



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP 2018-023 P&Z DATE 8/14/2018 CC DATE 8/20/2018 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECEIPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2018-03

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address La Jolla Point Drive

Subdivision LA JOLLA POINT ADDITION

Lot

6

Block

B

General Location Southwest Corner of Ridge Road and La Jolla Point Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District with SUP Permit

Current Use Undevelop Tract of Land

Proposed Zoning n/a

Proposed Use AVID Hotel

Acreage 1.954

Lots [Current]

1

Lots [Proposed]

1

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner DFW Hospitality of Rockwall, LLC

Applicant PSA Engineering, LLC

Contact Person Shailesh Vora, M.D.

Contact Person Pann S. Sribhen, P.E.

Address 2402 Pathway

Address 17819 Davenport Road, Ste 215

City, State & Zip El Dorado, AR 71730

City, State & Zip Dallas, TX 75252

Phone +1 (870) 918-7339

Phone +1 (972) 567-8239

E-Mail scvora@sbcglobal.net

E-Mail Panns@psaengr.com

NOTARY VERIFICATION [REQUIRED]

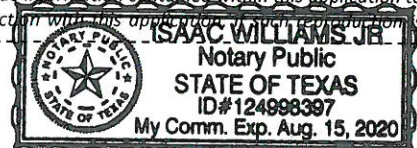
Before me, the undersigned authority, on this day personally appeared Pann S. Sribhen [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 290.-, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of July, 20 18. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, and any reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of July, 20 18.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires 8-15-2020



DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. Each set of plans should be folded into a Tri-Fold with the project title or identifier facing out.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ONE (1) PDF COPY OF THE PLAT
 - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

** AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE*

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
 - SITE PLAN.
 - LANDSCAPE PLAN.
 - TREESCAPE PLAN.
 - PHOTOMETRIC PLAN.
 - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" Tri-Fold with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE WITHOUT A COMPLETE APPLICATION SUBMITTAL. THE CASE MAY NOT BE PROCESSED AND MAY NOT BE PLACED ON A PUBLIC HEARING AGENDA.



RECEIPT

Project Number: SP2018-023
Job Address: LA JOLLA POINTE DR
ROCKWALL, TX 75087

Receipt Number: B81043

Printed: 7/17/2018 3:30 pm

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 290.00

Total Fees Paid:

\$ 290.00

Date Paid: 7/17/2018 12:00:00AM

Paid By: PSA ENGINEERING, LLC

Pay Method: CHECK 11638

Received By: LM



October 2, 2018

ATTN: PANN SRIBHEN
PSA ENGINEERING, LLC
17819 DAVENPORT ROAD, SUITE 215
Dallas, TX 75252

RE: SITE PLAN (SP2018-023), AVID Hotel

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council on 10/01/2018. The following is a record of all recommendations, voting records and conditions of approval:

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board requested the applicant incorporate the Coronado stone with the wood appearance at the main entrance where the AVID logo is located. The board shared their concern for the lack of vertical and horizontal elements that provide relief for the building. The ARB will provide a recommendation to the Planning and Zoning Commission during the next scheduled meeting to be held on August 14, 2018.

On August 14, 2018, the applicant provided elevations meeting the intent of the ARB's recommendations, with the exception of the use of the Coronado Stone, which has the "wood" appearance, to be located on the element where the hotels logo would be inserted. The applicant indicated they would not be able to meet this request due to corporate branding. After reviewing the revised elevations, the Architectural Review Board made a motion recommending approval of the elevations, which passed by a vote of 6 to 0 with Board Member Mitchell absent. This motion included a condition of approval that the applicant provide Austin Stone as depicted on the elevations and not the synthetic stone that was attached to the materials sample board. Additionally, the motion included a recommendation of approval for the variance being requested regarding the lack of horizontal and vertical articulation for the north and south elevations.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;*
- 2) Any construction or building necessary to complete the Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*



PLANNING AND ZONING COMMISSION RECOMMENDATION:

On August 14, 2018, the Planning and Zoning Commission's motion to remand the case back to the Architectural Review Board (ARB) and requesting the applicant meet the articulation standards fo the Unified Development Code (UDC) passed by a vote of 6 to 0 with Commission Fishman absent.

CITY COUNCIL:

On October 1, 2018, the City Council's motion to approve a variance to the vertical articulation standards of the UDC per the Planning and Zoning and ARB recommendations passed by a vote of 5 to 1, with Councilmember Daniels dissenting and Councilmember Johannesen absent.

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

David Gonzales, AICP
Senior Planner
Planning & Zoning Department
City of Rockwall, TX



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 7/17/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 07/27/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 7/31/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 7/31/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2018-023
Project Name: AVID Hotel
Project Type: SITE PLAN
Applicant Name: PSA ENGINEERING, LLC
Owner Name: ROCKWAY, PARTNERS LLP
Project Description:

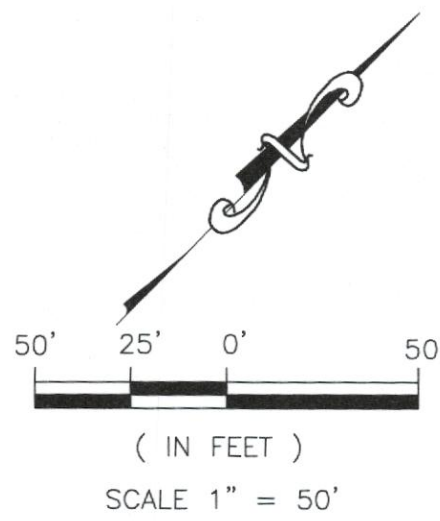


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x18' AND HANDICAP STALLS SHALL BE 11'x18'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 18'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1		
LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

SITE PLAN NOTE:

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

- LEGEND**
- PROPOSED WTR. LINE
 - PROPOSED S.S. LINE
 - PROPERTY LINE
 - EASEMENT LINE
 - STROM SEWER LINE
 - 1/2" IRS/IRF IRON ROD
 - MH. PROPOSED SANITARY MANHOLE
 - EX.MH. EXISTING SANITARY MANHOLE
 - EX.FH. EXISTING FIRE HYDRANT
 - FH. PROPOSED FIRE HYDRANT
 - ⊖ PROPOSED SITE LIGHTING 20' HT. MAX.
 - ① INDICATE PARKING NO.
 - ▭ INDICATE GRATE INLET
 - ▭ INDICATE CURB INLET
 - RF REBAR FOUND
 - CRS CAPPED REBAR SET
 - IRF. IRON ROD FOUND
 - IRS. IRON ROD SET
 - UTIL. UTILITY
 - ESMT. EASEMENT
 - EX. EXISTING
 - WTR. WATER LINE
 - EX.MH. EXISTING SANITARY SEWER MANHOLE
 - B.L. BUILDING SETBACK LINE
 - R.O.B. RIGHT OF WAY

LOT INFORMATION

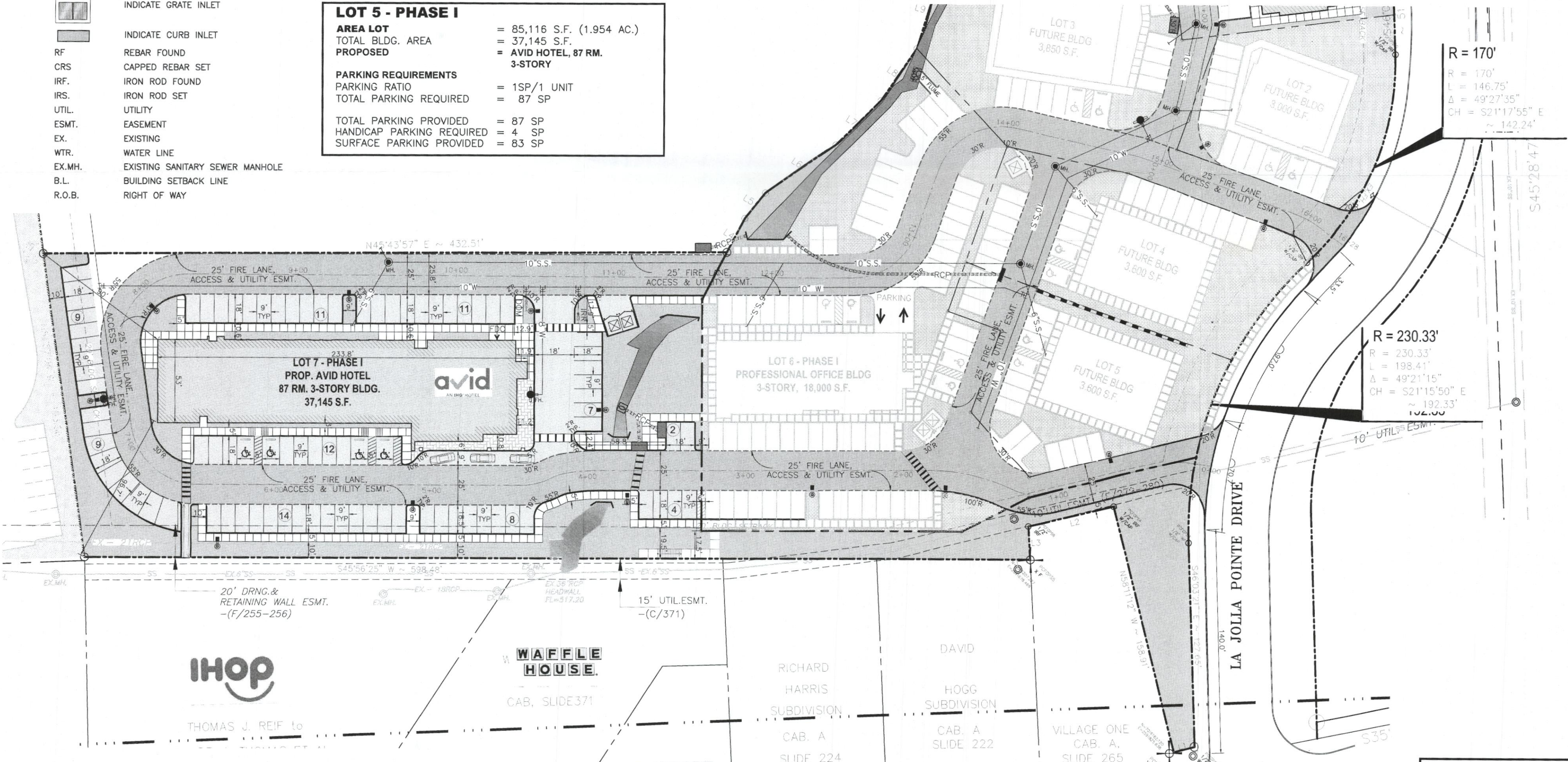
LOT 5 - PHASE I

AREA LOT = 85,116 S.F. (1.954 AC.)
 TOTAL BLDG. AREA = 37,145 S.F.
 PROPOSED = AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS

PARKING RATIO = 1SP/1 UNIT
 TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 83 SP



R = 170'
 L = 146.75'
 Δ = 49°27'35"
 CH = S21°17'55" E
 ≈ 142.24'

R = 230.33'
 L = 198.41'
 Δ = 49°21'15"
 CH = S21°15'50" E
 ≈ 192.33'

REVISION

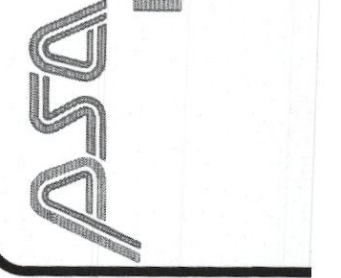
NO.	DATE	BY
O	Y-M-D	PS

REMARK:
 REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.P.E. REGISTRATION # F-006974

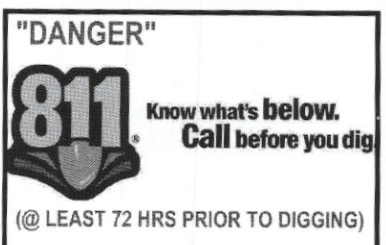


SCALE: AS SHOWN
 DESIGNED: _____
 DRAWN: _____
 CHECKED: _____

PROJECT NO. 21737
 DATE: JULY 16, 20____
 SHEET: C-0____

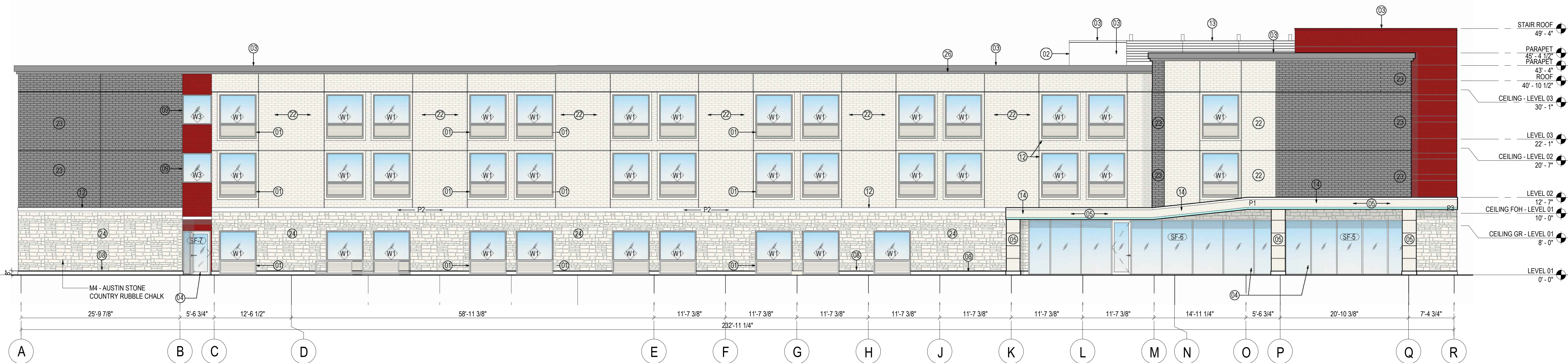
FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



REVISION		
NO.	DATE	BY
0	Y-M-D	P55

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-midscale market segment. The proposed building shall be @ 85 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,771 SF
LEVEL 02	12,187 SF
LEVEL 03	12,187 SF
Grand total	37,145 SF

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL 'DARK GREY' OR 'RED' CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 ROOF ACCESS DOOR ON SCREENWALL
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL: ACME BRICK COLOR 'WHITE' WITH WATERPROOFING SYSTEM
- 23 BRICK WALL: ACME BRICK COLOR 'DARK GREY' WITH WATERPROOFING SYSTEM
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR 'DARK GREY'

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : AQUA
- EXTERIOR ACME BRICK ; COLOR : WESTCHESTER
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G021
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTEC INCORPORATED: TPO SHEET THICKNESS 60MILS, NOMINAL, COMPLETE WITH TREATED WD BLKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	8,125	100%	2,220	100%	8,088	100%	2,324	100%	20,757	100%
2	GLAZING DOORS & WINDOWS	1,429	17.59	482	21.71	1,153	14.26	275	11.83	3,339	16.09
3	NON-GLAZING DOORS&WINDOWS	6,696	82	1,738	78	6,935	86	2,049	88	17,418	84
3.1	TOTAL WALL AREA	6,012	N/A	1,624	N/A	6,312	N/A	1,795	N/A	15,743	N/A
3.2	HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
3.1	ALUM. CLADDING	341	5.67	334	20.57	568	9.00	181	10.08	1,424	9.05
	ACME BRICK (#22 & #23)*	4,018	66.83	598	36.82	3205	50.78	832	46.35	8,653	54.96
	AUSTIN STONE*	1,195	19.88	347	21.37	2331	36.93	493	27.47	4,366	27.73
	8" CAST STONE*	68	1.13	22	1.35	97	1.54	28	1.56	215	1.37
	3-COAT STUCCO*	714	11.88	261	16.07	735	11.64	171	10	1,881	11.95
	MASONRY WALL NET AREA (*)	5,995	51.46	1,228	57.87	6,368	52.33	1,524	53.16	15,115	52.47
	NON-MASONRY WALL NET AREA	5,654	48.54	894	42.13	5,800	47.67	1,343	46.84	13,691	47.53
	TOTAL WALL AREA	11,649	100%	2,122	100%	12,168	100%	2,867	100%	28,806	100%
			100		100		100		100		100

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY, EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD., SUITE 215 DALLAS, TEXAS 75252 (972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMILL LANE DALLAS, TEXAS 75252 (214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: A4.10

REVISION		
NO.	DATE	BY
0	Y-M-D	PSA

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (NORTH & WEST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid
AN IHG HOTEL
ROCKWALL, TEXAS

DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY,
EL DORADO, AR 71730

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DESIGNED: RC

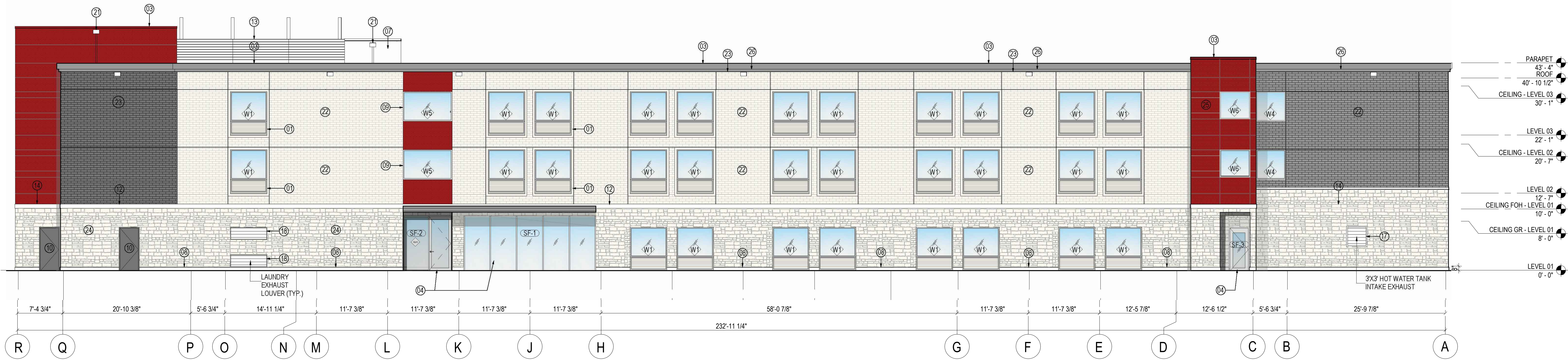
DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 13, 2018

SHEET: **A4.20**



1 FRONT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 86 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,771 SF
LEVEL 02	12,187 SF
LEVEL 03	12,187 SF
Grand total	37,145 SF

SHEET NOTES

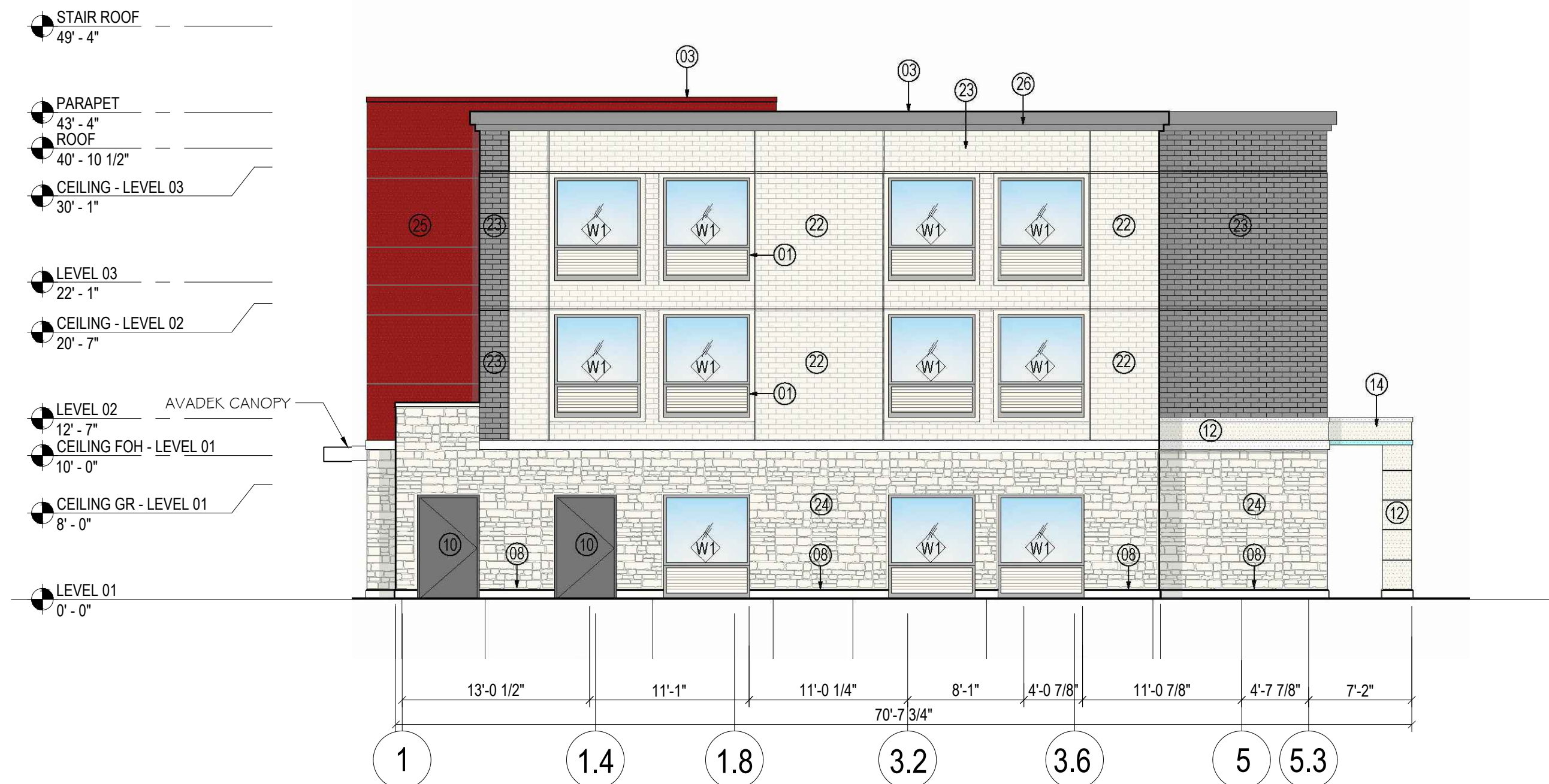
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL 'DARK GREY' OR 'RED' CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 ROOF ACCESS DOOR ON SCREENWALL
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL: ACME BRICK COLOR 'WHITE' WITH WATERPROOFING SYSTEM
- 23 BRICK WALL: ACME BRICK COLOR 'DARK GREY' WITH WATERPROOFING SYSTEM
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR 'DARK GREY'

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : AQUA
- EXTERIOR ACME BRICK ; COLOR : WESTCHESTER
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTAC INCORPORATED; TPO SHEET THICKNESS 80MILS, NOMINAL, COMPLETE WITH TREATED WD BLKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	8,125	100%	2,220	100%	8,088	100%	2,324	100%	20,757	100%
2	GLAZING DOORS & WINDOWS	1,429	17.59	482	21.71	1,153	14.26	275	11.83	3,339	16.09
3	NON-GLAZING DOORS&WINDOWS	6,696	82	1,738	78	6,935	86	2,049	88	17,418	84
	3.1 TOTAL WALL AREA	6,012	N/A	1,624	N/A	6,312	N/A	1,795	N/A	15,743	N/A
	3.2 HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
	ALUM. CLADDING	341	5.67	334	20.57	568	9.00	181	10.08	1,424	9.05
	ACME BRICK (#22 & #23)*	4,018	66.83	598	36.82	3205	50.78	832	46.35	8,653	54.96
	AUSTIN STONE*	1,195	19.88	347	21.37	2331	36.93	493	27.47	4,366	27.73
	8" CAST STONE*	68	1.13	22	1.35	97	1.54	28	1.56	215	1.37
	3-COAT STUCCO*	714	11.88	261	16.07	735	11.64	171	10	1,881	11.95
	MASONRY WALL NET AREA (*)	5,995	51.46	1,228	57.87	6,368	52.33	1,524	53.16	15,115	52.47
	NON-MASONRY WALL NET AREA	5,654	48.54	894	42.13	5,800	47.67	1,343	46.84	13,691	47.53
	TOTAL WALL AREA	11,649	100%	2,122	100%	12,168	100%	2,867	100%	28,806	100%
			100		100		100		100		100

AVID HOTEL



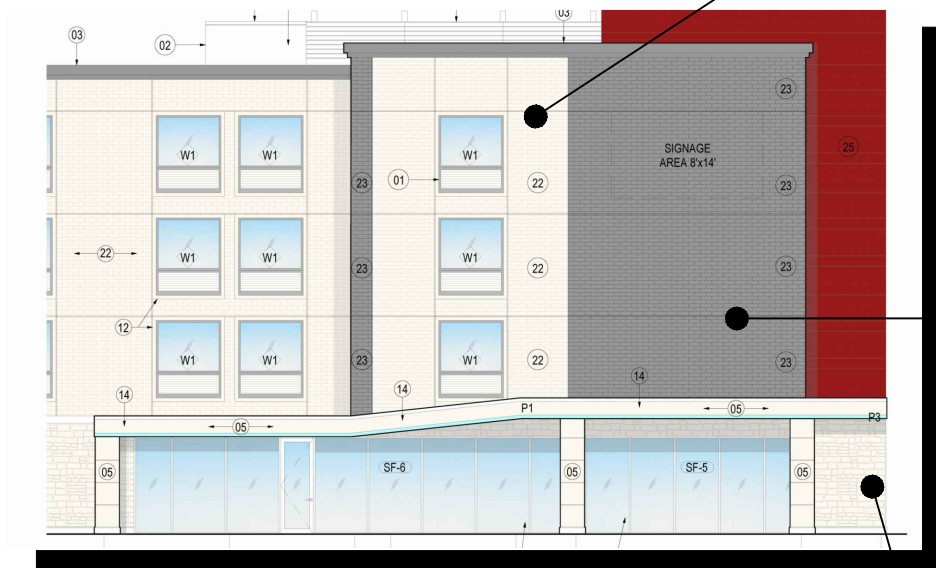
FOR VORA PROPERTY AT ROCKWALL, TEXAS



03. COPING
SHERWIN - WILLIAMS COLOR: SW 7048 - URBANE BRONZE



22. LG - LIGHT GREY WALL
ACME BRICK: MODEL 'GLACIER WHITE - SMOOTH TEXTURE'
PERLA EAST GATE PLANT - PEO050,105822



BUILDING ELEVATION @ FRONT ENTRY



23. DK - DARK GREY WALL
ACME BRICK: MODEL 'WESTCHESTER - VELOUR TEXTURE'
DENTON PLANT - DTP158,764719



P3 CANOPY CLADDING - AQUA
SHERWIN - WILLIAMS COLOR: SW 7048 - URBANE BRONZE
(OR IHG TO PROVIDE AND APPROVE COLOR)



24. DK - DARK GREY WALL
CORONADO STONE: MODEL 'COUNTRY RUBBLE'
COLOR 'CHALK'



25. METAL CLADDING - RED
SHERWIN - WILLIAMS COLOR: SW 6594 - POINSETTIA
(OR IHG TO PROVIDE AND APPROVE COLOR)

City of Rockwall Project Plan Review History



Project Number SP2018-023	Owner ROCKWAY, PARTNERS LLP	Applied 7/17/2018 LM
Project Name AVID Hotel	Applicant PSA ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 7/24/2018 DG

Site Address 508 LA JOLLA POINTE DR	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision RICHARD HARRIS	Tract 6	Block A	Lot No 6	Parcel No 4119-000A-0006-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING Parking?	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:09 PM SH)						
- Impact Fees must be paid.						
- 4% Engineering Inspection fees						
- Must meet all Engineering Standards of Design						
- All storm outfalls of flow downstream not at a 90* angle.						
- Must build complete water line loop now						
- Must check existing detention to make sure the approved volume and outfall is still correct						
- Need to establish the 100-yr water surface elevation in open channel area						
- Parking to be 20' by 9' standard.						
- No trees within 5' of public utilities.						
- Walls 3' and taller must be designed by an engineer.						
- Retaining walls must be rock or stone faced						
- Dumpster to drain to an oil/water separator.						
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning						
- No grate inlets allowed						
- Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide.						
- Must loop water line now.						
- Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives.						
- Driveway spacing must be 100' minimum.						
- Please see the attached mark up.						
(7/25/2018 4:15 PM SH)						
- 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2 COMMENTS	see comments
(7/19/2018 1:51 PM AA)						
Fire hydrants shall be located 6 feet behind the edge of the fire apparatus access roadway/fire lane pavement. Revise location of proposed fire hydrant on the northeast side of the building.						
The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.						
GIS	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2 APPROVED	See Comment

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/19/2018 10:21 AM LS) Address assignment will be: 508 LA JOLLA POINTE DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/24/2018	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label all revised site plan documents with "Case No. SP2018-023" at the lower right corner.
4. The development is to comply with SUP Ordinance No. 18-20 (S-187).

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:

The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):

1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical and horizontal articulation for the north and south elevations.
2. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building
3. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof.

THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:

- a. On & Off-Site Surface Drainage Area Map - submit with civil set.
- b. Proposed Utility Layout Plan - submit with civil set.
- c. Level 01 - Floor Plan - submit with building permit.
- d. Overall Location - informational only.

** Please address the following Planning Comments for each plan submitted

Site Plan:

1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan.
2. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).
3. Dumpster enclosure to be reoriented; not facing the street.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
4. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque 5. Dumpster enclosure walls to a minimum of 8-ft in height with the exterior materials matching the primary structure 6. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such 7. Variance to horizontal articulation required as noted above with recommendation from ARB and R&Z.						
Landscape Plan:						
1. Provide a row of trees behind the perimeter of the building per SOV standards 2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.						
Treescape Plan:						
1. Mitigation credit of 44 inches to be used towards mitigation balance of office and medical building sites[SP2018-024 & SP2018-025].						
Photometric Plan:						
1. Provide a separate photometric plan for each lot/development. 2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan 3. Exterior light pole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above						
Building Elevations:						
1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration 2. Are you using Austin Stone (natural) or Coronado Stone (manufactured) on the building. If Coronado Stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the Coronado stone product. This is being asked due to elevations state Austin Stone and the Materials Sample Board states Coronado Stone 3. The screening elements exceed the overall height limitation of 36-ft, as stipulated by the SUP Ordinance. Adjustment required. 4. Please remove the area's designated for signage. A separate permit for signage is required to be submitted and approved by the building inspections department						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
**** Scheduled Meeting Dates to Attend						
Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant] Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]						
Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z] Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						

- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90° angle.
- Must build complete water line loop now.
- must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area.
- Parking to be 20' by 9' standard.
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Dumpster to drain to an oil/water separator.
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

SITE NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5'
- BUILDING PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

NOTE:
LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

- SITE PLAN NOTE:**
- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
 - ALL SIGNAGE BY SEPARATE PERMIT.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.

