



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2018-024 P&Z DATE 8/14/2018 CC DATE 8/20/2018 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECEIPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2018-024

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address La Jolla Point Drive

Subdivision LA JOLLA POINT ADDITION Lot 5 Block B

General Location Southwest Corner of Ridge Road and La Jolla Point Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District with SUP Permit Current Use Undevelop Tract of Land

Proposed Zoning n/a Proposed Use Medical Clinic

Acreage 1.002 Lots [Current] 1 Lots [Proposed] 1

**Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>DFW Hospitality of Rockwall, LLC</u>	<input checked="" type="checkbox"/> Applicant	<u>PSA Engineering, LLC</u>
Contact Person	<u>Shailesh Vora, M.D.</u>	Contact Person	<u>Pann S. Sribhen, P.E.</u>
Address	<u>2402 Pathway</u>	Address	<u>17819 Davenport Road, Ste 215</u>
City, State & Zip	<u>El Dorado, AR 71730</u>	City, State & Zip	<u>Dallas, TX 75252</u>
Phone	<u>+1 (870) 918-7339</u>	Phone	<u>+1 (972) 567-8239</u>
E-Mail	<u>scvora@sbcglobal.net</u>	E-Mail	<u>Panns@psaenr.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Pann S. Sribhen [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

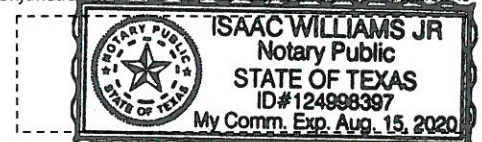
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 270.-, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of July, 20 18. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of July, 20 18.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]  
Isaac Williams Jr



My Commission Expires 8-15-2020





# RECEIPT

Project Number: SP2018-024  
Job Address: LA JOLLA POINTE DR  
ROCKWALL, TX 75087

Receipt Number: B81044

Printed: 7/17/2018 3:48 pm

Fee Description	Account Number	Fee Amount
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SITE PLANNING		
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	01-4280	
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		\$ 270.00
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**Total Fees Paid:**

**\$ 270.00**

Date Paid: 7/17/2018 12:00:00AM  
Paid By: PSA ENGINEERING, LLC  
Pay Method: CHECK 11640  
Received By: LM



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 7/17/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 07/27/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 7/31/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 7/31/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2018-024  
**Project Name:** MEDICAL OFFICE BUILDING  
**Project Type:** SITE PLAN  
**Applicant Name:** PSA ENGINEERING, LLC  
**Owner Name:** ROCKWAY, PARTNERS LLP  
**Project Description:**





August 31, 2018

**ATTN:** PANN SRIBHEN  
PSA ENGINEERING, LLC  
17819 DAVENPORT ROAD, SUITE 215  
Dallas, TX 75252

**RE: SITE PLAN (SP2018-024), MEDICAL OFFICE BUILDING**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council on 08/21/2018. The following is a record of all recommendations, voting records and conditions of approval:

*ARCHITECTURAL REVIEW BOARD RECOMMENDATION:*

*On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board reviewed the Coronado stone with the wood appearance and the additional elements associated with this buildings' design. The board made a motion to approve the elevations as presented, which included the request for variance to the articulation and roof design. The motion passed unanimously 7 to 0.*

*RECOMMENDATIONS:*

*If the City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:*

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;*
- 2) Any construction or building necessary to complete the Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

*PLANNING AND ZONING COMMISSION RECOMMENDATION:*

*On August 14, 2018, the Planning and Zoning Commission's motion to approve the site plan with staff conditions passed by a vote of 5 to 1 with Commissioner Welch dissenting and Commissioner Fishman absent. Additionally, the motion included a recommendation of approval to the variances being requested, with the exception of the request for a variance to the required trees to be placed at the perimeter behind the building.*

*CITY COUNCIL:*

*On August 20, 2018 the City Council's motion to approve the variances requested to the articulation and overlay district requirements of the UDC with staff conditions passed by a vote of 4 to 1 with Councilmember Daniels dissenting, and Councilmembers Macalik & Fowler absent.*

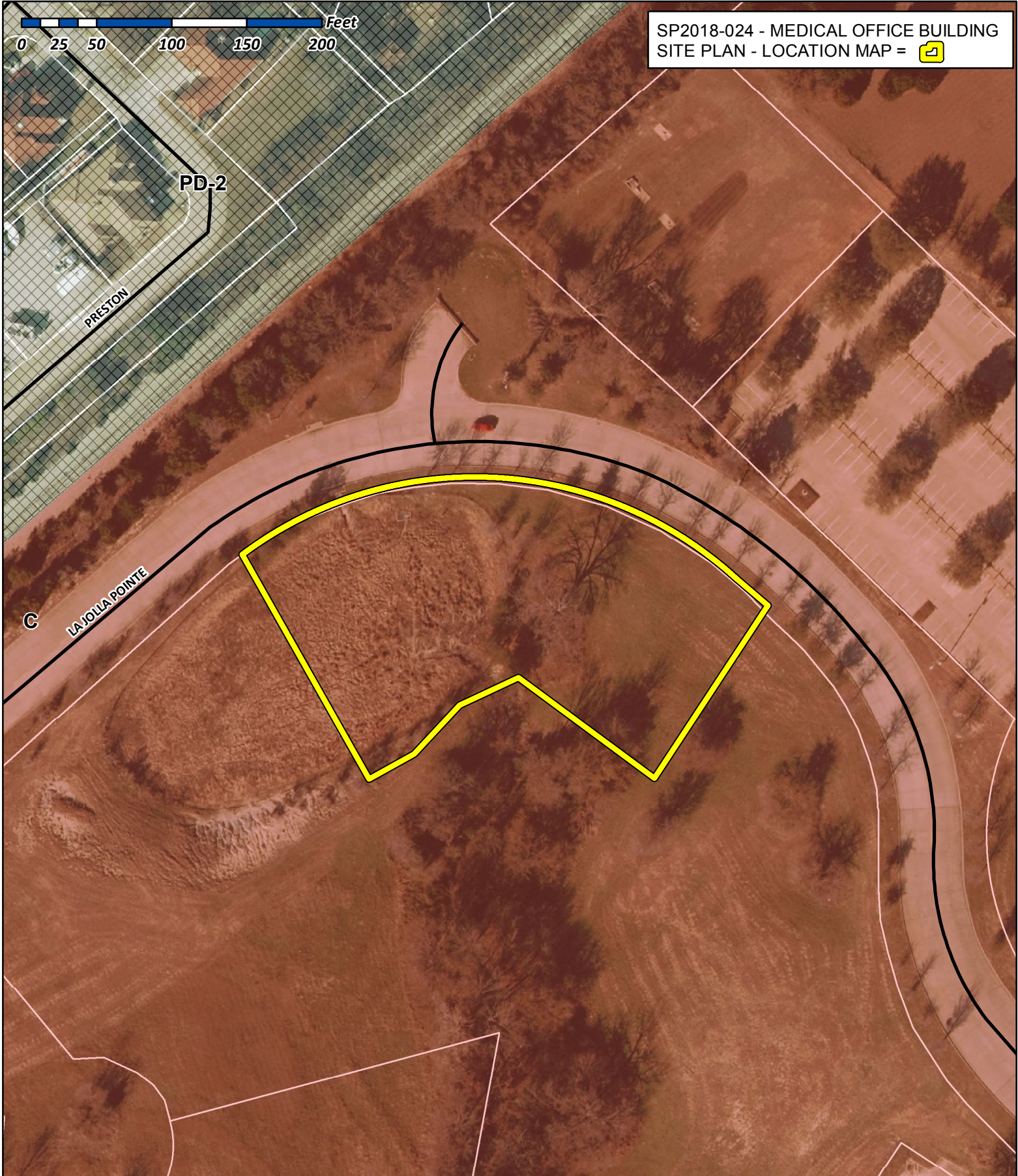


For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

**David Gonzales, AICP**  
Planner  
Planning & Zoning Department  
City of Rockwall, TX





SP2018-024 - MEDICAL OFFICE BUILDING  
 SITE PLAN - LOCATION MAP = [icon]

0 25 50 100 150 200 Feet

PD-2

PRESTON

LA JOLLA POINTE

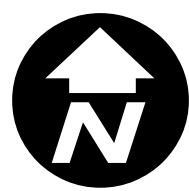
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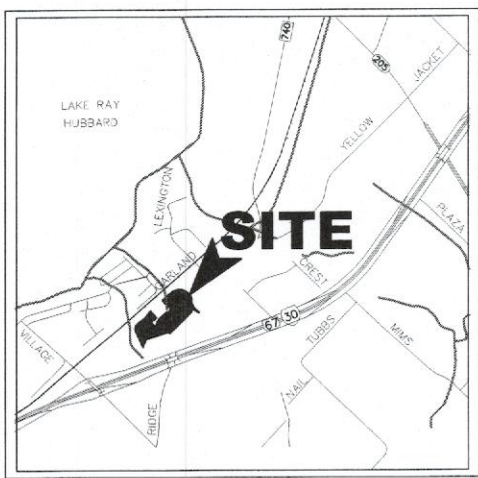
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







VICINITY MAP  
N.T.S.

- LEGEND**
- PROPOSED WTR. LINE
  - PROPOSED S.S. LINE
  - PROPERTY LINE
  - - - EASEMENT LINE
  - STROM SEWER LINE
  - 1/2" IRS/IRF IRON ROD
  - MH. PROPOSED SANITARY MANHOLE
  - EX.MH. EXISTING SANITARY MANHOLE
  - EX.FH. EXISTING FIRE HYDRANT
  - FH. PROPOSED FIRE HYDRANT
  - ⊙ PROPOSED SITE LIGHTING 20' HT. MAX.
  - ① INDICATE PARKING NO.
  - ▭ INDICATE GRATE INLET
  - ▭ INDICATE CURB INLET
  - RF REBAR FOUND
  - CRS CAPPED REBAR SET
  - IRF. IRON ROD FOUND
  - IRS. IRON ROD SET
  - UTIL. UTILITY
  - ESMT. EASEMENT
  - EX. EXISTING
  - WTR. WATER LINE
  - EX.MH. EXISTING SANITARY SEWER MANHOLE
  - B.L. BUILDING SETBACK LINE
  - R.O.B. RIGHT OF WAY

**LOT INFORMATION**

**LOT 1 - PHASE I**

AREA LOT	= 43,570 S.F. (1.002 AC.)
TOTAL BLDG. AREA	= 3,920 S.F.
PROPOSED	= MEDICAL OFFICE BLDG.
<b>PARKING REQUIREMENTS</b>	
PARKING RATIO	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 20 SP
TOTAL PARKING PROVIDED	= 20 SP
HANDICAP PARKING REQUIRED	= 2 SP
SURFACE PARKING PROVIDED	= 18 SP

**SITE PLAN NOTE:**

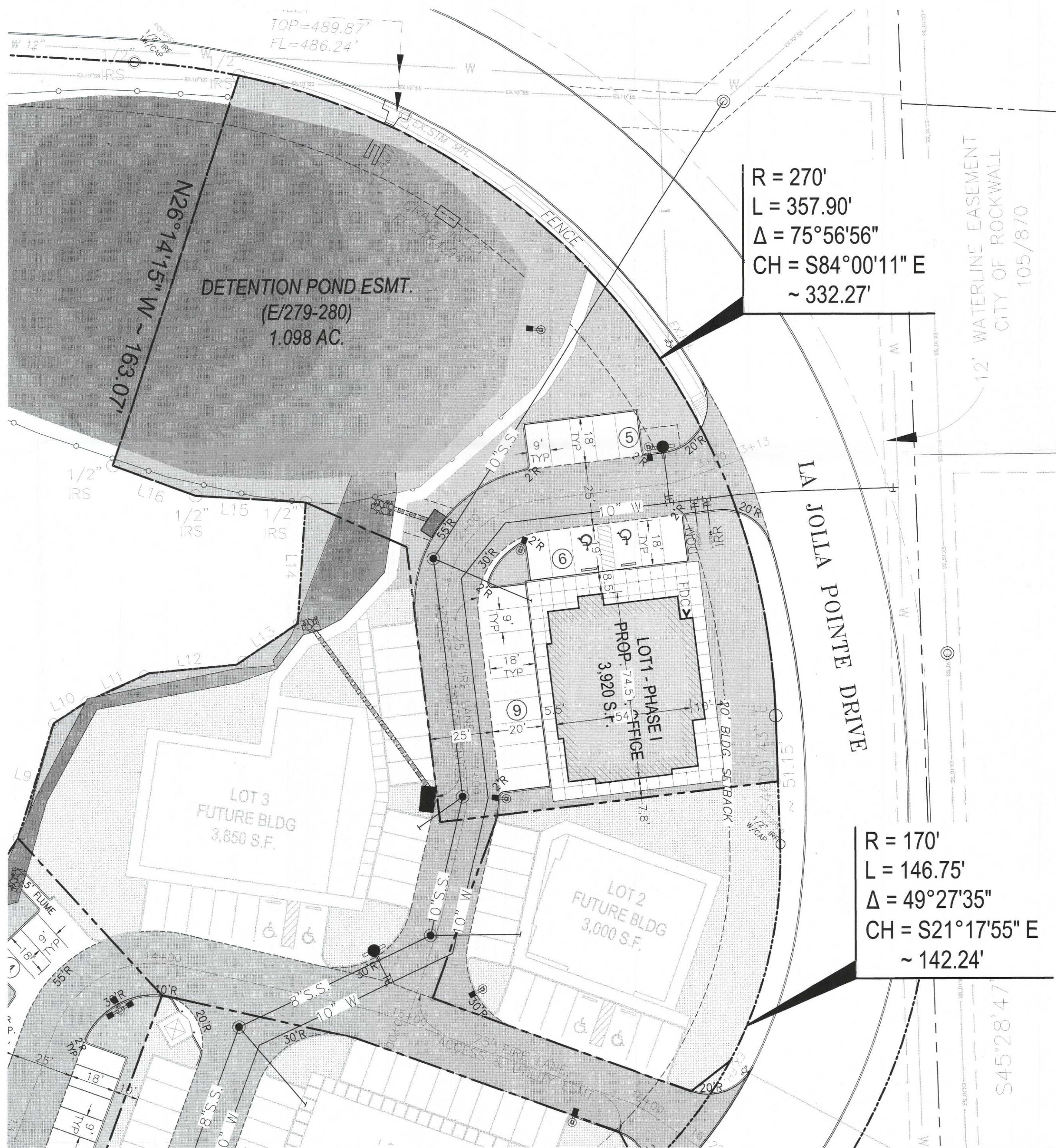
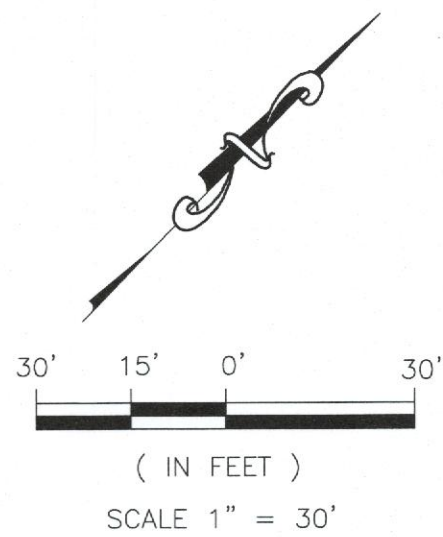
- 1 FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- 2 ALL SIGNAGE BY SEPARATE PERMIT.
- 3 ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDs, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- 5 THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

**NOTE:**

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

**FLOOD PLAIN NOTE:**

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.



R = 270'  
L = 357.90'  
Δ = 75°56'56"  
CH = S84°00'11" E  
~ 332.27'

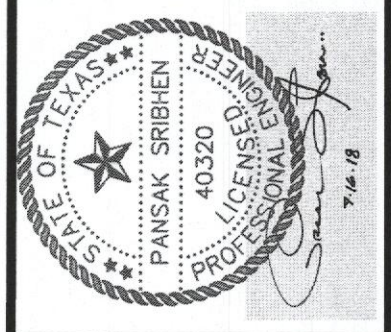
R = 170'  
L = 146.75'  
Δ = 49°27'35"  
CH = S21°17'55" E  
~ 142.24'

**SITE PLAN**

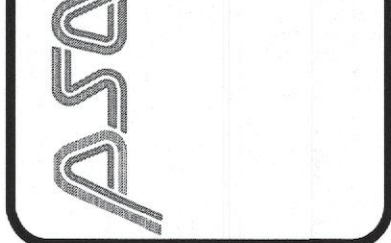
REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK:  
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**SITE PLAN**  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
17819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651  
TX T.B.P.E REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 100433

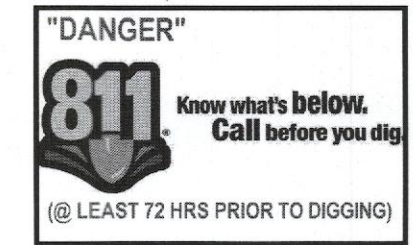


SCALE: AS SHOWN  
DESIGNED: PSS  
DRAWN: PSA  
CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: JULY 16, 2018

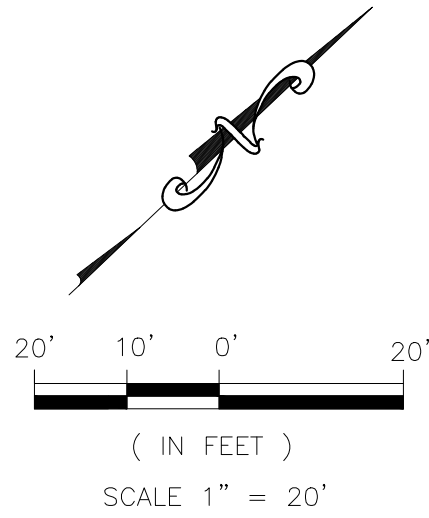
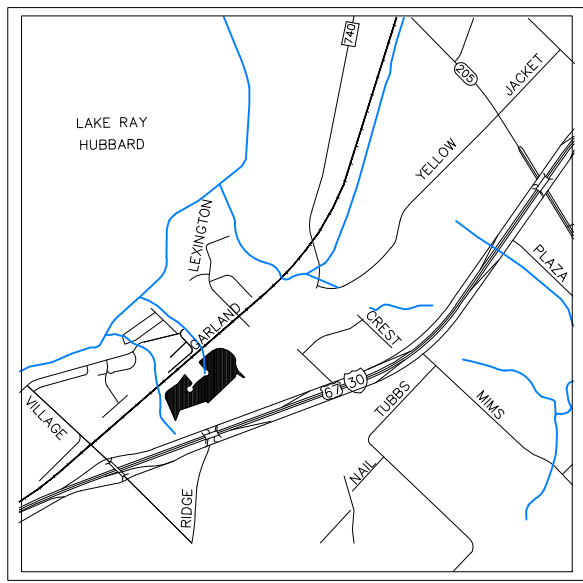
SHEET: C-01





REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



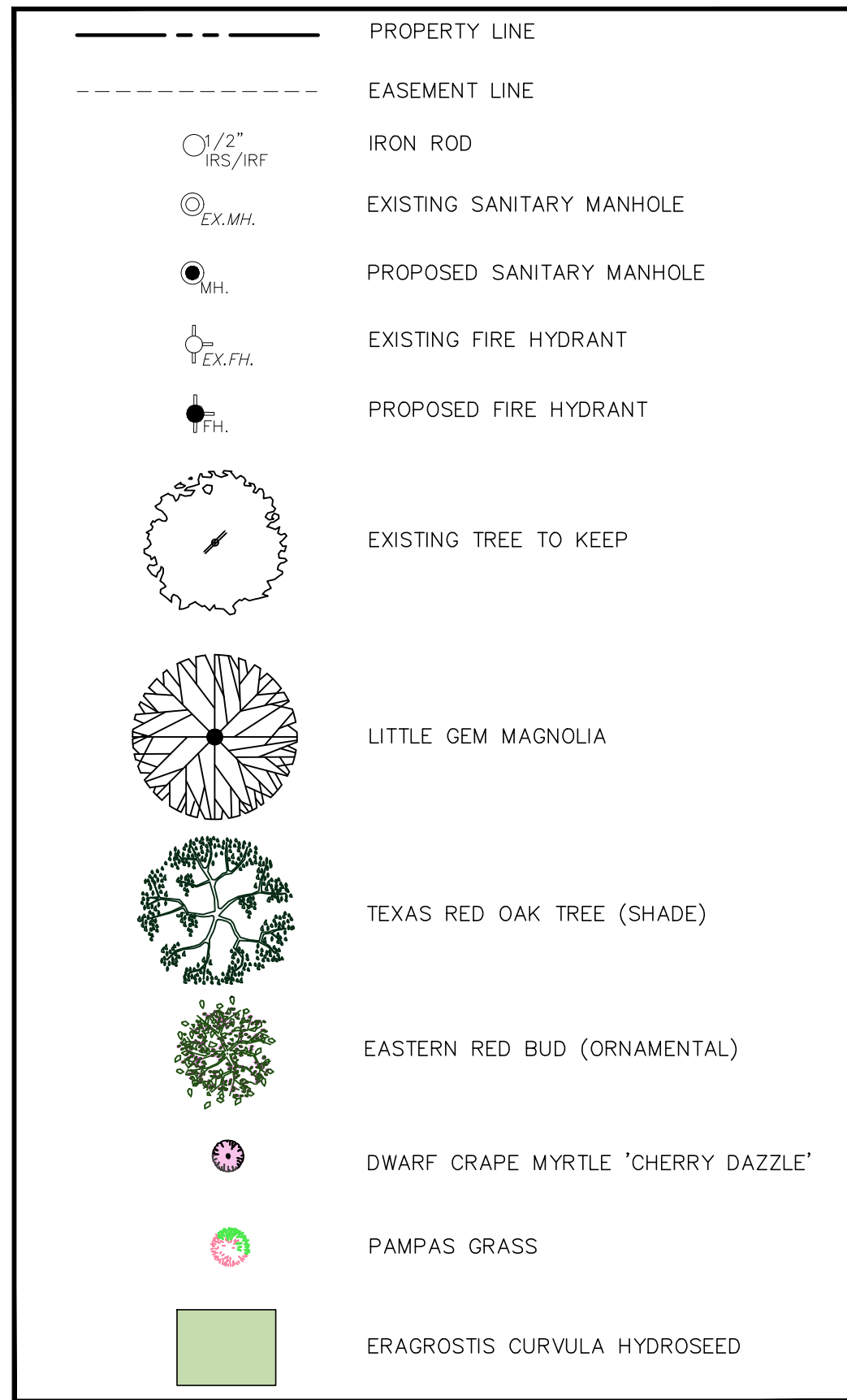
**PLANT MATERIAL SCHEDULE :**

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
03	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
02	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
05	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
82	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
39	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
9,903 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	

**LANDSCAPE NOTE:**

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTÉ 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN OR LOCAL (TEXAS ASSOCIATION OF NURSEYMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MATRIAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTO TILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURERS RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

**LEGENDS:**



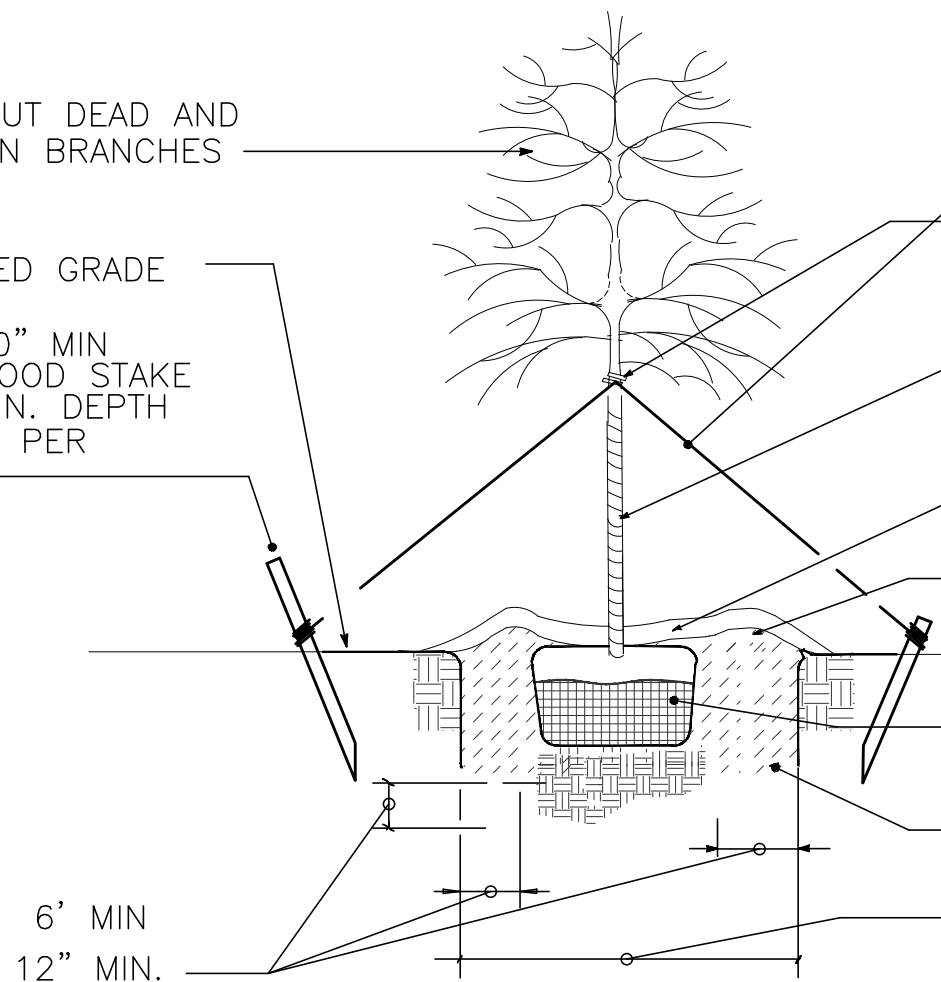
**LANDSCAPE TABULATIONS:**

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE ( N/A FT.)	N/A	N/A
PARKING SPACE (20 SP)		
1 TREE PER 10 REQ. PARKING SPACES ( 20 REQ. SPACES)	2 TREES	4 TREES
AMOUNT OF LANDSCAPING ( TOTAL LOT AREA = 43,570 SF.)	6,536 SF.	9,903 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

THIN OUT DEAD AND BROKEN BRANCHES

FINISHED GRADE

2x2x40" MIN  
MIN WOOD STAKE  
30" MIN. DEPTH  
USE 4 PER TREE



DOUBLE STRAND OF 12 GAUGE WIRE

2 PLY REINFORCED RUBBER HOSE

WRAP TREE TRUNK AS SPECIFIED

2" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK

SAUCER, 4" HEIGHT

REMOVE BURLAP FROM TOP 1/3 OF TREE

PREPARED PLANTING SOIL MIXTURE, SEE SPECS.

DIAMETER OF BALL PLUS 24" 4'-6" MIN.

**LARGE TREE STAKING DETAIL**

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

BALL DEPTH PLUS 4" 18" MIN.

4" MIN 6" MIN.

PREPARED PLANTING SOIL MIXTURE. SEE SPECIFICATION

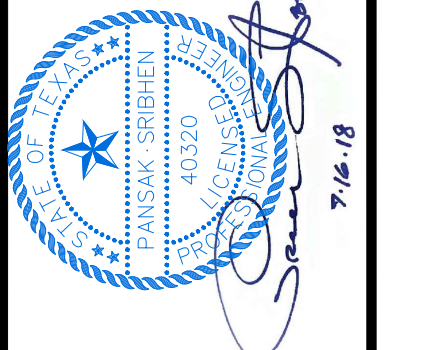
BALL DIAMETER PLUS 12" MINIMUM

**SHRUB PLANTING DETAIL**

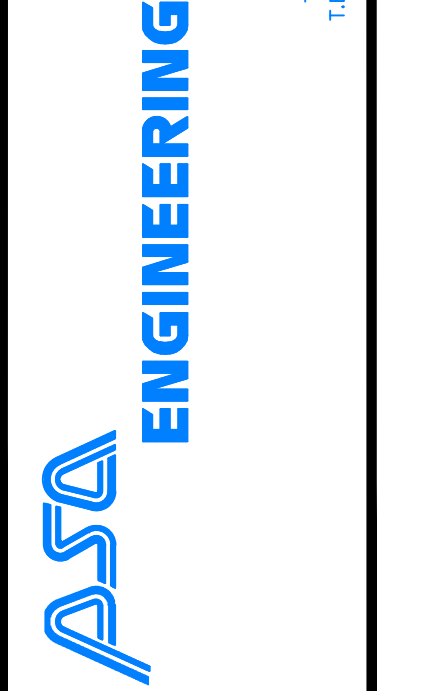
NOT TO SCALE



LANDSCAPE PLAN  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



17819 DAWSONPORT ROAD, SUITE 215  
DALLAS, TEXAS 75248  
TX T.B.P.E. REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 109433



SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

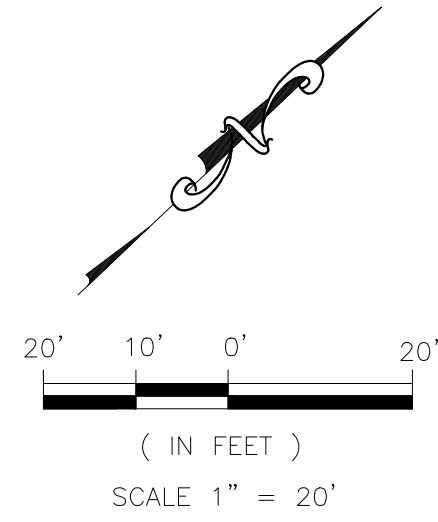
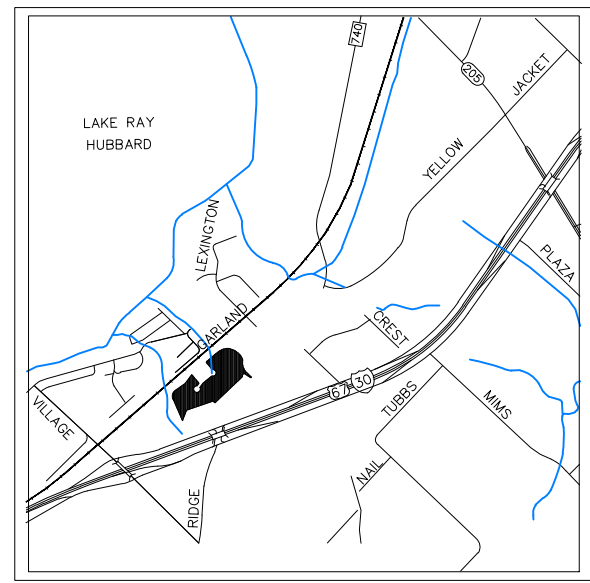
DATE: JULY 16, 2018

SHEET: L-01



IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.





**PROTECTED TREE SURVEY**

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	11"	WHITE OAK	QUERCUS ALBA
2	11"	WHITE OAK	QUERCUS ALBA
3	15"	WHITE OAK	QUERCUS ALBA
4	12"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	6"	LIVE OAK	QUERCUS VIRGINIANA
7	10"	WHITE OAK	QUERCUS ALBA
8	10"	WHITE OAK	QUERCUS ALBA
81" TOTAL INCHES OF TREE REMOVED-100% REPLACEMENT RATIO			
81" TOTAL INCHES OF TREE REPLACEMENT REQUIRED			
45" TOTAL INCHES OF TREE REPLACEMENT PROVIDED			
-36" PURCHASE OF CREDIT			

**LEGENDS:**

**PROPERTY LINE**

**EASEMENT LINE**

**IRON ROD**

**EXISTING SANITARY MANHOLE**

**PROPOSED SANITARY MANHOLE**

**EXISTING FIRE HYDRANT**

**PROPOSED FIRE HYDRANT**

**EXISTING TREE**

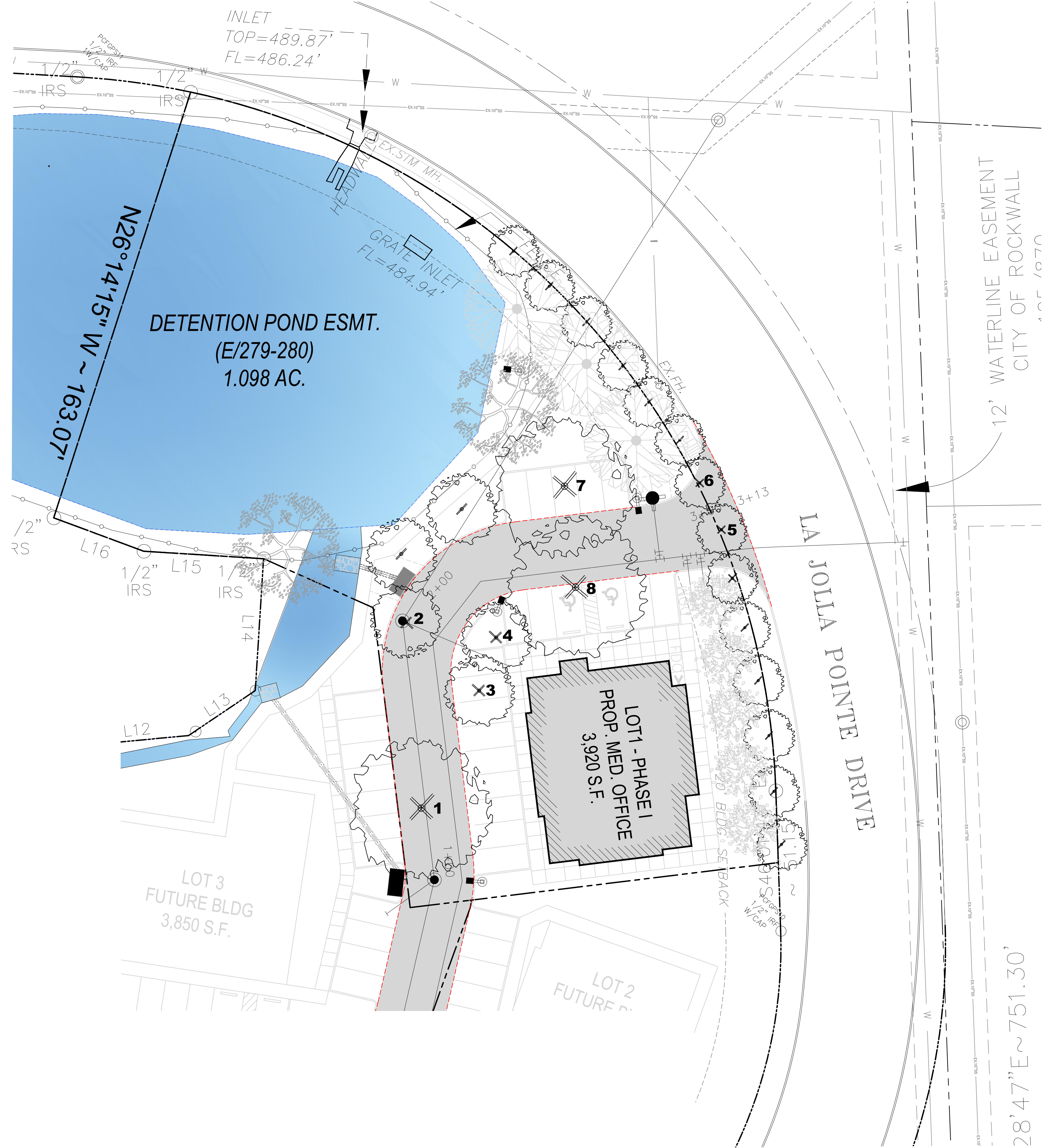
EXISTING TREE TO KEEP

EXISTING TREE TO BE REMOVED

**TREE REPLACEMENT**

SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
	3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
	2	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
	5	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN



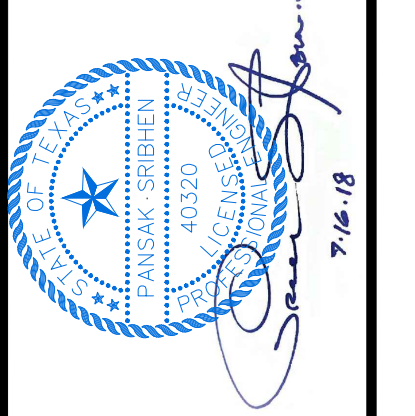
**SITE PLANS SET**

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**TREE PRESERVATION PLAN**

FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
 CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**

17819 DAVENPORT ROAD, SUITE 215  
 DALLAS, TX 75248  
 (972) 248-8651  
 TX T.B.P.E. REGISTRATION # F-006974  
 T.B.P.L.S. FIRM REGISTRATION # 100433

**ASA ENGINEERING**

SCALE: AS SHOWN  
 DESIGNED: PSS  
 DRAWN: PSA  
 CHECKED: PSS

PROJECT NO. 21737-VPR

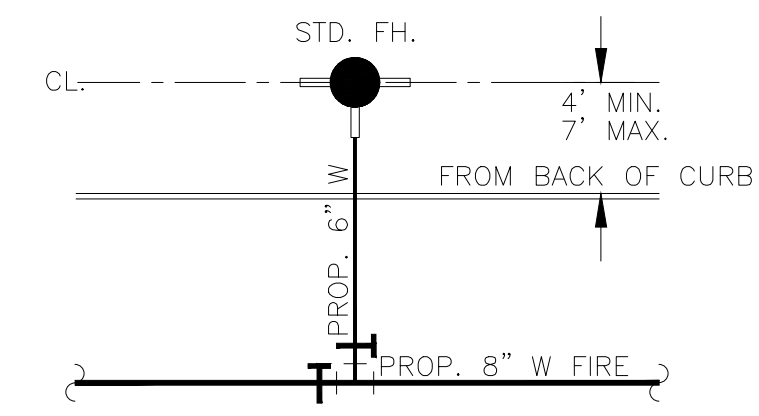
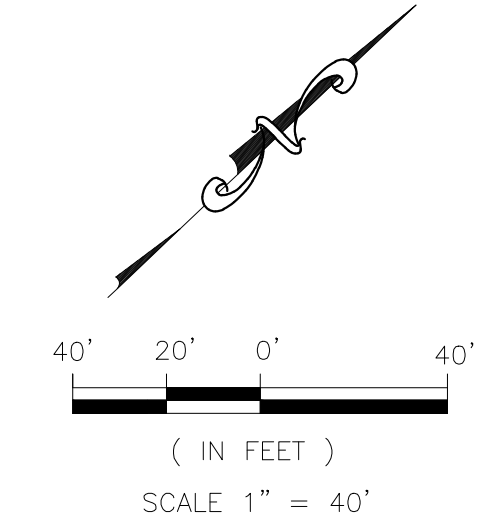
DATE: JULY 16, 2018

SHEET: L-02

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.







TYP. FIRE HYDRANT DETAIL  
NTS

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 10" W PROP. 10" WATER LINE
- S.S. PROP. 8" S.S. LINE
- PROPOSED WATER TEE
- PROPOSED WATER VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE (ONE HEAD)
- PROPOSED LIGHT POLE (TWO HEADS)
- PROPOSED LIGHT POLE (THREE HEADS)

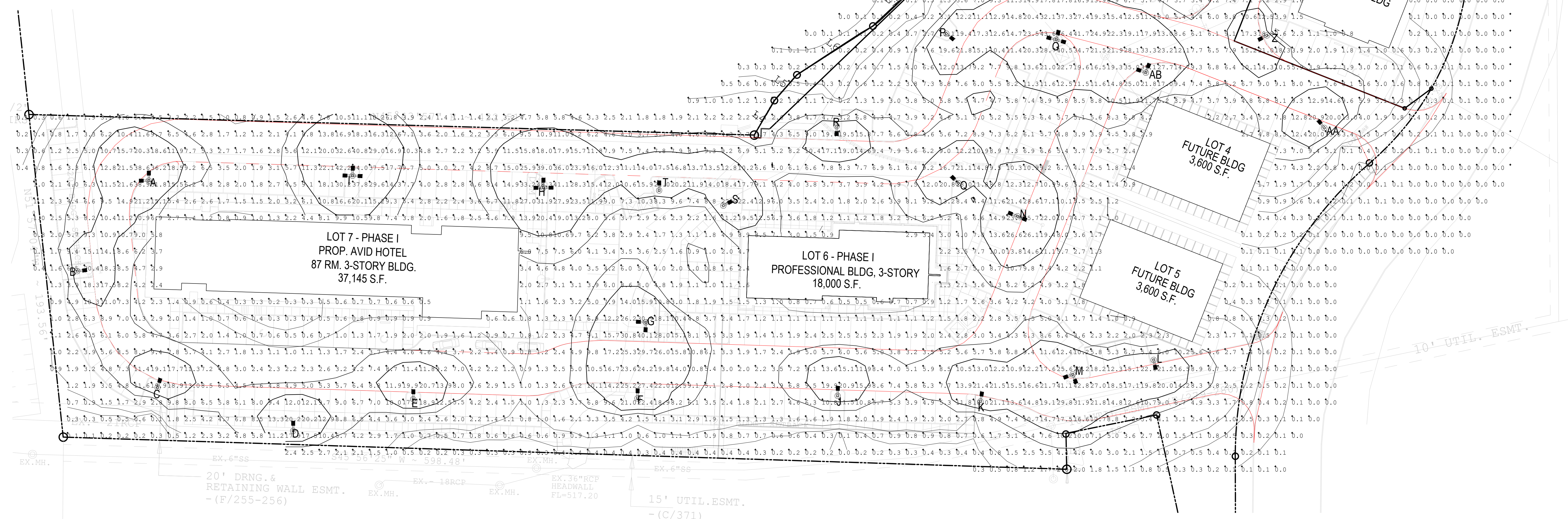
Luminaire Tag Summary		Qty
90 DOUBLE HEAD		5
90 TRIPLE HEAD		3
B2B		1
SINGLE HEAD		19

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	ILLUMINANCE	Fc	4.21	56.4	0.0	N.A.	N.A.

