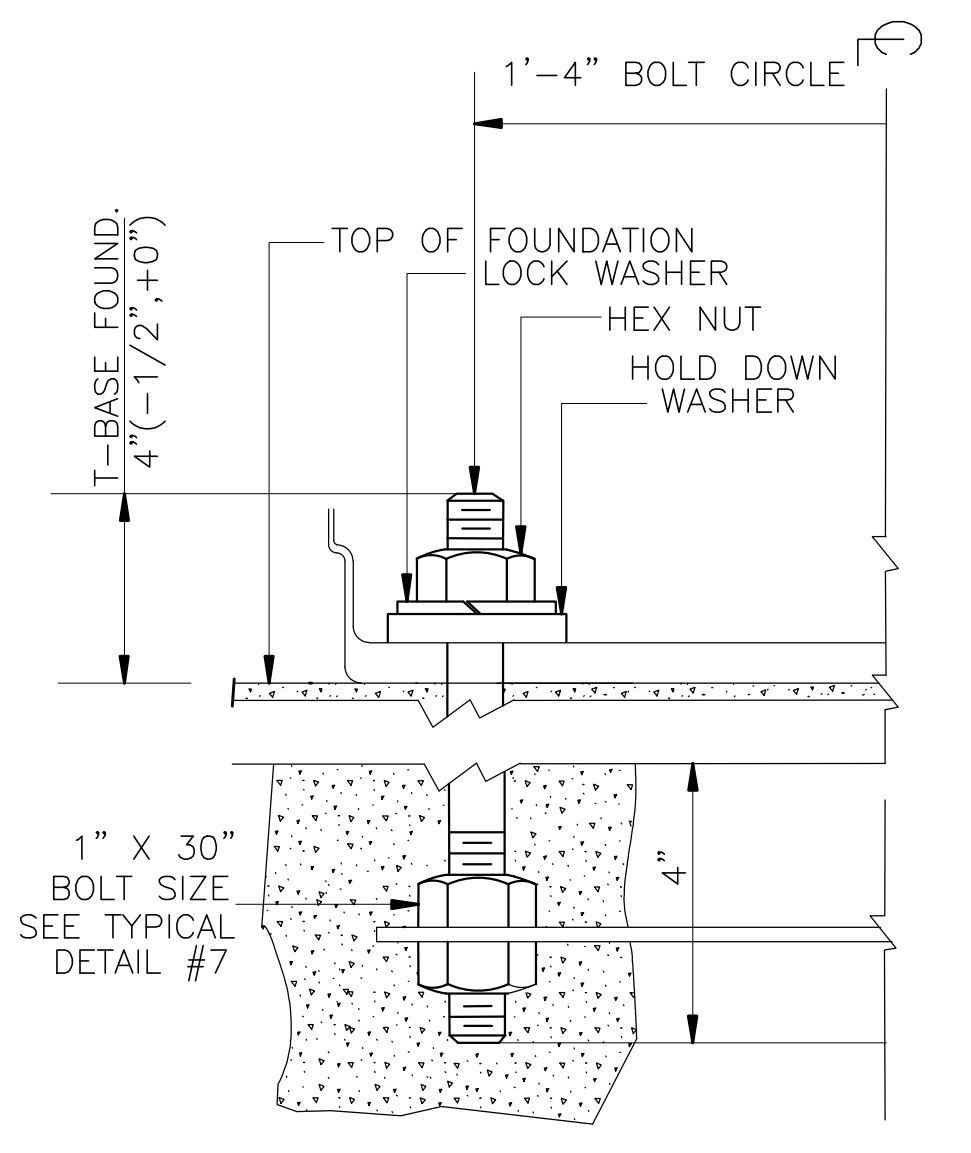
STREET LIGHT FOUNDATION - PLAN

04 TYPICAL DETAIL
NTS



BASE ANCHOR BOLT ASSEMBLY

06 TYPICAL DETAIL
NTS



ANCHOR BOLT DETAILS T-BASE

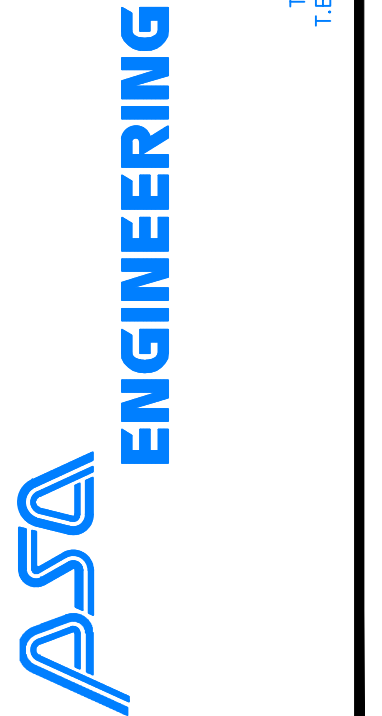
07 TYPICAL DETAIL
NTS

REVISION table with columns NO., DATE, BY and rows 0, Y-M-D, P55

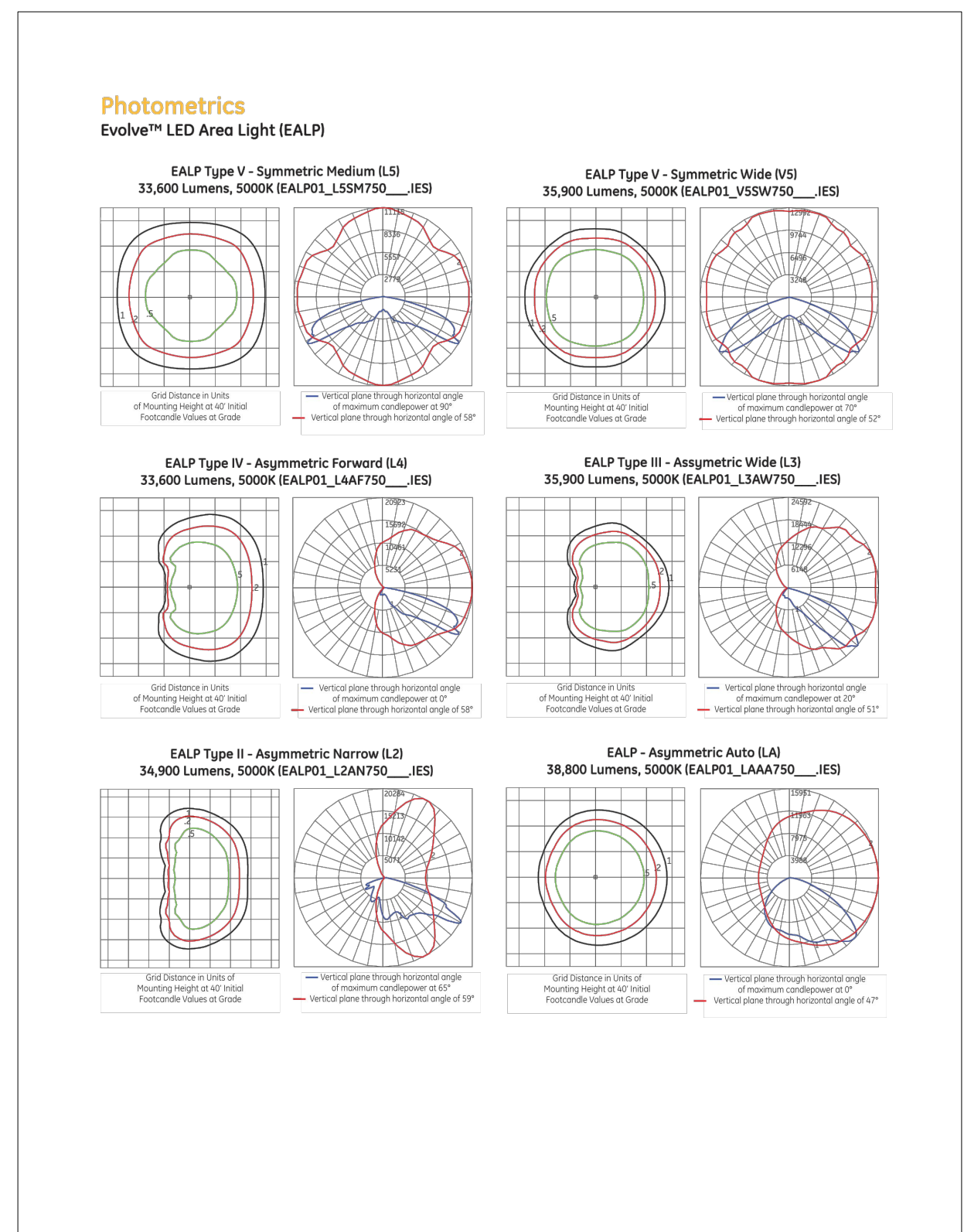
CATALOG CUT-SHEET FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215 DALLAS, TEXAS 75252 (972) 248-9851 TX T.E.P.E. REGISTRATION # F-00874 T.E.P.E.'S. FIRM REGISTRATION # 100423



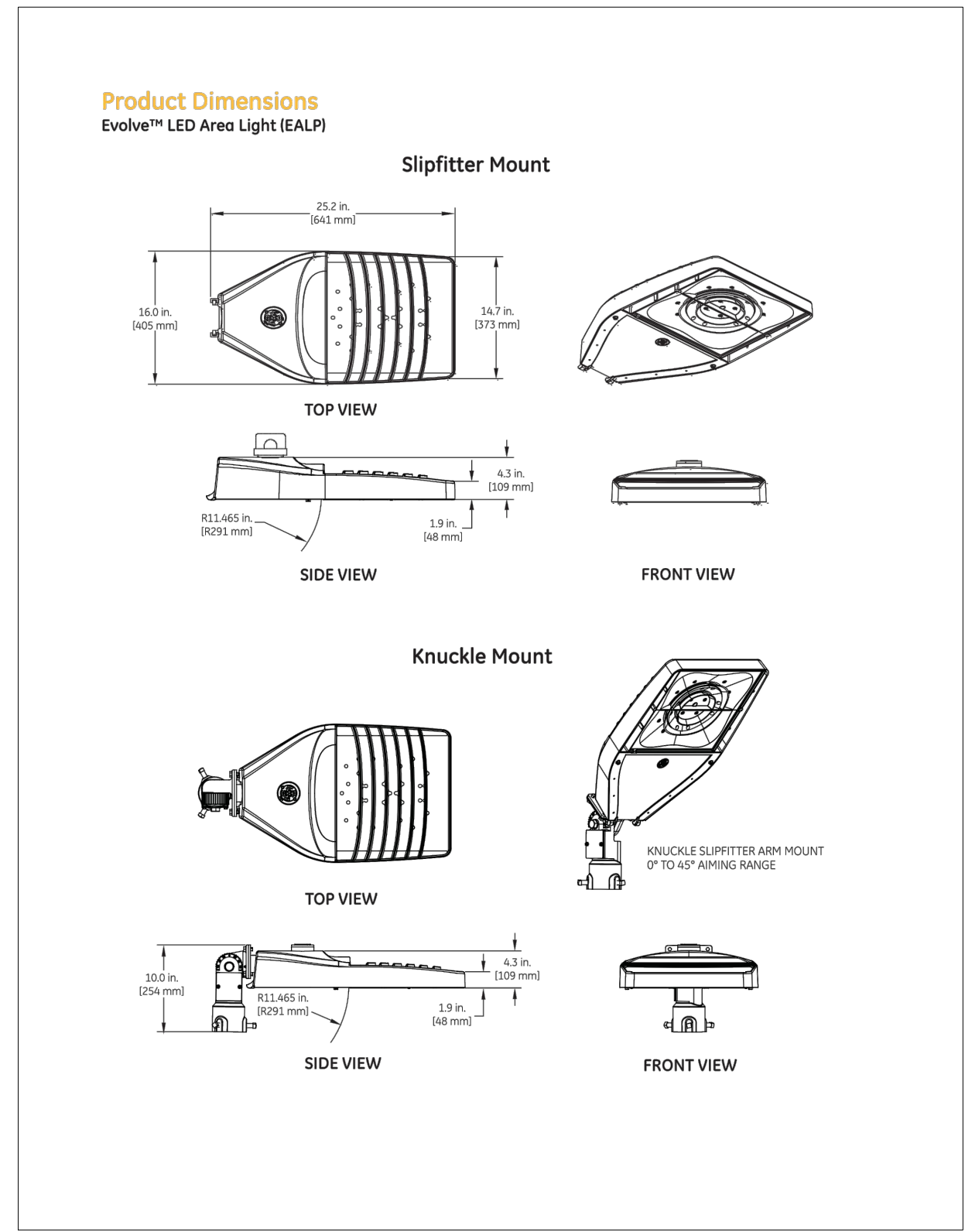
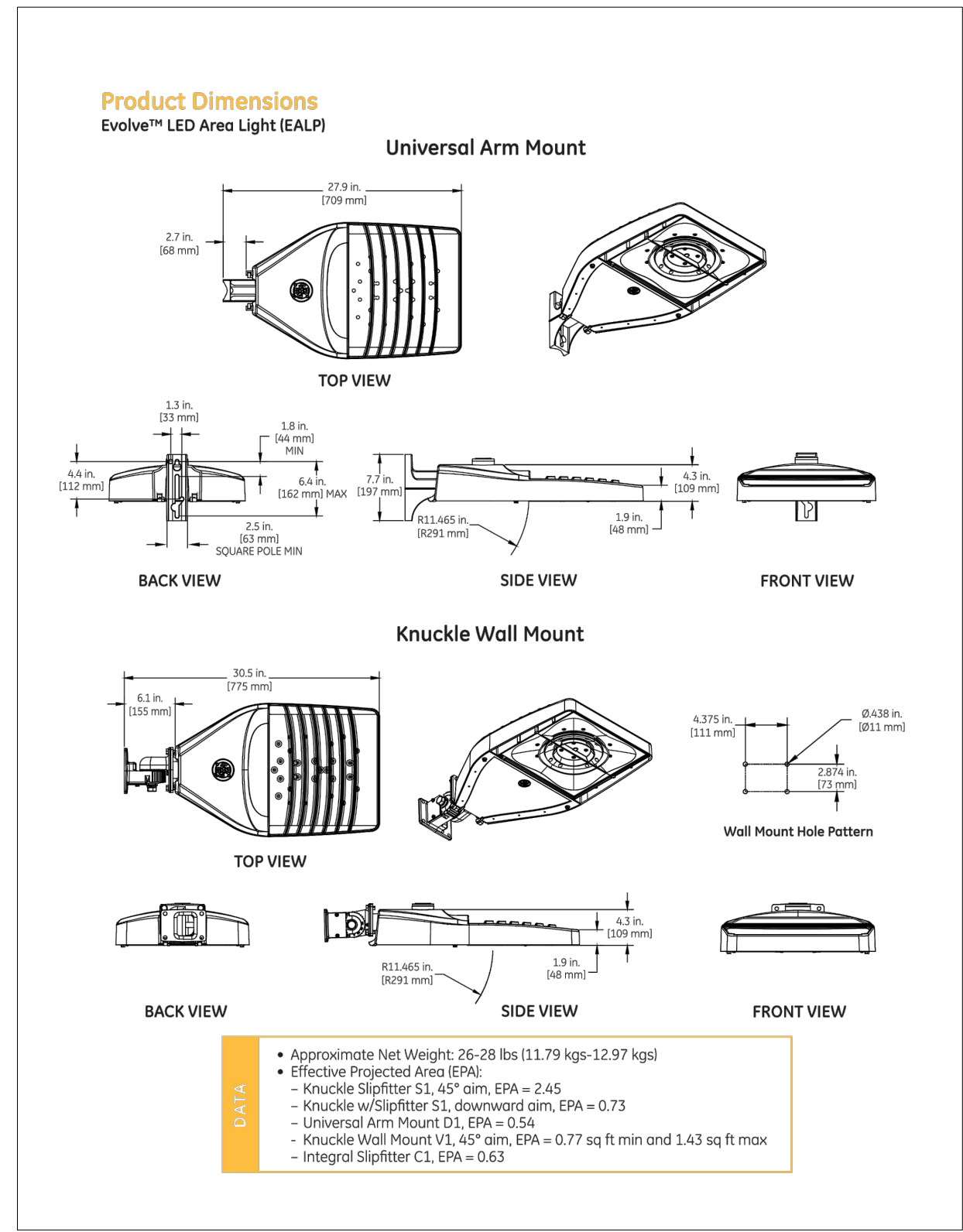
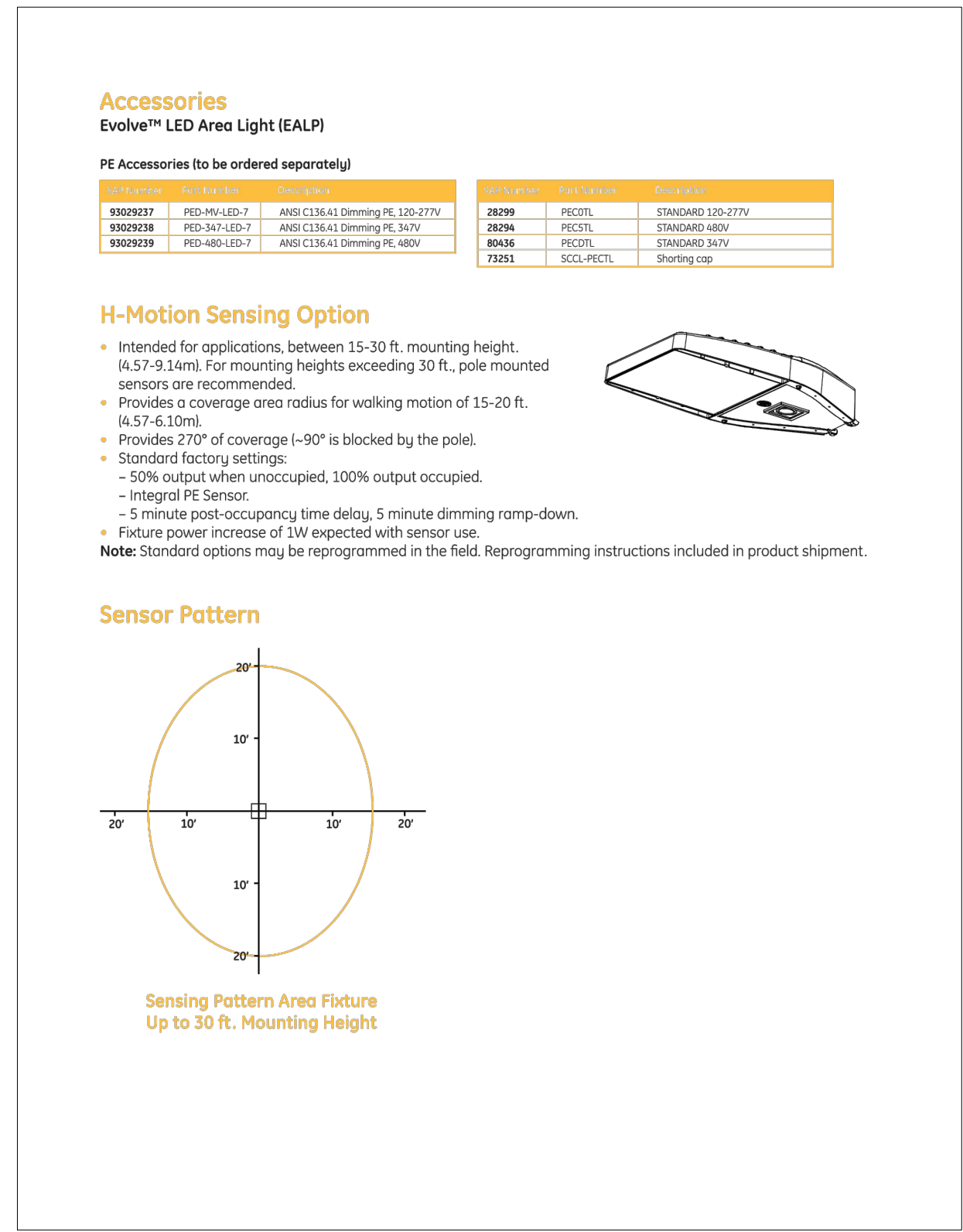
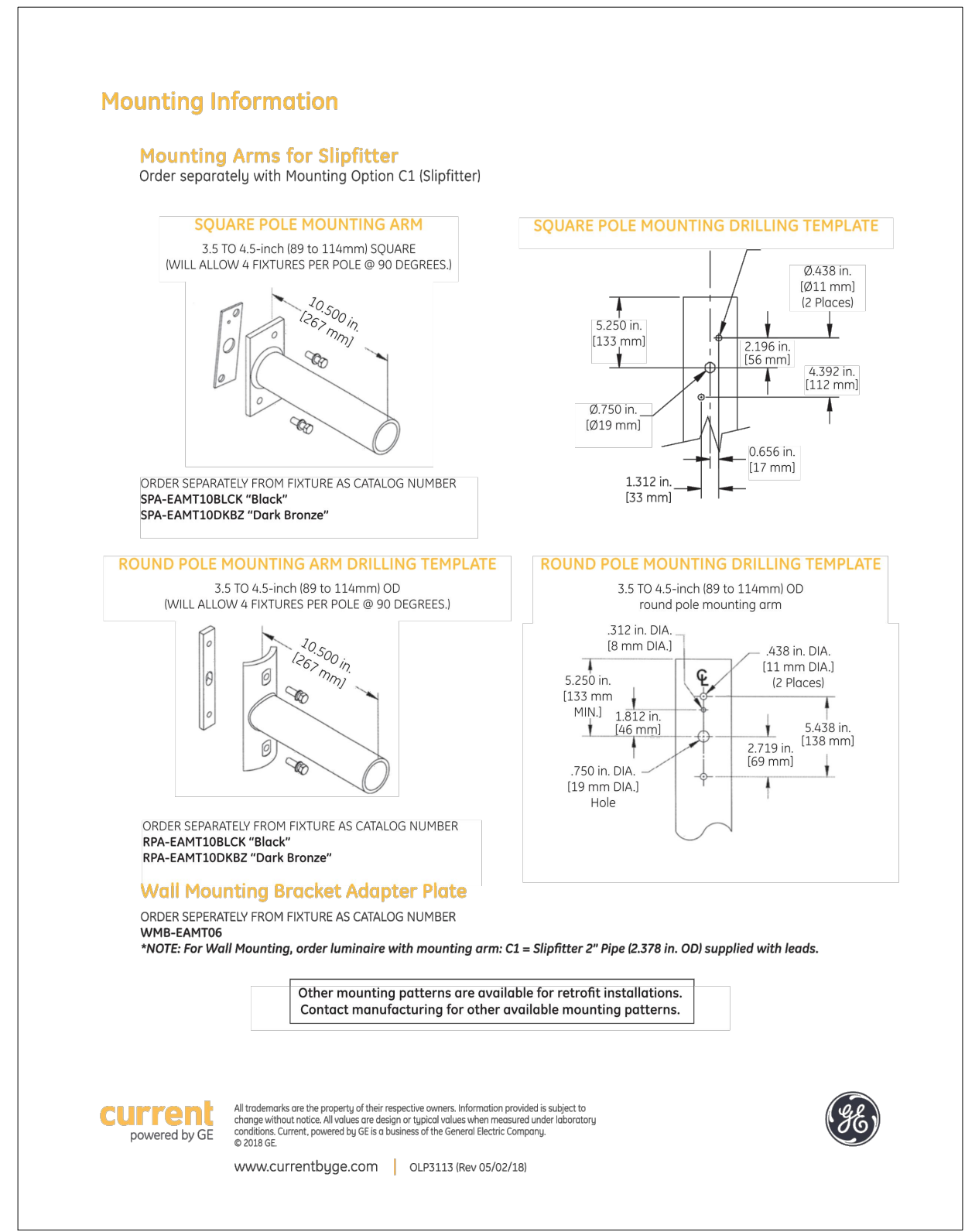
SCALE: AS SHOWN DESIGNED: P55 DRAWN: PSA CHECKED: P55 PROJECT NO. 21737.VPR DATE: JULY 13, 2018 SHEET: C-07



Ordering Number Logic section with a diagram of the EALP light and a table mapping options to product codes.

Product Features, Applications, Housing, LED & Optical Assembly, Lumen Maintenance, Lumen Ambient Temperature Factors, Ratings, Warranty, and Accessories sections.

Evolve™ LED Area Lighting EALP section featuring a product image, current powered by GE logo, and a 2016 Progress award seal.



2018/07/13 10:27:00 AM CURRENT SHEET SET: 06-07-18 SITE PLAN SET: SITE PLAN SET: SITE PLAN SET: MEDICAL OFFICE: 04-07.dwg, C:07_7/16/2018 1:16:24 PM, DWG TO PDF: ps2, ANCI Path based on 0:16:00 x 28.00 inches, 11:38:26

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS
FOR
TRACT 1 - PROFESSIONAL OFFICE @
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

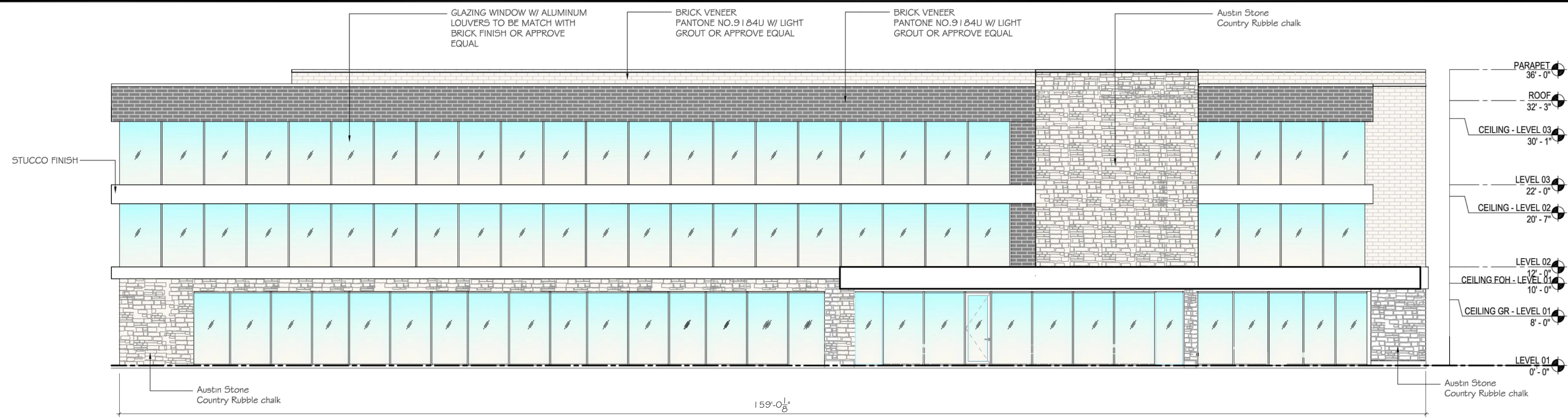
R.T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: A2.0



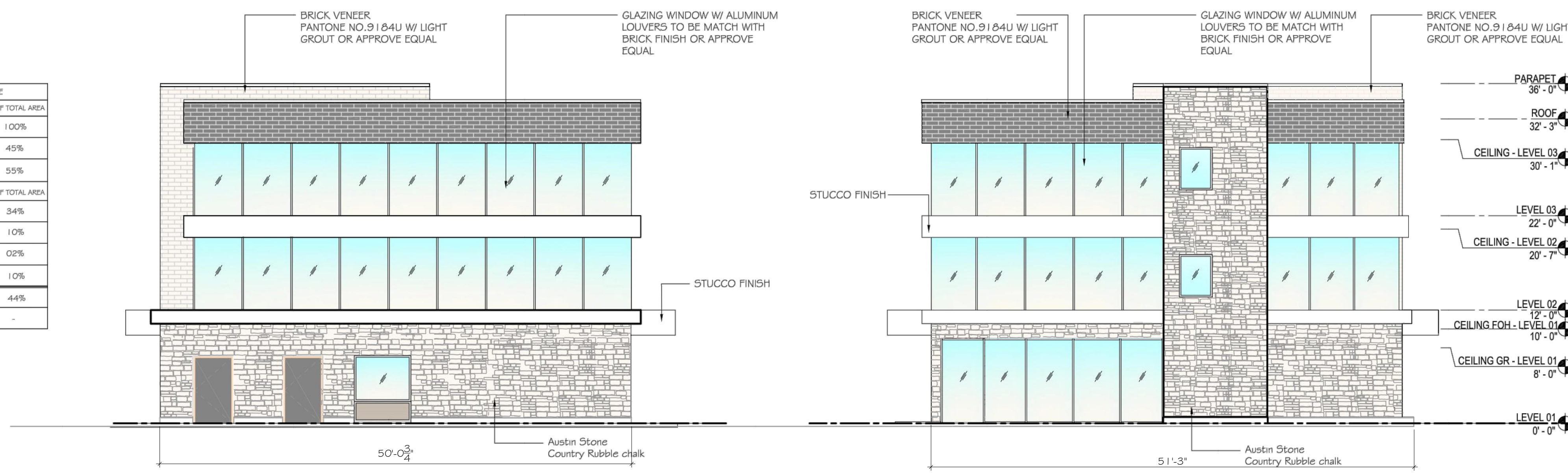
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS CALCULATION TABLE:

DESCRIPTION	FRONT SIDE		REAR SIDE		LEFT SIDE		RIGHT SIDE	
	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
TOTAL OF ELEVATION AREA	5,215 S.F.	100%	5,402 S.F.	100%	1,680 S.F.	100%	1,727 S.F.	100%
GLAZING DOORS & WINDOWS	3,063 S.F.	59%	2,922 S.F.	54%	759 S.F.	45%	775 S.F.	45%
NET AREA (EXCLUSIVE OF W/D)	2,152 S.F.	41%	2,480 S.F.	46%	921 S.F.	55%	952 S.F.	55%
DESCRIPTION	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA	AREA (S.F.)	% OF TOTAL AREA
M1 - AUSTIN STONE VENEER	594 S.F.	11%	918 S.F.	17%	396 S.F.	24%	577 S.F.	34%
M2 - BRICK VENEER	618 S.F.	12%	663 S.F.	12%	207 S.F.	12%	172 S.F.	10%
M3 - BRICK VENEER	317 S.F.	6%	319 S.F.	6%	109 S.F.	6%	29 S.F.	2%
M4 - STUCCO	623 S.F.	12%	560 S.F.	11%	207 S.F.	12%	174 S.F.	10%
GLAZING DOOR & WINDOW	3,063 S.F.	59%	2,922 S.F.	54%	717 S.F.	43%	775 S.F.	44%
DOOR	-	-	-	-	42 S.F.	3%	-	-

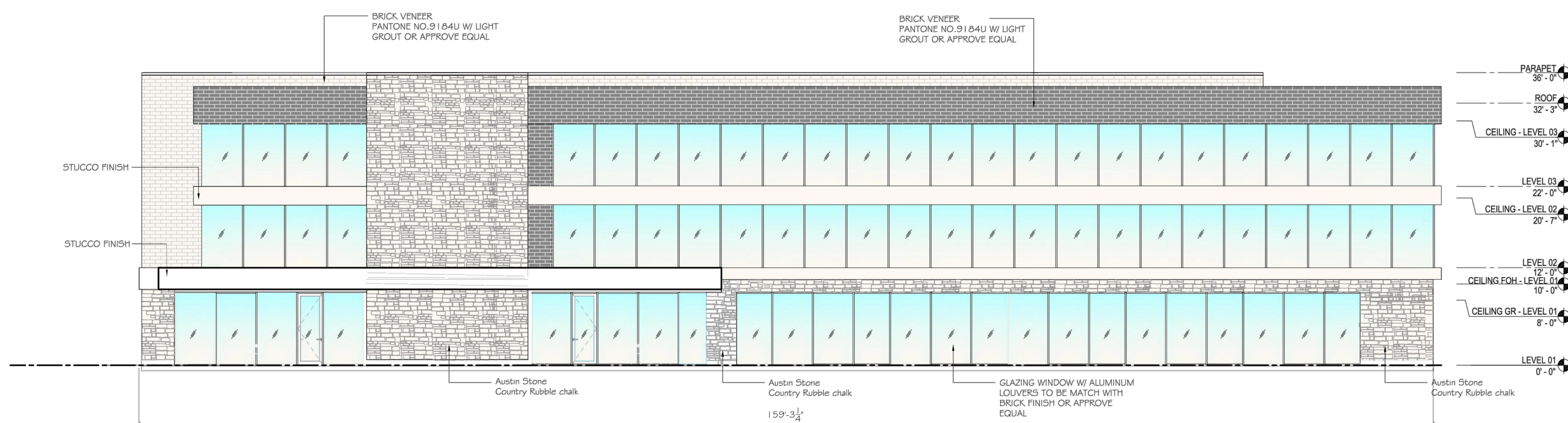
FINISH SCHEDULE

- AUSTIN STONE VENEER COUNTRY RUBBLE CHALK
- STUCCO WALL
- BRICK VENEER
- BRICK VENEER
- GLAZING



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 08/14/2018

APPLICANT: Pan Sribhen P.E. of PSA Engineering

AGENDA ITEM: **SP2018-025**; Site Plan; *Professional Office Building*

SUMMARY:

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for an office building on a 1.174-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated on the eastside of La Jolla Pointe Drive, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting the approval of a *site plan* for the purpose of constructing a three (3) story, 18,000 SF office building. The proposed office building will be situated on a 1.174-acre parcel of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2 that is located on the eastside of La Jolla Pointe Drive, is within the IH-30 Overlay (*IH-30 OV*) and Scenic Overlay (SOV) Districts, and is zoned *Commercial (C) District*.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), an office building is permitted *by-right* within the Commercial (C) District. With the exception of the items listed in the *Project Plan Review*, the items listed in the *Recommendation* section of this case memo, and the variances being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations conform to the technical requirements contained within the IH-30 Overlay (*IH-30 OV*) and Scenic Overlay (SOV) Districts, the Unified Development Code (UDC), and the Commercial (C) District. A summary of the density and dimensional requirements for the subject property is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>x=1.174-Acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>x>60-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x>114-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x>15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>20-Feet + 1/2¹</i>	<i>x>20-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>x>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Ft w/o SUP²</i>	<i>x=36Ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>x=35.2%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>90</i>	<i>84 Provided; Not In Conformance</i>
<i>Minimum Stone Requirement (SH205 OV)</i>	<i>20% ea facade</i>	<i>x>20%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>15.4%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X<90%; In Conformance</i>

NOTES:

¹: Without fire retardant wall, or alley: ten feet, or as required by building and/or fire codes.