SITE PLANS

REVISION

NO.	DATE	BY
0	Y-M-D	P

REMARK:
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING

17819 DANCOURT ROAD, SUITE 215
DALLAS, TEXAS 75242
(972) 246-8651
TX I.B.P.E. REGISTRATION # F-006974

SCALE: AS SHOWN

DESIGNED: _____ P

DRAWN: _____ P

CHECKED: _____ P

PROJECT NO. 21737.0

DATE: JULY 16, 20

SHEET: C-0

- INDICATE GRADE INLET**
- INDICATE CURB INLET**
- No grate inlets**
- RF. IRON ROD FOUND
 - CRS. IRON ROD SET
 - IRF. IRON ROD FOUND
 - IRS. IRON ROD SET
 - UTIL. UTILITY
 - ESMT. EASEMENT
 - EX. EXISTING
 - WTR. WATER LINE
 - EX.MH. EXISTING SANITARY SEWER MANHOLE
 - B.L. BUILDING SETBACK LINE
 - R.O.B. RIGHT OF WAY

LOT INFORMATION

LOT 5 - PHASE I

AREA LOT	= 85,116 S.F.
TOTAL BLDG. AREA	= 37,145 S.F.
PROPOSED	= AVID HOTEL 3-STORY
PARKING REQUIREMENTS	
PARKING RATIO	= 1SP/1 UN
TOTAL PARKING REQUIRED	= 87 SP
TOTAL PARKING PROVIDED	= 87 SP
HANDICAP PARKING REQUIRED	= 4 SP
SURFACE PARKING PROVIDED	= 83 SP

10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.

Establish 100-yr water surface elev.

10' island. 5' clearance all around fire hydrant.

20' parking

20' parking

20' parking

20' parking

Must loop water line

5' sidewalk, 2' off property line

30' Radii for height of building.

30' Radii for height of building.

200' min.

100' min.

FLOOD PLAIN NOTE:
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008





City of Rockwall

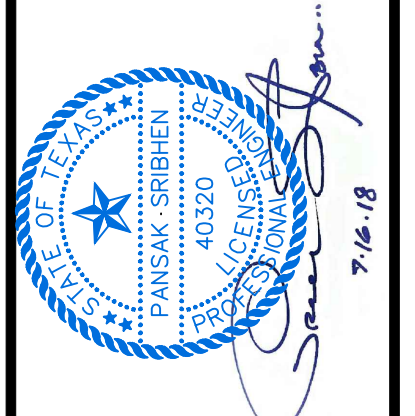
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

SITE PLAN FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
 17819 DANFORTH ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.P.E. REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: JULY 16, 2018

SHEET: C-01

LOT INFORMATION

LOT 5 - PHASE I

AREA LOT	= 85,116 S.F. (1.954 AC.)
TOTAL BLDG. AREA	= 37,145 S.F.
PROPOSED	= AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS

PARKING RATIO	= 1SP/1 UNIT
TOTAL PARKING PROVIDED	= 87 SP

PARKING REQUIREMENTS

TOTAL PARKING PROVIDED	= 87 SP
HANDICAP PARKING REQUIRED	= 4 SP
SURFACE PARKING PROVIDED	= 83 SP

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF	IRON ROD FOUND
	EASEMENT LINE	IRS	IRON ROD SET
	STORM SEWER LINE	UTIL	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE GRATE INLET		
	INDICATE CURB INLET		

SITE NOTE:

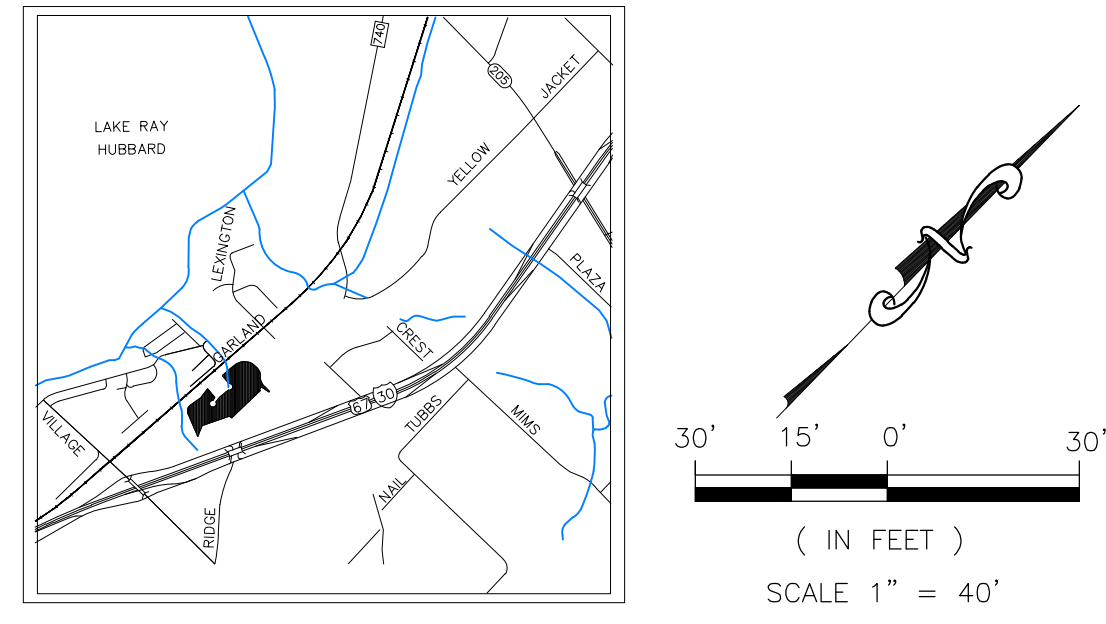
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
- SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
- ALL PARKING STALLS SHALL BE 9'x18' AND HANDICAP STALLS SHALL BE 11'x18'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 18'.
- BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15-FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
- A TURNING RADIUS OF 30- FEET FOR BUILDING 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT. A MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET.

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

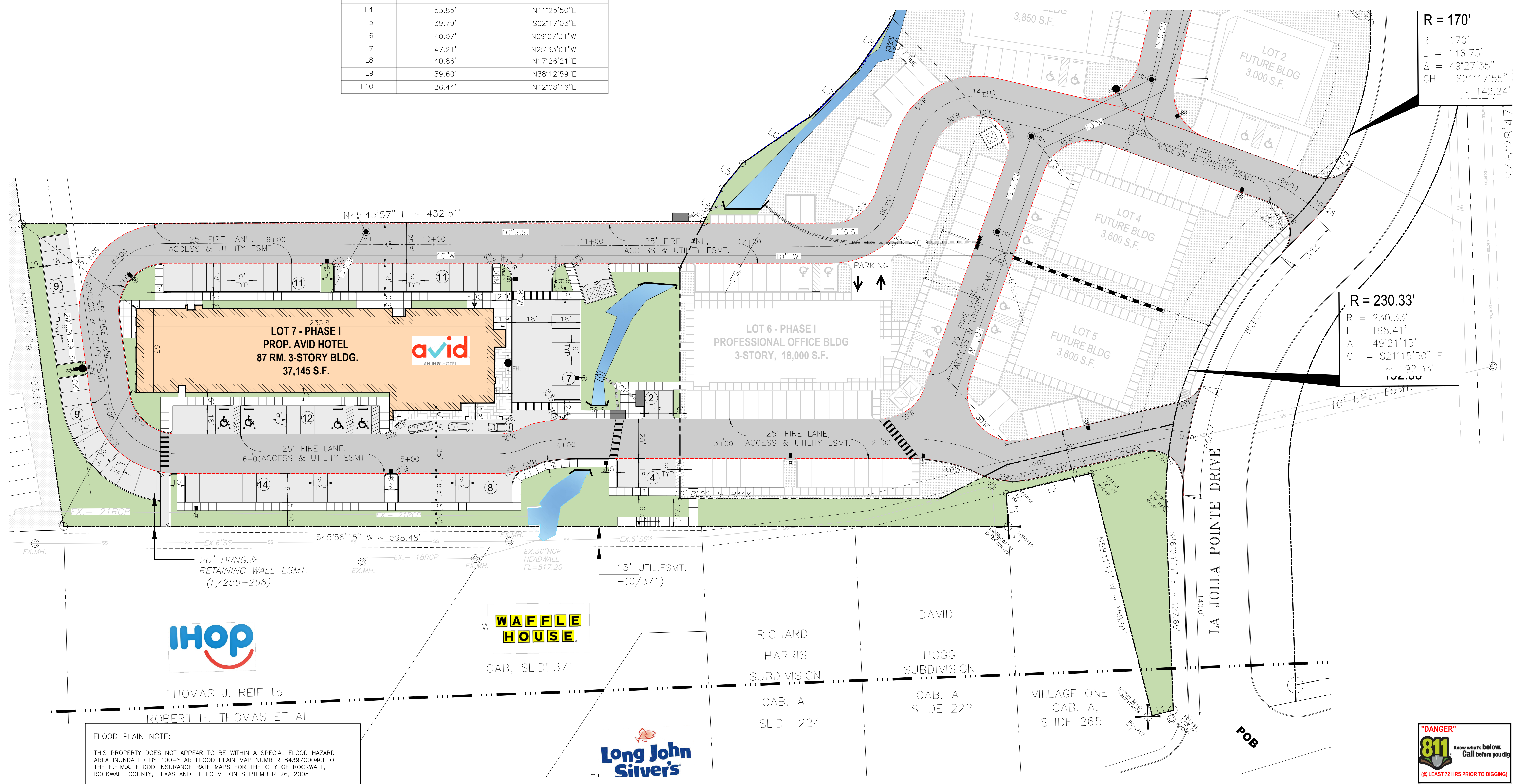
LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E



SITE PLAN NOTE:

- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD PECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.



FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 8439700040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



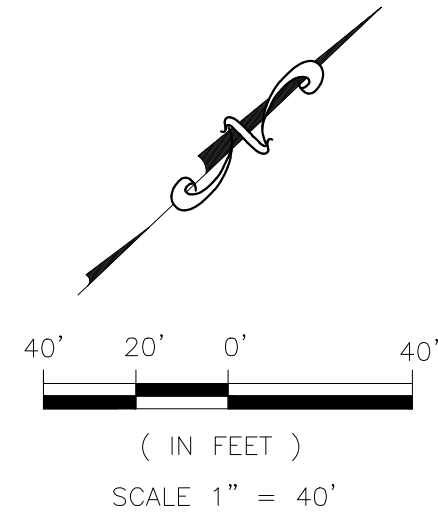
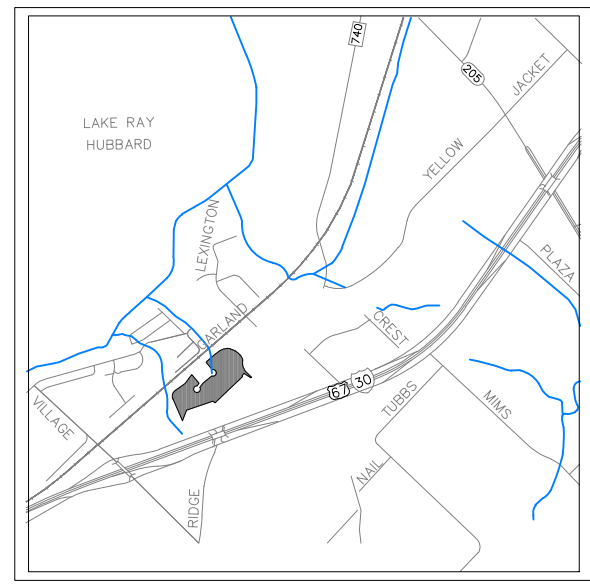
THOMAS J. REIF to
 ROBERT H. THOMAS ET AL

DAVID HARRIS SUBDIVISION CAB. A SLIDE 224

HOGG SUBDIVISION CAB. A SLIDE 222

VILLAGE ONE CAB. A, SLIDE 265



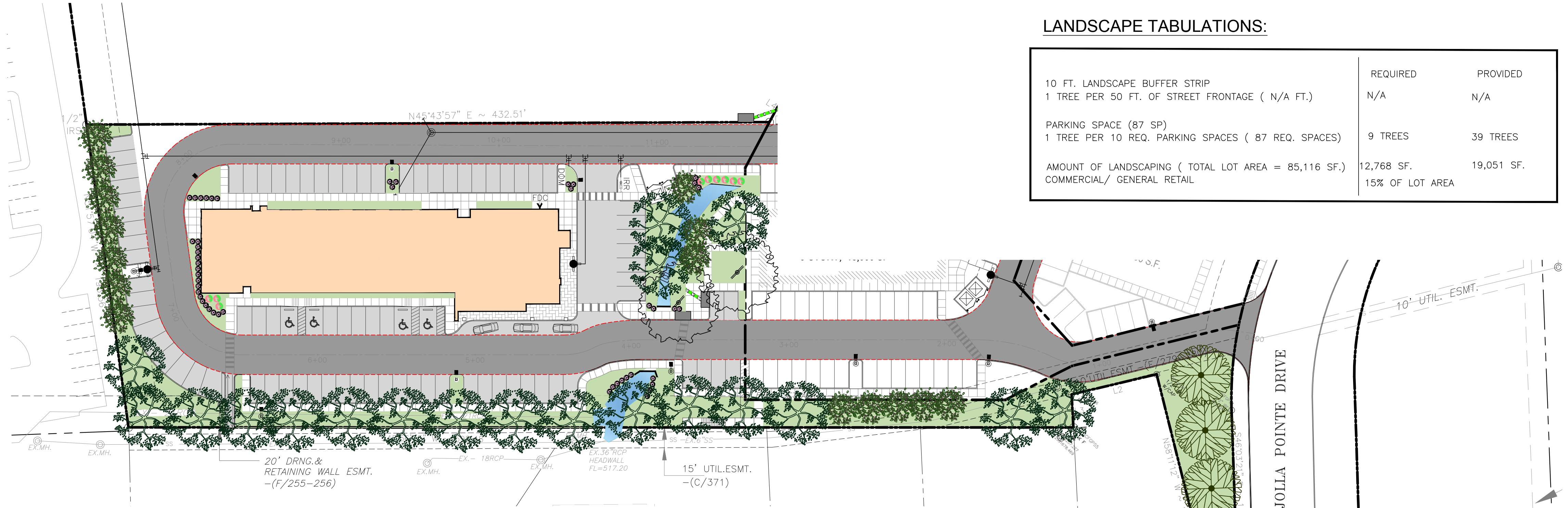


LEGENDS:

	PROPERTY LINE
	EASEMENT LINE
	1/2" IRS/IRF
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING TREE TO KEEP
	LITTLE GEM MAGNOLIA
	TEXAS RED OAK TREE (SHADE)
	EASTERN RED BUD (ORNAMENTAL)
	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'
	PAMPAS GRASS
	ERAGROSTIS CURVULA HYDROSEED

PLANT MATERIAL SCHEDULE :

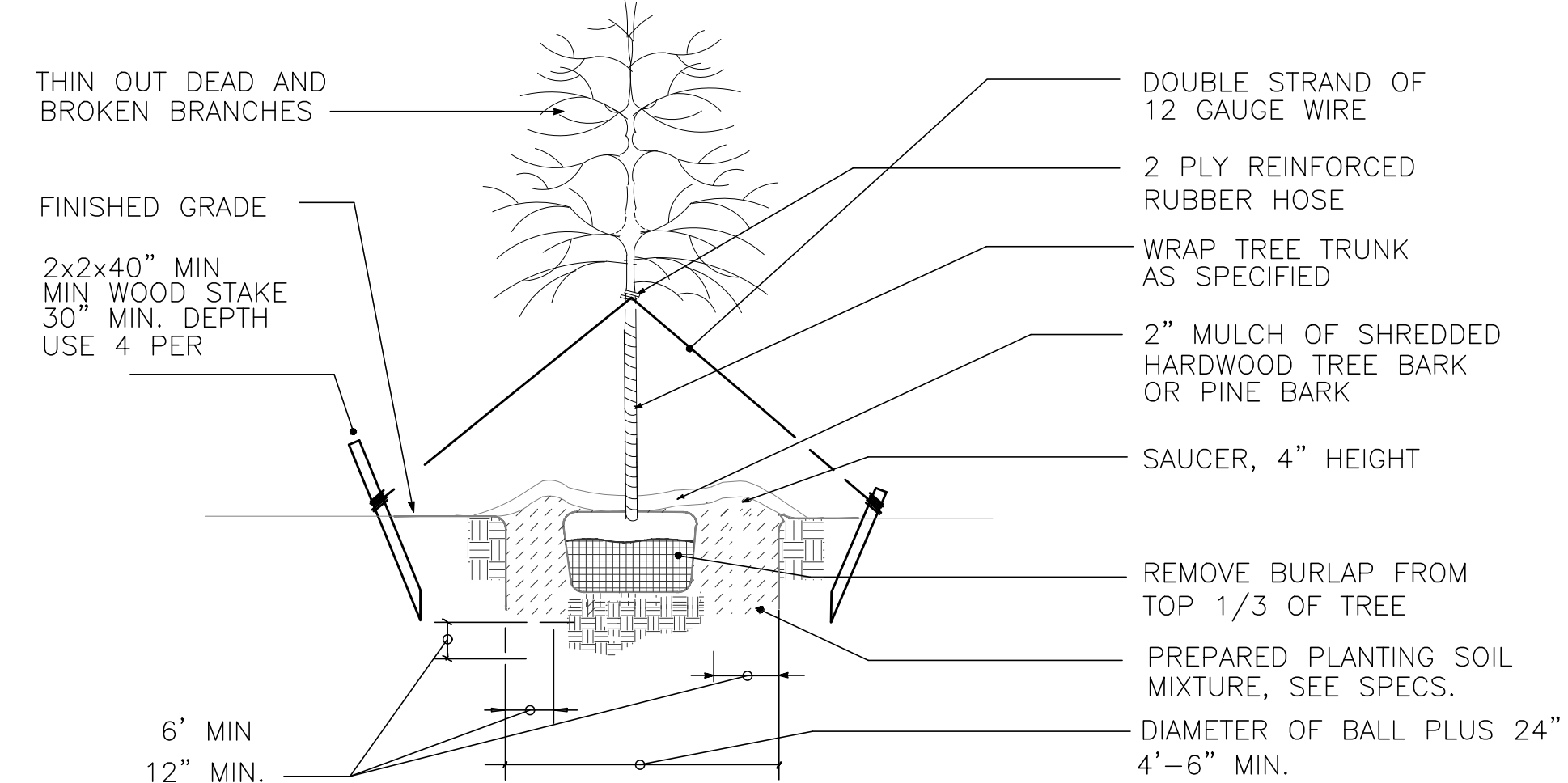
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
05	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
19	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
15	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
47	DWARF CRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
9	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
19,051 SF.	WEEPING LOVE GRASS HYDROSEED	ERAGROSTIS CURVULA	



LANDSCAPE TABULATIONS:

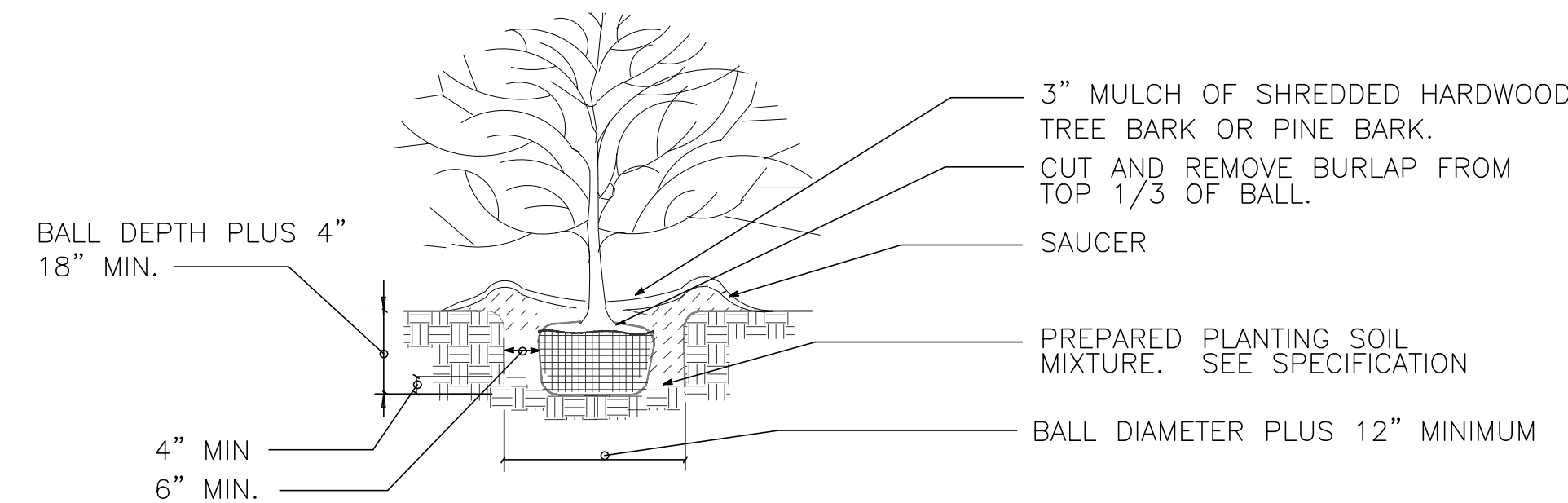
	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP	N/A	N/A
1 TREE PER 50 FT. OF STREET FRONTAGE (N/A FT.)		
PARKING SPACE (87 SP)	9 TREES	39 TREES
1 TREE PER 10 REQ. PARKING SPACES (87 REQ. SPACES)		
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 85,116 SF.)	12,768 SF.	19,051 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 1-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUIVALENT.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN OR LOCAL (TEXAS ASSOCIATION OF NURSERMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MATRAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLAN LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- ALL LANDSCAPE PLANTINGS. TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEASR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL. STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- NOTOTILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURERS RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.



LARGE TREE STAKING DETAIL

NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER



SHRUB PLANTING DETAIL

NOT TO SCALE

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.

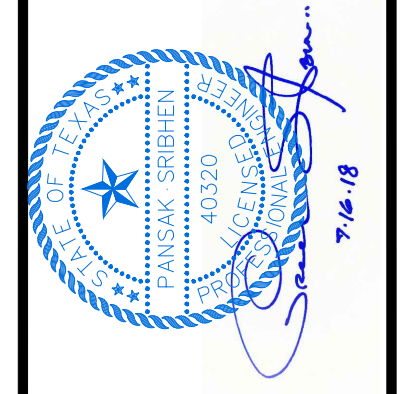


SITE PLANS SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

LANDSCAPE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



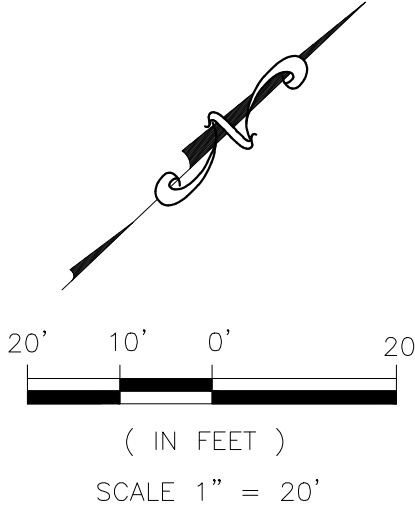
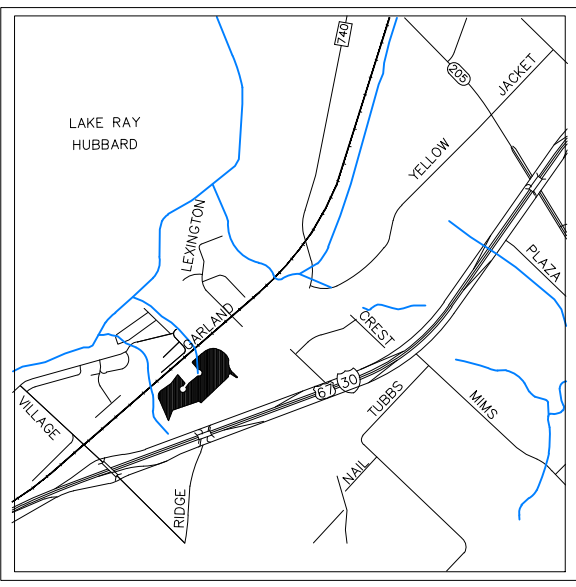
ASA ENGINEERING
 17810 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75248
 (972) 248-8651
 TX T.B.P.E. REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN
 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS

PROJECT NO. 21737-VPR
 DATE: JULY 16, 2018
 SHEET: L-01

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

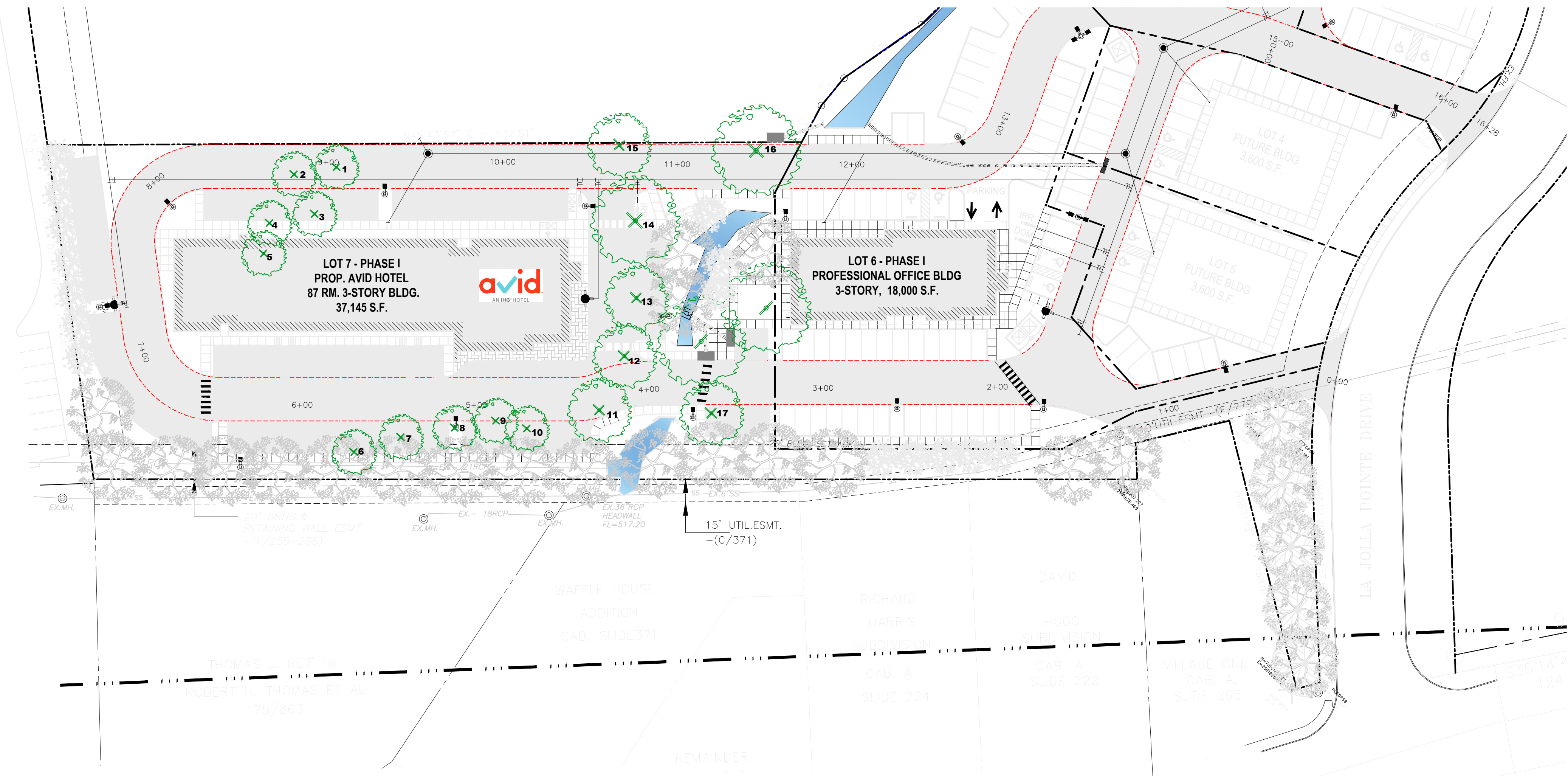
REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



PROTECTED TREE SURVEY

TAG	DBH	COMMON NAME	BOTANICAL NAME
1	6"	WHITE OAK	QUERCUS ALBA
2	6"	WHITE OAK	QUERCUS ALBA
3	6"	WHITE OAK	QUERCUS ALBA
4	6"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	6"	LIVE OAK	QUERCUS VIRGINIANA
7	6"	WHITE OAK	QUERCUS ALBA
8	6"	WHITE OAK	QUERCUS ALBA
9	6"	WHITE OAK	QUERCUS ALBA
10	6"	WHITE OAK	QUERCUS ALBA
11	15"	WHITE OAK	QUERCUS ALBA
12	12"	WHITE OAK	QUERCUS ALBA
13	10"	LIVE OAK	QUERCUS VIRGINIANA
14	10"	LIVE OAK	QUERCUS VIRGINIANA
15	10"	WHITE OAK	QUERCUS ALBA
16	10"	WHITE OAK	QUERCUS ALBA
17	11"	WHITE OAK	QUERCUS ALBA