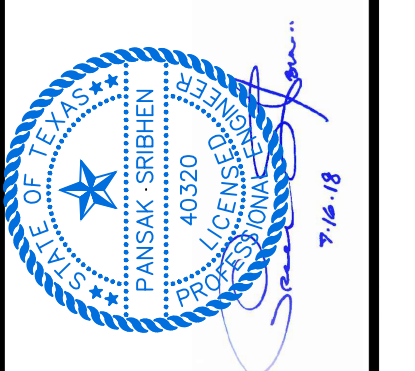
  

Expanded Luminaire Location Summary										
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
A	EALP01 L2AN750	2591258	7016270	20	90	0	2591258	7016270	0	1
B	EALP01 L2AN750	2591215	7016216	20	6.365	0	2591215	7016216	0	1
C	EALP01 L2AN750	2591263	7016146	20	72.791	0	2591263	7016146	0	1
D	EALP01 L2AN750	2591344	7016120	20	90	0	2591344	7016120	0	1
E	EALP01 L2AN750	2591416	7016140	20	90.25	0	2591416	7016140	0	1
F	EALP01 L2AN750	2591548	7016140	20	91.848	0	2591548	7016140	0	1
G	EALP01 L2AN750	2591554	7016185	20	177.09	0	2591554	7016185	0	1
H	EALP01 L2AN750	2591493	7016265	20	90.464	0	2591493	7016265	0	1
I	EALP01 L2AN750	2591378	7016275	20	0.805	0	2591378	7016275	0	1
J	EALP01 L2AN750	2591667	7016143	20	89.597	0	2591667	7016143	0	1
K	EALP01 L2AN750	2591751	7016140	20	79.595	0	2591751	7016140	0	1
L	EALP01 L2AN750	2591857	7016162	20	281.912	0	2591857	7016162	0	1
M	EALP01 L2AN750	2591809	7016154	20	290.556	0	2591809	7016154	0	1
N	EALP01 L2AN750	2591776	7016248	20	158.478	0	2591776	7016248	0	1
O	EALP01 L2AN750	2591797	7016353	20	341.607	0	2591797	7016353	0	1
P	EALP01 L2AN750	2591740	7016268	20	132.274	0	2591740	7016268	0	1
Q	EALP01 L2AN750	2591733	7016357	20	320.194	0	2591733	7016357	0	1
R	EALP01 L2AN750	2591668	7016302	20	270	0	2591668	7016302	0	1
S	EALP01 L2AN750	2591600	7016255	20	28.95	0	2591600	7016255	0	1
T	EALP01 L2AN750	2591562	7016264	20	90	0	2591562	7016264	0	1
U	EALP01 L2AN750	2591936	7016431	20	175.278	0	2591936	7016431	0	1
V	EALP01 L2AN750	2591879	7016479	20	3.991	0	2591879	7016479	0	1
W	EALP01 L2AN750	2591945	7016529	20	64.515	0	2591945	7016529	0	1
X	EALP01 L2AN750	2591996	7016569	20	202.557	0	2591996	7016569	0	1
Y	EALP01 L2AN750	2591949	7016658	20	227.726	0	2591949	7016658	0	1
Z	EALP01 L2AN750	2591924	7016356	20	207.613	0	2591924	7016356	0	1
AA	EALP01 L2AN750	2591958	7016301	20	128.418	0	2591958	7016301	0	1
AB	EALP01 L2AN750	2591852	7016334	20	70.017	0	2591852	7016334	0	1

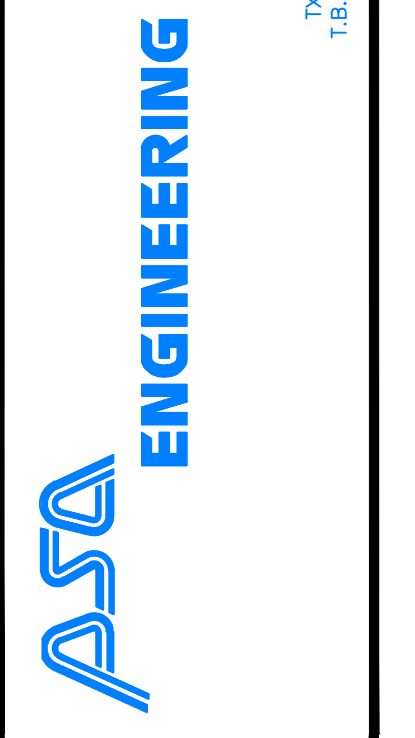


REVISION		
NO.	DATE	BY
0	Y-M-D	P55

OVERALL PHOTOMETRIC  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



17919 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 246-9851  
TX. T.B.E. REGISTRATION # F-000974  
I.B.P.L.S. FIRM REGISTRATION # 100423



SCALE:	AS SHOWN
DESIGNED:	P55
DRAWN:	PSA
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 13, 2018
SHEET:	C-05

Z:\2017\21737.VPR\CURRENT\SHEET\18-07-14 SITE PLAN SET\PLANS SET - MEDICAL OFFICE\04-07.dwg, C:\05\_7/16/2018 11:42:22 PM  
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REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE - FRONT ENTRY SCALE: 3/16" = 1'-0"

PERSPECTIVE - FRONT ENTRY  
 FOR  
**3,920 SF MEDICAL OFFICE @**  
 DFW HOSPITALITY OF ROCKWALL LLC  
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER  
 PSA ENGINEERING  
 17819 DAVENPORT RD.,  
 SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
 ARCHITECTURAL AND PLANNING  
 5834 WINDMIER LANE  
 DALLAS, TEXAS 75252  
 (214) 663-4735

SCALE: AS SHOWN  
 DESIGNED: RC  
 DRAWN: PSA  
 CHECKED: RC

PROJECT NO. 21737.VPR

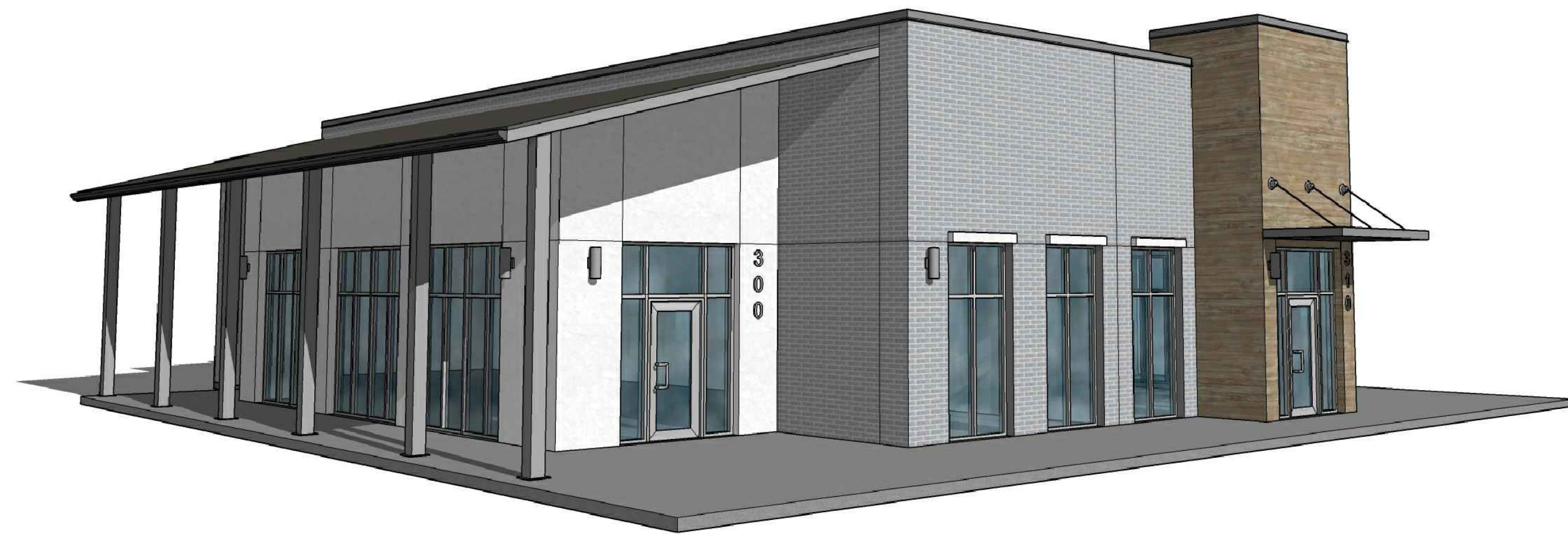
DATE: JULY 16, 2018

SHEET: **A3.1**



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE - SIDE VIEW\_TENANT #300  
SCALE: 3/16" = 1'-0"



2 PERSPECTIVE - SIDE VIEW\_TENANT #310  
SCALE: 3/16" = 1'-0"



3 PERSPECTIVE - REAR\_TENANT #300  
SCALE: 3/16" = 1'-0"



4 PERSPECTIVE - REAR\_TENANT #310  
SCALE: 3/16" = 1'-0"

PERSPECTIVE - SIDE & REAR  
FOR  
3,920 SF MEDICAL OFFICE @  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

R.T. CHANG, ARCHITECT, INC  
ARCHITECTURAL AND PLANNING  
5834 WINDMILL LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 16, 2018

SHEET: A3.2



## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2018-024	<b>Owner</b> ROCKWAY, PARTNERS LLP	<b>Applied</b> 7/17/2018 LM
<b>Project Name</b> MEDICAL OFFICE BUILDING	<b>Applicant</b> PSA ENGINEERING, LLC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 7/24/2018 DG

<b>Site Address</b> 550 LA JOLLA POINTE DR	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> RICHARD HARRIS	<b>Tract</b> 6	<b>Block</b> A	<b>Lot No</b> 6	<b>Parcel No</b> 4119-000A-0006-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:15 PM SH)						
- Impact Fees must be paid.						
- 4% Engineering Inspection fees						
- Must meet all Engineering Standards of Design						
- All storm outfalls of flow downstream not at a 90* angle.						
- Must build complete water line loop now						
- Must check existing detention to make sure the approved volume and outfall is still correct						
- Need to establish the 100-yr water surface elevation in open channel area						
- Parking to be 20' by 9' standard.						
- No trees within 5' of public utilities.						
- Walls 3' and taller must be designed by an engineer.						
- Retaining walls must be rock or stone faced						
- Dumpster to drain to an oil/water separator.						
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning						
- No grate inlets allowed						
- Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide.						
- Must loop water line now.						
- Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives.						
- Driveway spacing must be 100' minimum.						
- 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
- Please see the attached mark up.						
(7/25/2018 4:17 PM SH)						
- Must add 5' sidewalks along La Jolla Dr. 2' off of property line.						
- Will the sewer lines under La Jolla be bored or Steet encased?						
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
(7/19/2018 10:20 AM LS)						
Address assignment will be:						
550 LA JOLLA POINTE DR, ROCKWALL, TX 75087						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/24/2018	7 COMMENTS	See comments

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label all revised site plan documents with "Case No. SP2018-024" at the lower right corner.
4. The development is to comply with the Scenic Overlay (SOV) District standards.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:

The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):

1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical and horizontal articulation for the east and west elevations.
2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north, south, east & west elevations.
3. Sec. 6.8.D.1: Approval of a variance for exceeding the 50% cementaceous materials (i.e. appears to be stucco?) for the east and west elevations.
4. Sec. 6.8.D.2: Approval of a variance for not meeting the pitched roof requirement for a building less than 6,000 SF by allowing for a flat roof design.
5. Sec. 6.8.D.5: Approval of a variance for not meeting the four sided articulation fo the building design with the same materials, detailing, and features.
6. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building.
7. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof.

THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:

- a. On & Off-Site Surface Drainage Area Map - submit with civil set.
- b. Proposed Utility Layout Plan - submit with civil set.
- c. Level 01 - Floor Plan - submit with building permit.
- d. Overall Location - informational only.

\*\* Please address the following Planning Comments for each plan submitted:

Site Plan:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<ol style="list-style-type: none"> <li>1. Relabel all firelane as '25-ft Firelane, Public Access &amp; Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).</li> <li>2. Where is the dumpster enclosure? As a note, it cannot face the street. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with walls to a minimum of 8-ft in height and the exterior materials matching the primary structure. Provide detail.</li> <li>3. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such</li> <li>4. Where are the HVAC units? Are these ground mounted or RTU's? Must be screened from rights-of-way and open space. Provide detail.</li> <li>5. Side yard set-back for the south facing elevation must be a minimum of 10-ft unless this is a fire retardant wall. If fire retardant, check with fire department for specifications on meeting this requirement</li> </ol>						

Landscape Plan:

1. Provide a row of trees behind the perimeter of the building per SOV standards
2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.

Treescape Plan:

1. Mitigation credit of 44 inches to be used towards mitigation balance of office and medical building sites [SP2018-024 & SP2018-025]. This will leave a credit balance of 8 inches to be applied to SP2018-025. Mitigation balance satisfied for this project.

Photometric Plan:

1. Provide a separate photometric plan for each lot/development.
2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan
3. Exterior lightpole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above

Building Elevations:

1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration
2. What type of stone are you using on the building (i.e. natural or manufactured)? If a manufactured stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the manufactured stone product. Please provide a Materials Sample Board for ARB meeting on Tuesday, July 31st.
3. Provide measurements for the height and width of the building for the perspectives or on 2D elevations.
4. Where are the HVAC units being placed. Indicate location and screening of the units from the rights-of-way and open space areas.
5. Provide calculations for all exterior materials and label as such
6. Provide labels for north, south, east & west facing for each elevation
7. See all variances associated with the elevations as submitted above

\*\*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com)

\*\*\*\* Scheduled Meeting Dates to Attend

Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]  
 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]

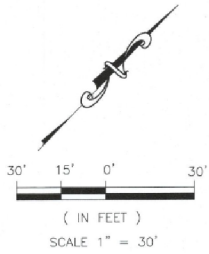
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						



VICINITY MAP  
N.T.S.

LEGEND

- PROPOSED WTR. LINE
- PROPOSED S.S. LINE
- PROPERTY LINE
- - - EASEMENT LINE
- STORM SEWER LINE
- 1/2" IR5/IR7 IRON ROD
- M.H. PROPOSED SANITARY MANHOLE
- EX.M.H. EXISTING SANITARY MANHOLE
- EX.F.H. EXISTING FIRE HYDRANT

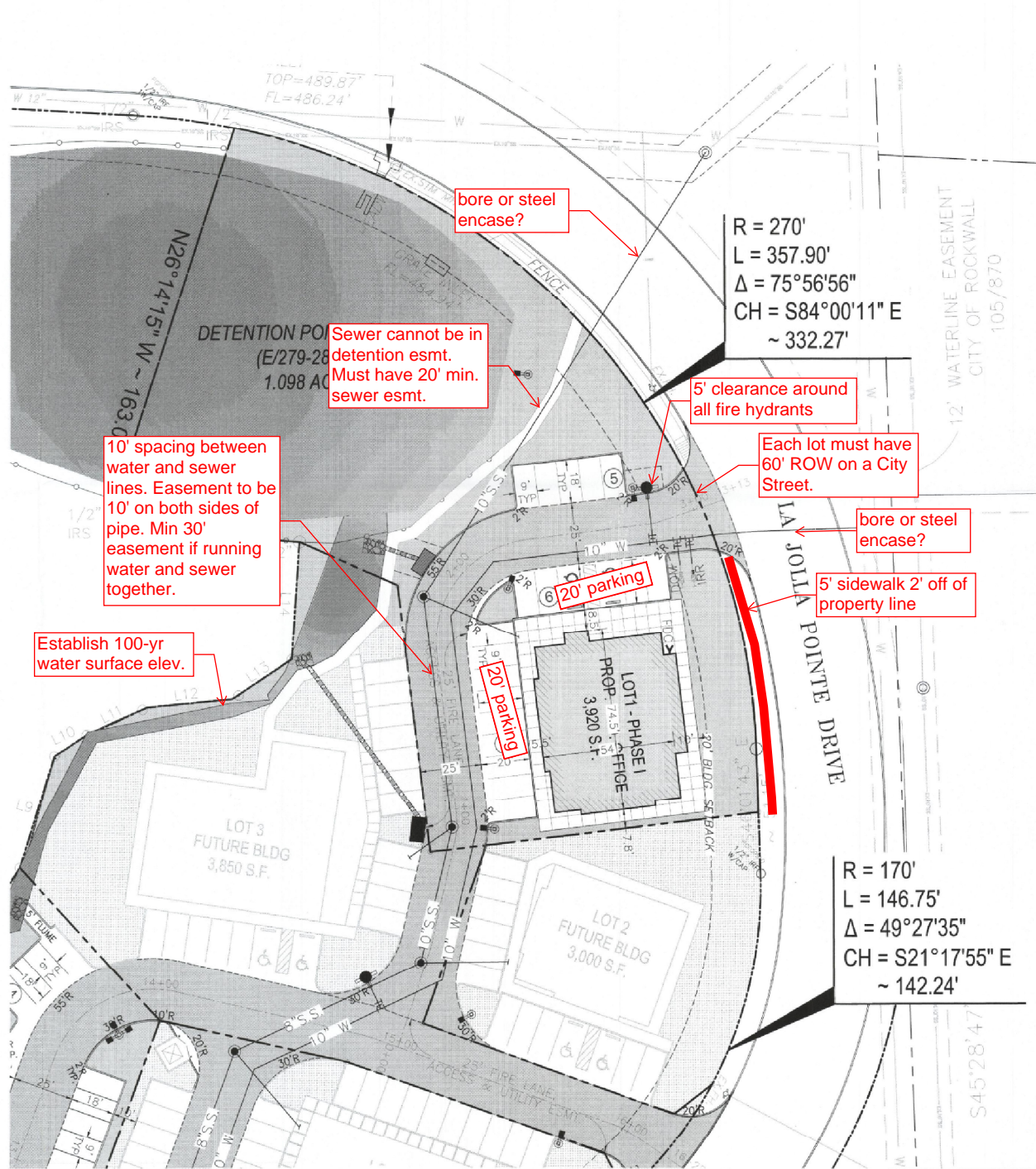


- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90° angle.
- Must build complete water line loop now.
- must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area.
- Parking to be 20' by 9' standard.
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

- SITE PLAN NOTE:**
- 1 FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
  - 2 ALL SIGNAGE BY SEPARATE PERMIT.
  - 3 ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
  - 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
  - 5 THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

**NOTE:**  
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

**FLOOD PLAIN NOTE:**  
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.



**SITE PLAN**

REVISION		
NO.	DATE	BY
0	Y-M-D	P55

REMARK:  
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS

**SITE PLAN**

FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
17819 DAWSONPORT ROAD, SUITE 1015  
DALLAS, TEXAS 75248  
TEL: 214.686.8881  
TX T.B.P.E. REGISTRATION # F-0086874  
T.B.P.E.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: P55

DRAWN: P5A

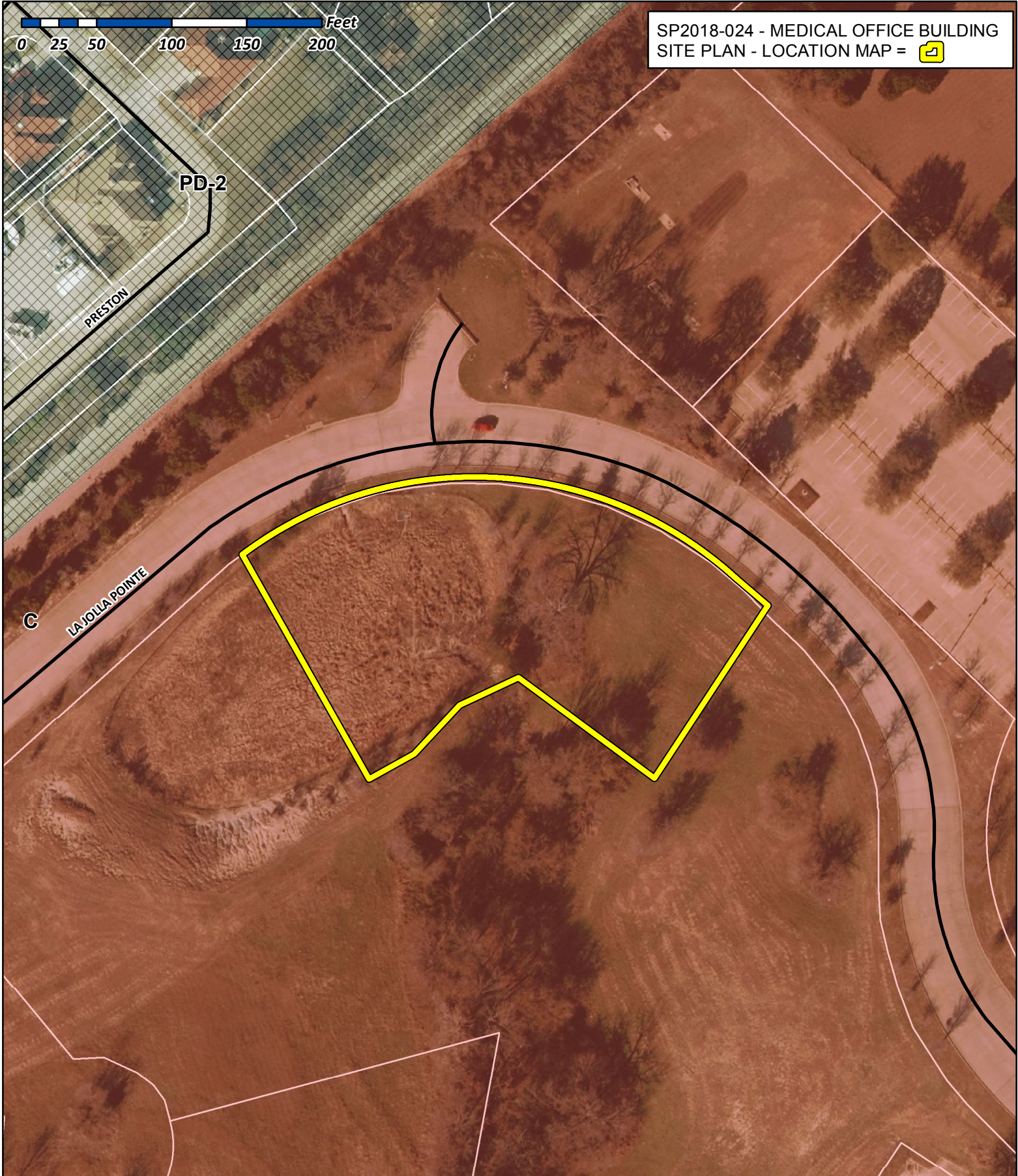
CHECKED: P55

PROJECT NO: 21737 VPR

DATE: JULY 16, 2018

SHEET: C-01





SP2018-024 - MEDICAL OFFICE BUILDING  
 SITE PLAN - LOCATION MAP = [icon]

0 25 50 100 150 200 Feet

PD-2

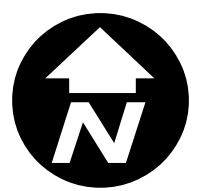
PRESTON

LA JOLLA POINTE

# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**SITE PLAN**  
FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
CITY OF ROCKWALL, TEXAS

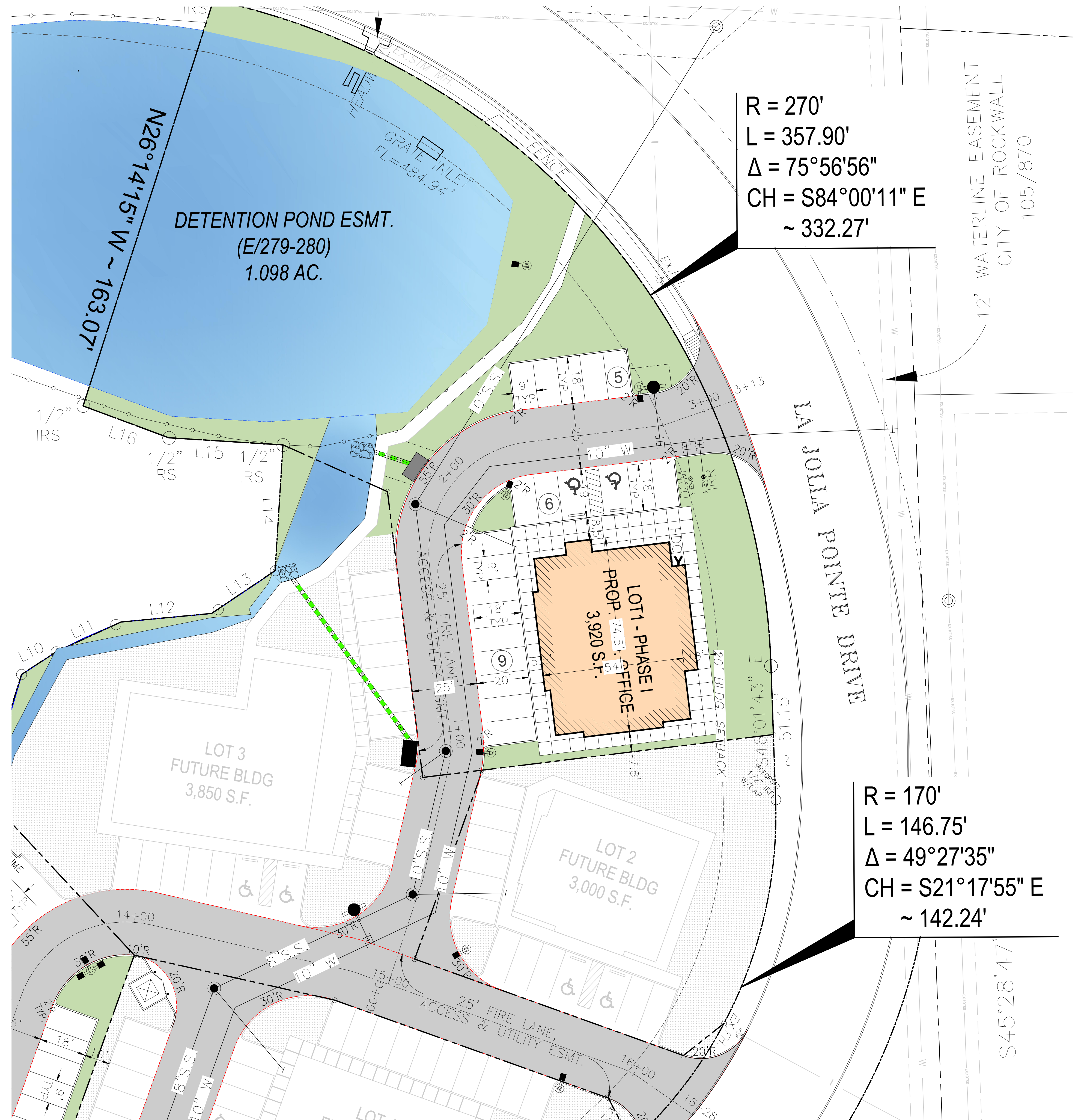
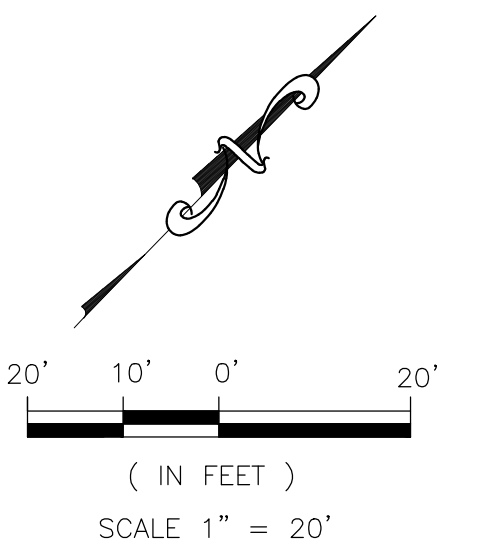


**ASA ENGINEERING**  
17819 DANFORTH ROAD, SUITE 215  
DALLAS, TEXAS 75252  
TX T.S.P.E. REGISTRATION # F-008974  
T.S.P.L.S. FIRM REGISTRATION # 000425



SCALE: AS SHOWN  
DESIGNED: PSS  
DRAWN: PSA  
CHECKED: PSS

PROJECT NO. 21737.VPR  
DATE: JULY 13, 2018  
SHEET: **C-01**



**SITE**



**LEGEND**

- PROPOSED WTR. LINE
- PROPOSED S.S. LINE
- PROPERTY LINE
- EASEMENT LINE
- STORM SEWER LINE
- 1/2" IRS/IRF
- MH.
- EX.MH.
- EX.FH.
- FH.
- PROPOSED SITE LIGHTING 20' HT. MAX.
- INDICATE PARKING NO.
- INDICATE GRATE INLET
- INDICATE CURB INLET
- RF
- CRS
- IRF.
- IRS.
- UTIL.
- ESMT.
- EX.
- WTR.
- EX.MH.
- B.L.
- R.O.B.
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED SITE LIGHTING 20' HT. MAX.
- INDICATE PARKING NO.
- INDICATE GRATE INLET
- INDICATE CURB INLET
- REBAR FOUND
- CAPPED REBAR SET
- IRON ROD FOUND
- IRON ROD SET
- UTILITY
- EASEMENT
- EXISTING
- WATER LINE
- EXISTING SANITARY SEWER MANHOLE
- BUILDING SETBACK LINE
- RIGHT OF WAY

**LOT INFORMATION**

**LOT 1 - PHASE I**

AREA LOT	= 43,570 S.F. (1.002 AC.)
TOTAL BLDG. AREA	= 3,920 S.F.
PROPOSED	= MEDICAL OFFICE BLDG.

**PARKING REQUIREMENTS**

PARKING RATIO	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 20 SP

**TOTAL PARKING PROVIDED**

TOTAL PARKING PROVIDED	= 20 SP
HANDICAP PARKING REQUIRED	= 2 SP
SURFACE PARKING PROVIDED	= 18 SP

**SITE PLAN NOTE:**

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDs, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

**NOTE:**

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT.

**FLOOD PLAIN NOTE:**

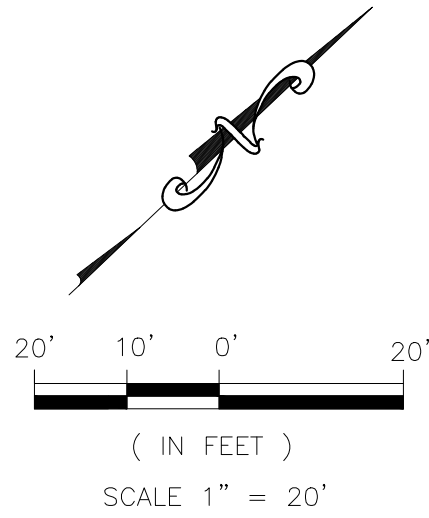
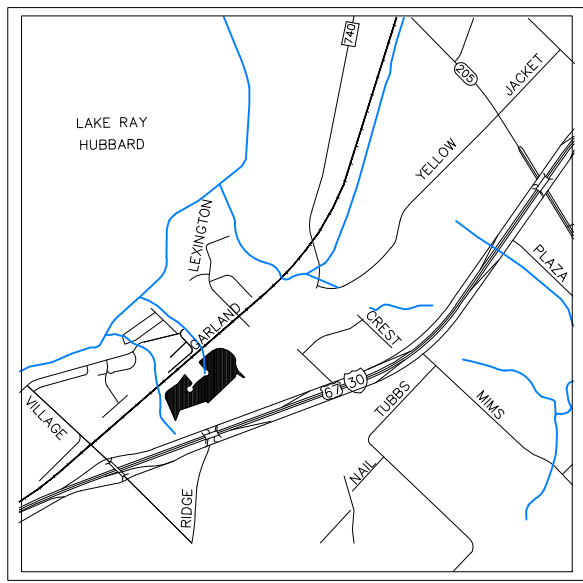
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.





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0	Y-M-D	PSS

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**PLANT MATERIAL SCHEDULE :**

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
03	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
02	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
05	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
82	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
39	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
9,903 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	

**LANDSCAPE NOTE:**

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTÉ 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN OR LOCAL (TEXAS ASSOCIATION OF NURSEYMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MATRIAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTO TILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURERS RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

**LEGENDS:**

	PROPERTY LINE
	EASEMENT LINE
	IRON ROD
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING TREE TO KEEP
	LITTLE GEM MAGNOLIA
	TEXAS RED OAK TREE (SHADE)
	EASTERN RED BUD (ORNAMENTAL)
	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'
	PAMPAS GRASS
	ERAGROSTIS CURVULA HYDROSEED

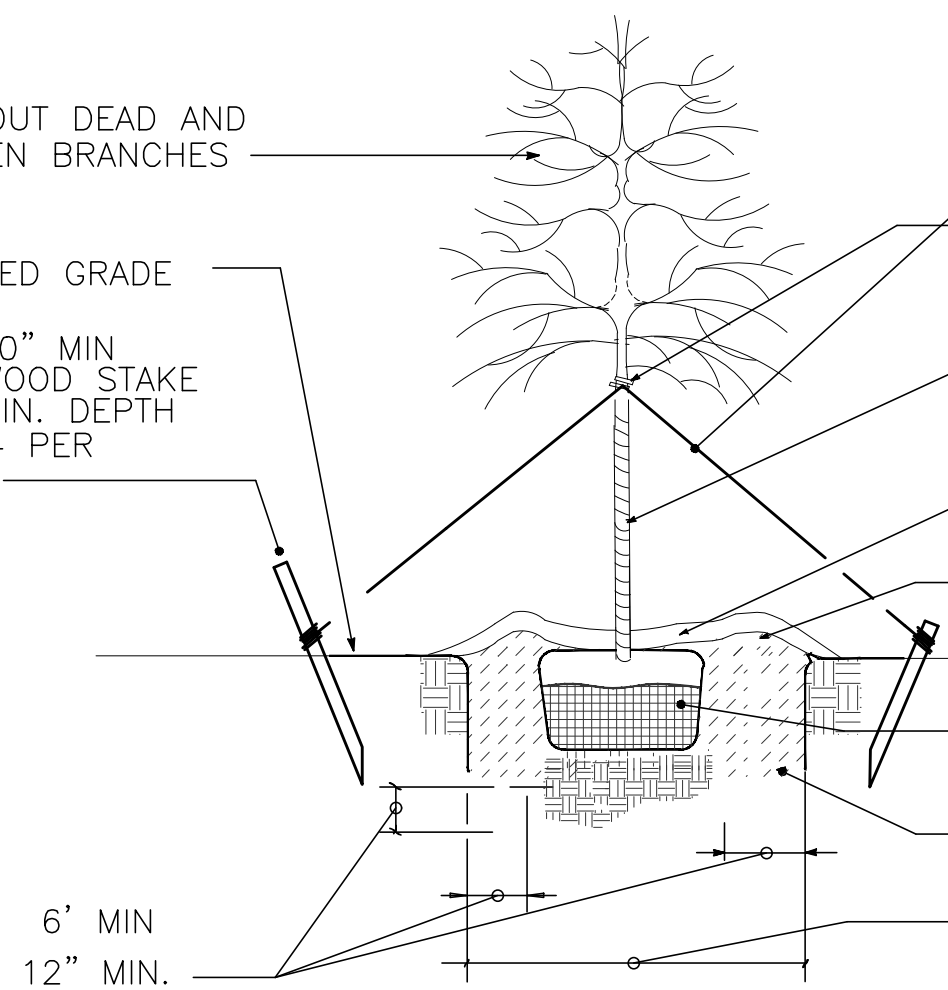
**LANDSCAPE TABULATIONS:**

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE ( N/A FT.)	N/A	N/A
PARKING SPACE (20 SP)		
1 TREE PER 10 REQ. PARKING SPACES ( 20 REQ. SPACES)	2 TREES	4 TREES
AMOUNT OF LANDSCAPING ( TOTAL LOT AREA = 43,570 SF.)	6,536 SF.	9,903 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

THIN OUT DEAD AND BROKEN BRANCHES

FINISHED GRADE

2x2x40" MIN  
MIN WOOD STAKE  
30" MIN. DEPTH  
USE 4 PER TREE



DOUBLE STRAND OF 12 GAUGE WIRE

2 PLY REINFORCED RUBBER HOSE

WRAP TREE TRUNK AS SPECIFIED

2" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK

SAUCER, 4" HEIGHT

REMOVE BURLAP FROM TOP 1/3 OF TREE

PREPARED PLANTING SOIL MIXTURE, SEE SPECS.

DIAMETER OF BALL PLUS 24" 4'-6" MIN.

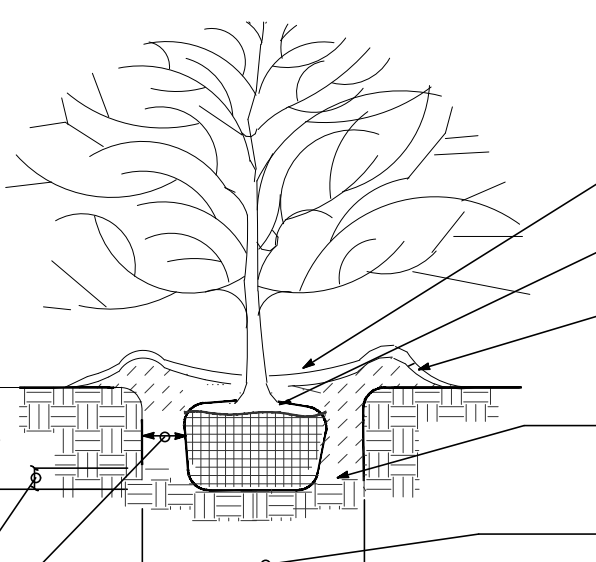
6" MIN  
12" MIN.

**LARGE TREE STAKING DETAIL**

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

BALL DEPTH PLUS 4" 18" MIN.

4" MIN  
6" MIN.



3" MULCH OF SHREDED HARDWOOD TREE BARK OR PINE BARK.

CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.

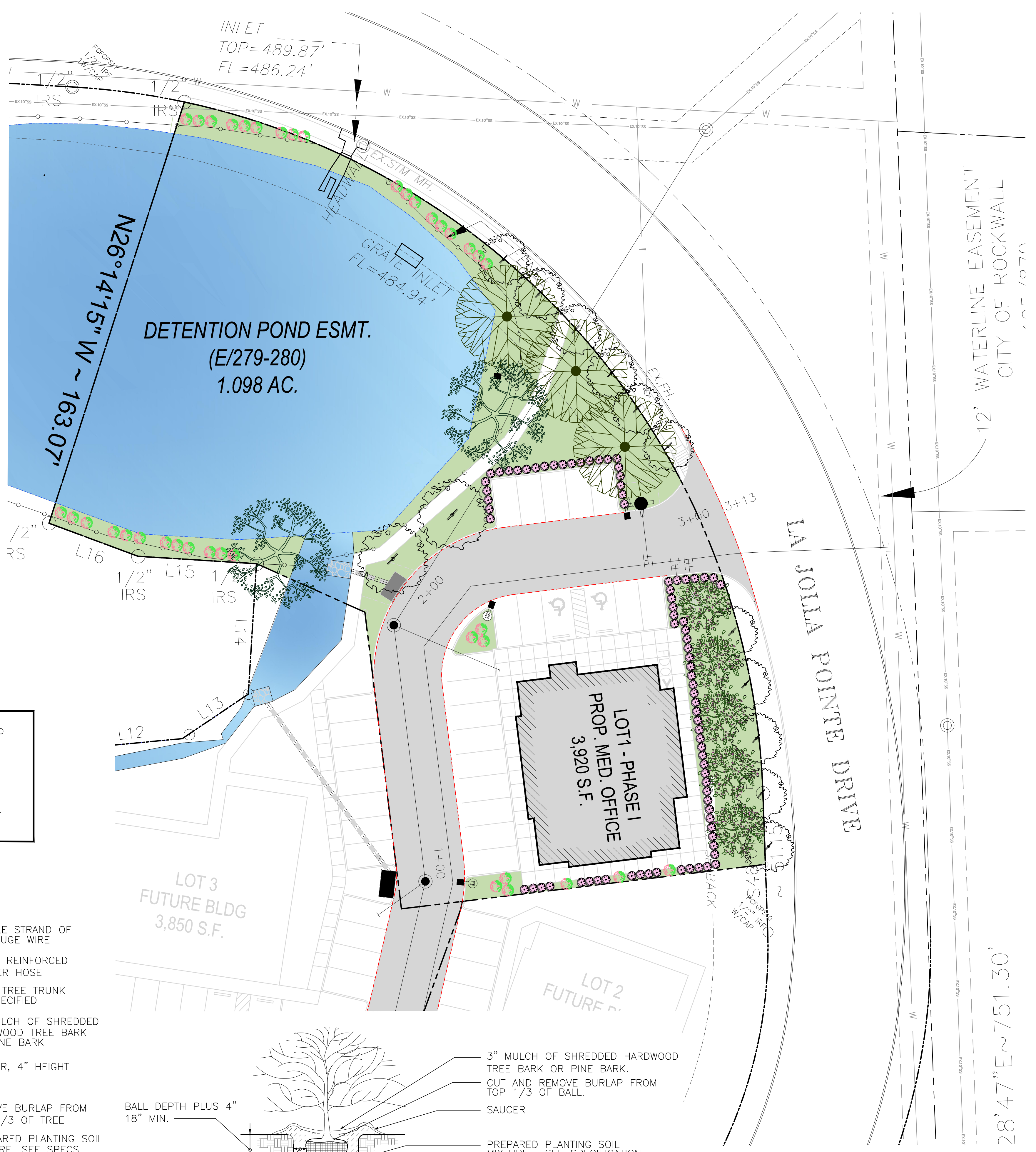
SAUCER

PREPARED PLANTING SOIL MIXTURE. SEE SPECIFICATION

BALL DIAMETER PLUS 12" MINIMUM

**SHRUB PLANTING DETAIL**

NOT TO SCALE



LANDSCAPE PLAN

FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



17819 DAWENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75248  
TEL: (972) 248-8651  
TX T.B.P.E. REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 109433



SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

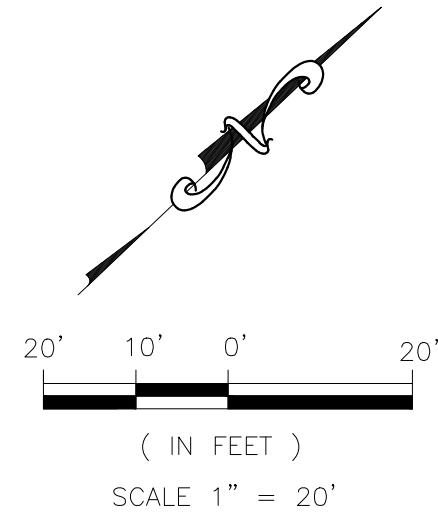
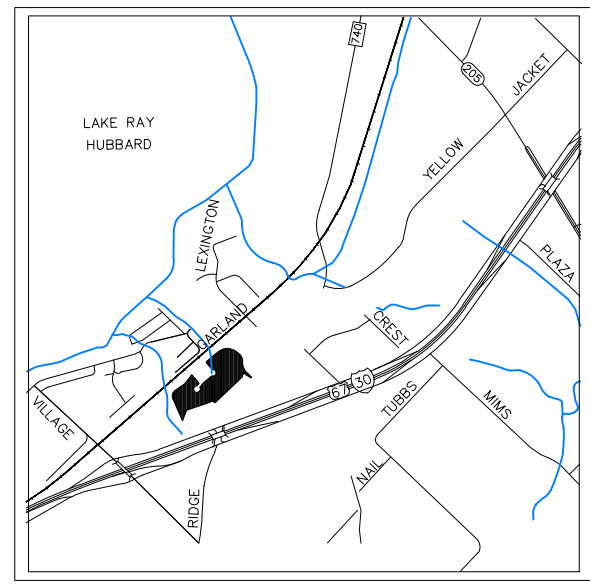
DATE: JULY 16, 2018

SHEET: L-01

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.