²: Maximum building height: 240 feet. Any structure over 36 feet shall require a specific use permit.

TREESCAPE PLAN:

The applicant has provided a treescape plan indicating a total of 85 caliper inches being removed from the site, the majority of which are White Oak trees. As a note, protected trees are any tree that have a diameter of four (4) inch caliper dbh or greater, with the exception of Bois d'Arc, Willow, Cottonwood, Locust, and Chinaberry. Hackberry and Cedar trees that have a dbh of less than 11 caliper inches are not considered protected trees. The applicant intends to mitigate for all inches on site by planting a total of 90 caliper inches and applying the mitigation credit balance of 101 caliper inches from SP2018-024 in order to satisfy the mitigation. This will leave a credit balance of 106-inches caliper being applied towards the treescape plans associated within the Vora Addition. According to Section 3.4, *Treescape Plan Review Process*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), the Planning and Zoning Commission will review and approve or disapprove the treescape plan. The decision of the Planning and Zoning Commission may be appealed to the City Council. The mitigation is considered to be satisfied.

VARIANCE AND EXCEPTION REQUESTS:

The applicant is requesting a variance to the requirements of the Unified Development Code (UDC) for the section outlined below. It should be noted, that for the subject property this variance request would require approval by a simple majority vote of those City Council members present. The request is as follows:

- 1) Section 4.1.C.1.b, of Article V, of the UDC require all building facades to not extend for a distance more than three (3) times the walls height without having an off-set vertically. The elevations depict the north and south facing façade do not meet this requirement. This will require approval by the City Council. [*Simple Majority Vote*]
- 2) Section 6.5, of Article V, of the UDC requires a minimum of 90 parking spaces for the proposed development. Currently, the site plan shows the provision of 84-parking spaces. The applicant is requesting a variance for the six (6) deficient parking spaces. This will require approval by the City Council. [*Simple Majority Vote*]

A request for a variance or exception as outlined above is a discretionary decision for the City Council.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board requested the applicant incorporate the Coronado stone with the wood appearance on the large column at the main entrance. The board shared their concern for the lack of vertical and horizontal elements to provide relief for the building. The ARB will provide a recommendation to the Planning and Zoning Commission during the next scheduled meeting to be held on August 14, 2018.

The applicant has provided elevations meeting the intent of the ARB's recommendations.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit; and
- 2) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number SP2018-025	Owner ROCKWAY, PARTNERS LLP	Applied 7/17/2018 LM
Project Name Office Building	Applicant PSA ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 7/24/2018 DG

Site Address 516 LA JOLLA POINTE DR	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision RICHARD HARRIS	Tract 6	Block A	Lot No 6	Parcel No 4119-000A-0006-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/25/2018 4:19 PM SH) - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a90* angle. - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area - Parking to be 20' by 9' standard. - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced - Dumpster to drain to an oil/water separator. - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - No grate inlets allowed - Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide. - Must loop water line now. - Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives. - Driveway spacing must be 100' minimum. - 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together. - Must add 5' sidewalks along La Jolla Dr. 2' off of property line. - Will the sewer lines under La Jolla be bored or Steet encased? - Please see attached mark up.							
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
(7/19/2018 10:03 AM LS) Address assignment will be: 516 LA JOLLA POINTE DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p>						
<p>* Planning Department General Comments to be addressed:</p>						
<ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits. 3. Label all revised site plan documents with "Case No. SP2018-025" at the lower right corner. 4. The development is to comply with the Scenic Overlay (SOV) District standards. 						
<p>VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:</p>						
<p>The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):</p>						
<ol style="list-style-type: none"> 1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation standards for the north and south elevations. 2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north & south facing elevations. 3. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building 4. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof. 						
<p>THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:</p>						
<ol style="list-style-type: none"> a. On & Off-Site Surface Drainage Area Map - submit with civil set. b. Proposed Utility Layout Plan - submit with civil set. c. Level 01 - Floor Plan - submit with building permit. d. Overall Location - informational only. 						
<p>** Please address the following Planning Comments for each plan submitted</p>						
<p>Site Plan:</p>						
<ol style="list-style-type: none"> 1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan. 2. Relabel all firelane as 25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility). 						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
3. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with enclosure walls to a minimum of 8-ft in height and the exterior materials matching the primary structure.						
4. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such when is lot is reconfigured						
5. Verify parking count; two (2) spaces short (i.e. 61 spaces) = east are marked 5, has 4 spaces & north area marked 10, has 9 parking spaces. Also provide a garage layout indicating the parking spaces to be used.						
6. Verify building length-- not equal to what is depicted on elevation drawings. Verify and correct.						
7. Verify scale of 1 inch = 40-ft.						

Landscape Plan:

1. Provide a row of trees behind the perimeter of the building per SOV standards
2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide trees in islands.
3. Correct legend to indicate 7,054 SF of landscaping required (47,027 SF x 15%).

Treescape Plan:

1. Mitigation credit of 8 inches to be used towards mitigation balance [see SP2018-024 & SP2018-025] of 37 inches, which leaves a mitigation balance due of 29 caliper inches. Mitigation balance may be satisfied by either a) replacing 10 - 3 caliper inch trees on site, b) donate the trees to the parks department, c) provide a payment of up to 20% of the mitigation balance (20% x 29 inches = 5.8 inches @ \$100 per inch = \$580 to the tree fund, with the balance of 23.2 inches being planted/donated (i.e. 8 - 3 inch trees). If none of the above are preferred, the applicant may request an Alternative Tree Mitigation Settlement Agreement which requires approval by the City Council in order for the applicant to pay 100% of the mitigation balance to the tree fund (i.e. \$2,900). Identify which method will be used to satisfy the mitigation balance.

Photometric Plan:

1. Provide a separate photometric plan for each lot/development.
2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan.
3. Exterior light pole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above.

Building Elevations:

1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration.
2. Length of building does not equal building footprint on site plan. Verify and correct.
3. Dash in RTU's. Must be visually screened from rights-of-way and adjacent properties.
4. See variance above for not meeting the vertical articulation standards.
5. See variance above for not meeting the minimum 20% stone requirement.
6. Provide a materials sample board for the ARB meeting on July 31, 2018.

*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com

**** Scheduled Meeting Dates to Attend

Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]
 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Architectural Review Board August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e.approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						

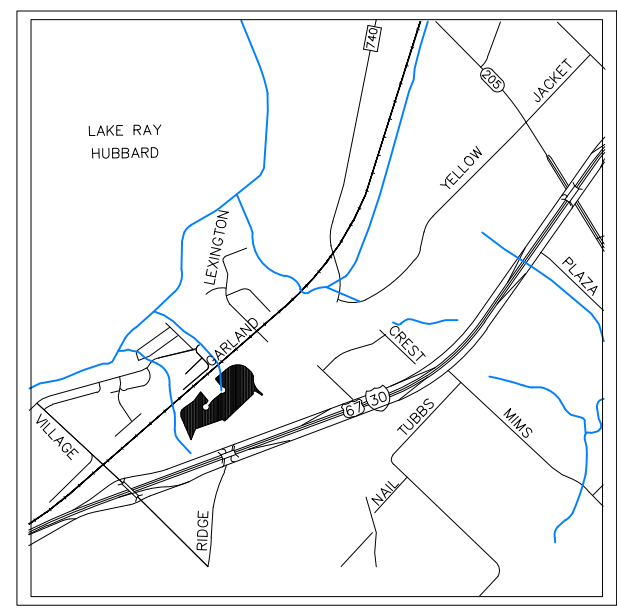


City of Rockwall

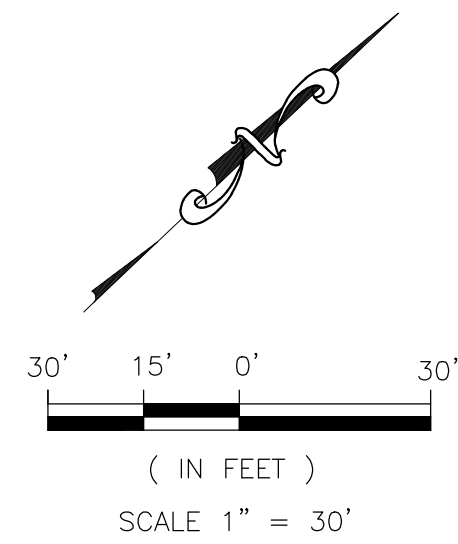
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LEGEND		RF	CRS	IRF.	IRS.	UTIL.	ESMT.	EX.	WTR.	EX.MH.	B.L.	R.O.B.
	PROPOSED WTR. LINE	REBAR FOUND	CAPPED REBAR SET	IRON ROD FOUND	IRON ROD SET	UTILITY	EASEMENT	EXISTING	WATER LINE	EXISTING SANITARY SEWER MANHOLE	BUILDING SETBACK LINE	RIGHT OF WAY
	PROPOSED S.S. LINE											
	PROPERTY LINE											
	EASEMENT LINE											
	STROM SEWER LINE											
	IRON ROD											
	PROPOSED SANITARY MANHOLE											
	EXISTING SANITARY MANHOLE											
	EXISTING FIRE HYDRANT											
	PROPOSED FIRE HYDRANT											
	PROPOSED SITE LIGHTING 20' HT. MAX.											
	INDICATE PARKING NO.											
	INDICATE CURB INLET											

LINE TABLE-TRACT 1		
LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

CURVE TABLE					
CURVE	DELTA	R	T	L	CHD
C8	06°46'28"	100.00'	5.92'	11.82'	N62°18'16"E 11.82'
C4R	06°46'28"	76.00'	4.50'	9.00'	N62°18'16"E 9.00'

LOT INFORMATION

LOT 6 - PHASE I
AREA LOT
 TOTAL BLDG. AREA = 51,149 S.F. (1.174 AC.)
 PROPOSED = 18,000 S.F.
PROFESSIONAL OFFICE BLDG. 3-STORY

PARKING REQUIREMENTS
 PARKING RATIO = 1/200 S.F.
 TOTAL PARKING REQUIRED = 90 SP

TOTAL PARKING PROVIDED = 84 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 53 SP
 GARAGE PARKING PROVIDED = 27 SP

SITE PLANS SET

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

SITE PLAN
 FOR
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

SITE PLAN NOTE:

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDs, AND STD PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

FIRE LANE NOTE:

- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
 - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3-STORIES IN HEIGHT:
 - 20-feet (inside) for turns less than or equal to 90 degrees
 - 25-feet (inside) for turns greater than 90 degrees
 - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
 - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

NOTE:

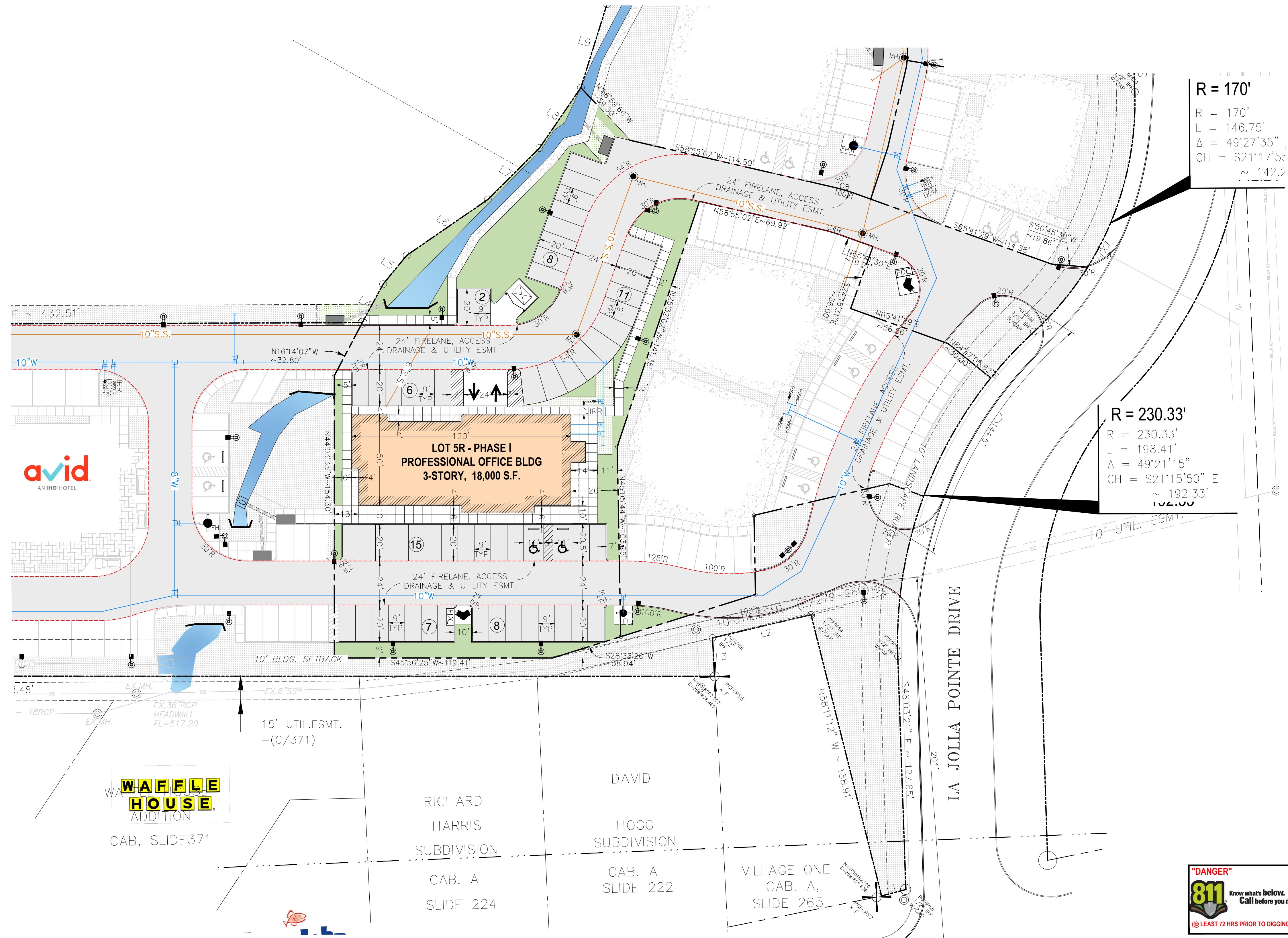
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



R = 170'
 R = 170'
 L = 146.75'
 Δ = 49°27'35"
 CH = S21°17'55"
 ~ 142.2

R = 230.33'
 R = 230.33'
 L = 198.41'
 Δ = 49°21'15"
 CH = S21°15'50" E
 ~ 192.33'



CAB, SLIDE 371

RICHARD HARRIS SUBDIVISION
 CAB. A SLIDE 224

DAVID HOGG SUBDIVISION
 CAB. A SLIDE 222

VILLAGE ONE CAB. A, SLIDE 265

LA JOLLA POINTE DRIVE



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 246-9651
 TX T.S.P.E. REGISTRATION # F-008974
 T&E L.S. T&E REGISTRATION # 008453

SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-01

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS
 FOR
VORA PROFESSIONAL OFFICE BUILDING
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
 PSA ENGINEERING
 17819 DAVENPORT RD.,
 SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651

R. T. CHANG, ARCHITECT, INC
 ARCHITECTURAL AND PLANNING
 5834 WINDMIER LANE
 DALLAS, TEXAS 75252
 (214) 663-4735

SCALE: AS SHOWN
 DESIGNED: RC
 DRAWN: PSA
 CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

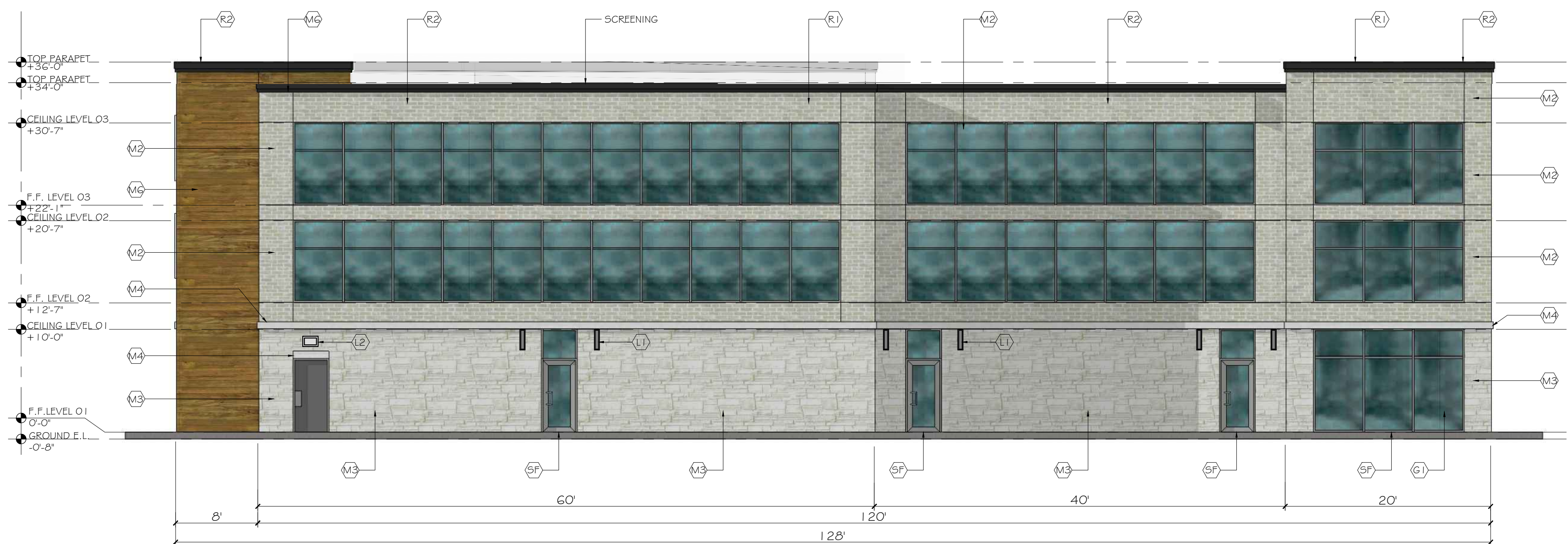
SHEET: **A2.0**



1 SOUTH ELEVATION (FRONT / MAIN ENTRY)
 SCALE 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE 1/8" = 1'-0"



3 NORTH ELEVATION
 SCALE 1/8" = 1'-0"



4 WEST ELEVATION
 SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - VORA PROFESSIONAL OFFICE BUILDING

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	4,069	100%	1,528	100%	3,635	100%	1,853	100%	11,085	100%
2	GLAZING DOORS & WINDOWS	1,793	44.1%	389	25.5%	1,181	32.5%	845	45.6%	4,208	38.0%
3	NON-GLAZING DOORS&WINDOWS	2,276	55.9%	1,139	74.5%	2,454	67.5%	1,008	54.4%	6,877	62.0%
	3.1 TOTAL WALL AREA	2,087	N/A	1,032	N/A	2,357	N/A	915	N/A	6,391	N/A
	3.2 METAL COPING/ AWNING/ ROOF	189	N/A	107	N/A	97	N/A	93	N/A	486	N/A
	3.1 STUCCO WALL & STUCCO BAND	216	10.3%	84	8.1%	82	3.5%	40	4.4%	422	6.6%
	METAL CLADDING / METAL DOOR	206	9.9%	201	19.5%	25	1.1%	38	4.2%	206	3.2%
	BRICK *	582	27.9%	423	41.0%	1,128	47.9%	572	62.5%	2,705	42.3%
	AUSTIN STONE*	507	24.3%	355	34.4%	922	39.1%	238	26.0%	2,022	31.6%
	CORONADO STONE * (REFINED WOODSTONE)	765	36.7%	277	26.8%	322	13.7%	158	17.3%	1,522	23.8%
	MASONRY WALL NET AREA (*)	1,854	81.5%	1,055	92.6%	2,372	96.7%	968	96.0%	6,249	90.9%
	NON-MASONRY WALL NET AREA	422	18.5%	84	7.4%	82	3.3%	40	4.0%	628	9.1%
	TOTAL WALL AREA	2,276	100%	1,139	100%	2,454	100%	1,008	100%	6,877	100%

EXTERIOR MATERIALS & FINISHES

- (A1) = AWNING; FLAT METAL AWNING, COLOR "DARK GRAY"
- (G1) = GLAZING; 1/2", 1/2" INSULATED GLASS
- (G2) = GALV. GUTTER & GALV. DOWN SPOUT; COLOR "P2"
- (R1) = TPO ROOF
- (R2) = METAL COPING; COLOR "P1"
- (R3) = ROOF LADDER; STEEL ROOF LADDER
- (SF) = STOREFRONT; ALUM. STOREFRONT DOOR & WINDOW
- (M1) = STUCCO WALL W/ DRYVIT FINISHES; COLOR "P3"
- (M2) = BRICK VENEER; ACME BRICK MODULAR SIZE, MODEL "SMOOTH", COLOR " PEPI 66 - MARBLE GRAY"
- (M3) = AUSTIN STONE; MODEL "COUNTRY RUBBLE, COLOR "CHALK"
- (M4) = STUCCO BAND; COLOR "P3"
- (M5) = STUCCO W/ DRYVIT FINISHES COLOR "P3"
- (M6) = CORONADO STONE; REFINED WOODSTONE COLOR " HONEY BLONDE"
- (M7) = METAL CLADDING; COLOR "P2"

EXTERIOR COLOR PAINT

- (P1) = EXTERIOR COLOR PAINT (DARK GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7069 (IRON ORE)
- (P2) = EXTERIOR COLOR PAINT (LIGHT GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7066 (MEDIUM GREY)
- (P3) = EXTERIOR COLORED STUCCO (WHITE); OR COLOR TO MATCH SHERWIN-WILLIAMS #6154 (NACRE)

EXTERIOR LIGHT FIXTURE

- (L1) = EXTERIOR WALL SCENE ; PROGRESS LIGHTING
- (L2) = EXTERIOR EMERGENCY LIGHT (BATTERY BACK UP)



1 PERSPECTIVE (SOUTHEAST)
SCALE: NTS

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - SOUTHEAST
FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

SHEET: **A3.1**



1 PERSPECTIVE (NORTHWEST)
SCALE: NTS

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - NORTHWEST
FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

SHEET: **A3.2**

VORA PROFESSIONAL OFFICE BUILDING

FOR VORA PROPERTY AT ROCKWALL, TEXAS

DATE : 08/07/18



COPING/ AWNING / METAL ROOF
P1 - SHERWIN WILLIAMS COLOR: SW 7069 - IRON ORE



M6 - CORONADO STONE: MODEL 'REFINED WOODSTONE'
COLOR 'HONEY BLONDE'



BUIDLING ELEVATION @ FRONT ENTRY



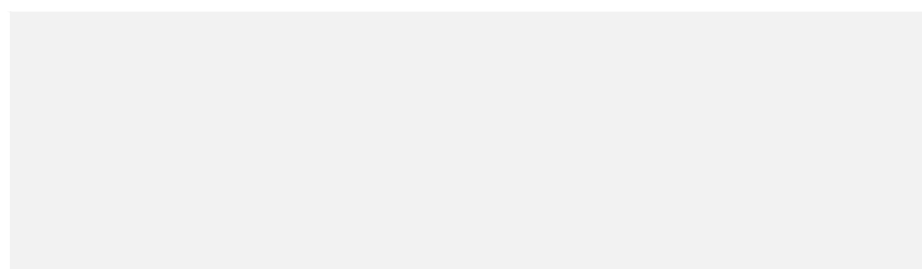
M2 : ACME BRICK: MODEL 'MARBLE GRAY - SMOOTH
TEXTURE, PEP- 116



DNSPOUT & GUTTER
P2 - SHERWIN WILLIAMS COLOR: SW 7066 - GRAY MATTER



M3 - AUSTION STONE: MODEL 'COUNTRY RUBBLE'
COLOR 'CHALK'



STUCCO WALL & BAND
P3 - SHERWIN WILLIAMS COLOR: SW 6154 - NACRE

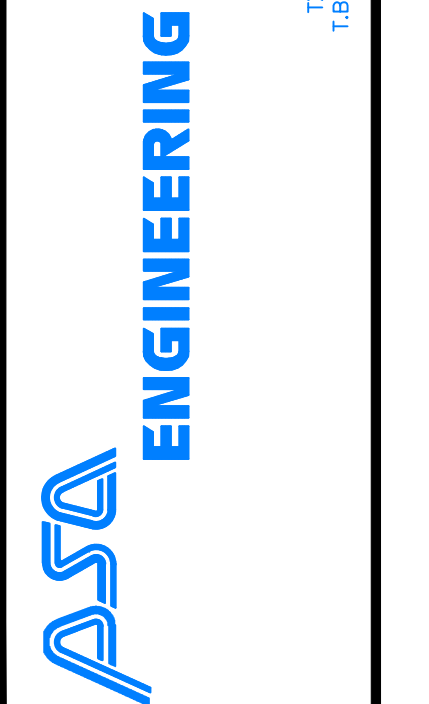
REVISION		
NO.	DATE	BY
1	18-08-07	PS5

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-8851
 TX T.B.P.E. REGISTRATION # F-008974
 T.B.P.L.S. FIRM REGISTRATION # 110453

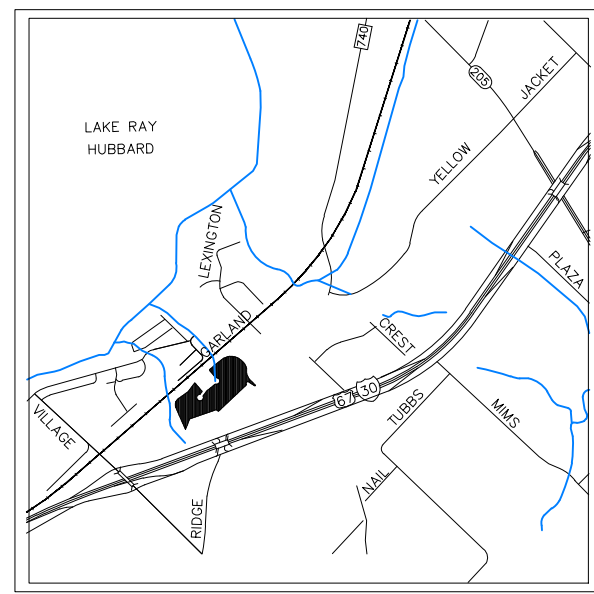


SCALE: AS SHOWN
 DESIGNED: PS5
 DRAWN: PSA
 CHECKED: PS5

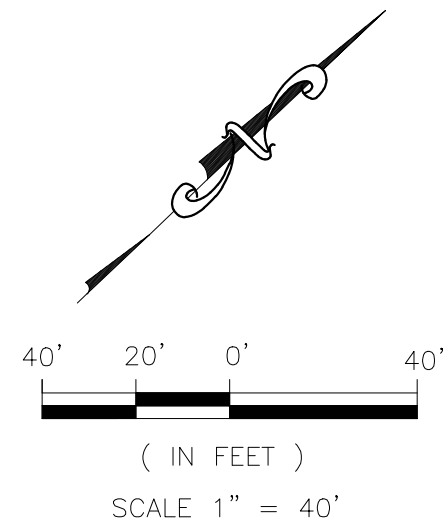
PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: L-01



VICINITY MAP
N.T.S.