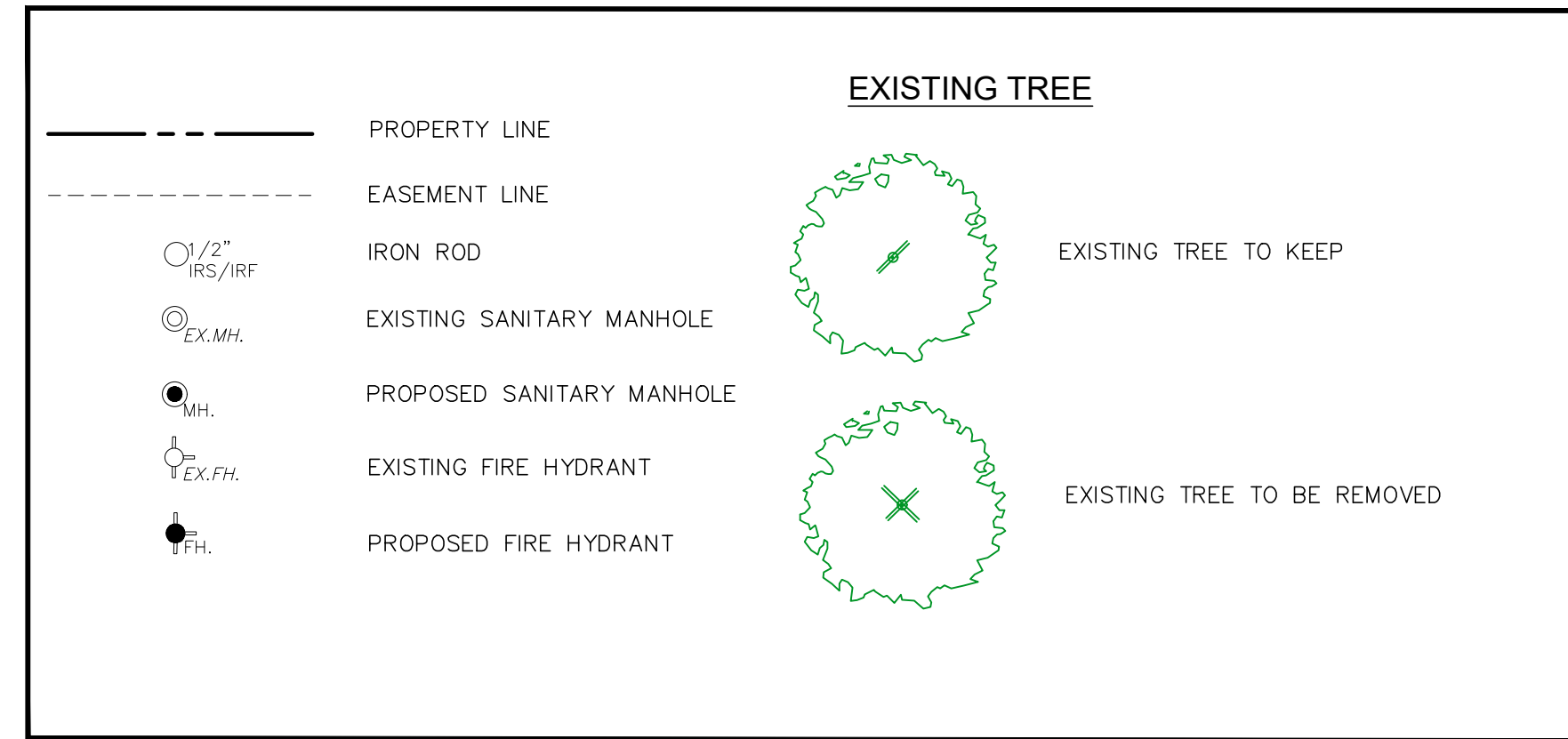
138" TOTAL INCHES OF TREE REMOVED—100% REPLACEMENT RATIO
 138" TOTAL INCHES OF TREE REPLACEMENT REQUIRED
 182" TOTAL INCHES OF TREE REPLACEMENT PROVIDED



TREE REPLACEMENT

SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
	5	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
	19	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
	15	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN

LEGENDS:



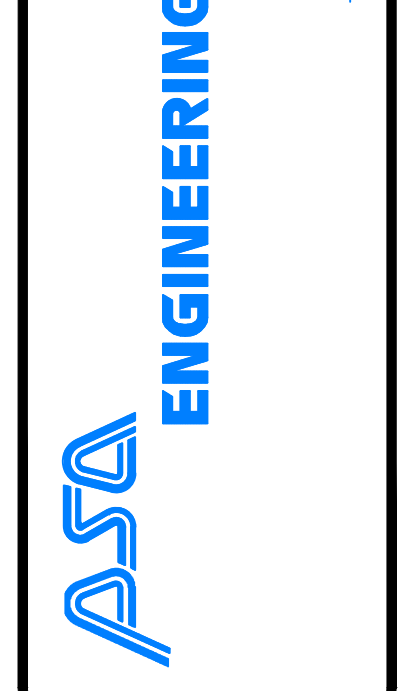
IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



TREE PRESERVATION PLAN
 FOR
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75248-9651
 TX T.B.P.E. REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433

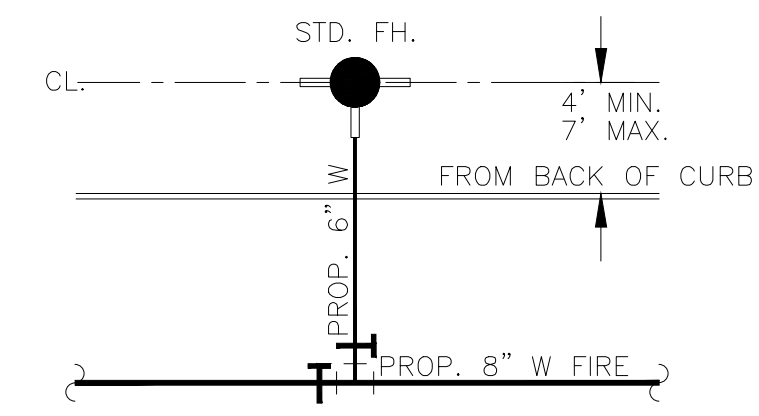
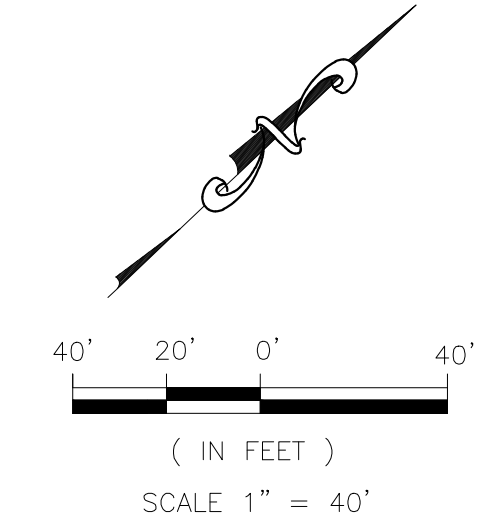


SCALE: AS SHOWN
 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS

PROJECT NO. 21737-VPR

DATE: JULY 16, 2018

SHEET: L-02



TYP. FIRE HYDRANT DETAIL
NTS

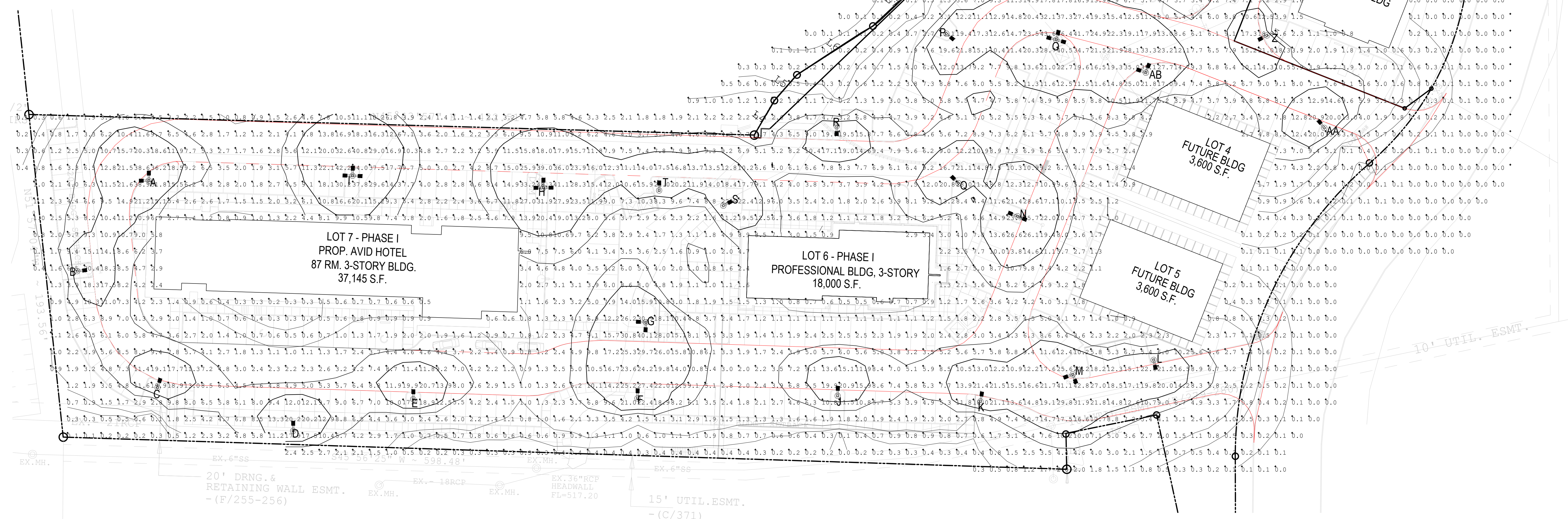
LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 10" W PROP. 10" WATER LINE
- S.S. PROP. 8" S.S. LINE
- PROPOSED WATER TEE
- PROPOSED WATER VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE (ONE HEAD)
- PROPOSED LIGHT POLE (TWO HEADS)
- PROPOSED LIGHT POLE (THREE HEADS)

Luminaire Tag Summary		Qty
90 DOUBLE HEAD		5
90 TRIPLE HEAD		3
B2B		1
SINGLE HEAD		19

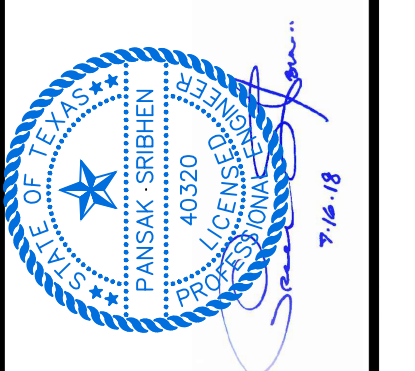
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	ILLUMINANCE	Fc	4.21	56.4	0.0	N.A.	N.A.

Expanded Luminaire Location Summary										
LumNo	Label	X	Y	Z	Orient	Tilt	X-Aimpt	Y-Aimpt	Z-Aimpt	TCF
A	EALP01 L2AN750	2591258	7016270	20	90	0	2591258	7016270	0	1
B	EALP01 L2AN750	2591215	7016216	20	6.365	0	2591215	7016216	0	1
C	EALP01 L2AN750	2591263	7016146	20	72.791	0	2591263	7016146	0	1
D	EALP01 L2AN750	2591344	7016120	20	90	0	2591344	7016120	0	1
E	EALP01 L2AN750	2591416	7016140	20	90.25	0	2591416	7016140	0	1
F	EALP01 L2AN750	2591548	7016140	20	91.848	0	2591548	7016140	0	1
G	EALP01 L2AN750	2591554	7016185	20	177.09	0	2591554	7016185	0	1
H	EALP01 L2AN750	2591493	7016265	20	90.464	0	2591493	7016265	0	1
I	EALP01 L2AN750	2591378	7016275	20	0.805	0	2591378	7016275	0	1
J	EALP01 L2AN750	2591667	7016143	20	89.597	0	2591667	7016143	0	1
K	EALP01 L2AN750	2591751	7016140	20	79.595	0	2591751	7016140	0	1
L	EALP01 L2AN750	2591857	7016162	20	281.912	0	2591857	7016162	0	1
M	EALP01 L2AN750	2591809	7016154	20	290.556	0	2591809	7016154	0	1
N	EALP01 L2AN750	2591776	7016248	20	158.478	0	2591776	7016248	0	1
O	EALP01 L2AN750	2591797	7016353	20	341.607	0	2591797	7016353	0	1
P	EALP01 L2AN750	2591740	7016268	20	132.274	0	2591740	7016268	0	1
Q	EALP01 L2AN750	2591733	7016357	20	320.194	0	2591733	7016357	0	1
R	EALP01 L2AN750	2591668	7016302	20	270	0	2591668	7016302	0	1
S	EALP01 L2AN750	2591600	7016255	20	28.95	0	2591600	7016255	0	1
T	EALP01 L2AN750	2591562	7016264	20	90	0	2591562	7016264	0	1
U	EALP01 L2AN750	2591936	7016431	20	175.278	0	2591936	7016431	0	1
V	EALP01 L2AN750	2591879	7016479	20	3.991	0	2591879	7016479	0	1
W	EALP01 L2AN750	2591945	7016529	20	64.515	0	2591945	7016529	0	1
X	EALP01 L2AN750	2591996	7016569	20	202.557	0	2591996	7016569	0	1
Y	EALP01 L2AN750	2591949	7016658	20	227.726	0	2591949	7016658	0	1
Z	EALP01 L2AN750	2591924	7016356	20	207.613	0	2591924	7016356	0	1
AA	EALP01 L2AN750	2591958	7016301	20	128.418	0	2591958	7016301	0	1
AB	EALP01 L2AN750	2591852	7016334	20	70.017	0	2591852	7016334	0	1

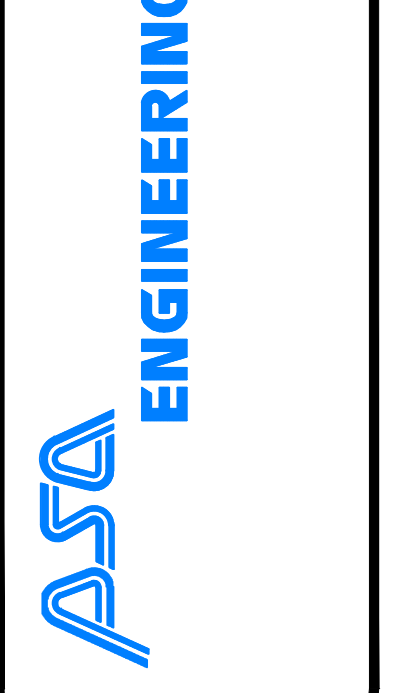


REVISION		
NO.	DATE	BY
0	Y-M-D	P55

OVERALL PHOTOMETRIC
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17919 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 246-9851
TX T.B.E. REGISTRATION # F-000974
I.B.P.L.S. FIRM REGISTRATION # 100423



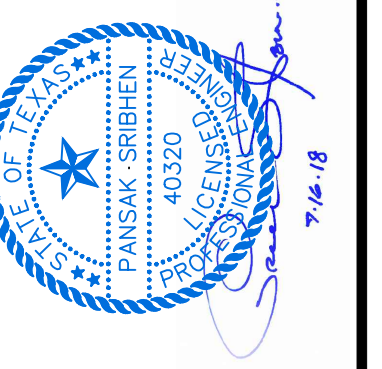
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DESIGNED:	P55
DRAWN:	PSA
CHECKED:	P55
PROJECT NO.	21737.VPR
DATE:	JULY 13, 2018
SHEET:	C-05

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

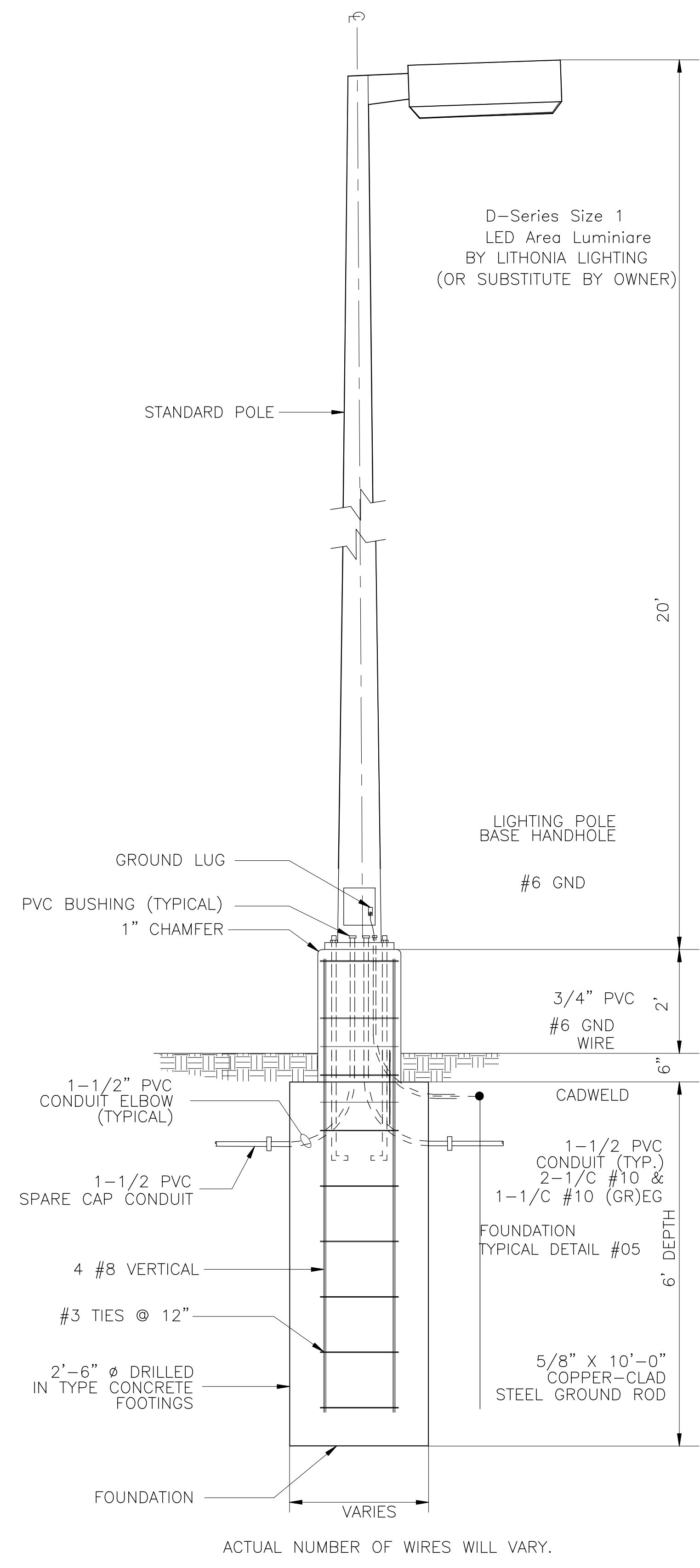
REMARK:
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

POLE'S DETAIL
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

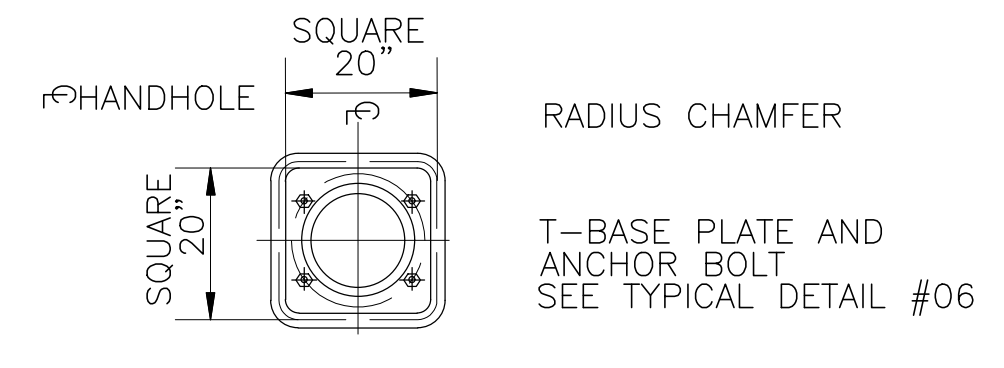


ASA ENGINEERING
 17819 DAVENPORT ROAD, SUITE 215
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 (972) 248-9851
 TX T.B.P.E. REGISTRATION # F-006974
 T.B.P.L.S. FIRM REGISTRATION # 100433

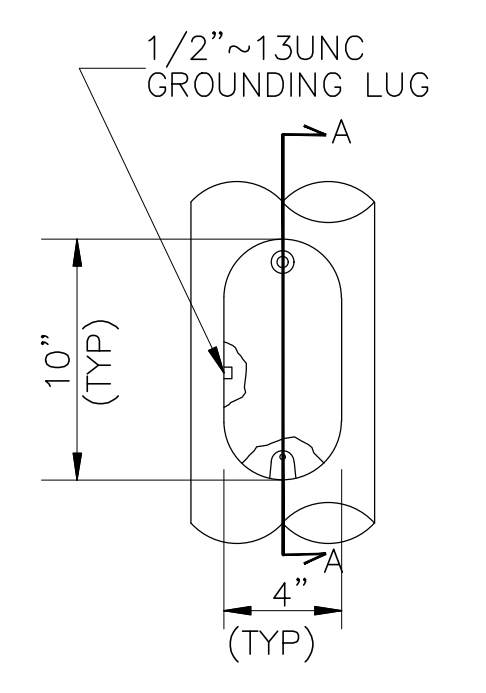
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 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS
 PROJECT NO. 21737.VPR
 DATE: JULY 13, 2018
 SHEET: C-06