**PROTECTED TREE SURVEY**

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	11"	WHITE OAK	QUERCUS ALBA
2	11"	WHITE OAK	QUERCUS ALBA
3	15"	WHITE OAK	QUERCUS ALBA
4	12"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	6"	LIVE OAK	QUERCUS VIRGINIANA
7	10"	WHITE OAK	QUERCUS ALBA
8	10"	WHITE OAK	QUERCUS ALBA
81" TOTAL INCHES OF TREE REMOVED-100% REPLACEMENT RATIO			
81" TOTAL INCHES OF TREE REPLACEMENT REQUIRED			
45" TOTAL INCHES OF TREE REPLACEMENT PROVIDED			
-36" PURCHASE OF CREDIT			

**LEGENDS:**

**PROPERTY LINE**

**EASEMENT LINE**

**IRON ROD**

**EXISTING SANITARY MANHOLE**

**PROPOSED SANITARY MANHOLE**

**EXISTING FIRE HYDRANT**

**PROPOSED FIRE HYDRANT**

**EXISTING TREE**

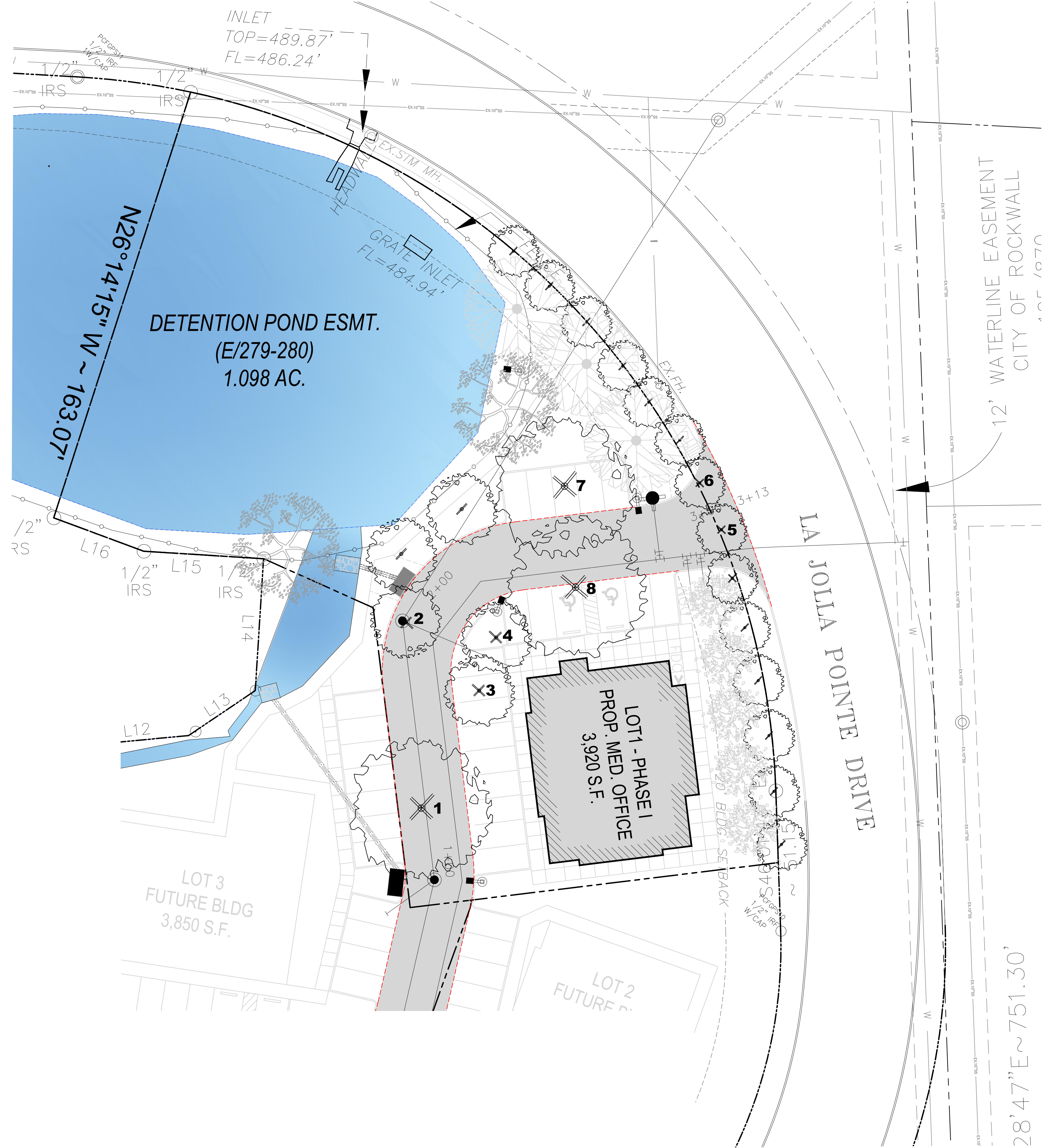
EXISTING TREE TO KEEP

EXISTING TREE TO BE REMOVED

**TREE REPLACEMENT**

SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
	3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
	2	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
	5	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN



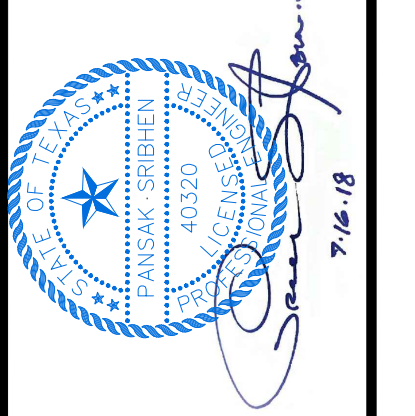
**SITE PLANS SET**

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

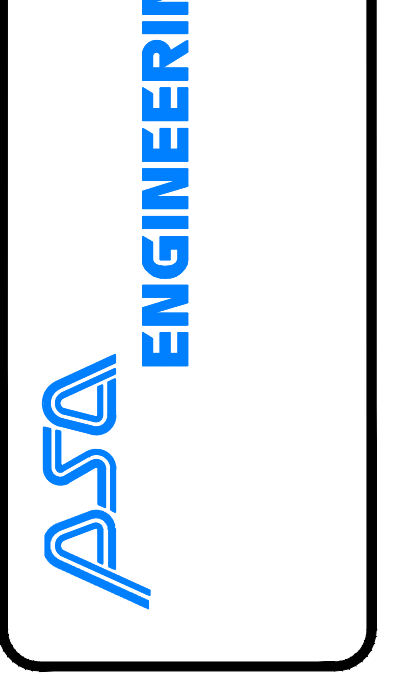
**TREE PRESERVATION PLAN**

FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
 CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**

17819 DAVENPORT ROAD, SUITE 215  
 DALLAS, TX 75248  
 (972) 248-8651  
 TX T.B.P.E. REGISTRATION # F-006974  
 T.B.P.L.S. FIRM REGISTRATION # 100433



SCALE: AS SHOWN  
 DESIGNED: PSS  
 DRAWN: PSA  
 CHECKED: PSS

PROJECT NO. 21737-VPR

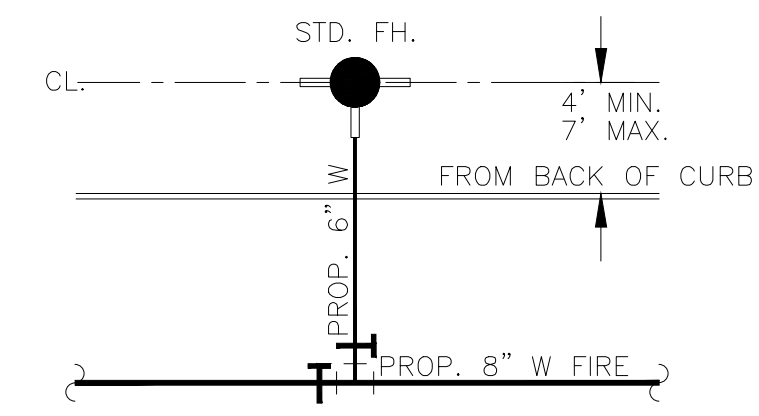
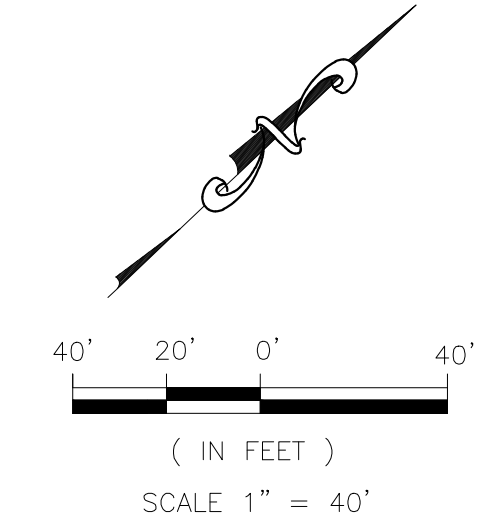
DATE: JULY 16, 2018

SHEET: L-02

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.







TYP. FIRE HYDRANT DETAIL  
NTS

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROP. 10" WATER LINE
- PROP. 8" S.S. LINE
- PROPOSED WATER TEE
- PROPOSED WATER VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE (ONE HEAD)
- PROPOSED LIGHT POLE (TWO HEADS)
- PROPOSED LIGHT POLE (THREE HEADS)

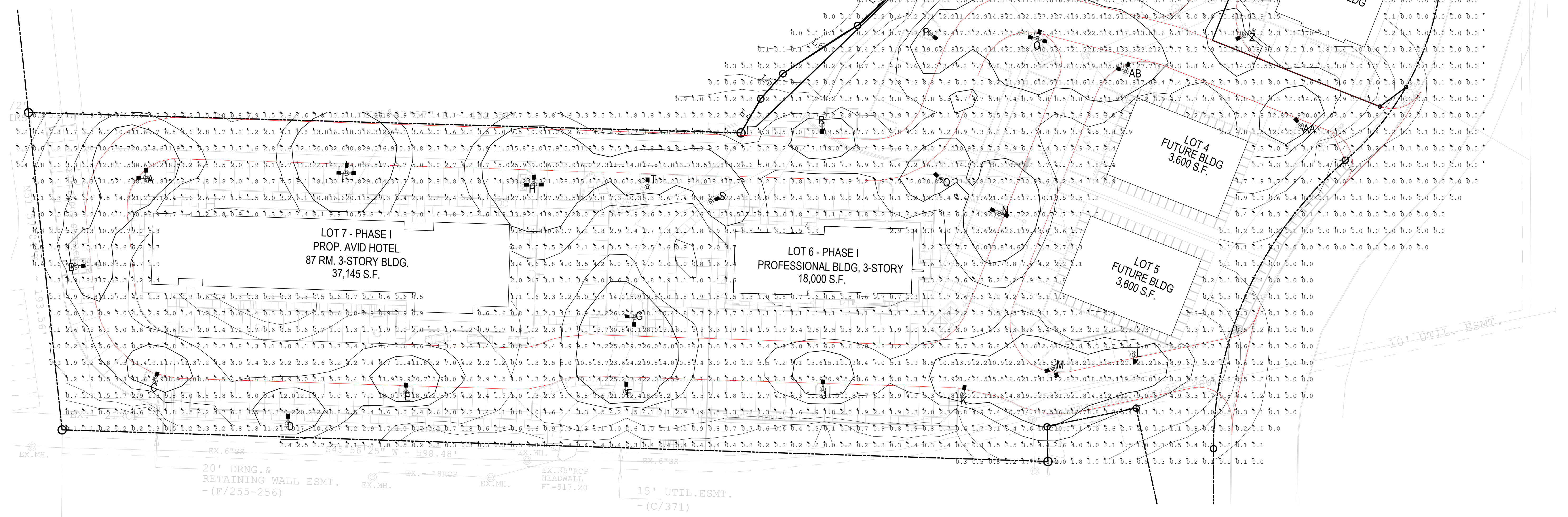
Luminaire Tag Summary		Qty
90 DOUBLE HEAD		5
90 TRIPLE HEAD		3
B2B		1
SINGLE HEAD		19

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	ILLUMINANCE	Fc	4.21	56.4	0.0	N.A.	N.A.

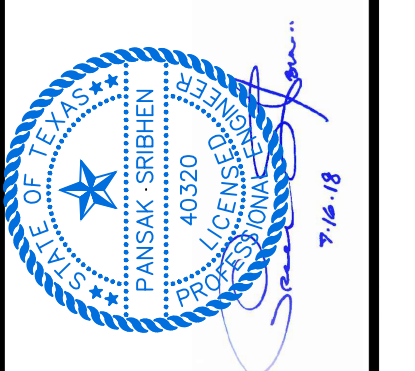
  

Expanded Luminaire Location Summary										
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
A	EALP01 L2AN750	2591258	7016270	20	90	0	2591258	7016270	0	1
B	EALP01 L2AN750	2591215	7016216	20	6.365	0	2591215	7016216	0	1
C	EALP01 L2AN750	2591263	7016146	20	72.791	0	2591263	7016146	0	1
D	EALP01 L2AN750	2591344	7016120	20	90	0	2591344	7016120	0	1
E	EALP01 L2AN750	2591416	7016140	20	90.25	0	2591416	7016140	0	1
F	EALP01 L2AN750	2591548	7016140	20	91.848	0	2591548	7016140	0	1
G	EALP01 L2AN750	2591554	7016185	20	177.09	0	2591554	7016185	0	1
H	EALP01 L2AN750	2591493	7016265	20	90.464	0	2591493	7016265	0	1
I	EALP01 L2AN750	2591378	7016275	20	0.805	0	2591378	7016275	0	1
J	EALP01 L2AN750	2591667	7016143	20	89.597	0	2591667	7016143	0	1
K	EALP01 L2AN750	2591751	7016140	20	79.595	0	2591751	7016140	0	1
L	EALP01 L2AN750	2591857	7016162	20	281.912	0	2591857	7016162	0	1
M	EALP01 L2AN750	2591809	7016154	20	290.556	0	2591809	7016154	0	1
N	EALP01 L2AN750	2591776	7016248	20	158.478	0	2591776	7016248	0	1
O	EALP01 L2AN750	2591797	7016353	20	341.607	0	2591797	7016353	0	1
P	EALP01 L2AN750	2591740	7016268	20	132.274	0	2591740	7016268	0	1
Q	EALP01 L2AN750	2591733	7016357	20	320.194	0	2591733	7016357	0	1
R	EALP01 L2AN750	2591668	7016302	20	270	0	2591668	7016302	0	1
S	EALP01 L2AN750	2591600	7016255	20	28.95	0	2591600	7016255	0	1
T	EALP01 L2AN750	2591562	7016264	20	90	0	2591562	7016264	0	1
U	EALP01 L2AN750	2591936	7016431	20	175.278	0	2591936	7016431	0	1
V	EALP01 L2AN750	2591879	7016479	20	3.991	0	2591879	7016479	0	1
W	EALP01 L2AN750	2591945	7016529	20	64.515	0	2591945	7016529	0	1
X	EALP01 L2AN750	2591996	7016569	20	202.557	0	2591996	7016569	0	1
Y	EALP01 L2AN750	2591949	7016658	20	227.726	0	2591949	7016658	0	1
Z	EALP01 L2AN750	2591924	7016356	20	207.613	0	2591924	7016356	0	1
AA	EALP01 L2AN750	2591958	7016301	20	128.418	0	2591958	7016301	0	1
AB	EALP01 L2AN750	2591852	7016334	20	70.017	0	2591852	7016334	0	1

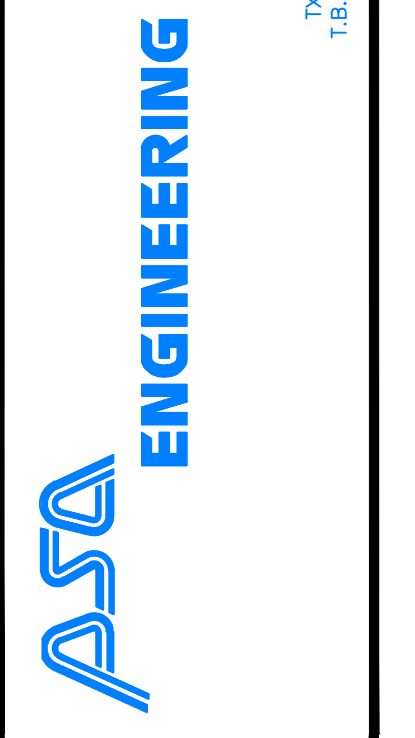


REVISION		
NO.	DATE	BY
0	Y-M-D	P55

OVERALL PHOTOMETRIC  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



17919 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 246-9851  
TX T.B.E. REGISTRATION # F-008974  
I.B.P.L.S. FIRM REGISTRATION # 100423



SCALE:	AS SHOWN
DESIGNED:	P55
DRAWN:	PSA
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 13, 2016
SHEET:	C-05

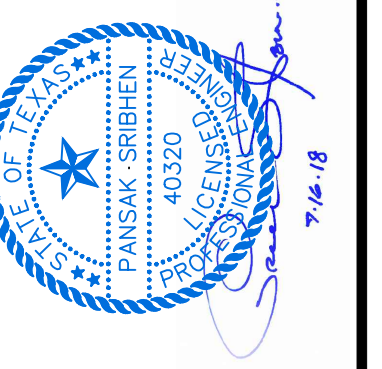
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 DWG TO PDF PLOT: ACR (Expanded) 12/4/2018 8:00:00 AM, 11/28/18



REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

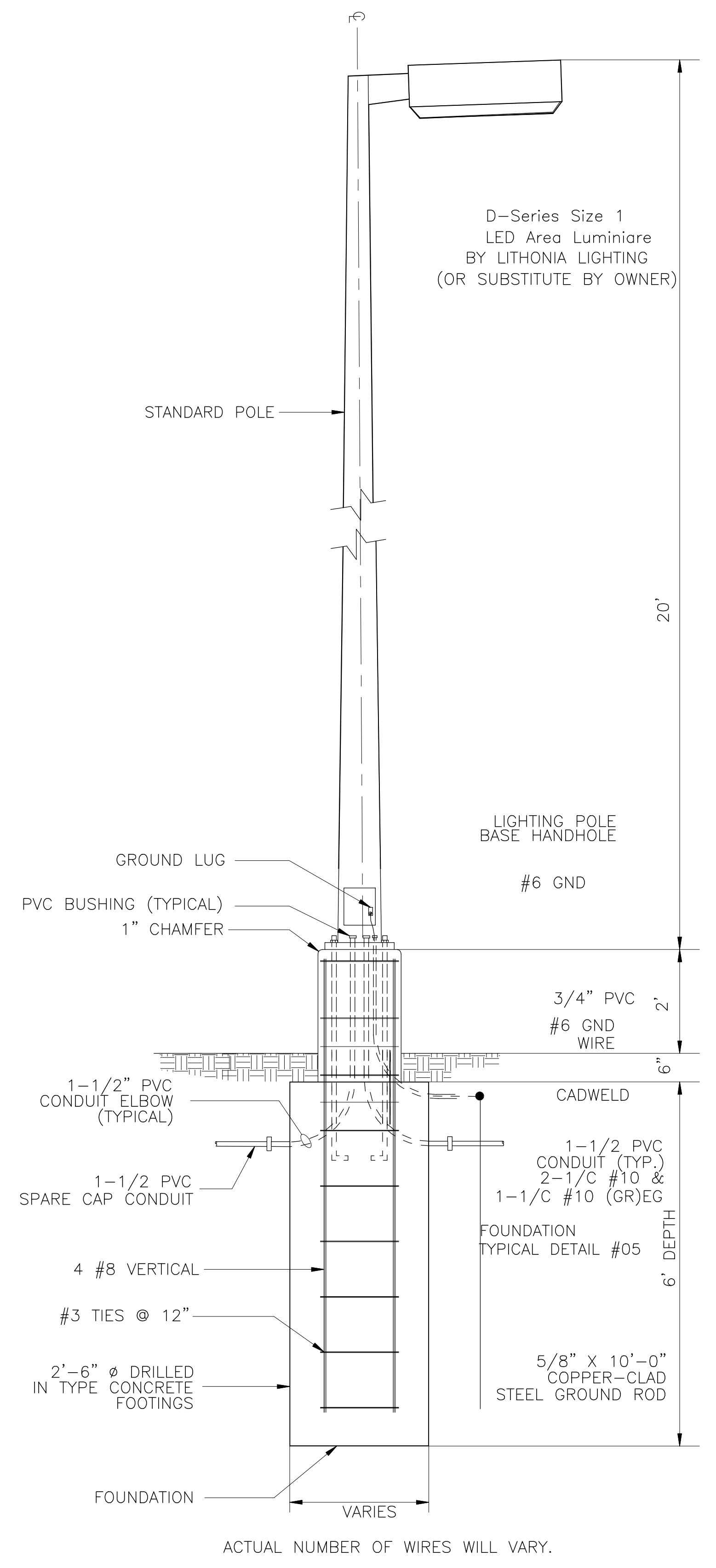
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REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**POLE'S DETAIL**  
 FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
 CITY OF ROCKWALL, TEXAS

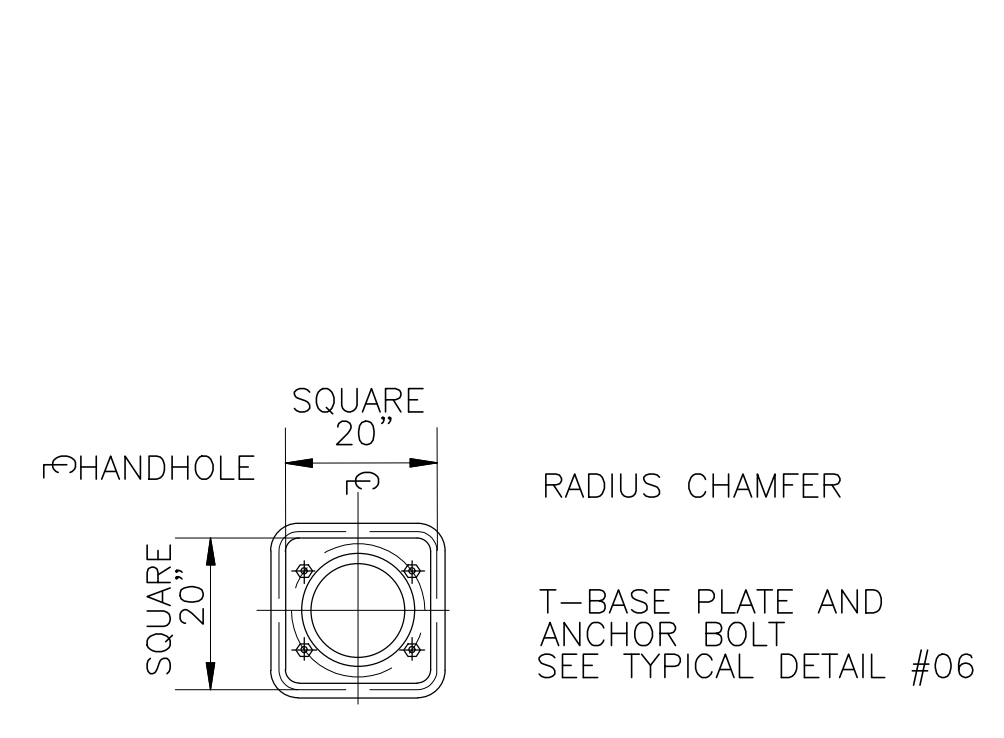


**ASA ENGINEERING**  
 17819 DAVENPORT ROAD, SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 248-9851  
 TX T.B.P.E. REGISTRATION # F-006974  
 T.B.P.L.S. FIRM REGISTRATION # 100433

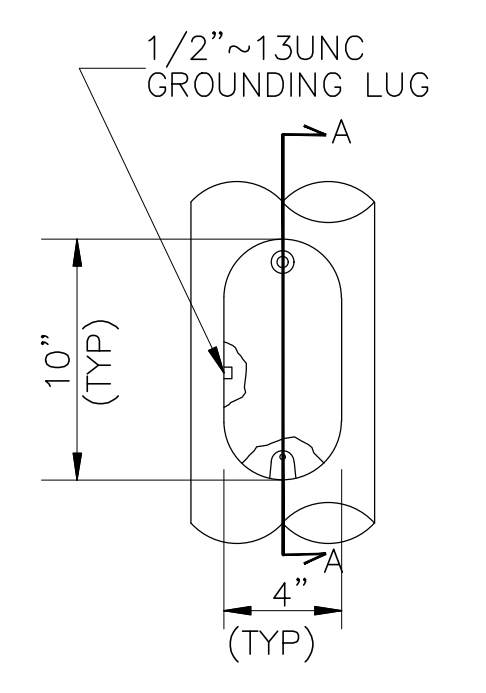
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 DRAWN: PSA  
 CHECKED: PSS  
 PROJECT NO. 21737.VPR  
 DATE: JULY 13, 2018  
 SHEET: C-06



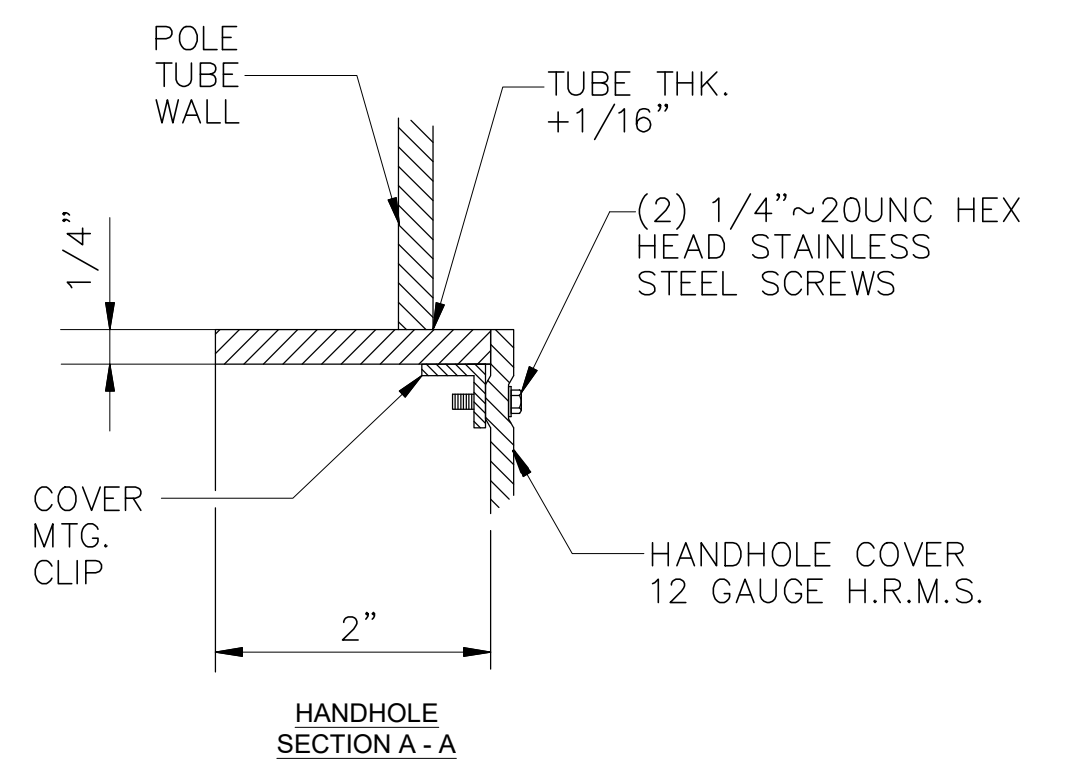
**02 TYP. SINGLE LIGHT POLE DETAILS**  
NTS



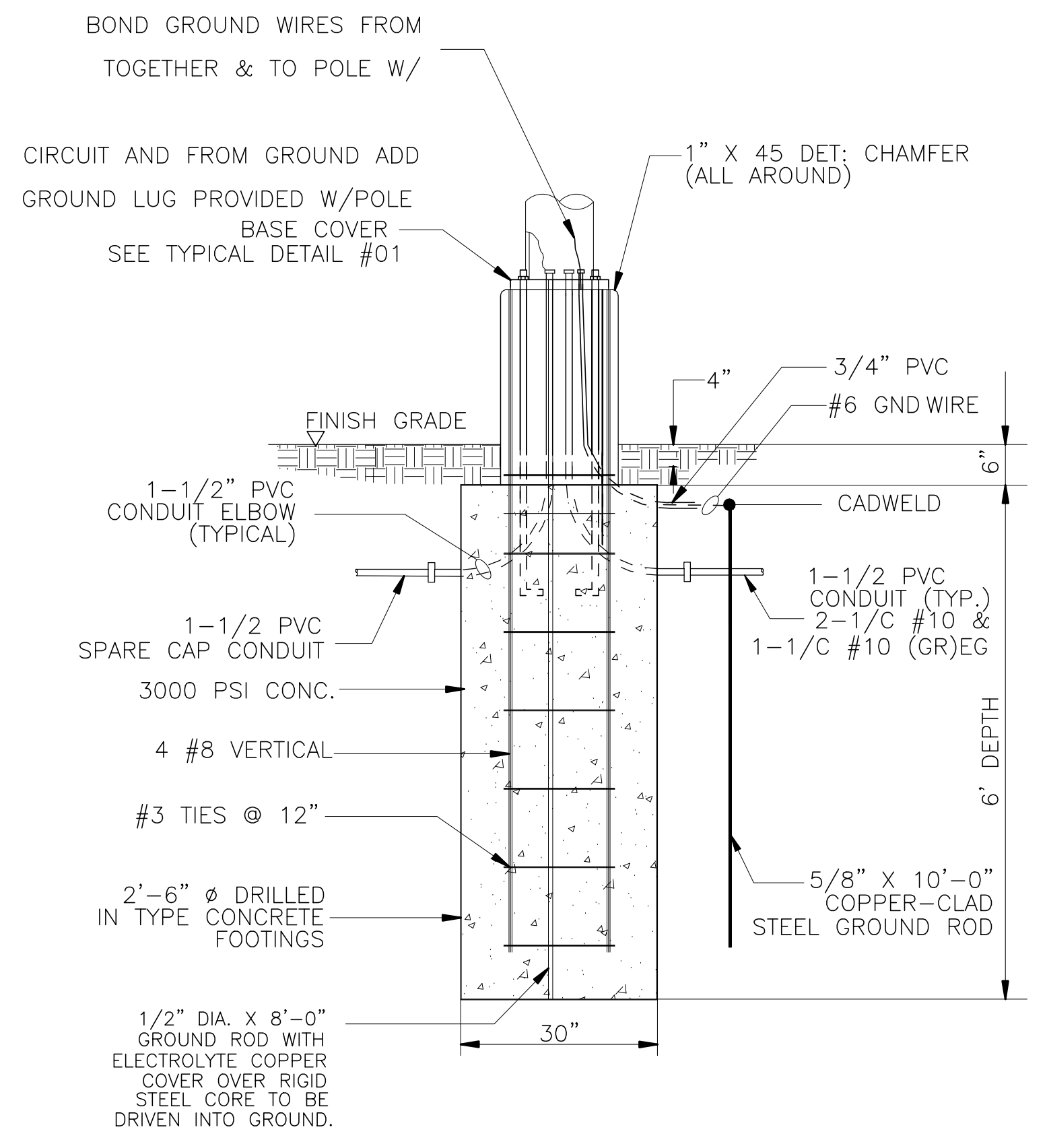
**01 TYPICAL DETAIL**



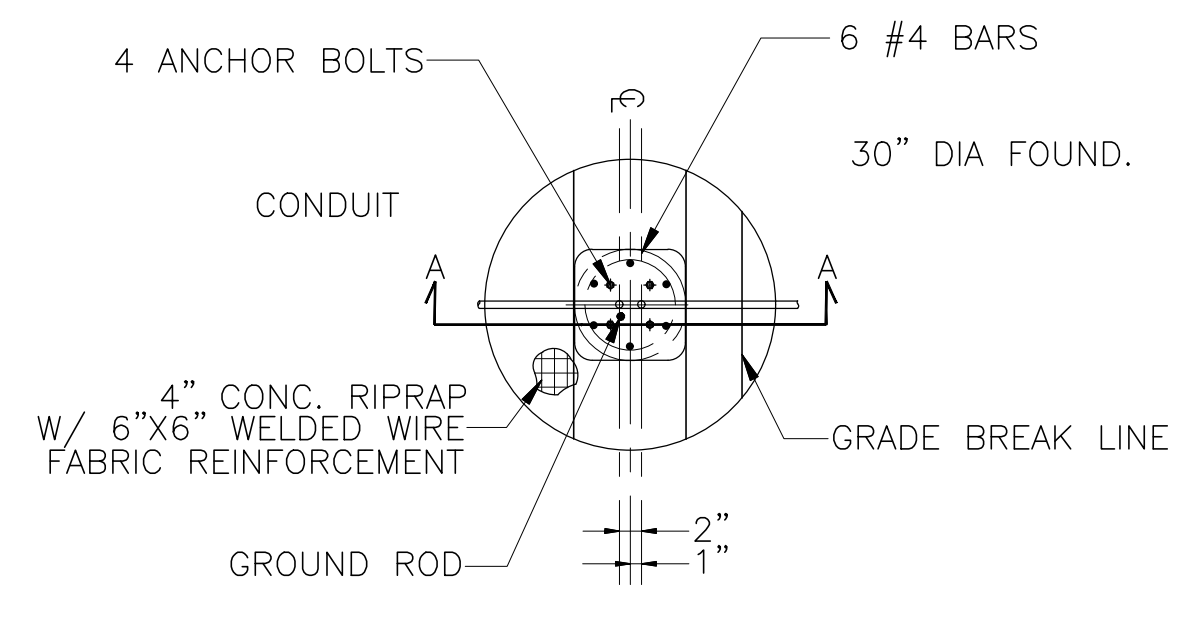
**TYPICAL DETAIL HANDHOLE ELEVATION**



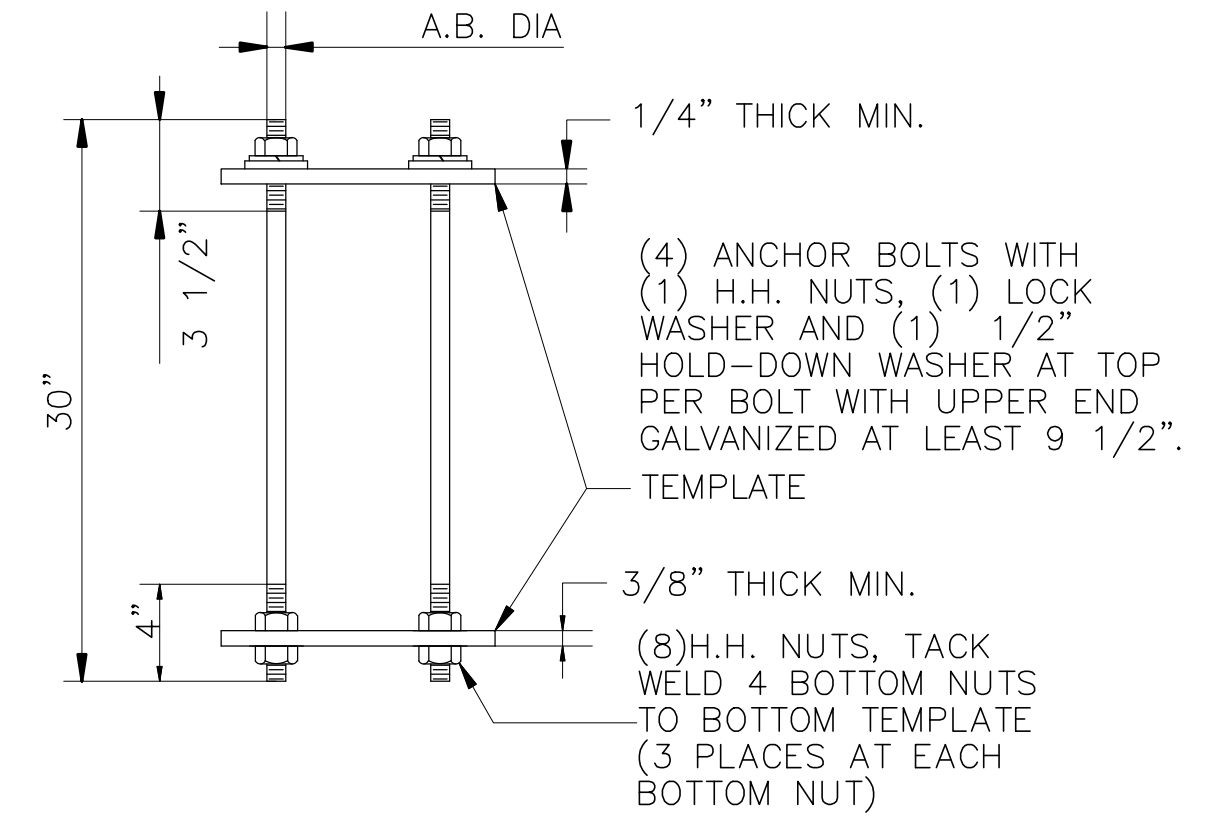
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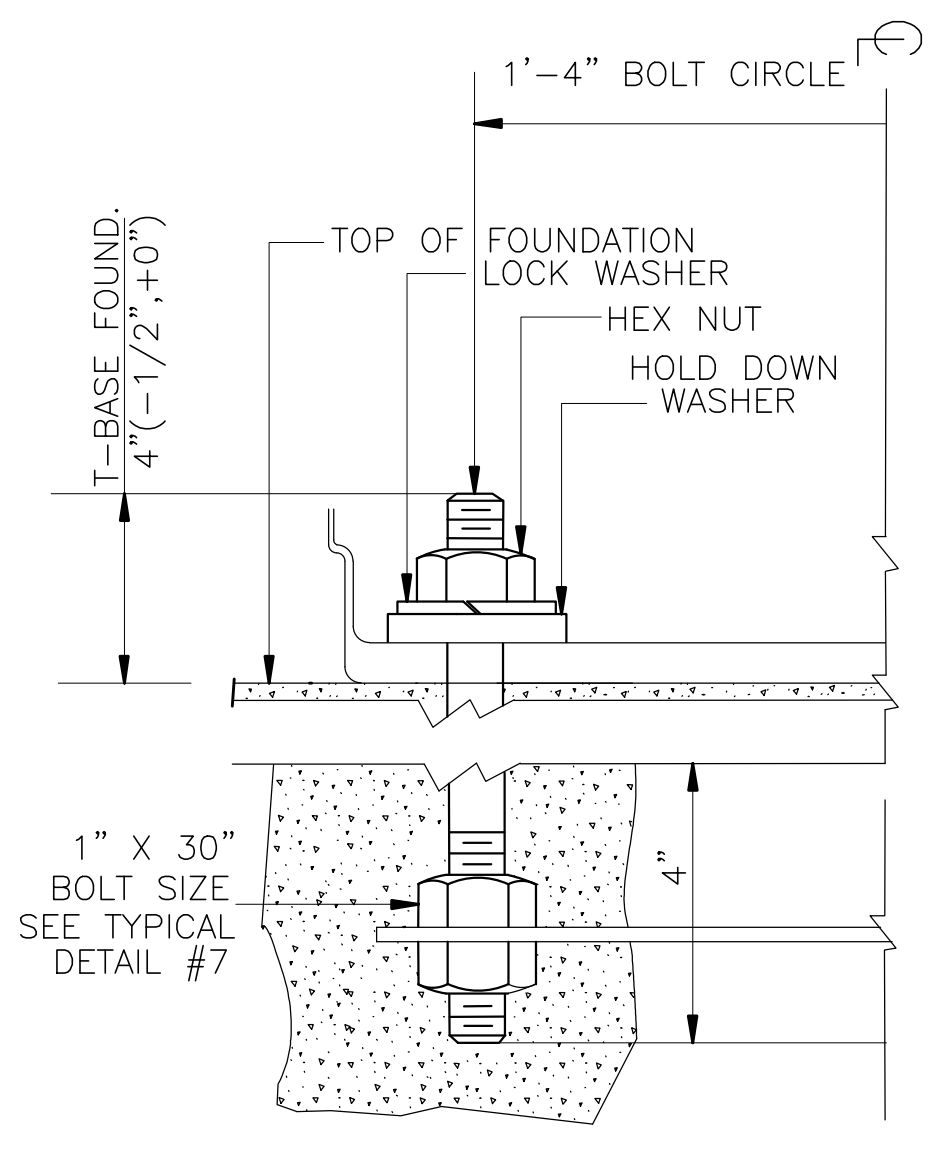
**05 SECTION A-A'**  
NTS



**04 TYPICAL DETAIL**  
NTS



**06 TYPICAL DETAIL**  
NTS



**07 TYPICAL DETAIL**  
NTS







REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

EXTERIOR ELEVATIONS

FOR

3,920 SF MEDICAL OFFICE @  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

R. T. CHANG, ARCHITECT, INC

ARCHITECTURAL AND PLANNING  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: A5 SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 25, 2018

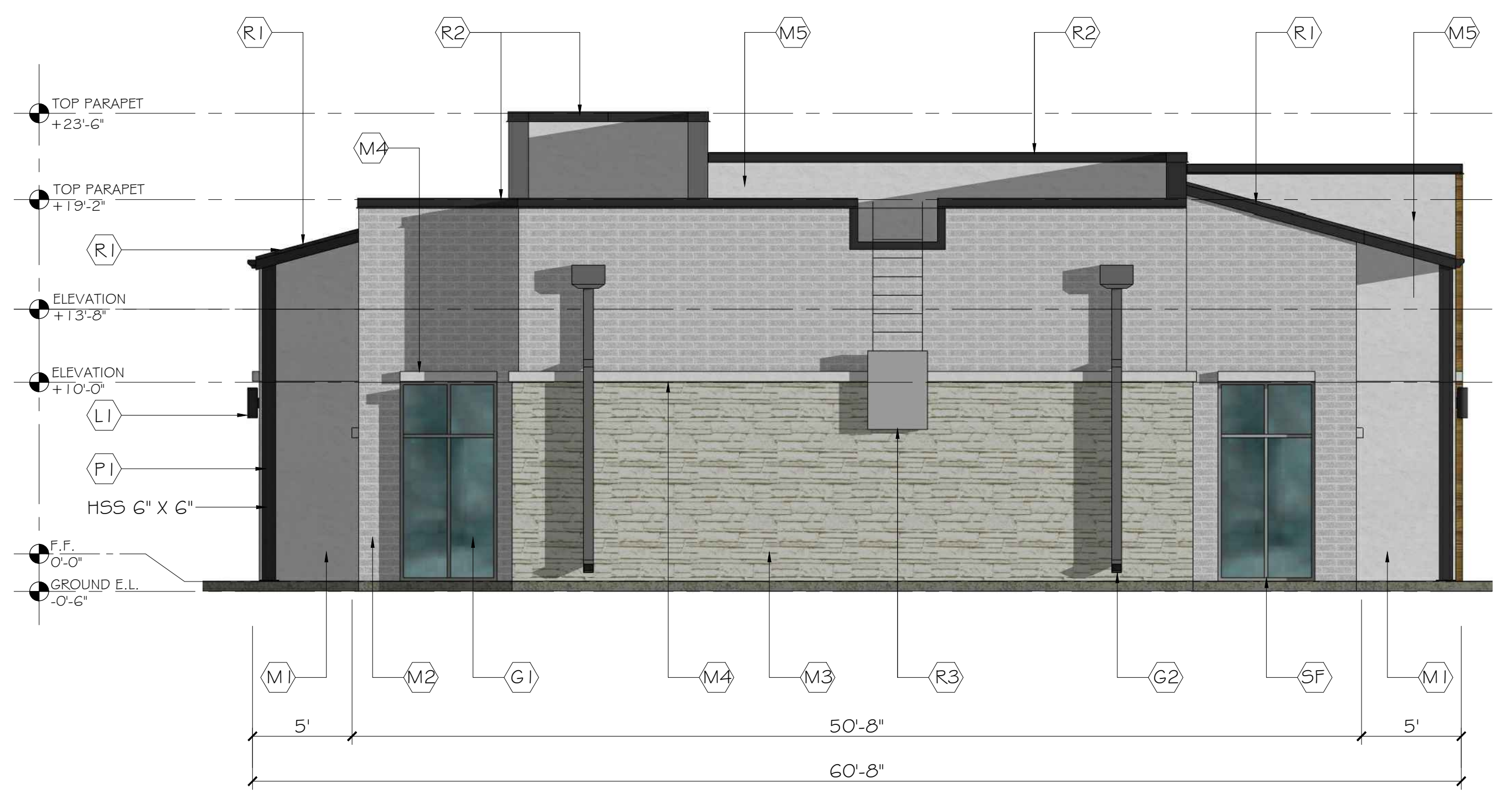
SHEET: A2.0



**1** FRONT ELEVATION ( NORTH )  
SCALE 3/16" = 1'-0"



**2** LEFT SIDE ELEVATION ( WEST )  
SCALE 3/16" = 1'-0"



**3** FRONT ELEVATION ( NORTH )  
SCALE 3/16" = 1'-0"



**4** RIGHT SIDE ELEVATION ( EAST )  
SCALE 3/16" = 1'-0"

EXTERIOR MATERIALS & FINISH

- (A1) = AWNING; FLAT METAL AWNING, COLOR "DARK GRAY"
- (G1) = GLAZING; 1/2", 1/2" INSULATED GLASS
- (G2) = GALV. GUTTER & GALV. DOWN SPOUT; COLOR "P2"
- (R1) = STANDING SEAM METAL ROOF; COLOR "CHARCOAL GREY"
- (R2) = METAL COPING; COLOR "P1"
- (R3) = ROOF LADDER; STEEL ROOF LADDER
- (SF) = STOREFRONT; ALUM. STOREFRONT DOOR & WINDOW
- (M1) = 3 LAYERED STUCCO WALL W/ DRYVIT FINISHES; COLOR "P3"
- (M2) = BRICK VENEER; ACME BRICK MODULAR SIZE, MODEL "SMOOTH", COLOR "PEP1 GG - MARBLE GRAY"
- (M3) = 2" STONE VENEER; CORONADO STONE PRODUCTS, MODEL "COUNTRY RUBBLE", COLOR "CHALK"
- (M4) = 3 LAYERED STUCCO WINDOW BAND; COLOR "P3"
- (M5) = STUCCO W/ DRYVIT FINISHES COLOR "P3"
- (MG) = ENGINEERED WOOD PLANK; NATURAL TONE CEDAR, 1/2" @ 6" HT.

EXTERIOR COLOR PAINT

- (P1) = EXTERIOR COLOR PAINT (DARK GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7069 (IRON ORE)
- (P2) = EXTERIOR COLOR PAINT (LIGHT GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7066 (MEDIUM GREY)
- (P2) = EXTERIOR COLOR PAINT (MAUVE); COLOR TO MATCH SHERWIN-WILLIAMS #6154 (NACRE)

EXTERIOR LIGHT FIXTURE

- (LI) = EXTERIOR WALL SCONE ; PROGRESS LIGHTING, BLACK CYLINDER 14" TALL
- (L2) = EXTERIOR EMERGENCY LIGHT COLOR

Z:\2017\21737.VPR\CURRENT\ARCH\03 MEDICAL BUILDING\CONCEPTA-1.0 BLDG FLOOR PLAN 18-07-25.dwg, DWG To PDF.pc3



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE - SIDE VIEW\_TENANT #300  
NTS



2 PERSPECTIVE - SIDE VIEW\_TENANT #310  
NTS



3 PERSPECTIVE - REAR\_TENANT #300  
NTS



4 PERSPECTIVE - REAR\_TENANT #310  
NTS

PERSPECTIVE - SIDE & REAR  
FOR  
3,920 SF MEDICAL OFFICE @  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

R. T. CHANG, ARCHITECT, INC  
ARCHITECTURAL AND PLANNING  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN  
DESIGNED: RC  
DRAWN: PSA  
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 25, 2018

SHEET: A3.2



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:  
REVISION CLOUD MAY NOT  
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - FRONT ENTRY

FOR  
3,920 SF MEDICAL OFFICE @  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

R. T. CHANG, ARCHITECT, INC  
ARCHITECTURAL AND PLANNING  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN  
DESIGNED: RC  
DRAWN: PSA  
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 25, 2018

SHEET: A3.1



1 PERSPECTIVE - FRONT ENTRY  
NTS



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMO

**AGENDA DATE:** 08/14/2018

**APPLICANT:** Pan Sribhen P.E. of PSA Engineering

**AGENDA ITEM:** **SP2018-024**; Site Plan; Medical Office Building

**SUMMARY:**

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated east of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

**PURPOSE AND BACKGROUND:**

The applicant is requesting the approval of a *site plan* for the purpose of constructing a single-story, 3,920 SF medical office building (MOB). The proposed MOB will be situated on a 1.003-acre parcel of land identified as a portion of Lot 6, Block A, La Jolla Pointe, Phase 2 Addition that is located east of the intersection of Carmel Circle and Laguna Drive, is within the IH-30 Overlay (*IH-30 OV*) and Scenic Overlay (*SOV*) Districts, and is zoned *Commercial (C) District*.