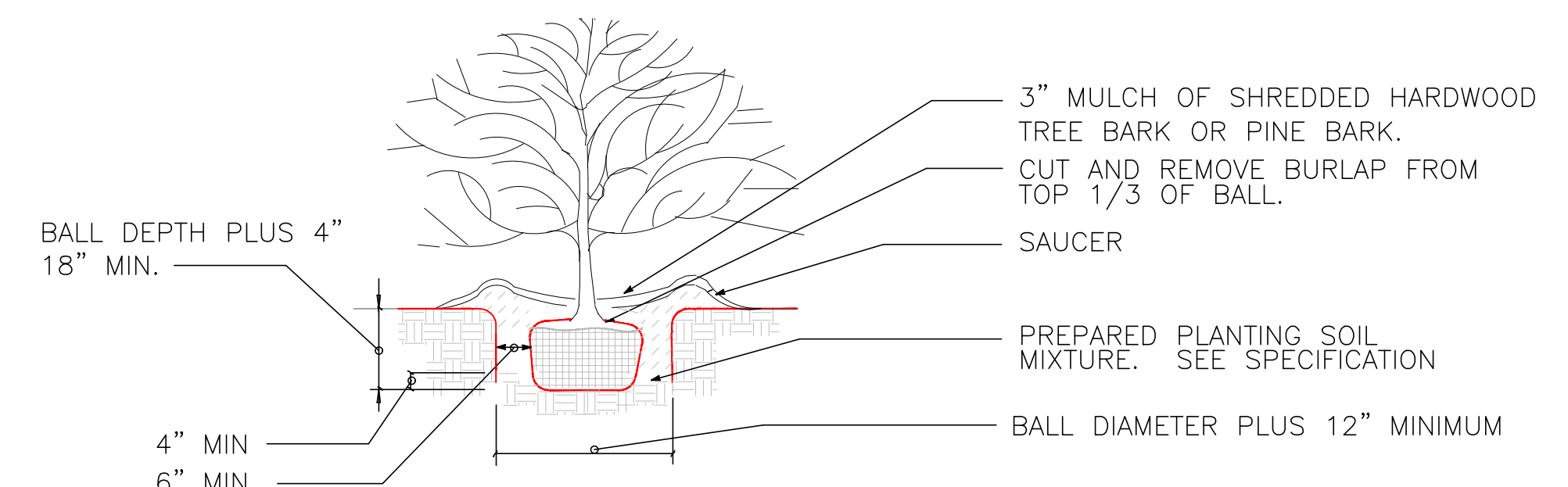


LEGENDS:

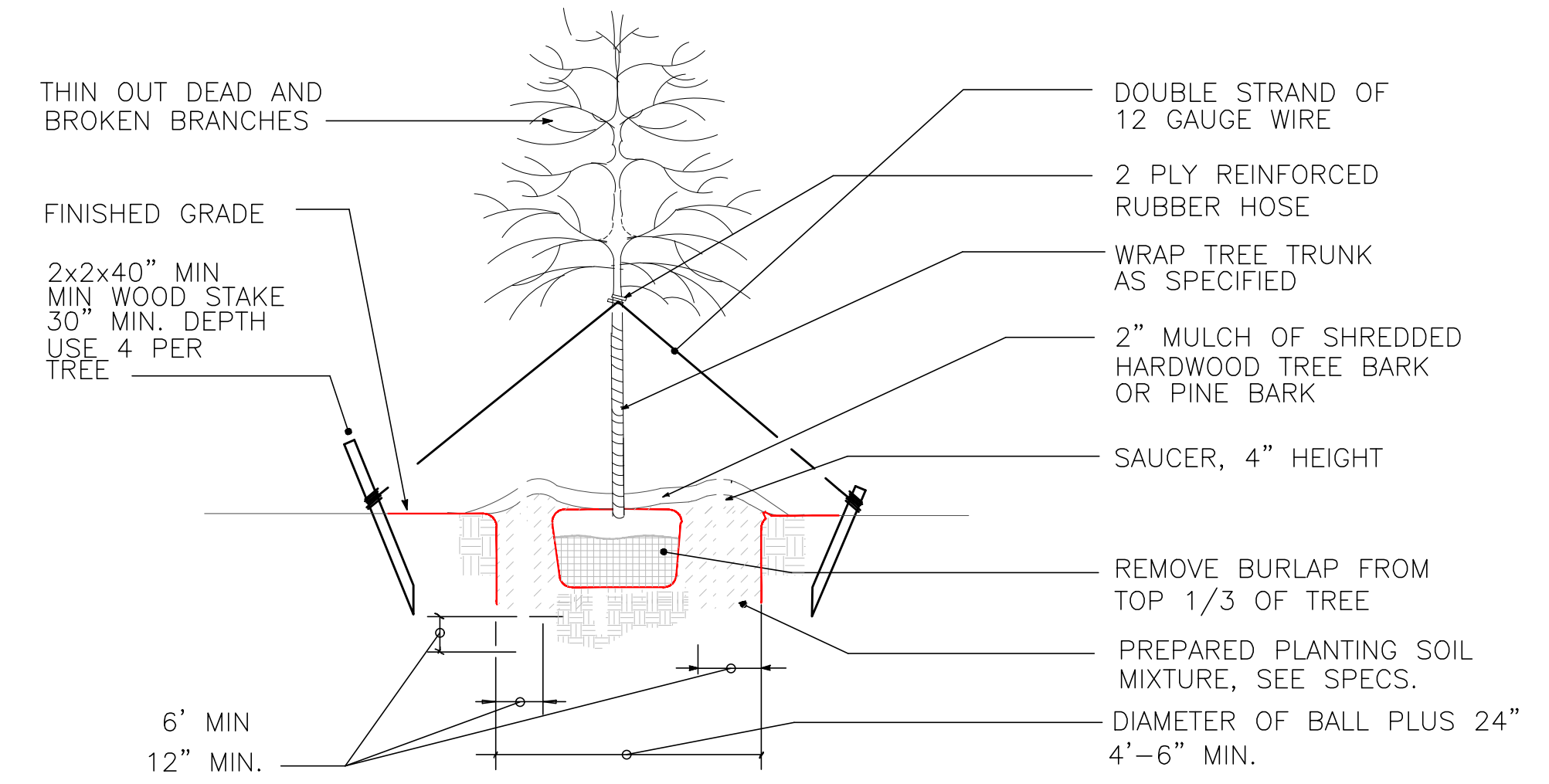
---	PROPERTY LINE		EXISTING TREE TO KEEP
- - - -	EASEMENT LINE		LITTLE GEM MAGNOLIA
○ 1/2"	IRON ROD		TEXAS RED OAK TREE (SHADE)
○ EX.MH.	EXISTING SANITARY MANHOLE		EASTERN RED BUD (ORNAMENTAL)
● MH.	PROPOSED SANITARY MANHOLE		DWARF INDIAN HAWTHORN
○ EX.FH.	EXISTING FIRE HYDRANT		PAMPAS GRASS
● FFH.	PROPOSED FIRE HYDRANT		ERAGROSTIS CURVULA HYDROSEED

PLANT MATERIAL SCHEDULE :

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
4	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
9	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
4	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.
110	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
22	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
7,644 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	



SHRUB PLANTING DETAIL
NOT TO SCALE



LARGE TREE STAKING DETAIL
NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

LANDSCAPE NOTE:

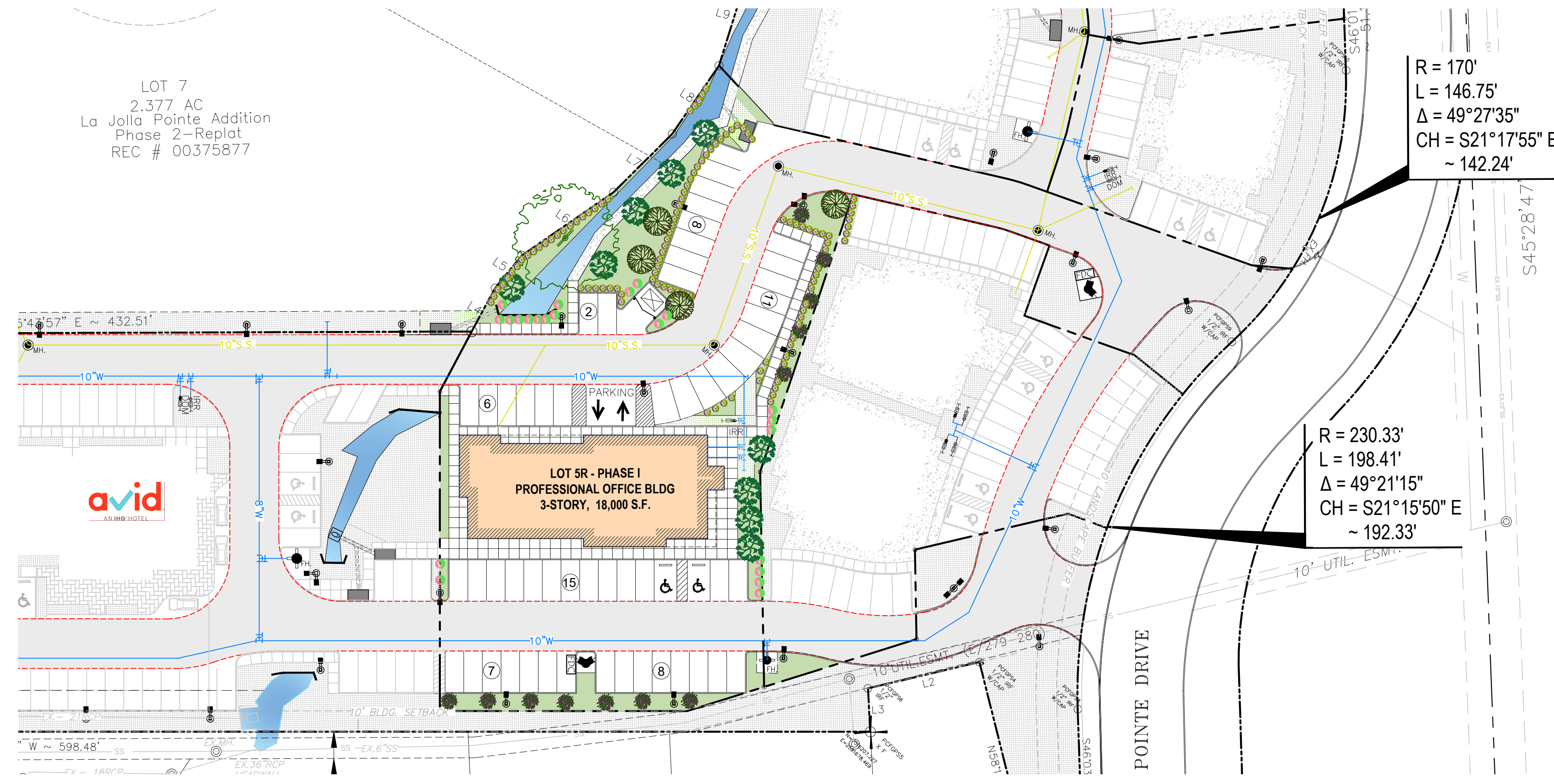
- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUIVALENT.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEMEM OR LOCAL (TEXAS ASSOCIATION OF NURSEMEM STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMS AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTTILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6" ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

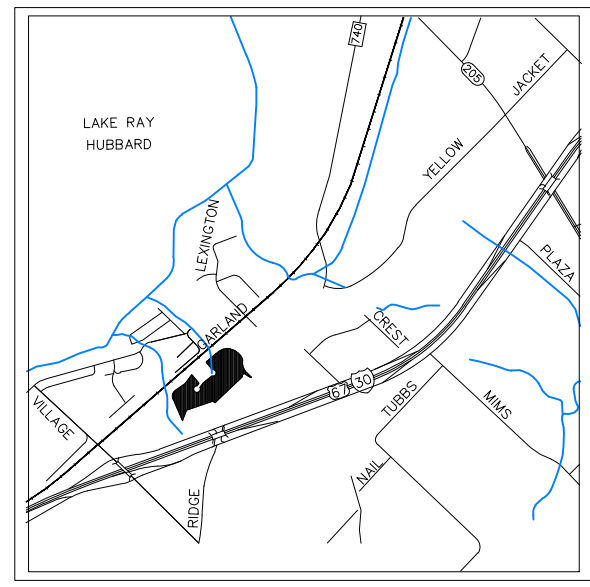
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.

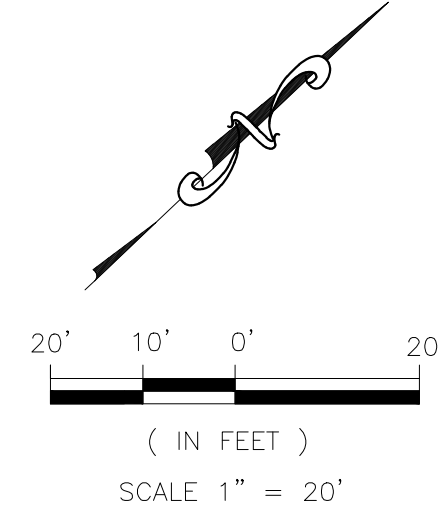


LANDSCAPE TABULATIONS:

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE (227 FT.)	N/A	N/A
PARKING SPACE (90 SP)		
1 TREE PER 10 REQ. PARKING SPACES (90 REQ. SPACES)	9 TREES	10 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 51,149 SF.)	7,673 SF.	7,873 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	



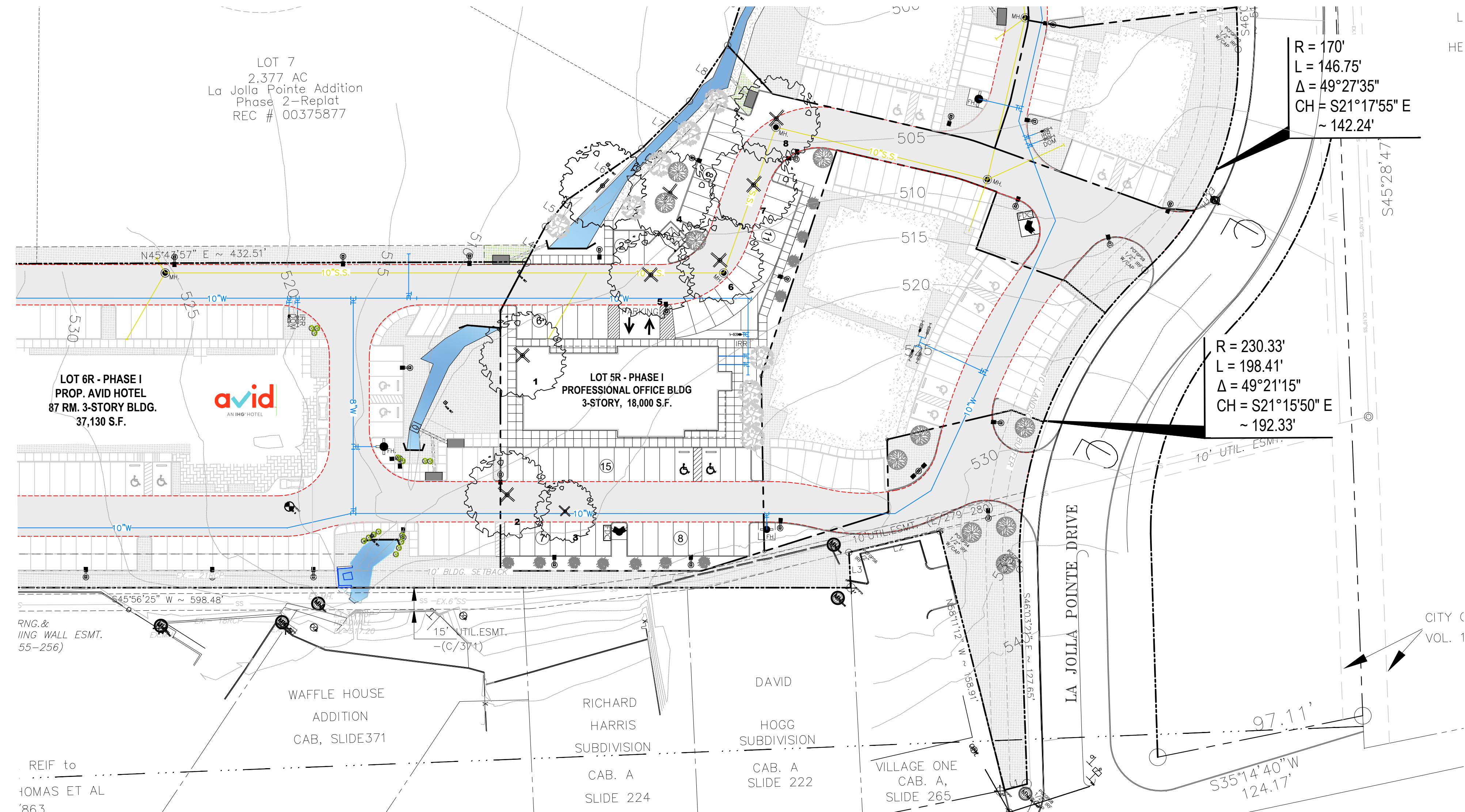
VICINITY MAP
N.T.S.



PROTECTED TREE SURVEY

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	8"	WHITE OAK	QUERCUS ALBA
2	11"	WHITE OAK	QUERCUS ALBA
3	9"	WHITE OAK	QUERCUS ALBA
4	6"	LIVE OAK	QUERCUS VIRGINIANA
5	14"	LIVE OAK	QUERCUS VIRGINIANA
6	11"	WHITE OAK	QUERCUS ALBA
7	14"	WHITE OAK	QUERCUS ALBA
8	12"	WHITE OAK	QUERCUS ALBA

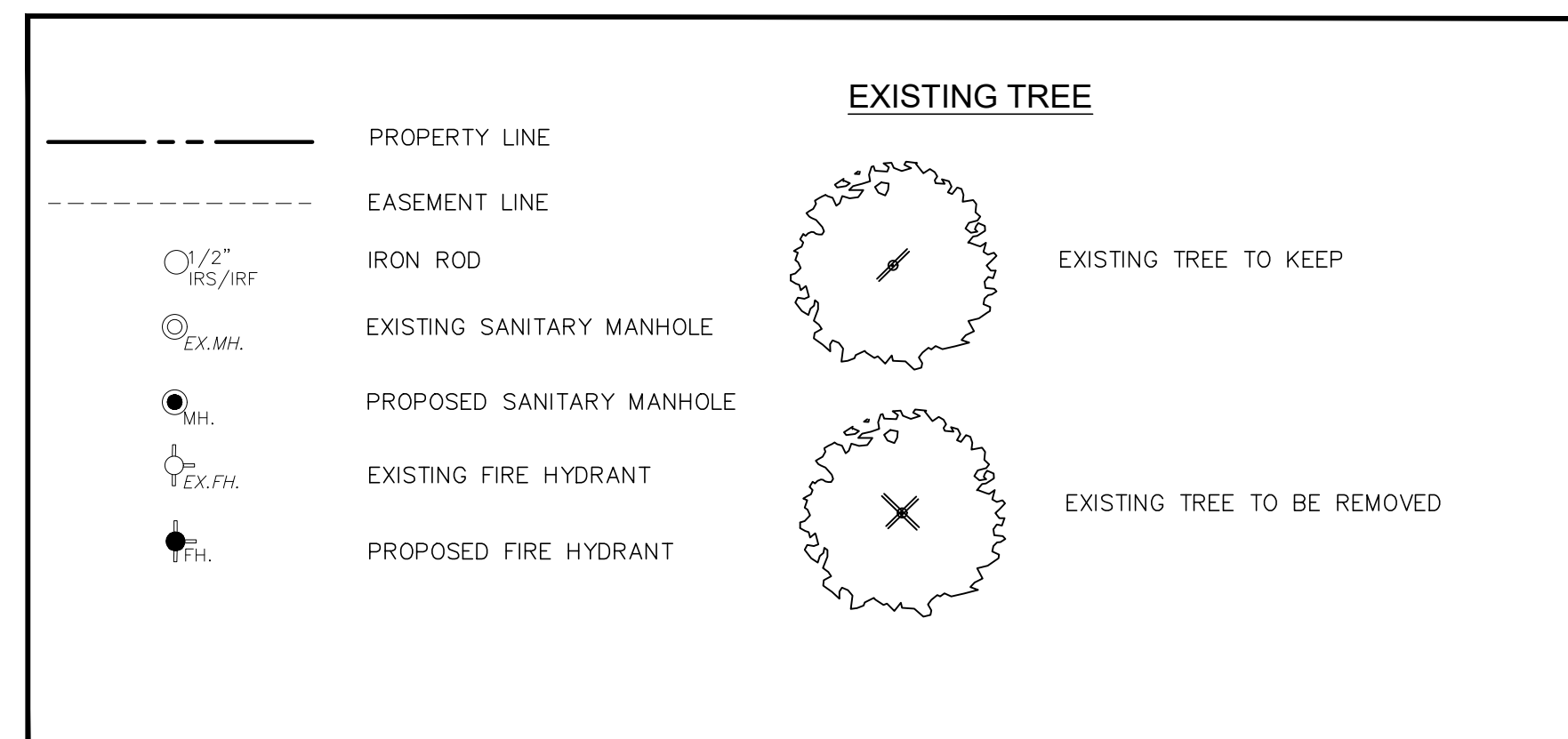
85"	TOTAL INCHES OF TREE REMOVED—100% REPLACEMENT RATIO
85"	TOTAL INCHES OF TREE REPLACEMENT REQUIRED
90"	TOTAL INCHES OF TREE REPLACEMENT PROVIDED



TREE REPLACEMENT

SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
4	1	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
9	1	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
4	1	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN

LEGENDS:



FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



SITE PLANS SET

NO.	DATE	BY
1	18-08-07	PSS

TREE PRESERVATION PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75248
(972) 248-8651
TX T.B.P.E. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

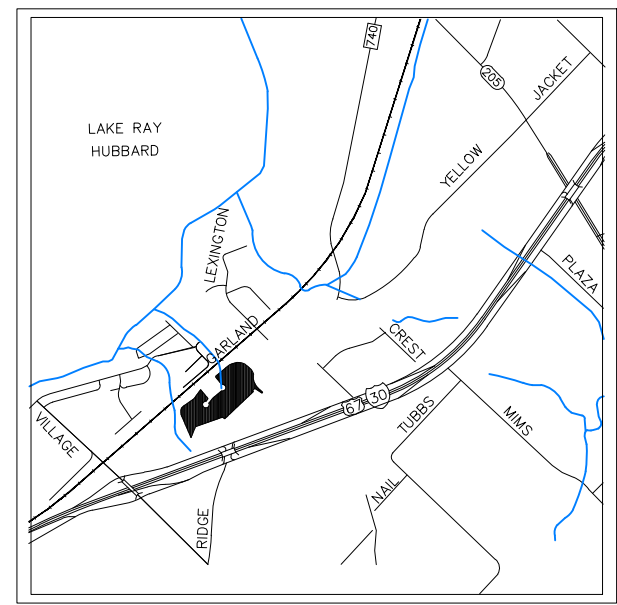
PROJECT NO. 21737-VPR

DATE: AUGUST 07, 2018

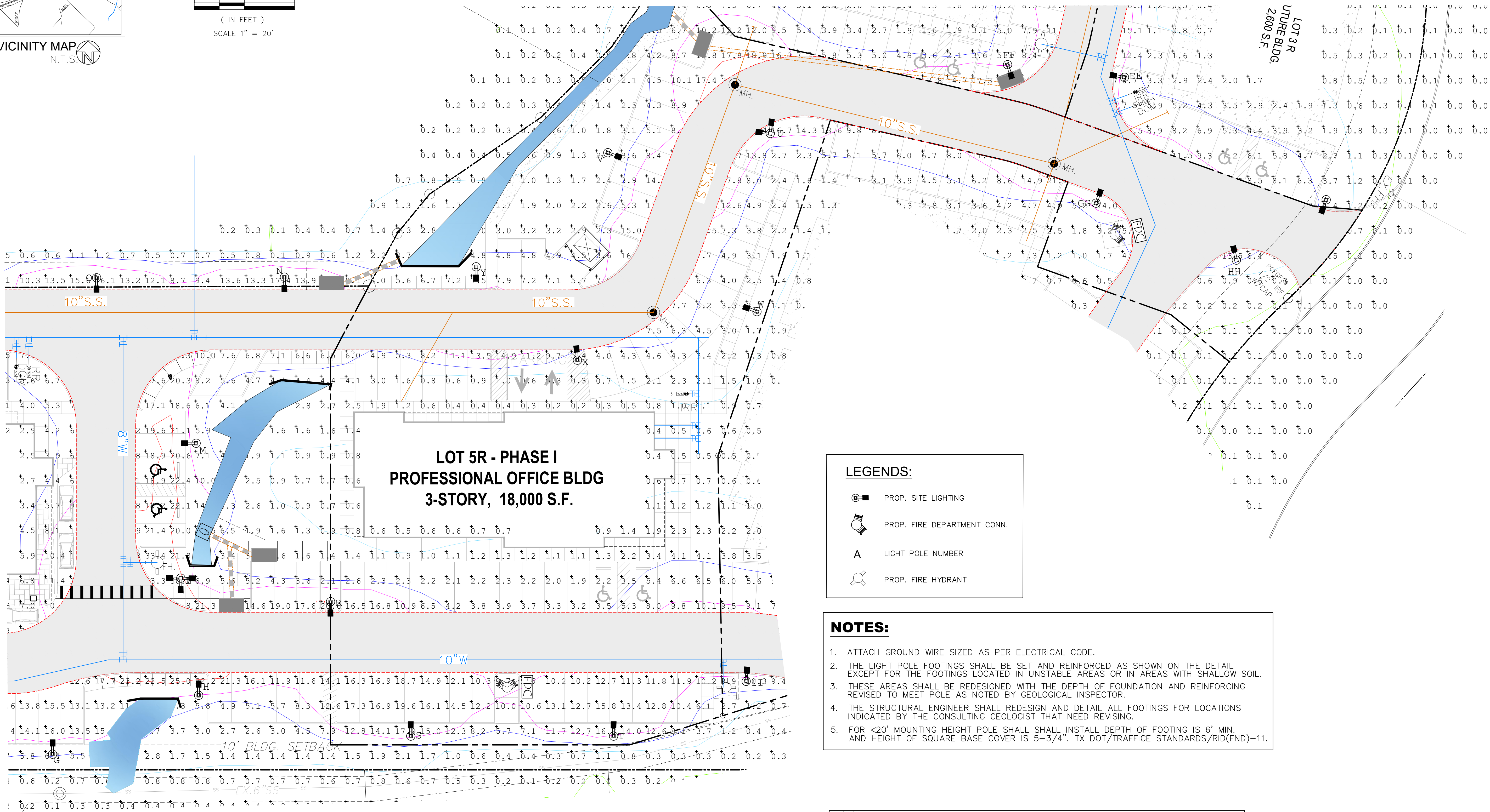
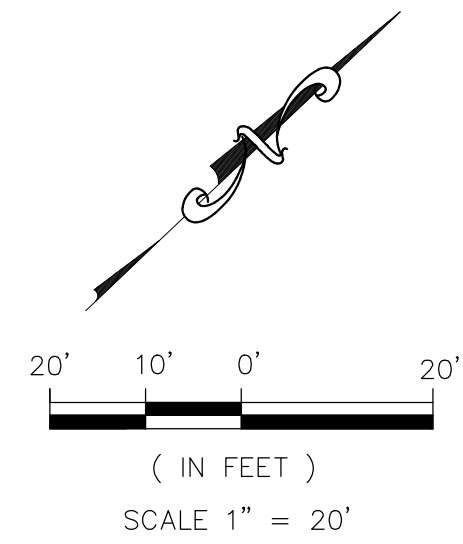
SHEET: L-02

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



VICINITY MAP
N.T.S.



**LOT 5R - PHASE I
PROFESSIONAL OFFICE BLDG
3-STORY, 18,000 S.F.**

LEGENDS:

- PROP. SITE LIGHTING
- PROP. FIRE DEPARTMENT CONN.
- LIGHT POLE NUMBER
- PROP. FIRE HYDRANT

- NOTES:**
- ATTACH GROUND WIRE SIZED AS PER ELECTRICAL CODE.
 - THE LIGHT POLE FOOTINGS SHALL BE SET AND REINFORCED AS SHOWN ON THE DETAIL EXCEPT FOR THE FOOTINGS LOCATED IN UNSTABLE AREAS OR IN AREAS WITH SHALLOW SOIL.
 - THESE AREAS SHALL BE REDESIGNED WITH THE DEPTH OF FOUNDATION AND REINFORCING REVISED TO MEET POLE AS NOTED BY GEOLOGICAL INSPECTOR.
 - THE STRUCTURAL ENGINEER SHALL REDESIGN AND DETAIL ALL FOOTINGS FOR LOCATIONS INDICATED BY THE CONSULTING GEOLOGIST THAT NEED REVISING.
 - FOR <20' MOUNTING HEIGHT POLE SHALL SHALL INSTALL DEPTH OF FOOTING IS 6' MIN. AND HEIGHT OF SQUARE BASE COVER IS 5-3/4". TX DOT/TRAFFICE STANDARDS/RID(FND)-11.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	MF	Description
	7	GAN-AF-09-LED-U-SL4-7050-HSS	SINGLE	N.A.	1.000	GAN-AF-09-LED-U-SL4-7050-HSS
	1	GAN-AF-09-LED-U-SL4-7050-HSS	1 2 4 30 DEGREES	N.A.	1.000	GAN-AF-09-LED-U-SL4-7050-HSS

Luminaire Tag Summary

Tag	Qty
2 4 30	1
SINGLE HEAD	7

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt	Illuminance (Fc)
R	GAN-AF-09-LED-U-SL4-7050-HSS	2591301	7016052	20	269.999	0	5.1
S	GAN-AF-09-LED-U-SL4-7050-HSS	2591628	7015870	20	89.999	0	1
U	GAN-AF-09-LED-U-SL4-7050-HSS	2591707	7015869	20	116.716	0	10
V	GAN-AF-09-LED-U-SL4-7050-HSS	2591714	7016066	20	340.313	0	1
W	GAN-AF-09-LED-U-SL4-7050-HSS	2591662	7016000	20	90.004	0	1
X	GAN-AF-09-LED-U-SL4-7050-HSS	2591923	7016191	20	170.047	0	1

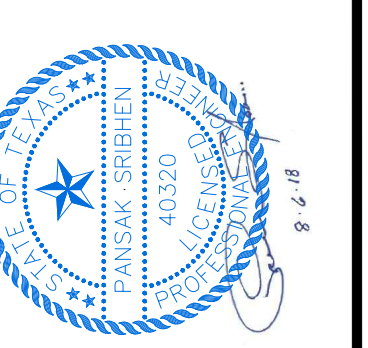
Incline Legend

Color	Value
Green	5.1
Blue	1
Red	10
Yellow	20

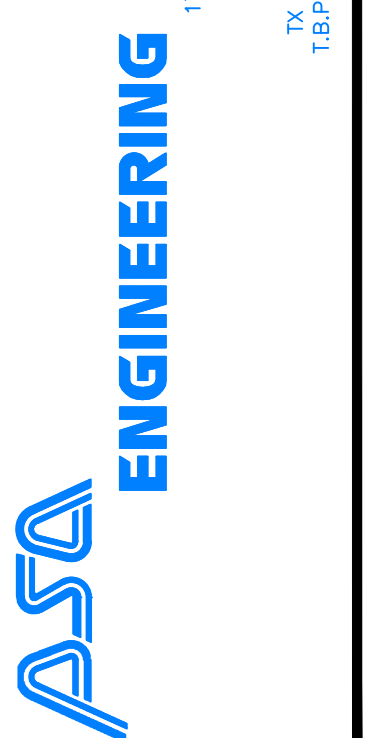
Expanded Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	YCF
R	GAN-AF-09-LED-U-SL4-7050-HSS	2591301	7016052	20	269.999	0	2591301	7016052	0	1
S	GAN-AF-09-LED-U-SL4-7050-HSS	2591628	7015870	20	89.999	0	2591628	7015870	0	1
U	GAN-AF-09-LED-U-SL4-7050-HSS	2591707	7015869	20	116.716	0	2591707	7015869	0	1
V	GAN-AF-09-LED-U-SL4-7050-HSS	2591714	7016066	20	340.313	0	2591714	7016066	0	1
W	GAN-AF-09-LED-U-SL4-7050-HSS	2591662	7016000	20	90.004	0	2591662	7016000	0	1
X	GAN-AF-09-LED-U-SL4-7050-HSS	2591923	7016191	20	170.047	0	2591923	7016191	0	1

FOR
PROF. OFFICE SITE LIGHTING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75232
(972) 246-9651
TX T.E.P.E. REGISTRATION # F-008974
T.E.P.E. FIN. REGISTRATION # 100433



SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

PROJECT NO. 21737.VPR

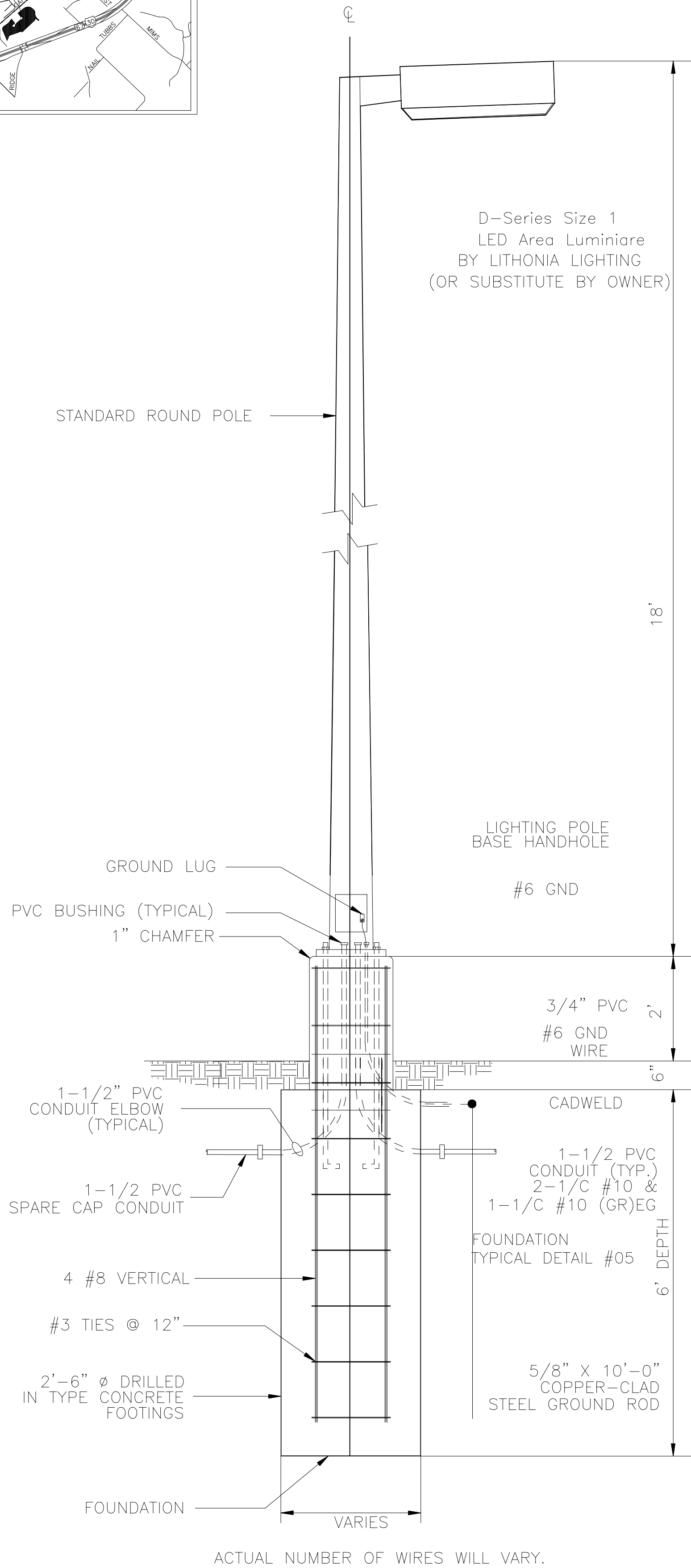
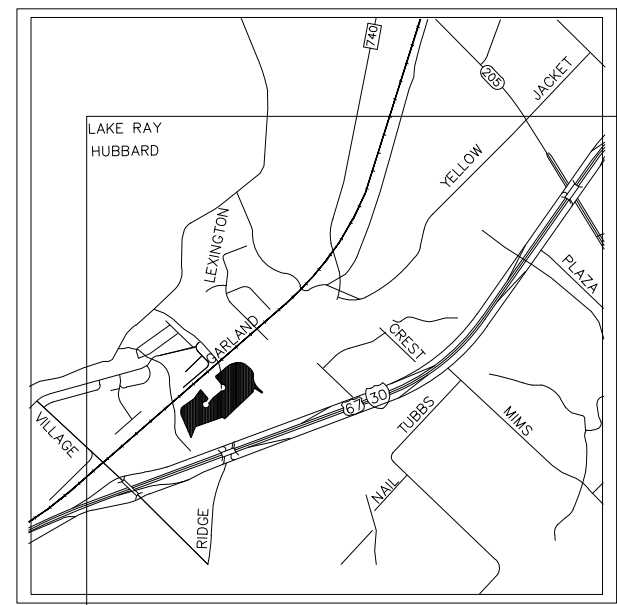
DATE: AUGUST 07, 2018