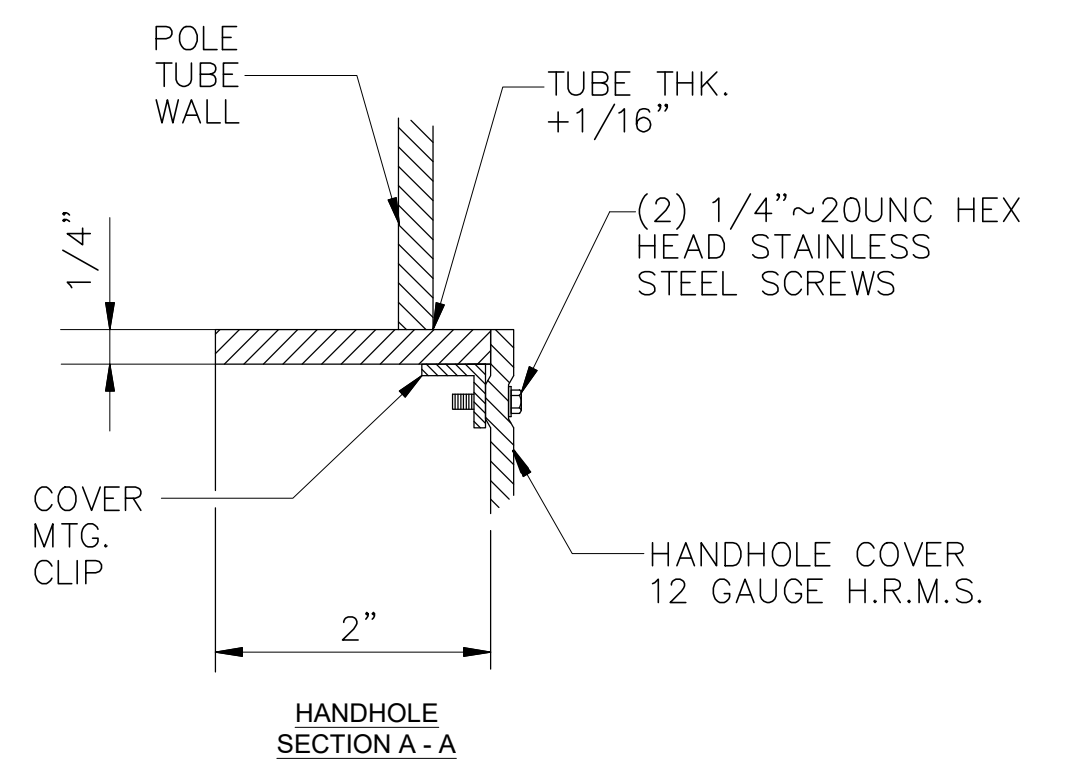
02 TYP. SINGLE LIGHT POLE DETAILS
NTS



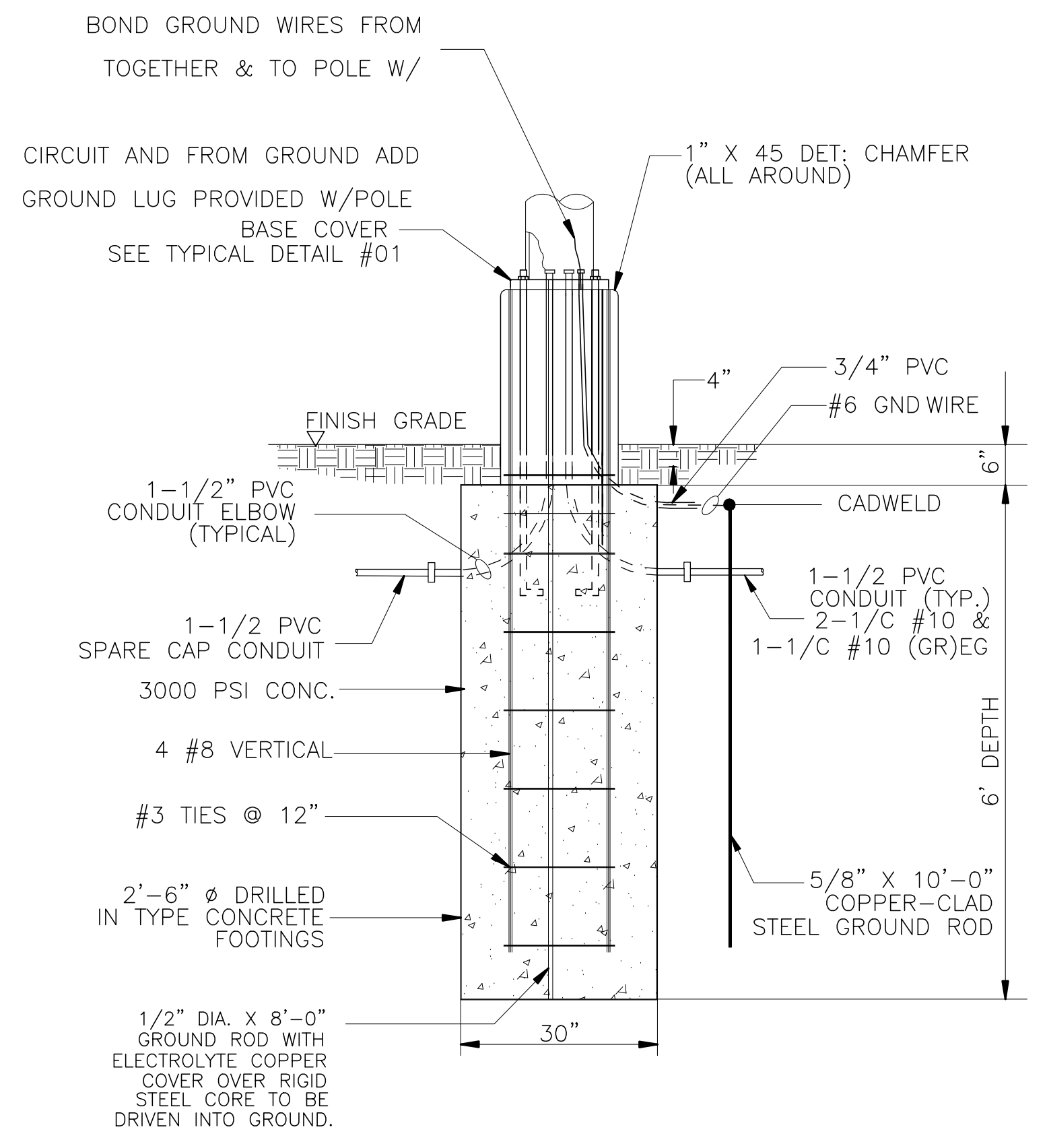
01 TYPICAL DETAIL



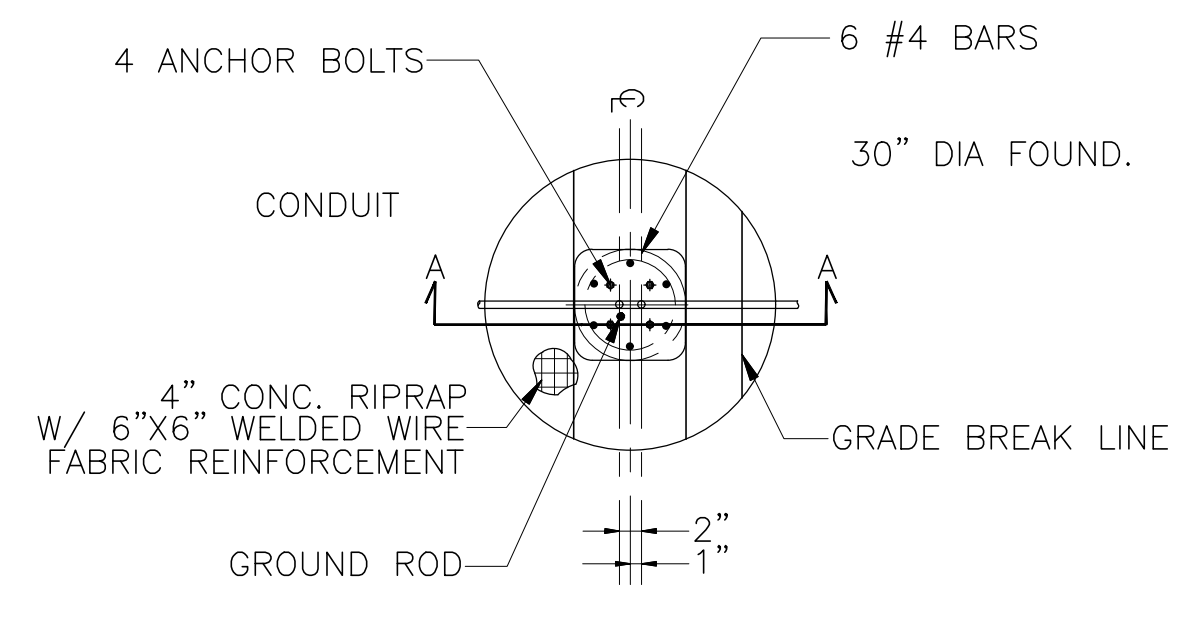
TYPICAL DETAIL HANDHOLE ELEVATION



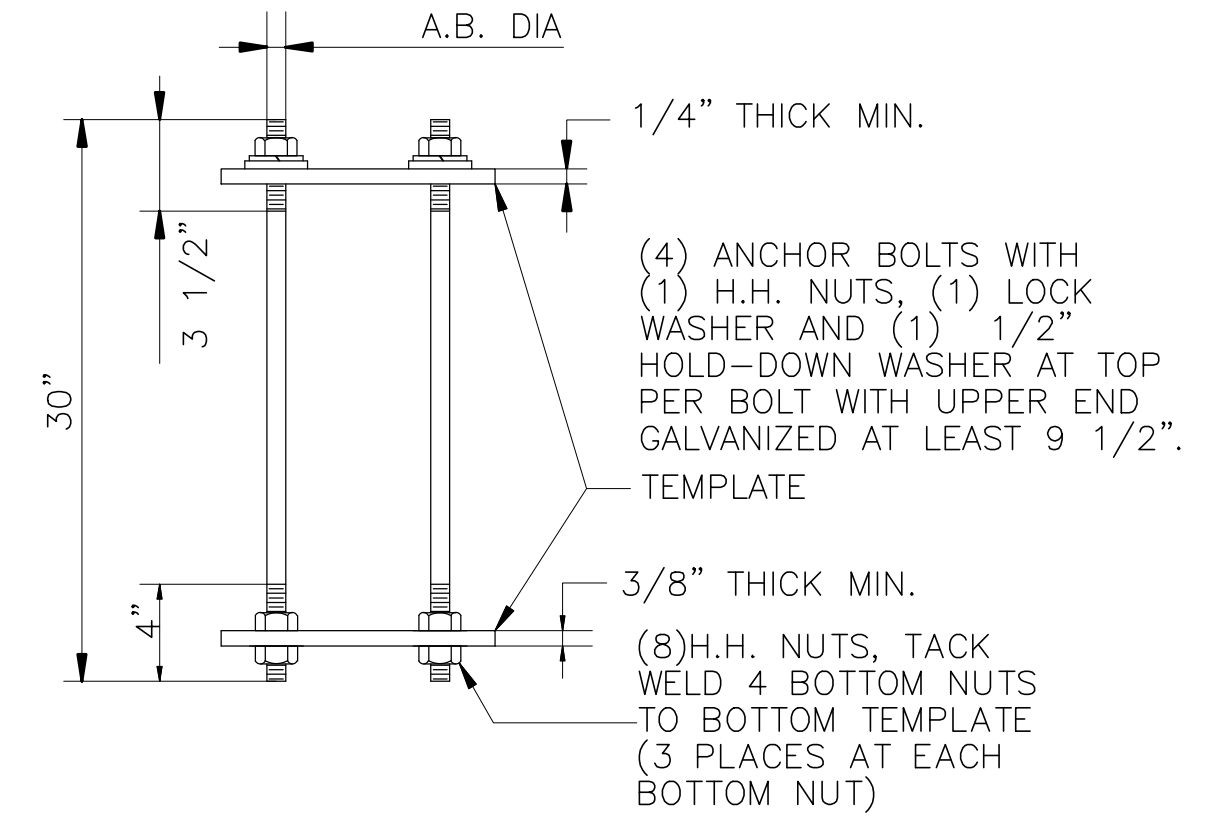
03 TYPICAL DETAIL
NTS



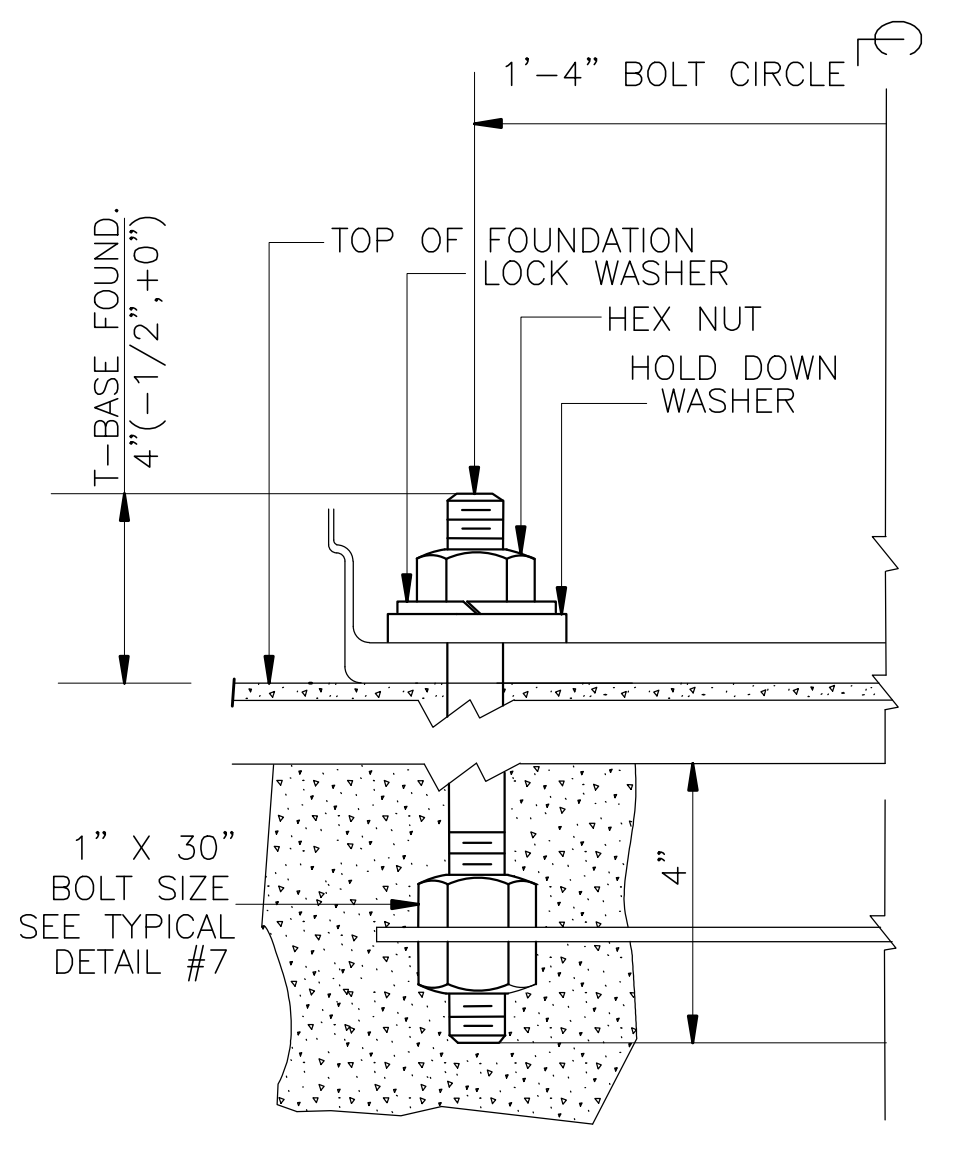
05 SECTION A-A'
NTS



04 TYPICAL DETAIL
NTS



06 TYPICAL DETAIL
NTS

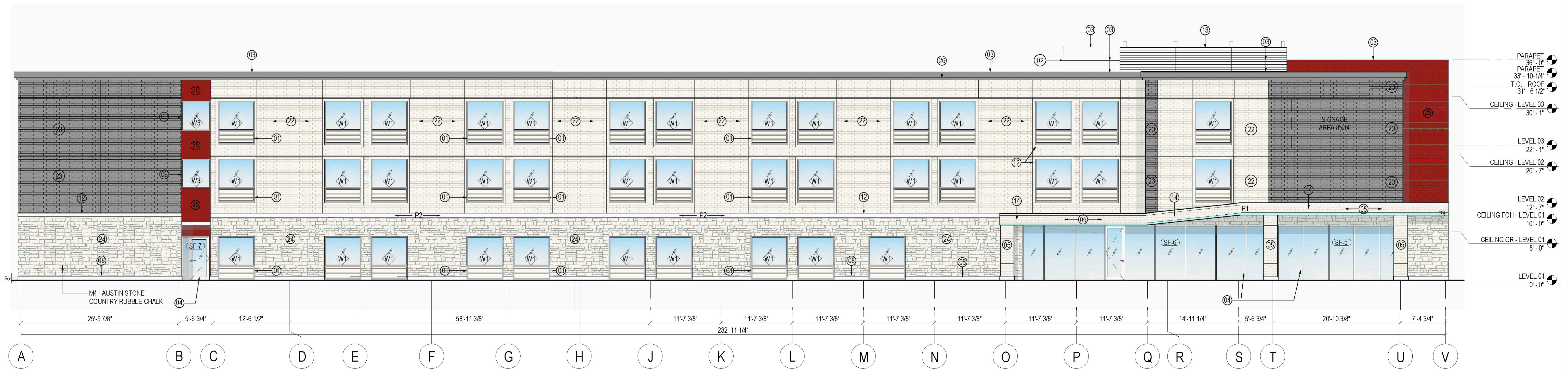


07 TYPICAL DETAIL
NTS

Z:\AS\17127\WORK\REVISED\SET\18-07-14 SITE PLAN SET\SITE PLANS SET - MEDICAL OFFICES\04-07.dwg, C:\k, 7/16/2018 1:52:21 PM.
 DWG TO PDF PLOT: ANCI Full based D:\6492 x 3600 inches, 11/10/14

REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARKS:
REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-midscale market segment. The proposed building shall be @ 85 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a form adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,771 SF
LEVEL 02	12,187 SF
LEVEL 03	12,187 SF
Grand Total	37,145 SF

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL 'DARK GREY' OR 'RED' CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
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- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"X3'-0" HOT WATER TANK INTAKE EXHAUST SCREENING
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- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL: ACME BRICK, COLOR 'WHITE' WITH WATERPROOFING SYSTEM
- 23 BRICK WALL: ACME BRICK, COLOR 'DARK GREY' WITH WATERPROOFING SYSTEM
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR 'DARK GREY'

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : AQUA
- EXTERIOR ACME BRICK ; COLOR : WESTCHESTER
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G021
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTEC INCORPORATED; TPO SHEET THICKNESS 80MILS, NOMINAL, COMPLETE WITH TREATED WD BLKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS											
ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,974	100%	2,110	100%	7,984	100%	2,324	100%	20,392	100%
2	GLAZING DOORS & WINDOWS	1,429	17.92	482	22.84	1,153	14.44	275	11.83	3,339	16.37
3	NON-GLAZING DOORS&WINDOWS	6,545	82	1,628	77	6,831	86	2,049	88	17,053	84
3.1	TOTAL WALL AREA	5,861	N/A	1,514	N/A	6,208	N/A	1,795	N/A	15,378	N/A
3.2	HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
3.1	ALUM. CLADDING	268	4.57	295	19.48	463	7.46	179	9.97	1,205	7.84
	ACME BRICK (#22 & #23)*	3,616	61.70	589	38.90	2582	41.59	924	51.48	7,711	50.14
	AUSTIN STONE*	1,195	20.39	347	22.92	2331	37.55	493	27.47	4,366	28.39
	8" CAST STONE*	68	1.16	22	1.45	97	1.56	28	1.56	215	1.40
	3-COAT STUCCO*	714	12.18	261	17.24	735	11.84	171	10	1,881	12.23
	MASONRY WALL NET AREA (*)	5,593	95.43	1,219	80.52	5,745	92.54	1,616	90.03	14,173	92.16
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			100		100		100		100		100

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY,
EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 24, 2018

SHEET: A4.10

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSB

REMARKS:
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1 FRONT ELEVATION (NORTH)
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PROJECT DESCRIPTION

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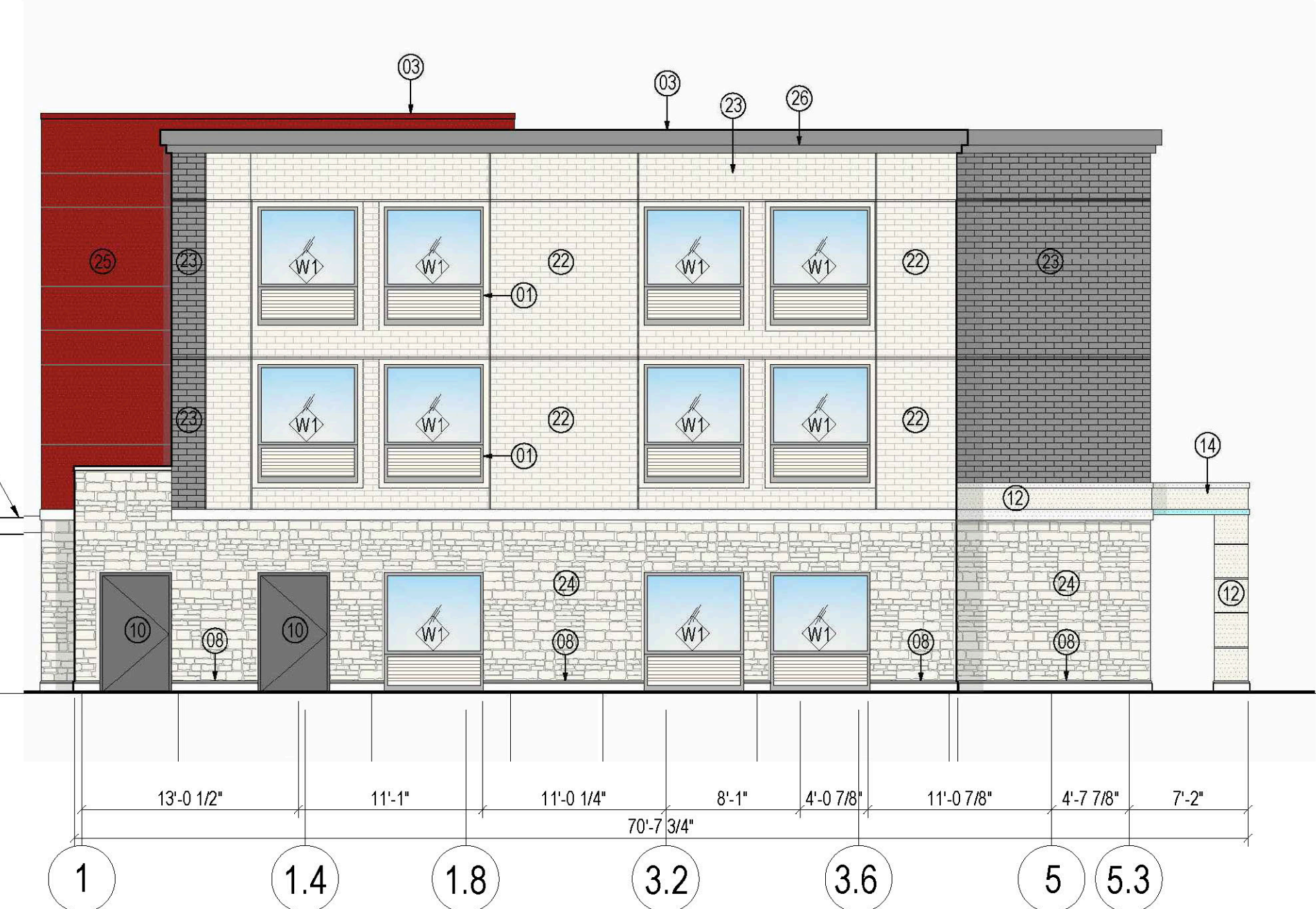
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- D. TPO ROOF SYSTEM: CARLISLES SYNTAC INCORPORATED; TPO SHEET THICKNESS 80MILS; NOMINAL, COMPLETE WITH TREATED WD B.L.G. VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.

- PARAPET 3'-0" x 10'-1/4"
- T.O. ROOF 3'-1" - 6'-1/2"
- CEILING - LEVEL 03 3'-0" - 1"
- LEVEL 03 22' - 1"
- CEILING - LEVEL 02 20' - 7"
- LEVEL 02 12' - 7"
- CEILING FOH - LEVEL 01 10' - 0"
- CEILING GR - LEVEL 01 8' - 0"
- LEVEL 01 0' - 0"



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

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			100		100		100		100		100

BUILDING ELEVATIONS (NORTH & WEST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY, EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD., SUITE 215
DALLAS, TEXAS 75252
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R. T. CHANG, ARCHITECT, INC
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DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: JULY 24, 2018

SHEET: A4.20

AVID HOTEL



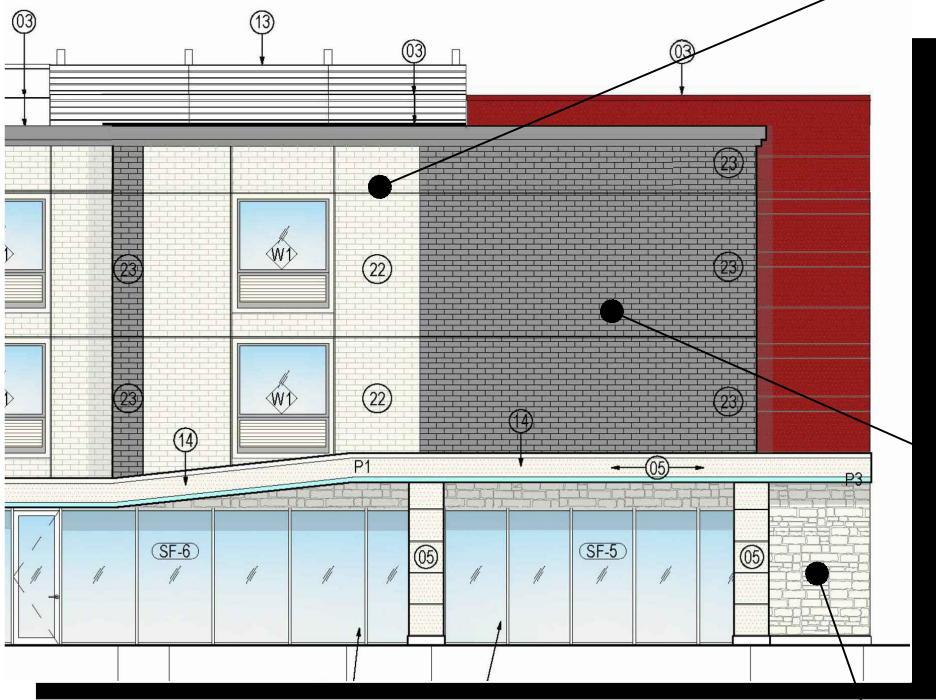
FOR VORA PROPERTY AT ROCKWALL, TEXAS



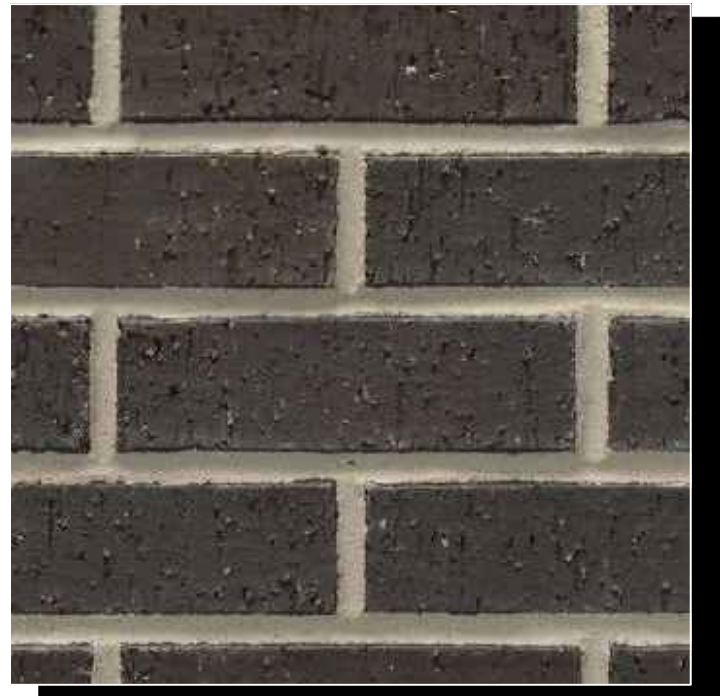
03. COPING
SHERWIN - WILLIAMS COLOR: SW 7048 - URBANE BRONZE



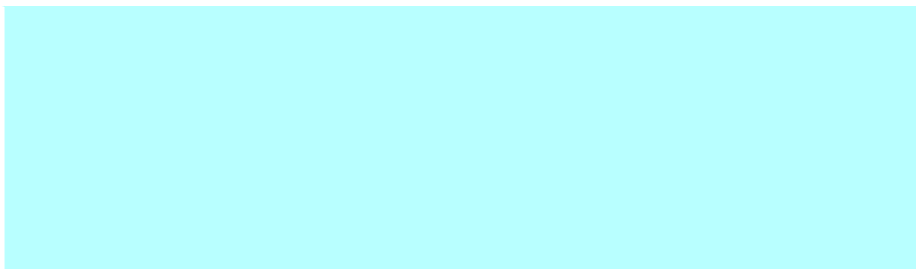
22. LG - LIGHT GREY WALL
ACME BRICK: MODEL 'GLACIER WHITE - SMOOTH TEXTURE'
PERLA EAST GATE PLANT - PEO050,105822



BUILDING ELEVATION @ FRONT ENTRY



23. DK - DARK GREY WALL
ACME BRICK: MODEL 'WESTCHESTER - VELOUR TEXTURE'
DENTON PLANT - DTP158,764719



P3 CANOPY CLADDING - AQUA
SHERWIN - WILLIAMS COLOR: SW 7048 - URBANE BRONZE
(OR IHG TO PROVIDE AND APPROVE COLOR)



24. DK - DARK GREY WALL
CORONADO STONE: MODEL 'COUNTRY RUBBLE'
COLOR 'CHALK'



25. METAL CLADDING - RED
SHERWIN - WILLIAMS COLOR: SW 6594 - POINSETTIA
(OR IHG TO PROVIDE AND APPROVE COLOR)

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 09/25/2018

APPLICANT: Pan Sribhen P.E. of PSA Engineering

AGENDA ITEM: **SP2018-023**; Site Plan; *Avid Hotel*

SUMMARY:

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

PURPOSE AND BACKGROUND:

On April 2, 2018, the City Council approved a Specific Use Permit (*SUP No. S-187*) [*Ordinance No. 18-20*] to allow for a hotel within a Commercial (C) District and on the subject property. The applicant, Pan Sribhen, is requesting the approval of a *site plan* for the purpose of constructing a three (3) story, 39,060 SF hotel [*i.e. AVID Hotel*] on a 2.111-acre parcel of land that is located at the intersection of Carmel Circle and Laguna Drive. The proposed hotel will incorporate a total of 87 traditional hotel rooms (*i.e. they will not contain kitchen facilities or cook-tops*). The SUP restricts the maximum overall height of the building to 36-feet. Additionally, the SUP stipulates that the development shall generally be in conformance with the concept plan and building elevations depicted in the ordinance. As you may recall during the work session held on July 31, 2018, the Planning and Zoning Commission requested the applicant meet the articulation standards as established in the Unified Development Code (UDC). The applicant has made revisions to the building elevations that represent conformance to the UDC; therefore, no variances are being requested. However, a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission is required by the SUP prior to final approval by the Planning and Zoning Commission.

Additionally, the photometric plan indicates the allowable maximum light intensity exceeds 0.2-FC along the west and north property lines. Article VII, of the UDC reads as follows:

Sec. 3.3.C, of Art. VII Environmental Performance, of the UDC states: "Light at Non-Residential Property Line. The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one footcandle." The code goes on to say that "planned shopping centers or other commercial developments that contain more than one lot, the Planning and Zoning Commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development."

In addition, according to *Section 3.4, Plan Required, of Article VII Environmental Performance, of the Unified Development Code (UDC)*, the Planning and Zoning Commission may grant exemptions to the provisions of this article if compliance will result in substantial financial hardship or inequity, so long as said exemption is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council. Staff has included a condition of approval in the *Recommendations* section

of this case memo requiring a photometric plan meeting compliance with the UDC. However, the Planning and Zoning Commission may grant an exception to allow for the lighting plan as submitted.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, *Land Use Schedule*, Section 6.8, *Scenic Overlay (SOV) District*, of Article V, of the Unified Development Code (UDC), a hotel is a use permitted by a Specific Use Permit (SUP) within a Commercial (C) District. The City Council approved a SUP to allow for the hotel [Case No. Z2017-028] on the subject property on April 2, 2018. With the exception of the items listed in the *Project Plan Review*, the *Recommendation* section of this case memo, and the photometric plan indicating non-compliance for the west and north property boundaries, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations conform to the technical requirements contained within *SUP Ordinance No. S-187* and the Unified Development Code (UDC) for properties located within the IH-30 Overlay (IH-30 OV), Scenic Overlay (SOV) Districts and zoned Commercial (C) District. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	x=2.111-Acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	x>215-Feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	x>101-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	x>15-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet + ½ ¹	x>20-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	x>10-Feet; In Conformance
<i>Maximum Building Height</i>	36-Ft w/o SUP ²	x=36 Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	x=40.3%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	x>90%; In Conformance
<i>Minimum Number of Parking Spaces</i>	87	87 Provided; In Conformance
<i>Minimum Stone Requirement (SH205 OV)</i>	20% ea facade	x>20%; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	22.4%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	x<90%; In Conformance

NOTES:

¹: Without fire retardant wall, or alley: ten feet, or as required by building and/or fire codes.

²: Maximum building height: 240 feet. Any structure over 36 feet shall require a specific use permit.

TREESCAPE PLAN:

The applicant has provided a treescape plan indicating a total of 148 caliper inches being removed from the site, the majority of which are White Oak trees. As a note, protected trees are any tree that have a diameter of four (4) inch caliper dbh or greater, with the exception of Bois d’Arc, Willow, Cottonwood, Locust, and Chinaberry. Hackberry and Cedar trees that have a dbh of less than 11 caliper inches are not considered protected trees. The applicant intends to mitigate for all inches on site by planting a total of 358-inches caliper in order to satisfy the mitigation. This will leave a credit balance of 210-inches caliper being applied towards the treescape plans associated within the Vora Addition. According to Section 3.4, *Treescape Plan Review Process*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), the Planning and Zoning Commission will review and approve or disapprove the treescape plan. The decision of the Planning and Zoning Commission may be appealed to the City Council. The mitigation is considered to be satisfied.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board requested the applicant incorporate the Coronado stone with the wood appearance at the main entrance where the AVID logo is located. The

board shared their concern for the lack of vertical and horizontal elements that provide relief for the building. The ARB will provide a recommendation to the Planning and Zoning Commission during the next scheduled meeting to be held on September 25, 2018. The applicant has made the changes as requested by the ARB and the Planning and Zoning Commission, and is in conformance with the UDC.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) A photometric plan meeting the standards as established in Section 3, Article VII, Environmental Performance of the UDC for the west and north property lines, which exceed the maximum allowable light intensity at these property boundaries;
- 3) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number SP2018-023	Owner ROCKWAY, PARTNERS LLP	Applied 7/17/2018 LM
Project Name AVID Hotel	Applicant PSA ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 7/24/2018 DG

Site Address 508 LA JOLLA POINTE DR	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision RICHARD HARRIS	Tract 6	Block A	Lot No 6	Parcel No 4119-000A-0006-00-0R	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING Parking?	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:09 PM SH)						
- Impact Fees must be paid.						
- 4% Engineering Inspection fees						
- Must meet all Engineering Standards of Design						
- All storm outfalls of flow downstream not at a 90* angle.						
- Must build complete water line loop now						
- Must check existing detention to make sure the approved volume and outfall is still correct						
- Need to establish the 100-yr water surface elevation in open channel area						
- Parking to be 20' by 9' standard.						
- No trees within 5' of public utilities.						
- Walls 3' and taller must be designed by an engineer.						
- Retaining walls must be rock or stone faced						
- Dumpster to drain to an oil/water separator.						
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning						
- No grate inlets allowed						
- Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide.						
- Must loop water line now.						
- Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives.						
- Driveway spacing must be 100' minimum.						
- Please see the attached mark up.						
(7/25/2018 4:15 PM SH)						
- 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
ENGINEERING	Sarah Hager	8/10/2018	8/17/2018	8/10/2018	COMMENTS	second review.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(8/10/2018 11:38 AM SH) - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a90* angle. - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area - Parking to be 20' by 9' standard. - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced -Dumpster to drain to an oil/water separator. - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - Must loop water line now. - Driveway spacing must be 100' minimum. - Please see the attached mark up. -10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
ENGINEERING	Sarah Hager	9/5/2018	9/12/2018	9/5/2018	APPROVED	Contingent on Engineering