**DENSITY AND DIMENSIONAL REQUIREMENTS:**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a medical office building is permitted *by-right* within the Commercial (C) District. With the exception of the items listed in the *Project Plan Review*, the items listed in the *Recommendation* section of this case memo, and the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations conform to the technical requirements contained within the IH-30 Overlay (*IH-30 OV*), Scenic Overlay (*SOV*) Districts and the Unified Development Code (UDC). A summary of the density and dimensional requirements for the subject property is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>x=1.003-Acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>x&gt;195-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x&gt;112-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x&gt;15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>20-Feet + ½<sup>1</sup></i>	<i>x&gt;20-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet<sup>1</sup></i>	<i>x=8-Feet; Not In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Ft w/o SUP<sup>2</sup></i>	<i>x&lt;36 Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>x=8.99%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x&gt;90%; In Conformance</i>



<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Number of Parking Spaces</i>	20	20 Provided; In Conformance
<i>Minimum Stone Requirement (SH205 OV)</i>	20% ea facade	x> 20%; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	28%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	x<90%; In Conformance

**NOTES:**

<sup>1</sup>: Without fire retardant wall, or alley: ten feet, or as required by building and/or fire codes.

<sup>2</sup>: Maximum building height: 240 feet. Any structure over 36 feet shall require a specific use permit.

**TREESCAPE PLAN:**

The applicant has provided a treescape plan indicating a total of 99 caliper inches being removed from the site, the majority of which are White Oak trees. As a note, protected trees are any tree that has a diameter of four (4) inch caliper dbh or greater, with the exception of Bois d’Arc, Willow, Cottonwood, Locust, and Chinaberry. Hackberry and Cedar trees that have a dbh of less than 11 caliper inches are not considered protected trees. The applicant intends to mitigate for all inches on site by planting a total of 48 caliper inches and applying the mitigation credit balance of 152-inches caliper from SP2018-023 in order to satisfy the mitigation requirements. This will leave a credit balance of 101 caliper inches being applied towards the treescape plans associated within the Vora Addition. According to Section 3.4, *Treescape Plan Review Process*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), the Planning and Zoning Commission will review and approve or disapprove the treescape plan. The decision of the Planning and Zoning Commission may be appealed to the City Council. The mitigation is considered to be satisfied.

**VARIANCE AND EXCEPTION REQUESTS:**

The applicant is requesting variances to the requirements of the Scenic Overlay (SOV) District and the Unified Development Code (UDC) for the sections outlined below. It should be noted, that for the subject property some of these variance requests will require approval by a ¾ majority vote of those City Council members present due to the subject property being located within an established overlay district. The requests are as follows:

- 1) Section 4.1.C.1.b, of Article V, of the UDC requires all building facades not extend for a distance more than three (3) times the walls height without having an off-set vertically. The elevations depict the east and west facing façade do not meet this requirement. This will require approval by the City Council. [Simple Majority Vote]
- 2) Section 6.8.D.2, of Article V, of the Scenic Overlay (SOV) District requires buildings less than 6,000 SF be designed with a pitched roof. A variance for not meeting the pitched roof standard by allowing a flat roof design as depicted in the elevations require approval by the City Council. [3/4 Majority Vote]
- 3) Section 6.8.D.5, of Article V, of the Scenic Overlay (SOV) District requires a row of trees to be planted on the perimeter behind the building. A variance for not meeting this requirement requires approval by the City Council. [3/4 Majority Vote]

A request for a variance or exception as outlined above is a discretionary decision for the City Council.



### **ARCHITECTURAL REVIEW BOARD RECOMMENDATION:**

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board reviewed the Coronado stone with the wood appearance and the additional elements associated with this buildings' design. The board made a motion to approve the elevations as presented, which included the request for variance to the articulation and roof design. The motion passed unanimously 7 to 0.

### **RECOMMENDATIONS:**

If the Planning & Zoning Commission and City Council choose to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2018-024	<b>Owner</b> ROCKWAY, PARTNERS LLP	<b>Applied</b> 7/17/2018 LM
<b>Project Name</b> MEDICAL OFFICE BUILDING	<b>Applicant</b> PSA ENGINEERING, LLC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 7/24/2018 DG

<b>Site Address</b> 550 LA JOLLA POINTE DR	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> RICHARD HARRIS	<b>Tract</b> 6	<b>Block</b> A	<b>Lot No</b> 6	<b>Parcel No</b> 4119-000A-0006-00-0R	<b>General Plan</b>
--------------------------------------	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:15 PM SH)						
- Impact Fees must be paid.						
- 4% Engineering Inspection fees						
- Must meet all Engineering Standards of Design						
- All storm outfalls of flow downstream not at a 90* angle.						
- Must build complete water line loop now						
- Must check existing detention to make sure the approved volume and outfall is still correct						
- Need to establish the 100-yr water surface elevation in open channel area						
- Parking to be 20' by 9' standard.						
- No trees within 5' of public utilities.						
- Walls 3' and taller must be designed by an engineer.						
- Retaining walls must be rock or stone faced						
- Dumpster to drain to an oil/water separator.						
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning						
- No grate inlets allowed						
- Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide.						
- Must loop water line now.						
- Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives.						
- Driveway spacing must be 100' minimum.						
- 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
- Please see the attached mark up.						
(7/25/2018 4:17 PM SH)						
- Must add 5' sidewalks along La Jolla Dr. 2' off of property line.						
- Will the sewer lines under La Jolla be bored or Steet encased?						
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
(7/19/2018 10:20 AM LS)						
Address assignment will be:						
550 LA JOLLA POINTE DR, ROCKWALL, TX 75087						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/24/2018	7 COMMENTS	See comments

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label all revised site plan documents with "Case No. SP2018-024" at the lower right corner.
4. The development is to comply with the Scenic Overlay (SOV) District standards.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:

The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):

1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical and horizontal articulation for the east and west elevations.
2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north, south, east & west elevations.
3. Sec. 6.8.D.1: Approval of a variance for exceeding the 50% cementaceous materials (i.e. appears to be stucco?) for the east and west elevations.
4. Sec. 6.8.D.2: Approval of a variance for not meeting the pitched roof requirement for a building less than 6,000 SF by allowing for a flat roof design.
5. Sec. 6.8.D.5: Approval of a variance for not meeting the four sided articulation fo the building design with the same materials, detailing, and features.
6. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building.
7. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof.

THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:

- a. On & Off-Site Surface Drainage Area Map - submit with civil set.
- b. Proposed Utility Layout Plan - submit with civil set.
- c. Level 01 - Floor Plan - submit with building permit.
- d. Overall Location - informational only.

\*\* Please address the following Planning Comments for each plan submitted:

Site Plan:



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<ol style="list-style-type: none"> <li>1. Relabel all firelane as '25-ft Firelane, Public Access &amp; Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).</li> <li>2. Where is the dumpster enclosure? As a note, it cannot face the street. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with walls to a minimum of 8-ft in height and the exterior materials matching the primary structure. Provide detail.</li> <li>3. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such</li> <li>4. Where are the HVAC units? Are these ground mounted or RTU's? Must be screened from rights-of-way and open space. Provide detail.</li> <li>5. Side yard set-back for the south facing elevation must be a minimum of 10-ft unless this is a fire retardant wall. If fire retardant, check with fire department for specifications on meeting this requirement</li> </ol>						

Landscape Plan:

1. Provide a row of trees behind the perimeter of the building per SOV standards
2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.

Treescape Plan:

1. Mitigation credit of 44 inches to be used towards mitigation balance of office and medical building sites [SP2018-024 & SP2018-025]. This will leave a credit balance of 8 inches to be applied to SP2018-025. Mitigation balance satisfied for this project.

Photometric Plan:

1. Provide a separate photometric plan for each lot/development.
2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan
3. Exterior lightpole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above

Building Elevations:

1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration
2. What type of stone are you using on the building (i.e. natural or manufactured)? If a manufactured stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the manufactured stone product. Please provide a Materials Sample Board for ARB meeting on Tuesday, July 31st.
3. Provide measurements for the height and width of the building for the perspectives or on 2D elevations.
4. Where are the HVAC units being placed. Indicate location and screening of the units from the rights-of-way and open space areas.
5. Provide calculations for all exterior materials and label as such
6. Provide labels for north, south, east & west facing for each elevation
7. See all variances associated with the elevations as submitted above

\*\*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com)

\*\*\*\* Scheduled Meeting Dates to Attend

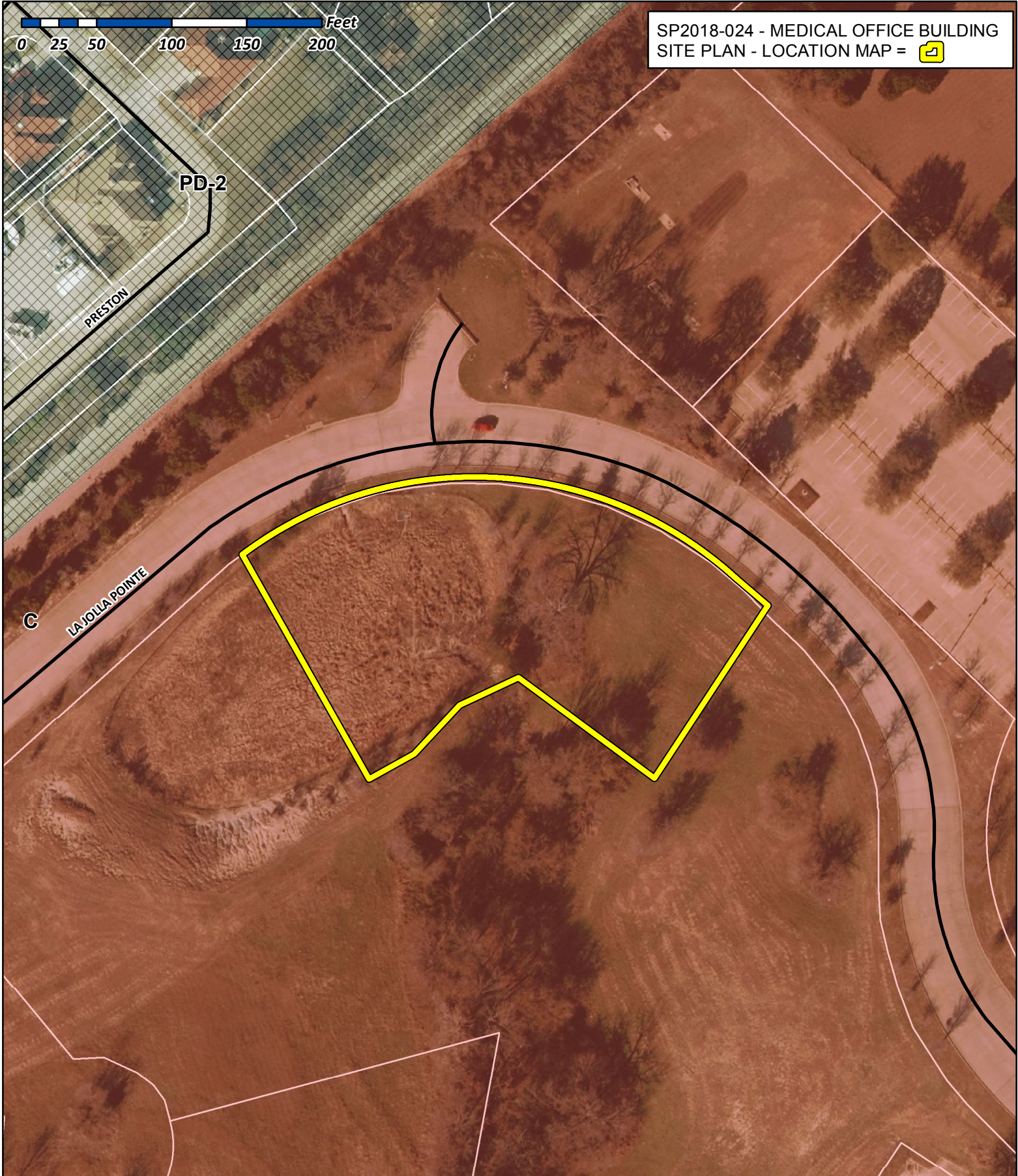
Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]  
 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						





SP2018-024 - MEDICAL OFFICE BUILDING  
 SITE PLAN - LOCATION MAP = 

# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**EXTERIOR ELEVATIONS**  
 FOR  
**VORA CLINIC BUILDING**  
 DFW HOSPITALITY OF ROCKWALL LLC  
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER  
 PSA ENGINEERING  
 17819 DAVENPORT RD.,  
 SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
 ARCHITECTURAL AND PLANNING  
 5834 WINDMIER LANE  
 DALLAS, TEXAS 75252  
 (214) 663-4735

SCALE: AS SHOWN  
 DESIGNED: RC  
 DRAWN: PSA  
 CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

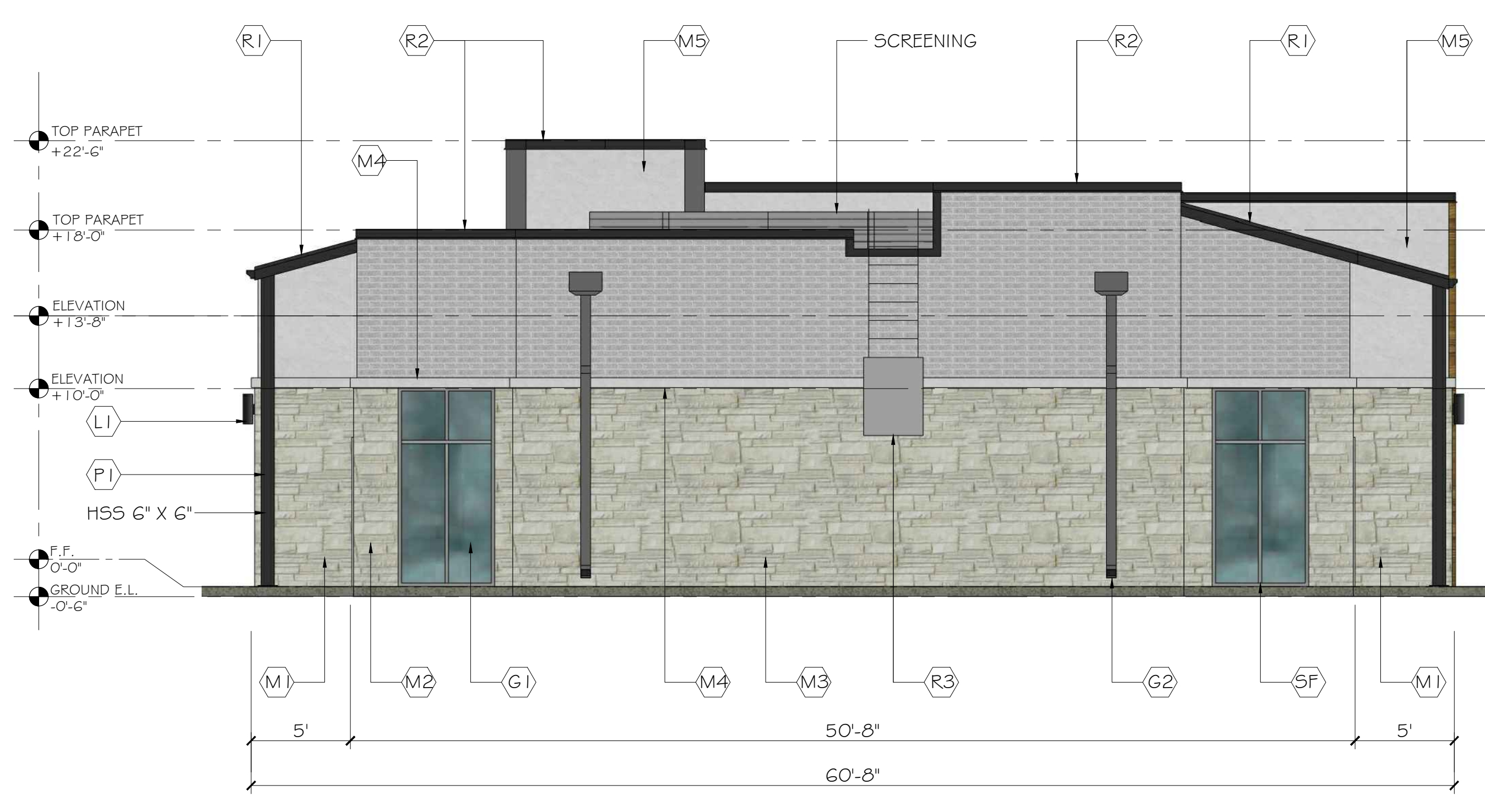
SHEET: **A2.0**



**1 NORTH ELEVATION**  
 SCALE 3/16" = 1'-0"



**2 WEST ELEVATION**  
 SCALE 3/16" = 1'-0"



**3 SOUTH ELEVATION**  
 SCALE 3/16" = 1'-0"



**4 EAST ELEVATION**  
 SCALE 3/16" = 1'-0"

**MATERIALS CALCULATION TABLE - VORA CLINIC BUILDING**

ITEM	DESCRIPTION	NORTH ELEVATION		WEST ELEVATION		SOUTH ELEVATION		EAST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	1,170	100%	1,315	100%	1,039	100%	1,100	100%	4,624	100%
2	GLAZING DOORS & WINDOWS	338	28.9%	263	20.0%	96	9.2%	96	8.7%	793	17.1%
3	NON-GLAZING DOORS&WINDOWS	832	71.1%	1,052	80.0%	943	90.8%	1,004	91.3%	3,831	82.9%
	3.1 TOTAL WALL AREA	789	N/A	786	N/A	899	N/A	853	N/A	3,327	N/A
	3.2 METAL COPING/ AWNING/ ROOF	43	N/A	266	N/A	44	N/A	151	N/A	504	N/A
3.1	STUCCO WALL & STUCCO BAND	48	6.1%	208	26.5%	76	8.5%	230	27.0%	562	16.9%
	BRICK *	276	35.0%	250	31.8%	373	41.5%	347	40.7%	1,246	37.5%
	AUSTIN STONE*	175	22.2%	437	55.6%	494	54.9%	314	36.8%	1,420	42.7%
	CORONADO STONE *(REFINED WOODSTONE)	333	42.2%	157	20.0%	-	0.0%	113	13.2%	603	18.1%
	MASONRY WALL NET AREA (*)	784	94.2%	844	80.2%	867	91.9%	774	77.1%	3,269	85.3%
	NON-MASONRY WALL NET AREA	48	5.8%	208	19.8%	76	8.1%	230	22.9%	562	14.7%
	<b>TOTAL WALL AREA</b>	<b>832</b>	<b>100%</b>	<b>1,052</b>	<b>100%</b>	<b>943</b>	<b>100%</b>	<b>1,004</b>	<b>100%</b>	<b>3,831</b>	<b>100%</b>

**EXTERIOR MATERIALS & FINISH**

- (A1) = AWNING; FLAT METAL AWNING, COLOR "DARK GRAY"
- (G1) = GLAZING; 1/2", 1/2" INSULATED GLASS
- (G2) = GALV. GUTTER & GALV. DOWN SPOUT; COLOR "P2"
- (R1) = STANDING SEAM METAL ROOF; COLOR "CHARCOAL GREY"
- (R2) = METAL COPING; COLOR "P1"
- (R3) = ROOF LADDER; STEEL ROOF LADDER
- (SF) = STOREFRONT; ALUM. STOREFRONT DOOR & WINDOW
- (M1) = STUCCO WALL W/ DRYVIT FINISHES; COLOR "P3"
- (M2) = BRICK VENEER; ACME BRICK MODULAR SIZE, MODEL "SMOOTH", COLOR "PEP I GG - MARBLE GRAY"
- (M3) = AUSTIN STONE; MODEL "COUNTRY RUBBLE, COLOR "CHALK"
- (M4) = STUCCO WINDOW BAND; COLOR "P3"
- (M5) = STUCCO W/ DRYVIT FINISHES COLOR "P3"
- (MG) = CORONADO STONE; REFINED WOODSTONE COLOR " HONEY BLONDE"

**EXTERIOR COLOR PAINT**

- (P1) = EXTERIOR COLOR PAINT (DARK GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7069 (IRON ORE)
- (P2) = EXTERIOR COLOR PAINT (LIGHT GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7066 (MEDIUM GREY)
- (P3) = EXTERIOR COLORED STUCCO (WHITE); OR COLOR TO MATCH SHERWIN-WILLIAMS #6154 (NACRE)

**EXTERIOR LIGHT FIXTURE**

- (L1) = EXTERIOR WALL SCONE ; PROGRESS LIGHTING, BLACK CYLINDER 14" TALL
- (L2) = EXTERIOR EMERGENCY LIGHT (BATTERY BACK UP)

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:  
REVISION CLOUD MAY NOT  
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - NORTHWEST

FOR  
**VORA CLINIC BUILDING**  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
ARCHITECTURAL AND PLANNING  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

SHEET: **A3.1**



1 PERSPECTIVE (NORTHWEST)  
NTS



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE (NORTHEAST)  
NTS



2 PERSPECTIVE (NORTHWEST)  
NTS



3 PERSPECTIVE (SOUTHWEST)  
NTS



4 PERSPECTIVE (SOUTHEAST)  
NTS

PERSPECTIVE - SIDE & REAR  
FOR  
VORA CLINIC BUILDING  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

R. T. CHANG, ARCHITECT, INC  
ARCHITECTURAL AND PLANNING  
5834 WINDMILL LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN  
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CHECKED: RC

PROJECT NO. 21737.VPR

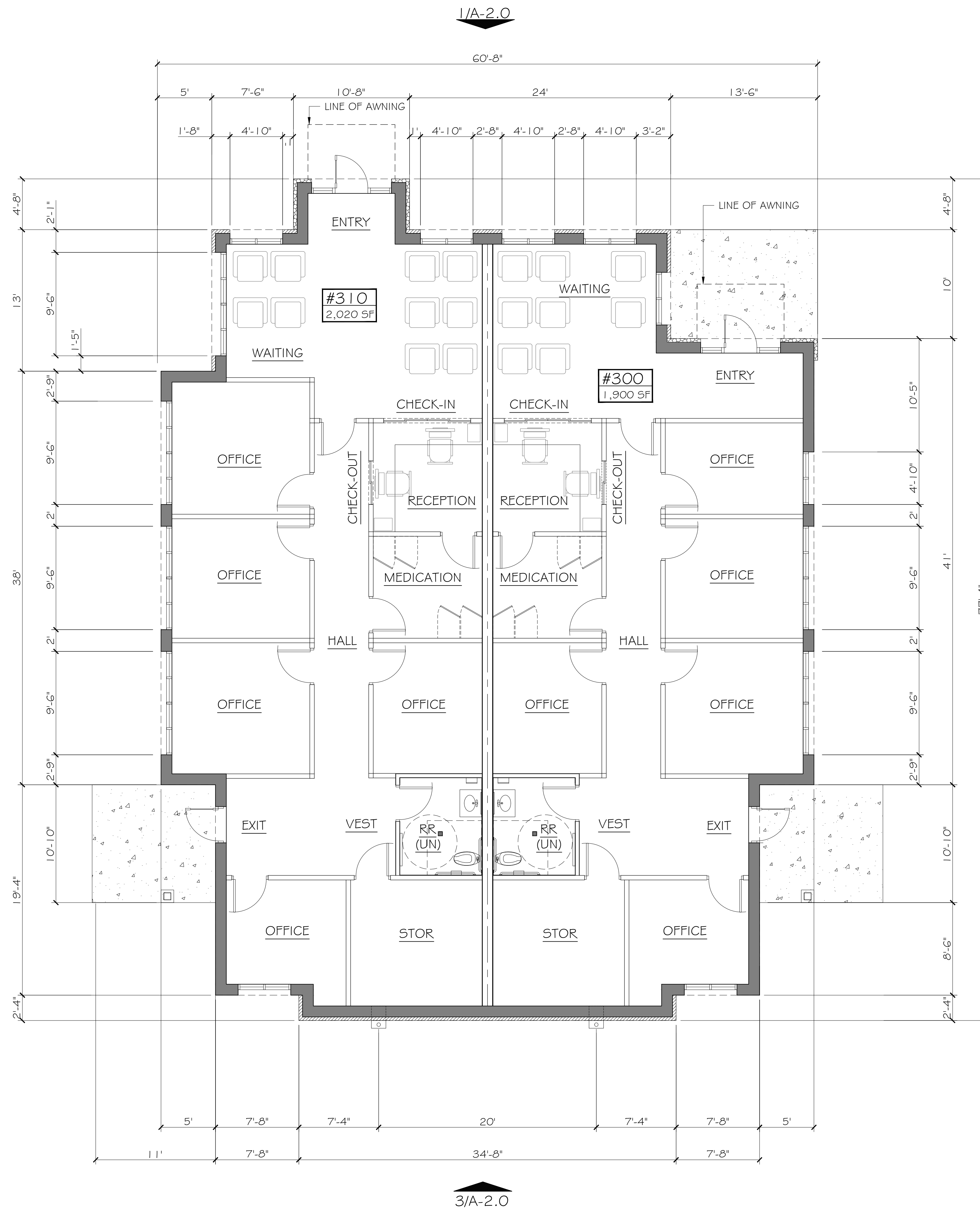
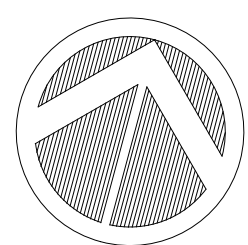
DATE: JULY 31, 2018

SHEET: A3.2

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1 FLOOR PLAN  
SCALE: 3/16" = 1'-0"

**SITE PLAN SET**

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**FLOOR PLAN**  
FOR  
**VORA CLINIC BUILDING**  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER  
PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

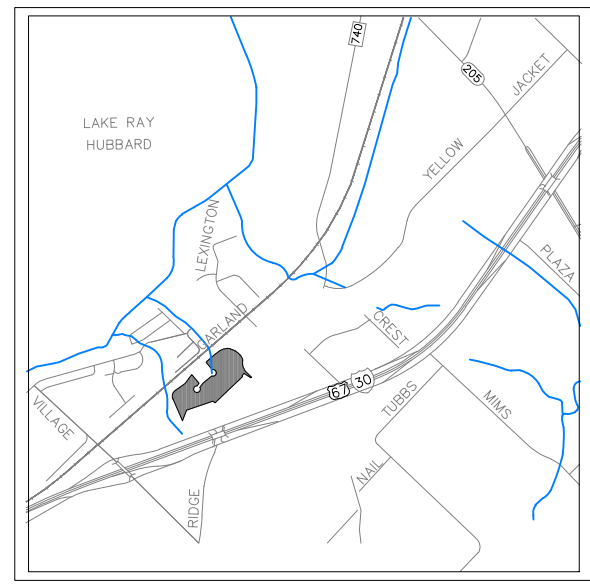
ARCHITECTURAL AND PLANNING  
R.T. CHANG, ARCHITECT, INC.  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN  
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CHECKED: RC

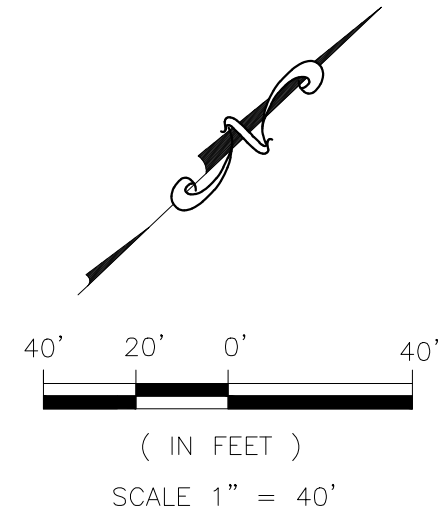
PROJECT NO. 21737.VPR  
DATE: JULY 31, 2018

SHEET: **A1.0**





VICINITY MAP  
N.T.S.



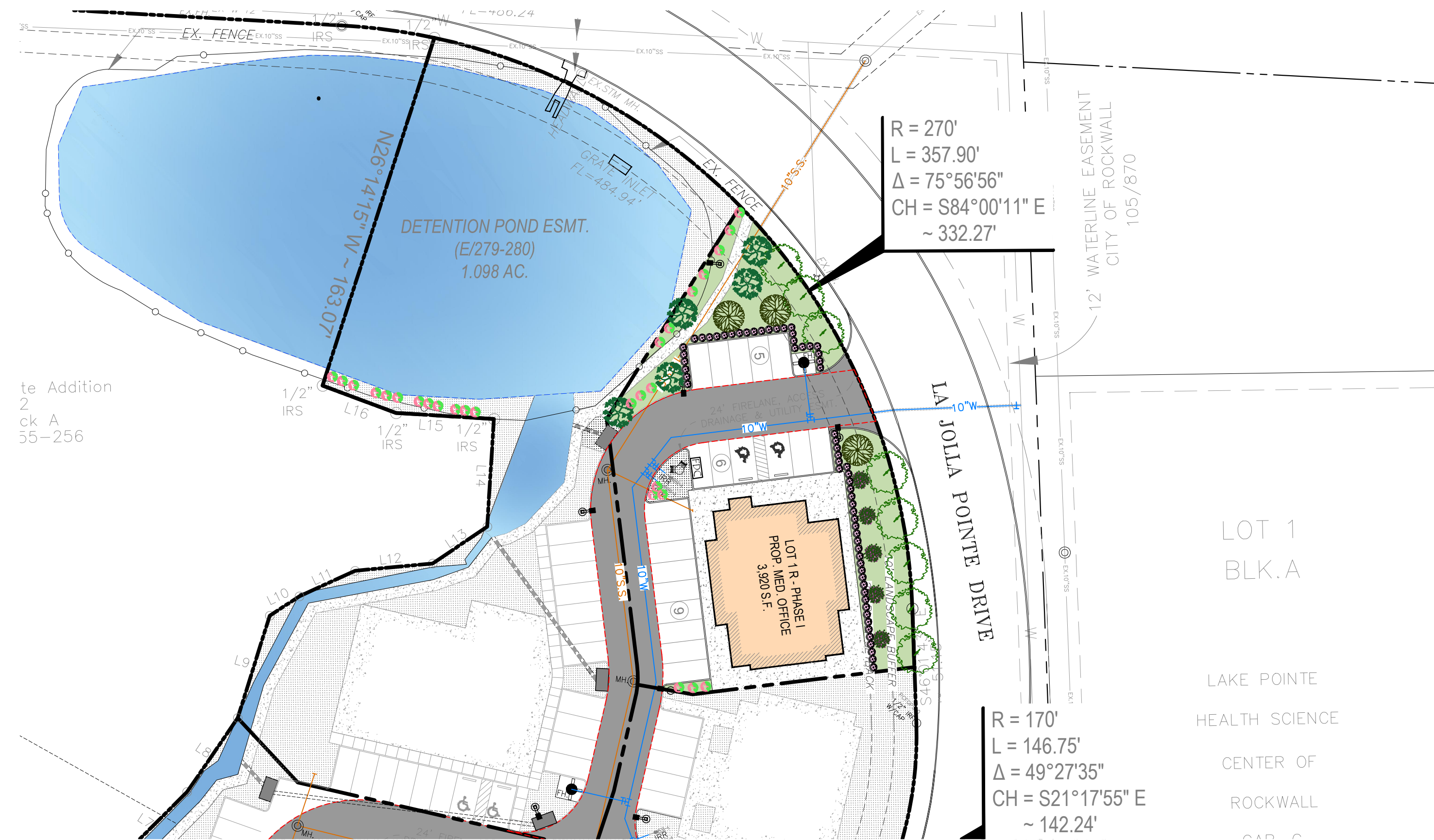
**LEGENDS:**

- PROPERTY LINE
- - - EASEMENT LINE
- 1/2" IRS/IRF
- ⊙ EX.MH.
- MH.
- ⊙ EX.FH.
- FH.

- EXISTING TREE TO KEEP
- LITTLE GEM MAGNOLIA
- TEXAS RED OAK TREE (SHADE)
- EASTERN RED BUD (ORNAMENTAL)
- DWARF INDIAN HAWTHORN
- PAMPAS GRASS
- ERAGROSTIS CURVULA HYDROSEED

**PLANT MATERIAL SCHEDULE :**

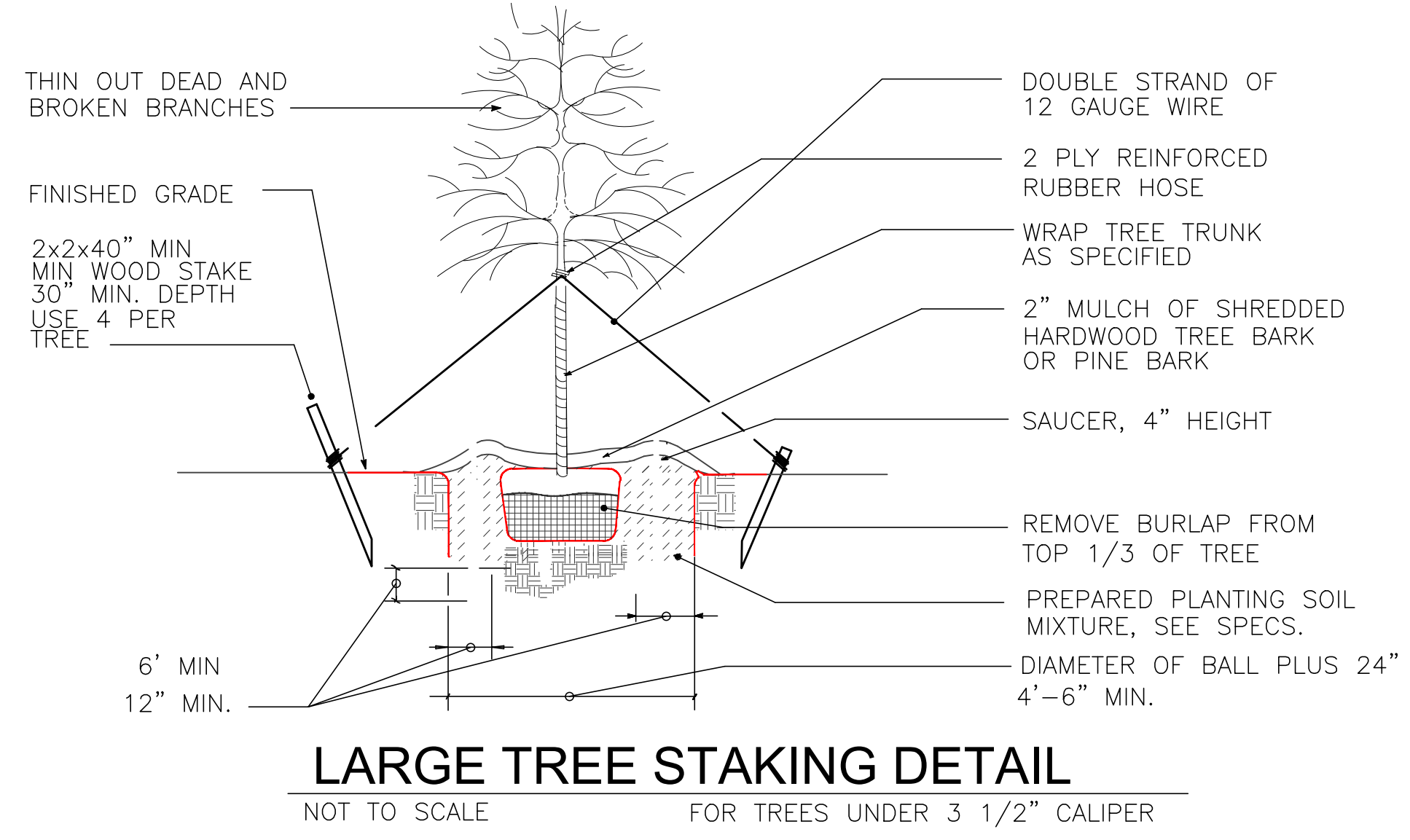
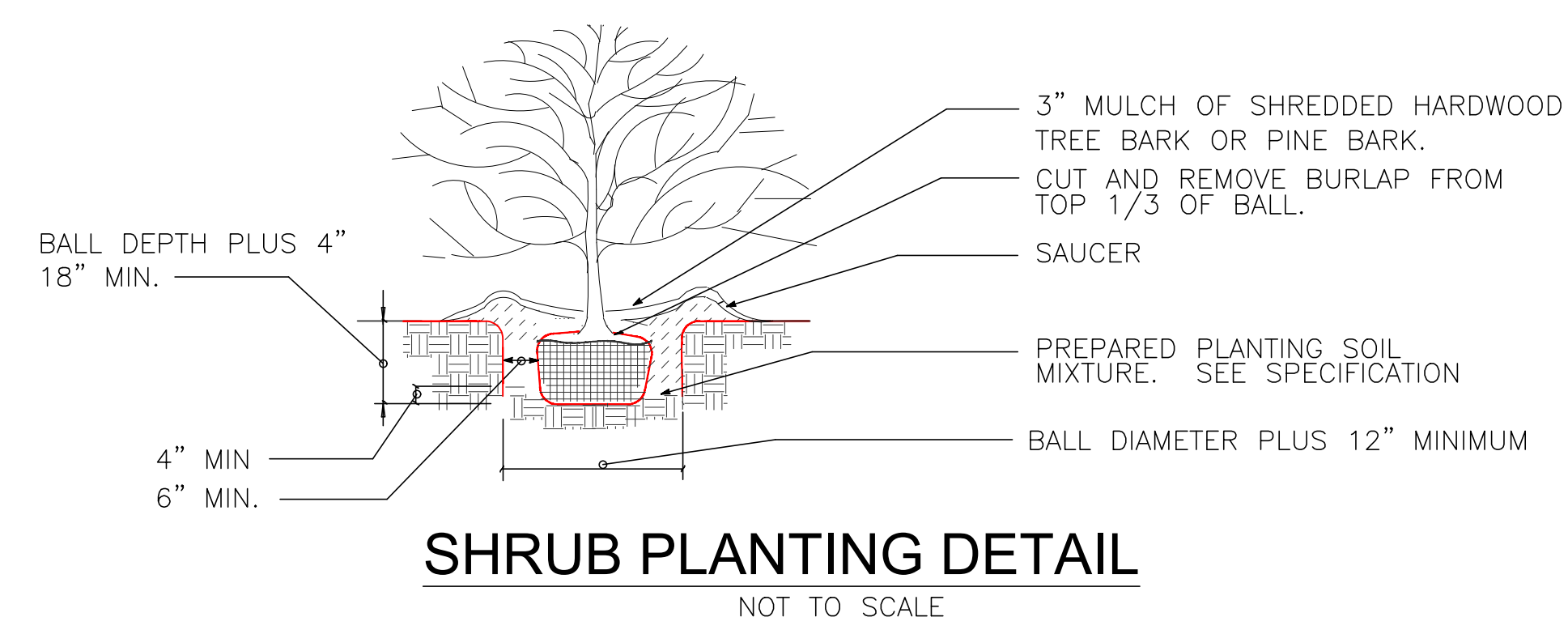
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
5	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
5	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.
63	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
16	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
5,868 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	



**LANDSCAPE TABULATIONS:**

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE ( 227 FT.)	5 TREES	8 TREES
PARKING SPACE (20 SP)		
1 TREE PER 10 REQ. PARKING SPACES ( 20 REQ. SPACES)	2 TREES	3 TREES
AMOUNT OF LANDSCAPING ( TOTAL LOT AREA = 20,927 SF.)	3,139.05 SF.	5,868 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

**FLOOD PLAIN NOTE:**  
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.



**LANDSCAPE NOTE:**

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUBS AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN OR LOCAL TEXAS ASSOCIATION OF NURSERMEN (STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MATRAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDED HARDWOOD MULCH, OR APPROVED EQUAL. STAKE AND GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



**SITE PLANS SET**

NO.	DATE	BY
1	18-08-07	PSS

LANDSCAPE PLAN  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
17818 DAWSONPORT ROAD, SUITE 215  
DALLAS, TEXAS 75248  
(972) 248-8651  
TX T.B.P.E. REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: PSS  
DRAWN: PSA  
CHECKED: PSS

PROJECT NO. 21737-VPR

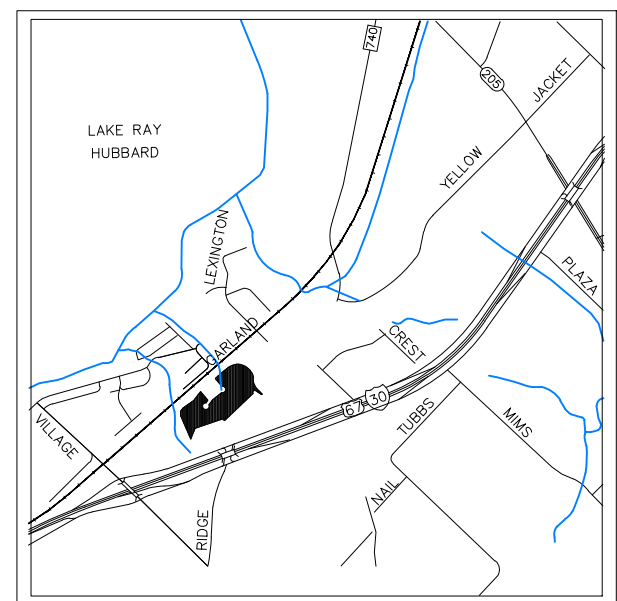
DATE: AUGUST 07, 2018

SHEET: L-01

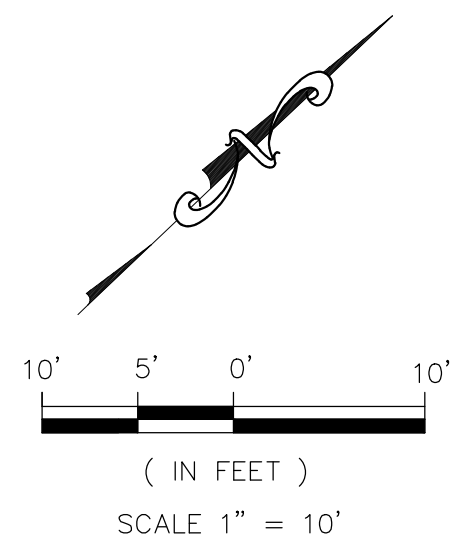








VICINITY MAP  
N.T.S.



**LEGENDS:**

- ⊙ PROP. SITE LIGHTING
- ⊙ PROP. FIRE DEPARTMENT CONN.
- A LIGHT POLE NUMBER
- ⊙ PROP. FIRE DEPARTMENT CONN.