SHEET: C-05

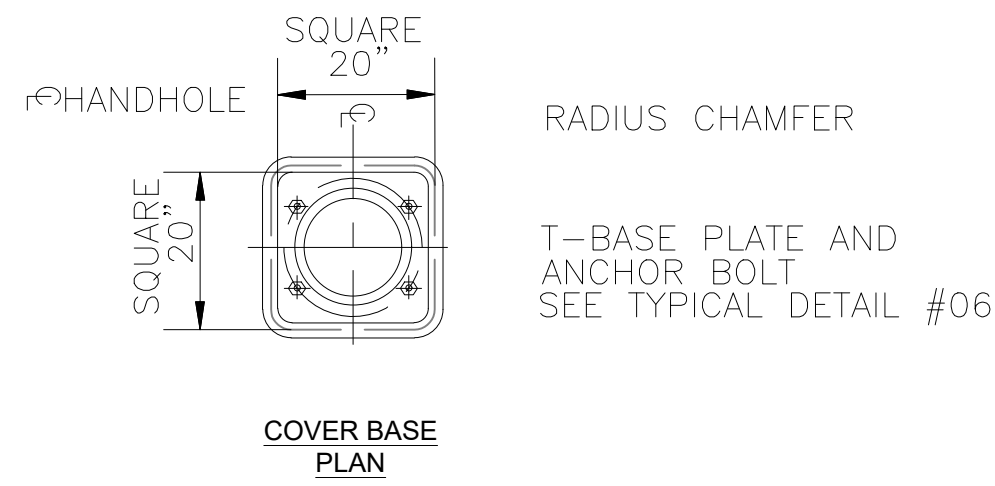


REVISION NO.	DATE	BY
1	18-08-07	P55

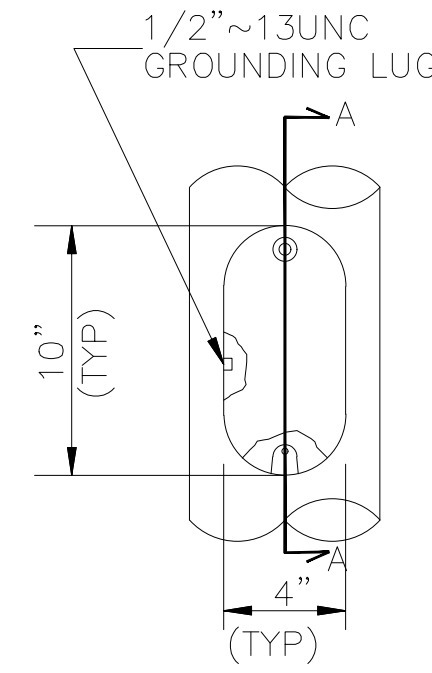
REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



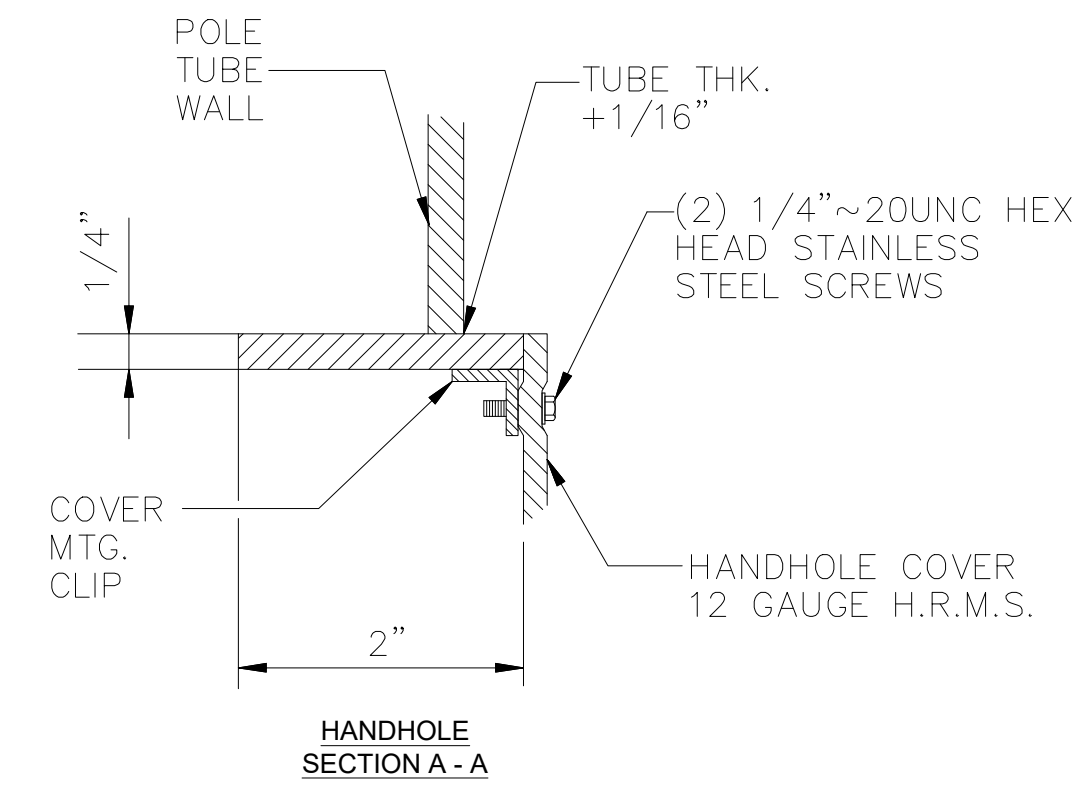
02 TYP. SINGLE LIGHT POLE DETAILS NTS



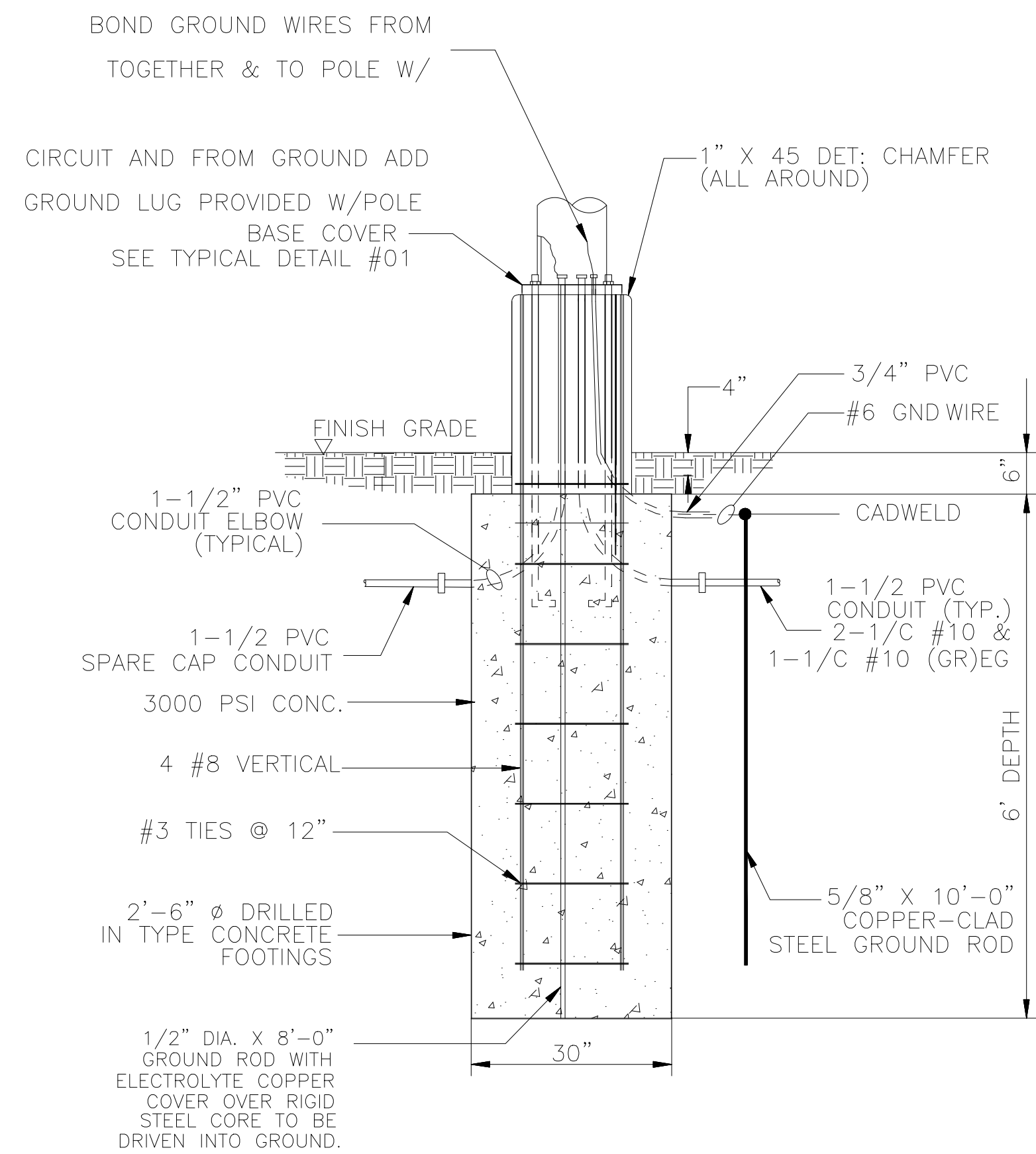
01 TYPICAL DETAIL



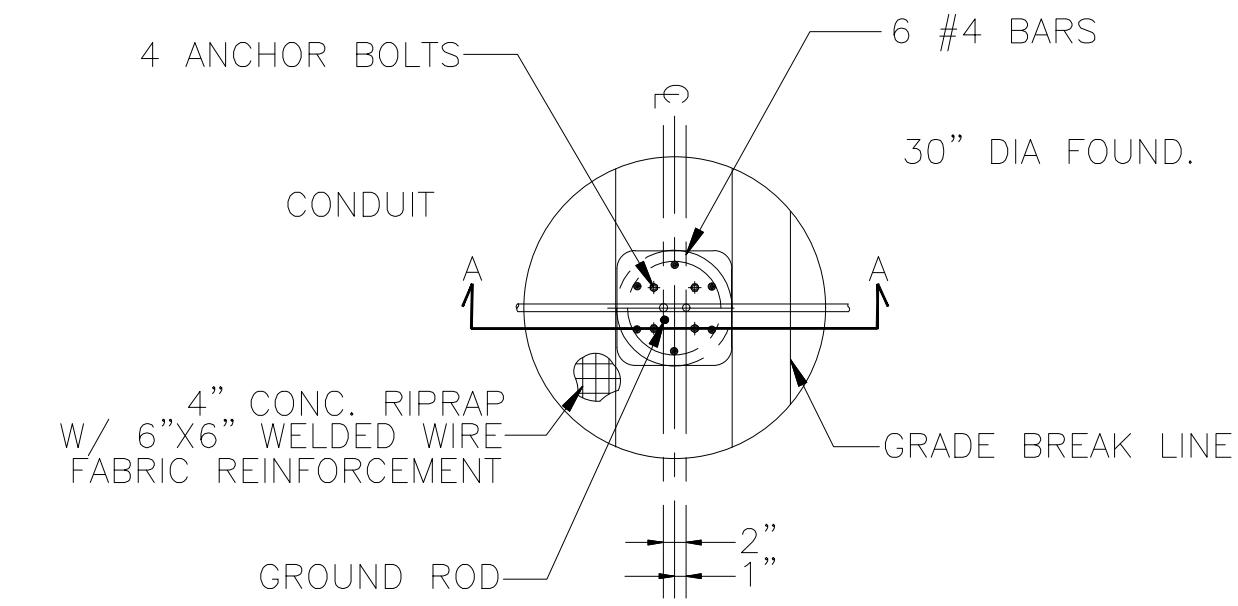
TYPICAL DETAIL HANDHOLE ELEVATION



03 TYPICAL DETAIL NTS

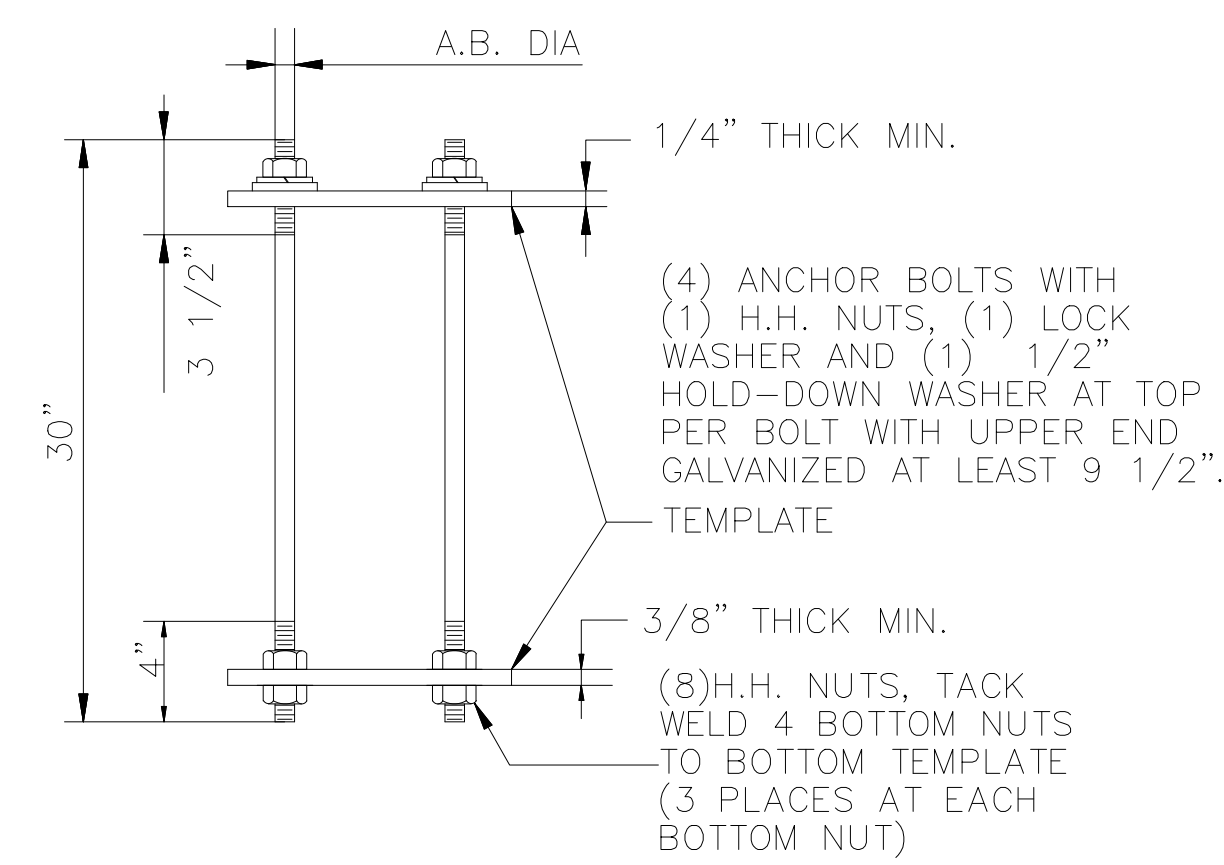


05 SECTION A-A' NTS



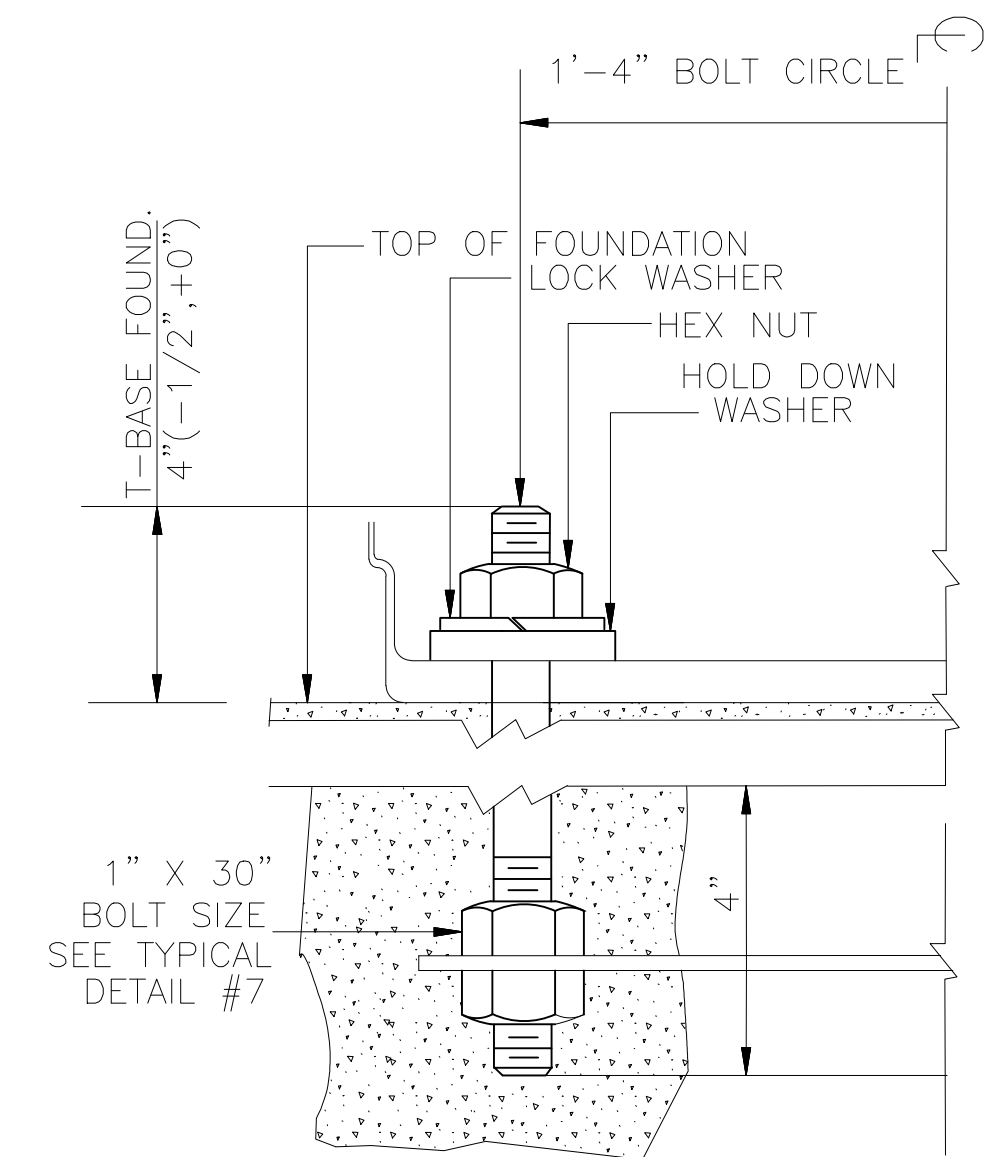
STREET LIGHT FOUNDATION - PLAN

04 TYPICAL DETAIL NTS



BASE ANCHOR BOLT ASSEMBLY

06 TYPICAL DETAIL NTS



ANCHOR BOLT DETAILS 'T-BASE'

07 TYPICAL DETAIL NTS

POLE'S DETAIL FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 219 DALLAS, TEXAS 75252 (972) 246-9651 PANKAJ SRIVASTAVA, P.E. REGISTRATION # F-006974 T&E L.L.C. FIRM REGISTRATION # F00625

ASA ENGINEERING

SCALE: AS SHOWN
DESIGNED: P55
DRAWN: PSA
CHECKED: P55

PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-06



CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 08/20/2018

APPLICANT: Pan Sribhen P.E. of PSA Engineering

AGENDA ITEM: **SP2018-025**; Site Plan; *Professional Office Building*

SUMMARY:

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of variances to the articulation and parking requirements in conjunction with an approved site plan for an office building on a 1.174-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated on the eastside of La Jolla Pointe Drive, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting approval of variances to the Unified Development Code (UDC) as outlined in this report. This request is in conjunction with an approved site plan for the purpose of constructing a three (3) story, 18,000 SF office building. The proposed office building will be situated on a 1.174-acre parcel of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2 that is located on the eastside of La Jolla Pointe Drive, is within the IH-30 Overlay (*IH-30 OV*) and Scenic Overlay (*SOV*) Districts, and is zoned *Commercial (C) District*.

VARIANCE AND EXCEPTION REQUESTS:

The applicant is requesting a variance to the requirements of the Unified Development Code (UDC) for the section outlined below. It should be noted, that for the subject property this variance request would require approval by a simple majority vote of those City Council members present. The request is as follows:

- 1) Section 4.1.C.1.b, of Article V, of the UDC require all building facades to not extend for a distance more than three (3) times the walls height without having an off-set vertically. The elevations depict the north and south facing façade do not meet this requirement. This will require approval by the City Council. [*Simple Majority Vote*]
- 2) Section 6.5, of Article V, of the UDC requires a minimum of 90 parking spaces for the proposed development. Currently, the site plan shows the provision of 84-parking spaces. The applicant is requesting a variance for the six (6) deficient parking spaces. This will require approval by the City Council. [*Simple Majority Vote*]

A request for a variance or exception as outlined above is a discretionary decision for the City Council.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board requested the applicant incorporate the Coronado stone with the wood appearance on the large column at the main entrance. The board shared their concern for the lack of vertical and horizontal elements to provide relief for the building. The ARB will provide a

recommendation to the Planning and Zoning Commission during the next scheduled meeting to be held on August 14, 2018.

On August 14, 2018, the applicant provided elevations meeting the intent of the ARB's recommendations. After reviewing the revised elevations, the Architectural Review Board made a motion recommending approval of the elevations, which passed by a vote of 6 to 0 with Board Member Mitchell absent. This motion included a condition of approval that the applicant provide Austin Stone as depicted on the elevations and not a synthetic stone as was attached to the materials sample board. Additionally, the motion included a recommendation of approval of the variance being requested regarding vertical articulation.

RECOMMENDATIONS:

If the City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit; and
- 2) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

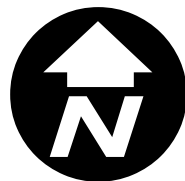
On August 14, 2018, the Planning and Zoning Commission's motion to approve the site plan with staff conditions, and the Architectural Review Board's recommendations, which passed by a vote of 6 to 0 with Commissioner Fishman absent. Additionally, the motion included a recommendation of approval of the variances being requested.

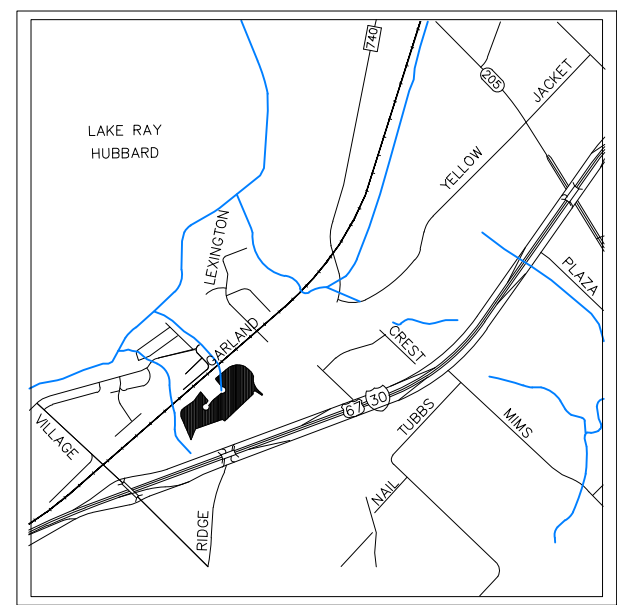


City of Rockwall

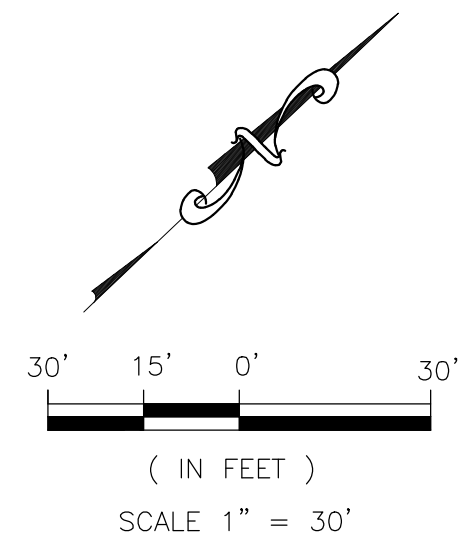
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LEGEND	
	PROPOSED WTR. LINE
	PROPOSED S.S. LINE
	PROPERTY LINE
	EASEMENT LINE
	STROM SEWER LINE
	IRON ROD
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED SITE LIGHTING 20' HT. MAX.
	INDICATE PARKING NO.
	INDICATE CURB INLET
RF	REBAR FOUND
CRS	CAPPED REBAR SET
IRF.	IRON ROD FOUND
IRS.	IRON ROD SET
UTIL.	UTILITY
ESMT.	EASEMENT
EX.	EXISTING
WTR.	WATER LINE
EX.MH.	EXISTING SANITARY SEWER MANHOLE
B.L.	BUILDING SETBACK LINE
R.O.B.	RIGHT OF WAY

LINE TABLE-TRACT 1		
LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

CURVE TABLE						
CURVE	DELTA	R	T	L	CH	CHD
C8	06°46'28"	100.00'	5.92'	11.82'	N62°18'16"E	11.82'
C4R	06°46'28"	76.00'	4.50'	9.00'	N62°18'16"E	9.00'

LOT INFORMATION

LOT 6 - PHASE I
AREA LOT
 TOTAL BLDG. AREA = 51,149 S.F. (1.174 AC.)
 PROPOSED = 18,000 S.F.
PROFESSIONAL OFFICE BLDG. 3-STORY

PARKING REQUIREMENTS
 PARKING RATIO = 1/200 S.F.
 TOTAL PARKING REQUIRED = 90 SP

TOTAL PARKING PROVIDED = 84 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 53 SP
 GARAGE PARKING PROVIDED = 27 SP

SITE PLANS SET

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

SITE PLAN
 FOR
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

SITE PLAN NOTE:

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDs, AND STD PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

FIRE LANE NOTE:

- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
 - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3-STORIES IN HEIGHT:
 - 20-feet (inside) for turns less than or equal to 90 degrees
 - 25-feet (inside) for turns greater than 90 degrees
 - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
 - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

NOTE:

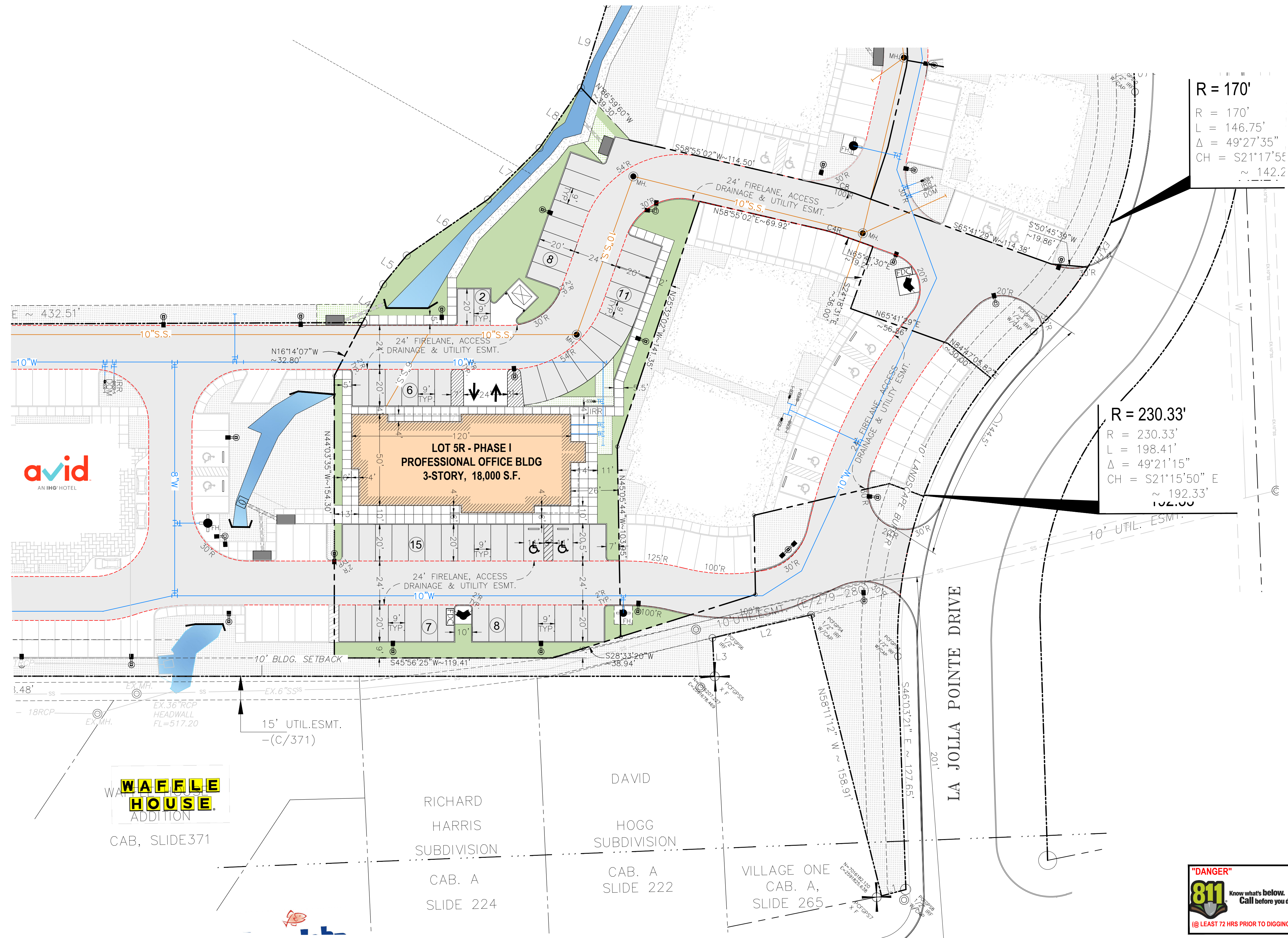
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



R = 170'
 R = 170'
 L = 146.75'
 Δ = 49°27'35"
 CH = S21°17'55"
 ~ 142.2

R = 230.33'
 R = 230.33'
 L = 198.41'
 Δ = 49°21'15"
 CH = S21°15'50" E
 ~ 192.33'

ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 246-9651
 TX T.S.P.E. REGISTRATION # F-008974
 T&E L.S. T&E REGISTRATION # 008453

SCALE: AS SHOWN
 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS
 PROJECT NO. 21737.VPR
 DATE: AUGUST 07, 2018
 SHEET: C-01



2:00:12:27 PM C:\PROJECTS\2018\21737.VPR\DWG\21737_VPR_C-01.DWG
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 PLOTTER: HP DesignJet T1100e
 PLOTTING: 11/11/2018 10:48:00 AM
 PLOTTER: HP DesignJet T1100e
 PLOTTING: 11/11/2018 10:48:00 AM

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS

FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

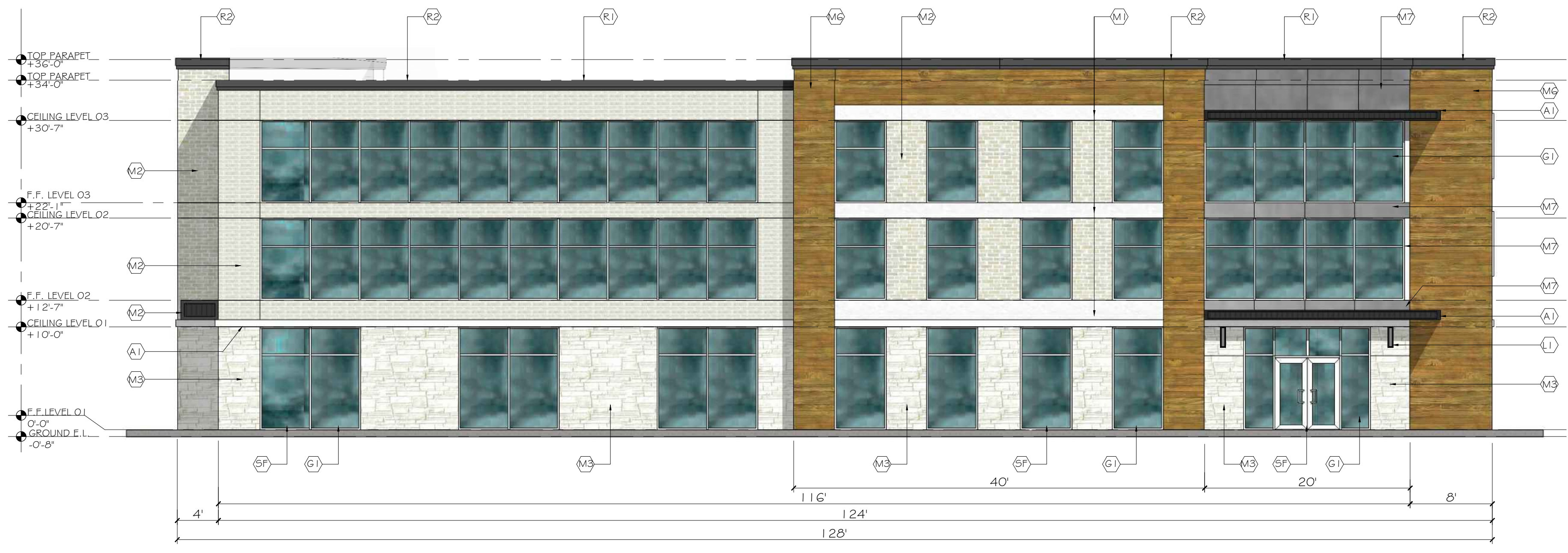
R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