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(9/6/2018 11:21 AM SH) The following information will need to be addressed during Engineering Design <ul style="list-style-type: none"> - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a90 degree angle. - Must build complete water line loop now. - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area Review fees required - Need Waters of the US/wetland determination - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced -Dumpster to drain to an oil/water separator. Need to label on site plan - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning 						
ENGINEERING	Sarah Hager	9/20/2018	9/27/2018	9/20/2018	APPROVED	
ENGINEERING	Sarah Hager	9/20/2018	9/27/2018	9/20/2018	APPROVED	See comments
(9/20/2018 4:46 PM SH) FYI for engineering review. <ul style="list-style-type: none"> - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a 90 degree angle. - Must build complete water line loop now. - Must check existing detention to make sure the approved volume and outfall is still correct. - Need to establish the 100-yr water surface elevation in open channel area. Review fees required - Need Waters of the US/wetland determination - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced. -Dumpster to drain to an oil/water separator. Need to label on site plan - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning. - No structures in easements. - All water services must be off of a looped line. Each service gets a new tap. - Must show offsite utilities on Site Plan. - No other engineering sheets were reviewed with this submittal. - Water and sewer are on Site Plan. Drainage not reviewed until engineering review. 						
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2 COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/19/2018 1:51 PM AA) Fire hydrants shall be located 6 feet behind the edge of the fire apparatus access roadway/fire lane pavement. Revise location of proposed fire hydrant on the northeast side of the building.							
The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.							
FIRE (8/24/2018 11:10 AM AA) Fire hydrants shall be located 6 feet behind the edge of the fire apparatus access roadway/fire lane pavement. Revise location of proposed fire hydrant on the northeast side of the building.	Ariana Hargrove	8/24/2018	8/31/2018	8/24/2018		COMMENTS	same notes from prior review
The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.							
FIRE	Ariana Hargrove	9/5/2018	9/12/2018	9/5/2018		APPROVED	
GIS (7/19/2018 10:21 AM LS) Address assignment will be: 508 LA JOLLA POINTE DR, ROCKWALL, TX 75087	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	See Comment
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/24/2018	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>* Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits. 3. Label all revised site plan documents with "Case No. SP2018-023" at the lower right corner. 4. The development is to comply with SUP Ordinance No. 18-20 (S-187). <p>VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:</p> <p>The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):</p> <ol style="list-style-type: none"> 1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical and horizontal articulation for the north and south elevations. 2. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building 3. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof. <p>THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:</p> <ol style="list-style-type: none"> a. On & Off-Site Surface Drainage Area Map - submit with civil set. b. Proposed Utility Layout Plan - submit with civil set. c. Level 01 - Floor Plan - submit with building permit. d. Overall Location - informational only. <p>** Please address the following Planning Comments for each plan submitted</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan. 2. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility). 3. Dumpster enclosure to be reoriented; not facing the street.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>4. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque</p> <p>5. Dumpster enclosure walls to a minimum of 8-ft in height with the exterior materials matching the primary structure</p> <p>6. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such</p> <p>7. Variance to horizontal articulation required as noted above with recommendation from ARB and R&Z.</p> <p>Landscape Plan:</p> <p>1. Provide a row of trees behind the perimeter of the building per SOV standards</p> <p>2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.</p> <p>Treescape Plan:</p> <p>1. Mitigation credit of 44 inches to be used towards mitigation balance of office and medical building sites[SP2018-024 & SP2018-025].</p> <p>Photometric Plan:</p> <p>1. Provide a separate photometric plan for each lot/development.</p> <p>2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan</p> <p>3. Exterior light pole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above</p> <p>Building Elevations:</p> <p>1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration</p> <p>2. Are you using Austin Stone (natural) or Coronado Stone (manufactured) on the building. If Coronado Stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the Coronado stone product. This is being asked due to elevations state Austin Stone and the Materials Sample Board states Coronado Stone</p> <p>3. The screening elements exceed the overall height limitation of 36-ft, as stipulated by the SUP Ordinance. Adjustment required.</p> <p>4. Please remove the area's designated for signage. A separate permit for signage is required to be submitted and approved by the building inspections department</p> <p>*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com</p> <p>**** Scheduled Meeting Dates to Attend</p> <p>Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]</p> <p>Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]</p> <p>Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]</p> <p>Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]</p>						
PLANNING	David Gonzales	8/9/2018	8/16/2018	8/9/2018	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Should the Planning and Zoning Commission conditionally approve this site plan, the following staff comments are to be addressed and resubmitted no later than Tuesday, August 21, 2018. Please provide two large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff:						
* Planning Department General Comments to be addressed:						
1. Adherence to Engineering and Fire Department standards shall be required						
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.						
3. The development is to comply with SUP Ordinance No. 18-20 (S-187).						
VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:						
The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):						
1. Sec.4.1.C.1.b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation for the north and south elevations						
THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:						
a. On & Off-Site Surface Drainage Area Map- submit with civil set.						
b. Proposed Utility Layout Plan- submit with civil set.						
c. Level 01 - Floor Plan - submit with building permit.						
d. Overall Location- informational only.						
** Please address the following Planning Comments for each plan submitted						
Site Plan:						
1. Relabel all firelane as '25-ft Firelane, PUBLIC ACCESS & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).						
Landscape Plan:						
1. Plan meets or exceeds the intent of the UDC as submitted						
Treescape Plan:						
1. Plan meets or exceeds the intent of the UDC as submitted						
2. Mitigation credit of 152 inches to be used towards mitigation balance of office and medical building sites[SP2018-024 & SP2018-025]. Mitigation Satisfied						
Photometric Plan:						
1. Adjustment needed. High readings indicated at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code.						
Building Elevations:						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
1. Requires a recommendation from the Architectural Review Board(ARB) forwarded to the Planning and Zoning Commission for consideration						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
**** Scheduled Meeting Dates to Attend						
Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						
PLANNING	David Gonzales	9/20/2018	9/27/2018	9/20/2018	COMMENTS	See comments
* Planning Department General Comments to Acknowledge and Addressed:						
1. Adherence to Engineering and Fire Department standards shall be required.						
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.						
3. The development is to comply with SUP Ordinance No. 18-20 (S-187).						
4. The revised building elevations requie a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission (see scheduled below for meeting times).						
THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED OR ARE APPROVED WITH THE SITE PLAN APPLICATION.						
a. On & Off-Site Surface Drainage Area Map - submit with civil set.						
b. Proposed Utility Layout Plan - submit with civil set.						
c. Level 01 - Floor Plan - submit with building permit.						
d. Overall Location - informational only.						
** Please address the following Planning Comments for each plan submitted:						
Photometric Plan:						
1. Adjustment needed. High readings indicated at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code.						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
**** Scheduled Meeting Dates to Attend ****						
Architectural Review Board: September 25, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: September 25, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						

- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90 degree angle.
- Must build complete water line loop now.
- Must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area. Review fees required
- Need Waters of the US/wetland determination
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Dumpster to drain to an oil/water separator.
- Need to label on site plan
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

SITE NOTE:
 1. HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
 2. SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
 3. ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
 4. BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

NOTE:
 LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF.	IRON ROD FOUND
	EASEMENT LINE	IRS.	IRON ROD SET
	STORM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LOT 5 - PHASE I
 TOTAL BLDG. AREA = 91,940 S.F. (2.111 AC.)
 PROPOSED = 39,060 S.F.
 = AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS
 PARKING RATIO = 1SP/1 UNIT
 TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 83 SP

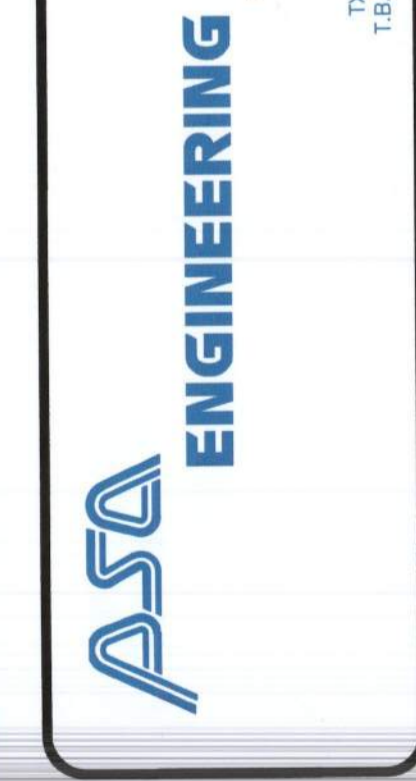
REVISION

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

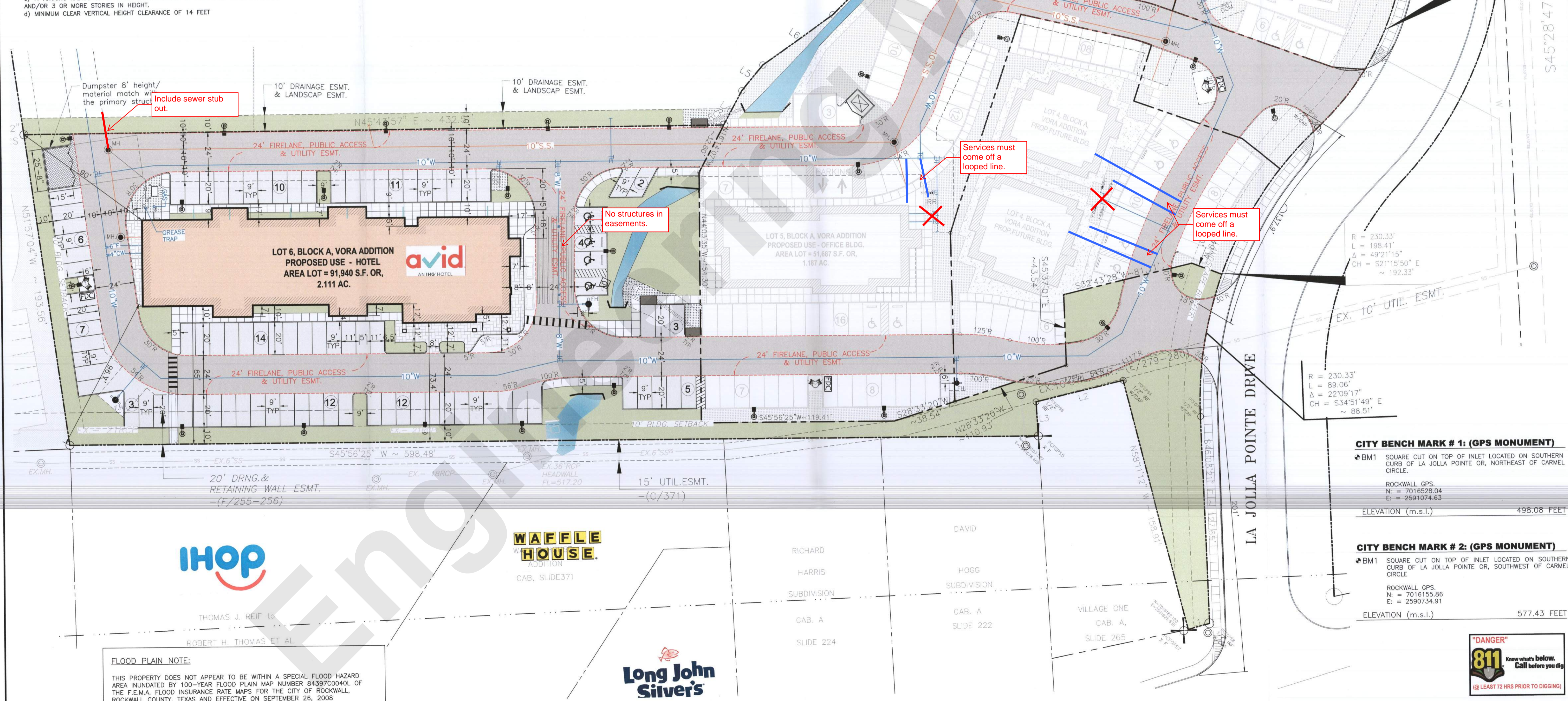
SITE PLAN
 FOR
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9851
 TX T.B.P.E. REGISTRATION # F-008974
 T.B.P.E.'S. FIRM REGISTRATION # 100433



SCALE: AS SHOWN
 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS
 PROJECT NO. 21737.VPR
 DATE: SEPTEMBER 14, 2018
 SHEET: C-01



Must show offsite utilities on Site Plan.
 No other engineering sheets were reviewed with this submittal.
 Water and sewer are on Site Plan. Drainage not reviewed until engineering review.

AND/OR 3 OR MORE STORIES IN HEIGHT.
 d) MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

FLOOD PLAIN NOTE:
 THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008

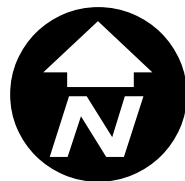




City of Rockwall

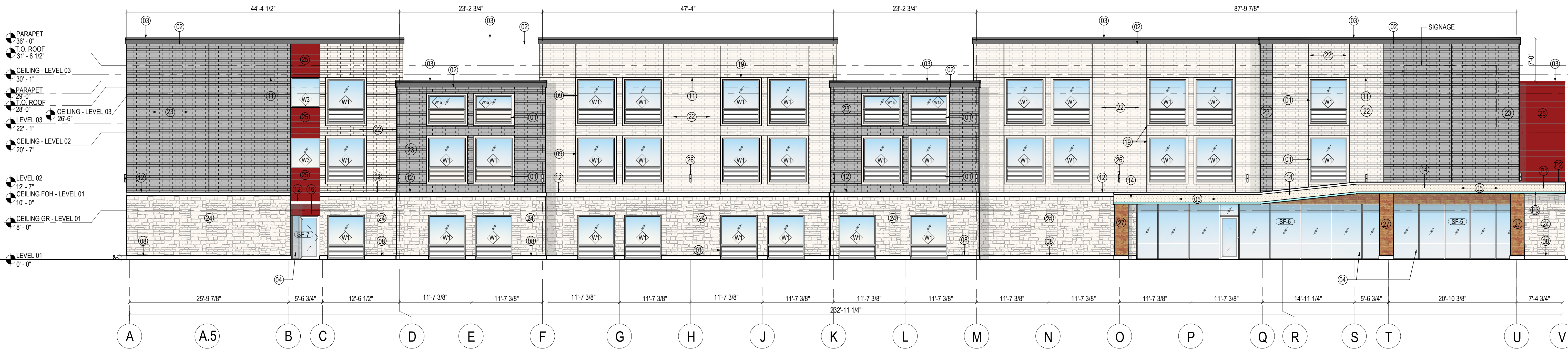
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



REVISION		
NO.	DATE	BY
0	Y-M-D	P55

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 FRONT ELEVATION (SOUTH)

SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 85 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	13,400 SF
LEVEL 02	12,830 SF
LEVEL 03	12,830 SF
Grand total	39,060 SF

SHEET NOTES

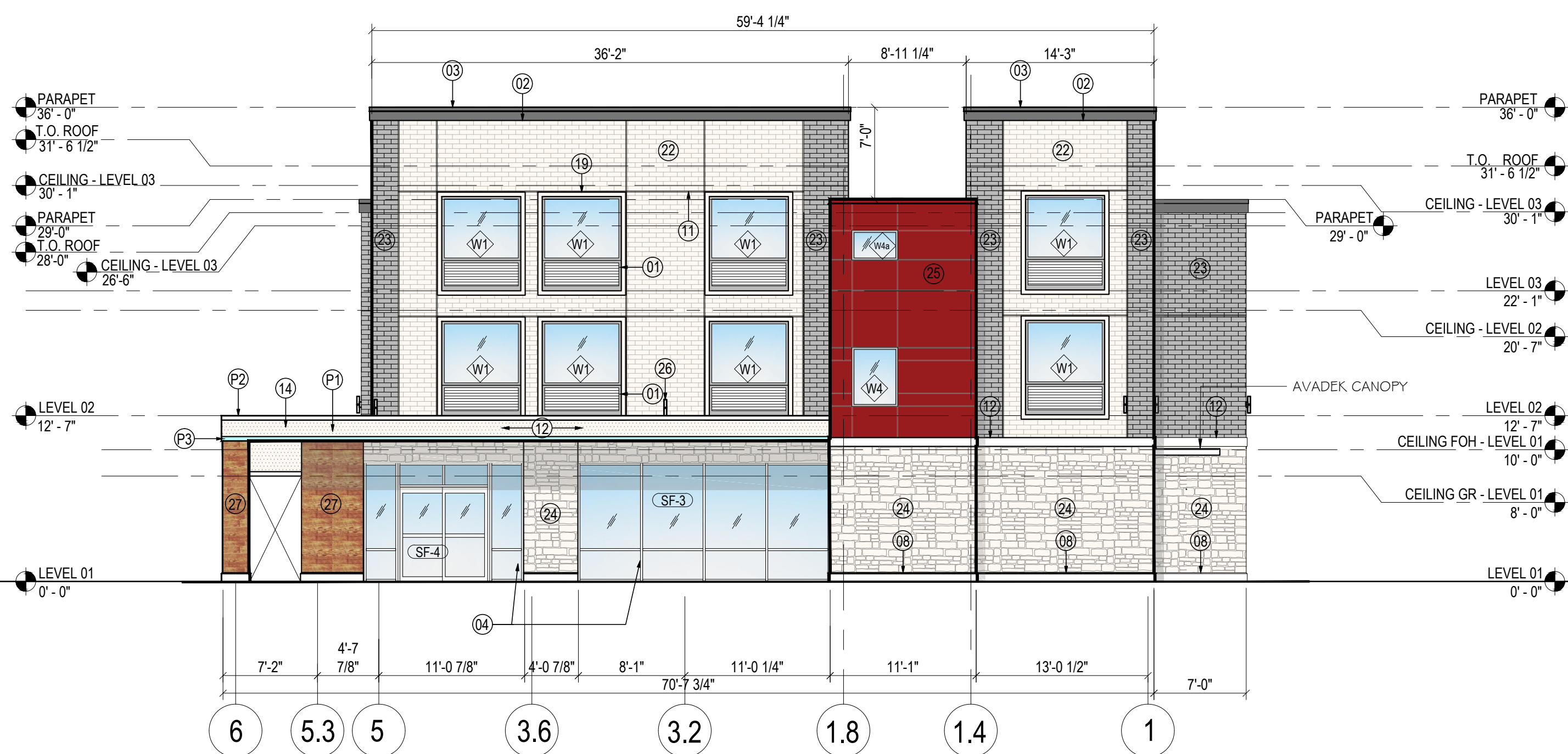
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 8" 3 COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 3 COAT STUCCO WINDOW BAND
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GARY WALL: ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL: ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : SPA
- 3 COAT STUCCO ; COLOR (P4) : RED
- EXTERIOR ACME BRICK ; COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : WHITE
- ALUMINUM CLADDING ; COLOR : RED

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21



2 SIDE ELEVATION (EAST)

SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,676	100%	2,307	100%	7,551	100%	2,330	100%	18,020	100%
2	GLAZING DOORS & WINDOWS	1,432	18.7%	504	21.8%	963	12.8%	275	11.8%	1,432	7.9%
3	NON-GLAZING DOORS&WINDOWS	6,244	81.3%	1,803	78.2%	6,588	87.2%	2,055	88.2%	16,588	92.1%
	3.1 TOTAL WALL AREA	5,578	N/A	1,659	N/A	6,023	N/A	1,826	N/A	14,984	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	ACME BRICK (#22 & #23)*	3,570	64.0%	837	50.5%	3,540	58.8%	1,080	59.1%	9,027	60.2%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.8%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	21.9%	394	23.7%	1,720	28.6%	570	31.2%	3,908	26.1%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.4%	158	9.5%	212	3.5%	130	7.1%	913	6.1%
	MASONRY WALL NET AREA (*)	5,400	96.8%	1,486	89.6%	5,586	92.7%	1,826	100.0%	14,196	94.7%
	NON-MASONRY WALL NET AREA	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	TOTAL WALL AREA	5,578	100%	1,659	100%	6,023	100%	1,826	100%	14,984	100%

BUILDING ELEVATIONS (SOUTH & EAST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY, EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD., SUITE 215 DALLAS, TEXAS 75252 (972) 248-9651

R.T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5634 WINDMILL LANE DALLAS, TEXAS 75252 (214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: SEPT 19, 2018

SHEET: A4.10

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

BUILDING ELEVATIONS (NORTH & WEST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid
AN IHG HOTEL
ROCKWALL, TEXAS

DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY,
EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651

R.T. CHANG, ARCHITECT, INC
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5634 WINDMILL LANE
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

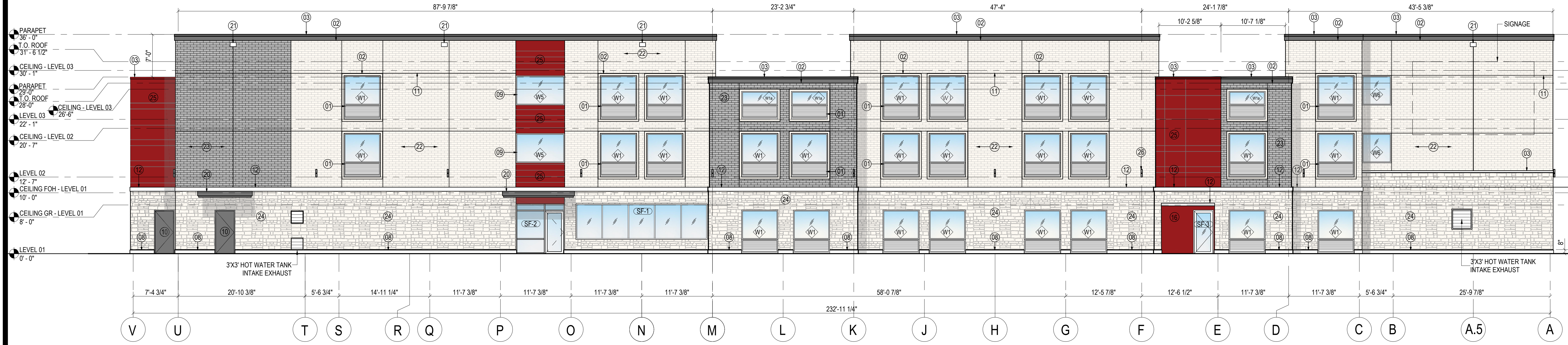
DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: SEPT 19, 2018

SHEET: **A4.20**



1 FRONT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 86 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	13,400 SF
LEVEL 02	12,830 SF
LEVEL 03	12,830 SF
Grand total	39,060 SF

SHEET NOTES

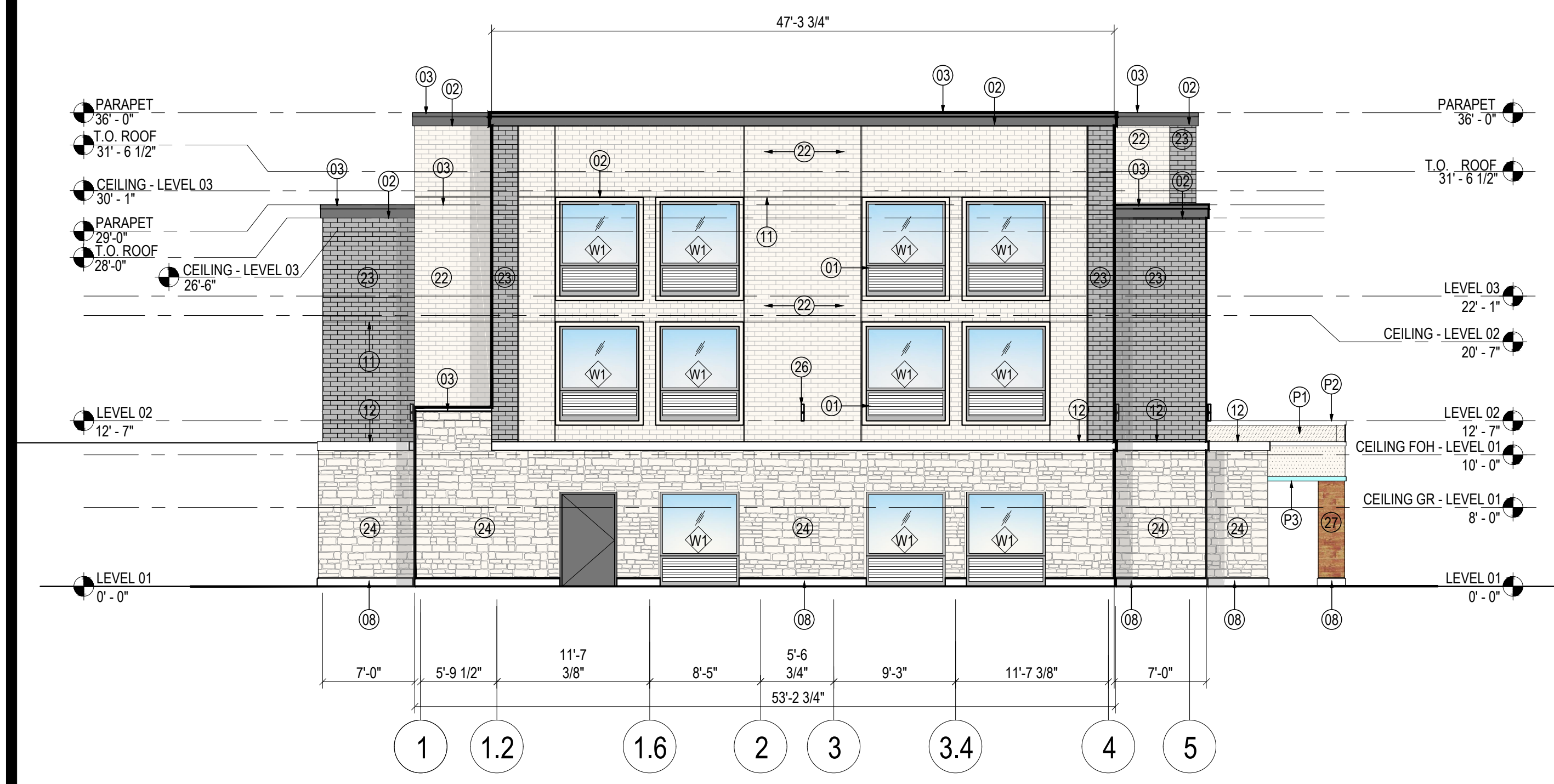
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 8" 3 COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 3 COAT STUCCO WINDOW BAND
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GARY WALL: ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL: ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : SPA
- 3 COAT STUCCO ; COLOR (P4) : RED
- EXTERIOR ACME BRICK ; COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : WHITE
- ALUMINUM CLADDING ; COLOR : RED

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,676	100%	2,307	100%	7,551	100%	2,330	100%	18,020	100%
2	GLAZING DOORS & WINDOWS	1,432	18.7%	504	21.8%	963	12.8%	275	11.8%	1,432	7.9%
3	NON-GLAZING DOORS&WINDOWS	6,244	81.3%	1,803	78.2%	6,588	87.2%	2,055	88.2%	16,588	92.1%
	3.1 TOTAL WALL AREA	5,578	N/A	1,659	N/A	6,023	N/A	1,826	N/A	14,984	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	ACME BRICK (#22 & #23)*	3,570	64.0%	837	50.5%	3,540	58.8%	1,080	59.1%	9,027	60.2%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.8%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	21.9%	394	23.7%	1,720	28.6%	570	31.2%	3,908	26.1%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.4%	158	9.5%	212	3.5%	130	7.1%	913	6.1%
	MASONRY WALL NET AREA (*)	5,400	96.8%	1,486	89.6%	5,586	92.7%	1,826	100.0%	14,196	94.7%
	NON-MASONRY WALL NET AREA	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	TOTAL WALL AREA	5,578	100%	1,659	100%	6,023	100%	1,826	100%	14,984	100%

Z:\2018\21817.VPR - Avid Hotel at Rockwall\ARCH\SHEET SETA - SHEETS\A4-10 COLORED_18-09-19.dwg, 9/19/2018 5:00:03 PM, DWG To PDF.pc3

AVID HOTEL

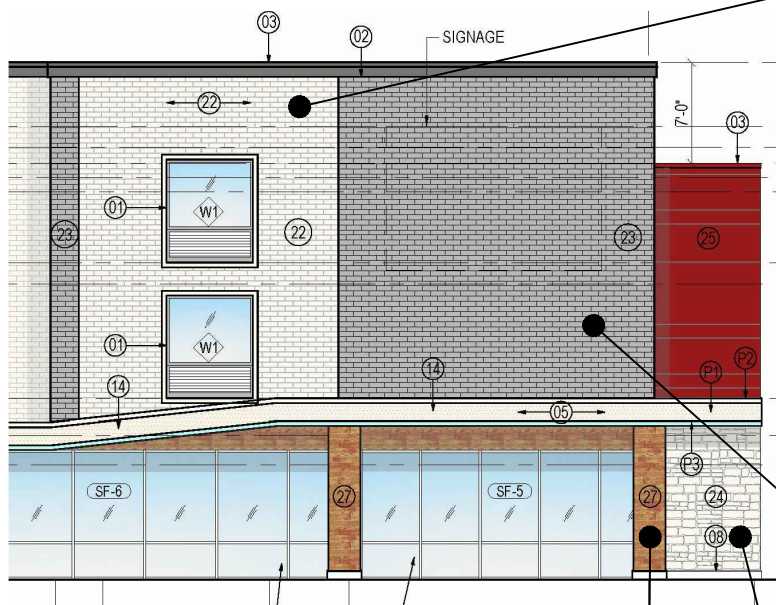


FOR VORA PROPERTY AT ROCKWALL, TEXAS

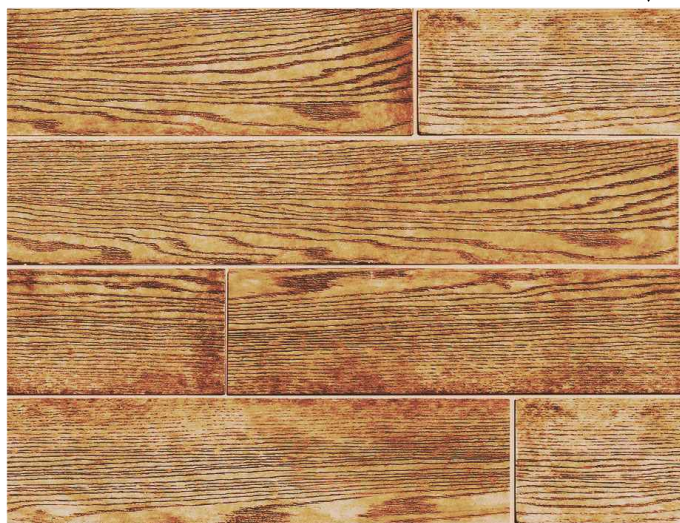
DATE : 08/30/18



03. COPING
SHERWIN - WILLIAMS COLOR: SW 7019 - GAUNTLET GRAY



BUILDING ELEVATION @ FRONT ENTRY



27. CORONADO STONE: MODEL 'REFINED WOODSTONE'
COLOR 'HONEY BLONDE'



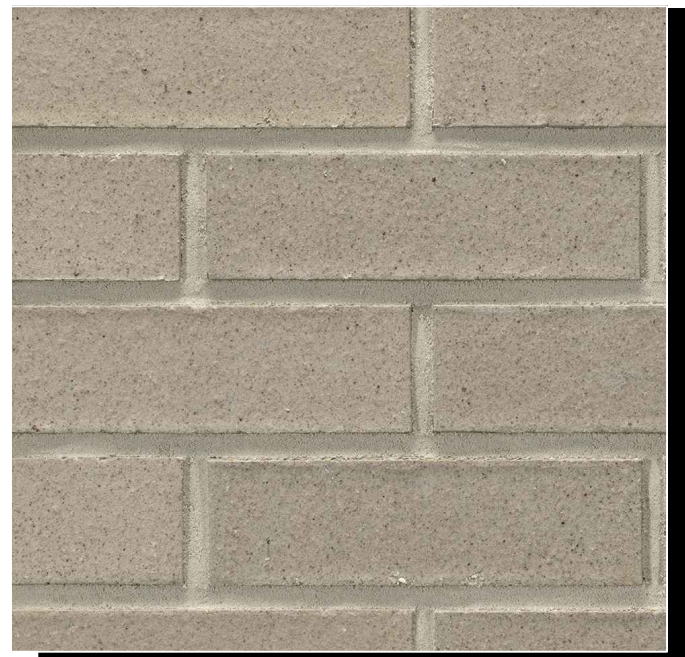
P3 CANOPY CLADDING - AQUA
SHERWIN - WILLIAMS COLOR: SW 9045 - BORA BORA SHORE



25. METAL CLADDING - RED
SHERWIN - WILLIAMS COLOR: SW 6864 - CHERRY TOMATO



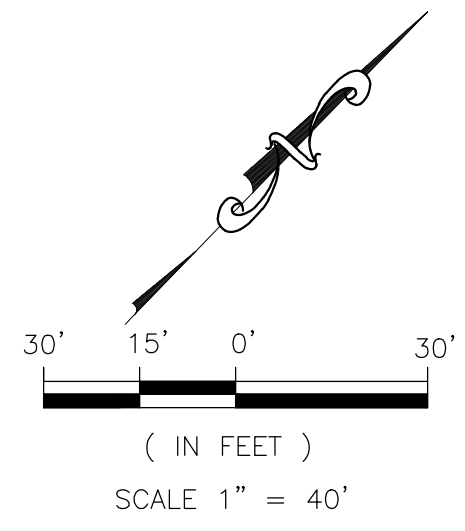
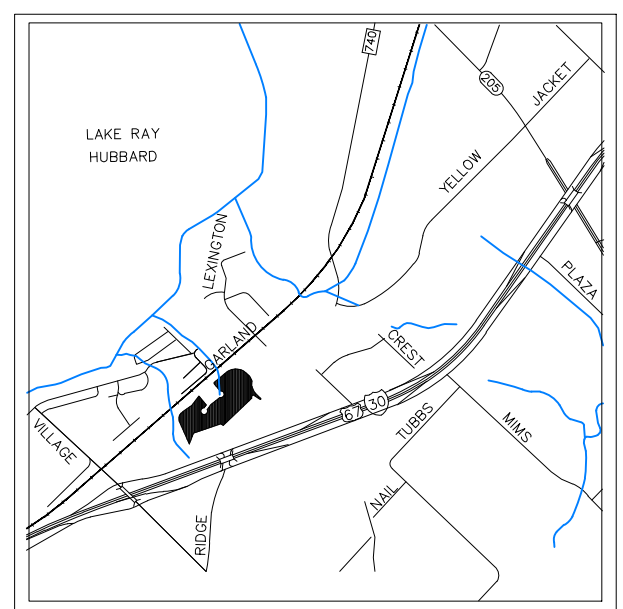
22. BRICK WALL
ACME BRICK: MODEL 'GLACIER WHITE - SMOOTH TEXTURE'
PERLA EAST GATE PLANT - PEP050,105822



23. BRICK WALL
ACME BRICK: MODEL 'MARBLE GRAY - SMOOTH TEXTURE'
PEP- 116



24. STONE WALL
AUSTIN STONE: COLOR 'WHITE'



VICINITY MAP
N.T.S.