**NOTES:**

1. ATTACH GROUND WIRE SIZED AS PER ELECTRICAL CODE.
2. THE LIGHT POLE FOOTINGS SHALL BE SET AND REINFORCED AS SHOWN ON THE DETAIL EXCEPT FOR THE FOOTINGS LOCATED IN UNSTABLE AREAS OR IN AREAS WITH SHALLOW SOIL.
3. THESE AREAS SHALL BE REDESIGNED WITH THE DEPTH OF FOUNDATION AND REINFORCING REVISED TO MEET POLE AS NOTED BY GEOLOGICAL INSPECTOR.
4. THE STRUCTURAL ENGINEER SHALL REDESIGN AND DETAIL ALL FOOTINGS FOR LOCATIONS INDICATED BY THE CONSULTING GEOLOGIST THAT NEED REVISING.
5. FOR <20' MOUNTING HEIGHT POLE SHALL SHALL INSTALL DEPTH OF FOOTING IS 6' MIN. AND HEIGHT OF SQUARE BASE COVER IS 5-3/4". TX DOT/TRAFFICE STANDARDS/RID(FND)-11.
6. ALL THE SYMBOL MAY NOT SHOW ON PLAN.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊙	5	GAN-AF-09-LED-U-SL4-7050-HSS	SINGLE	N.A.	1.000	GAN-AF-09-LED-U-SL4-7050-HSS

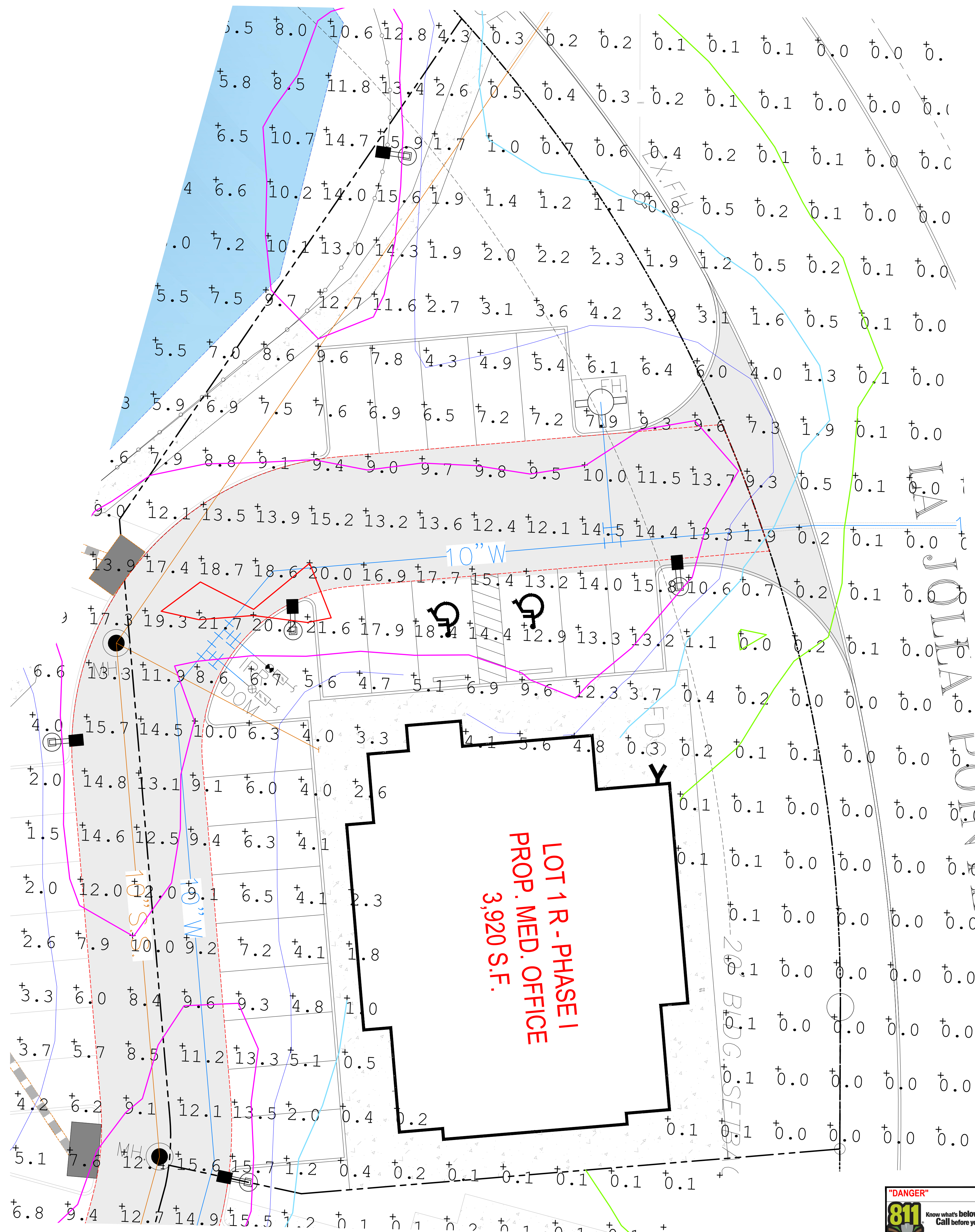
Tag	Qty
SINGLE HEAD	5

LumNo	Label	X	Y	Z	Orient	Tilt
Z	GAN-AF-09-LED-U-SL4-7050-HSS	2591915	7016209	20	168.293	0
AA	GAN-AF-09-LED-U-SL4-7050-HSS	2591875	7016290	20	7.031	0
BB	GAN-AF-09-LED-U-SL4-7050-HSS	2591921	7016311	20	90.663	0
CC	GAN-AF-09-LED-U-SL4-7050-HSS	2591937	7016399	20	173.55	0
DD	GAN-AF-09-LED-U-SL4-7050-HSS	2591990	7016322	20	147.942	0

**Isoline Legend**

Color	Value
Green	0.1
Blue	1
Purple	5
Red	10
Orange	20

LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
Z	GAN-AF-09-LED-U-SL4-7050-HSS	2591915	7016209	20	168.293	0	2591915	7016209	0	1
AA	GAN-AF-09-LED-U-SL4-7050-HSS	2591875	7016290	20	7.031	0	2591875	7016290	0	1
BB	GAN-AF-09-LED-U-SL4-7050-HSS	2591921	7016311	20	90.663	0	2591921	7016311	0	1
CC	GAN-AF-09-LED-U-SL4-7050-HSS	2591937	7016399	20	173.55	0	2591937	7016399	0	1
DD	GAN-AF-09-LED-U-SL4-7050-HSS	2591990	7016322	20	147.942	0	2591990	7016322	0	1



**SITE PLANS SET**

NO.	DATE	BY
1	18-08-07	PSS

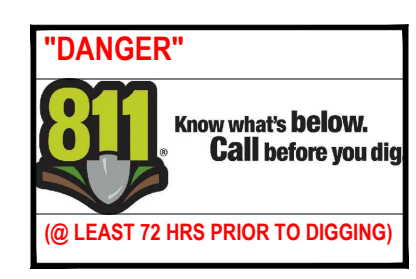
FOR  
**PROP. MED OFFICE SITE LIGHTING**  
**DFW HOSPITALITY OF ROCKWALL LLC**  
 CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
 17819 INDEPENDENT ROAD, SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 246-9661  
 TX STATE REGISTRATION # F-008624  
 I.B.A.L.S. FROM REGISTRATION # 100323

SCALE: AS SHOWN  
 DESIGNED: PSS  
 DRAWN: PSA  
 CHECKED: PSS

PROJECT NO. 21737.VPR  
 DATE: AUGUST 07, 2018  
 SHEET: C-05

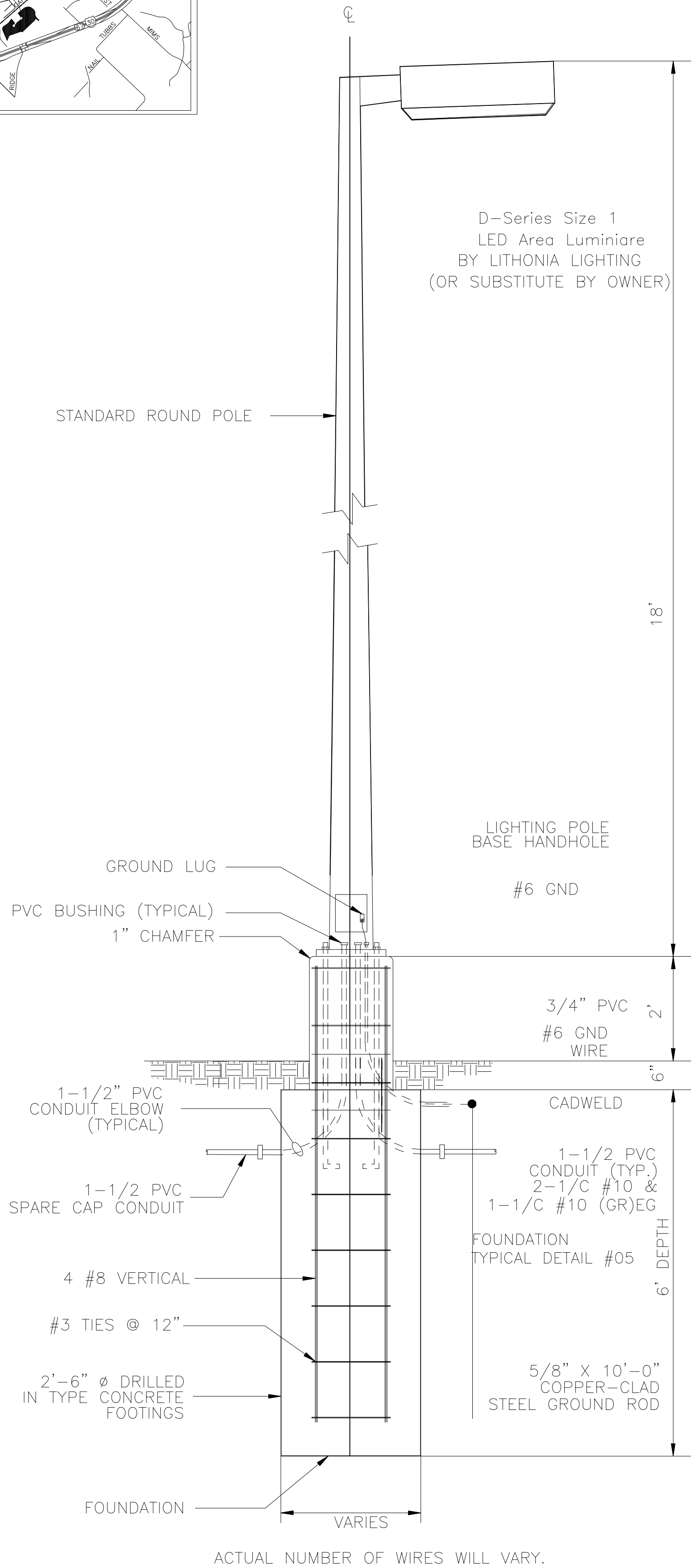
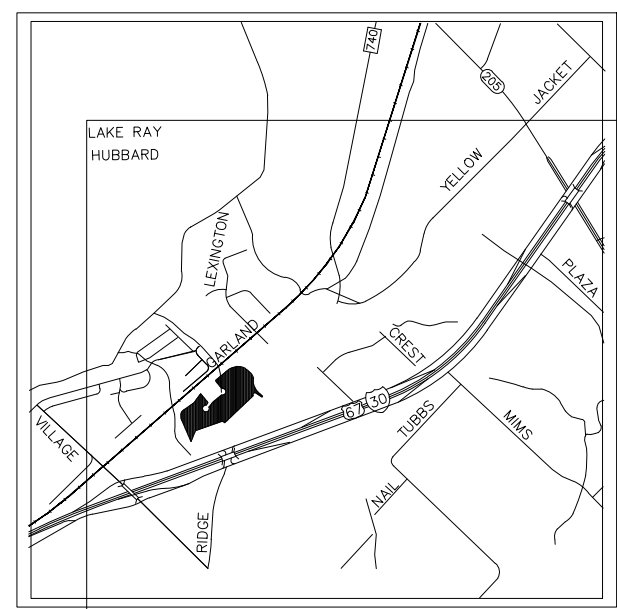


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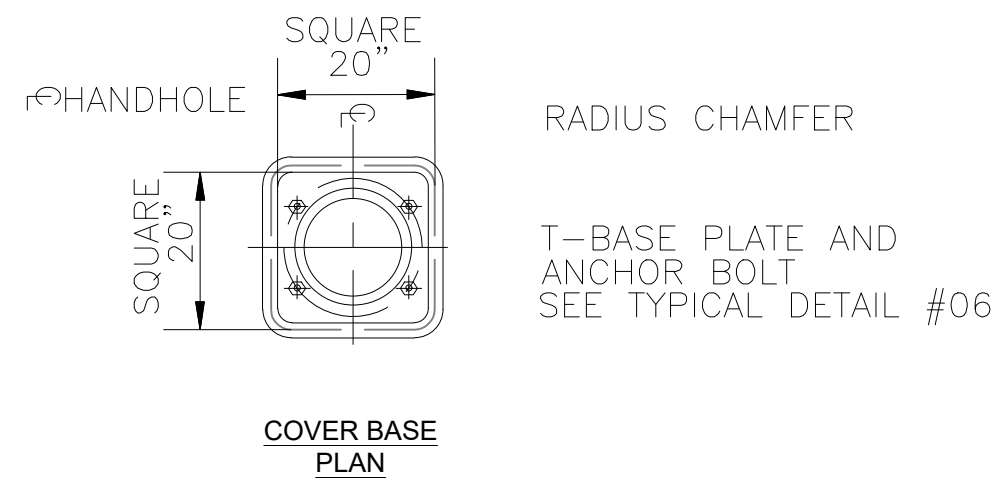


REVISION NO.	DATE	BY
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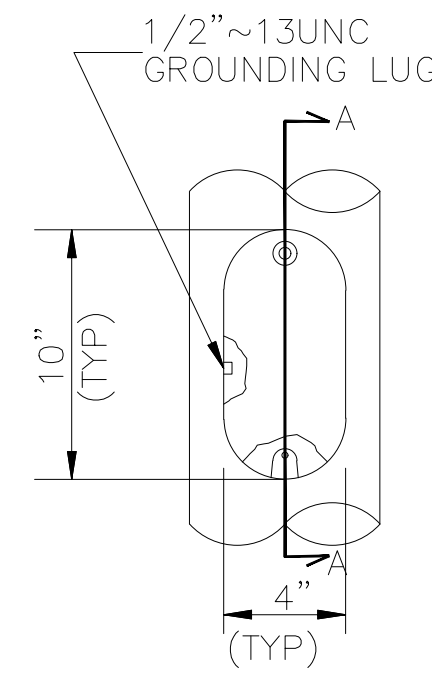
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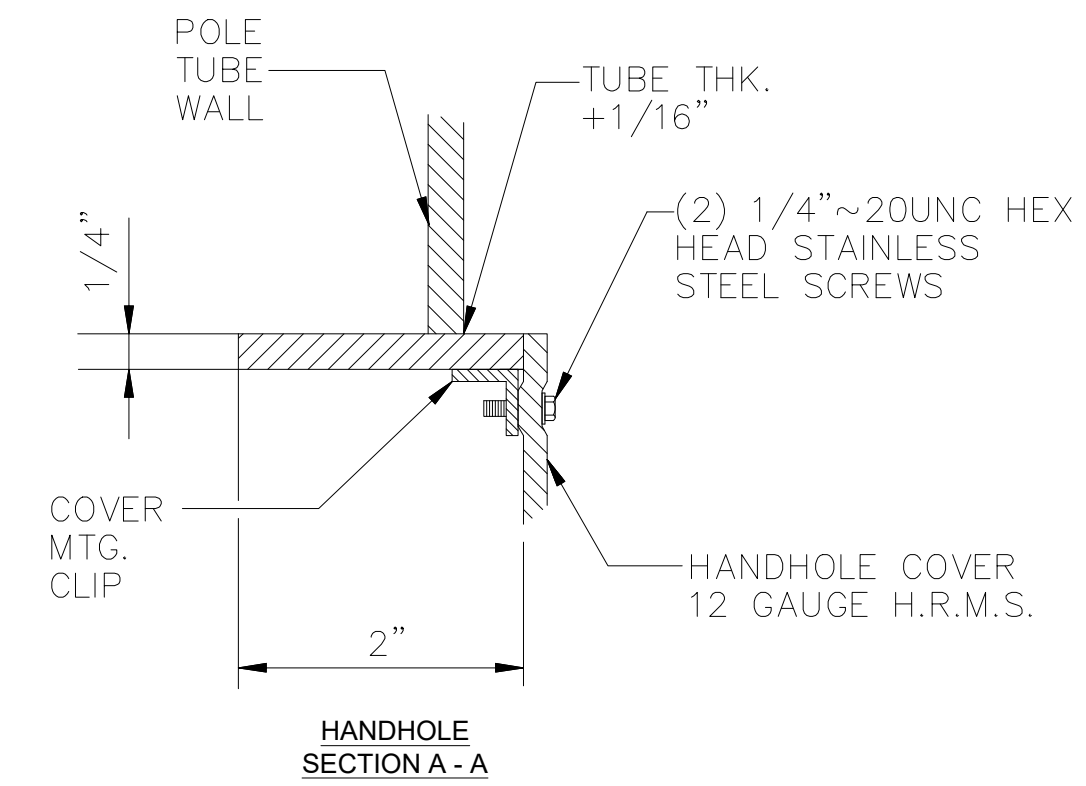
**02 TYP. SINGLE LIGHT POLE DETAILS**  
NTS



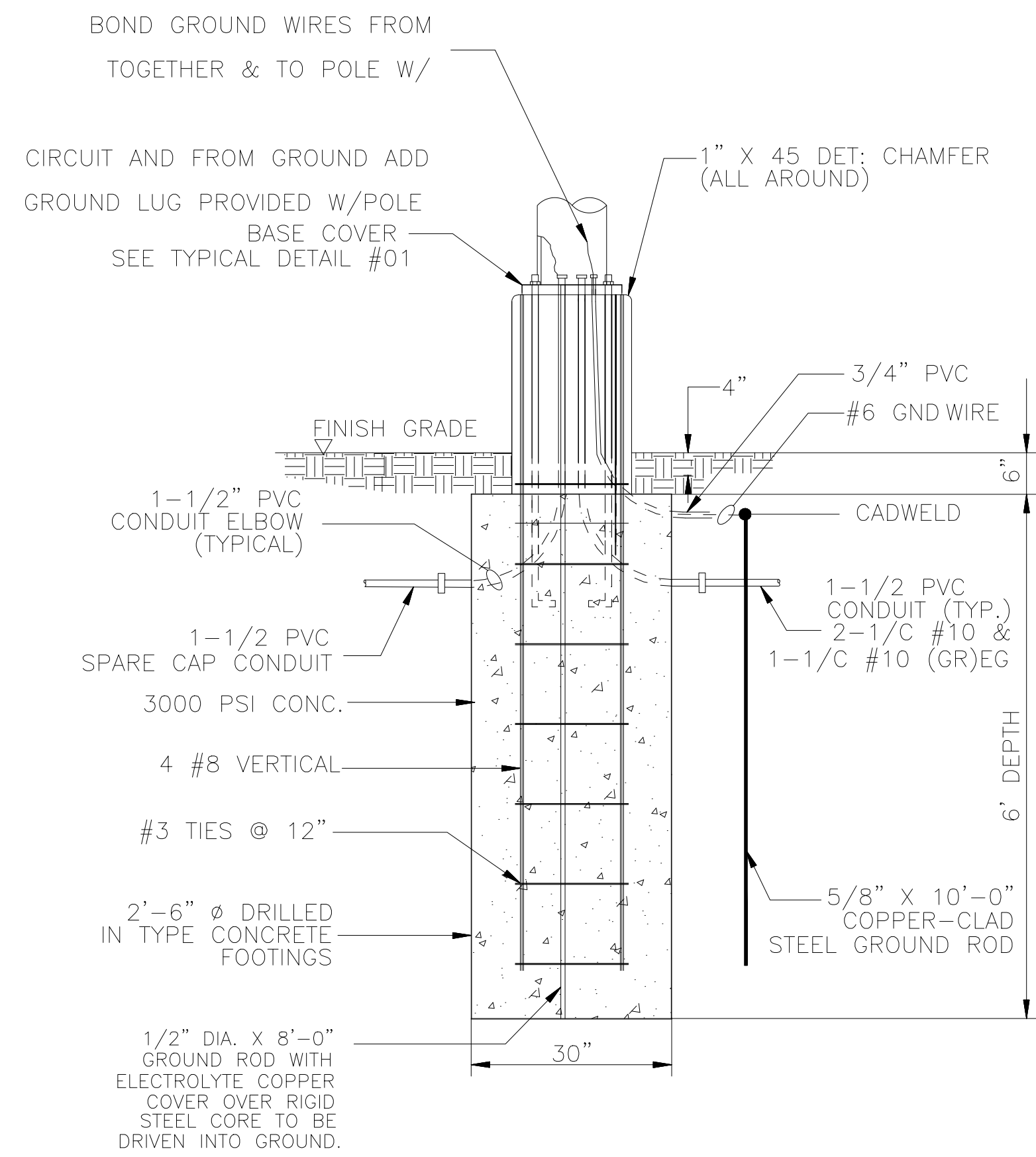
**01 TYPICAL DETAIL**



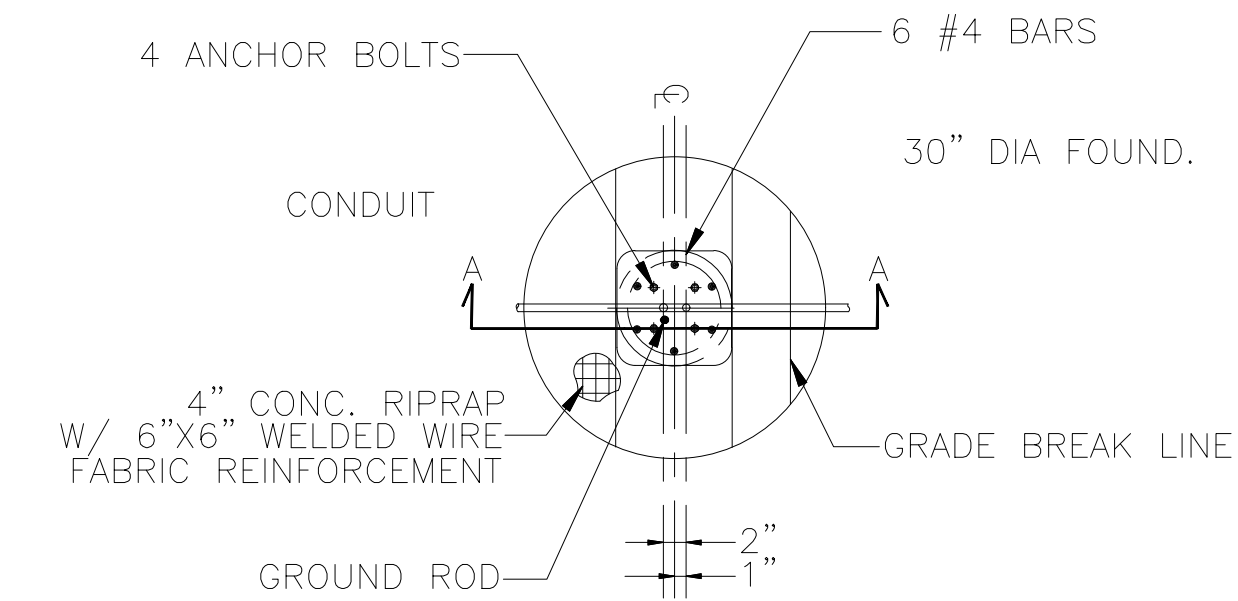
**TYPICAL DETAIL HANDHOLE ELEVATION**



**03 TYPICAL DETAIL**  
NTS

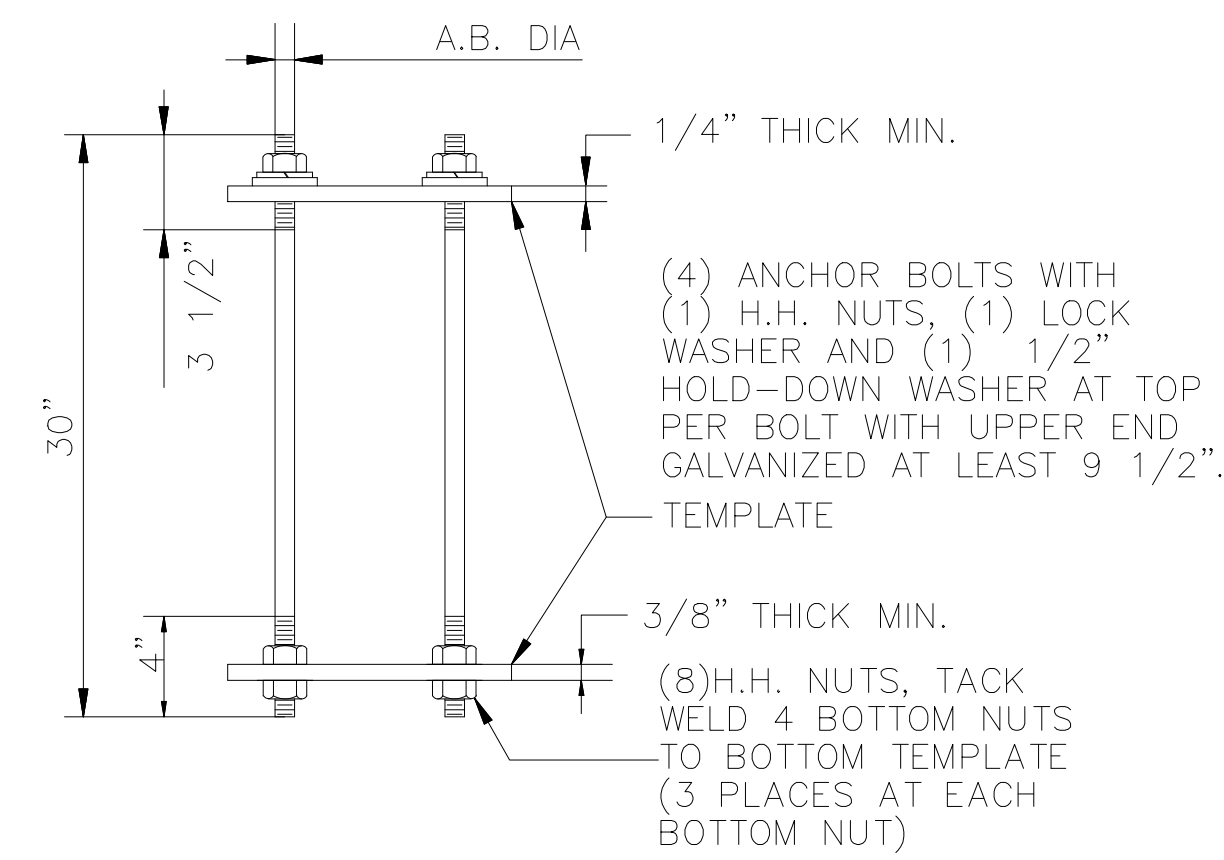


**05 SECTION A-A'**  
NTS



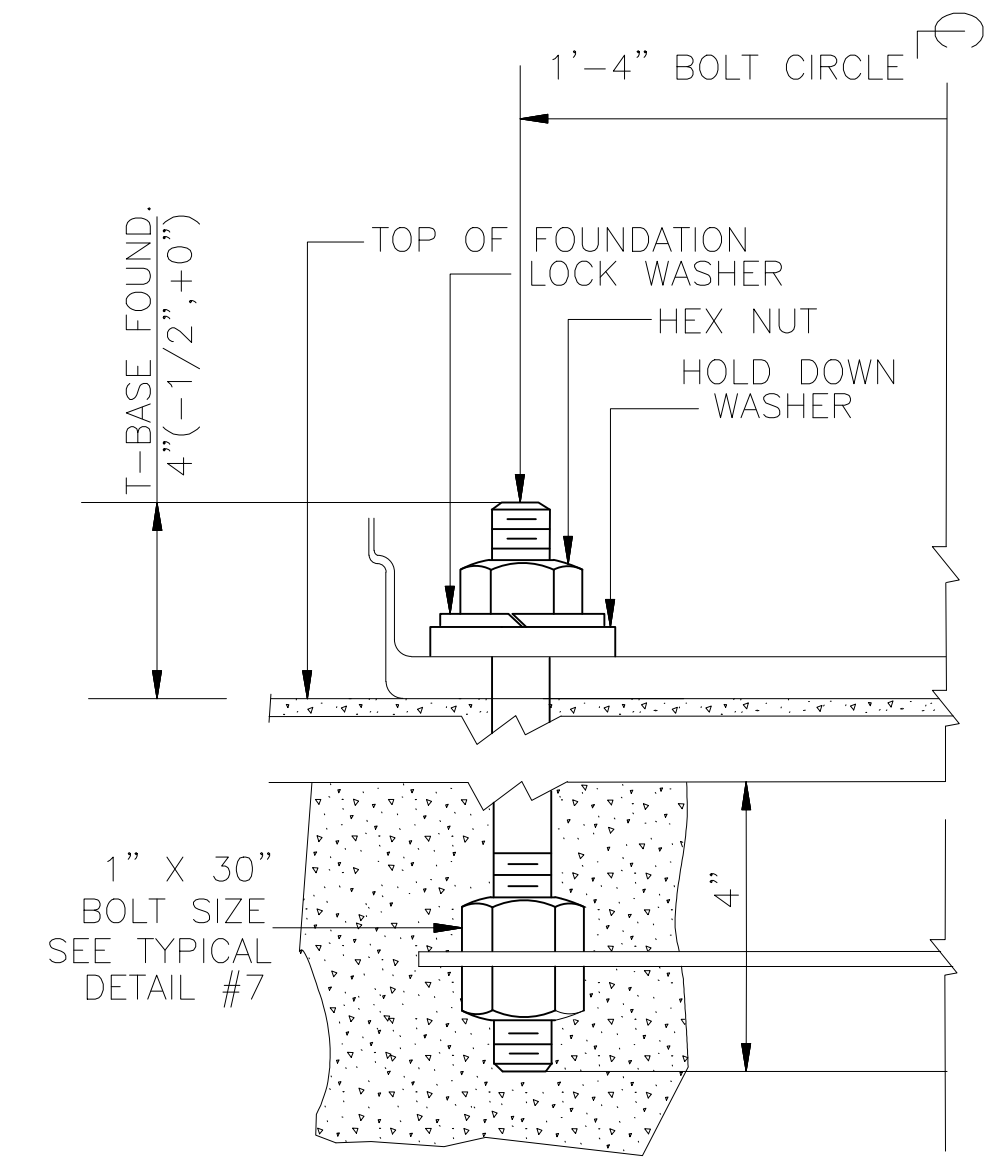
**STREET LIGHT FOUNDATION - PLAN**

**04 TYPICAL DETAIL**  
NTS



**BASE ANCHOR BOLT ASSEMBLY**

**06 TYPICAL DETAIL**  
NTS



**ANCHOR BOLT DETAILS T-BASE'**

**07 TYPICAL DETAIL**  
NTS

POLE'S DETAIL  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 219  
DALLAS, TEXAS 75252  
(972) 246-9651  
TX T.E.P.E. REGISTRATION # F-006974  
T.E.P.E.S. FIRM REGISTRATION # 100625



SCALE: AS SHOWN

DESIGNED: P55

DRAWN: PSA

CHECKED: P55

PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-06









# CITY OF ROCKWALL CITY COUNCIL MEMO

**AGENDA DATE:** 08/20/2018

**APPLICANT:** Pan Sribhen P.E. of PSA Engineering

**AGENDA ITEM:** **SP2018-024**; Site Plan; *Medical Office Building*

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## **SUMMARY:**

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of variances to the articulation and overlay district requirements in conjunction with an approved site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated east of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

## **PURPOSE AND BACKGROUND:**

The applicant is requesting approval of variances to the Scenic Overlay (SOV) District and the Unified Development Code (UDC) as outlined in this report. The request is in conjunction with an approved site plan for the purpose of constructing a single-story, 3,920 SF medical office building (MOB). The proposed MOB will be situated on a 1.003-acre parcel of land identified as a portion of Lot 6, Block A, La Jolla Pointe, Phase 2 Addition that is located east of the intersection of Carmel Circle and Laguna Drive, is within the IH-30 Overlay (*IH-30 OV*) and Scenic Overlay (SOV) Districts, and is zoned *Commercial (C) District*.

## **VARIANCE AND EXCEPTION REQUESTS:**

The applicant is requesting variances to the requirements of the Scenic Overlay (SOV) District and the Unified Development Code (UDC) for the sections outlined below. It should be noted, that for the subject property some of these variance requests will require approval by a  $\frac{3}{4}$  majority vote of those City Council members present due to the subject property being located within an established overlay district. The requests are as follows:

- 1) Section 4.1.C.1.b, of Article V, of the UDC requires all building facades not extend for a distance more than three (3) times the walls height without having an off-set vertically. The elevations depict the east and west facing façade do not meet this requirement. This will require approval by the City Council. [*Simple Majority Vote*]
- 2) Section 6.8.D.2, of Article V, of the Scenic Overlay (SOV) District requires buildings less than 6,000 SF be designed with a pitched roof. A variance for not meeting the pitched roof standard by allowing a flat roof design as depicted in the elevations require approval by the City Council. [ $\frac{3}{4}$  *Majority Vote*]



- 3) Section 6.8.D.5, of Article V, of the Scenic Overlay (SOV) District requires a row of trees to be planted on the perimeter behind the building. A variance for not meeting this requirement requires approval by the City Council. [3/4 *Majority Vote*]

A request for a variance or exception as outlined above is a discretionary decision for the City Council.

#### **ARCHITECTURAL REVIEW BOARD RECOMMENDATION:**

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board reviewed the Coronado stone with the wood appearance and the additional elements associated with this buildings' design. The board made a motion to approve the elevations as presented, which included the request for variance to the articulation and roof design. The motion passed unanimously 7 to 0.

#### **RECOMMENDATIONS:**

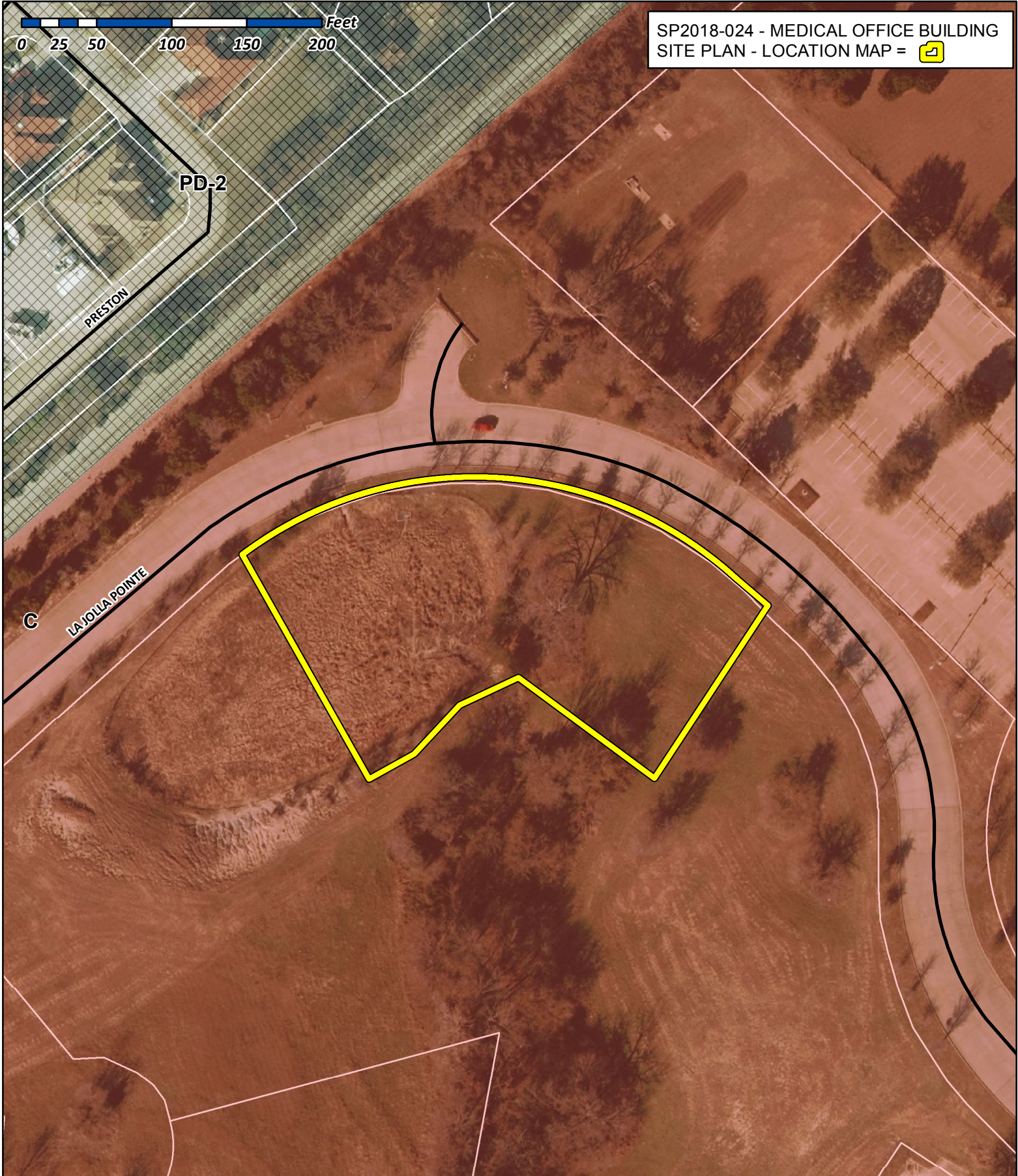
If the City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

#### **PLANNING AND ZONING COMMISSION RECOMMENDATION:**

On August 14, 2018, the Planning and Zoning Commission's motion to approve the site plan with staff conditions passed by a vote of 5 to 1 with Commissioner Welch dissenting and Commissioner Fishman absent. Additionally, the motion included a recommendation of approval to the variances being requested, with the exception of the request for a variance to the required trees to be placed at the perimeter behind the building.





SP2018-024 - MEDICAL OFFICE BUILDING  
 SITE PLAN - LOCATION MAP = 

# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



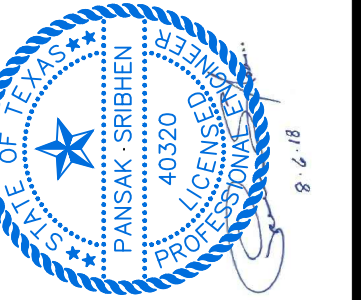


REVISION		
NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**SITE PLAN**

FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
CITY OF ROCKWALL, TEXAS

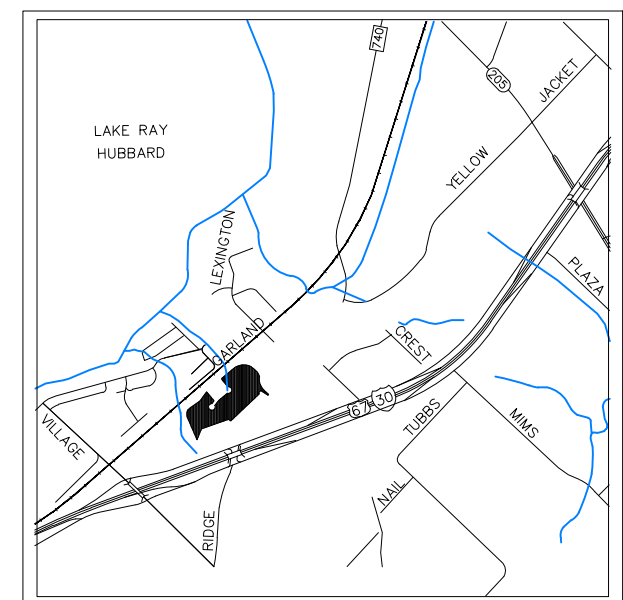


**ASA ENGINEERING**

17819 DANFORTH ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 246-9651  
TX T.S.P.E. REGISTRATION # F-008974  
T&E L.S. FIN. REGISTRATION # 000425

SCALE: AS SHOWN  
DESIGNED: PSS  
DRAWN: PSA  
CHECKED: PSS

PROJECT NO. 21737.VPR  
DATE: AUGUST 07, 2018  
SHEET: C-01



**LOT INFORMATION**

**LOT 1 - PHASE I**

AREA LOT	= 43,570 S.F. (1.002 AC.)
TOTAL BLDG. AREA	= 3,920 S.F.
PROPOSED	= MEDICAL OFFICE BLDG.

**PARKING REQUIREMENTS**

PARKING RATIO	= 1/200 S.F.
TOTAL PARKING REQUIRED	= 20 SP
TOTAL PARKING PROVIDED	= 20 SP
HANDICAP PARKING REQUIRED	= 2 SP
SURFACE PARKING PROVIDED	= 18 SP

VICINITY MAP  
N.T.S.

**CURVE TABLE**

CURVE	DELTA	R	T	L	CH	CHD
C1R	111°13'30"	62.00'	06.09'	12.15'	N45°28'45"W	12.13'

**LEGEND**

- PROPOSED WTR. LINE
- PROPOSED S.S. LINE
- PROPERTY LINE
- EASEMENT LINE
- STORM SEWER LINE
- 1/2" IRS/IRF
- PROPOSED SANITARY MANHOLE
- EX.MH.
- EX.FH.
- FH.
- PROPOSED SITE LIGHTING 20' HT. MAX.
- INDICATE PARKING NO.
- INDICATE CURB INLET
- RF
- CRS
- IRF.
- IRS.
- UTIL.
- ESMT.
- EX.
- WTR.
- EX.MH.
- B.L.
- R.O.B.

**SITE NOTE:**

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

**SITE PLAN NOTE:**

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDs, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

**FIRE LANE NOTE:**

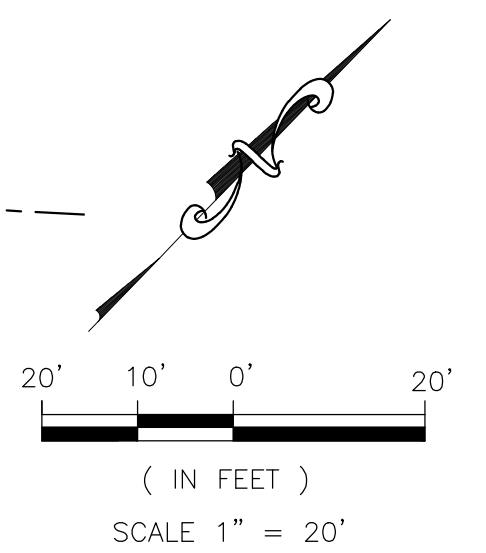
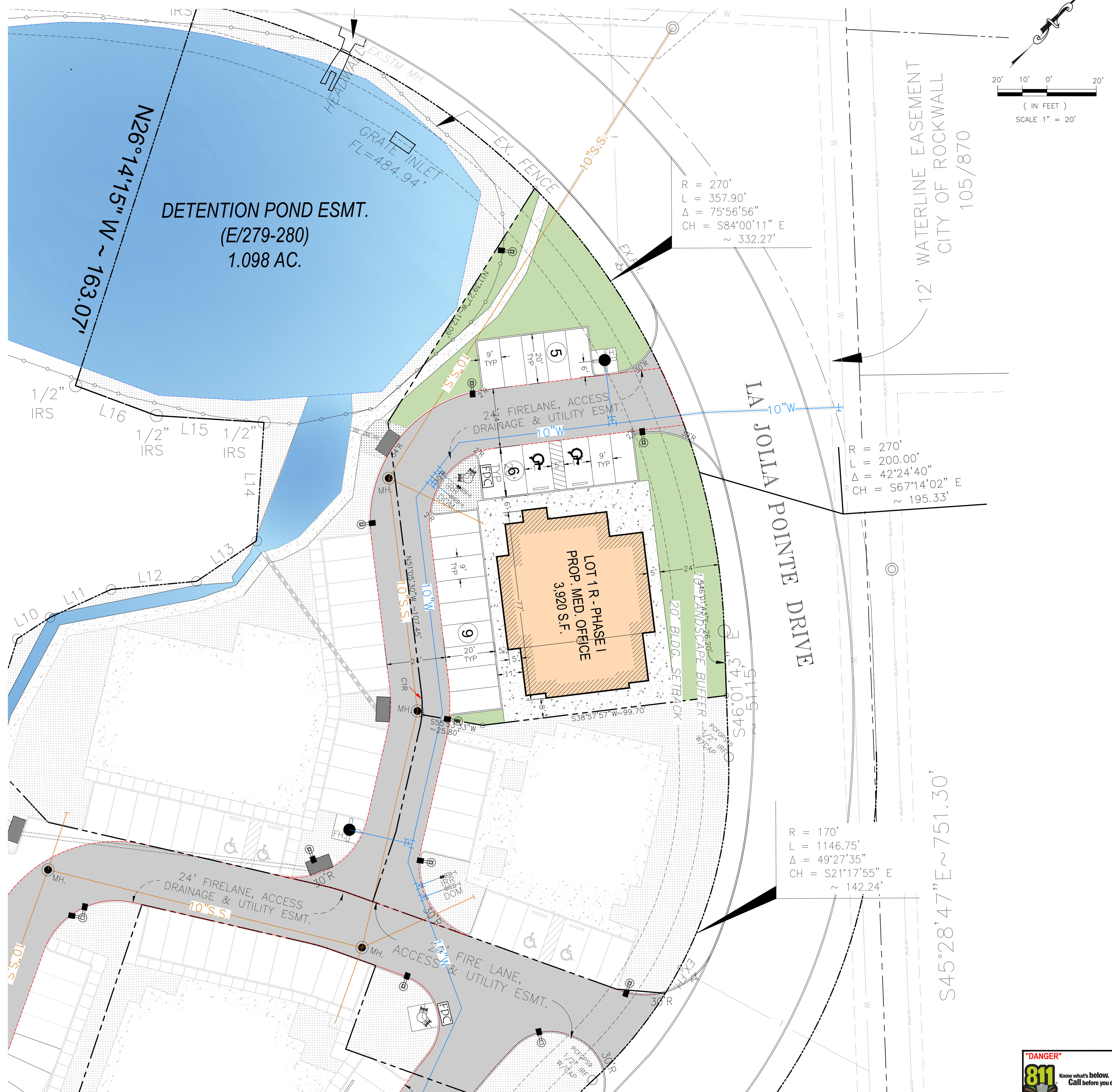
- FIRE LANE WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- FIRE LANES SHALL HAVE:
  - WIDTH OF 24 FEET
  - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3- STORIES IN HEIGHT:
    - 20- feet (inside) for turns less than or equal to 90 degrees
    - 25- feet (inside) for turns greater than 90 degrees
  - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
  - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

**NOTE:**

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT.