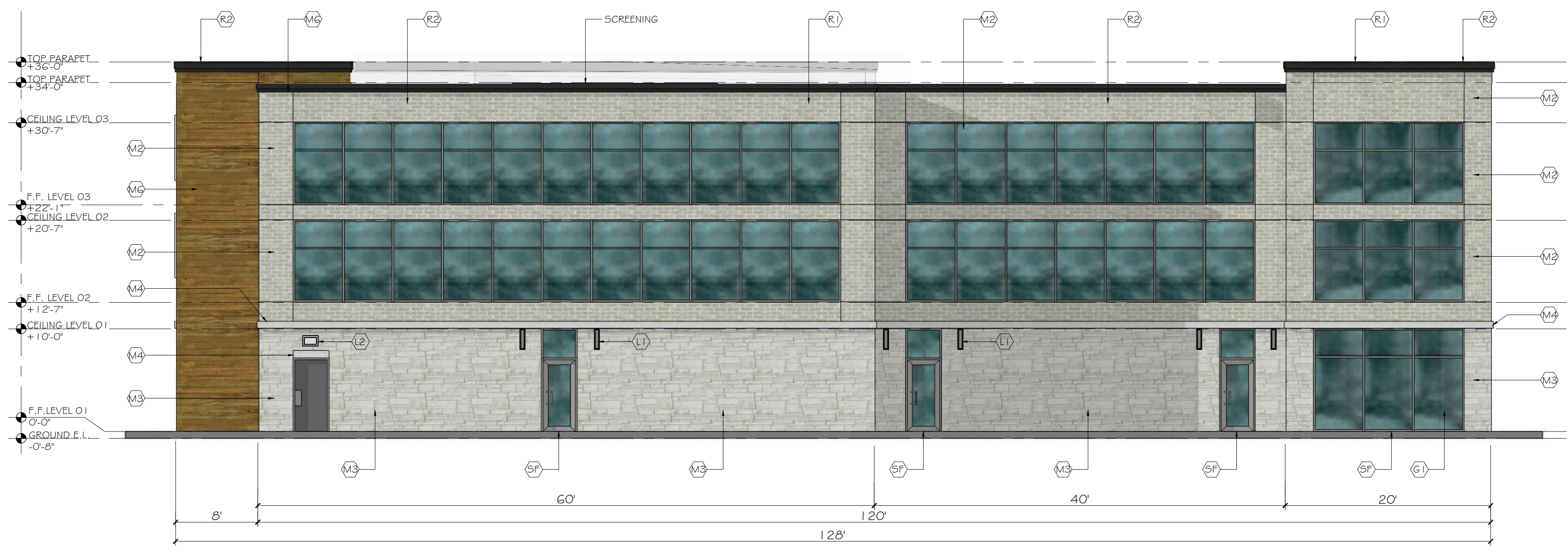
SHEET: **A2.0**



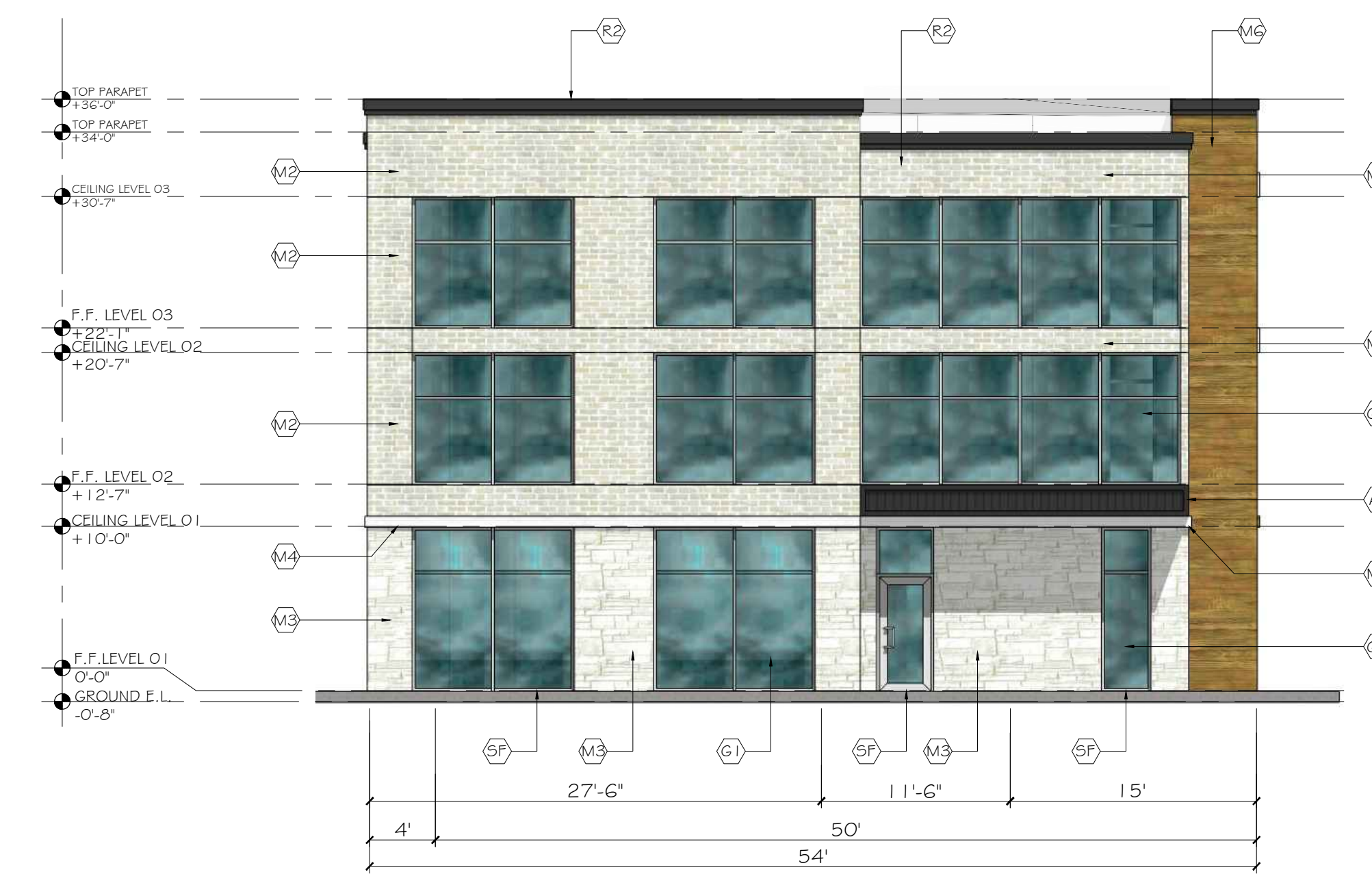
1 SOUTH ELEVATION (FRONT / MAIN ENTRY)
SCALE 1/8" = 1'-0"



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE 1/8" = 1'-0"



4 WEST ELEVATION
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - VORA PROFESSIONAL OFFICE BUILDING

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	4,069	100%	1,528	100%	3,635	100%	1,853	100%	11,085	100%
2	GLAZING DOORS & WINDOWS	1,793	44.1%	389	25.5%	1,181	32.5%	845	45.6%	4,208	38.0%
3	NON-GLAZING DOORS&WINDOWS	2,276	55.9%	1,139	74.5%	2,454	67.5%	1,008	54.4%	6,877	62.0%
	3.1 TOTAL WALL AREA	2,087	N/A	1,032	N/A	2,357	N/A	915	N/A	6,391	N/A
	3.2 METAL COPING/ AWNING/ ROOF	189	N/A	107	N/A	97	N/A	93	N/A	486	N/A
3.1	STUCCO WALL & STUCCO BAND	216	10.3%	84	8.1%	82	3.5%	40	4.4%	422	6.6%
	METAL CLADDING / METAL DOOR	206	9.9%	201	19.5%	25	1.1%	38	4.2%	206	3.2%
	BRICK *	582	27.9%	423	41.0%	1,128	47.9%	572	62.5%	2,705	42.3%
	AUSTIN STONE*	507	24.3%	355	34.4%	922	39.1%	238	26.0%	2,022	31.6%
	CORONADO STONE * (REFINED WOODSTONE)	765	36.7%	277	26.8%	322	13.7%	158	17.3%	1,522	23.8%
	MASONRY WALL NET AREA (*)	1,854	81.5%	1,055	92.6%	2,372	96.7%	968	96.0%	6,249	90.9%
	NON-MASONRY WALL NET AREA	422	18.5%	84	7.4%	82	3.3%	40	4.0%	628	9.1%
TOTAL WALL AREA	2,276	100%	1,139	100%	2,454	100%	1,008	100%	6,877	100%	

EXTERIOR MATERIALS & FINISHES

- (A1) = AWNING; FLAT METAL AWNING, COLOR "DARK GRAY"
- (G1) = GLAZING; 1/2", 1/2" INSULATED GLASS
- (G2) = GALV. GUTTER & GALV. DOWN SPOUT; COLOR "P2"
- (R1) = TPO ROOF
- (R2) = METAL COPING; COLOR "P1"
- (R3) = ROOF LADDER; STEEL ROOF LADDER
- (SF) = STOREFRONT; ALUM. STOREFRONT DOOR & WINDOW
- (M1) = STUCCO WALL W/ DRYVIT FINISHES; COLOR "P3"
- (M2) = BRICK VENEER; ACME BRICK MODULAR SIZE, MODEL "SMOOTH", COLOR " PEPI 66 - MARBLE GRAY"
- (M3) = AUSTIN STONE; MODEL "COUNTRY RUBBLE, COLOR "CHALK"
- (M4) = STUCCO BAND; COLOR "P3"
- (M5) = STUCCO W/ DRYVIT FINISHES COLOR "P3"
- (M6) = CORONADO STONE; REFINED WOODSTONE COLOR " HONEY BLONDE"
- (M7) = METAL CLADDING; COLOR "P2"

EXTERIOR COLOR PAINT

- (P1) = EXTERIOR COLOR PAINT (DARK GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7069 (IRON ORE)
- (P2) = EXTERIOR COLOR PAINT (LIGHT GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7066 (MEDIUM GREY)
- (P3) = EXTERIOR COLORED STUCCO (WHITE); OR COLOR TO MATCH SHERWIN-WILLIAMS #6154 (NACRE)

EXTERIOR LIGHT FIXTURE

- (L1) = EXTERIOR WALL SCENE ; PROGRESS LIGHTING
- (L2) = EXTERIOR EMERGENCY LIGHT (BATTERY BACK UP)

Z:\2017\21737.VPR\ARCH\02 OFFICE BUILDING\CONCEPTA-2.0 BUILDING ELEVATIONS 18-08-09.dwg, DWG To PDF.pc3

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE (SOUTHEAST)
SCALE: NTS

PERSPECTIVE - SOUTHEAST
FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

SHEET: **A3.1**



1 PERSPECTIVE (NORTHWEST)
SCALE: NTS

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - NORTHWEST
FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

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PSA ENGINEERING
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SCALE: AS SHOWN
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CHECKED: RC

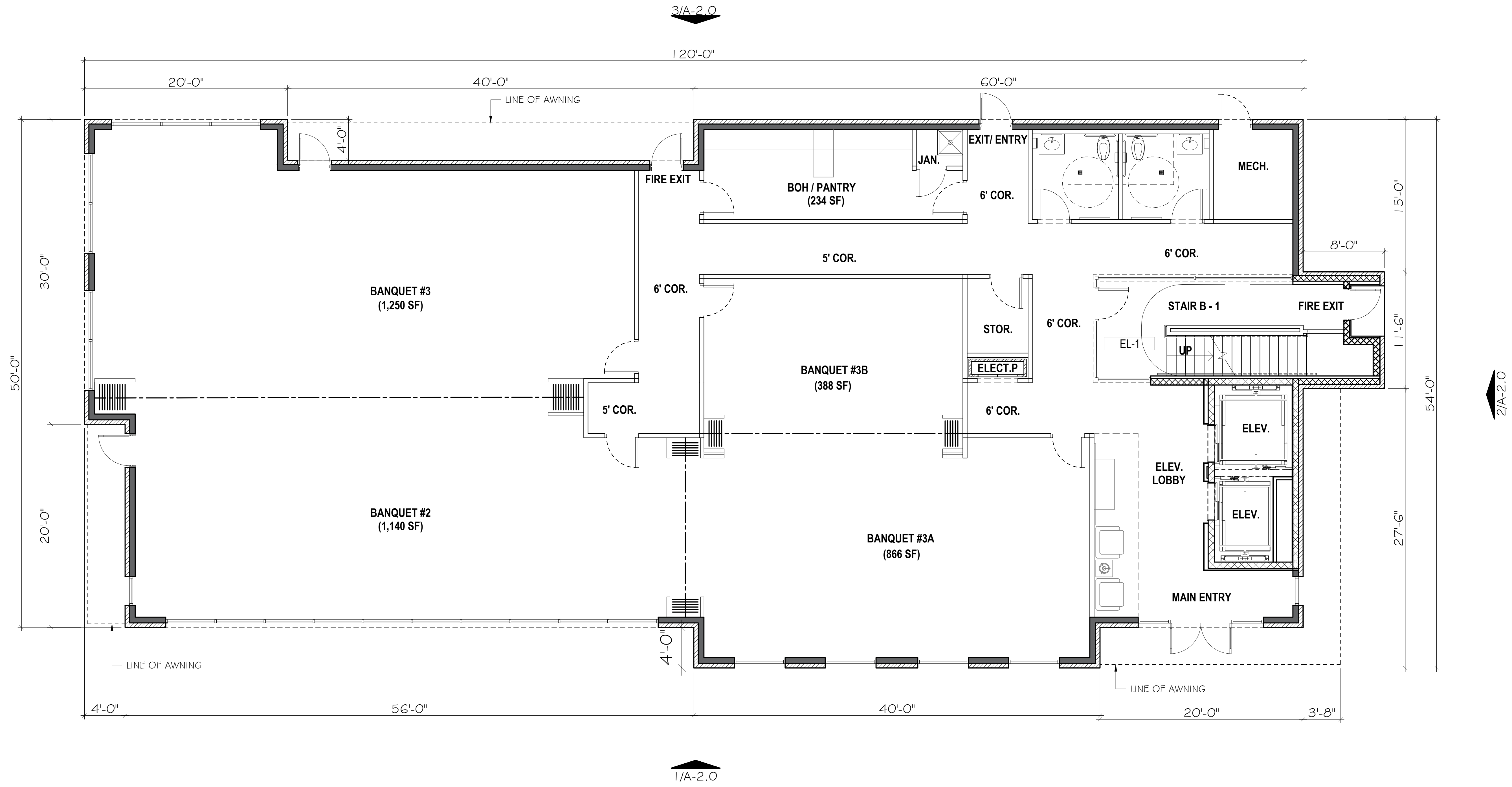
PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

SHEET: **A3.2**

REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 LEVEL 01 - FLOOR PLAN
SCALE 3/16" = 1'-0"

FLOOR PLAN - LEVEL 01
FOR
VORA OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
PSA ENGINEERING
17819 DAVENPORT RD.,
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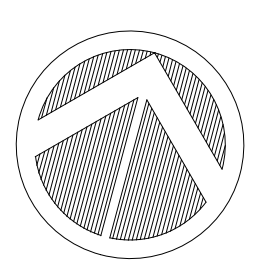
R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMILL LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 07, 2018

SHEET: **A1.0**



VORA PROFESSIONAL OFFICE BUILDING

FOR VORA PROPERTY AT ROCKWALL, TEXAS

DATE : 08/07/18



COPING/ AWNING / METAL ROOF
P1 - SHERWIN WILLIAMS COLOR: SW 7069 - IRON ORE



M6 - CORONADO STONE: MODEL 'REFINED WOODSTONE'
COLOR 'HONEY BLONDE'



BUIDLING ELEVATION @ FRONT ENTRY



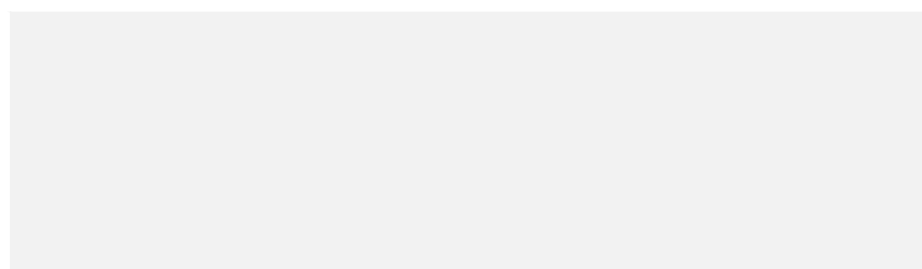
M2 : ACME BRICK: MODEL 'MARBLE GRAY - SMOOTH
TEXTURE, PEP- 116



DNSPOUT & GUTTER
P2 - SHERWIN WILLIAMS COLOR: SW 7066 - GRAY MATTER



M3 - AUSTION STONE: MODEL 'COUNTRY RUBBLE'
COLOR 'CHALK'



STUCCO WALL & BAND
P3 - SHERWIN WILLIAMS COLOR: SW 6154 - NACRE

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS

FOR
VORA PROFESSIONAL OFFICE BUILDING
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER
 PSA ENGINEERING
 17819 DAVENPORT RD.,
 SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651

R. T. CHANG, ARCHITECT, INC
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 5834 WINDMIER LANE
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SCALE: AS SHOWN
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DATE: AUG 09, 2018

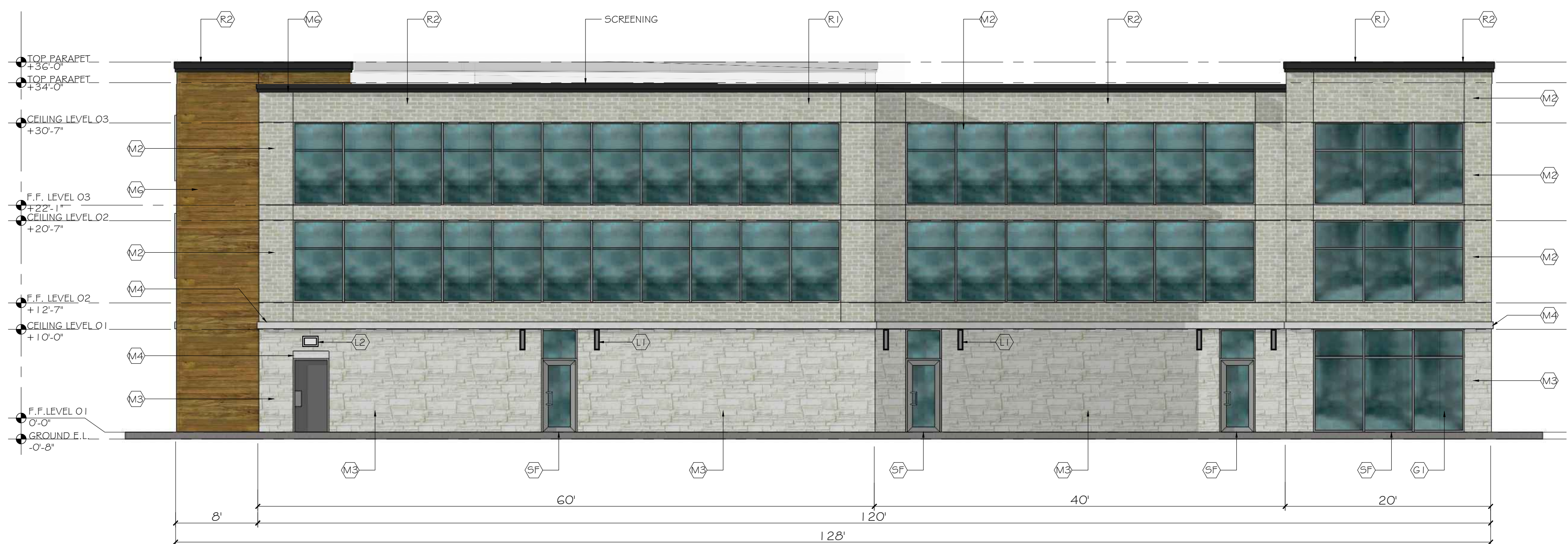
SHEET: **A2.0**



1 SOUTH ELEVATION (FRONT / MAIN ENTRY)
 SCALE 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE 1/8" = 1'-0"



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 SCALE 1/8" = 1'-0"



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EXTERIOR LIGHT FIXTURE

- (L1) = EXTERIOR WALL SCENE ; PROGRESS LIGHTING
- (L2) = EXTERIOR EMERGENCY LIGHT (BATTERY BACK UP)



1 PERSPECTIVE (SOUTHEAST)
SCALE: NTS

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - SOUTHEAST
FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

SHEET: **A3.1**



1 PERSPECTIVE (NORTHWEST)
SCALE: NTS

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - NORTHWEST
FOR
VORA PROFESSIONAL OFFICE BUILDING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

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SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: AUG 09, 2018

SHEET: **A3.2**

SITE PLANS SET

FOR

DFW HOSPITALITY OF ROCKWALL LLC

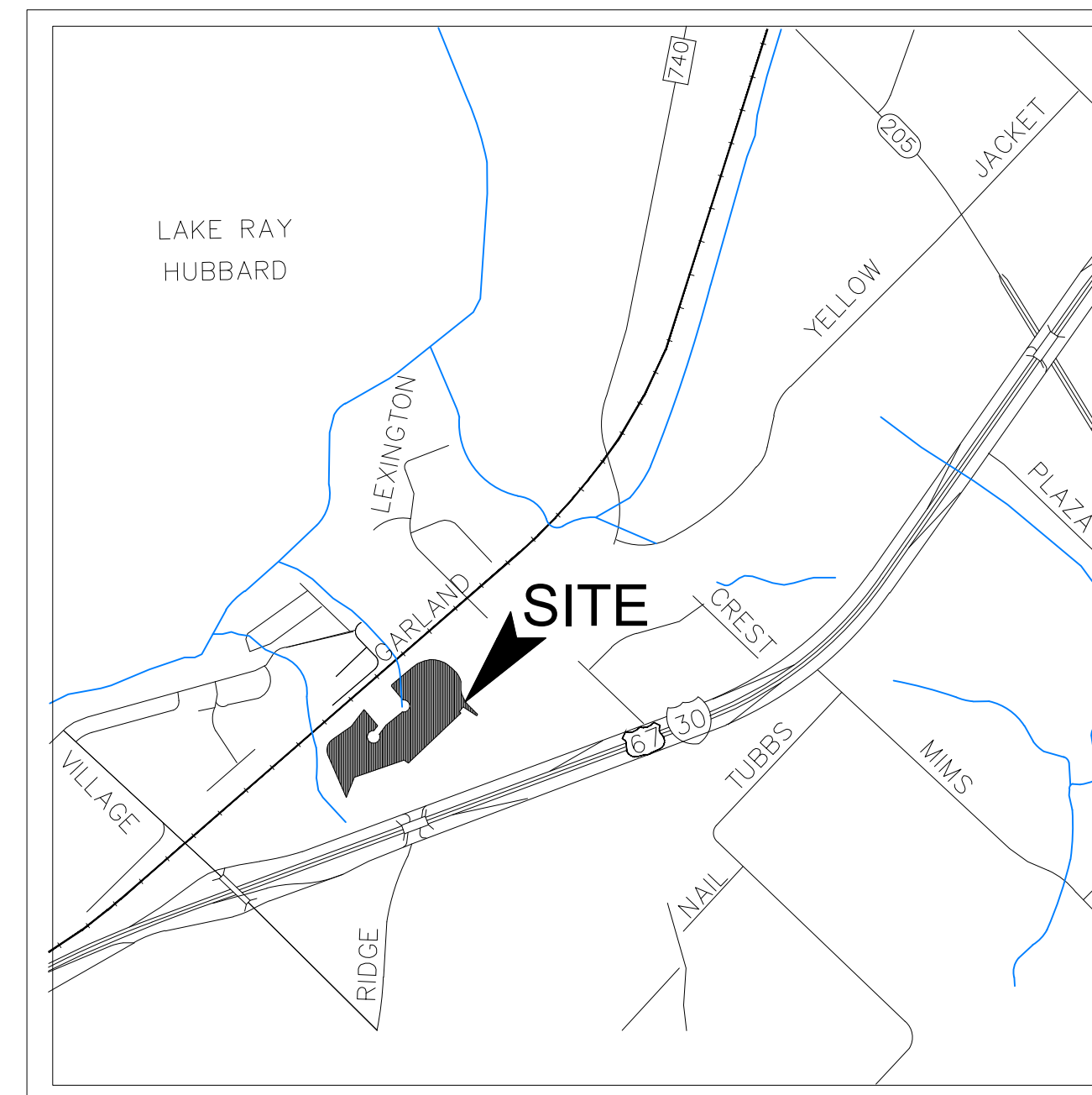
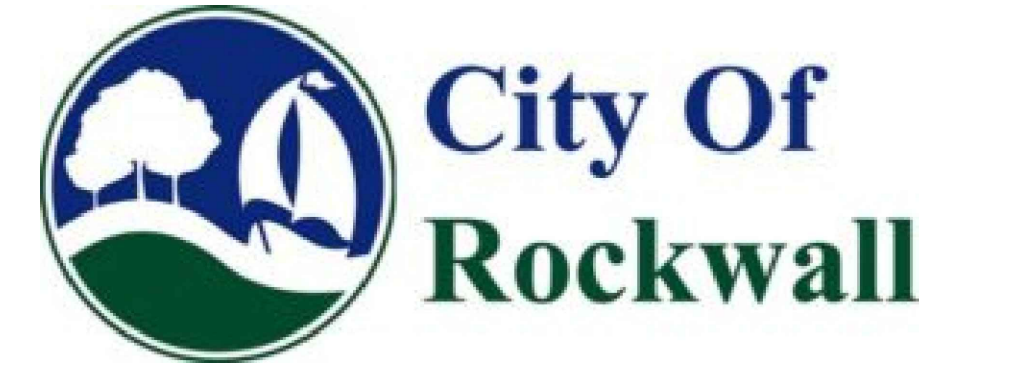
6.560 ACRES

PART OF

WILLIAM BLEVINS SUREY, ABST. NO. 9

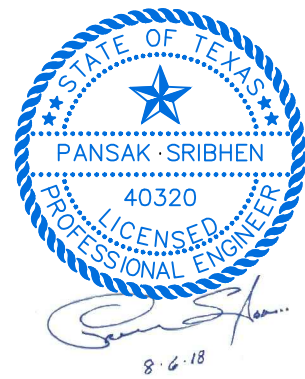
JAMES SMITH SURVEY, ABST. NO. 200

ROCKWALL COUNTY, TEXAS

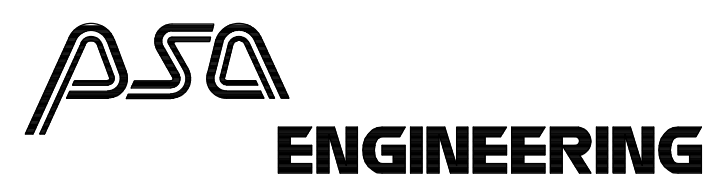


VICINITY MAP
N.T.S.

INDEX OF SHEETS	
SHEET NO.	SHEET CONTENT
CIVIL	
C - 00	COVER SHEET / INDEX OF SHEETS
C - 01	SITE PLAN
C - 02	PROPOSED OF ON AND OFF-SITE DRAINAGE PLAN
C - 03	PROPOSED SITE UTILITY PLAN
C - 04	OVERALL LOCATION SITE LIGHTING
C - 05	PROFESSIONAL OFFICE BLDG. SITE LIGHTING
C - 06	POLE'S DETAILS
C - 07	CATALOG CUT-SHEET
LANDSCAPE	
L - 1	LANDSCAPE PLAN
L - 2	TREE PRESERVATION PLAN
BUILDING ELEVATION	
PROFESSIONAL OFFICE BLDG. (LOT 6 - PHASE I)	
A 1.0	PROFESSIONAL OFFICE FLOOR PLAN
A 2.0	PROFESSIONAL OFFICE ELEVATION
A 3.1	PERSPECTIVE_SOUTHEAST
A 3.2	PERSPECTIVE_NORTHWEST
	MATERIALS BOARD

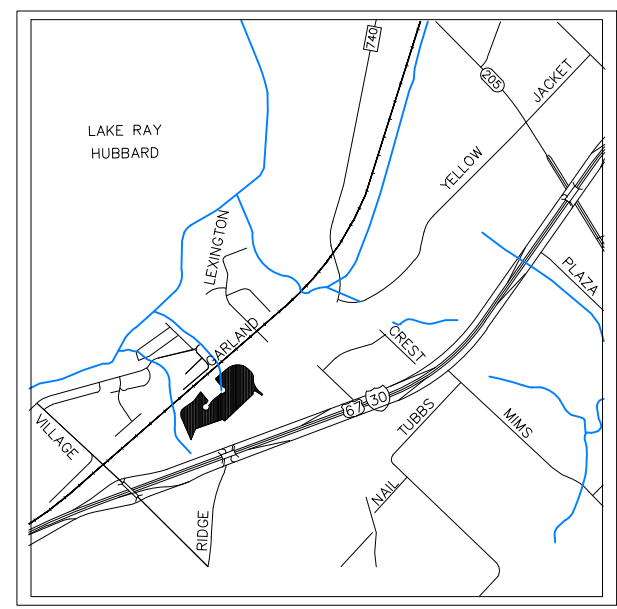


PREPARED BY:

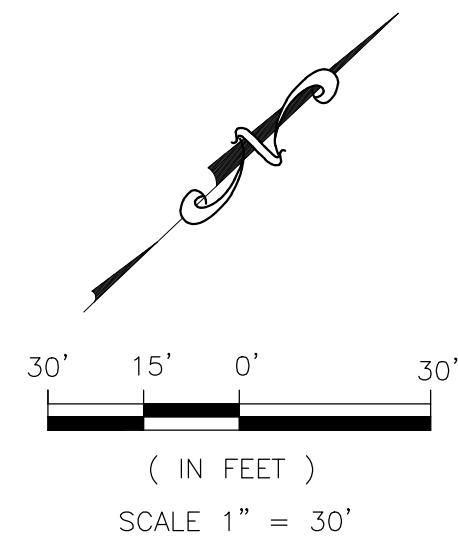


17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651 FAX (972) 248-9681
TX T.B.P.E. REGISTRATION # F-006874
T.B.P.L.S. FIRM REGISTRATION # 100433

OWNER / DEVELOPER
DFW HOSPITALITY OF ROCKWALL LLC
2402 PATHWAY
ELDORADO, AR, 71730



VICINITY MAP
N.T.S. (Not To Scale)



LEGEND		RF	REBAR FOUND
	PROPOSED WTR. LINE	CRS	CAPPED REBAR SET
	PROPOSED S.S. LINE	IRF.	IRON ROD FOUND
	PROPERTY LINE	IRS.	IRON ROD SET
	EASEMENT LINE	UTIL.	UTILITY
	STROM SEWER LINE	ESMT.	EASEMENT
	IRON ROD	EX.	EXISTING
	PROPOSED SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING SANITARY MANHOLE	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED FIRE HYDRANT	R.O.B.	RIGHT OF WAY
	PROPOSED SITE LIGHTING 20' HT. MAX.		
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LINE TABLE-TRACT 1		
LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

CURVE TABLE						
CURVE	DELTA	R	T	L	CH	CHD
C8	06°46'28"	100.00'	5.92'	11.82'	N62°18'16"E	11.82'
C4R	06°46'28"	76.00'	4.50'	9.00'	N62°18'16"E	9.00'

LOT INFORMATION

LOT 6 - PHASE I

AREA LOT TOTAL BLDG. AREA PROPOSED = 51,149 S.F. (1.174 AC.) = 18,000 S.F. = PROFESSIONAL OFFICE BLDG. 3-STORY

PARKING REQUIREMENTS
PARKING RATIO = 1/200 S.F.
TOTAL PARKING REQUIRED = 90 SP

TOTAL PARKING PROVIDED = 84 SP
HANDICAP PARKING REQUIRED = 4 SP
SURFACE PARKING PROVIDED = 53 SP
GARAGE PARKING PROVIDED = 27 SP

SITE PLANS SET

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN NOTE:

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDs, AND STD PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

FIRE LANE NOTE:

- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
 - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3-STORIES IN HEIGHT:
 - 20-feet (inside) for turns less than or equal to 90 degrees
 - 25-feet (inside) for turns greater than 90 degrees
 - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
 - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

NOTE:

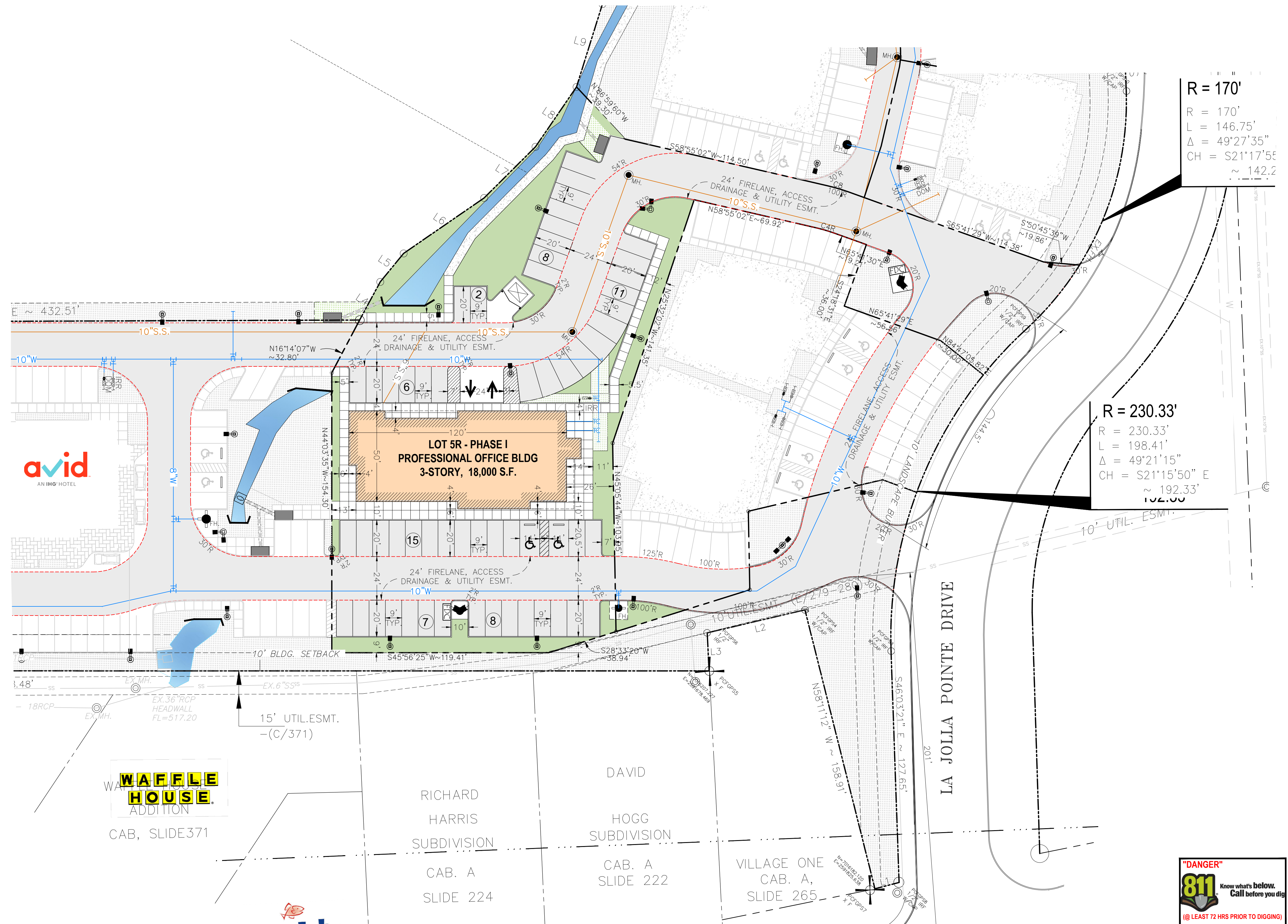
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



SITE PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

ASA ENGINEERING
17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 246-9651
TX T.S.P.E. REGISTRATION # F-008974
TSP-E.S. FINN REGISTRATION # 000423

SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

PROJECT NO. 21737.VPR

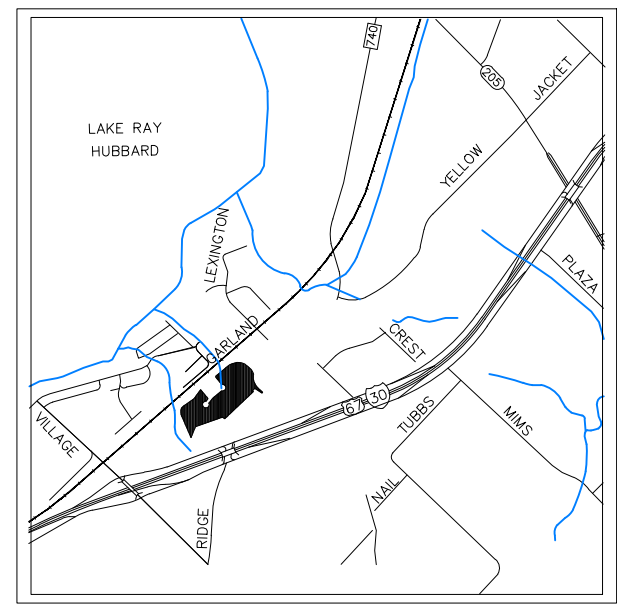
DATE: AUGUST 07, 2018

SHEET: C-01

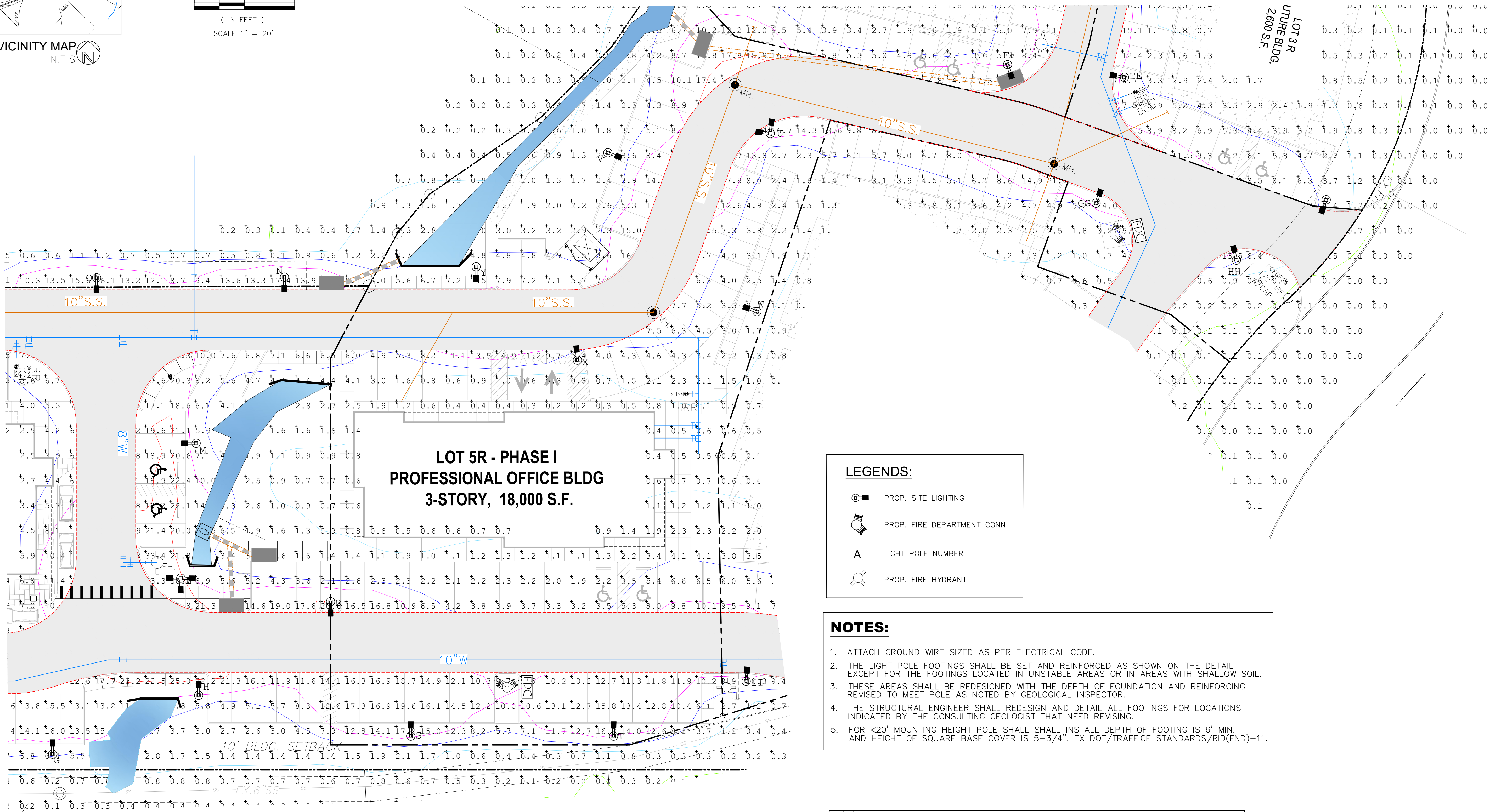
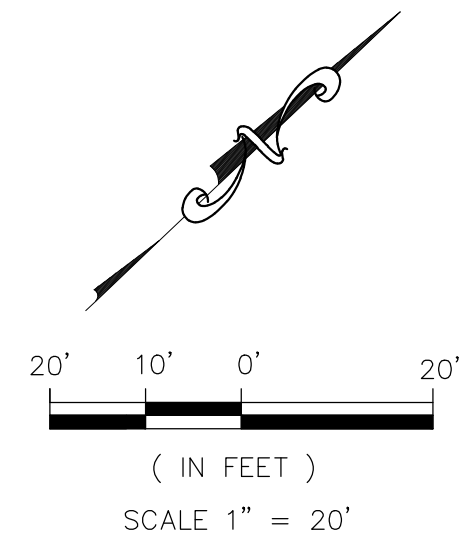


REVISION		
NO.	DATE	BY
1	18-08-07	P55

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



VICINITY MAP
N.T.S.



**LOT 5R - PHASE I
PROFESSIONAL OFFICE BLDG
3-STORY, 18,000 S.F.**

LEGENDS:

- PROP. SITE LIGHTING
- PROP. FIRE DEPARTMENT CONN.
- LIGHT POLE NUMBER
- PROP. FIRE HYDRANT

- NOTES:**
- ATTACH GROUND WIRE SIZED AS PER ELECTRICAL CODE.
 - THE LIGHT POLE FOOTINGS SHALL BE SET AND REINFORCED AS SHOWN ON THE DETAIL EXCEPT FOR THE FOOTINGS LOCATED IN UNSTABLE AREAS OR IN AREAS WITH SHALLOW SOIL.
 - THESE AREAS SHALL BE REDESIGNED WITH THE DEPTH OF FOUNDATION AND REINFORCING REVISED TO MEET POLE AS NOTED BY GEOLOGICAL INSPECTOR.
 - THE STRUCTURAL ENGINEER SHALL REDESIGN AND DETAIL ALL FOOTINGS FOR LOCATIONS INDICATED BY THE CONSULTING GEOLOGIST THAT NEED REVISING.
 - FOR <20' MOUNTING HEIGHT POLE SHALL SHALL INSTALL DEPTH OF FOOTING IS 6' MIN. AND HEIGHT OF SQUARE BASE COVER IS 5-3/4". TX DOT/TRAFFICE STANDARDS/RID(FND)-11.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	MF	Description
	7	GAN-AF-09-LED-U-SL4-7050-HSS	SINGLE	N.A.	1.000	GAN-AF-09-LED-U-SL4-7050-HSS
	1	GAN-AF-09-LED-U-SL4-7050-HSS	1 2 4 30 DEGREES	N.A.	1.000	GAN-AF-09-LED-U-SL4-7050-HSS

Luminaire Tag Summary

Tag	Qty
2 4 30	1
SINGLE HEAD	7

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt	Illuminance (Fc)
Q	GAN-AF-09-LED-U-SL4-7050-HSS	2591301	7016052	20	269.999	0	5.1
R	GAN-AF-09-LED-U-SL4-7050-HSS	2591593	7015924	20	269.999	0	5.1
S	GAN-AF-09-LED-U-SL4-7050-HSS	2591628	7015870	20	89.999	0	1.5
T	GAN-AF-09-LED-U-SL4-7050-HSS	2591707	7015869	20	89.999	0	1.5
U	GAN-AF-09-LED-U-SL4-7050-HSS	2591707	7016111	20	116.716	0	10
V	GAN-AF-09-LED-U-SL4-7050-HSS	2591714	7016066	20	340.313	0	20
W	GAN-AF-09-LED-U-SL4-7050-HSS	2591662	7016000	20	90.004	0	1.5
X	GAN-AF-09-LED-U-SL4-7050-HSS	2591923	7016191	20	170.047	0	10

Expanded Luminaire Location Summary

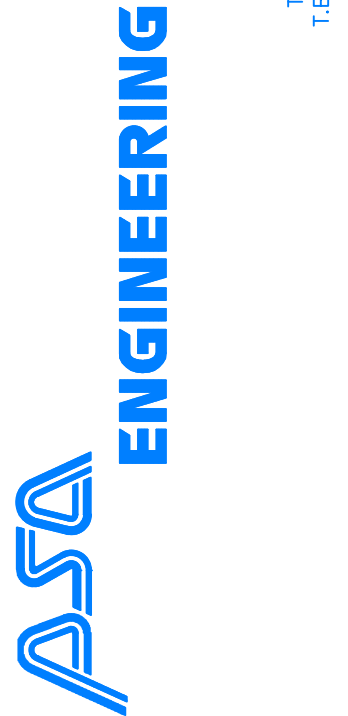
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	FC
Q	GAN-AF-09-LED-U-SL4-7050-HSS	2591301	7016052	20	269.999	0	2591301	7016052	0	1
R	GAN-AF-09-LED-U-SL4-7050-HSS	2591593	7015924	20	269.999	0	2591593	7015924	0	1
S	GAN-AF-09-LED-U-SL4-7050-HSS	2591628	7015870	20	89.999	0	2591628	7015870	0	1
T	GAN-AF-09-LED-U-SL4-7050-HSS	2591707	7015869	20	89.999	0	2591707	7015869	0	1
U	GAN-AF-09-LED-U-SL4-7050-HSS	2591707	7016111	20	116.716	0	2591707	7016111	0	1
V	GAN-AF-09-LED-U-SL4-7050-HSS	2591714	7016066	20	340.313	0	2591714	7016066	0	1
W	GAN-AF-09-LED-U-SL4-7050-HSS	2591662	7016000	20	90.004	0	2591662	7016000	0	1
X	GAN-AF-09-LED-U-SL4-7050-HSS	2591923	7016191	20	170.047	0	2591923	7016191	0	1



FOR
PROF. OFFICE SITE LIGHTING
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75232
(972) 246-9651
TX T.E.P.E. REGISTRATION # F-008974
T.E.P.E. REGISTRATION # F-008974



SCALE: AS SHOWN
DESIGNED: P55
DRAWN: PSA
CHECKED: P55

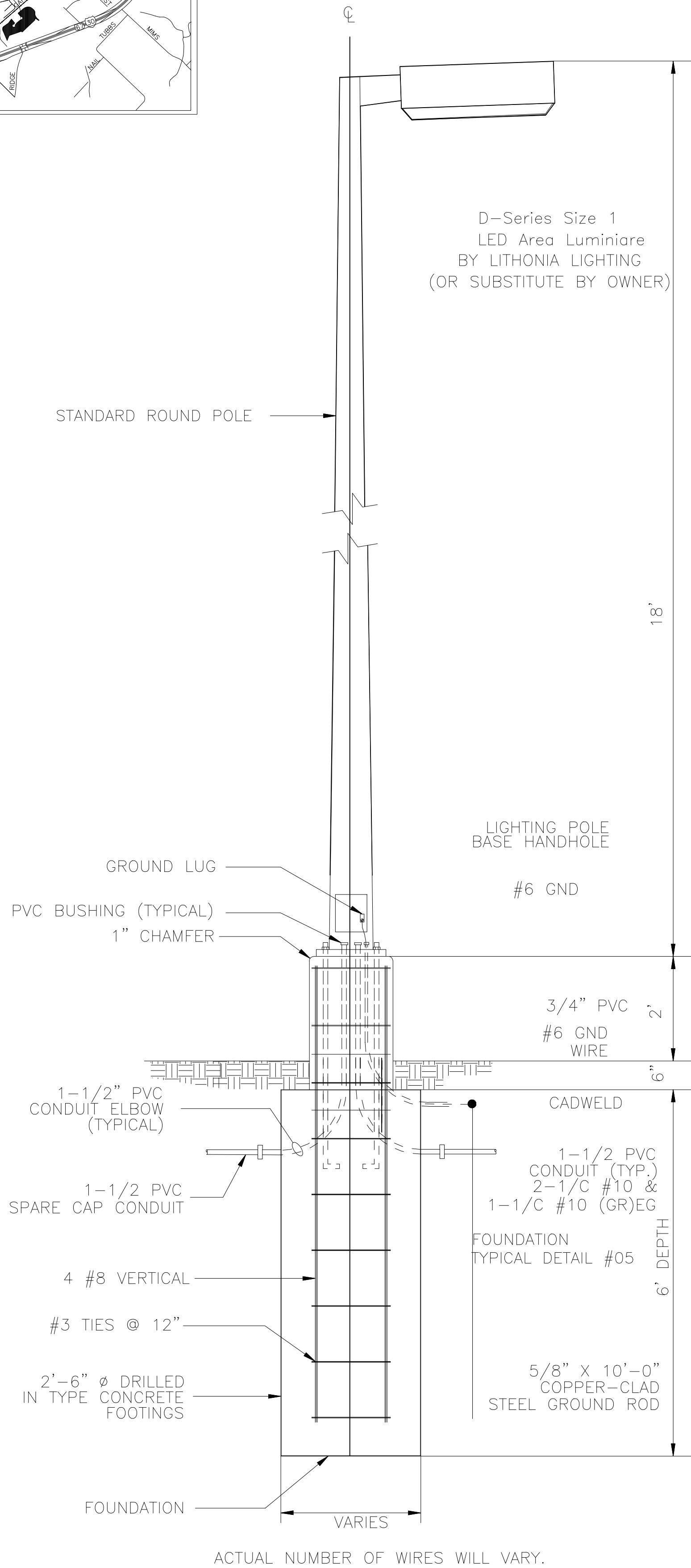
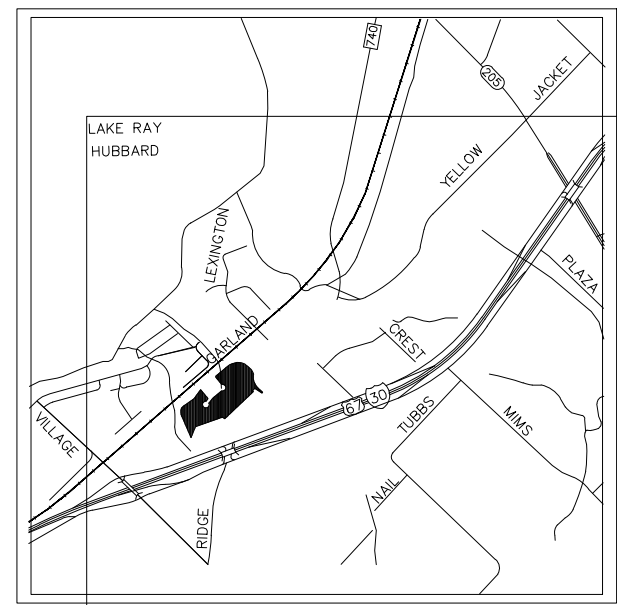
PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

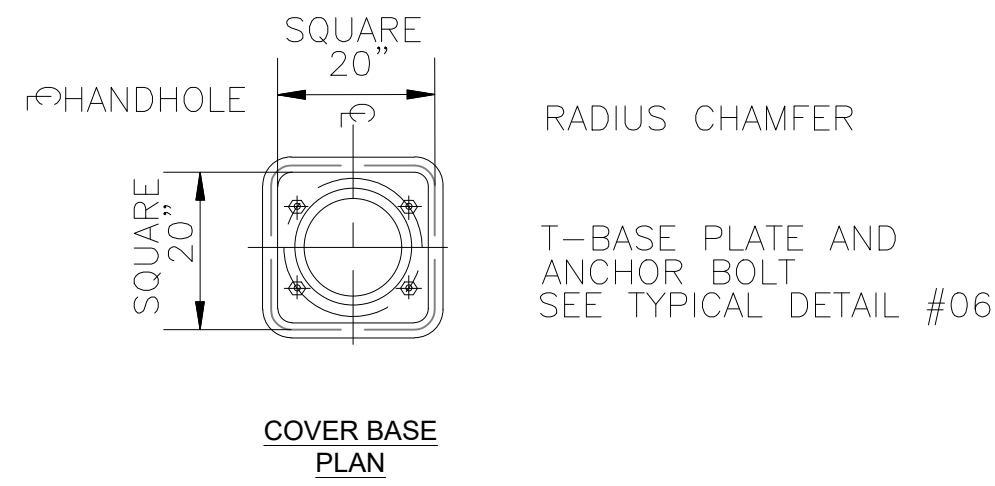
SHEET: C-05

REVISION		
NO.	DATE	BY
1	18-08-07	P55

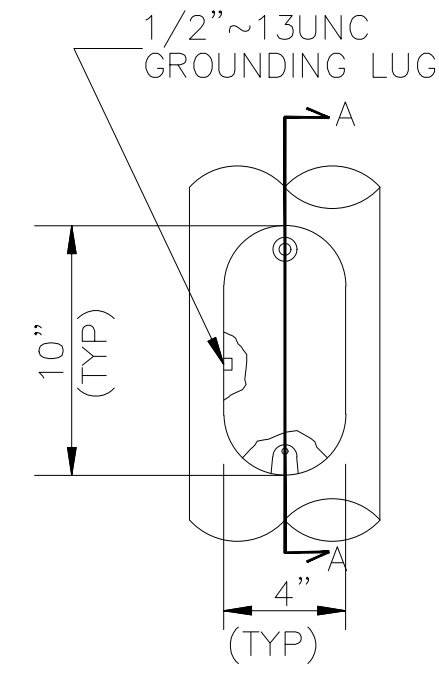
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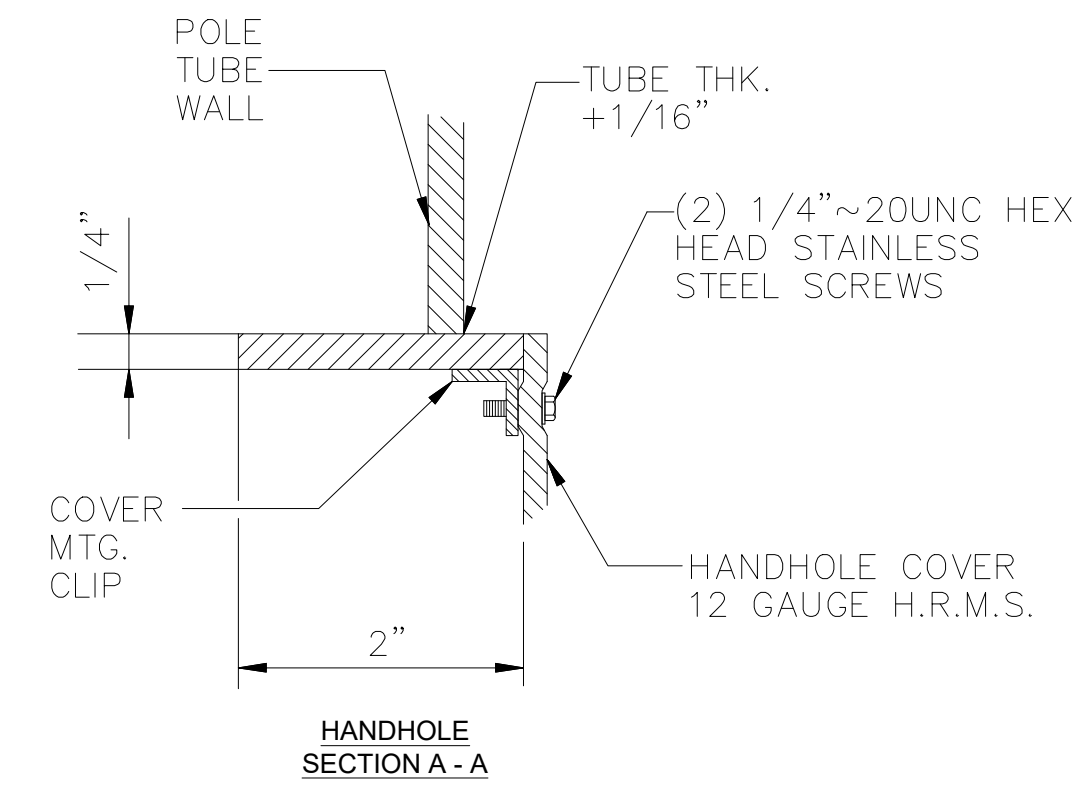
02 TYP. SINGLE LIGHT POLE DETAILS
NTS



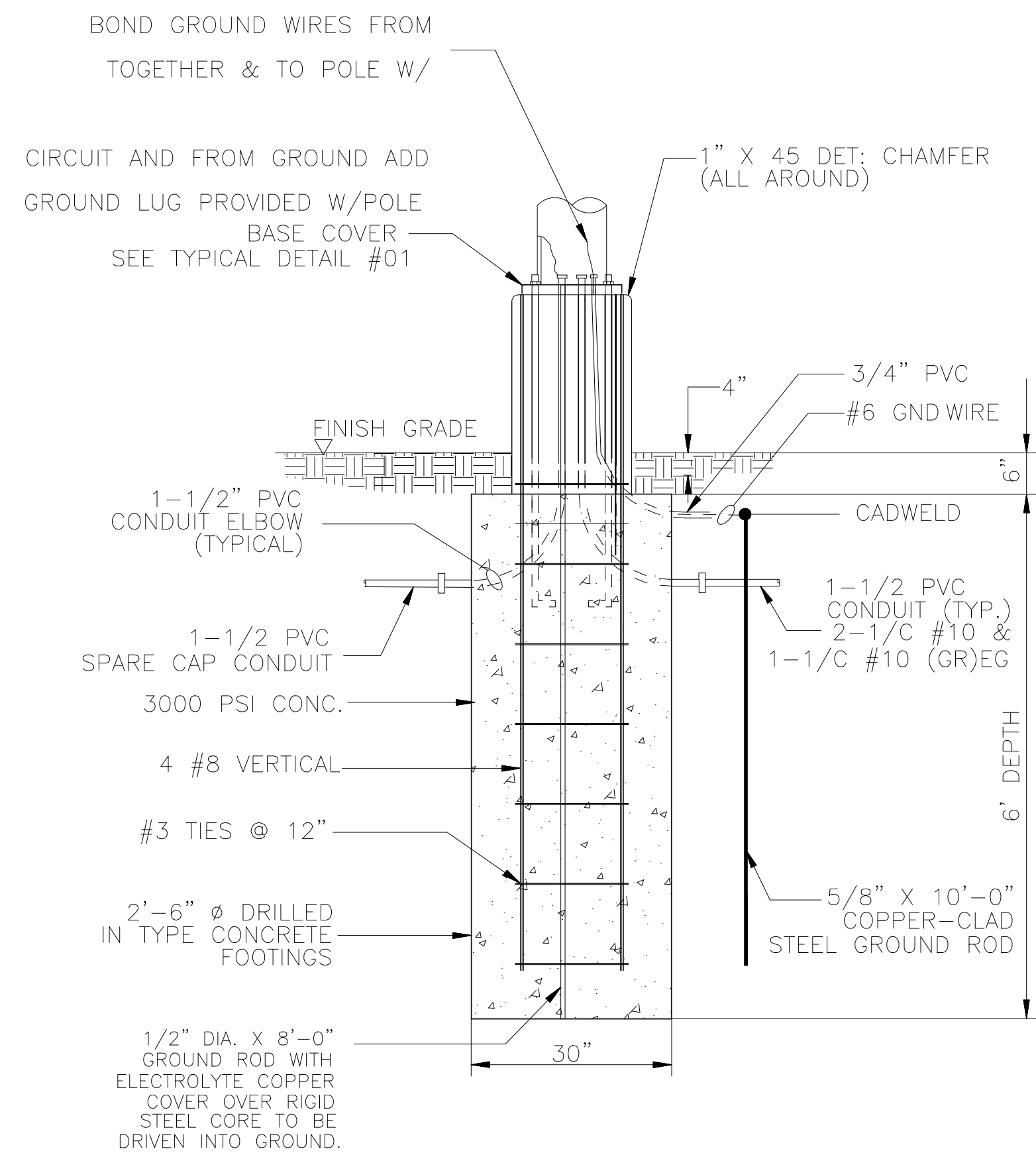
01 TYPICAL DETAIL



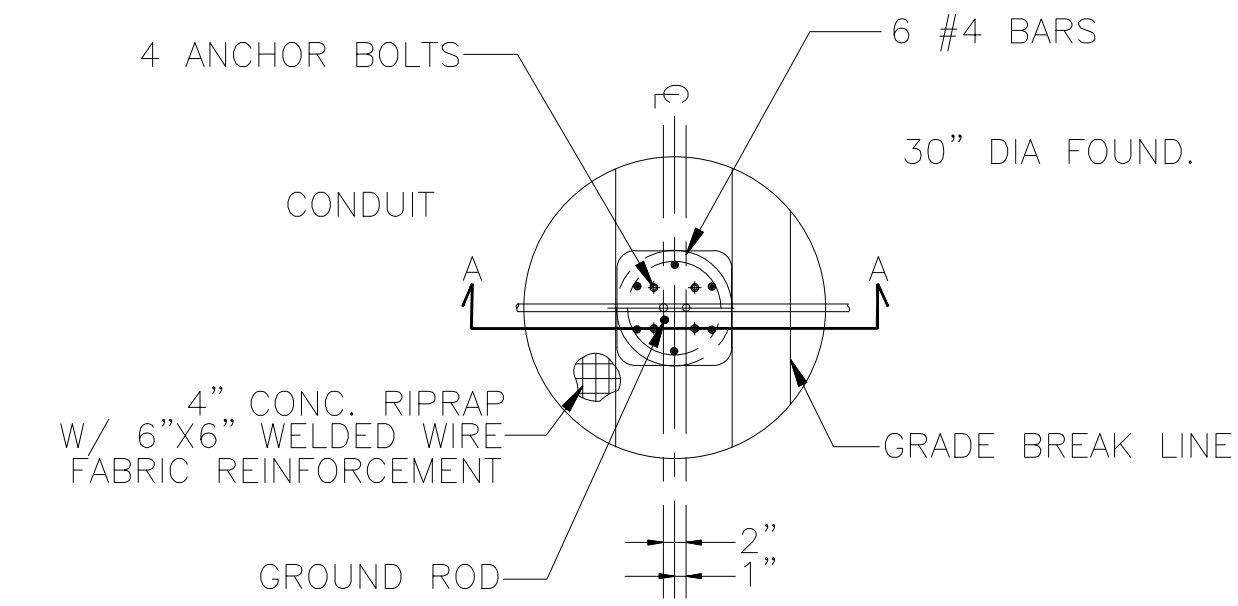
TYPICAL DETAIL HANDHOLE ELEVATION



03 TYPICAL DETAIL
NTS

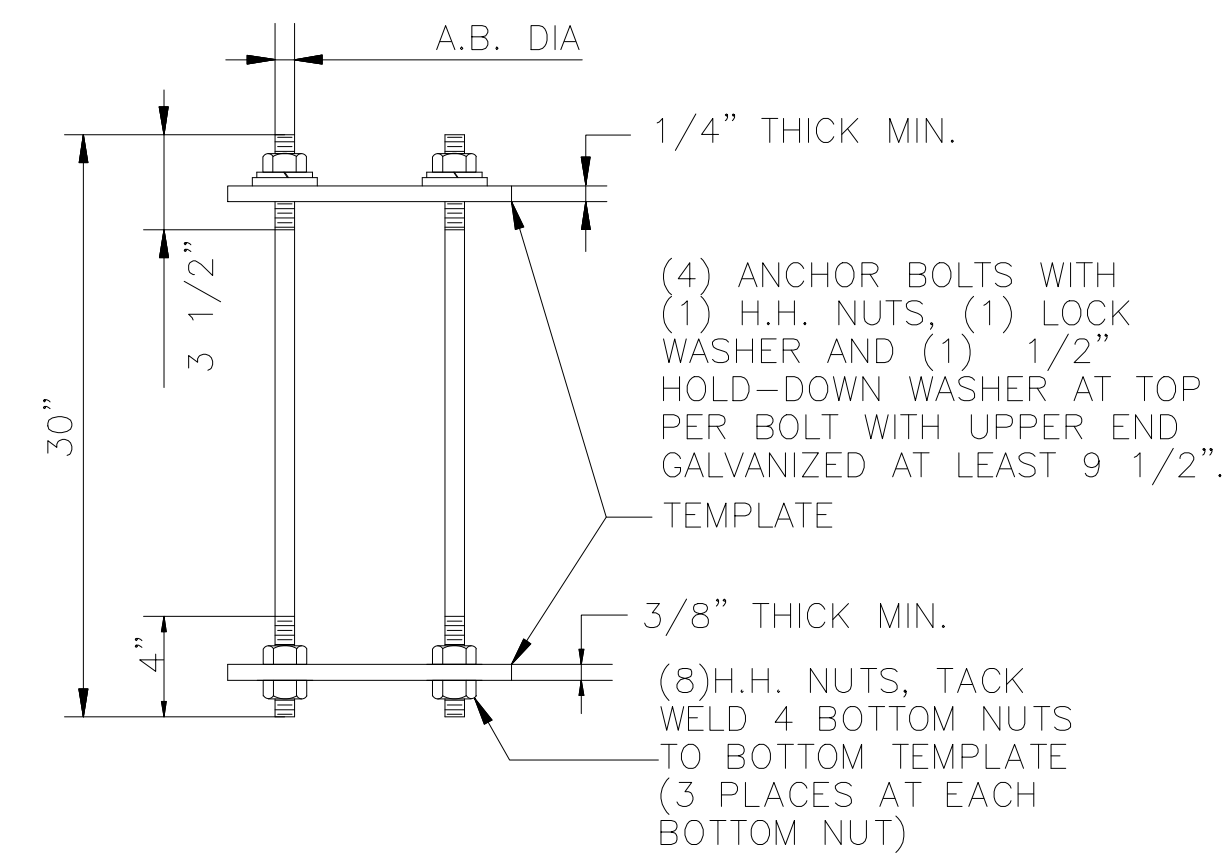


05 SECTION A-A'
NTS



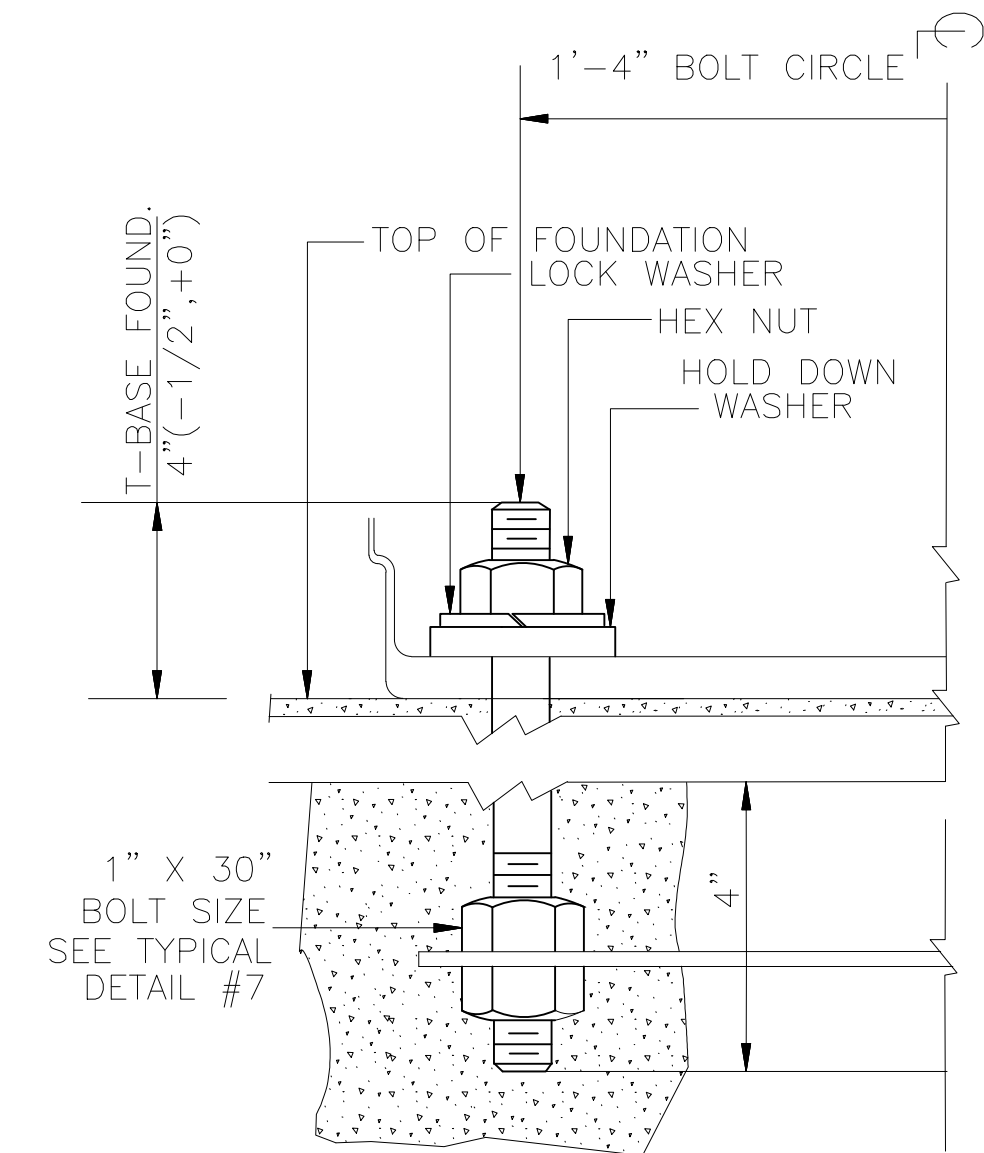
STREET LIGHT FOUNDATION - PLAN

04 TYPICAL DETAIL
NTS



BASE ANCHOR BOLT ASSEMBLY

06 TYPICAL DETAIL
NTS



ANCHOR BOLT DETAILS T-BASE

07 TYPICAL DETAIL
NTS

POLE'S DETAIL
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
17819 DAVENPORT ROAD, SUITE 219
DALLAS, TEXAS 75252
(972) 246-9651
TX T.E.P.E. REGISTRATION # F-006974
T.E.P.E.S. FIRM REGISTRATION # 100625