- SITE NOTE:**
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
 - SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
 - ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
 - BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRR	IRON ROD FOUND
	EASEMENT LINE	IRS	IRON ROD SET
	STORM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LOT INFORMATION

LOT 5 - PHASE I

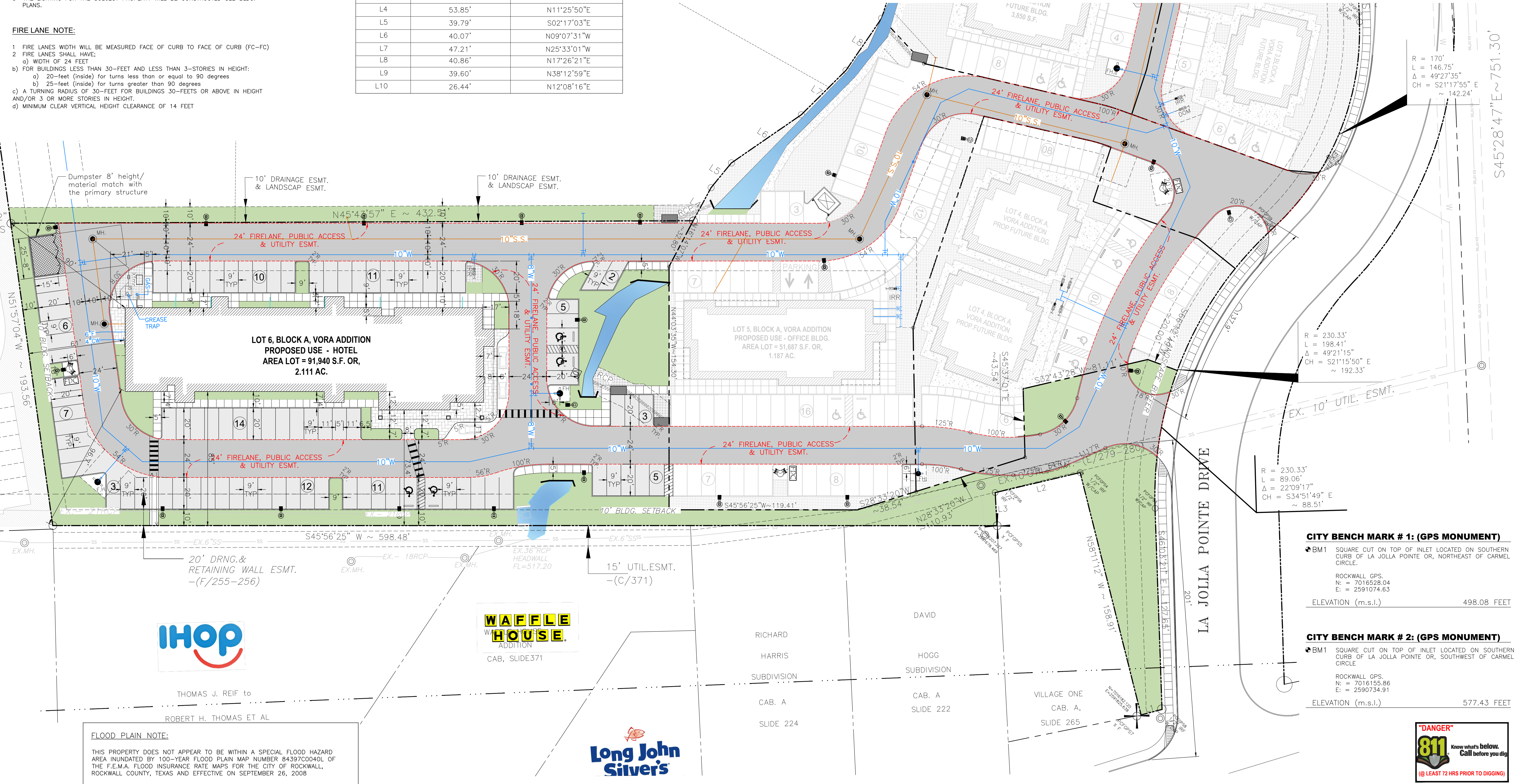
AREA LOT = 91,940 S.F. (2.111 AC.)
TOTAL BLDG. AREA = 37,130 S.F.
PROPOSED = AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS

PARKING RATIO = 1 SP/1 UNIT
TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
HANDICAP PARKING REQUIRED = 4 SP
SURFACE PARKING PROVIDED = 83 SP

- SITE PLAN NOTE:**
- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
 - ALL SIGNAGE BY SEPARATE PERMIT.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS. AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.
- FIRE LANE NOTE:**
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
 - FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
 - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3- STORIES IN HEIGHT:
 - 20- feet (inside) for turns less than or equal to 90 degrees
 - 25- feet (inside) for turns greater than 90 degrees
 - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
 - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET



SITE PLANS SET

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851
TX T.B.P.E. REGISTRATION # F-008974
T.B.P.L.S. FIRM REGISTRATION # 100433

ASA ENGINEERING

CITY BENCH MARK # 1: (GPS MONUMENT)

BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, NORTHEAST OF CARMEL CIRCLE.

ROCKWALL GPS:
N = 7016528.04
E = 2591074.63

ELEVATION (m.s.l.) 498.08 FEET

CITY BENCH MARK # 2: (GPS MONUMENT)

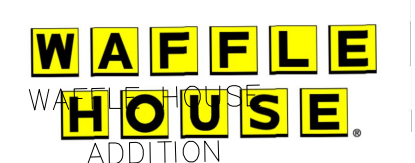
BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, SOUTHWEST OF CARMEL CIRCLE

ROCKWALL GPS:
N = 7016155.86
E = 2590734.91

ELEVATION (m.s.l.) 577.43 FEET

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

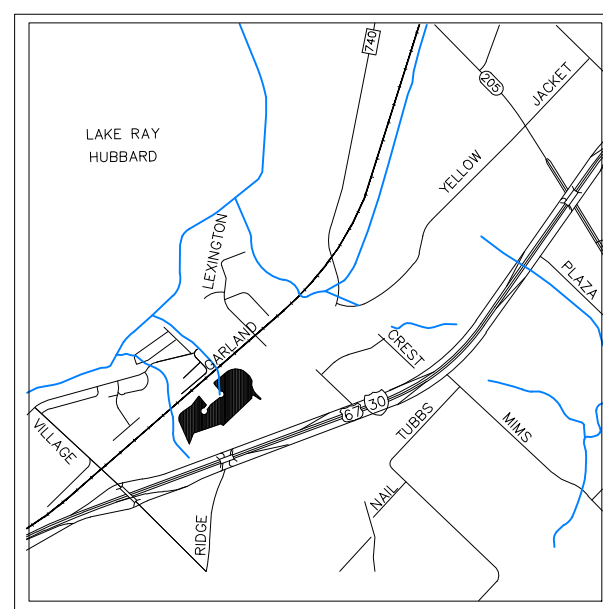
CHECKED: PSS

PROJECT NO. 21737.VPR

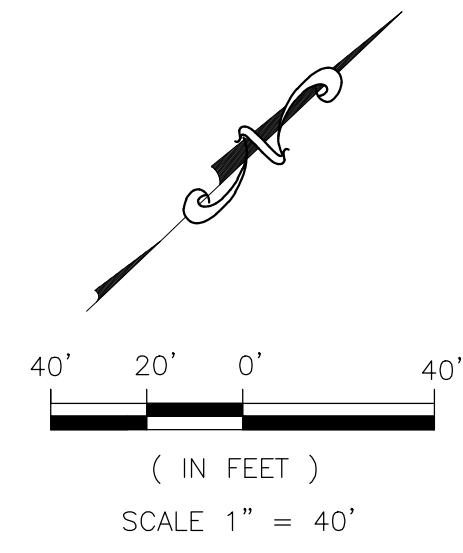
DATE: AUGUST 21, 2018

SHEET: C-01

Case No. SP2018-02



VICINITY MAP
N.T.S.

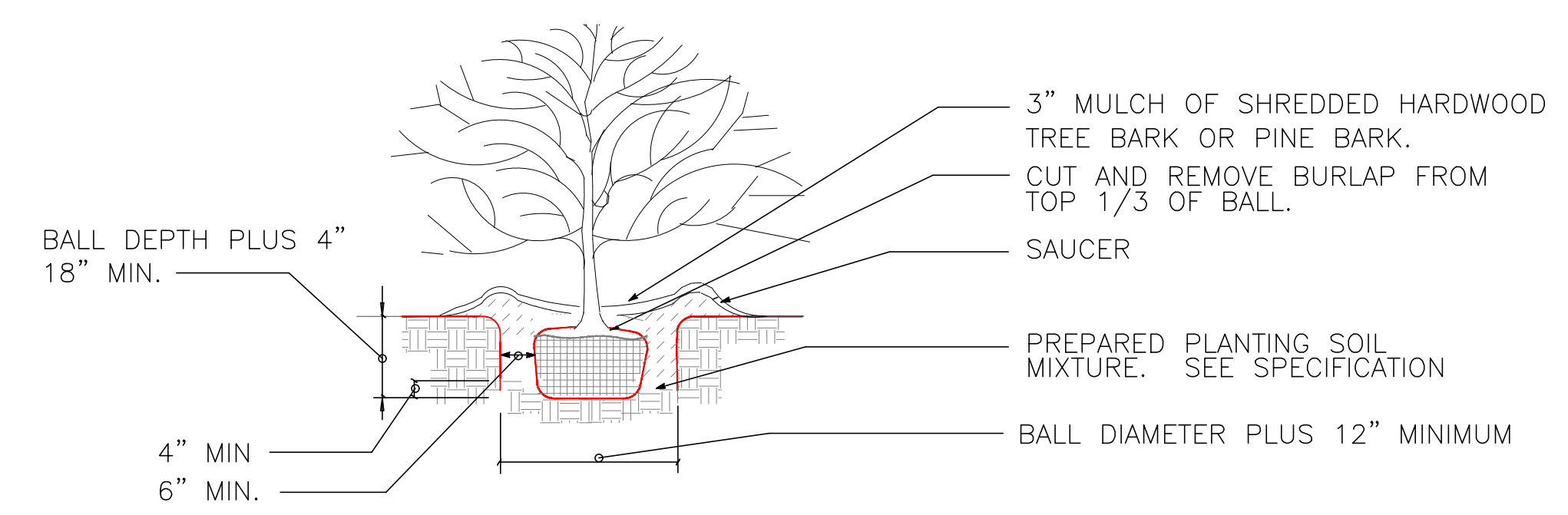


PLANT MATERIAL SCHEDULE :

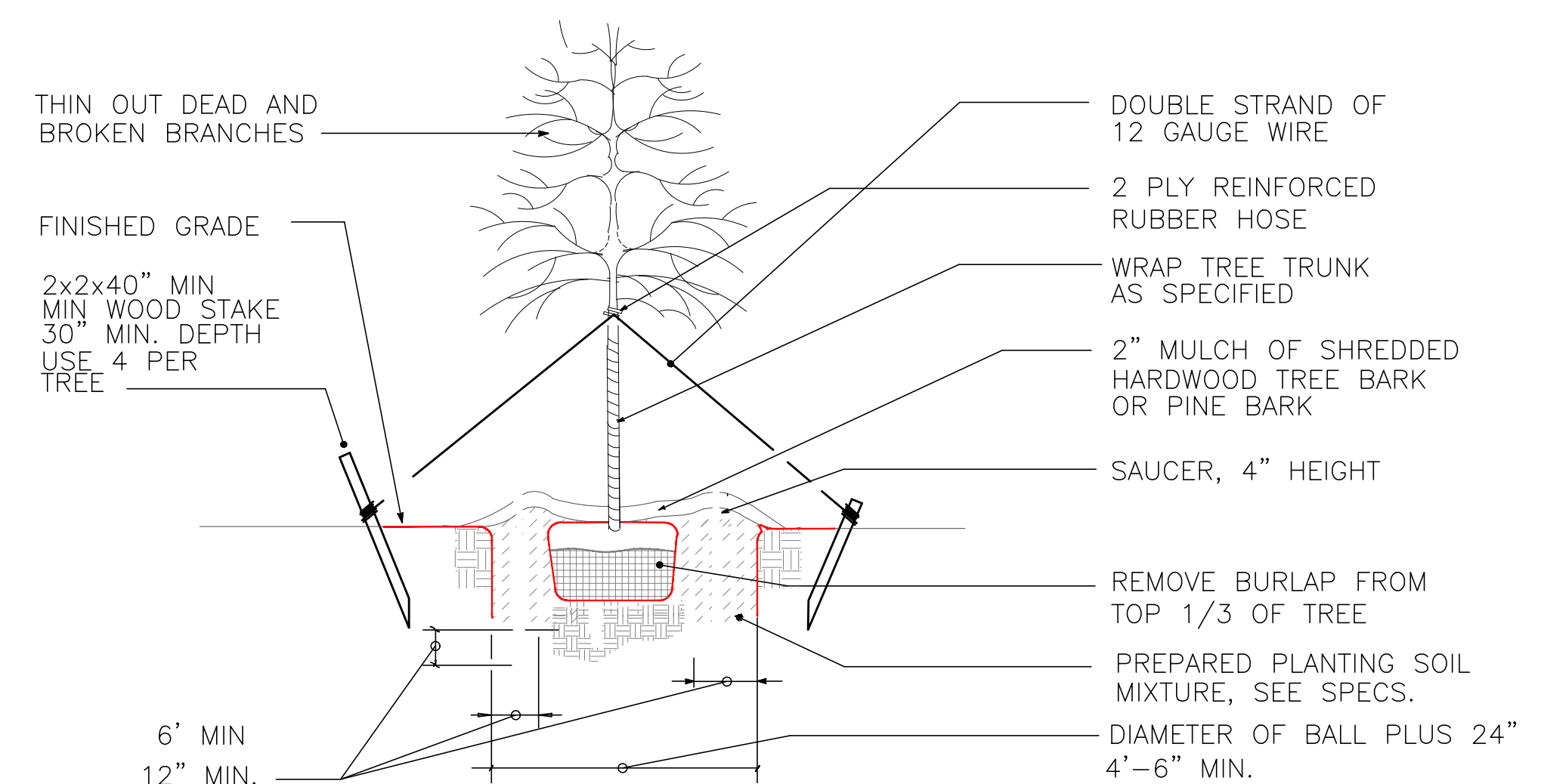
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
14	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
28	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
23	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
124	DWARF GRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
267	INDIAN HAWTHORN 'SNOW WHITE'	RHAPHIOLEPIS INDICA	5 GALLONS
39	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
28,631 SF.	BERMUDA GRASS	CYNODON DACTYLON	

LEGENDS:

	PROPERTY LINE		EXISTING TREE TO KEEP
	EASEMENT LINE		LITTLE GEM MAGNOLIA
	IRON ROD		TEXAS RED OAK TREE (SHADE)
	EXISTING SANITARY MANHOLE		INDIAN HAWTHORN 'SNOW WHITE'
	PROPOSED SANITARY MANHOLE		EASTERN RED BUD (ORNAMENTAL)
	EXISTING FIRE HYDRANT		DWARF GRAPE MYRTLE 'CHERRY DAZZLE'
	PROPOSED FIRE HYDRANT		PAMPAS GRASS
			ERAGROSTIS CURVULA HYDROSEED



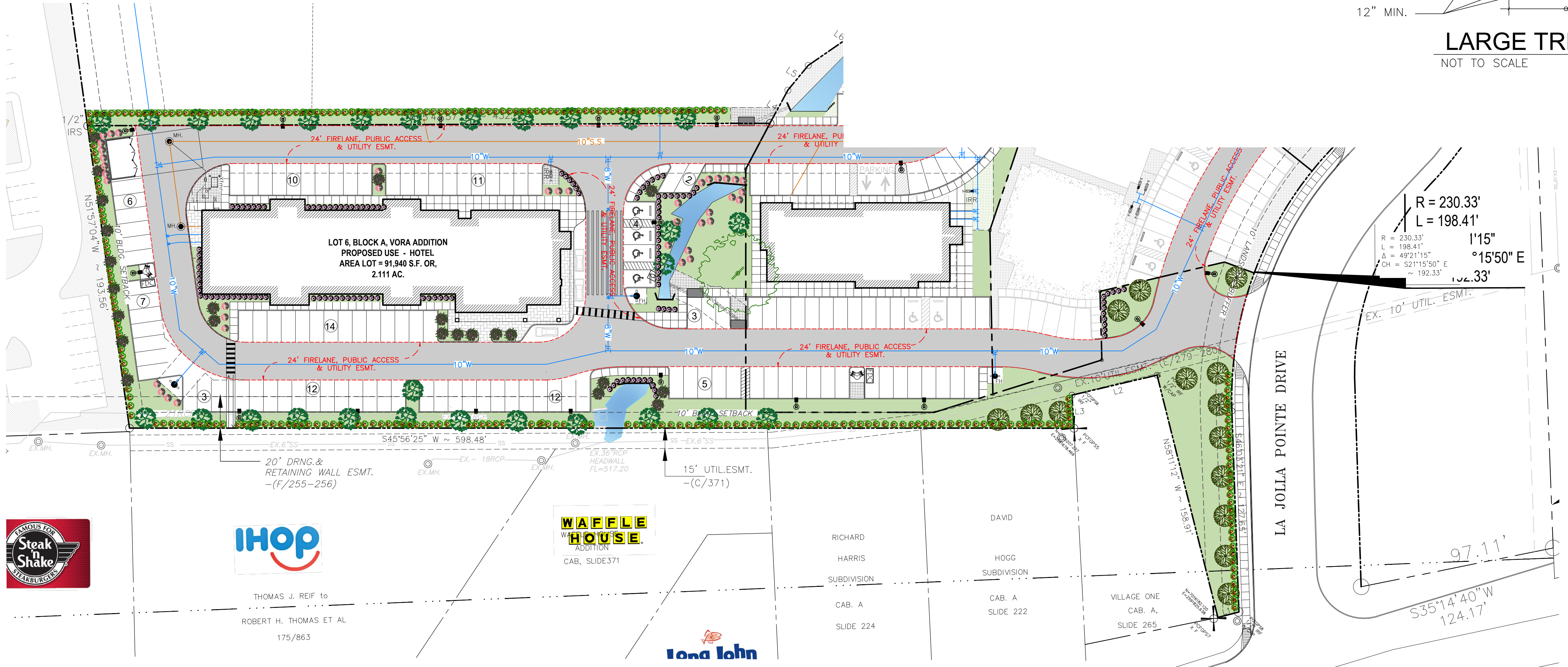
SHRUB PLANTING DETAIL
NOT TO SCALE



LARGE TREE STAKING DETAIL
NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

LANDSCAPE NOTE:

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITH VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR LOCAL (TEXAS ASSOCIATION OF NURSERYMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NO LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTTITIL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.



LANDSCAPE TABULATIONS:

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE (220 FT.)	5 TREES	8 TREES
PARKING SPACE (87 SP)		
1 TREE PER 10 REQ. PARKING SPACES (87 REQ. SPACES)	9 TREES	22 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 91,732 SF.)	13,759.80 SF.	28,631 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

FLOOD PLAIN NOTE:
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 845970040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

CITY BENCH MARK # 1: (GPS MONUMENT)
BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, NORTHEAST OF CARMEL CIRCLE.
ROCKWALL GPS.
N: = 7016528.04
E: = 2591074.63
ELEVATION (m.s.l.) 498.08 FEET

CITY BENCH MARK # 2: (GPS MONUMENT)
BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, SOUTHWEST OF CARMEL CIRCLE.
ROCKWALL GPS.
N: = 7016155.86
E: = 2590734.91
ELEVATION (m.s.l.) 577.43 FEET

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



SITE PLANS SET

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

LANDSCAPE PLAN FOR DFW HOSPITALITY OF ROCKWALL LLC CITY OF ROCKWALL, TEXAS

ASCA ENGINEERING
17819 DAVENPORT ROAD, SUITE 215 DALLAS, TEXAS 75252 (972) 248-9851 TX.T.B.P.E. REGISTRATION # F-006974 T.B.P.L.S. FIRM REGISTRATION # 00433

SCALE: AS SHOWN

DESIGNED: PSS

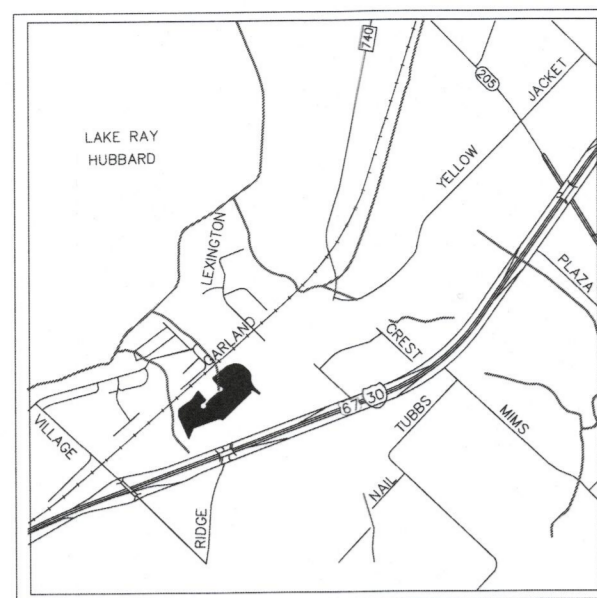
DRAWN: PSA

CHECKED: PSS

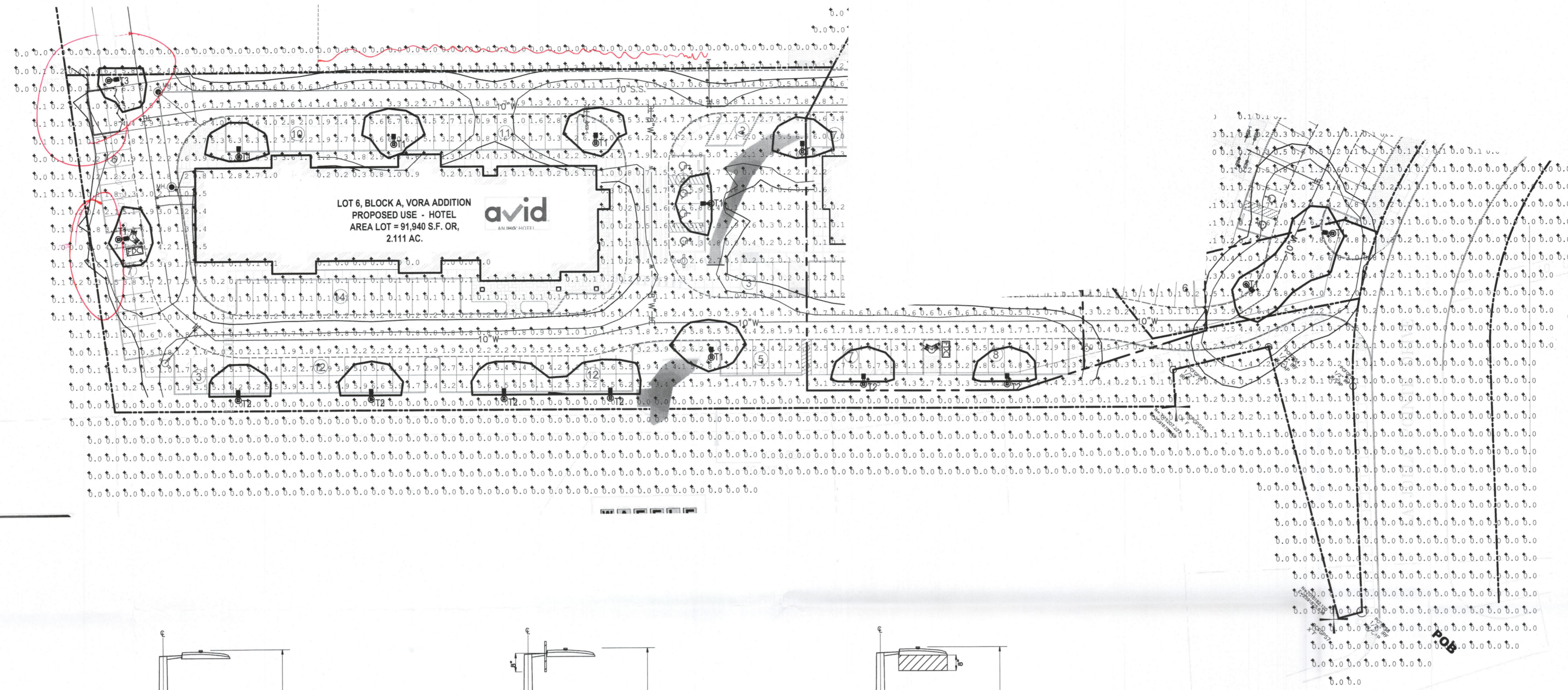
PROJECT NO. 21737.VPR

DATE: SEPTEMBER 12, 2018

SHEET: L-01

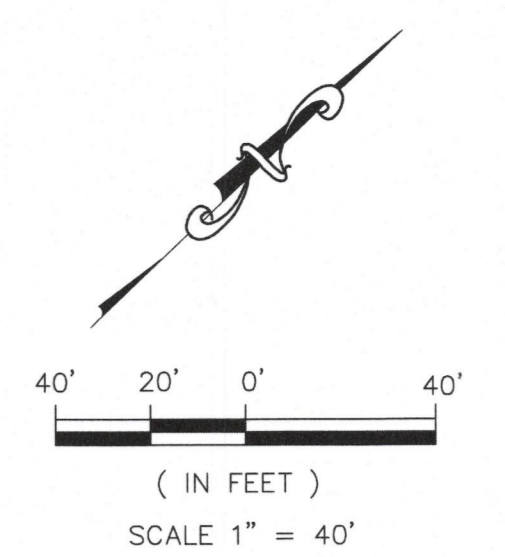


VICINITY MAP
N.T.S.