**FLOOD PLAIN NOTE:**

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.





REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**EXTERIOR ELEVATIONS**  
 FOR  
**VORA CLINIC BUILDING**  
 DFW HOSPITALITY OF ROCKWALL LLC  
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER  
 PSA ENGINEERING  
 17819 DAVENPORT RD.,  
 SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
 ARCHITECTURAL AND PLANNING  
 5834 WINDMIER LANE  
 DALLAS, TEXAS 75252  
 (214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

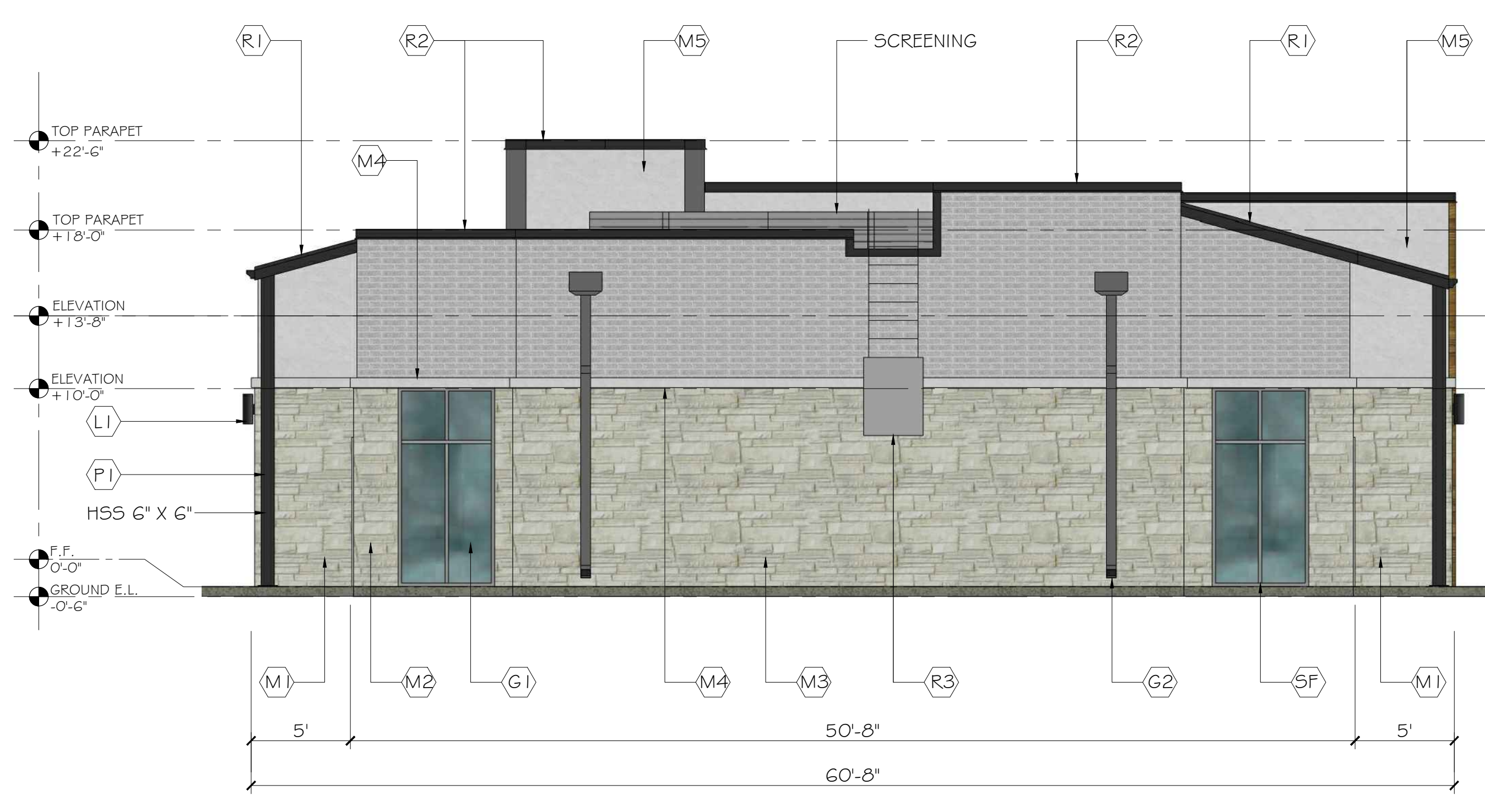
SHEET: **A2.0**



**1 NORTH ELEVATION**  
 SCALE 3/16" = 1'-0"



**2 WEST ELEVATION**  
 SCALE 3/16" = 1'-0"



**3 SOUTH ELEVATION**  
 SCALE 3/16" = 1'-0"



**4 EAST ELEVATION**  
 SCALE 3/16" = 1'-0"

**MATERIALS CALCULATION TABLE - VORA CLINIC BUILDING**

ITEM	DESCRIPTION	NORTH ELEVATION		WEST ELEVATION		SOUTH ELEVATION		EAST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	1,170	100%	1,315	100%	1,039	100%	1,100	100%	4,624	100%
2	GLAZING DOORS & WINDOWS	338	28.9%	263	20.0%	96	9.2%	96	8.7%	793	17.1%
3	NON-GLAZING DOORS&WINDOWS	832	71.1%	1,052	80.0%	943	90.8%	1,004	91.3%	3,831	82.9%
	3.1 TOTAL WALL AREA	789	N/A	786	N/A	899	N/A	853	N/A	3,327	N/A
	3.2 METAL COPING/ AWNING/ ROOF	43	N/A	266	N/A	44	N/A	151	N/A	504	N/A
3.1	STUCCO WALL & STUCCO BAND	48	6.1%	208	26.5%	76	8.5%	230	27.0%	562	16.9%
	BRICK *	276	35.0%	250	31.8%	373	41.5%	347	40.7%	1,246	37.5%
	AUSTIN STONE*	175	22.2%	437	55.6%	494	54.9%	314	36.8%	1,420	42.7%
	CORONADO STONE *(REFINED WOODSTONE)	333	42.2%	157	20.0%	-	0.0%	113	13.2%	603	18.1%
	MASONRY WALL NET AREA (*)	784	94.2%	844	80.2%	867	91.9%	774	77.1%	3,269	85.3%
	NON-MASONRY WALL NET AREA	48	5.8%	208	19.8%	76	8.1%	230	22.9%	562	14.7%
	<b>TOTAL WALL AREA</b>	<b>832</b>	<b>100%</b>	<b>1,052</b>	<b>100%</b>	<b>943</b>	<b>100%</b>	<b>1,004</b>	<b>100%</b>	<b>3,831</b>	<b>100%</b>

**EXTERIOR MATERIALS & FINISH**

- (A1) = AWNING; FLAT METAL AWNING, COLOR "DARK GRAY"
- (G1) = GLAZING; 1/2", 1/2" INSULATED GLASS
- (G2) = GALV. GUTTER & GALV. DOWN SPOUT; COLOR "P2"
- (R1) = STANDING SEAM METAL ROOF; COLOR "CHARCOAL GREY"
- (R2) = METAL COPING; COLOR "P1"
- (R3) = ROOF LADDER; STEEL ROOF LADDER
- (SF) = STOREFRONT; ALUM. STOREFRONT DOOR & WINDOW
- (M1) = STUCCO WALL W/ DRYVIT FINISHES; COLOR "P3"
- (M2) = BRICK VENEER; ACME BRICK MODULAR SIZE, MODEL "SMOOTH", COLOR "PEP I GG - MARBLE GRAY"
- (M3) = AUSTIN STONE; MODEL "COUNTRY RUBBLE, COLOR "CHALK"
- (M4) = STUCCO WINDOW BAND; COLOR "P3"
- (M5) = STUCCO W/ DRYVIT FINISHES COLOR "P3"
- (MG) = CORONADO STONE; REFINED WOODSTONE COLOR " HONEY BLONDE"

**EXTERIOR COLOR PAINT**

- (P1) = EXTERIOR COLOR PAINT (DARK GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7069 (IRON ORE)
- (P2) = EXTERIOR COLOR PAINT (LIGHT GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7066 (MEDIUM GREY)
- (P3) = EXTERIOR COLORED STUCCO (WHITE); OR COLOR TO MATCH SHERWIN-WILLIAMS #6154 (NACRE)

**EXTERIOR LIGHT FIXTURE**

- (L1) = EXTERIOR WALL SCONE ; PROGRESS LIGHTING, BLACK CYLINDER 14" TALL
- (L2) = EXTERIOR EMERGENCY LIGHT (BATTERY BACK UP)

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:  
REVISION CLOUD MAY NOT  
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - NORTHWEST

FOR  
**VORA CLINIC BUILDING**  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
ARCHITECTURAL AND PLANNING  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

SHEET: **A3.1**



1 PERSPECTIVE (NORTHWEST)  
NTS



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:  
REVISION CLOUD MAY NOT  
APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE (NORTHEAST)  
NTS



2 PERSPECTIVE (NORTHWEST)  
NTS



3 PERSPECTIVE (SOUTHWEST)  
NTS



4 PERSPECTIVE (SOUTHEAST)  
NTS

PERSPECTIVE - SIDE & REAR  
FOR  
VORA CLINIC BUILDING  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
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R. T. CHANG, ARCHITECT, INC  
ARCHITECTURAL AND PLANNING  
5834 WINDMILL LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN  
DESIGNED: RC  
DRAWN: PSA  
CHECKED: RC

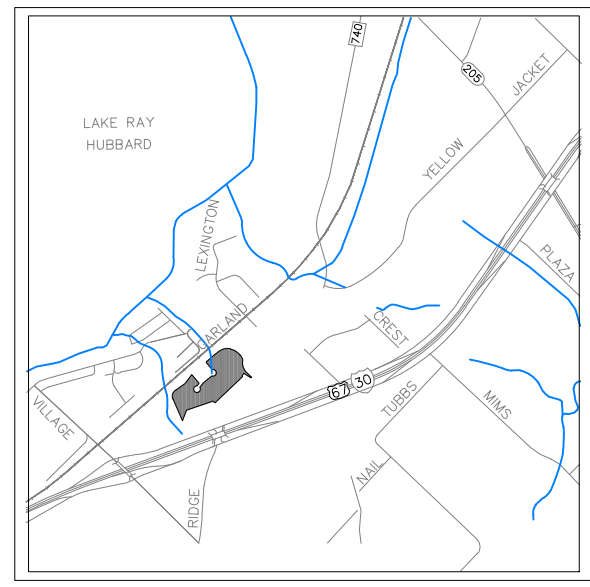
PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

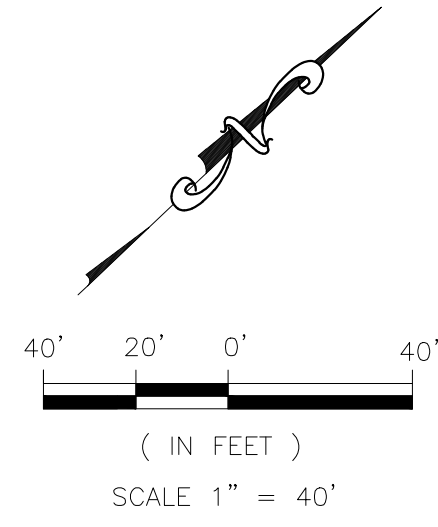
SHEET: A3.2

Z:\2017\21737.VPR\ARCH\03 MEDICAL BUILDING\CONCEPTA-1.0 BLDG FLOOR PLAN 18-07-30.dwg, DWG To PDF.pc3





VICINITY MAP  
N.T.S.



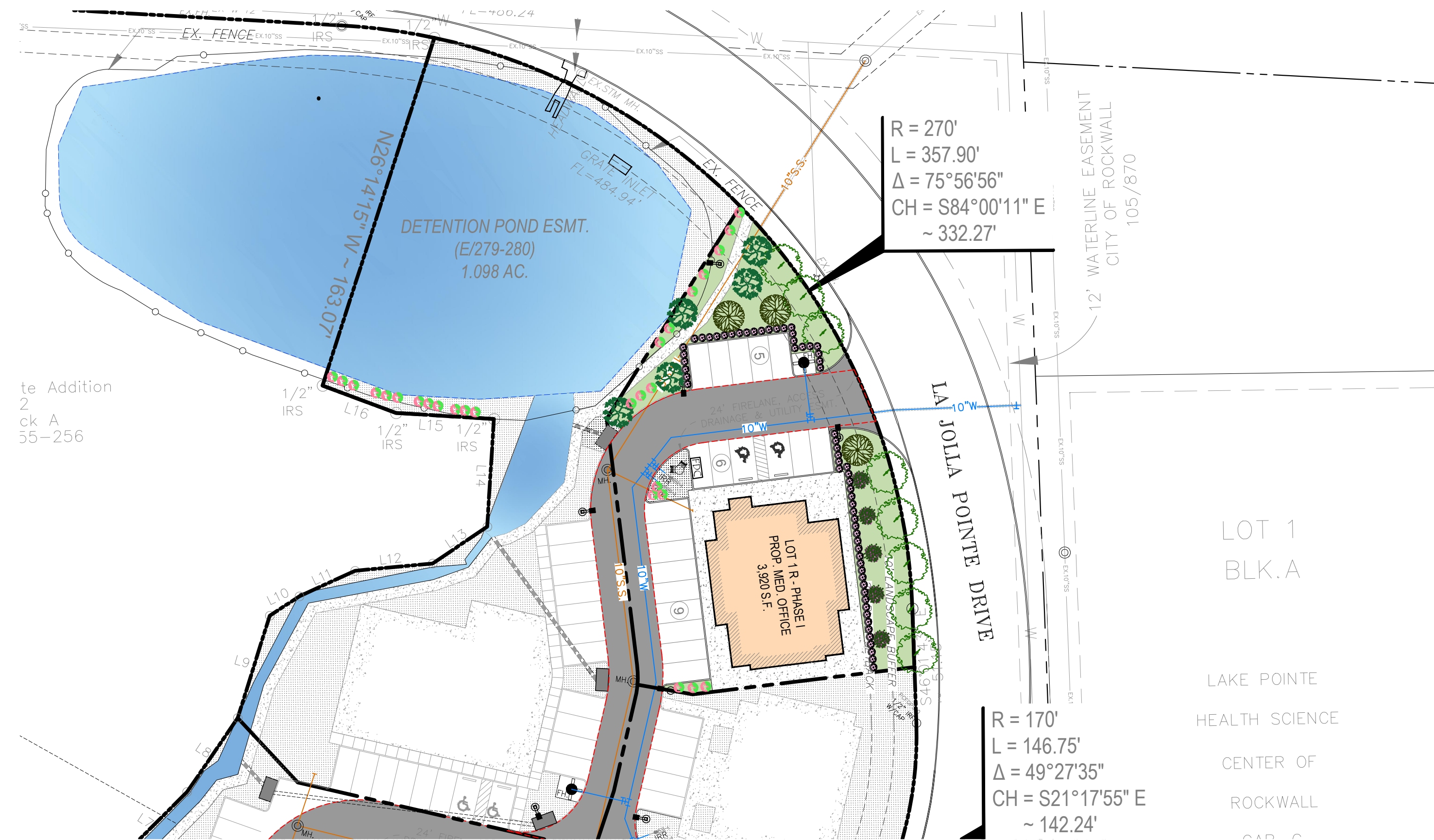
**LEGENDS:**

- PROPERTY LINE
- - - EASEMENT LINE
- 1/2" IRS/IRF
- ⊙ EX.MH.
- MH.
- ⊙ EX.FH.
- FH.

- EXISTING TREE TO KEEP
- LITTLE GEM MAGNOLIA
- TEXAS RED OAK TREE (SHADE)
- EASTERN RED BUD (ORNAMENTAL)
- DWARF INDIAN HAWTHORN
- PAMPAS GRASS
- ERAGROSTIS CURVULA HYDROSEED

**PLANT MATERIAL SCHEDULE :**

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
5	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
5	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.
63	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
16	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
5,868 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	

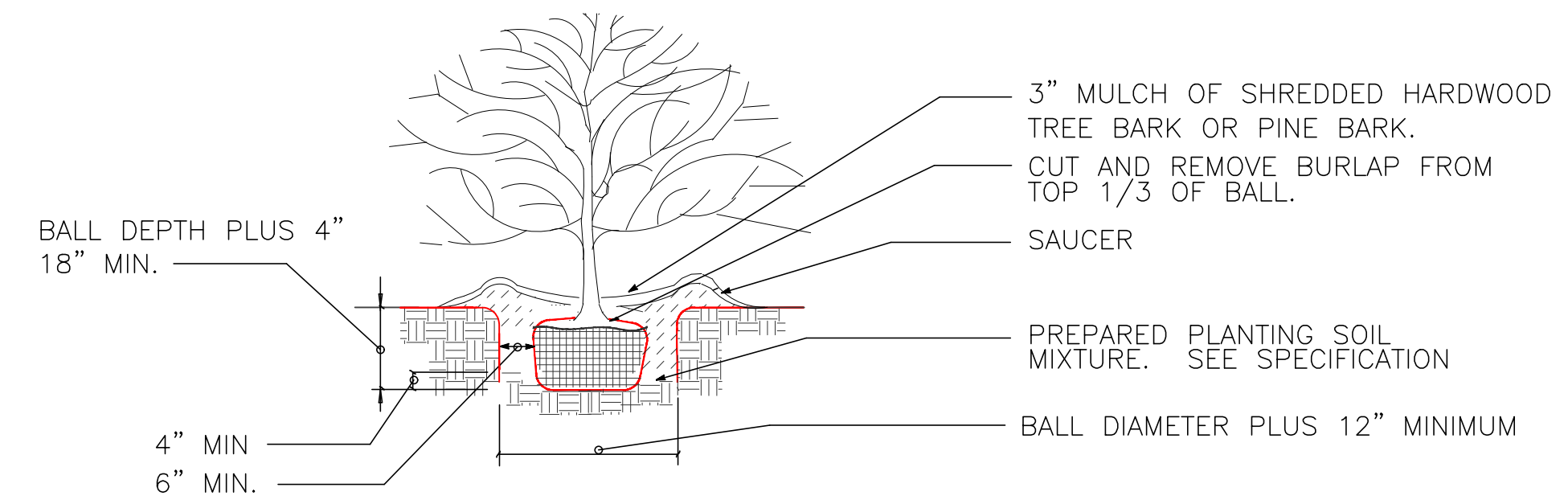


**LANDSCAPE TABULATIONS:**

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE ( 227 FT.)	5 TREES	8 TREES
PARKING SPACE (20 SP)		
1 TREE PER 10 REQ. PARKING SPACES ( 20 REQ. SPACES)	2 TREES	3 TREES
AMOUNT OF LANDSCAPING ( TOTAL LOT AREA = 20,927 SF.)	3,139.05 SF.	5,868 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

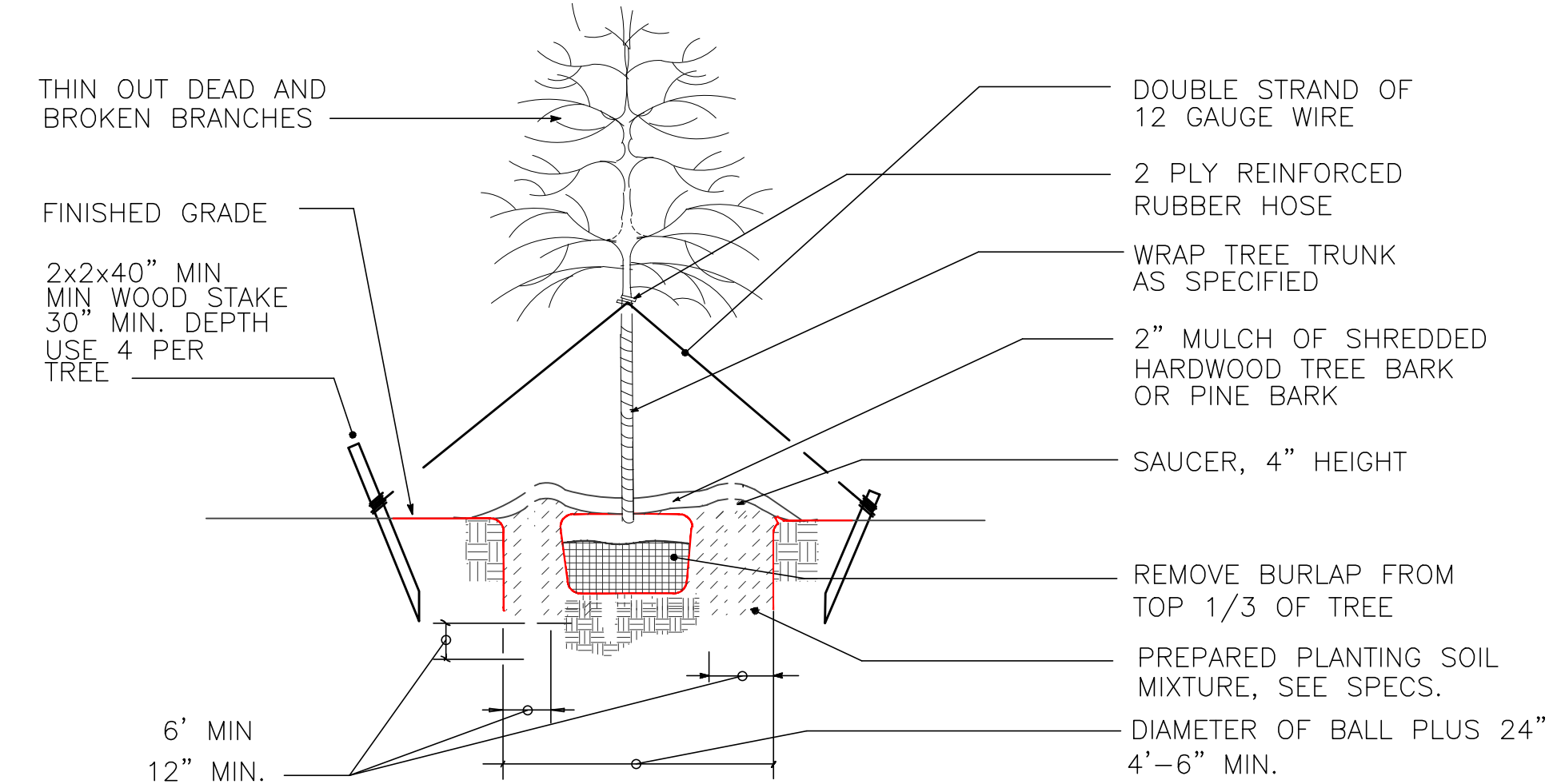
**FLOOD PLAIN NOTE:**

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**SHRUB PLANTING DETAIL**

NOT TO SCALE



**LARGE TREE STAKING DETAIL**

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

**LANDSCAPE NOTE:**

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUBS AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN OR LOCAL TEXAS ASSOCIATION OF NURSERMEN (STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MATRAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCURRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL. STAKE AND GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



**SITE PLANS SET**

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
17818 DAWSONPORT ROAD, SUITE 215  
DALLAS, TEXAS 75248  
(972) 248-8651  
TX T.B.P.E. REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: PSS  
DRAWN: PSA  
CHECKED: PSS

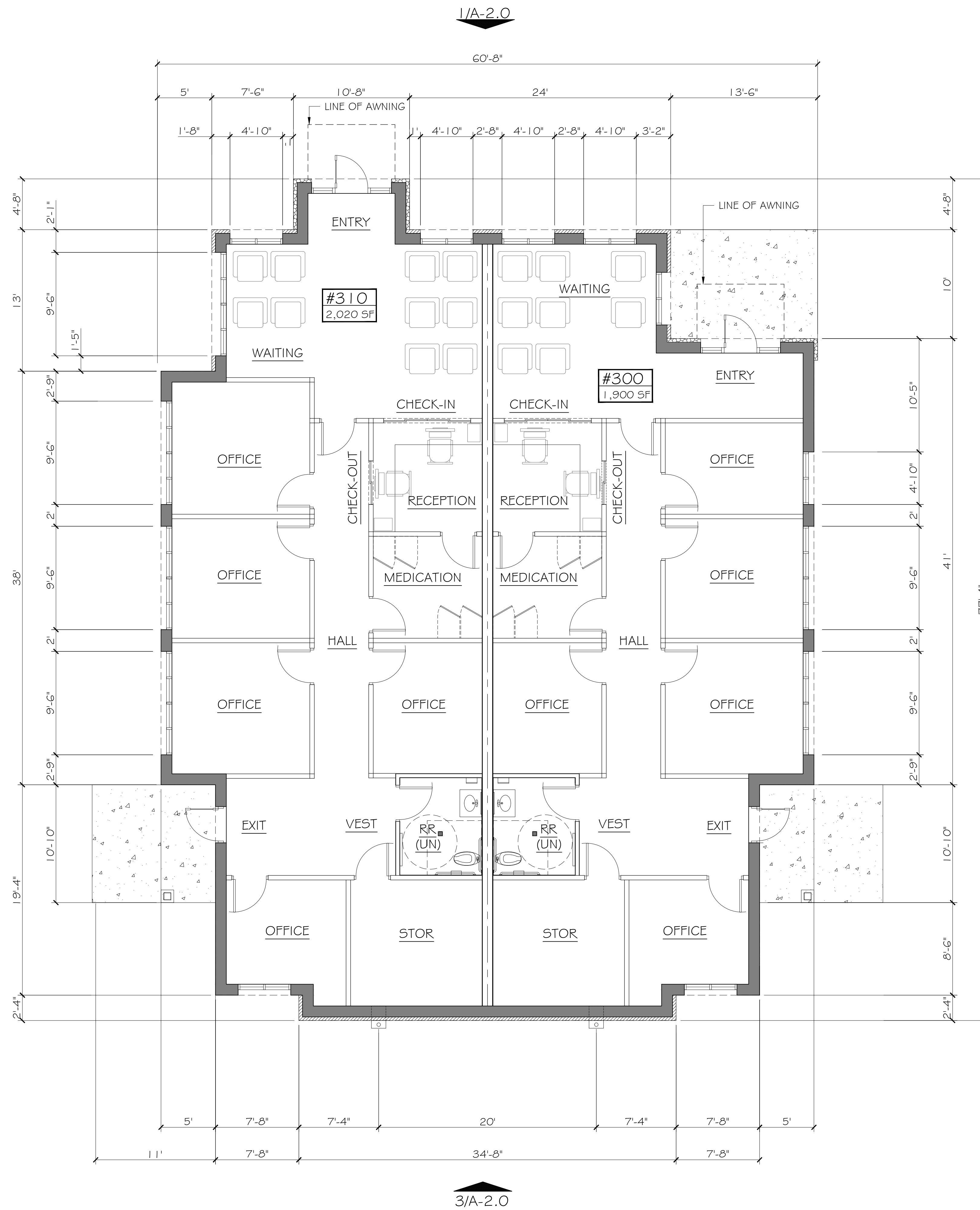
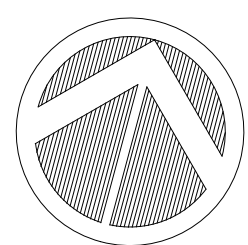
PROJECT NO. 21737-VPR

DATE: AUGUST 07, 2018

SHEET: L-01



Z:\2017\21737.VPR\ARCH\03 MEDICAL BUILDING\CONCEPTA-1.0 BLDG FLOOR PLAN 18-07-30.dwg, DWG To PDF.pc3



1 FLOOR PLAN  
SCALE: 3/16" = 1'-0"

**SITE PLAN SET**

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**FLOOR PLAN**  
FOR  
**VORA CLINIC BUILDING**  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER  
PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

ARCHITECTURAL AND PLANNING  
R.T. CHANG, ARCHITECT, INC.  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN  
DESIGNED: RC  
DRAWN: PSA  
CHECKED: RC

PROJECT NO. 21737.VPR  
DATE: JULY 31, 2018

SHEET: **A1.0**



REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**EXTERIOR ELEVATIONS**  
 FOR  
**VORA CLINIC BUILDING**  
 DFW HOSPITALITY OF ROCKWALL LLC  
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER  
 PSA ENGINEERING  
 17819 DAVENPORT RD.,  
 SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
 ARCHITECTURAL AND PLANNING  
 5834 WINDMIER LANE  
 DALLAS, TEXAS 75252  
 (214) 663-4735

SCALE: AS SHOWN  
 DESIGNED: RC  
 DRAWN: PSA  
 CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

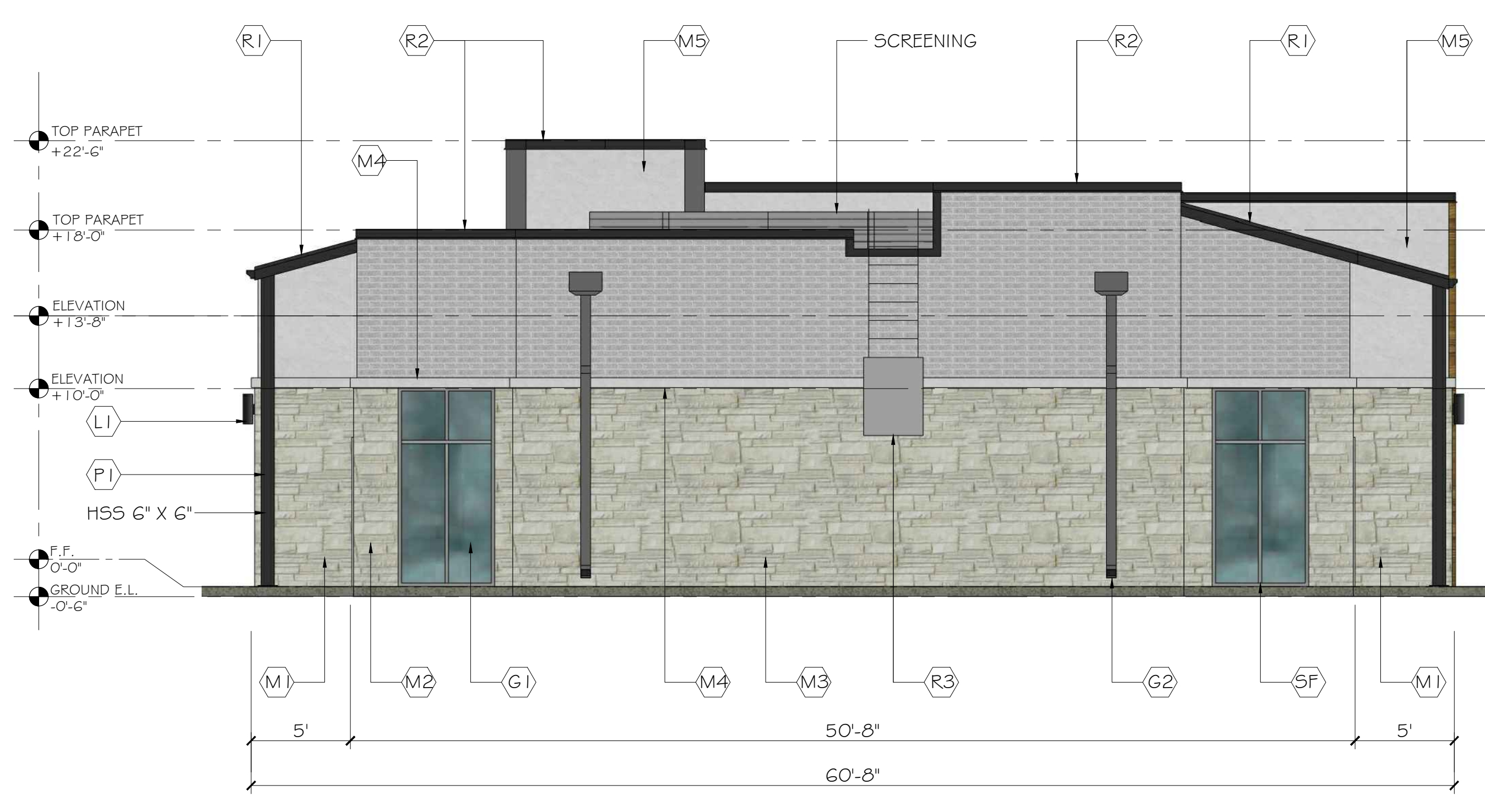
SHEET: **A2.0**



**1 NORTH ELEVATION**  
 SCALE 3/16" = 1'-0"



**2 WEST ELEVATION**  
 SCALE 3/16" = 1'-0"



**3 SOUTH ELEVATION**  
 SCALE 3/16" = 1'-0"



**4 EAST ELEVATION**  
 SCALE 3/16" = 1'-0"

**MATERIALS CALCULATION TABLE - VORA CLINIC BUILDING**

ITEM	DESCRIPTION	NORTH ELEVATION		WEST ELEVATION		SOUTH ELEVATION		EAST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	1,170	100%	1,315	100%	1,039	100%	1,100	100%	4,624	100%
2	GLAZING DOORS & WINDOWS	338	28.9%	263	20.0%	96	9.2%	96	8.7%	793	17.1%
3	NON-GLAZING DOORS&WINDOWS	832	71.1%	1,052	80.0%	943	90.8%	1,004	91.3%	3,831	82.9%
	3.1 TOTAL WALL AREA	789	N/A	786	N/A	899	N/A	853	N/A	3,327	N/A
	3.2 METAL COPING/ AWNING/ ROOF	43	N/A	266	N/A	44	N/A	151	N/A	504	N/A
3.1	STUCCO WALL & STUCCO BAND	48	6.1%	208	26.5%	76	8.5%	230	27.0%	562	16.9%
	BRICK *	276	35.0%	250	31.8%	373	41.5%	347	40.7%	1,246	37.5%
	AUSTIN STONE*	175	22.2%	437	55.6%	494	54.9%	314	36.8%	1,420	42.7%
	CORONADO STONE *(REFINED WOODSTONE)	333	42.2%	157	20.0%	-	0.0%	113	13.2%	603	18.1%
	MASONRY WALL NET AREA (*)	784	94.2%	844	80.2%	867	91.9%	774	77.1%	3,269	85.3%
	NON-MASONRY WALL NET AREA	48	5.8%	208	19.8%	76	8.1%	230	22.9%	562	14.7%
	<b>TOTAL WALL AREA</b>	<b>832</b>	<b>100%</b>	<b>1,052</b>	<b>100%</b>	<b>943</b>	<b>100%</b>	<b>1,004</b>	<b>100%</b>	<b>3,831</b>	<b>100%</b>

**EXTERIOR MATERIALS & FINISH**

- (A1) = AWNING; FLAT METAL AWNING, COLOR "DARK GRAY"
- (G1) = GLAZING; 1/2", 1/2" INSULATED GLASS
- (G2) = GALV. GUTTER & GALV. DOWN SPOUT; COLOR "P2"
- (R1) = STANDING SEAM METAL ROOF; COLOR "CHARCOAL GREY"
- (R2) = METAL COPING; COLOR "P1"
- (R3) = ROOF LADDER; STEEL ROOF LADDER
- (SF) = STOREFRONT; ALUM. STOREFRONT DOOR & WINDOW
- (M1) = STUCCO WALL W/ DRYVIT FINISHES; COLOR "P3"
- (M2) = BRICK VENEER; ACME BRICK MODULAR SIZE, MODEL "SMOOTH", COLOR "PEP I GG - MARBLE GRAY"
- (M3) = AUSTIN STONE; MODEL "COUNTRY RUBBLE, COLOR "CHALK"
- (M4) = STUCCO WINDOW BAND; COLOR "P3"
- (M5) = STUCCO W/ DRYVIT FINISHES COLOR "P3"
- (MG) = CORONADO STONE; REFINED WOODSTONE COLOR " HONEY BLONDE"

**EXTERIOR COLOR PAINT**

- (P1) = EXTERIOR COLOR PAINT (DARK GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7069 (IRON ORE)
- (P2) = EXTERIOR COLOR PAINT (LIGHT GRAY); COLOR TO MATCH SHERWIN-WILLIAMS #7066 (MEDIUM GREY)
- (P3) = EXTERIOR COLORED STUCCO (WHITE); OR COLOR TO MATCH SHERWIN-WILLIAMS #6154 (NACRE)

**EXTERIOR LIGHT FIXTURE**

- (L1) = EXTERIOR WALL SCONE ; PROGRESS LIGHTING, BLACK CYLINDER 14" TALL
- (L2) = EXTERIOR EMERGENCY LIGHT (BATTERY BACK UP)

Z:\2017\21737.VPR\ARCH\03 MEDICAL BUILDING\CONCEPTA-1.0 BLDG FLOOR PLAN 18-07-30.dwg, DWG To PDF.pc3



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK:  
REVISION CLOUD MAY NOT  
APPEAR ON ALL DRAWING SHEETS.

PERSPECTIVE - NORTHWEST

FOR  
**VORA CLINIC BUILDING**  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

**R. T. CHANG, ARCHITECT, INC**  
ARCHITECTURAL AND PLANNING  
5834 WINDMIER LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

SHEET: **A3.1**



1 PERSPECTIVE (NORTHWEST)  
NTS



REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 PERSPECTIVE (NORTHEAST)  
NTS



2 PERSPECTIVE (NORTHWEST)  
NTS



3 PERSPECTIVE (SOUTHWEST)  
NTS



4 PERSPECTIVE (SOUTHEAST)  
NTS

PERSPECTIVE - SIDE & REAR  
FOR  
VORA CLINIC BUILDING  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

ENGINEER

PSA ENGINEERING  
17819 DAVENPORT RD.,  
SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651

R. T. CHANG, ARCHITECT, INC  
ARCHITECTURAL AND PLANNING  
5834 WINDMILL LANE  
DALLAS, TEXAS 75252  
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 31, 2018

SHEET: A3.2



# VORA MEDICAL BUILDING

FOR VORA PROPERTY AT ROCKWALL, TEXAS

DATE : 07/31/18



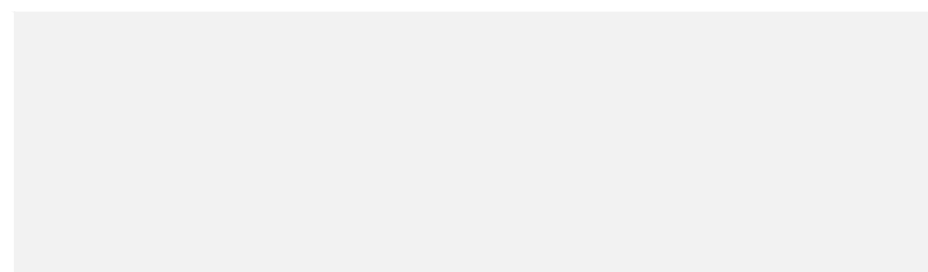
COPING/ AWNING / METAL ROOF  
P1 - SHERWIN WILLIAMS COLOR: SW 7069 - IRON ORE



BUILDING ELEVATION @ FRONT ENTRY



DNSPOUT & GUTTER  
P2 - SHERWIN WILLIAMS COLOR: SW 7066 - GRAY MATTER



STUCCO WALL & BAND  
P3 - SHERWIN WILLIAMS COLOR: SW 6154 - NACRE



M6 - CORONADO STONE: MODEL 'REFINED WOODSTONE'  
COLOR 'HONEY BLONDE'



M2 : ACME BRICK: MODEL 'MARBLE GRAY - SMOOTH  
TEXTURE, PEP- 116



M3 - AUSTION STONE: MODEL 'COUNTRY RUBBLE'  
COLOR 'CHALK'



# SITE PLANS SET

FOR

## DFW HOSPITALITY OF ROCKWALL LLC

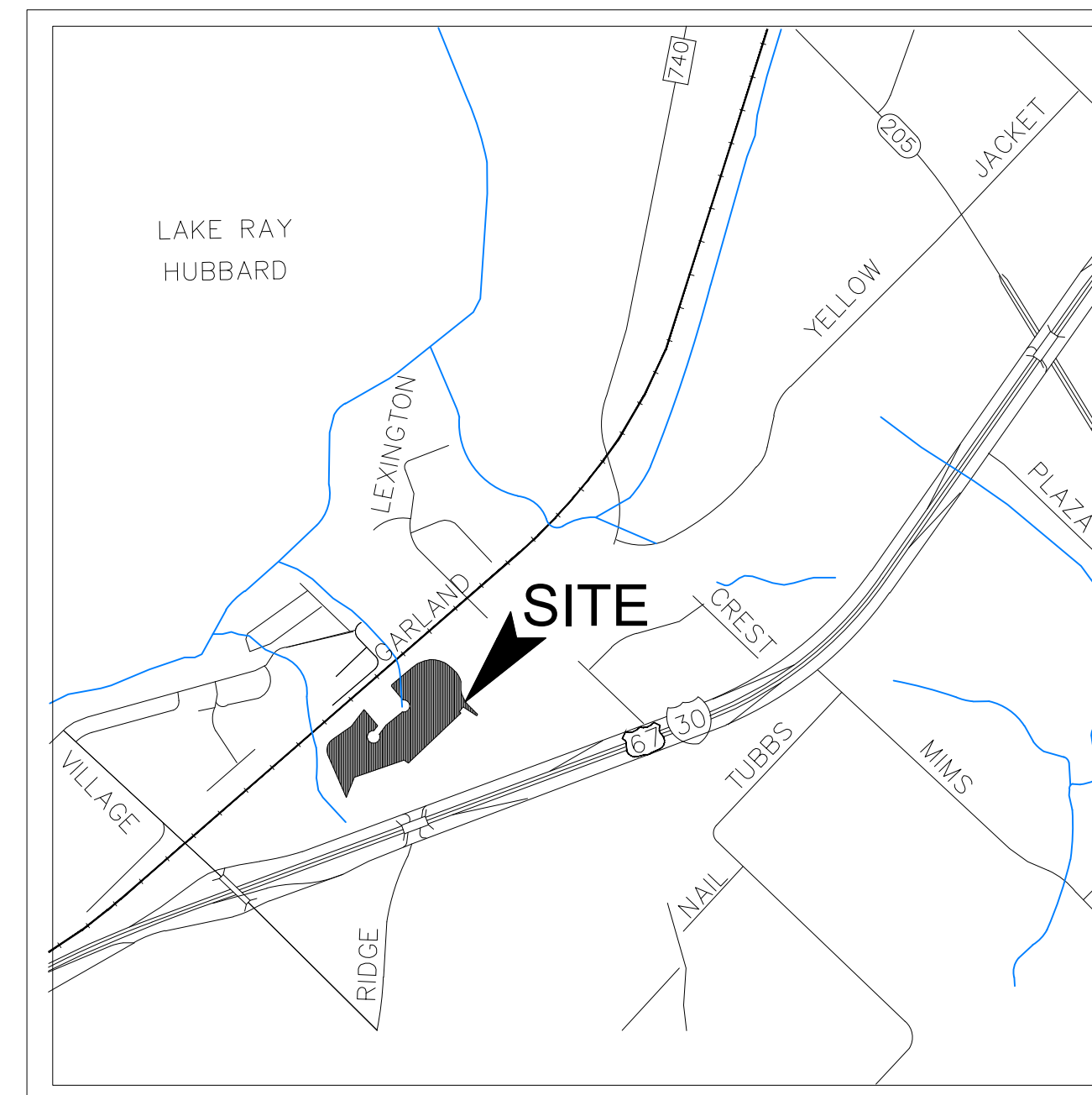
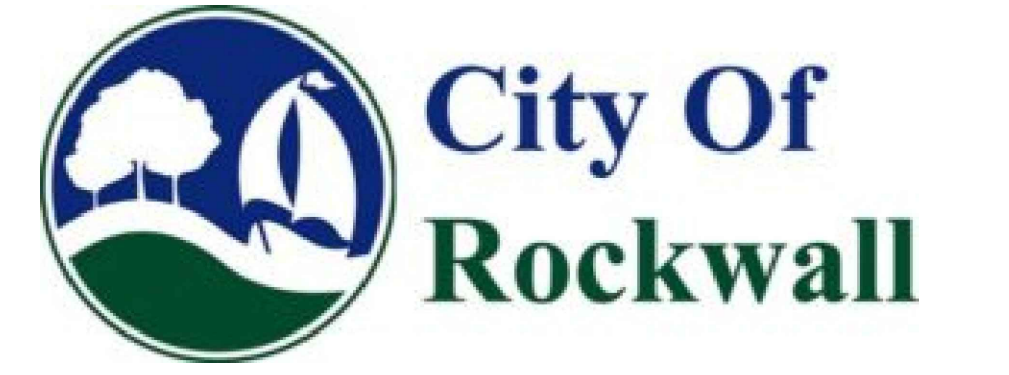
### 6.560 ACRES

### PART OF

## WILLIAM BLEVINS SUREY, ABST. NO. 9

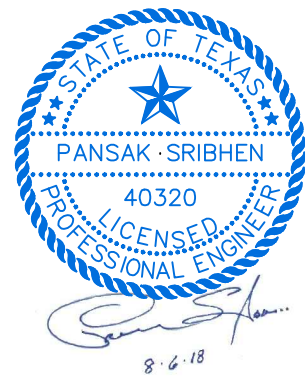
### JAMES SMITH SURVEY, ABST. NO. 200

### ROCKWALL COUNTY, TEXAS



VICINITY MAP  
N.T.S.