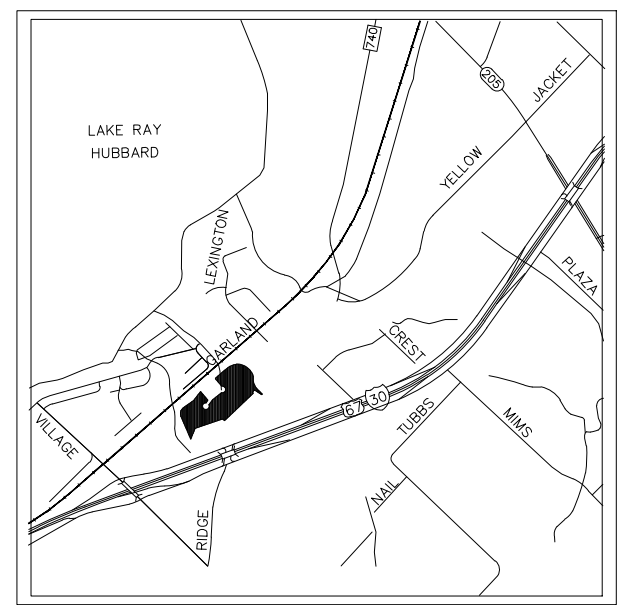
SCALE: AS SHOWN
DESIGNED: P55
DRAWN: PSA
CHECKED: P55

PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-06





Streetworks

DESCRIPTION
The Galaxy™ LED luminaires deliver exceptional performance in a highly visible, low-profile design. Patented, high-efficiency AnacoLED™ Optics™ provides uniform and energy-efficient beam distribution in wet areas, parking lots, walkways, building areas and security lighting applications. (P55 series and GAN, L-Series for wet locations).

SPECIFICATION FEATURES
Construction: Extruded aluminum die cast. AnacoLED™ Optics™ is a high-efficiency LED luminaire. Light Squares for optimal beam distribution. High-visibility, low-profile design. Patented, high-efficiency AnacoLED™ Optics™ provides uniform and energy-efficient beam distribution in wet areas, parking lots, walkways, building areas and security lighting applications. (P55 series and GAN, L-Series for wet locations).

Optics: High-efficiency AnacoLED™ Optics™ provides uniform and energy-efficient beam distribution in wet areas, parking lots, walkways, building areas and security lighting applications. (P55 series and GAN, L-Series for wet locations).

Electrical: LED drivers are mounted to the luminaire housing.

Dimensions: See drawing for dimensions.

Drilling Pattern: See drawing for drilling pattern.

ENERGY DATA
See drawing for energy data.

WARRANTY
See drawing for warranty information.

FINISHES
See drawing for finish options.

INSTALLATION
See drawing for installation instructions.

MAINTENANCE
See drawing for maintenance instructions.

REWORKING
See drawing for reworking instructions.

REVISIONS
See drawing for revision history.

DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

STANDARD WALL MOUNT
HAST ARM MOUNT
QUICK MOUNT ARM (INCLUDES FASTENER ADAPTER)

STANDARD WALL MOUNT
See drawing for standard wall mount details.

HAST ARM MOUNT
See drawing for hast arm mount details.

QUICK MOUNT ARM (INCLUDES FASTENER ADAPTER)
See drawing for quick mount arm details.

ENERGY DATA
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WARRANTY
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GAN GALLEON LED

OPTICAL DISTRIBUTION
LUMEN MAINTENANCE
LUMEN SPREADER

OPTICAL DISTRIBUTION
See drawing for optical distribution diagrams.

LUMEN MAINTENANCE
See drawing for lumen maintenance curves.

LUMEN SPREADER
See drawing for lumen spreader diagrams.

ENERGY DATA
See drawing for energy data.

WARRANTY
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FINISHES
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DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

NOMINAL POWER LUMENS (Lx-ft)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
Beam Power (lm)	1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	10.00
Beam Power @ 100' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 200' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 300' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 400' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 500' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 600' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 700' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 800' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 900' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 1000' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

FINISHES
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INSTALLATION
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MAINTENANCE
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REWORKING
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REVISIONS
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DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

NOMINAL POWER LUMENS (ft-cd)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
Beam Power (lm)	1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	10.00
Beam Power @ 100' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 200' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 300' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 400' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 500' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 600' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 700' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 800' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 900' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 1000' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

FINISHES
See drawing for finish options.

INSTALLATION
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MAINTENANCE
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REWORKING
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REVISIONS
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DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

NOMINAL POWER LUMENS (FOOT-CANDLES)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
Beam Power (lm)	1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	10.00
Beam Power @ 100' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 200' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 300' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 400' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 500' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 600' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 700' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 800' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 900' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 1000' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

FINISHES
See drawing for finish options.

INSTALLATION
See drawing for installation instructions.

MAINTENANCE
See drawing for maintenance instructions.

REWORKING
See drawing for reworking instructions.

REVISIONS
See drawing for revision history.

DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

NOMINAL POWER LUMENS (FOOT-CANDLES)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
Beam Power (lm)	1.00	2.00	3.00	4.00	5.00	6.00	7.00	8.00	9.00	10.00
Beam Power @ 100' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 200' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 300' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 400' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 500' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 600' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 700' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 800' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 900' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Beam Power @ 1000' (cd)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

FINISHES
See drawing for finish options.

INSTALLATION
See drawing for installation instructions.

MAINTENANCE
See drawing for maintenance instructions.

REWORKING
See drawing for reworking instructions.

REVISIONS
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DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

CONTROL OPTIONS
0-10V (DC)
0-10V (AC)
0-10V (DC) with 0-10V (AC) dimming

0-10V (DC)
See drawing for 0-10V (DC) control options.

0-10V (AC)
See drawing for 0-10V (AC) control options.

0-10V (DC) with 0-10V (AC) dimming
See drawing for 0-10V (DC) with 0-10V (AC) dimming control options.

ENERGY DATA
See drawing for energy data.

WARRANTY
See drawing for warranty information.

FINISHES
See drawing for finish options.

INSTALLATION
See drawing for installation instructions.

MAINTENANCE
See drawing for maintenance instructions.

REWORKING
See drawing for reworking instructions.

REVISIONS
See drawing for revision history.

DATE: February 16, 2018 10:58 AM

GAN GALLEON LED

ORDERING INFORMATION
ORDERING INFORMATION

ORDERING INFORMATION
See drawing for ordering information.

ORDERING INFORMATION
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DATE: February 16, 2018 10:58 AM

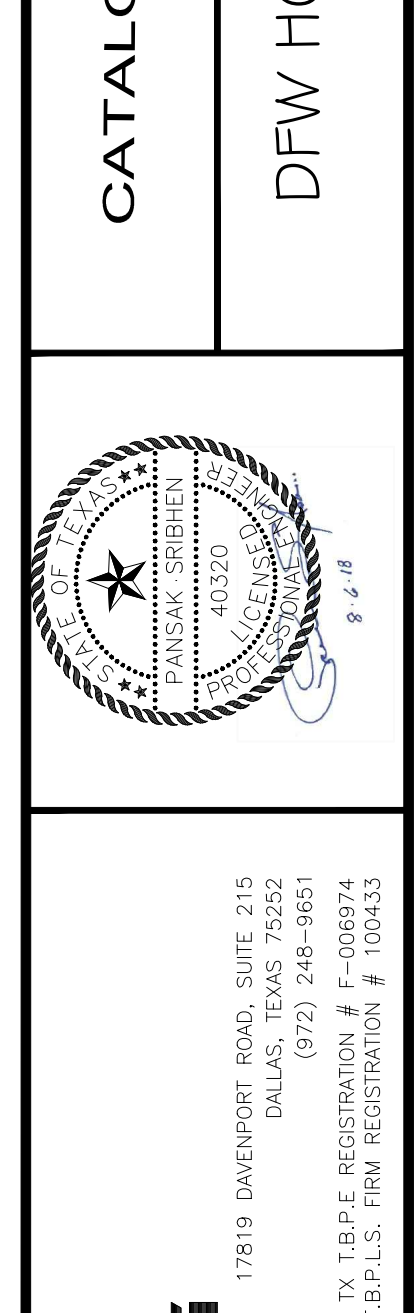
SITE PLANS SET

NO.	DATE	BY
1	18-08-07	P55

REMARK: CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

CATALOG CUT SHEET

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ENGINEERING

17819 DWENPORT ROAD, SUITE 215
DALLAS, TEXAS 75262
(972) 248-9651
P-00851
I.B.P.L.S. REGISTRATION # F-00851

SCALE: AS SHOWN

DESIGNED: P55

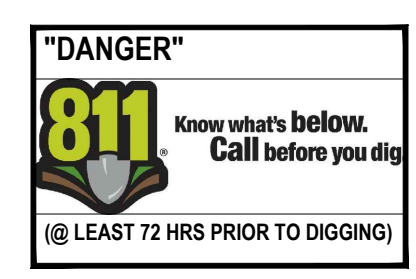
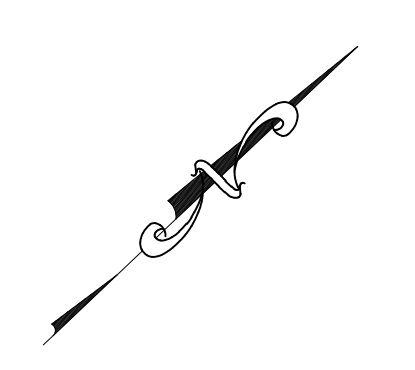
DRAWN: PSA

CHECKED: P55

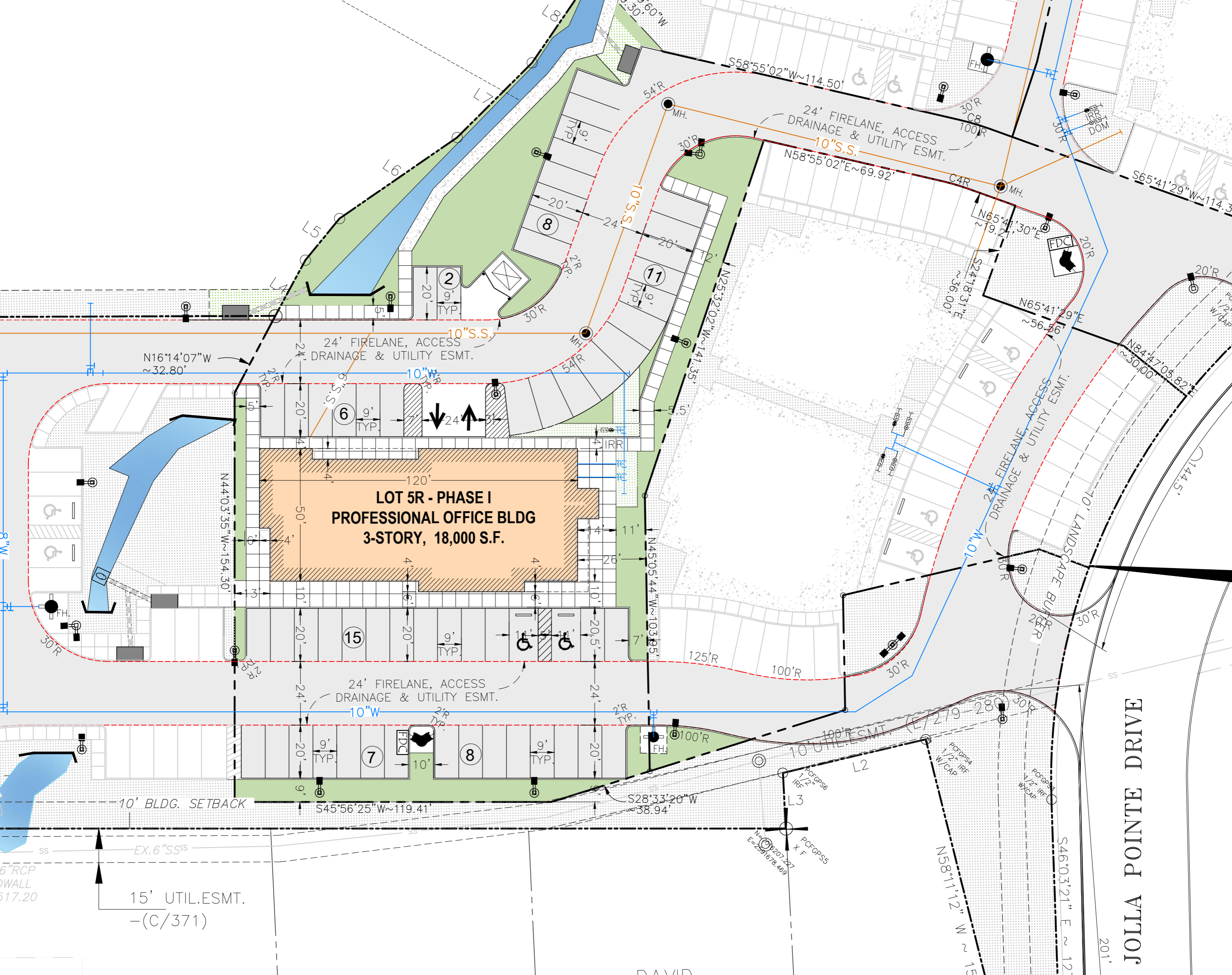
PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-07



**LOT 5R - PHASE I
PROFESSIONAL OFFICE BLDG
3-STORY, 18,000 S.F.**



JOLLA POINTE DRIVE

DAVID

- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90° angle.
- Must build complete water line loop now.
- must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area.
- Parking to be 20' by 9' standard.
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF.	IRON ROD FOUND
	EASEMENT LINE	IRS.	IRON ROD SET
	STORM SEWER LINE	UTIL.	UTILITY
	IRON ROD	EASEMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

CURVE TABLE

CURVE	DELTA	R	T	L	CH	CHD
C8	06°46'28"	100.00'	5.92'	11.82'	N62°18'16"E	11.82'
C4R	06°46'28"	76.00'	4.50'	9.00'	N62°18'16"E	9.00'

LOT 6 - PHASE I

AREA LOT	= 51,149 S.F. (1.174 AC.)
TOTAL BLDG. AREA	= 18,000 S.F.
PROPOSED	= PROFESSIONAL OFFICE BLDG. 3-STORY
PARKING RATIO	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 90 SP
TOTAL PARKING PROVIDED	= 84 SP
HANDICAP PARKING REQUIRED	= 4 SP
SURFACE PARKING PROVIDED	= 53 SP
GARAGE PARKING PROVIDED	= 27 SP

REVISION

NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

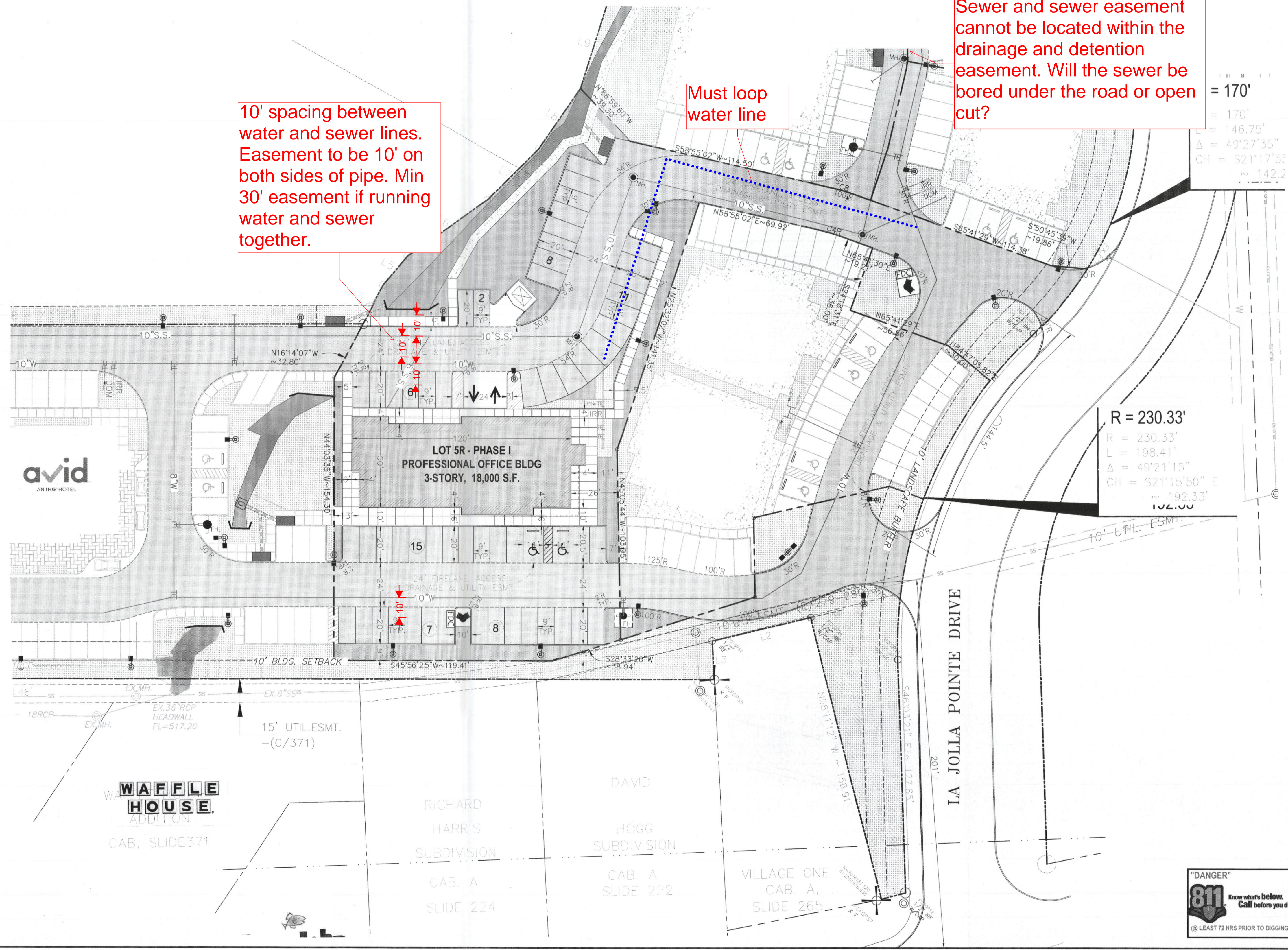
- FIRE LANES WIDTH SHALL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
- FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3-STORIES IN HEIGHT:
 - 20-feet (inside) for turns less than or equal to 90 degrees
 - 25-feet (inside) for turns greater than 90 degrees
- A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
- MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

NOTE:
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

FLOOD PLAIN NOTE:
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84597C004DL OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



ASDA ENGINEERING
17819 DANFORTH ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651
TX T.B.P.E. REGISTRATION # F-008974
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

PROJECT NO. 21737.VPR
DATE: AUGUST 07, 2018
SHEET: C-01



REVISION		
NO.	DATE	BY
1	18-08-07	PS5

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-8851
 TX T.B.P.E. REGISTRATION # F-008874
 T.B.P.L.S. FIRM REGISTRATION # 110453

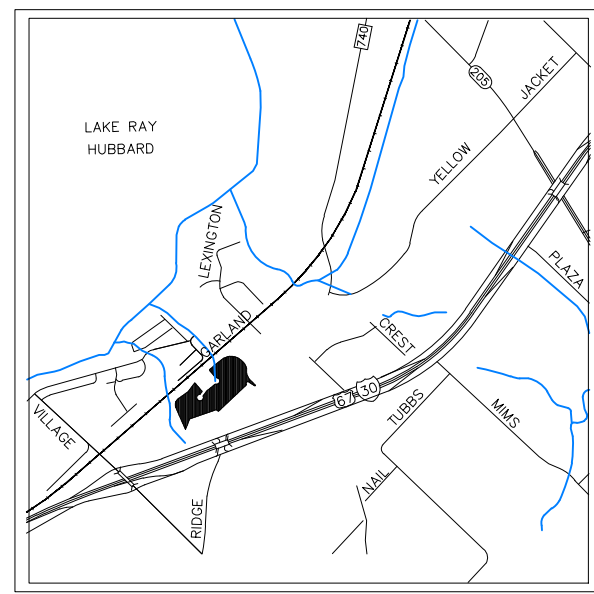
SCALE: AS SHOWN
DESIGNED: PS5
DRAWN: PSA
CHECKED: PS5
PROJECT NO. 21737.VPR
DATE: AUGUST 07, 2018
SHEET: L-01

SCALE: AS SHOWN
DESIGNED: PS5
DRAWN: PSA
CHECKED: PS5

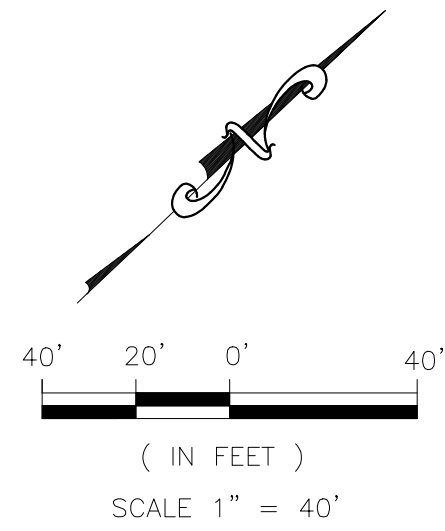
PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: L-01



VICINITY MAP
N.T.S.

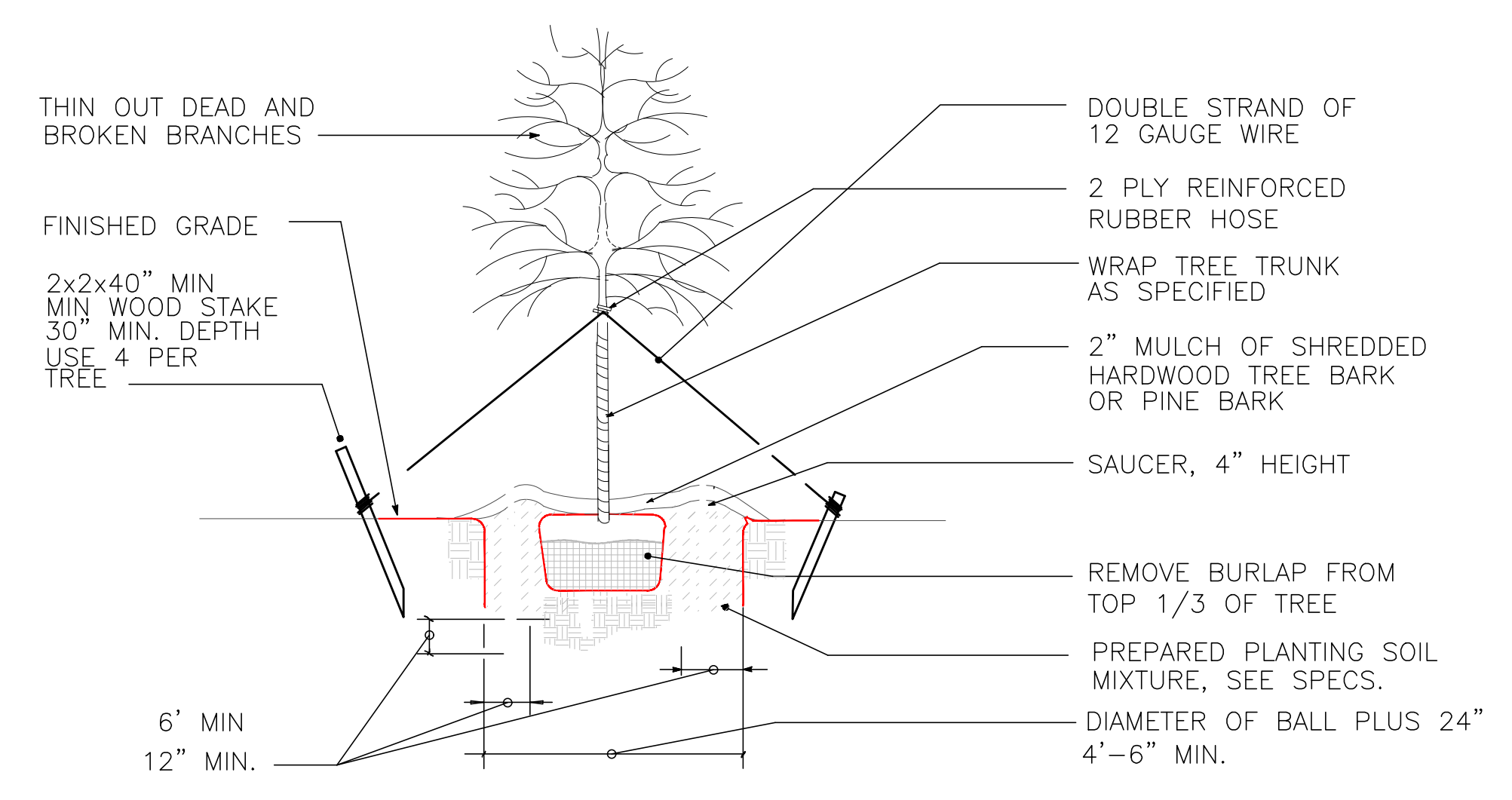
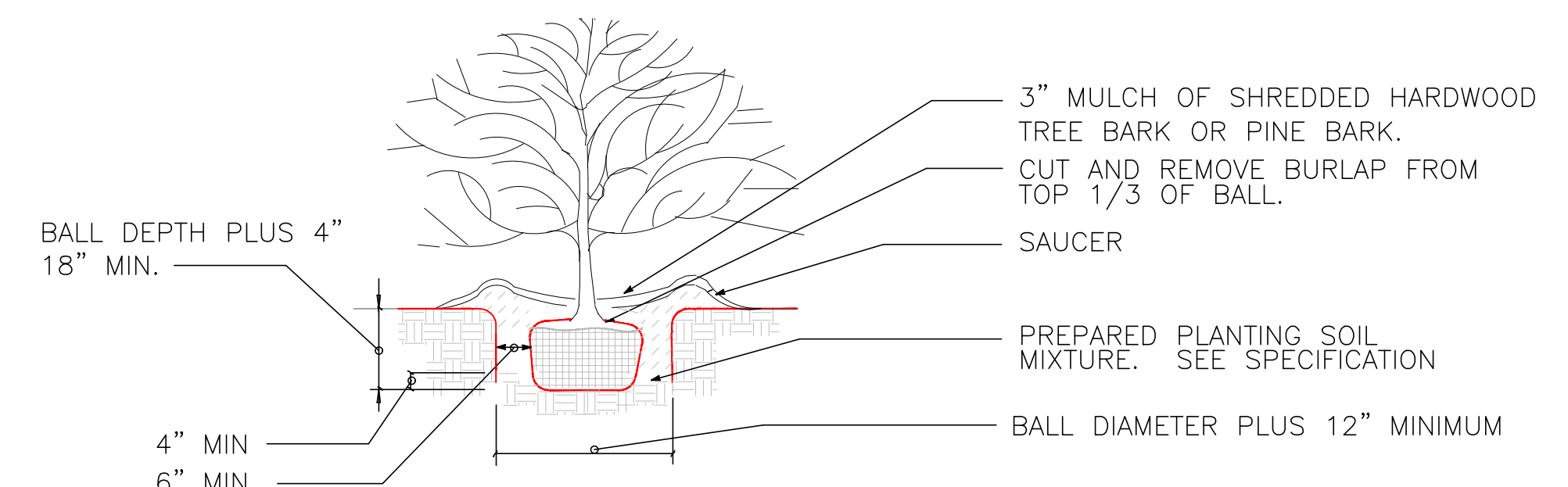


LEGENDS:

---	PROPERTY LINE		EXISTING TREE TO KEEP
- - - -	EASEMENT LINE		LITTLE GEM MAGNOLIA
○ 1/2"	IRON ROD		TEXAS RED OAK TREE (SHADE)
○ EX.MH.	EXISTING SANITARY MANHOLE		EASTERN RED BUD (ORNAMENTAL)
● MH.	PROPOSED SANITARY MANHOLE		DWARF INDIAN HAWTHORN
○ EX.FH.	EXISTING FIRE HYDRANT		PAMPAS GRASS
● FFH.	PROPOSED FIRE HYDRANT		ERAGROSTIS CURVULA HYDROSEED

PLANT MATERIAL SCHEDULE :

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
4	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
9	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
4	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.
110	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
22	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
7,644 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	



LANDSCAPE NOTE:

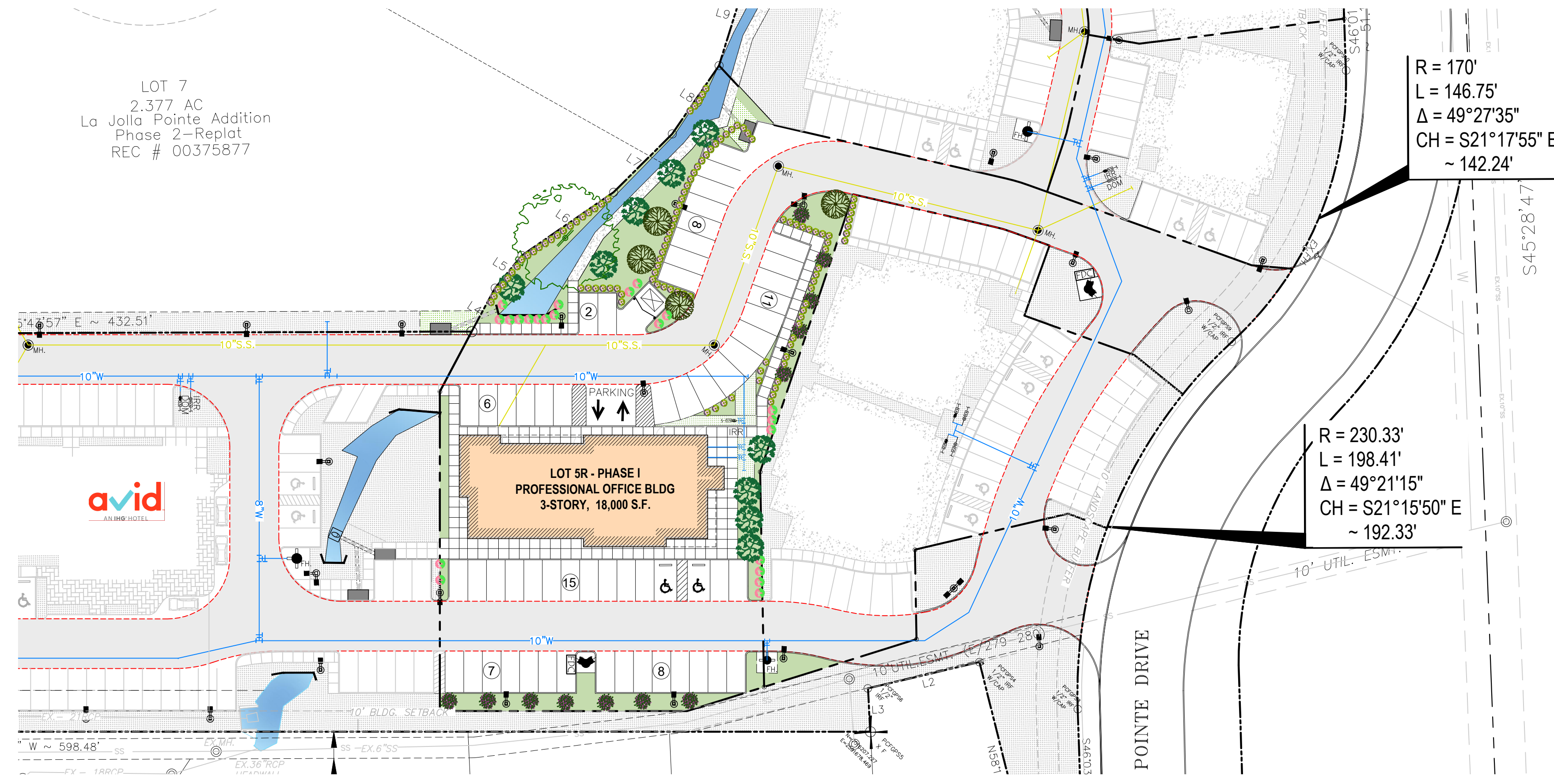
- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUIVALENT.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEM OR LOCAL (TEXAS ASSOCIATION OF NURSEYMEM STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMS AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTTILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6" ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

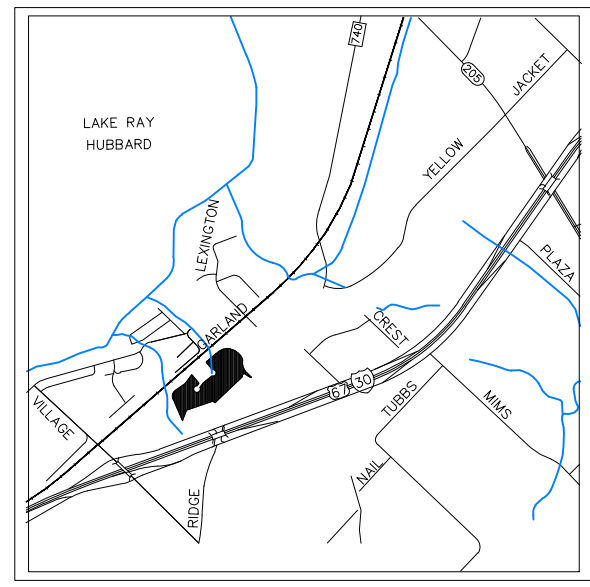
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.