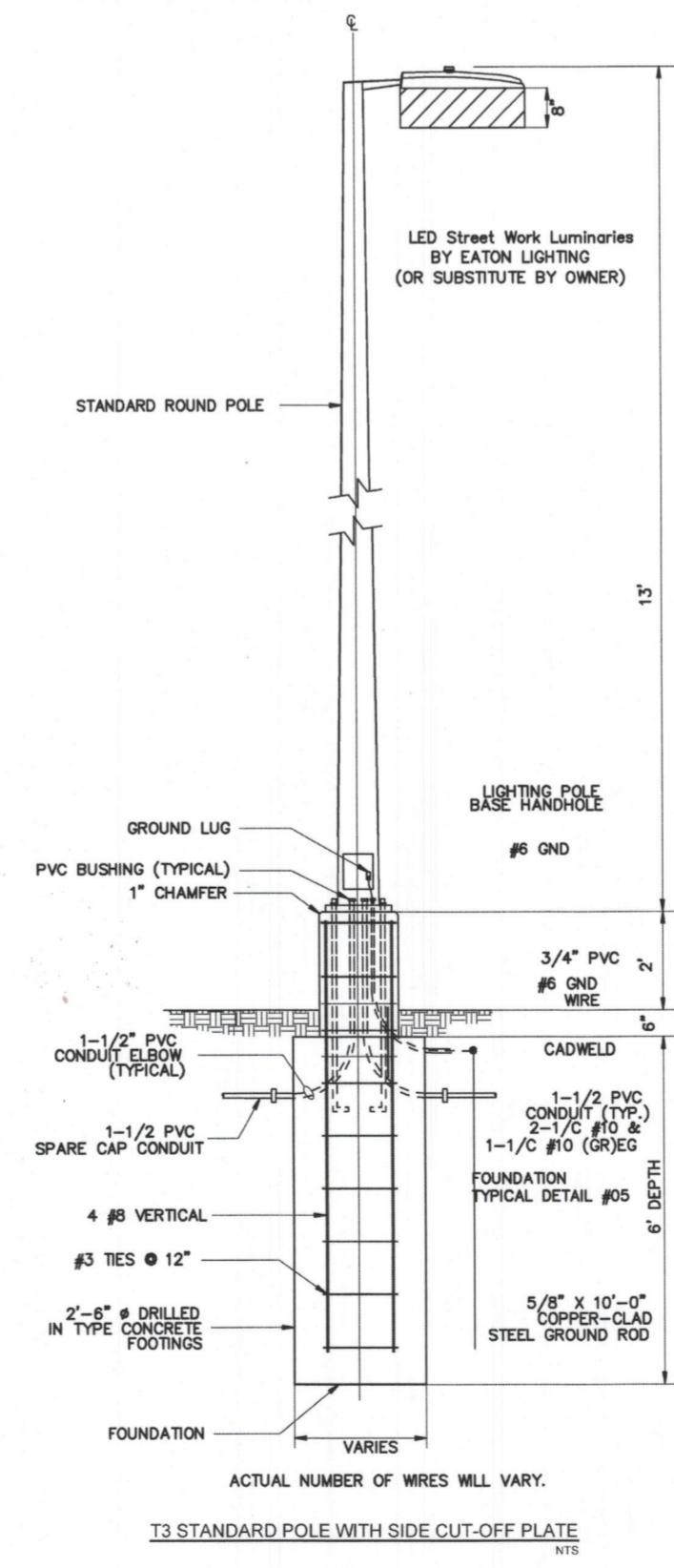
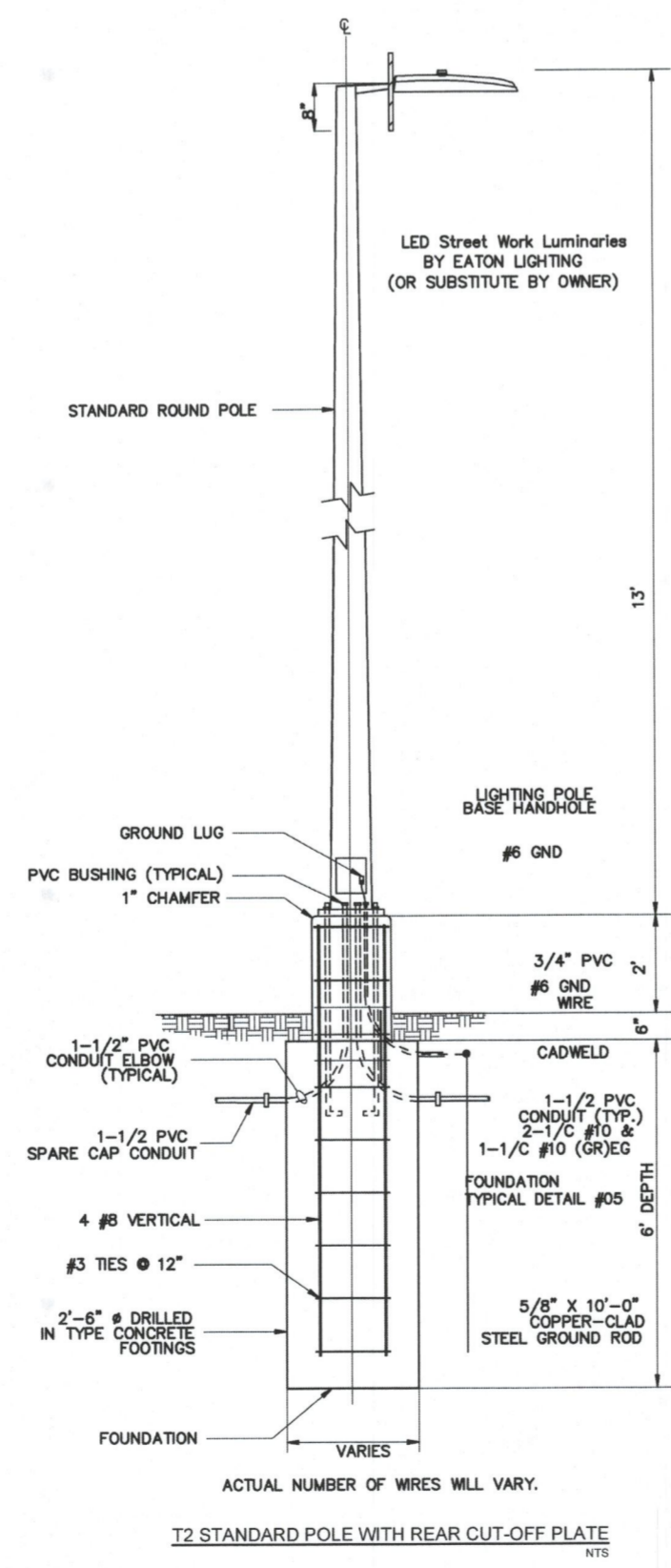
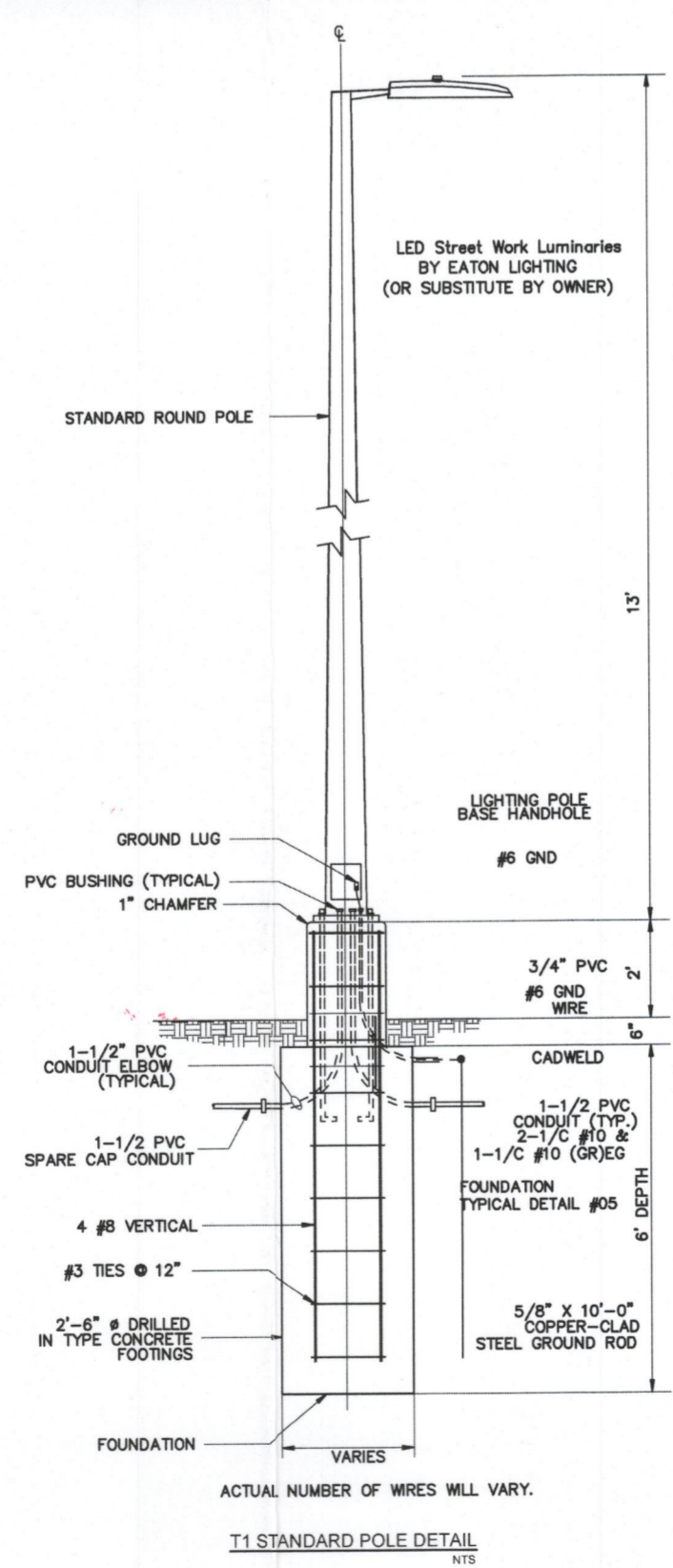
LEGEND

- PROPERTY LINE
- ⊙ PROPOSED LIGHT POLE (ONE HEAD)



REVISION		
NO.	DATE	BY
1	18-08-07	P59
2	18-08-21	P59

REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.



High Readings Exceed 0.2 FC @ PL3

SITE PLANS SET

AVID HOTEL SITE LIGHTING

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651
TX T.B.E.E. REGISTRATION # F-008974
E.B.P.L.S. FIRM REGISTRATION # 100425

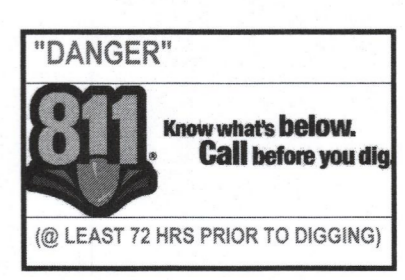
ASA ENGINEERING

SCALE: AS SHOWN
DESIGNED: P59
DRAWN: P5A
CHECKED: P55

PROJECT NO. 21737.VPR

DATE: SEPTEMBER 12, 2018

SHEET: SL-2



CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 10/01/2018
APPLICANT: Pan Sribhen P.E. of PSA Engineering
AGENDA ITEM: **SP2018-023**; Site Plan; *Avid Hotel*

SUMMARY:

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a variance to the vertical articulation requirements in conjunction with an approved site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

PURPOSE AND BACKGROUND:

On April 2, 2018, the City Council approved a Specific Use Permit (*SUP No. S-187*) [*Ordinance No. 18-20*] to allow for a hotel within a Commercial (C) District and on the *subject property*. The applicant is requesting approval of a variance to the vertical articulation requirements of the Unified Development Code (UDC) as outlined in this report. This request is in conjunction with an approved site plan for the purpose of constructing a three (3) story, 39,060 SF hotel [*i.e. AVID Hotel*] and will incorporate a total of 87 traditional hotel rooms (*i.e. they will not contain kitchen facilities or cook-tops*). The SUP restricts the maximum overall height of the building to 36-feet. The proposed hotel will be situated on a 2.111-acre parcel of land that is located at the intersection of Carmel Circle and Laguna Drive.

VARIANCE AND EXCEPTION REQUESTS:

The applicant is requesting a variance to the requirements of the Unified Development Code (UDC) for the section outlined below. It should be noted, that for the subject property this variance request would require approval by a simple majority vote of those City Council members present. The request is as follows:

- 1) Section 4.1.C.1.b, of Article V, of the UDC require all building facades to not extend for a distance more than three (3) times the walls height without having an off-set vertically. The elevations depict the north and south facing façades do not meet this requirement. This will require approval by the City Council.
[*Simple Majority Vote*]

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed building elevations for the site. General discussion concerning a thematic appearance amid all buildings within the Vora Addition took place between the board members and the applicant. The board requested the applicant incorporate the Coronado stone with the wood appearance at the main entrance where the AVID logo is located. The board shared their concern for the lack of vertical and horizontal elements that provide relief for the building. The ARB will provide a recommendation to the Planning and Zoning Commission during the next scheduled meeting to be held on August 14, 2018.

On August 14, 2018, the applicant provided elevations meeting the intent of the ARB's recommendations, with the exception of the use of the Coronado Stone, which has the "wood" appearance, to be located on

the element where the hotels logo would be inserted. The applicant indicated they would not be able to meet this request due to corporate branding. After reviewing the revised elevations, the Architectural Review Board made a motion recommending approval of the elevations, which passed by a vote of 6 to 0 with Board Member Mitchell absent. This motion included a condition of approval that the applicant provide Austin Stone as depicted on the elevations and not the synthetic stone that was attached to the materials sample board. Additionally, the motion included a recommendation of approval for the variance being requested regarding the lack of horizontal and vertical articulation for the north and south elevations.

After being remanded back to the ARB by the Planning and Zoning Commission for the purpose of meeting the technical requirements of the UDC, the applicant made the changes requested by the ARB and the Planning and Zoning Commission, and the plan was in conformance with the UDC. On September 25, 2018, the ARB made a motion to deny the resubmitted elevations, meeting the technical requirements of the UDC, based on aesthetics. Additionally, the motion included a recommendation for the approval of the revised elevations originally reviewed during August 14, 2018 meeting, which included a recommendation of the variance to the vertical articulation. The motion was approved by a vote of 5 to 0, with Board Members Neill and Mitchell absent.

RECOMMENDATIONS:

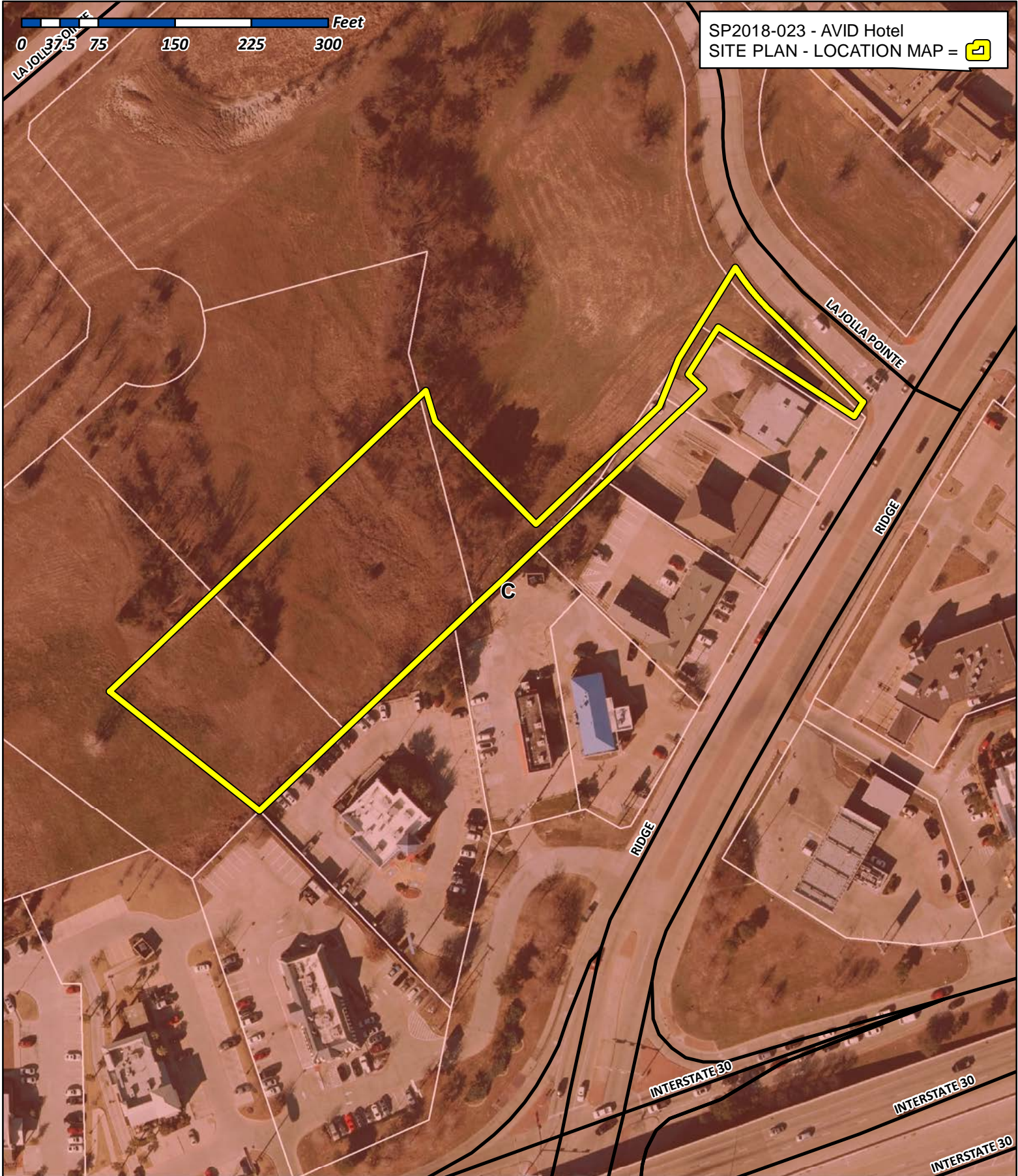
If the City Council chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION RECOMMENDATION:

On August 14, 2018, the Planning and Zoning Commission's motion to remand the building elevations back to the Architectural Review Board (ARB) for the purpose of meeting the articulation standards of the UDC was approved by a vote of 6 to 0 with Commissioner Fishman absent. Additionally, no action was taken on the site plan.

On September 25, 2018, the Planning and Zoning Commission made a motion to recommend approval of revised elevations that raise the protruding elements to 36-feet and lower the parapet walls two (2) feet for the remainder of the building, creating vertical articulation. However, this change requires approval of a variance to the vertical articulation standards of the UDC. Additionally, the motion included approval of the site plan with staff recommendations, consideration of ARB recommendations, and a recommendation of approval of the revised elevations as described above. The motion was approved by a vote of 7 to 0.



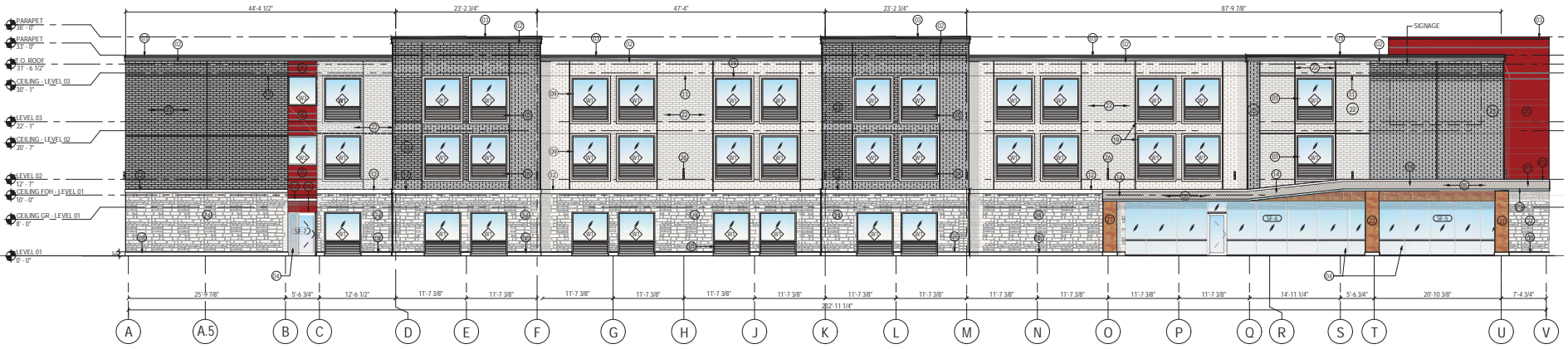
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Vertical Articulation Variance Required
Recommended for Approval by P&Z



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be 40 to 60 long, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 75 keys, fully-spreadsheet - W/FPA 13, based that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

CROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 03	13,438 SF
LEVEL 02	13,008 SF
LEVEL 01	13,008 SF
Grand Total	39,455 SF

SHEET NOTES

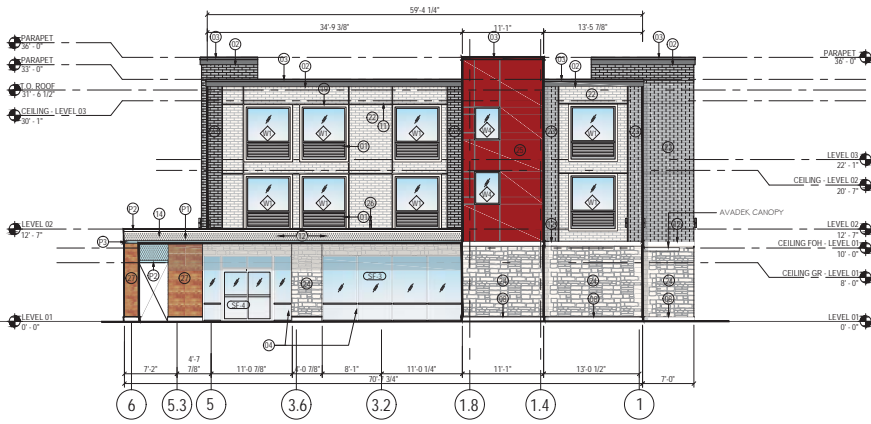
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVER RUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR YELLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 8" COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST - COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 1/2 COAT STUCCO WINDOW BAND
- 20 AVADEX CANOPY
- 21 SCUPPER - PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GRAY WALL: ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL: ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS.
- 27 STONE WALL: REFINED WOOD TEXTURE STONE

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - AQUA
- 3 COAT STUCCO - COLOR (P4) - RED
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - WHITE
- ALUMINUM CLADDING - COLOR - RED
- REFINED STONE - COLOR - HONEY BLONDE

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02-1.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,506	100%	2,307	100%	7,294	100%	2,279	100%	17,542	100%
2	GLAZING DOORS & WINDOWS	1,432	19.1%	504	21.8%	963	13.2%	275	12.1%	1,432	8.2%
3	NON-GLAZING DOORS & WINDOWS	6,074	80.9%	1,803	78.2%	6,331	86.8%	2,004	87.9%	16,110	91.8%
	3.1 TOTAL WALL AREA	5,408	N/A	1,659	N/A	5,766	N/A	1,775	N/A	14,506	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
	ALUM. CLADDING	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	ACME BRICK (#22 & #23)*	3,295	60.9%	767	46.2%	3,220	55.8%	1,029	58.0%	8,311	57.3%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.9%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	22.6%	394	23.7%	1,720	29.8%	570	32.1%	3,908	26.9%
3.1	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.6%	158	9.5%	212	3.7%	130	7.3%	913	6.3%
	MASONRY WALL NET AREA (*)	5,125	94.8%	1,416	85.4%	5,266	91.3%	1,775	100.0%	13,480	92.9%
	NON-MASONRY WALL NET AREA	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	TOTAL WALL AREA	5,408	100%	1,659	100%	5,766	100%	1,775	100%	14,506	100%

SITE PLAN SET

REVISION			
NO.	DATE	BY	PS
0	Y-M-D		

REVISIONS MUST BE NOTED ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (SOUTH & EAST)
3 STORY - AVID HOTEL
LOT 6, BLOCK A, VORA ADDITION, LLC.
D/W HOSPITALITY OF ROCKWALL, LLC.
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid
AN IHG HOTEL
ROCKWALL, TEXAS
HG PROJ. NO. 1718_DFW1

DEW HOSPITALITY OF RICHARDSON
2402 PATHWAY,
EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DARDENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 348-9651

R. T. CHANG, ARCHITECT, INC.
ARCHITECTURAL FIRM OF RICHARDSON
17819 DARDENPORT RD., SUITE 215
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: 09-27-2018

SHEET: **A4.10**

REVISION			
NO.	DATE	BY	
0	Y-M-D	PSS	

REVISIONS MUST BE CLEARLY INDICATED BY NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (NORTH & WEST)
 3 STORY - AVID HOTEL
 LOT G, BLOCK A, VORA ADDITION, L.L.C.
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER
avid
 AN IHG HOTEL
 ROCKWALL, TEXAS
 HG PROJ. NO. 1718_DFW1

DEW HOSPITALITY OF RICHARDSON
 2402 PATHWAY,
 EL DORADO, AR 71720

ENGINEER
 PSA ENGINEERING
 17819 DAWSONPORT RD.,
 SUITE 215
 DALLAS, TEXAS 75252
 (972) 348-9851

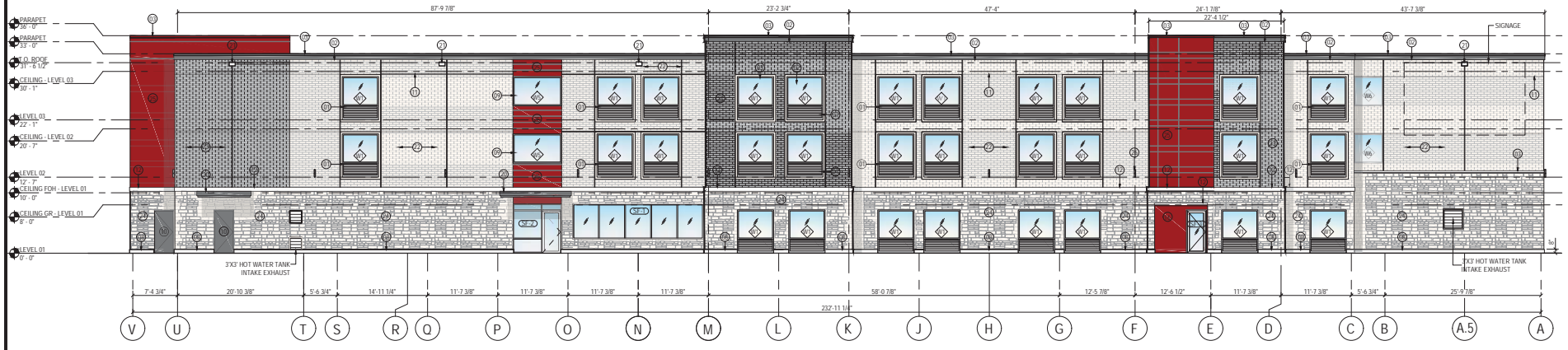
R. T. CHANG, ARCHITECT, INC.
 ARCHITECTURE AND PLANNING
 1000 W. WOODLAND AVENUE
 DALLAS, TEXAS 75225-2121
 (214) 663-4735

SCALE: AS SHOWN
 DESIGNED: RC
 DRAWN: PSA
 CHECKED: RC

PROJECT NO. 21737.VPR

DATE: 09-27-2018

SHEET: A4.20



1 REAR ELEVATION (NORTH)
 SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 26 keys, and scope shall include all work related to the development of new mid-scale IHG's brands @ 25 keys, fully optioned - WPTA 13, noted that will be the basis of the IHG's brands prototype in a from adaptable to individual by owners/franchisees's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	14,638 SF
LEVEL 02	14,008 SF
LEVEL 03	13,028 SF
Grand Total	31,674 SF

SHEET NOTES

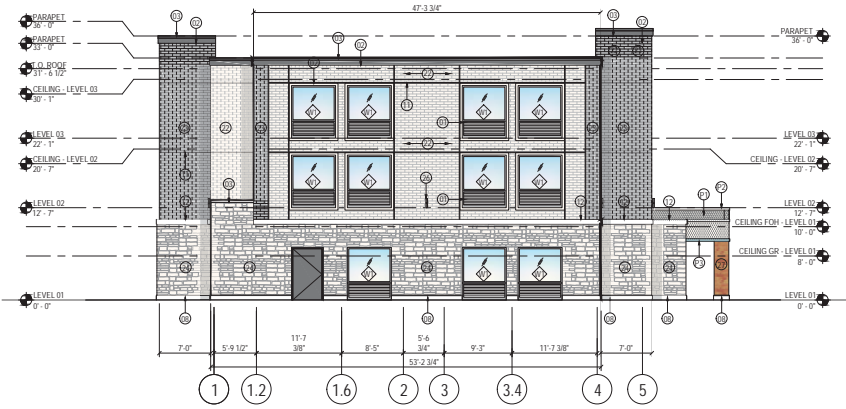
- INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 3 COAT STUCCO SYSTEM
- METAL COPING
- EXTERIOR STOREFRONT WINDOWS
- 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- SINGLE SLIDING GLASS DOOR
- ELEVATOR OVERRUN BEYOND
- 8" CAST STONE BASE
- EXTERIOR ALUMINUM WINDOW, TYP
- EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 3/4" CONTROL JOINT
- 8" 3 COAT STUCCO BAND
- SCREEN WALL
- ENTRANCE CANOPY WITH TPO ROOF
- STOREFRONT DOOR
- 3 COAT STUCCO WALL COLOR 'RED'
- 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVERS SIZE AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 3 COAT STUCCO WINDOW BAND
- AVADEX CANOPY
- SCOPPER, PAINTED TO MATCH ADJACENT WALL
- LIGHT GRAY WALL: ACME BRICK COLOR: WHITE
- DARK GRAY WALL: ACME BRICK COLOR: DARK GRAY
- STONE WALL: AUSTIN STONE
- ALUMINUM CLADDING COLOR: 'RED'
- EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING SWGS
- STONE WALL: REFINE WOOD TEXTURE STONE

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) : MAUVE
- 3 COAT STUCCO - COLOR (P2) : WHITE
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- 3 COAT STUCCO - COLOR (P4) : RED
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- EXTERIOR ACME BRICK - COLOR : GLACIER WHITE
- AUSTIN STONE - COLOR : WHITE
- ALUMINUM CLADDING - COLOR : RED
- REFINED STONE - COLOR : HONEY BLONDE

GENERAL NOTES

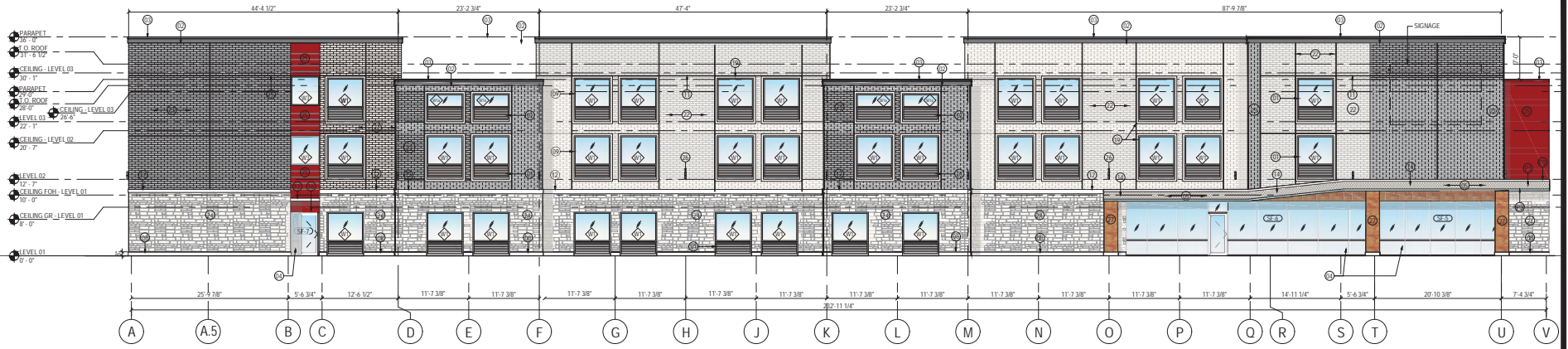
- ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02.1



2 SIDE ELEVATION (WEST)
 SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS											
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		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,506	100%	2,307	100%	7,294	100%	2,279	100%	17,542	100%
2	GLAZING DOORS & WINDOWS	1,432	19.1%	504	21.8%	963	13.2%	275	12.1%	1,432	8.2%
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3.1 TOTAL WALL AREA		5,408	N/A	1,659	N/A	5,766	N/A	1,775	N/A	14,508	N/A
3.2 HM DOOR & WINDOW		666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	ACME BRICK (#22 & #23)*	3,295	60.9%	767	46.2%	3,220	55.8%	1,029	58.0%	8,311	57.3%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.9%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	22.6%	394	23.7%	1,720	29.8%	570	32.1%	3,908	26.9%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
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	TOTAL WALL AREA	5,408	100%	1,659	100%	5,766	100%	1,775	100%	14,508	100%

Revised Elevations Meeting Technical Requirements



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be 40 to 45 keys, and scope shall include all work related to the development of one new mid-scale IHG brand @ 35 keys, fully-spreadsheet - W/FPA 13, based that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,882 SQ
LEVEL 02	12,882 SQ
LEVEL 03	12,882 SQ
Grand Total	38,646 SQ

SHEET NOTES

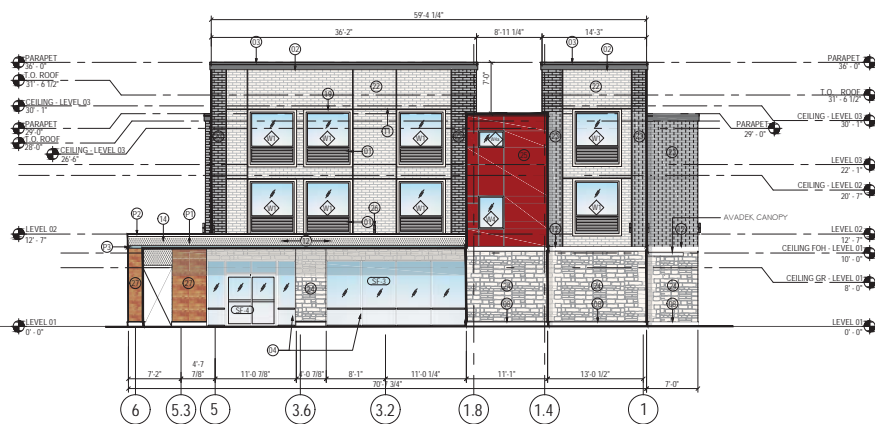
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP
- 10 EXTERIOR YELLOW METAL DOORS PAINTED TO MATCH WALLS, TYP
- 11 3/4" CONTROL JOINT
- 12 8" COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST - COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 1" COAT STUCCO WINDOW BAND
- 20 AVADEX CANOPY
- 21 SCUPPER PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GRAY WALL ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL-AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS.