INDEX OF SHEETS	
SHEET NO.	SHEET CONTENT
<b>CIVIL</b>	
C - 00	COVER SHEET / INDEX OF SHEETS
C - 01	SITE PLAN
C - 02	PROPOSED OF ON AND OFF-SITE DRAINAGE PLAN
C - 03	PROPOSED SITE UTILITY PLAN
C - 04	OVERALL LOCATION SITE LIGHTING
C - 05	MEDICAL OFFICE SITE LIGHTING
C - 06	POLE'S DETAILS
C - 07	CATALOG CUT-SHEET
<b>LANDSCAPE</b>	
L - 1	LANDSCAPE PLAN
L - 2	TREE PRESERVATION PLAN
<b>BUILDING ELEVATION</b>	
<b>MEDICAL OFFICE BLDG. ( LOT 1 - PHASE I)</b>	
A 1.0	MEDICAL OFFICE _ FLOOR PLAN
A 2.0	MEDICAL OFFICE _ ELEVATIONS
A 3.1	PERSPECTIVE _ NORTHWEST
A 3.2	PERSPECTIVE _ SIDE AND REAR
	MATERIALS BOARD



PREPARED BY:



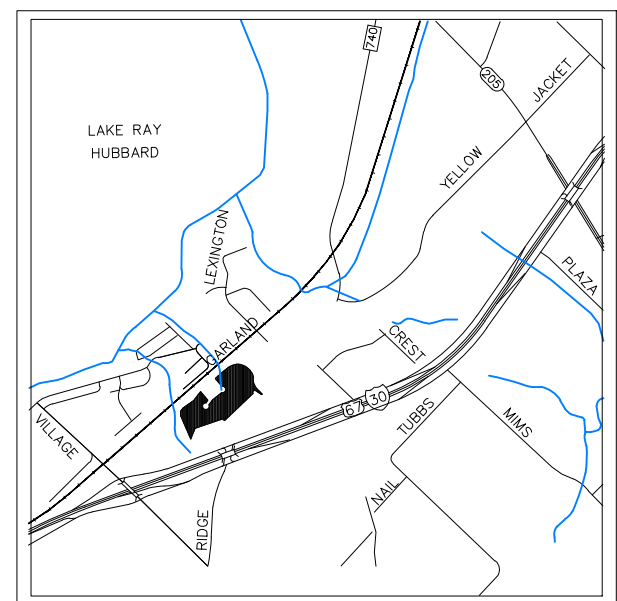
17819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9651 FAX (972) 248-9681  
TX T.B.P.E. REGISTRATION # F-006874  
T.B.P.L.S. FIRM REGISTRATION # 100433

**OWNER / DEVELOPER**  
DFW HOSPITALITY OF ROCKWALL LLC  
2402 PATHWAY ELDORADO,  
AR, 71730

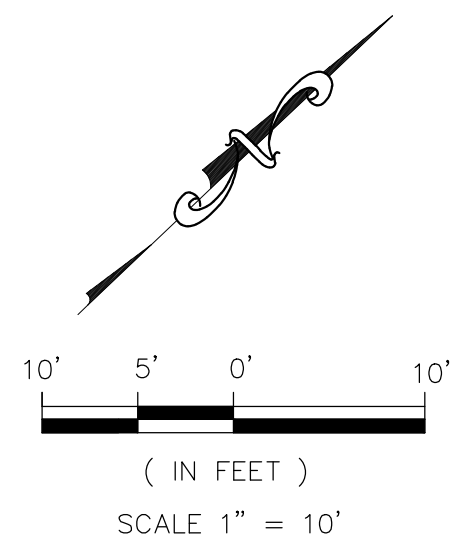








VICINITY MAP  
N.T.S.



**LEGENDS:**

- ⊙ PROP. SITE LIGHTING
- ⊙ PROP. FIRE DEPARTMENT CONN.
- A LIGHT POLE NUMBER
- ⊙ PROP. FIRE DEPARTMENT CONN.

**NOTES:**

1. ATTACH GROUND WIRE SIZED AS PER ELECTRICAL CODE.
2. THE LIGHT POLE FOOTINGS SHALL BE SET AND REINFORCED AS SHOWN ON THE DETAIL EXCEPT FOR THE FOOTINGS LOCATED IN UNSTABLE AREAS OR IN AREAS WITH SHALLOW SOIL.
3. THESE AREAS SHALL BE REDESIGNED WITH THE DEPTH OF FOUNDATION AND REINFORCING REVISED TO MEET POLE AS NOTED BY GEOLOGICAL INSPECTOR.
4. THE STRUCTURAL ENGINEER SHALL REDESIGN AND DETAIL ALL FOOTINGS FOR LOCATIONS INDICATED BY THE CONSULTING GEOLOGIST THAT NEED REVISING.
5. FOR <20' MOUNTING HEIGHT POLE SHALL SHALL INSTALL DEPTH OF FOOTING IS 6' MIN. AND HEIGHT OF SQUARE BASE COVER IS 5-3/4". TX DOT/TRAFFICE STANDARDS/RID(FND)-11.
6. ALL THE SYMBOL MAY NOT SHOW ON PLAN.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊙	5	GAN-AF-09-LED-U-SL4-7050-HSS	SINGLE	N.A.	1.000	GAN-AF-09-LED-U-SL4-7050-HSS

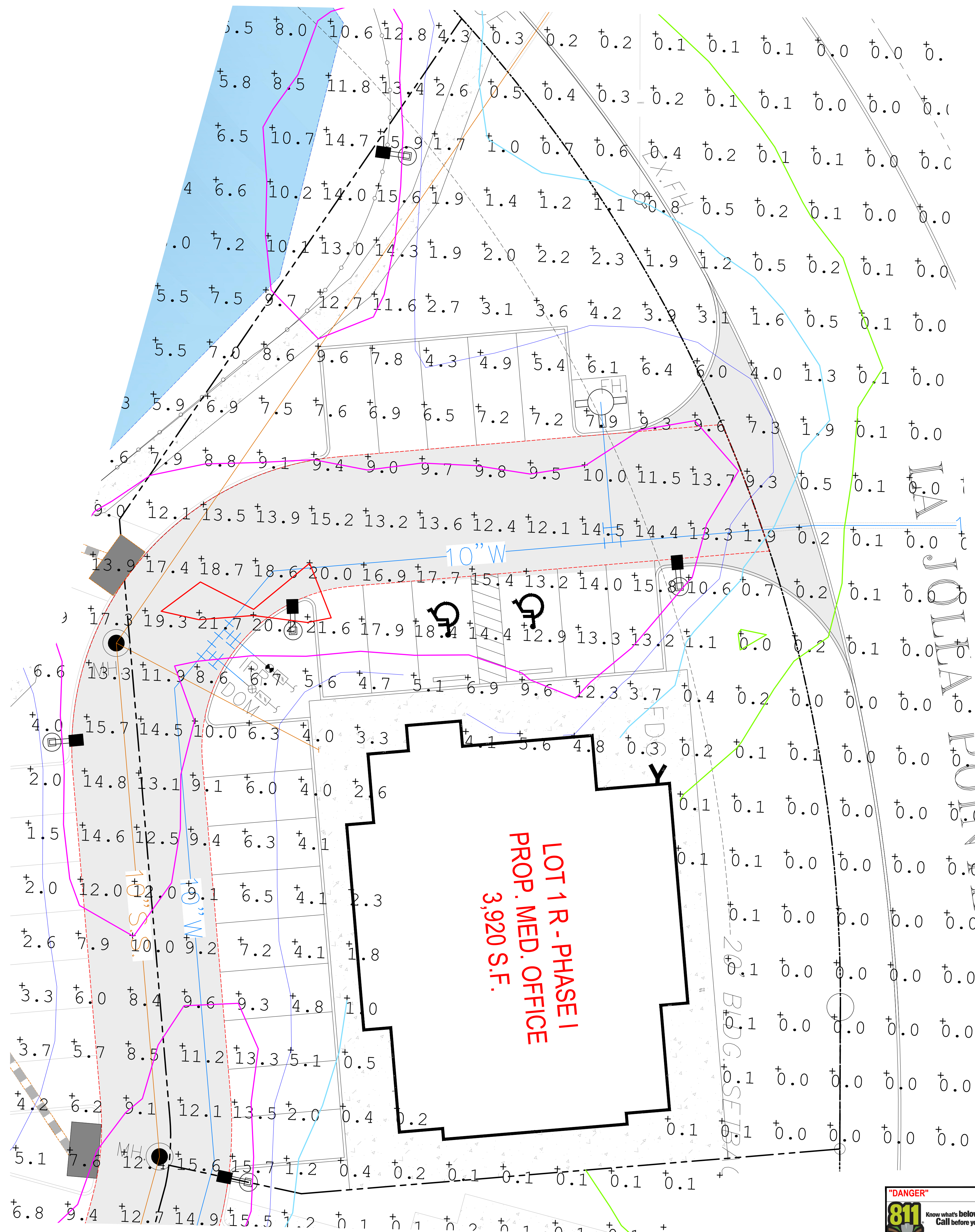
Tag	Qty
SINGLE HEAD	5

LumNo	Label	X	Y	Z	Orient	Tilt
Z	GAN-AF-09-LED-U-SL4-7050-HSS	2591915	7016209	20	168.293	0
AA	GAN-AF-09-LED-U-SL4-7050-HSS	2591875	7016290	20	7.031	0
BB	GAN-AF-09-LED-U-SL4-7050-HSS	2591921	7016311	20	90.663	0
CC	GAN-AF-09-LED-U-SL4-7050-HSS	2591937	7016399	20	173.55	0
DD	GAN-AF-09-LED-U-SL4-7050-HSS	2591990	7016322	20	147.942	0

**Isoline Legend**

Color	Value
Green	0.1
Blue	1
Purple	5
Red	10
Orange	20

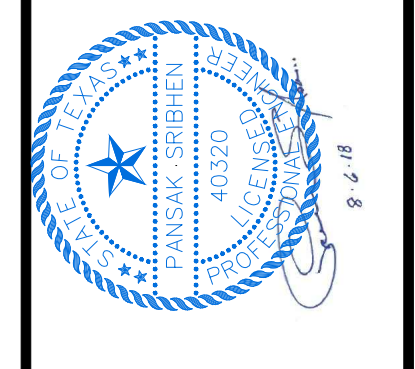
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Z	GAN-AF-09-LED-U-SL4-7050-HSS	2591915	7016209	20	168.293	0	2591915	7016209	0	1
AA	GAN-AF-09-LED-U-SL4-7050-HSS	2591875	7016290	20	7.031	0	2591875	7016290	0	1
BB	GAN-AF-09-LED-U-SL4-7050-HSS	2591921	7016311	20	90.663	0	2591921	7016311	0	1
CC	GAN-AF-09-LED-U-SL4-7050-HSS	2591937	7016399	20	173.55	0	2591937	7016399	0	1
DD	GAN-AF-09-LED-U-SL4-7050-HSS	2591990	7016322	20	147.942	0	2591990	7016322	0	1



**SITE PLANS SET**

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
 CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
 17819 INDEPENDENT ROAD, SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 246-9661  
 TX STATE REGISTRATION # F-008624  
 ELEC. REG. REGISTRATION # 100033

SCALE: AS SHOWN  
 DESIGNED: PSS  
 DRAWN: PSA  
 CHECKED: PSS

PROJECT NO. 21737.VPR  
 DATE: AUGUST 07, 2018

SHEET: **C-05**

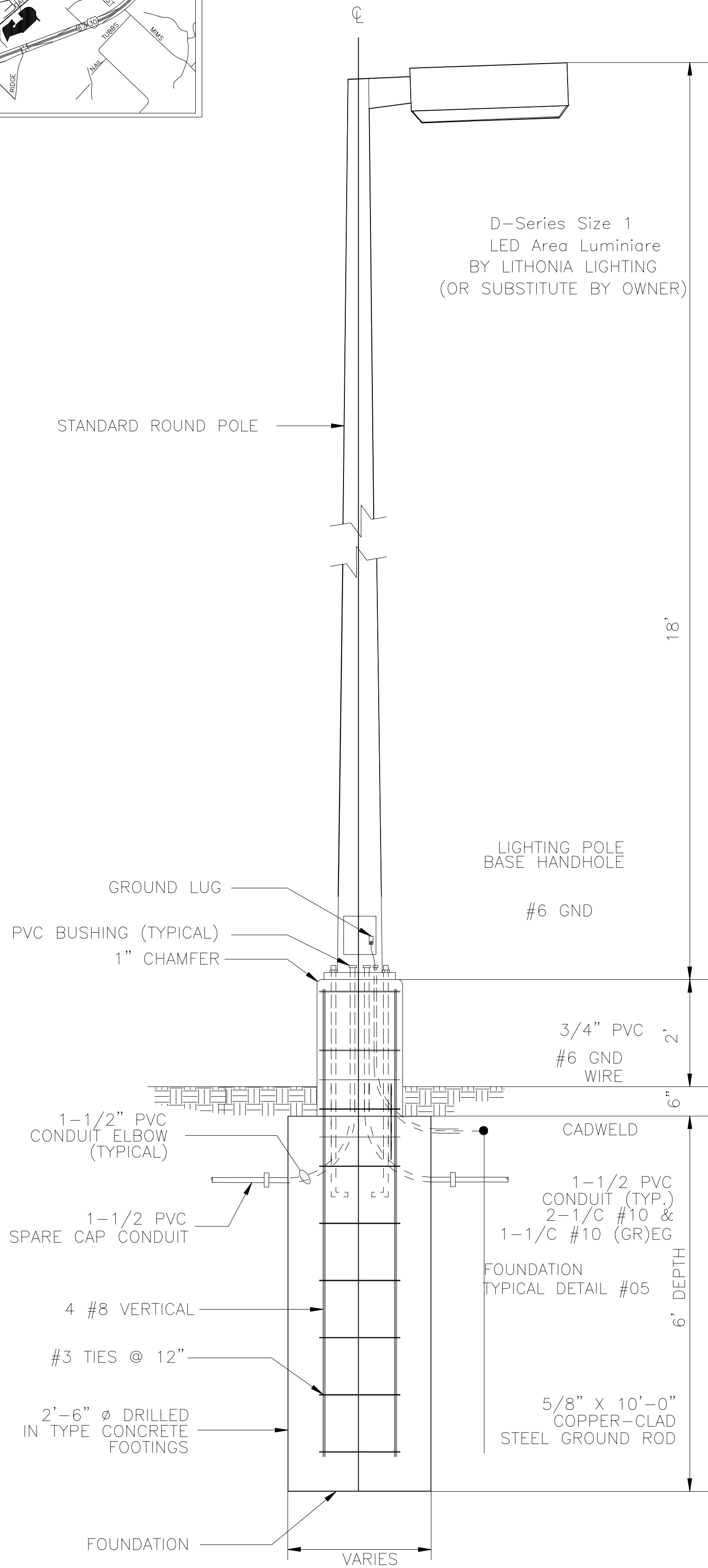
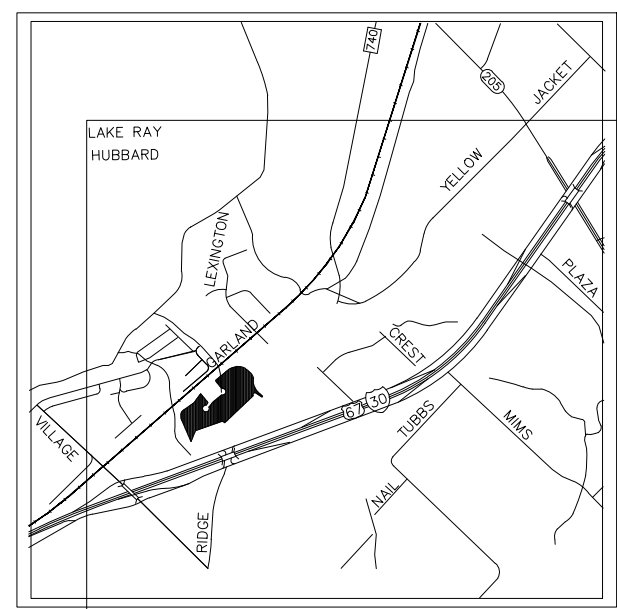


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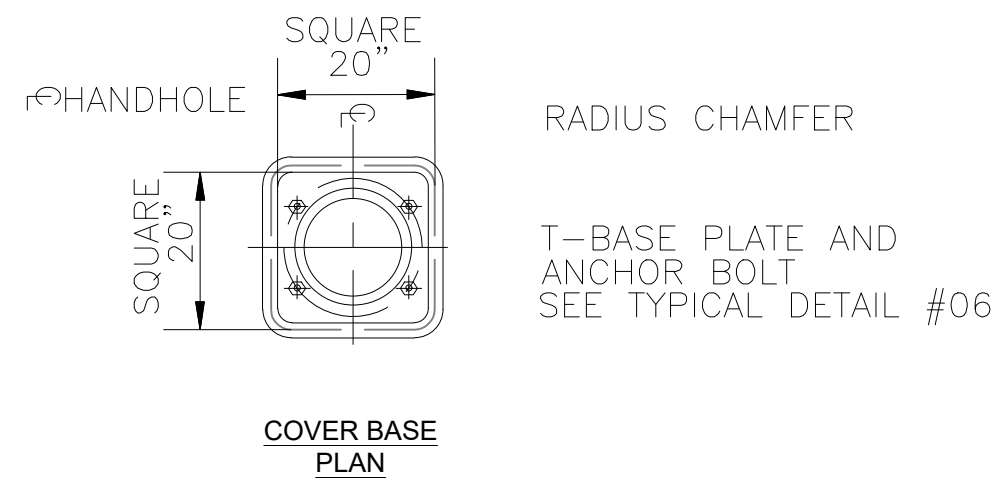


REVISION NO.	DATE	BY
1	18-08-07	P55

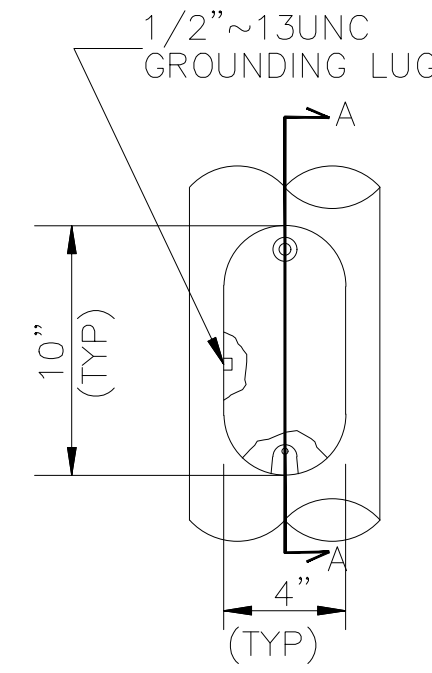
REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



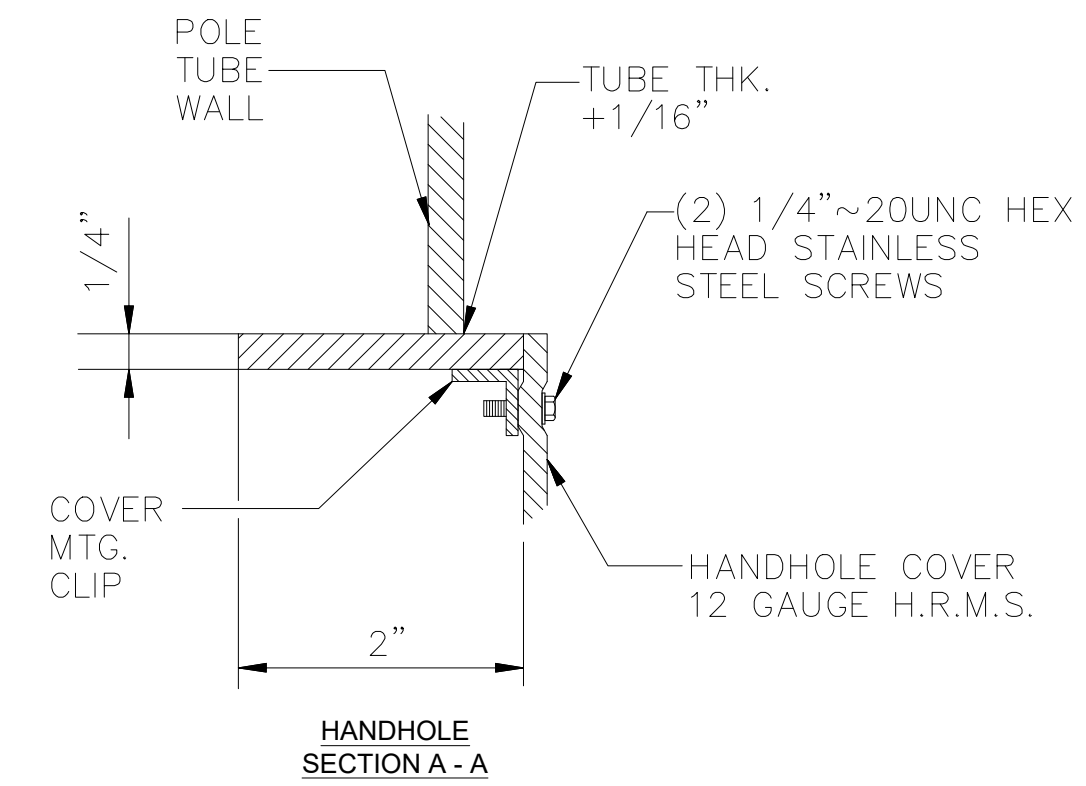
02 TYP. SINGLE LIGHT POLE DETAILS  
NTS



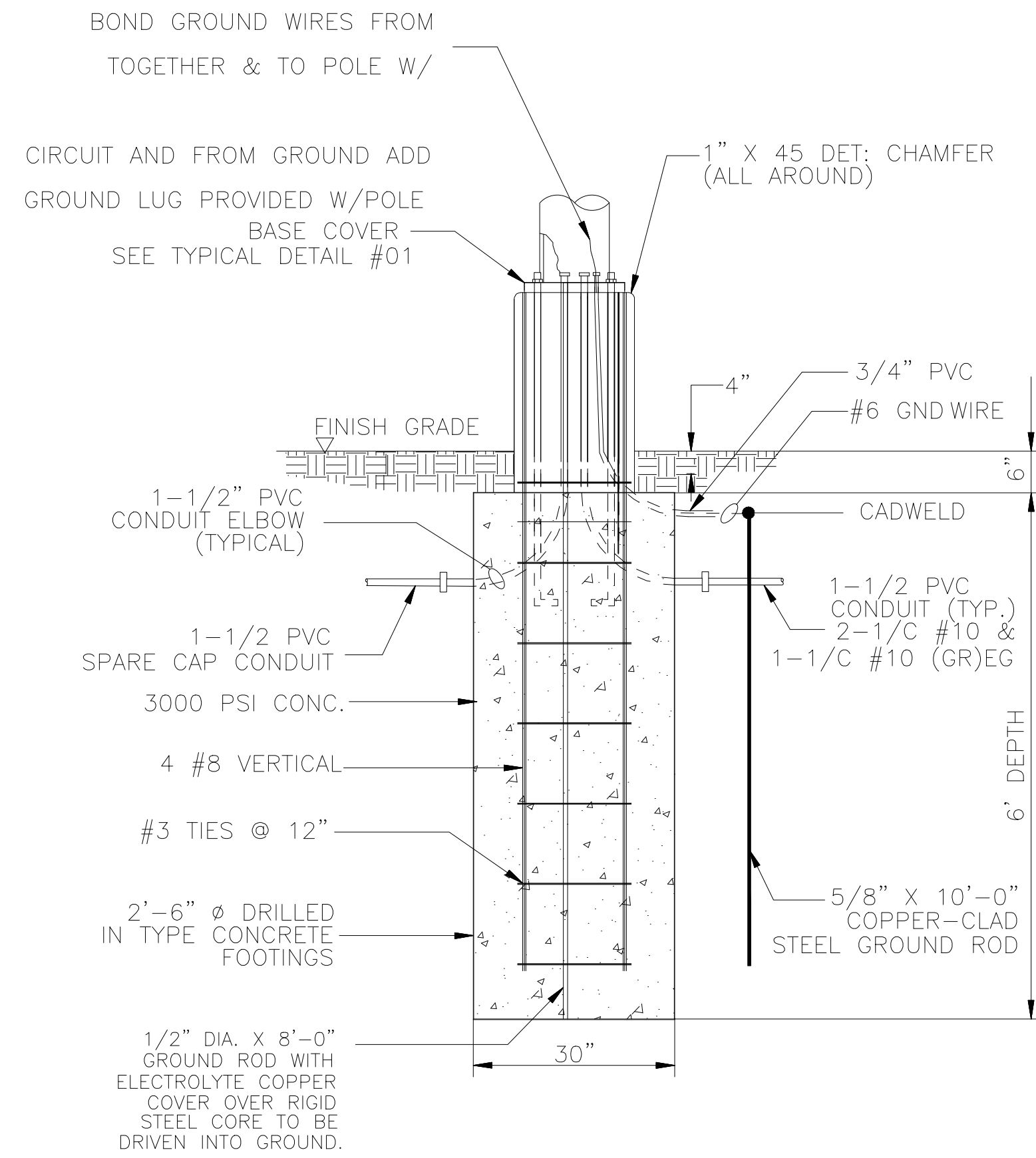
01 TYPICAL DETAIL



TYPICAL DETAIL  
HANDHOLE ELEVATION

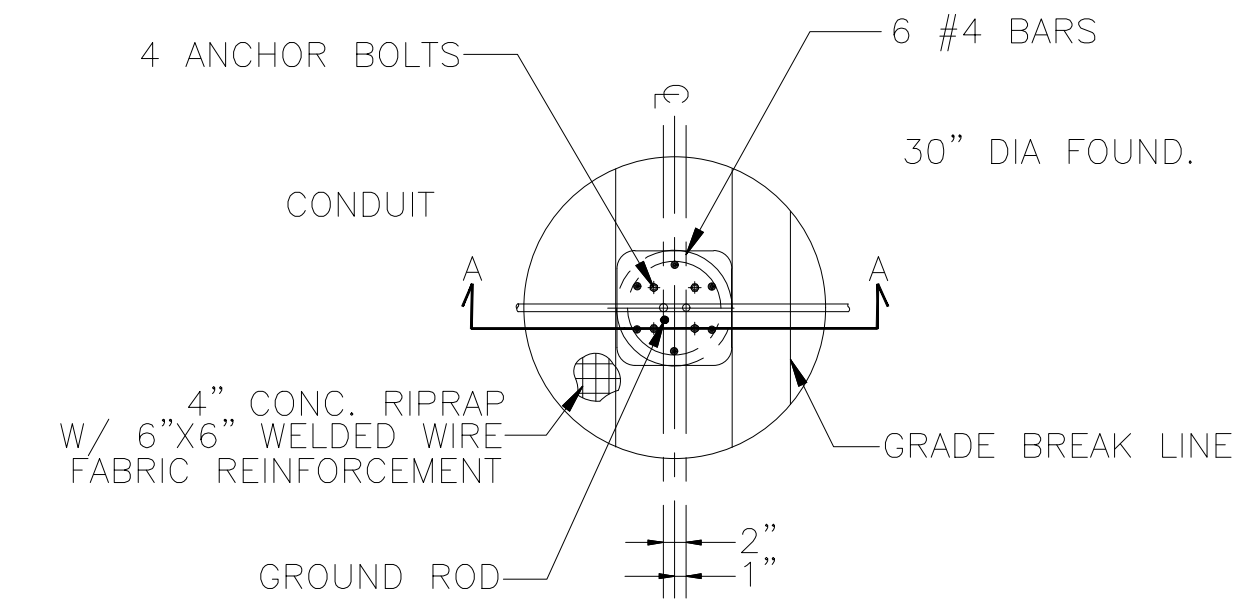


03 TYPICAL DETAIL  
NTS



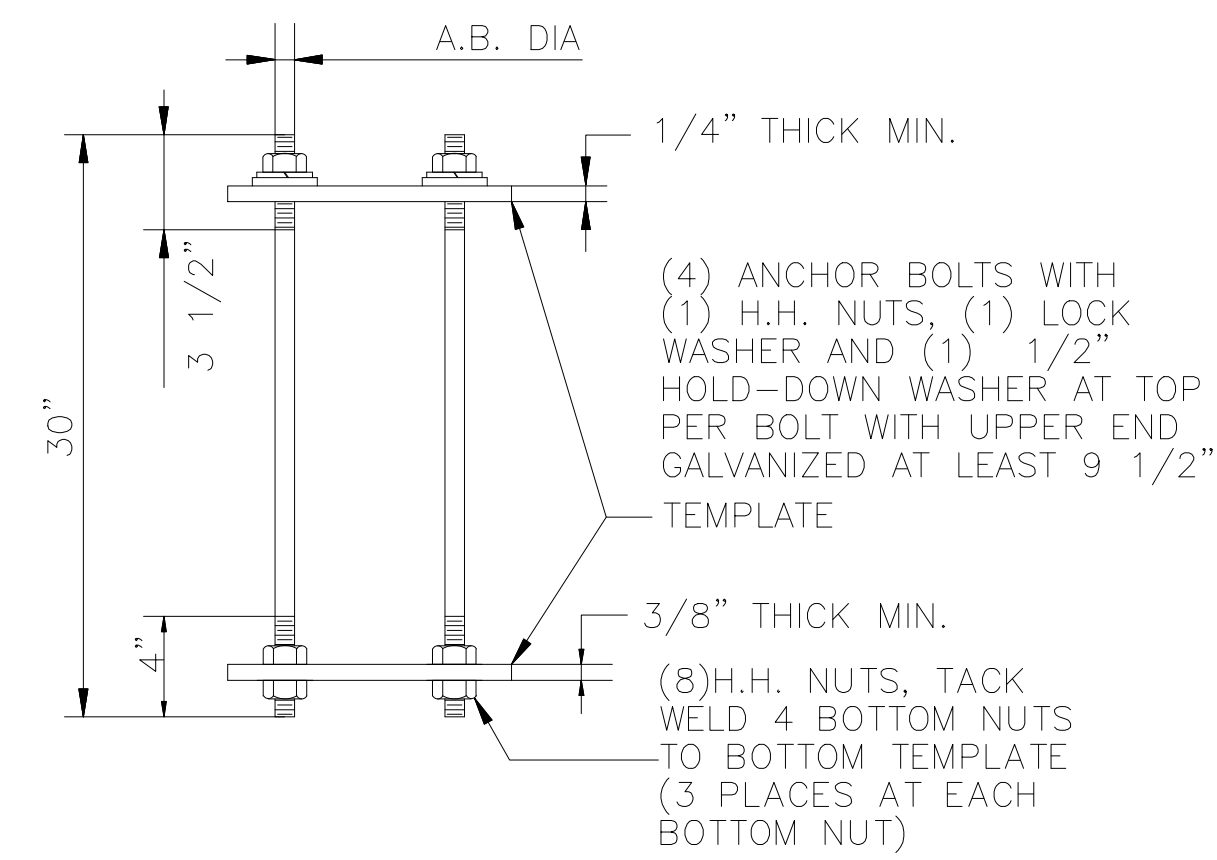
ACTUAL NUMBER OF WIRES WILL VARY.  
STREET LIGHT FOUNDATION - SECTION

05 SECTION A-A'  
NTS



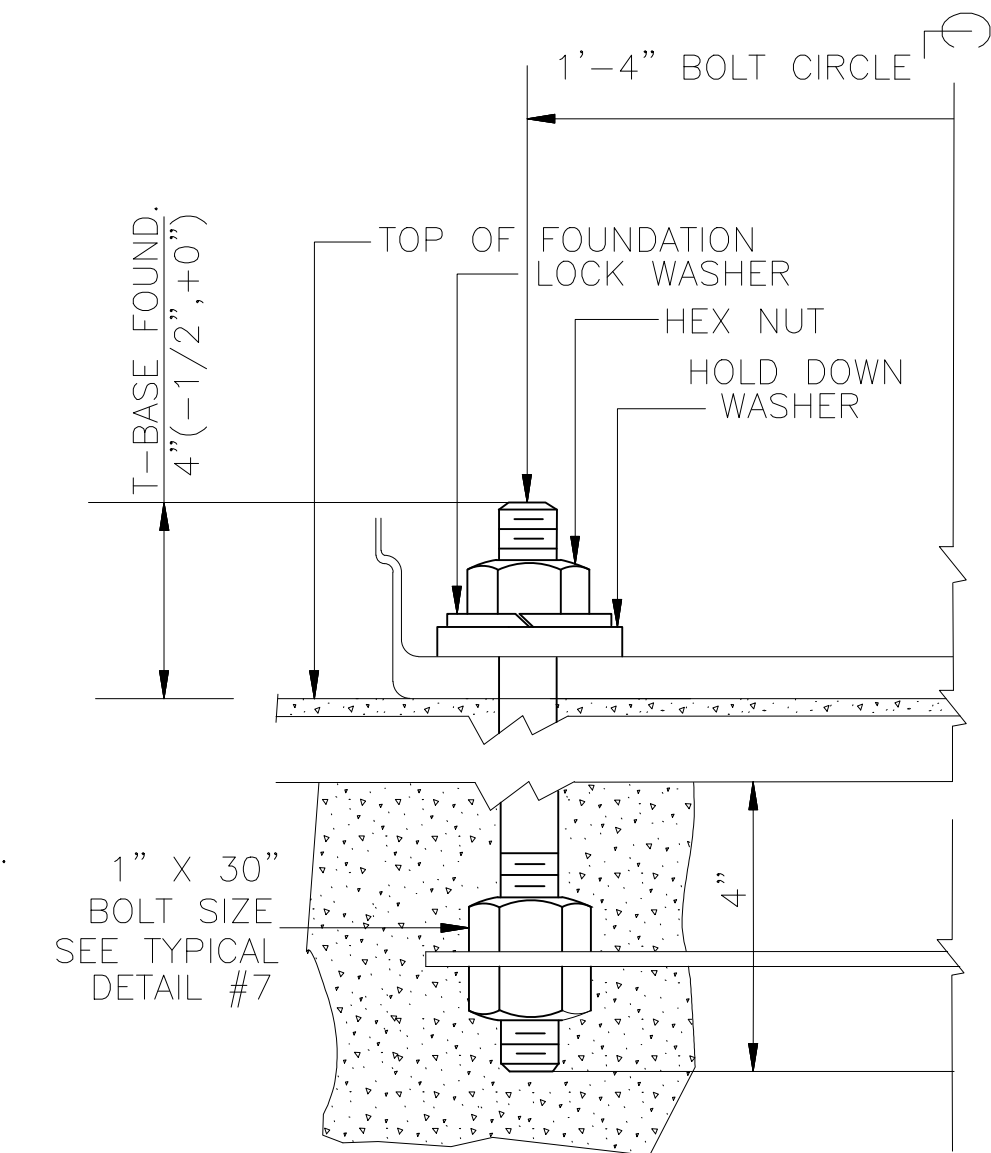
STREET LIGHT FOUNDATION - PLAN

04 TYPICAL DETAIL  
NTS



BASE ANCHOR BOLT ASSEMBLY

06 TYPICAL DETAIL  
NTS



ANCHOR BOLT DETAILS 'T-BASE'

07 TYPICAL DETAIL  
NTS



POLE'S DETAIL  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 219  
DALLAS, TEXAS 75252  
(972) 246-9651  
P.E. REGISTRATION # F-006974  
T.E.P.L.S. FIRM REGISTRATION # 100625

PSA  
ENGINEERING

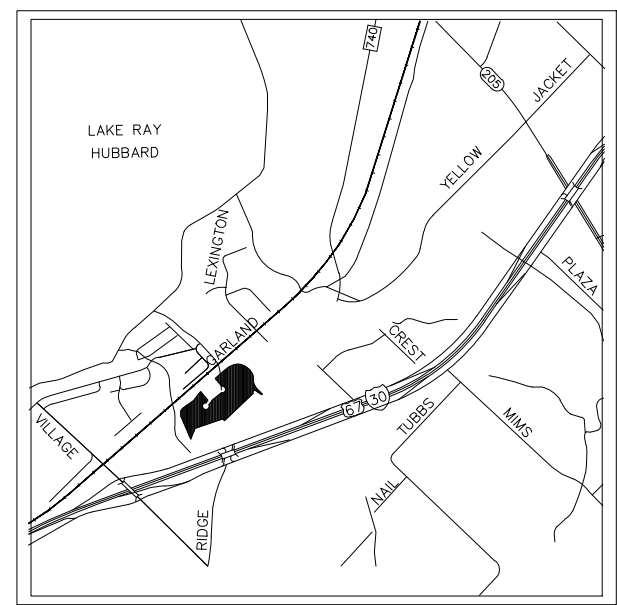
SCALE: AS SHOWN  
DESIGNED: P55  
DRAWN: PSA  
CHECKED: P55

PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-06





### Streetworks

**DESCRIPTION**  
The Galleon™ LED luminaires deliver exceptional performance in a highly visible, low-profile design. Patented, high-efficiency AnacoLED™ Optics™ system provides uniform and energy-efficient illumination for walkways, parking lots, roadways, building areas and security lighting applications. (PSE area and GALLEON LED for road luminaires).

**SPECIFICATION FEATURES**  
**Construction:** Extruded aluminum die cast. AnacoLED™ Optics™ system. 100-277V ballast. 480V is compatible for use with 480V systems. Galleon luminaire is designed with 100% aluminum and epoxy resin housing and clear polycarbonate lens. The Galleon LED luminaire is designed with a 100% aluminum and epoxy resin housing and clear polycarbonate lens. The Galleon LED luminaire is designed with a 100% aluminum and epoxy resin housing and clear polycarbonate lens.

**Optics:** Patented, high-efficiency AnacoLED™ Optics™ system. 100-277V ballast. 480V is compatible for use with 480V systems. Galleon luminaire is designed with 100% aluminum and epoxy resin housing and clear polycarbonate lens. The Galleon LED luminaire is designed with a 100% aluminum and epoxy resin housing and clear polycarbonate lens.

**Dimensions:** 100-277V ballast. 480V is compatible for use with 480V systems. Galleon luminaire is designed with 100% aluminum and epoxy resin housing and clear polycarbonate lens. The Galleon LED luminaire is designed with a 100% aluminum and epoxy resin housing and clear polycarbonate lens.

### GAN GALLEON LED

**1-1 Light Square**

**3-1 Light Square**

**4-1 Light Square**

**5-1 Light Square**

**6-1 Light Square**

**7-1 Light Square**

**8-1 Light Square**

**9-1 Light Square**

**10-1 Light Square**

**11-1 Light Square**

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**92-1 Light Square**

**93-1 Light Square**

**94-1 Light Square**

**95-1 Light Square**

**96-1 Light Square**

**97-1 Light Square**

**98-1 Light Square**

**99-1 Light Square**

**100-1 Light Square**

### GAN GALLEON LED

**OPTICAL ORIENTATION**

**OPTICAL DISTRIBUTION**

**LUMEN MAINTENANCE**

**LUMEN MULTIPLIER**

**ORDERING INFORMATION**

**REVISION**

NO. DATE BY  
1 18-08-07 P55

REMARK: CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

### GAN GALLEON LED

**NOMINAL POWER LUMENS (1.0A)**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
Input Current @ 100V AC	0.98	1.96	2.94	3.92	4.90	5.88	6.86	7.84	8.82	9.80
Input Current @ 120V AC	0.82	1.64	2.46	3.28	4.10	4.92	5.74	6.56	7.38	8.20
Input Current @ 277V AC	0.36	0.72	1.08	1.44	1.80	2.16	2.52	2.88	3.24	3.60
Input Current @ 480V AC	0.24	0.48	0.72	0.96	1.20	1.44	1.68	1.92	2.16	2.40

**TYPE**

**DRILLING PATTERN**

**OPERATION DATA**

**WARRANTY**

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**TYPE**

**DRILLING PATTERN**

**OPERATION DATA**

**WARRANTY**

**SITE PLANS SET**

**REVISION**

NO. DATE BY  
1 18-08-07 P55

REMARK: CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**CATALOG CUT SHEET**

**FOR**

**DFW HOSPITALITY OF ROCKWALL LLC**

**CITY OF ROCKWALL, TEXAS**

**ENGINEERING**

17819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75262  
(972) 248-9651  
P: 00851  
I: 00852  
E: 00853

**SCALE:** AS SHOWN

**DESIGNED:** P55

**DRAWN:** PSA

**CHECKED:** P55

**PROJECT NO.:** 21737.VPR

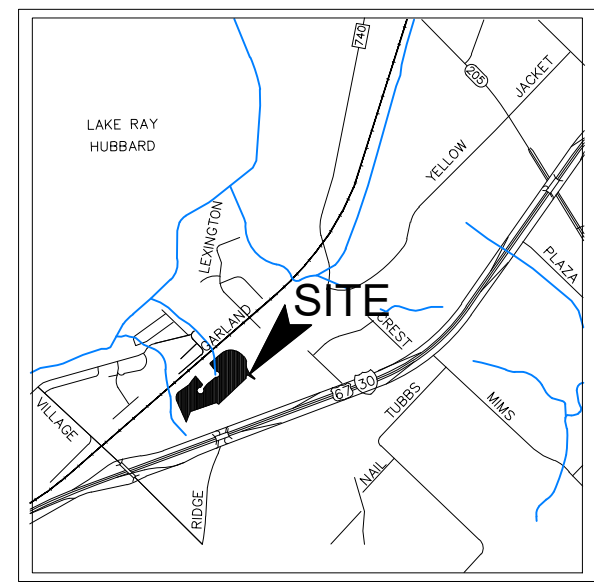
**DATE:** AUGUST 07, 2018

**SHEET:** C-07

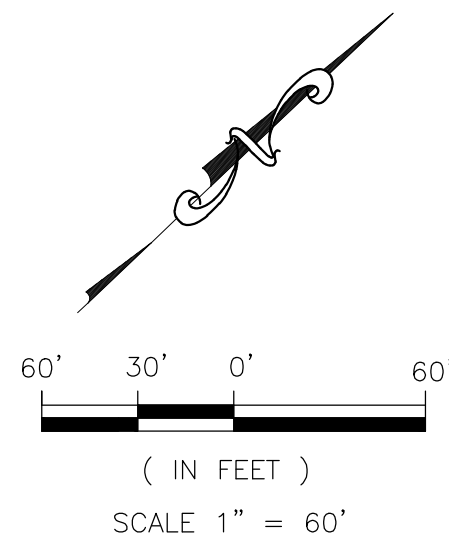
**"DANGER"**  
Know what's below.  
Call before you dig.  
(800) 485-5844  
(@ LEAST 72 HRS PRIOR TO DIGGING)

Z:\2017\21737.VPR\CURRENT\SHEET\18-07-30 SITE PLANS SET\18-07-30 SITE LIGHTING PLAN\PROP MED OFFICE\CATALOG CUT SHEET.dwg, 8/7/2018 10:59:38 AM, DWG To PDF.pc3





VICINITY MAP  
N.T.S.