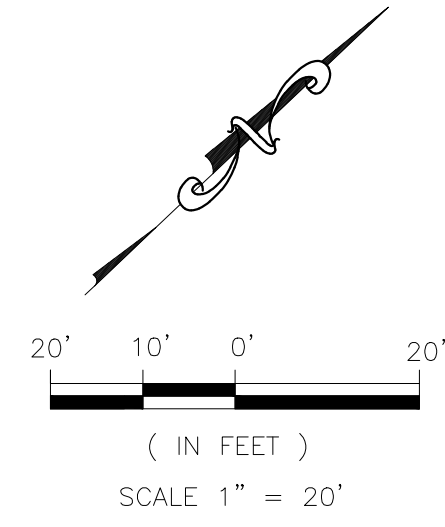


LANDSCAPE TABULATIONS:

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE (227 FT.)	N/A	N/A
PARKING SPACE (90 SP)		
1 TREE PER 10 REQ. PARKING SPACES (90 REQ. SPACES)	9 TREES	10 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 51,149 SF.)	7,673 SF.	7,873 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

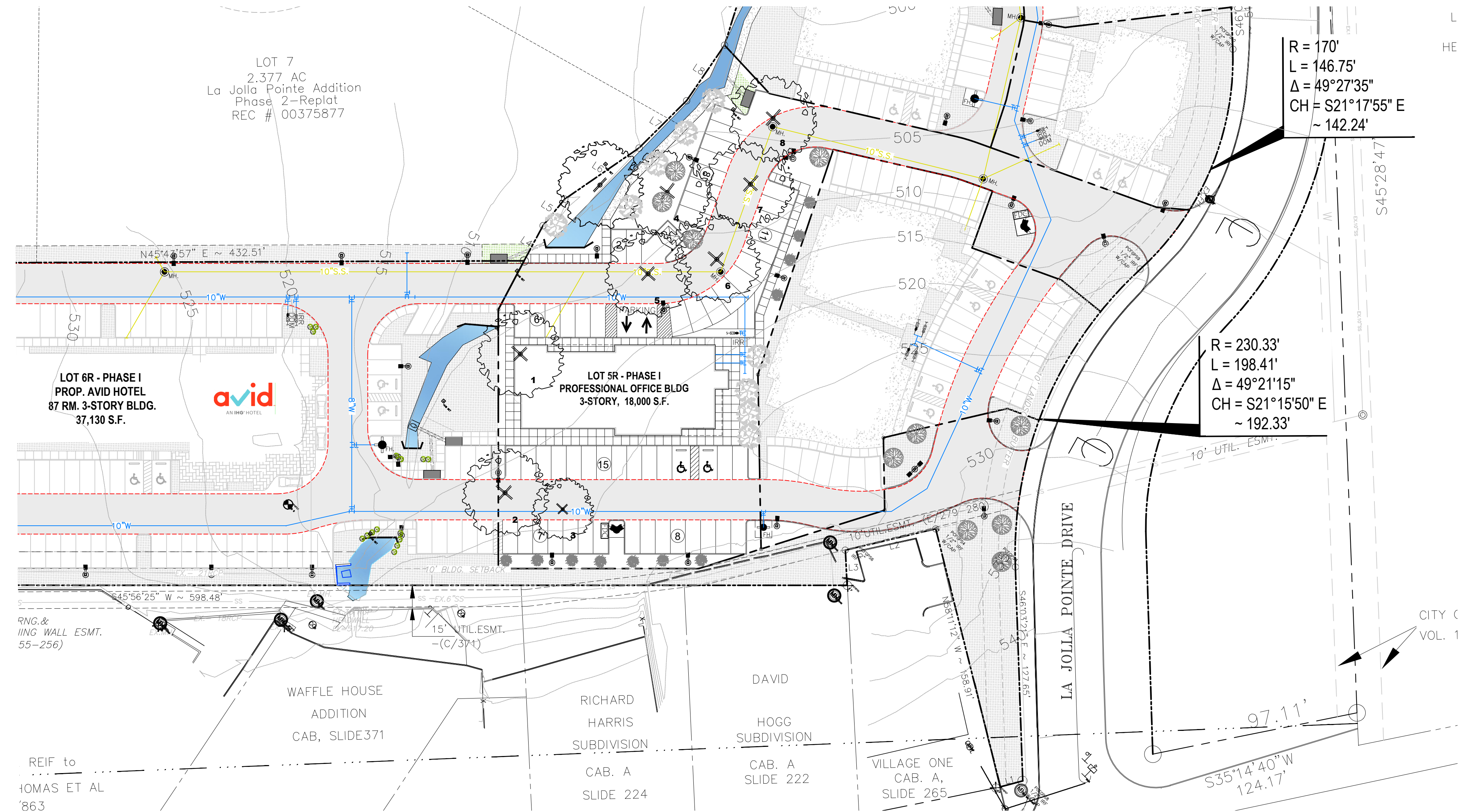


VICINITY MAP
N.T.S.



PROTECTED TREE SURVEY

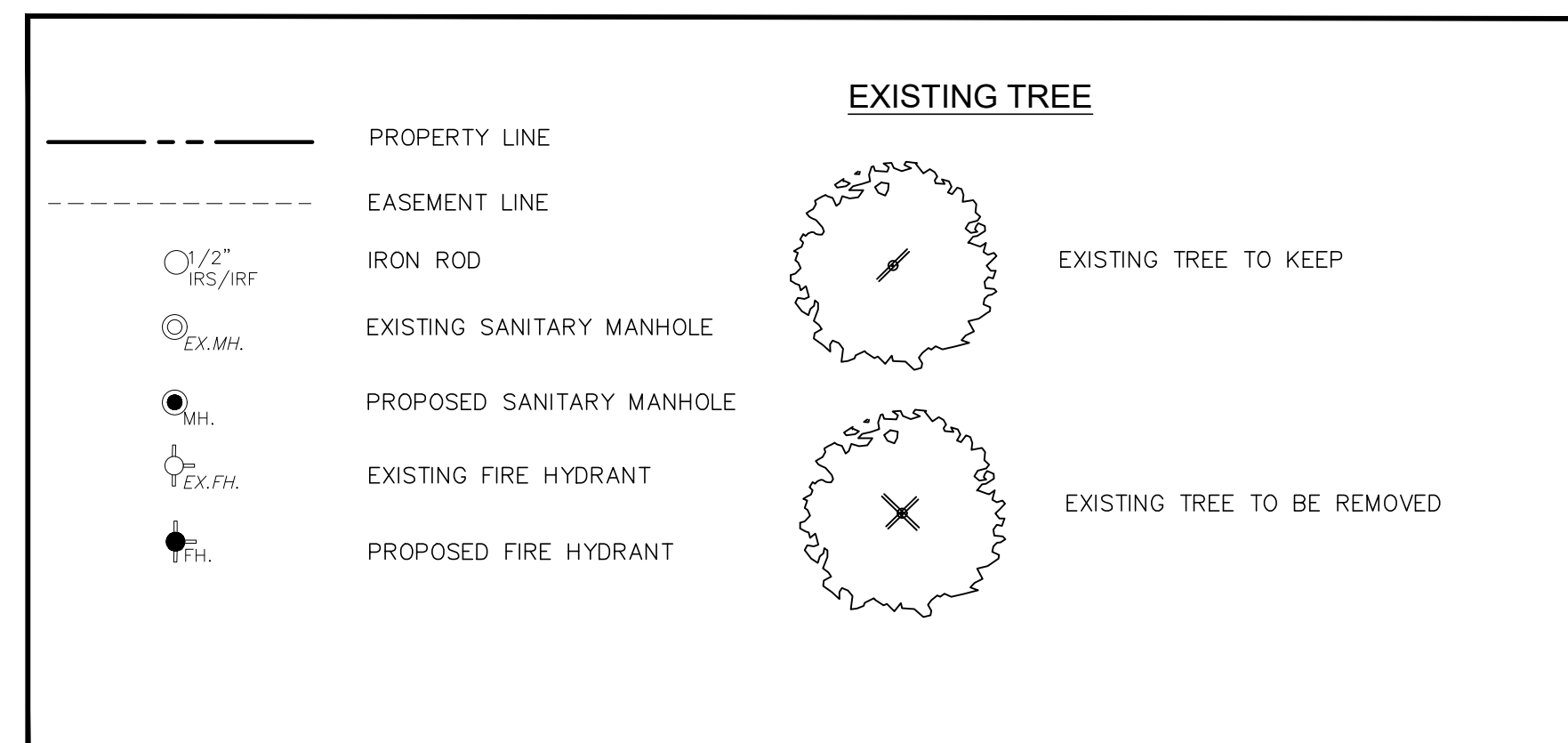
TAG	DBH	COMMON NAME	BOTANICAL NAME
1	8"	WHITE OAK	QUERCUS ALBA
2	11"	WHITE OAK	QUERCUS ALBA
3	9"	WHITE OAK	QUERCUS ALBA
4	6"	LIVE OAK	QUERCUS VIRGINIANA
5	14"	LIVE OAK	QUERCUS VIRGINIANA
6	11"	WHITE OAK	QUERCUS ALBA
7	14"	WHITE OAK	QUERCUS ALBA
8	12"	WHITE OAK	QUERCUS ALBA
85"		TOTAL INCHES OF TREE REMOVED—100% REPLACEMENT RATIO	
85"		TOTAL INCHES OF TREE REPLACEMENT REQUIRED	
90"		TOTAL INCHES OF TREE REPLACEMENT PROVIDED	



TREE REPLACEMENT

SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
4	1	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
9	1	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
4	1	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN

LEGENDS:



FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

SITE PLANS SET

NO.	DATE	BY
1	18-08-07	PSS

TREE PRESERVATION PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75248-9651
TX T.B.P.E. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

PROJECT NO. 21737-VPR

DATE: AUGUST 07, 2018

SHEET: L-02

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



8/9/2018

City of Rockwall Project Plan Review History



Revised Comments Highlighted

Project Number SP2018-025
Project Name Office Building
Type SITE PLAN
Subtype
Status P&Z HEARING

Owner ROCKWAY, PARTNERS LLP
Applicant PSA ENGINEERING, LLC

Applied 7/17/2018 LM
Approved
Closed
Expired
Status 7/24/2018 DG

Site Address 516 LA JOLLA POINTE DR
City, State Zip ROCKWALL, TX 75087

Zoning

Subdivision RICHARD HARRIS
Tract 6
Block A
Lot No 6
Parcel No 4119-000A-0006-00-OR
General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
(7/25/2018 4:19 PM SH) - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a90* angle. - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area - Parking to be 20' by 9' standard. - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced - Dumpster to drain to an oil/water separator. - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - No grate inlets allowed. - Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide. - Must loop water line now. - Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives. - Driveway spacing must be 100' minimum. - 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together. - Must add 5' sidewalks along La Jolla Dr. 2' off of property line. - Will the sewer lines under La Jolla be bored or Steet encased? - Please see attached mark up.							
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
(7/19/2018 10:03 AM LS) Address assignment will be: 516 LA JOLLA POINTE DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p>						
<p>* Planning Department General Comments to be addressed:</p>						
<ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits. 3. Label all revised site plan documents with "Case No. SP2018-025" at the lower right corner. 4. The development is to comply with the Scenic Overlay (SOV) District standards. 						
<p>VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:</p>						
<p>The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):</p>						
<ol style="list-style-type: none"> 1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation standards for the north and south elevations. 2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north & south facing elevations. 3. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building 4. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof. 						
<p>THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:</p>						
<ol style="list-style-type: none"> a. On & Off-Site Surface Drainage Area Map - submit with civil set. b. Proposed Utility Layout Plan - submit with civil set. c. Level 01 - Floor Plan - submit with building permit. d. Overall Location - informational only. 						
<p>** Please address the following Planning Comments for each plan submitted</p>						
<p>Site Plan:</p>						
<ol style="list-style-type: none"> 1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan. 2. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility). 						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
3. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with enclosure walls to a minimum of 8-ft in height and the exterior materials matching the primary structure.						
4. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such when lot is reconfigured						
5. Verify parking count; two (2) spaces short (i.e. 61 spaces) = east are marked 5, has 4 spaces & north area marked 10, has 9 parking spaces. Also provide a garage layout indicating the parking spaces to be used.						
6. Verify building length-- not equal to what is depicted on elevation drawings. Verify and correct.						
7. Verify scale of 1 inch = 40-ft.						

Landscape Plan:

1. Provide a row of trees behind the perimeter of the building per SOV standards
2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide trees in islands.
3. Correct legend to indicate 7,054 SF of landscaping required (47,027 SF x 15%).

Treescape Plan:

1. Mitigation credit of 8 inches to be used towards mitigation balance [see SP2018-024 & SP2018-025] of 37 inches, which leaves a mitigation balance due of 29 caliper inches. Mitigation balance may be satisfied by either a) replacing 10 - 3 caliper inch trees on site, b) donate the trees to the parks department, c) provide a payment of up to 20% of the mitigation balance (20% x 29 inches = 5.8 inches @ \$100 per inch = \$580 to the tree fund, with the balance of 23.2 inches being planted/donated (i.e. 8 - 3 inch trees). If none of the above are preferred, the applicant may request an Alternative Tree Mitigation Settlement Agreement which requires approval by the City Council in order for the applicant to pay 100% of the mitigation balance to the tree fund (i.e. \$2,900). Identify which method will be used to satisfy the mitigation balance.

Photometric Plan:

1. Provide a separate photometric plan for each lot/development.
2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan.
3. Exterior light pole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above.

Building Elevations:

1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration.
2. Length of building does not equal building footprint on site plan. Verify and correct.
3. Dash in RTU's. Must be visually screened from rights-of-way and adjacent properties.
4. See variance above for not meeting the vertical articulation standards.
5. See variance above for not meeting the minimum 20% stone requirement.
6. Provide a materials sample board for the ARB meeting on July 31, 2018.

*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com

**** Scheduled Meeting Dates to Attend

Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]
 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Architectural Review Board August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e.approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						
PLANNING	David Gonzales	8/9/2018	8/16/2018	8/9/2018	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						Should the Planning and Zoning Commission conditionally approve this site plan, the following staff comments are to be addressed and resubmitted no later than Tuesday, August 21, 2018. Please provide two large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff:
						* Planning Department General Comments to be addressed:
						1. Adherence to Engineering and Fire Department standards shall be required
						2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
						3. The development is to comply with the Scenic Overlay(SOV) District standards.
						VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:
						The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):
						1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation standards for the north and south elevations.
						THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:
						a. On & Off-Site Surface Drainage Area Map - submit with civil set.
						b. Proposed Utility Layout Plan- submit with civil set.
						c. Level 01 - Floor Plan - submit with building permit.
						d. Overall Location- informational only.
						** Please address the following Planning Comments for each plan submitted
						Site Plan:
						1. Relabel all firelane as '25-ft Firelane, PUBLIC ACCESS & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).
						2. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with enclosure walls to a minimum of 8-ft in height and the exterior materials matching the primary structure. Provide detail or note.
						3. Provide detail or layout of parking garage and number of spaces. Without parking garage, the site will be 3 spaces short for an office type use and will require approval of a variance to allow for not meeting this standard
						Landscape Plan:
						1. The plan as submitted meets or exceeds the intent of the UDC
						Treescape Plan:
						1. Mitigation credit of 106 inches to be used towards future phase of the development. Mitigation balance satisfied
						Photometric Plan:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>1. Adjustment Required. High readings indicated at the property line. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan</p> <p>Building Elevations:</p> <ol style="list-style-type: none"> Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration See variance above for not meeting the vertical articulation standards Provide a materials sample board for the ARB meeting on August 14, 2018. <p>*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com</p> <p>**** Scheduled Meeting Dates to Attend</p> <p>Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]</p> <p>Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]</p>						

City of Rockwall Project Plan Review History



Project Number SP2018-025	Owner ROCKWAY, PARTNERS LLP	Applied 7/17/2018 LM
Project Name Office Building	Applicant PSA ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 7/24/2018 DG

Site Address 516 LA JOLLA POINTE DR	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision RICHARD HARRIS	Tract 6	Block A	Lot No 6	Parcel No 4119-000A-0006-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/25/2018 4:19 PM SH) - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a 90* angle. - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area - Parking to be 20' by 9' standard. - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced - Dumpster to drain to an oil/water separator. - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - No grate inlets allowed - Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide. - Must loop water line now. - Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives. - Driveway spacing must be 100' minimum. - 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together. - Must add 5' sidewalks along La Jolla Dr. 2' off of property line. - Will the sewer lines under La Jolla be bored or Steet encased? - Please see attached mark up.							
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
(7/19/2018 10:03 AM LS) Address assignment will be: 516 LA JOLLA POINTE DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>* Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits. 3. Label all revised site plan documents with "Case No. SP2018-025" at the lower right corner. 4. The development is to comply with the Scenic Overlay (SOV) District standards. <p>VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:</p> <p>The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):</p> <ol style="list-style-type: none"> 1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation standards for the north and south elevations. 2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north & south facing elevations. 3. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building 4. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof. <p>THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:</p> <ol style="list-style-type: none"> a. On & Off-Site Surface Drainage Area Map - submit with civil set. b. Proposed Utility Layout Plan - submit with civil set. c. Level 01 - Floor Plan - submit with building permit. d. Overall Location - informational only. <p>** Please address the following Planning Comments for each plan submitted</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan. 2. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility). 						

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Sec. 6.8. - Scenic Overlay (SOV) District.

A. *Purpose.*

1. The Scenic Overlay District is a specialized zoning district overlay along FM-740 which has been identified in the comprehensive land use plan as a scenic thoroughfare. The identified scenic aspects of FM-740 include views of the lake, existing natural topography, and existing natural landscaping. The district has been established to protect scenic or historic qualities through the use of additional development criteria and by requiring uses compatible with both existing uses and with the visual environment. The development requirements for nonresidential uses are more restrictive than in other commercial classifications in order to encourage development that will protect and enhance the existing views, topography, landscape and quality of development.
2. This district is designed to be primarily an office and retail/commercial shopping district with an intensity of uses normally found along a major thoroughfare. These uses may, however, be located close to residential areas. The type of allowed uses and the more restrictive development requirements provide protection for residential areas.
3. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through an architectural review committee.

- B. *Application and boundaries.* This Overlay District shall apply to all property located within the established boundary along FM-740 as set forth on Exhibit A of Ord. No. 87-64. Property that has been zoned, platted and site planned at the time of adoption of the ordinance from which this section is derived shall be exempted from the provisions of this section unless and until an application for zoning, platting, or site planning is re-submitted on the property.

All property developed within the Overlay District must meet both the terms and requirements of the underlying zoning classification applicable to the property and the provisions set forth in the Overlay District. The most restrictive requirement applicable to the property shall apply.

- C. *Special use standards.* All development within the Scenic Overlay District shall comply with the land use tables in article IV, Permissible Uses, as amended; however, the following uses may be considered on a case-by-case basis only and shall require a specific use permit.

1. Gasoline service stations, and retail outlets where gasoline products are sold as an accessory to a retail use, subject to the conditions established in article IV, Permissible Uses.

2. Car wash (all types), subject to the conditions of article IV, Permissible Uses.
3. Any structure over 36 feet in height.

D. *Architectural standards.*

1. Masonry requirements. Each exterior wall shall consist of 90 percent masonry materials, excluding doors and windows, as defined in article XII, Definitions, excluding cast stone and cultured stone, on walls which are visible from a public street or open space, including a minimum of 20 percent natural or quarried stone.
 - a. Primary exterior materials shall include natural or quarried stone, brick, glass block or glass, tile, cast metal and custom concrete masonry units. The use of other cementaceous products (e.g. stucco, Hardy Plank, or other similar materials approved by the building official) shall be limited to 50 percent of the building's exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first four feet above grade on a facade visible from a street or public area. Each elevation's masonry requirement shall incorporate accent bricks or stones. As the term is used, an "accent brick or stone" is one that provides a contrast by color, shape, size, and/or texture to the field of primary bricks or stones in an elevation. Additionally, the Planning and Zoning Commission may consider the use of high quality manufactured or cultured stone if the following standards of manufacturing and warranty apply to the product;
 - ☑ That the manufacturing molds should be made from actual stones and each piece should complement each other having the right shape, texture, size and detail of natural stone;
 - ☑ That the overtones of color should be integrated into the stone during the molding process, while the base color of the stone is blended entirely throughout;
 - ☑ That highly skilled artisans should be utilized to hand paint each piece in order to give each stone depth and variation of color;
 - ☑ That the use of the highest quality synthetic mineral oxides should be used to infuse the surface with rich, authentic tones; and
 - ☑ That the manufactured stone product shall have a minimum warranty of 75 years.
 - b.

Secondary materials used on the facade of a building are those that comprise less than ten percent of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, EIFS, cast stone, cultured stone or other materials as approved by the director of planning or his designee.

2. Roof design standards. Rooftop mechanical equipment and other appurtenances must be properly screened. All structures having a footprint of 6,000 square feet or less shall be constructed with a pitched roof system. Those structures having a footprint greater than 6,000 square feet shall be constructed with either a pitched, parapet, or mansard roof system (enclosed on all sides). Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish. Metal roofs with lapped seam construction, bituminous built-up roofs, and flat, membrane-type roofs which are visible from adjacent public right-of-way shall be prohibited.
3. Mechanical equipment screening. All buildings must be designed such that no mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site.

Screening of rooftop mechanical equipment and/or other rooftop appurtenances screening shall be accomplished by either:

- a) The construction of the roof systems described in subsection D.2 above; or
- b) An architectural feature which is integral to the building's design and ensures that such equipment is not visible from adjacent public right-of-way.

The fencing or enclosing of individual mechanical units shall not be permitted except as described above.

All rooftop mechanical equipment or architectural features described herein shall be shown on the required building elevations and submitted along with the site plan for approval.

4. All buildings shall be designed to incorporate no less than four of the architectural elements listed below. Buildings over 50,000 square feet must include a minimum of six of the referenced architectural elements. Buildings over 100,000 square feet must include a minimum of seven of the referenced architectural elements:
 - Canopies, awnings, or porticos;
 - Recesses/projections;

- Arcades;
 - Peaked roof forms;
 - Arches;
 - Outdoor patios;
 - Display windows;
 - Architectural details (such as tile work and moldings) integrated into the building facade;
 - Articulated ground floor levels or base;
 - Articulated cornice line;
 - Integrated planters or wing walls that incorporate landscape and sitting areas;
 - Offsets, reveals or projecting rib used to express architectural or structural bays;
 - Varied roof heights; or
 - Other architectural features approved by the director of planning or his designee.
5. All retail/commercial buildings shall be architecturally finished on all four sides with the same materials, detailing, and features with one row of trees planted on the perimeter behind the building.
 6. Windows shall have a maximum exterior visible reflectivity of 20 percent. Color of glass shall be reviewed and approved by the director of planning or his designee.
 7. All buildings within a common retail/commercial development, as shown on a concept plan or site plan, shall have similar architectural styles, materials, and colors.
 - a. Conceptual facade plans and sample boards shall be submitted with the site plan application for all nonresidential uses. The purpose of the conceptual facade plan is to ensure consistency and compatibility for all buildings within a single development. Facade plans will be used only to ensure minimum standards are met.
 8. Corporate identities that conflict with the building design criteria shall be reviewed as a variance as defined in this section and reviewed on a case-by-case basis by the planning and zoning commission and approved by the city council.

E. *Site design standards.*

1. *Building setback.* All lots within the Scenic Overlay District shall maintain a minimum building setback of 15 feet from the front property line adjacent to FM 740. All other building setback regulations shall be the same as set forth in the underlying zoning district except as otherwise noted herein.
2. *Parking area restrictions.* No more than two rows of parking shall be allowed between

the primary building and the FM 740 right-of-way.

3. *Access/ingress/egress.* To minimize potential vehicular and pedestrian conflicts particular attention must be given to the location of median breaks along major thoroughfares, number and location of entry/exit drives, design of entry/exit drives in relationship to the parking areas, and sight distances.

Further guidelines:

- a. Driveways should typically be spaced a minimum of 100 feet from the intersection of a major thoroughfare or as per the Texas Department of Transportation on state maintained roads;
 - b. The ingress and egress drives shall have a minimum radius of 30 feet;
 - c. Driveways should maintain an appropriate sight distance triangle at all perimeter entrances and exits;
 - d. Main entrance drives should generally be located at median breaks providing left turn access to and from the site;
 - e. Main entrance drives should connect to a "straightaway" aisle that does not dead end or require an immediate turn to approach the main building;
 - f. Aisles intersecting with entrance drives should be spaced at a minimum of 20 feet from the property line to provide for smooth turning movements.
4. *Cross access.* Cross access easements may be required by the city council at the time of the site plan approval to ensure access to future median breaks and to reduce the number of needed curb cuts.
 5. *Shared parking.* In master planned retail centers, cross access and shared parking agreements are required for final platting.
 6. *Loading and service areas.* Loading and service areas shall be located on the rear and side of buildings whenever possible. In the event that a loading or service area faces FM 740, additional screening of the area may be required. A minimum ten-foot solid screening wall shall be required to screen views of loading docks and loading spaces intended for tractor/semitrailer delivery from any public right-of-way. This ten-foot wall must screen the entire loading dock or space. Screening materials shall utilize similar masonry materials to the front facade. The accommodation of adequate access for service delivery trucks may be evaluated to determine the extent of screening required.

7.

Trash receptacles and recycling receptacles. Trash and recycling receptacles shall be four-sided with a gate and located outside buffer-strips, and to the side or rear of the primary building. The receptacles shall be screened by a minimum eight-foot solid masonry screen and shall utilize similar masonry materials to the principal structure. Every effort shall be made in order to screen trash/recycling receptacles from FM 740.

8. *Play structures.* Play structures shall not be placed between the primary building and any adjacent public right-of-way.
9. *Plan review.* In addition to other factors set out in this Unified Development Code, concept plans, development plans, and site plans shall be reviewed for:
 - a. Meeting the intent of article VIII, Landscape Standards, and the screening provisions below.
 - b. Achieving the intent of the Architectural and Site Design Standards.
 - c. Proper site entry identification and cross access circulation to avoid congestion at ingress and egress points.
- F. *Landscape standards.* All sites shall, as a minimum, meet the following standards and the requirements of article VIII, Landscape Standards. Where the following standards conflict with the article VIII, these requirements shall prevail:
 1. *[Required width and height.]* The buffer-strip shall be a minimum of 20 feet wide and include a "built-up" berm and/or shrubbery or a combination of both along the entire length of the subject property's frontage along the FM 740 right-of-way. The minimum required height of the aforementioned berm and/or shrubbery or a combination thereof is 30 inches and shall not exceed a maximum height of 48 inches.
 2. *Buffer-strip plantings.* Two canopy trees, along with four accent trees shall be required per 100 feet of the FM 740 right-of-way. Canopy trees, accent trees, and shrubs as defined, along with sizes and types are included in subsections F.3 and F.4.
 3. *Plant material sizes.* The following size requirements shall be required:
 - Canopy trees: four-inch caliper.
 - Accent trees: four-foot height.
 - Shrubs:
 - Deciduous: 15 inches; two-gallon minimum.
 - Evergreen: 12 inches; two-gallon minimum.

4. *Plant material selections.* The following materials are recommended for planting in the buffer-strip; however, other materials may be acceptable:

Canopy trees: Afghan Pine, Bur Oak, Caddo Maple, Cedar Elm, Lacebark Elm, Leyland Cypress, Little Gem Magnolia, Live Oak, October Glory Maple.

Accent trees: Desert Willow, Eastern Redbud, Eves Necklace, Mexican Buckeye, Possumhaw Holly, Shangtung Maple, Yaupon Holly.

5. *Erosion control/retaining walls.* Any slope embankments or retaining walls within the public right-of-way or within the required buffer-strip must be terraced every four feet in height (maximum) with a minimum of a two foot planting area provided between each vertical plane. Materials used for the vertical elements shall be natural stone or any masonry material which matches the masonry material used on the front facade of the primary building. The planting area must contain plant materials other than grass.
- G. *Signs.* All permanent freestanding signs located in the Scenic Overlay District shall be monument signs (except at the intersection with Interstate 30) adhering to the City of Rockwall sign ordinance (chapter 32 of the Code of Ordinances) as heretofore amended and as may be amended in future. Building materials and colors utilized for construction of the monument base shall be the same as the primary building materials and colors found on the main building, unless otherwise approved by the city council. Approval of any variance to the sign ordinance for property included in the Scenic Overlay District shall require city council approval by a three-quarter majority vote.
 - H. *Lighting standards.* In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the Scenic Overlay District. All lighting fixtures shall focus light downward and be contained on the site.
 - I. *Utility placement.* All overhead utilities within the Scenic Overlay District shall be placed underground.
 - J. *Variance.* The city council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require city council approval by a three-quarter majority vote of those city council members present with a minimum of four affirmative votes.

(Ord. No. 05-49, 9-19-2005; Ord. No. 06-14, 4-17-2006; Ord. No. 15-23, § 2, 8-3-2015; Ord. No. 15-32, § 1, 12-7-2015)