**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- 1/2" IRF/IRF
- EX.MH.
- MH.
- EX.FH.
- T.FH.
- EX.SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT



**LOT INFORMATION**

<b>TRACT 1</b>	AREA LOT PROPOSED	= 119,688 S.F. (2.748 AC.)	= FUTURE BUILDING
<b>TRACT 2</b>	AREA LOT PROPOSED	= 62,769 S.F. (1.441 AC.)	= FUTURE BUILDING
<b>TRACT 3</b>	AREA LOT PROPOSED	= 11,788 S.F. (0.271 AC.)	= FUTURE BUILDING
<b>TRACT 4 - PHASE I</b>	AREA LOT PROPOSED	= 57,876 S.F. (1.329 AC.)	= 24,000 S.F. PROFESSIONAL BLDG. 3-STORY
<b>PARKING REQUIREMENTS</b>	PARKING RATIO	= 1/300 S.F.	
	TOTAL PARKING REQUIRED	= 106 SP	
	TOTAL PARKING PROVIDED	= 106 SP	
	HANDICAP PARKING REQUIRED	= 4 SP	
	SURFACE PARKING PROVIDED	= 70 SP	
	TOTAL SURFACE PARKING	= 74 SP	
	GARAGE PARKING PROVIDED	= 32 SP	
<b>TRACT 5 - PHASE I</b>	AREA LOT PROPOSED	= 88,910 S.F. (2.041 AC.)	= 39,500 S.F. AVID HOTEL, 87 RM. 3-STORY
<b>PARKING REQUIREMENTS</b>	PARKING RATIO	= 1SP/1 UNIT	
	TOTAL PARKING REQUIRED	= 87 SP	
	TOTAL PARKING PROVIDED	= 112 SP	
	HANDICAP PARKING REQUIRED	= 4 SP	
	SURFACE PARKING PROVIDED	= 76 SP	
	TOTAL SURFACE PARKING	= 80 SP	
	GARAGE PARKING PROVIDED	= 32 SP	
<b>TRACT 6</b>	AREA LOT PROPOSED	= 79,087 S.F. (1.816 AC.)	= FUTURE BUILDING
<b>TRACT 7</b>	AREA LOT PROPOSED	= 55,951 S.F. (1.284 AC.)	= FUTURE BUILDING

PREPARED BY:  
**ASA ENGINEERING**  
 17819 DAVENPORT ROAD, SUITE 215  
 DALLAS, TEXAS 75252  
 (972) 248-9651 FAX (972) 248-9681  
 TX T.B.P.E. REGISTRATION # F-006974  
 T.B.P.L.S. FIRM REGISTRATION # 100433

OWNER/DEVELOPER  
**DFW HOSPITALITY OF ROCKWALL LLC**  
 2402 PATHWAY ELDORADO,  
 AR, 71730

**CONCEPT PLAN**  
 FOR  
**DFW HOSPITALITY OF ROCKWALL LLC**  
**11.173 ACRES**  
 PART OF  
 William Blevins Survey, Abst. No.9  
 James Smith Survey, Abst. No.200  
 City of Rockwall  
 Rockwall County, Texas  
 MARCH 06, 2018



**LOT INFORMATION**

- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90\* angle.
- Must build complete water line loop now.
- must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area.
- Parking to be 20' by 9' standard.
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

- EX.FH. PROPOSED FIRE HYDRANT
- FH. PROPOSED SITE LIGHTING 20' HT. MAX.
- ① INDICATE PARKING NO.
- ▬ INDICATE CURB INLET
- RF REBAR FOUND
- CRS CAPPED REBAR SET
- IRF. IRON ROD FOUND
- IRS. IRON ROD SET
- UTIL. UTILITY
- ESMT. EASEMENT
- EX. EXISTING
- WTR. WATER LINE
- EX.MH. EXISTING SANITARY SEWER MANHOLE
- B.L. BUILDING SETBACK LINE
- R.O.B. RIGHT OF WAY

**SITE NOTE:**

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

**SITE PLAN NOTE:**

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD. PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

**FIRE LANE NOTE:**

- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- FIRE LANES SHALL HAVE:
  - WIDTH OF 24 FEET
- FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3- STORIES IN HEIGHT:
  - 20-feet (inside) for turns less than or equal to 90 degrees
  - 25-feet (inside) for turns greater than 90 degrees
- A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEETS OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
- MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

**NOTE:**

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT.

**FLOOD PLAIN NOTE:**

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

Establish 100-yr water surface elev.

10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.

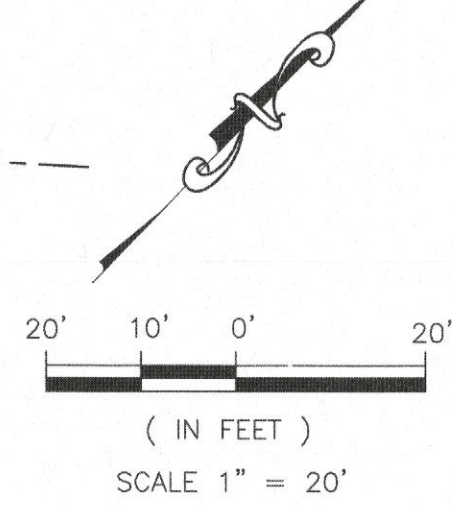
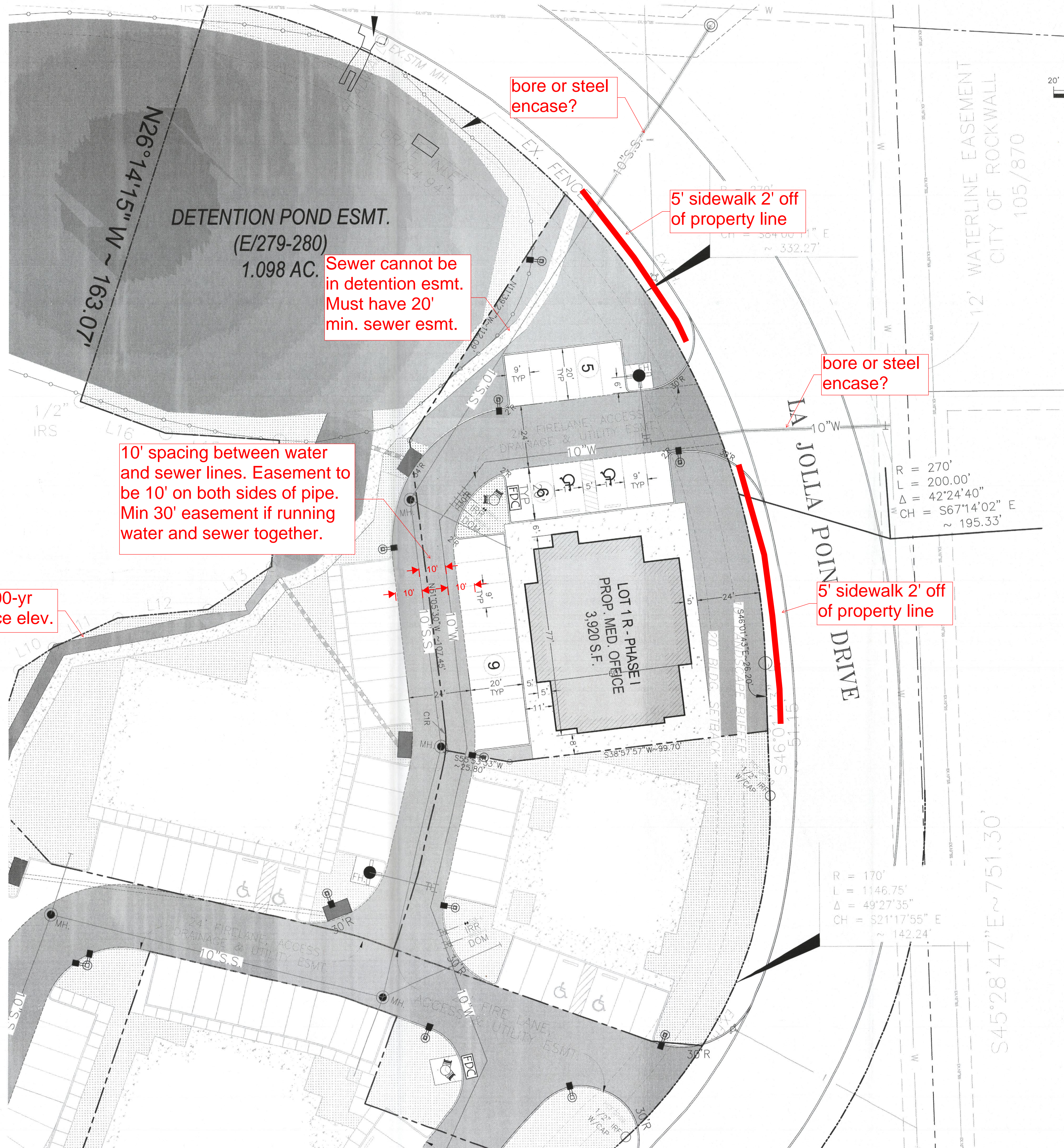
Sewer cannot be in detention esmt. Must have 20' min. sewer esmt.

bore or steel encase?

5' sidewalk 2' off of property line

bore or steel encase?

5' sidewalk 2' off of property line



REVISION		
NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

**SITE PLAN**

FOR

**DFW HOSPITALITY OF ROCKWALL LLC**

CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**

17819 DAVENPORT ROAD, SUITE 215  
DALLAS, TEXAS 75252  
(972) 248-9851  
TX TBPE REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

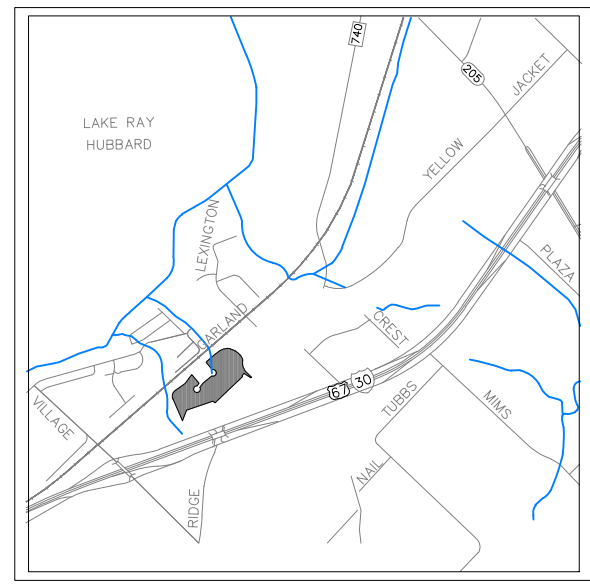
PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

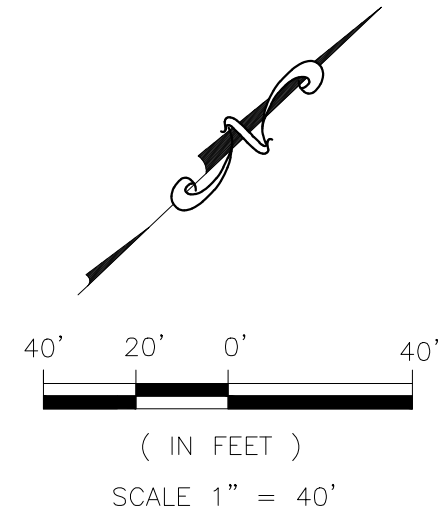
SHEET: C-01







VICINITY MAP  
N.T.S.

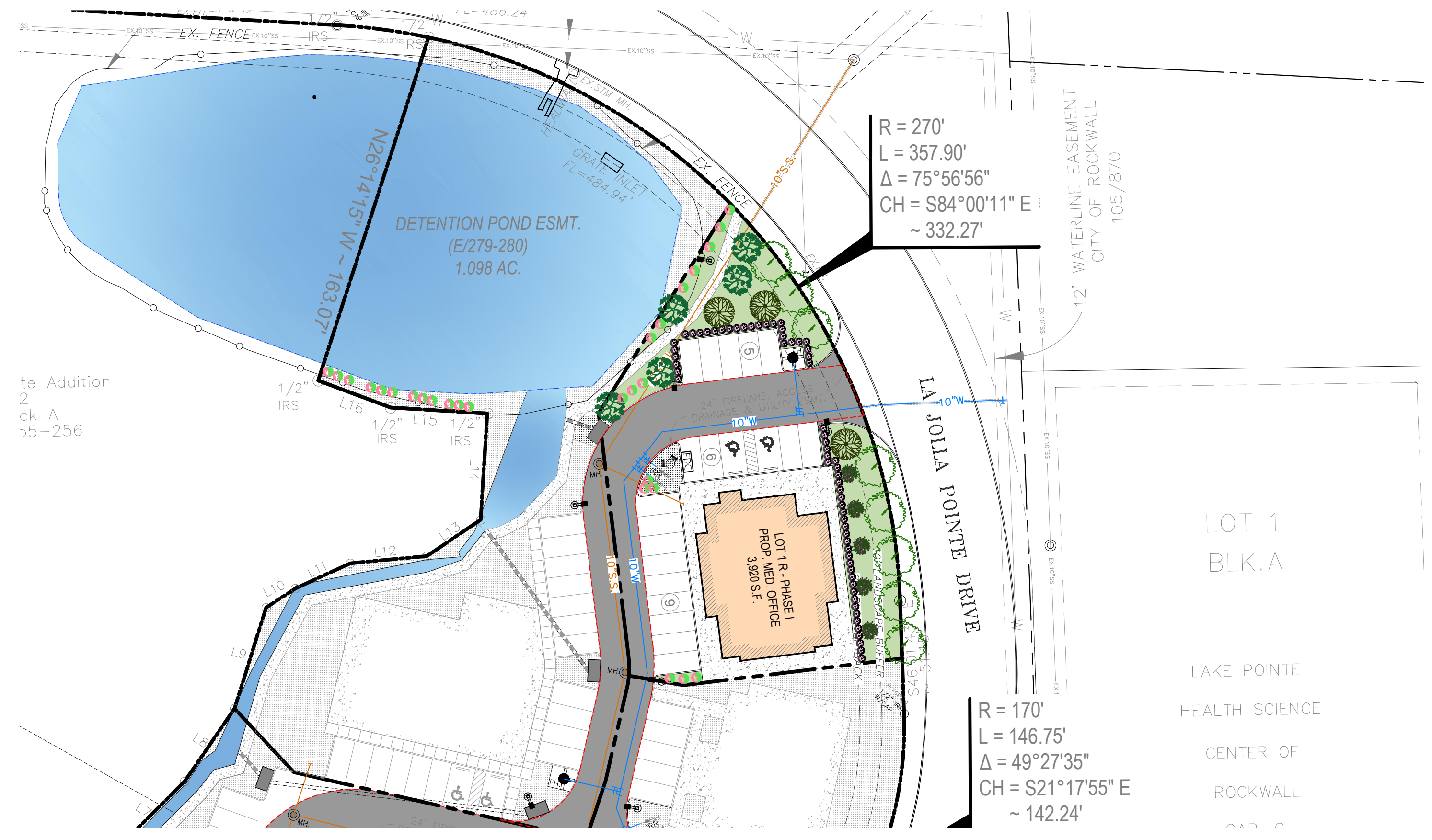


**LEGENDS:**

	PROPERTY LINE		EXISTING TREE TO KEEP
	EASEMENT LINE		LITTLE GEM MAGNOLIA
	IRON ROD		TEXAS RED OAK TREE (SHADE)
	EXISTING SANITARY MANHOLE		EASTERN RED BUD (ORNAMENTAL)
	PROPOSED SANITARY MANHOLE		DWARF INDIAN HAWTHORN
	EXISTING FIRE HYDRANT		PAMPAS GRASS
	PROPOSED FIRE HYDRANT		ERAGROSTIS CURVULA HYDROSEED

**PLANT MATERIAL SCHEDULE :**

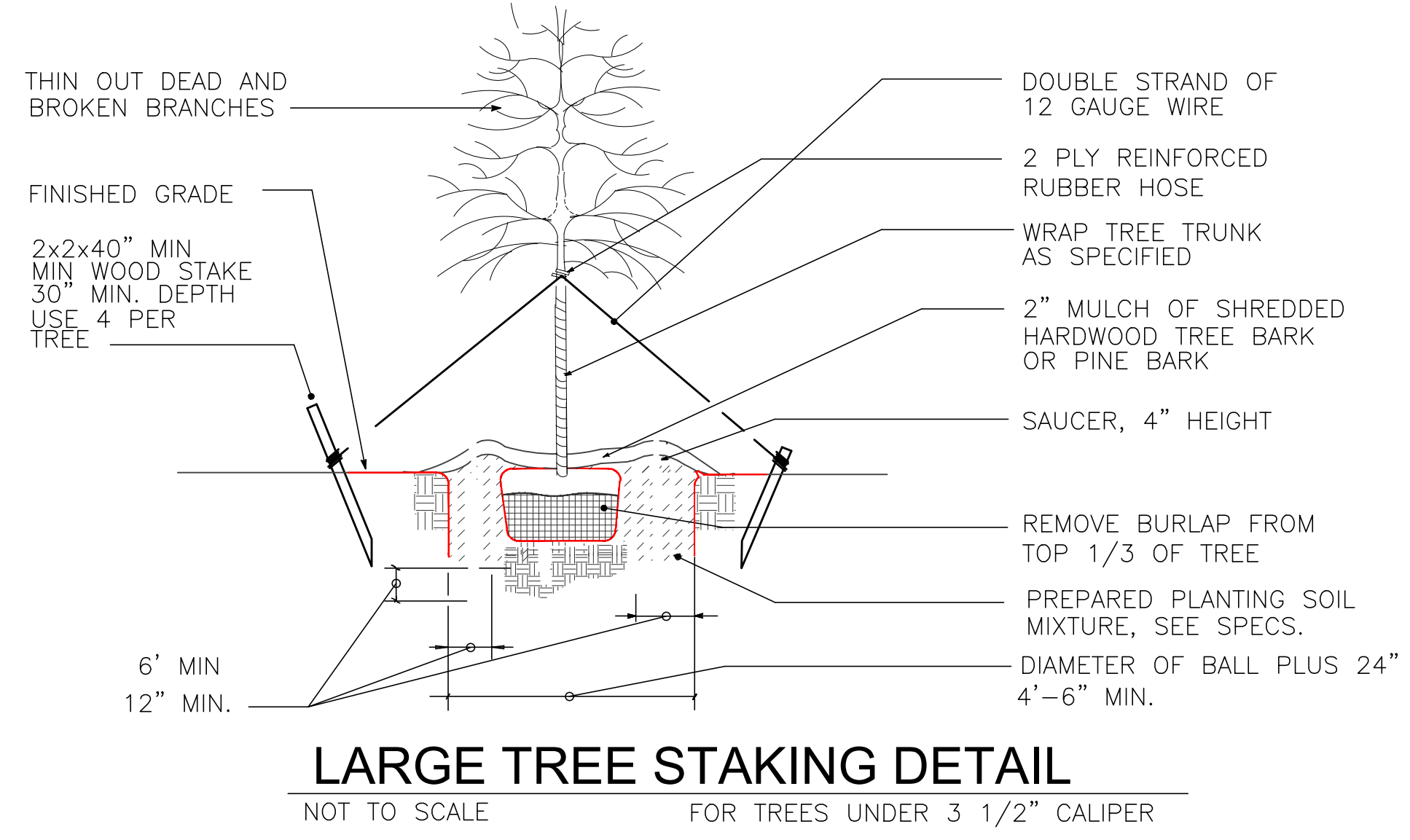
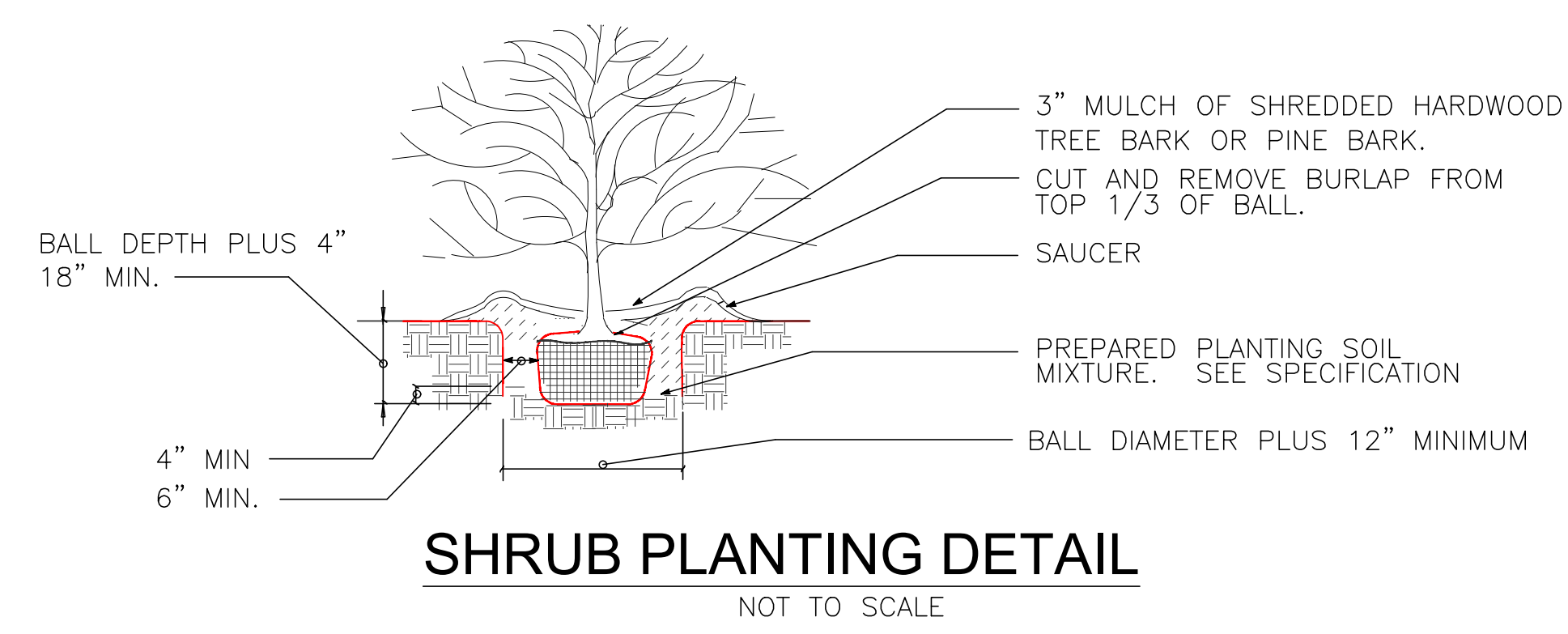
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
3	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
5	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
5	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.
63	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
16	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
5,868 SF.	WEeping LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	



**LANDSCAPE TABULATIONS:**

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE ( 227 FT.)	5 TREES	8 TREES
PARKING SPACE (20 SP)		
1 TREE PER 10 REQ. PARKING SPACES ( 20 REQ. SPACES)	2 TREES	3 TREES
AMOUNT OF LANDSCAPING ( TOTAL LOT AREA = 20,927 SF.)	3,139.05 SF.	5,868 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

**FLOOD PLAIN NOTE:**  
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.



**LANDSCAPE NOTE:**

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUBS AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN OR LOCAL TEXAS ASSOCIATION OF NURSERMEN (STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MATRINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCURRY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL. STAKE AND GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.

TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



**SITE PLANS SET**

REVISION		
NO.	DATE	BY
1	18-08-07	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN  
FOR  
DFW HOSPITALITY OF ROCKWALL LLC  
CITY OF ROCKWALL, TEXAS



**ASA ENGINEERING**  
17818 DAWSONPORT ROAD, SUITE 215  
DALLAS, TEXAS 75248  
(972) 248-8651  
TX T.B.P.E. REGISTRATION # F-006974  
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: PSS  
DRAWN: PSA  
CHECKED: PSS

PROJECT NO. 21737-VPR

DATE: AUGUST 07, 2018

SHEET: L-01







8/9/2018

# City of Rockwall



## Project Plan Review History

Revised Comments Highlighted

**Project Number** SP2018-024  
**Project Name** MEDICAL OFFICE BUILDING  
**Type** SITE PLAN  
**Subtype**  
**Status** P&Z HEARING

**Owner** ROCKWAY, PARTNERS LLP  
**Applicant** PSA ENGINEERING, LLC

**Applied** 7/17/2018 LM  
**Approved**  
**Closed**  
**Expired**  
**Status** 7/24/2018 DG

**Site Address** 550 LA JOLLA POINTE DR  
**City, State Zip** ROCKWALL, TX 75087

Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
RICHARD HARRIS	6	A	6	4119-000A-0006-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:15 PM SH)						
- Impact Fees must be paid.						
- 4% Engineering Inspection fees						
- Must meet all Engineering Standards of Design						
- All storm outfalls of flow downstream not at a 90* angle.						
- Must build complete water line loop now						
- Must check existing detention to make sure the approved volume and outfall is still correct						
- Need to establish the 100-yr water surface elevation in open channel area						
- Parking to be 20' by 9' standard.						
- No trees within 5' of public utilities.						
- Walls 3' and taller must be designed by an engineer.						
- Retaining walls must be rock or stone faced						
- Dumpster to drain to an oil/water separator.						
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning						
- No grate inlets allowed						
- Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide.						
- Must loop water line now.						
- Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives.						
- Driveway spacing must be 100' minimum.						
- 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
- Please see the attached mark up.						
(7/25/2018 4:17 PM SH)						
- Must add 5' sidewalks along La Jolla Dr. 2' off of property line.						
- Will the sewer lines under La Jolla be bored or Steet encased?						
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
(7/19/2018 10:20 AM LS)						
Address assignment will be:						
550 LA JOLLA POINTE DR, ROCKWALL, TX 75087						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/24/2018	7 COMMENTS	See comments

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label all revised site plan documents with "Case No. SP2018-024" at the lower right corner.
4. The development is to comply with the Scenic Overlay (SOV) District standards.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:

The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):

1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical and horizontal articulation for the east and west elevations.
2. Sec. 6.8.D.1: Approval of a variance for not meeting the minimum 20% natural or quarried stone requirement for the north, south, east & west elevations.
3. Sec. 6.8.D.1: Approval of a variance for exceeding the 50% cementaceous materials (i.e. appears to be stucco?) for the east and west elevations.
4. Sec. 6.8.D.2: Approval of a variance for not meeting the pitched roof requirement for a building less than 6,000 SF by allowing for a flat roof design.
5. Sec. 6.8.D.5: Approval of a variance for not meeting the four sided articulation fo the building design with the same materials, detailing, and features.
6. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building.
7. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof.

THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:

- a. On & Off-Site Surface Drainage Area Map - submit with civil set.
- b. Proposed Utility Layout Plan - submit with civil set.
- c. Level 01 - Floor Plan - submit with building permit.
- d. Overall Location - informational only.

\*\* Please address the following Planning Comments for each plan submitted:

Site Plan:



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
1. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).						
2. Where is the dumpster enclosure? As a note, it cannot face the street. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with walls to a minimum of 8-ft in height and the exterior materials matching the primary structure. Provide detail.						
3. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such						
4. Where are the HVAC units? Are these ground mounted or RTU's? Must be screened from rights-of-way and open space. Provide detail.						
5. Side yard set-back for the south facing elevation must be a minimum of 10-ft unless this is a fire retardant wall. If fire retardant, check with fire department for specifications on meeting this requirement						

Landscape Plan:

1. Provide a row of trees behind the perimeter of the building per SOV standards
2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.

Treescape Plan:

1. Mitigation credit of 44 inches to be used towards mitigation balance of office and medical building sites [SP2018-024 & SP2018-025]. This will leave a credit balance of 8 inches to be applied to SP2018-025. Mitigation balance satisfied for this project.

Photometric Plan:

1. Provide a separate photometric plan for each lot/development.
2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan.
3. Exterior lightpole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above.

Building Elevations:

1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration.
2. What type of stone are you using on the building (i.e. natural or manufactured)? If a manufactured stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the manufactured stone product. Please provide a Materials Sample Board for ARB meeting on Tuesday, July 31st.
3. Provide measurements for the height and width of the building for the perspectives or on 2D elevations.
4. Where are the HVAC units being placed. Indicate location and screening of the units from the rights-of-way and open space areas.
5. Provide calculations for all exterior materials and label as such.
6. Provide labels for north, south, east & west facing for each elevation.
7. See all variances associated with the elevations as submitted above.

\*\*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com)

\*\*\*\* Scheduled Meeting Dates to Attend

Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]  
 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						
PLANNING	David Gonzales	8/9/2018	8/16/2018	8/9/2018	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						Should the Planning and Zoning Commission conditionally approve this site plan, the following staff comments are to be addressed and resubmitted no later than Tuesday, August 21, 2018. Please provide two large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff:
						* Planning Department General Comments to be addressed:
						1. Adherence to Engineering and Fire Department standards shall be required
						2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
						3. The development is to comply with the Scenic Overlay (SOV) District standards.
						VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:
						The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):
						1. Sec.4.1.C.1.b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation for the east and west elevations
						2. Sec. 6.8.D.2: Approval of a variance for not meeting the pitched roof requirement for a building less than 6,000 SF by allowing for a flat roof design.
						3. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building
						THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION. THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:
						a. On & Off-Site Surface Drainage Area Map - submit with civil set.
						b. Proposed Utility Layout Plan - submit with civil set.
						c. Level 01 - Floor Plan - submit with building permit.
						d. Overall Location - informational only.
						** Please address the following Planning Comments for each plan submitted
						Site Plan:
						1. Relabel all firelane as '25-ft Firelane, PUBLIC ACCESS & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).
						2. Side yard set-back for the south facing elevation must be a minimum of 10-ft unless this is a fire retardant wall. Check with fire department for specifications on meeting this requirement, or shift building to meet setback.
						Landscape Plan:
						2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.
						Treescape Plan:
						1. Mitigation credit of 101 inches to be applied towards mitigation balance of SP2018-025. Mitigation balance satisfied for this project
						Photometric Plan:
						1. Adjustment Required. High readings indicated at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
Performance, of the Unified Development Code with re-submitting each separate lot plan							
Building Elevations:							
1. See all variances associated with the elevations as submitted above							
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail <a href="mailto:dgonzales@rockwall.com">dgonzales@rockwall.com</a>							
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## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2018-024	<b>Owner</b> ROCKWAY, PARTNERS LLP	<b>Applied</b> 7/17/2018 LM
<b>Project Name</b> MEDICAL OFFICE BUILDING	<b>Applicant</b> PSA ENGINEERING, LLC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 7/24/2018 DG

<b>Site Address</b> 550 LA JOLLA POINTE DR	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> RICHARD HARRIS	<b>Tract</b> 6	<b>Block</b> A	<b>Lot No</b> 6	<b>Parcel No</b> 4119-000A-0006-00-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:15 PM SH) - Impact Fees must be paid.  - 4% Engineering Inspection fees  - Must meet all Engineering Standards of Design  - All storm outfalls of flow downstream not at a90* angle.  - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct  - Need to establish the 100-yr water surface elevation in open channel area  - Parking to be 20' by 9' standard.  - No trees within 5' of public utilities.  - Walls 3' and taller must be designed by an engineer.  - Retaining walls must be rock or stone faced  - Dumpster to drain to an oil/water separator.  - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - No grate inlets allowed - Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide. - Must loop water line now. - Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives. - Driveway spacing must be 100' minimum. - 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together. - Please see the attached mark up.						
(7/25/2018 4:17 PM SH) - Must add 5' sidewalks along La Jolla Dr. 2' off of property line. - Will the sewer lines under La Jolla be bored or Steet encased?						
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED
(7/19/2018 10:20 AM LS) Address assignment will be: 550 LA JOLLA POINTE DR, ROCKWALL, TX 75087						



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Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

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Site Plan:



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<ol style="list-style-type: none"> <li>1. Relabel all firelane as '25-ft Firelane, Public Access &amp; Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).</li> <li>2. Where is the dumpster enclosure? As a note, it cannot face the street. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque with walls to a minimum of 8-ft in height and the exterior materials matching the primary structure. Provide detail.</li> <li>3. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such</li> <li>4. Where are the HVAC units? Are these ground mounted or RTU's? Must be screened from rights-of-way and open space. Provide detail.</li> <li>5. Side yard set-back for the south facing elevation must be a minimum of 10-ft unless this is a fire retardant wall. If fire retardant, check with fire department for specifications on meeting this requirement</li> </ol>						

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2. What type of stone are you using on the building (i.e. natural or manufactured)? If a manufactured stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the manufactured stone product. Please provide a Materials Sample Board for ARB meeting on Tuesday, July 31st.
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5. Provide calculations for all exterior materials and label as such
6. Provide labels for north, south, east & west facing for each elevation
7. See all variances associated with the elevations as submitted above

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 Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						



Sec. 6.8. - Scenic Overlay (SOV) District.

A. *Purpose.*

1. The Scenic Overlay District is a specialized zoning district overlay along FM-740 which has been identified in the comprehensive land use plan as a scenic thoroughfare. The identified scenic aspects of FM-740 include views of the lake, existing natural topography, and existing natural landscaping. The district has been established to protect scenic or historic qualities through the use of additional development criteria and by requiring uses compatible with both existing uses and with the visual environment. The development requirements for nonresidential uses are more restrictive than in other commercial classifications in order to encourage development that will protect and enhance the existing views, topography, landscape and quality of development.
2. This district is designed to be primarily an office and retail/commercial shopping district with an intensity of uses normally found along a major thoroughfare. These uses may, however, be located close to residential areas. The type of allowed uses and the more restrictive development requirements provide protection for residential areas.
3. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through an architectural review committee.

- B. *Application and boundaries.* This Overlay District shall apply to all property located within the established boundary along FM-740 as set forth on Exhibit A of Ord. No. 87-64. Property that has been zoned, platted and site planned at the time of adoption of the ordinance from which this section is derived shall be exempted from the provisions of this section unless and until an application for zoning, platting, or site planning is re-submitted on the property.

All property developed within the Overlay District must meet both the terms and requirements of the underlying zoning classification applicable to the property and the provisions set forth in the Overlay District. The most restrictive requirement applicable to the property shall apply.

- C. *Special use standards.* All development within the Scenic Overlay District shall comply with the land use tables in article IV, Permissible Uses, as amended; however, the following uses may be considered on a case-by-case basis only and shall require a specific use permit.

1. Gasoline service stations, and retail outlets where gasoline products are sold as an accessory to a retail use, subject to the conditions established in article IV, Permissible Uses.



2. Car wash (all types), subject to the conditions of article IV, Permissible Uses.
3. Any structure over 36 feet in height.

D. *Architectural standards.*

1. Masonry requirements. Each exterior wall shall consist of 90 percent masonry materials, excluding doors and windows, as defined in article XII, Definitions, excluding cast stone and cultured stone, on walls which are visible from a public street or open space, including a minimum of 20 percent natural or quarried stone.
  - a. Primary exterior materials shall include natural or quarried stone, brick, glass block or glass, tile, cast metal and custom concrete masonry units. The use of other cementaceous products (e.g. stucco, Hardy Plank, or other similar materials approved by the building official) shall be limited to 50 percent of the building's exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first four feet above grade on a facade visible from a street or public area. Each elevation's masonry requirement shall incorporate accent bricks or stones. As the term is used, an "accent brick or stone" is one that provides a contrast by color, shape, size, and/or texture to the field of primary bricks or stones in an elevation. Additionally, the Planning and Zoning Commission may consider the use of high quality manufactured or cultured stone if the following standards of manufacturing and warranty apply to the product;
    - ☑ That the manufacturing molds should be made from actual stones and each piece should complement each other having the right shape, texture, size and detail of natural stone;
    - ☑ That the overtones of color should be integrated into the stone during the molding process, while the base color of the stone is blended entirely throughout;
    - ☑ That highly skilled artisans should be utilized to hand paint each piece in order to give each stone depth and variation of color;
    - ☑ That the use of the highest quality synthetic mineral oxides should be used to infuse the surface with rich, authentic tones; and
    - ☑ That the manufactured stone product shall have a minimum warranty of 75 years.
  - b.



Secondary materials used on the facade of a building are those that comprise less than ten percent of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, EIFS, cast stone, cultured stone or other materials as approved by the director of planning or his designee.

2. Roof design standards. Rooftop mechanical equipment and other appurtenances must be properly screened. All structures having a footprint of 6,000 square feet or less shall be constructed with a pitched roof system. Those structures having a footprint greater than 6,000 square feet shall be constructed with either a pitched, parapet, or mansard roof system (enclosed on all sides). Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish. Metal roofs with lapped seam construction, bituminous built-up roofs, and flat, membrane-type roofs which are visible from adjacent public right-of-way shall be prohibited.
3. Mechanical equipment screening. All buildings must be designed such that no mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site.

Screening of rooftop mechanical equipment and/or other rooftop appurtenances screening shall be accomplished by either:

- a) The construction of the roof systems described in subsection D.2 above; or
- b) An architectural feature which is integral to the building's design and ensures that such equipment is not visible from adjacent public right-of-way.

The fencing or enclosing of individual mechanical units shall not be permitted except as described above.

All rooftop mechanical equipment or architectural features described herein shall be shown on the required building elevations and submitted along with the site plan for approval.

4. All buildings shall be designed to incorporate no less than four of the architectural elements listed below. Buildings over 50,000 square feet must include a minimum of six of the referenced architectural elements. Buildings over 100,000 square feet must include a minimum of seven of the referenced architectural elements:
  - Canopies, awnings, or porticos;
  - Recesses/projections;



- Arcades;
  - Peaked roof forms;
  - Arches;
  - Outdoor patios;
  - Display windows;
  - Architectural details (such as tile work and moldings) integrated into the building facade;
  - Articulated ground floor levels or base;
  - Articulated cornice line;
  - Integrated planters or wing walls that incorporate landscape and sitting areas;
  - Offsets, reveals or projecting rib used to express architectural or structural bays;
  - Varied roof heights; or
  - Other architectural features approved by the director of planning or his designee.
5. All retail/commercial buildings shall be architecturally finished on all four sides with the same materials, detailing, and features with one row of trees planted on the perimeter behind the building.
  6. Windows shall have a maximum exterior visible reflectivity of 20 percent. Color of glass shall be reviewed and approved by the director of planning or his designee.
  7. All buildings within a common retail/commercial development, as shown on a concept plan or site plan, shall have similar architectural styles, materials, and colors.
    - a. Conceptual facade plans and sample boards shall be submitted with the site plan application for all nonresidential uses. The purpose of the conceptual facade plan is to ensure consistency and compatibility for all buildings within a single development. Facade plans will be used only to ensure minimum standards are met.
  8. Corporate identities that conflict with the building design criteria shall be reviewed as a variance as defined in this section and reviewed on a case-by-case basis by the planning and zoning commission and approved by the city council.

E. *Site design standards.*

1. *Building setback.* All lots within the Scenic Overlay District shall maintain a minimum building setback of 15 feet from the front property line adjacent to FM 740. All other building setback regulations shall be the same as set forth in the underlying zoning district except as otherwise noted herein.
2. *Parking area restrictions.* No more than two rows of parking shall be allowed between



the primary building and the FM 740 right-of-way.

3. *Access/ingress/egress.* To minimize potential vehicular and pedestrian conflicts particular attention must be given to the location of median breaks along major thoroughfares, number and location of entry/exit drives, design of entry/exit drives in relationship to the parking areas, and sight distances.

Further guidelines:

- a. Driveways should typically be spaced a minimum of 100 feet from the intersection of a major thoroughfare or as per the Texas Department of Transportation on state maintained roads;
  - b. The ingress and egress drives shall have a minimum radius of 30 feet;
  - c. Driveways should maintain an appropriate sight distance triangle at all perimeter entrances and exits;
  - d. Main entrance drives should generally be located at median breaks providing left turn access to and from the site;
  - e. Main entrance drives should connect to a "straightaway" aisle that does not dead end or require an immediate turn to approach the main building;
  - f. Aisles intersecting with entrance drives should be spaced at a minimum of 20 feet from the property line to provide for smooth turning movements.
4. *Cross access.* Cross access easements may be required by the city council at the time of the site plan approval to ensure access to future median breaks and to reduce the number of needed curb cuts.
  5. *Shared parking.* In master planned retail centers, cross access and shared parking agreements are required for final platting.
  6. *Loading and service areas.* Loading and service areas shall be located on the rear and side of buildings whenever possible. In the event that a loading or service area faces FM 740, additional screening of the area may be required. A minimum ten-foot solid screening wall shall be required to screen views of loading docks and loading spaces intended for tractor/semitrailer delivery from any public right-of-way. This ten-foot wall must screen the entire loading dock or space. Screening materials shall utilize similar masonry materials to the front facade. The accommodation of adequate access for service delivery trucks may be evaluated to determine the extent of screening required.

7.



*Trash receptacles and recycling receptacles.* Trash and recycling receptacles shall be four-sided with a gate and located outside buffer-strips, and to the side or rear of the primary building. The receptacles shall be screened by a minimum eight-foot solid masonry screen and shall utilize similar masonry materials to the principal structure. Every effort shall be made in order to screen trash/recycling receptacles from FM 740.

8. *Play structures.* Play structures shall not be placed between the primary building and any adjacent public right-of-way.
9. *Plan review.* In addition to other factors set out in this Unified Development Code, concept plans, development plans, and site plans shall be reviewed for:
  - a. Meeting the intent of article VIII, Landscape Standards, and the screening provisions below.
  - b. Achieving the intent of the Architectural and Site Design Standards.
  - c. Proper site entry identification and cross access circulation to avoid congestion at ingress and egress points.
- F. *Landscape standards.* All sites shall, as a minimum, meet the following standards and the requirements of article VIII, Landscape Standards. Where the following standards conflict with the article VIII, these requirements shall prevail:
  1. *[Required width and height.]* The buffer-strip shall be a minimum of 20 feet wide and include a "built-up" berm and/or shrubbery or a combination of both along the entire length of the subject property's frontage along the FM 740 right-of-way. The minimum required height of the aforementioned berm and/or shrubbery or a combination thereof is 30 inches and shall not exceed a maximum height of 48 inches.
  2. *Buffer-strip plantings.* Two canopy trees, along with four accent trees shall be required per 100 feet of the FM 740 right-of-way. Canopy trees, accent trees, and shrubs as defined, along with sizes and types are included in subsections F.3 and F.4.
  3. *Plant material sizes.* The following size requirements shall be required:
    - Canopy trees: four-inch caliper.
    - Accent trees: four-foot height.
    - Shrubs:
      - Deciduous: 15 inches; two-gallon minimum.
      - Evergreen: 12 inches; two-gallon minimum.



4. *Plant material selections.* The following materials are recommended for planting in the buffer-strip; however, other materials may be acceptable:

Canopy trees: Afghan Pine, Bur Oak, Caddo Maple, Cedar Elm, Lacebark Elm, Leyland Cypress, Little Gem Magnolia, Live Oak, October Glory Maple.

Accent trees: Desert Willow, Eastern Redbud, Eves Necklace, Mexican Buckeye, Possumhaw Holly, Shangtung Maple, Yaupon Holly.

5. *Erosion control/retaining walls.* Any slope embankments or retaining walls within the public right-of-way or within the required buffer-strip must be terraced every four feet in height (maximum) with a minimum of a two foot planting area provided between each vertical plane. Materials used for the vertical elements shall be natural stone or any masonry material which matches the masonry material used on the front facade of the primary building. The planting area must contain plant materials other than grass.
- G. *Signs.* All permanent freestanding signs located in the Scenic Overlay District shall be monument signs (except at the intersection with Interstate 30) adhering to the City of Rockwall sign ordinance (chapter 32 of the Code of Ordinances) as heretofore amended and as may be amended in future. Building materials and colors utilized for construction of the monument base shall be the same as the primary building materials and colors found on the main building, unless otherwise approved by the city council. Approval of any variance to the sign ordinance for property included in the Scenic Overlay District shall require city council approval by a three-quarter majority vote.
  - H. *Lighting standards.* In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the Scenic Overlay District. All lighting fixtures shall focus light downward and be contained on the site.
  - I. *Utility placement.* All overhead utilities within the Scenic Overlay District shall be placed underground.
  - J. *Variance.* The city council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require city council approval by a three-quarter majority vote of those city council members present with a minimum of four affirmative votes.

(Ord. No. 05-49, 9-19-2005; Ord. No. 06-14, 4-17-2006; Ord. No. 15-23, § 2, 8-3-2015; Ord. No. 15-32, § 1, 12-7-2015)