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) : MAUVE
- 3 COAT STUCCO - COLOR (P2) : WHITE
- 3 COAT STUCCO - COLOR (P3) : SPA
- 3 COAT STUCCO - COLOR (P4) : RED
- EXTERIOR ACME BRICK - COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR : GLACIER WHITE
- AUSTIN STONE - COLOR : WHITE
- ALUMINUM CLADDING - COLOR : RED

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02.01



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIAL CALCULATION TABLE - AVID HOTEL 3 STORY - ROCKWALL TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		SF	%	SF	%	SF	%	SF	%	SF	%
1	3 COAT STUCCO - COLOR (P1) : MAUVE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
2	3 COAT STUCCO - COLOR (P2) : WHITE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
3	3 COAT STUCCO - COLOR (P3) : SPA	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
4	3 COAT STUCCO - COLOR (P4) : RED	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
5	EXTERIOR ACME BRICK - COLOR : MARBLE GRAY	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
6	EXTERIOR ACME BRICK - COLOR : GLACIER WHITE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
7	AUSTIN STONE - COLOR : WHITE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
8	ALUMINUM CLADDING - COLOR : RED	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
9	EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS.	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
10	AVADEX CANOPY	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
11	SCUPPER PAINTED TO MATCH ADJACENT WALL	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
12	LIGHT GRAY WALL ACME BRICK COLOR 'WHITE'	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
13	DARK GRAY WALL ACME BRICK COLOR 'DARK GRAY'	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
14	STONE WALL-AUSTIN STONE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
15	ALUMINUM CLADDING COLOR 'RED'	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
16	EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS.	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
17	3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
18	LAUNDRY EXHAUST - COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
19	1" COAT STUCCO WINDOW BAND	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
20	AVADEX CANOPY	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
21	SCUPPER PAINTED TO MATCH ADJACENT WALL	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
22	LIGHT GRAY WALL ACME BRICK COLOR 'WHITE'	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
23	DARK GRAY WALL ACME BRICK COLOR 'DARK GRAY'	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
24	STONE WALL-AUSTIN STONE	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
25	ALUMINUM CLADDING COLOR 'RED'	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%
26	EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS.	12,882	33.1%	12,882	33.1%	12,882	33.1%	12,882	33.1%	51,528	133.4%

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PS

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER
avid
3000 W. HOTEL
ROCKWALL, TEXAS

DFW HOSPITALITY OF RICHARDSON
2402. PATHWAY,
EL DORADO, AR 71720

ENGINEER
PSA ENGINEERING
17819 DARDENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851

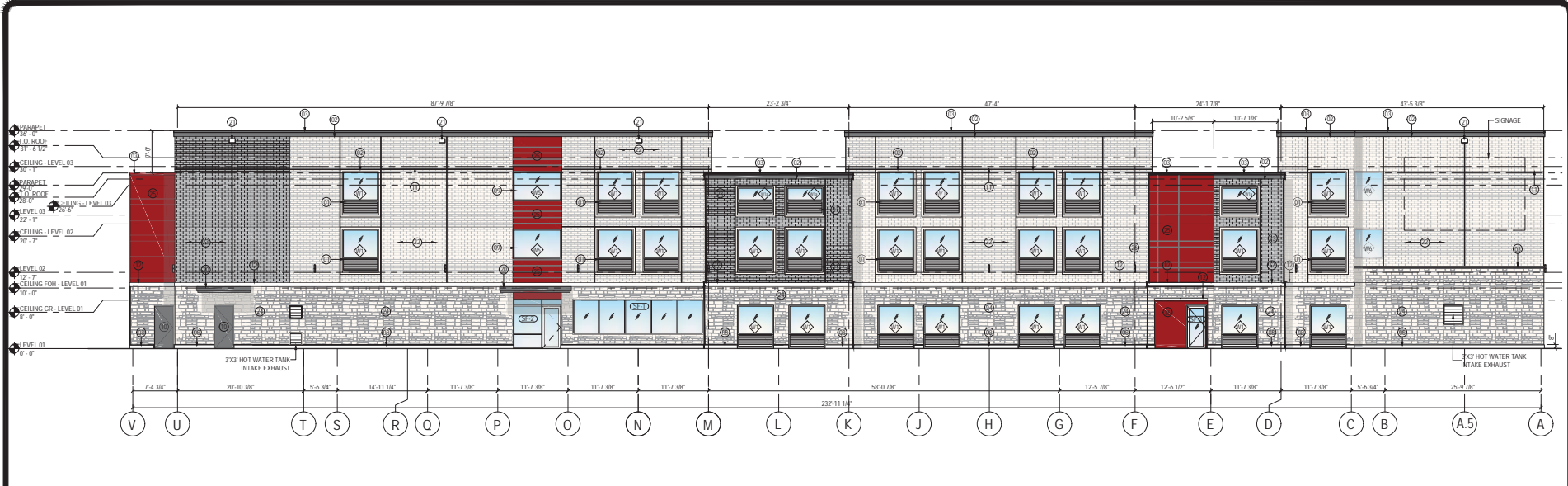
R. T. CHANG, ARCHITECT, INC
ARCHITECTURE AND PLANNING
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO: 21737-VPR
DATE: SEPT 19, 2018

SHEET: **A4.10**

Z:\2018\21817.VPR - Avid Hotel at Rockwall\ARCHSHEET SETVA - SHEETS\A4-10 COLORED_18-09-19.dwg, 9/19/2018 5:00:03 PM, DWG To PDF, pc3



1 FRONT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower mid-scale market segment. The proposed building shall be 26 keys, and scope shall include all work related to the development of one new mid-scale IHG's brands @ 26 keys, fully operational - WPTA 13, noted that will be the basis of the IHG's brands prototype in a from adaptable to individual by owners/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	14,806 SF
LEVEL 02	12,636 SF
LEVEL 03	12,636 SF
Grand Total	39,865 SF

SHEET NOTES

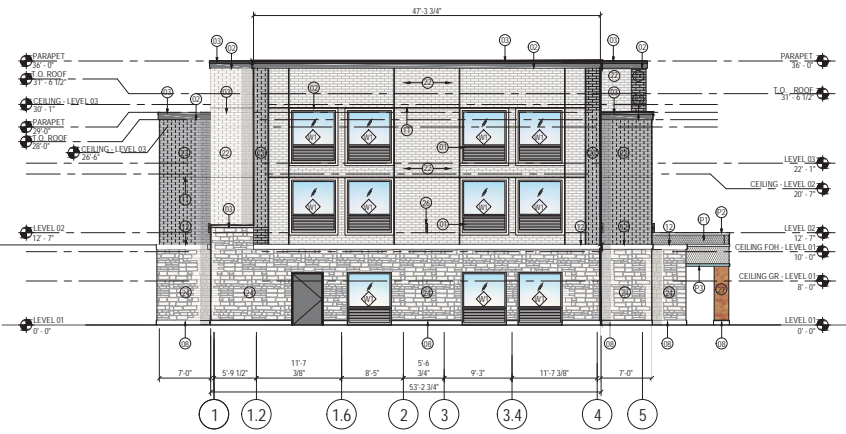
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 8" 3 COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR COVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 3 COAT STUCCO WINDOW BAND
- 20 AVADEC CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GRAY WALL ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL-AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING SWGS.

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - SPA
- 3 COAT STUCCO - COLOR (P4) - RED
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - WHITE
- ALUMINUM CLADDING - COLOR - RED

GENERAL NOTES

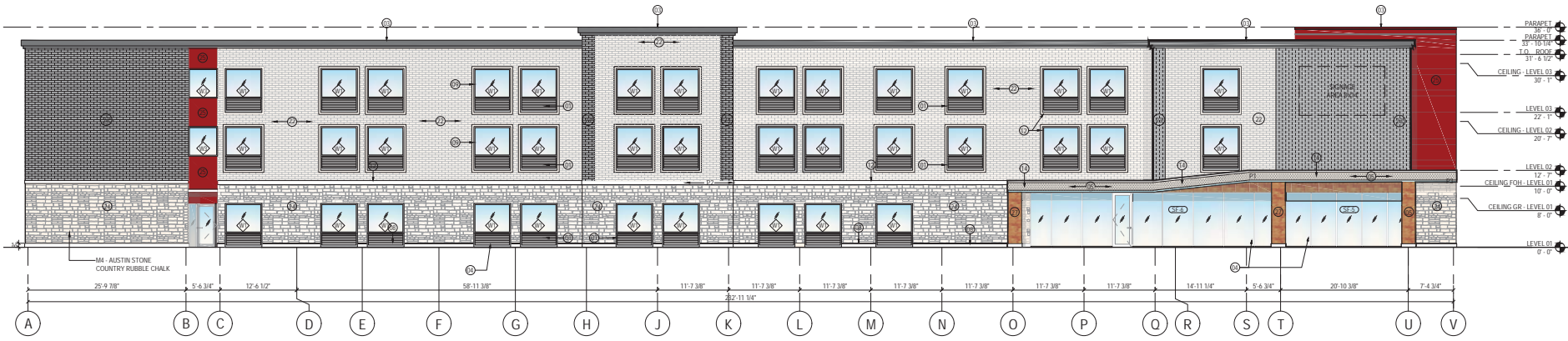
- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02.1



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

MATERIAL CALCULATION TABLE - AVID HOTEL 3 STORY - ROCKWALL TEXAS										
ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA
		SF	%	SF	%	SF	%	SF	%	
1	3 COAT STUCCO - COLOR (P1) - MAUVE	14,806	37.16%	14,806	37.16%	14,806	37.16%	14,806	37.16%	58,824
2	3 COAT STUCCO - COLOR (P2) - WHITE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
3	3 COAT STUCCO - COLOR (P3) - SPA	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
4	3 COAT STUCCO - COLOR (P4) - RED	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
5	EXTERIOR ACME BRICK - COLOR - MARBLE GRAY	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
6	EXTERIOR ACME BRICK - COLOR - GLACIER WHITE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
7	AUSTIN STONE - COLOR - WHITE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
8	ALUMINUM CLADDING - COLOR - RED	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
9	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
10	ENTRANCE CANOPY WITH TPO ROOF	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
11	STOREFRONT DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
12	LAUNDRY EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
13	AVADEK CANOPY	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
14	SCUPPER, PAINTED TO MATCH ADJACENT WALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
15	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
16	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
17	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
18	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
19	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
20	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
21	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
22	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
23	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
24	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
25	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
26	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
27	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
28	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
29	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
30	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
31	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
32	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
33	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
34	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
35	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
36	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
37	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
38	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
39	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
40	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
41	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
42	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
43	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
44	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
45	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
46	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
47	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
48	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
49	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
50	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
51	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
52	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
53	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
54	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
55	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
56	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
57	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
58	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
59	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
60	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
61	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
62	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
63	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
64	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
65	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
66	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
67	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
68	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
69	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
70	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
71	CONTROL JOINT	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
72	CAST STONE BASE	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
73	ALUMINUM WINDOW, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
74	HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
75	SLIDING GLASS DOOR	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
76	PTAC LOUVER	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
77	WATER TANK INTAKE EXHAUST	12,636	31.70%	12,636	31.70%	12,636	31.70%	12,636	31.70%	50,544
78	SCREENWALL	12,636	31.70%	12,636	31.70%	12,636	31.70%			

Recommended for Approval by the ARB



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be 40,000 sq. ft. and scope shall include all work related to the documentation of one new mid-scale IHG's brand @ 30 keys, fully-sprinkled - NFPA 13, hotel that will be the basis of the IHG's brand prototype in a form adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,850 SQ
LEVEL 02	12,850 SQ
LEVEL 03	12,850 SQ
Concrete	17,100 SQ

SHEET NOTES

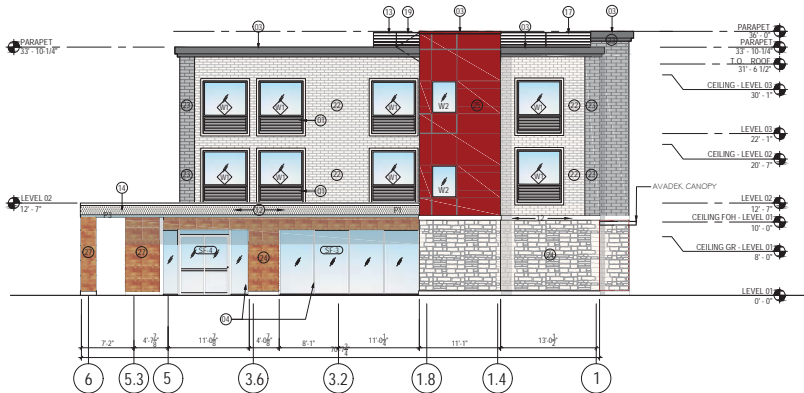
- INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- METAL COPING COLOR TO MATCH BRICK WALL DARK GREY OR RED CLADDING
- EXTERIOR STOREFRONT WINDOWS
- EXTERIOR INSULATION FINISH SYSTEM
- SINGLE SLIDING GLASS DOOR
- ELEVATOR OVER/RUN BEYOND
- 8" CAST STONE BASE
- EXTERIOR ALUMINUM WINDOW, TYP
- EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP
- 3/4" CONTROL JOINT
- 4" STUCCO BAND
- SCREENWALL
- ENTRANCE CANOPY WITH TPO ROOF
- STOREFRONT DOOR
- FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST SCREENING
- LAUNDRY EXHAUST COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- ROOF ACCESS DOOR ON SCREENWALL
- AVADEK CANOPY
- SCUPPER PAINTED TO MATCH ADJACENT WALL
- BRICK WALL: ACME BRICK COLOR WHITE WITH WATERPROOFING SYSTEM
- BRICK WALL: ACME BRICK COLOR DARK GREY WITH WATERPROOFING SYSTEM
- STONE WALL: AUSTIN STONE
- ALUMINUM CLADDING COLOR RED
- PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR DARK GREY
- CORNADO STONE - REFINED WOOD STONE COLOR HONEY BLONDE

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) : MAUVE
- 3 COAT STUCCO - COLOR (P2) : WHITE
- 3 COAT STUCCO - COLOR (P3) : AQUA
- EXTERIOR ACME BRICK - COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR : GLACIER WHITE
- AUSTIN STONE - COLOR : COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM
- FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21
- TPO ROOF SYSTEM: CARLISLE'S SYNTEC INCORPORATED, TPO SHEET THICKNESS 60MILS, NOMINAL, COMPLETE WITH TREATED WD.BKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		QUANTITY	AREA
		SP	QTY	SP	QTY	SP	QTY	SP	QTY		
1	3 COAT STUCCO - COLOR (P1) : MAUVE	100	100	100	100	100	100	100	100	100	100
2	3 COAT STUCCO - COLOR (P2) : WHITE	100	100	100	100	100	100	100	100	100	100
3	3 COAT STUCCO - COLOR (P3) : AQUA	100	100	100	100	100	100	100	100	100	100
4	EXTERIOR ACME BRICK - COLOR : MARBLE GRAY	100	100	100	100	100	100	100	100	100	100
5	EXTERIOR ACME BRICK - COLOR : GLACIER WHITE	100	100	100	100	100	100	100	100	100	100
6	AUSTIN STONE - COLOR : COUNTRY RUBBLE CHALK	100	100	100	100	100	100	100	100	100	100
7	ALUMINUM CLADDING	100	100	100	100	100	100	100	100	100	100

SITE PLAN SET

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON
EL DORADO, AR 71230

ENGINEER
PSA ENGINEERING
17819 DARDENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851

R. T. CHANG, ARCHITECT, INC
ARCHITECTURE AND PLANNING
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737-VPR

DATE: AUG 09, 2018

SHEET: A4.10

REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

BUILDING ELEVATIONS (NORTH & WEST)

FOR

3 STORY - AVID HOTEL

DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid

AN AVID HOTEL
ROCKWALL, TEXAS

DFW HOSPITALITY OF RICHARDSON
2402 PATHWAY,
EL DORADO, AR 71720

ENGINEER

PSA ENGINEERING
17819 DAWPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851

R. T. CHANG, ARCHITECT, INC.

ARCHITECTURAL PLAN SET FOR BUILDING ELEVATIONS
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737-VPR

DATE: AUG 09, 2018

SHEET: A4.20



1 FRONT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower mid-scale market segment. The proposed building shall be @ 85 keys, and scope shall include all work related to the development of one new mid-scale IHG's brands @ 75 keys, fully operational - WPTA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owners/franchisees's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,738 SQ
LEVEL 02	14,181 SQ
LEVEL 03	12,181 SQ
Grand Total	39,100 SQ

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL 'DARK GREY' OR 'RED' CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 2" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREEN WALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST SCREENING
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIEN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 ROOF ACCESS DOOR ON SCREEN WALL
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL - ACME BRICK COLOR 'WHITE' WITH WATERPROOFING SYSTEM
- 23 BRICK WALL - ACME BRICK COLOR 'DARK GREY' WITH WATERPROOFING SYSTEM
- 24 STONE WALL - AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR 'DARK GREY'
- 27 CORONADO STONE - REFINED WOOD STONE COLOR 'ONEYE BLONDE'

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - AQUA
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

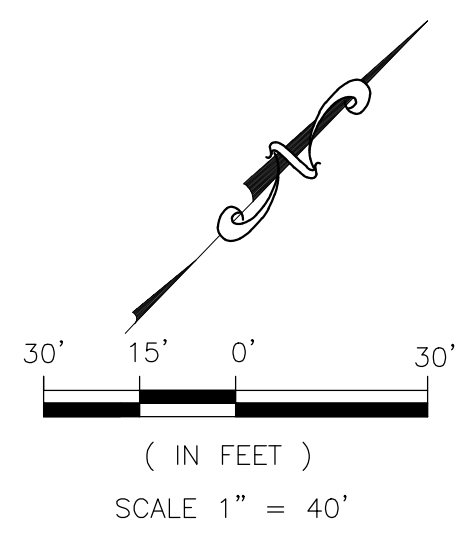
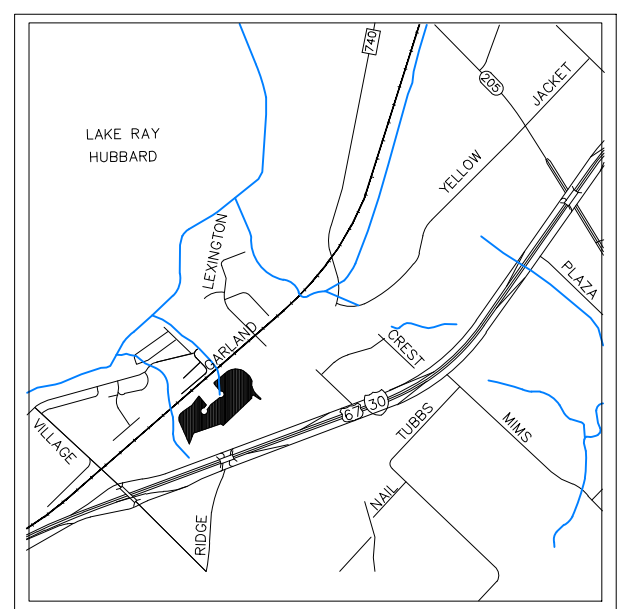
GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET GD.21
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTAC INCORPORATED. TPO SHEET THICKNESS 60MILS, NOMINAL, COMPLETE WITH TREATED WD BLACK VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

ITEM	DESCRIPTION	WATER WALL COLLECTION TABLE AND HOTEL STORE FRONT ROCKWALL TEXAS				
		SOUTH ELEVATION	EAST ELEVATION	NORTH ELEVATION	WEST ELEVATION	GRAND TOTAL AREA
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27



VICINITY MAP
N.T.S.

- SITE NOTE:**
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
 - SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
 - ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
 - BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF	IRON ROD FOUND
	EASEMENT LINE	IRS	IRON ROD SET
	STORM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LOT INFORMATION

LOT 1 **AREA L T**

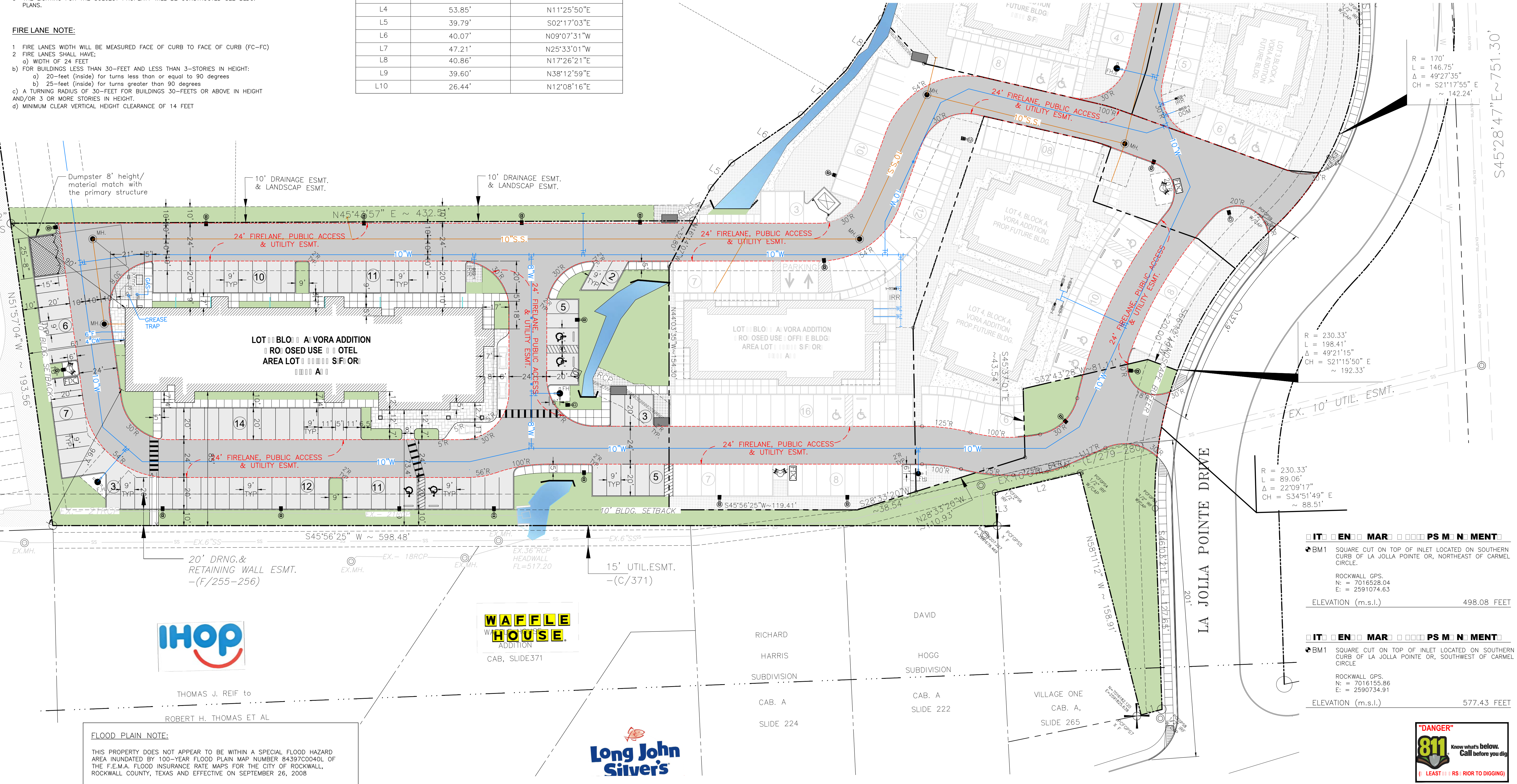
TOTAL BLDG. AREA = 91,940 S.F. (2.111 AC.)
 TOTAL BLDG. AREA = 37,130 S.F.
PROPOSED ID OTE RM
 STOR

P R I N C I P A L R E Q U I R E M E N T S

PARKING RATIO = 1SP/1 UNIT
 TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 83 SP

- SITE PLAN NOTE:**
- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
 - ALL SIGNAGE BY SEPARATE PERMIT.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS. AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.
- FIRE LANE NOTE:**
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
 - FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
 - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3- STORIES IN HEIGHT:
 - 20- feet (inside) for turns less than or equal to 90 degrees
 - 25- feet (inside) for turns greater than 90 degrees
 - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
 - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET



SITE PLANS SET

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

ASA ENGINEERING

17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9851
 TX T.B.P.E. REGISTRATION # F-008974
 T.B.P.L.S. FIRM REGISTRATION # 100433

IT EN MAR PS M N MENT

BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, NORTHWEST OF CARMEL CIRCLE.

ROCKWALL GPS:
 N: = 7016528.04
 E: = 2591074.63

ELEVATION (m.s.l.) 498.08 FEET

IT EN MAR PS M N MENT

BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, SOUTHWEST OF CARMEL CIRCLE.

ROCKWALL GPS:
 N: = 7016155.86
 E: = 2590734.91

ELEVATION (m.s.l.) 577.43 FEET

SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: AUGUST 21, 2018

SHEET: C-01

FLOOD PLAIN NOTE:

THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008



THOMAS J. REIF to
 ROBERT H. THOMAS ET AL



CAB, SLIDE 371



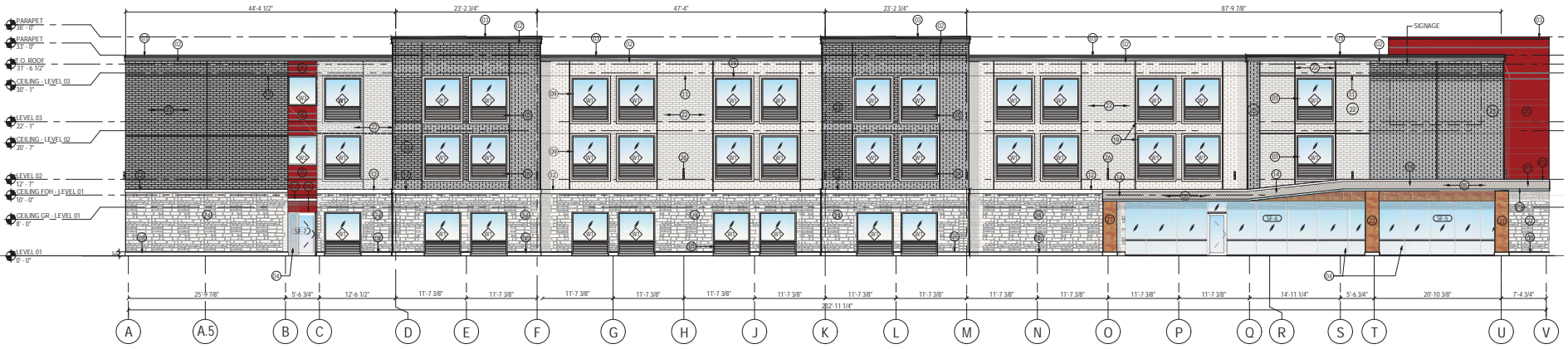
RICHARD
 HARRIS
 SUBDIVISION
 CAB. A
 SLIDE 224

DAVID
 HOGG
 SUBDIVISION
 CAB. A
 SLIDE 222

VILLAGE ONE
 CAB. A,
 SLIDE 265



Vertical Articulation Variance Required
Recommended for Approval by P&Z



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be 40 to 60 long, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 75 keys, fully-spreadsheet - W/FPA 13, based that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

CROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 03	13,438 SF
LEVEL 02	13,008 SF
LEVEL 01	13,008 SF
Grand Total	39,455 SF

SHEET NOTES

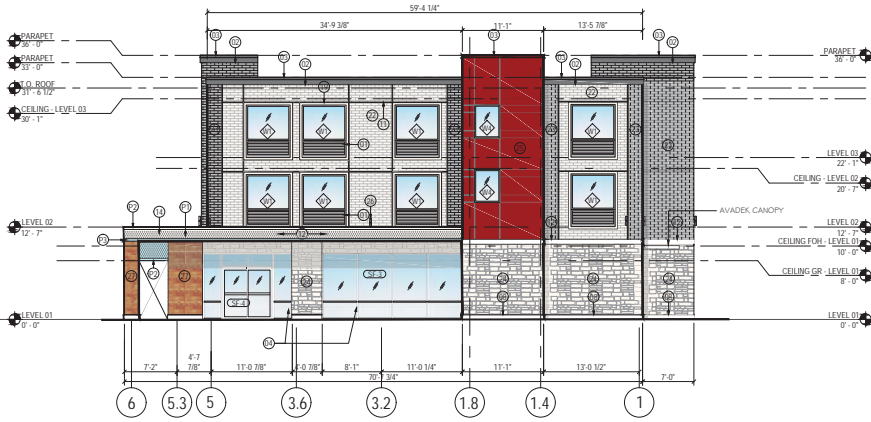
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVER RUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP
- 10 EXTERIOR YELLOW METAL DOORS PAINTED TO MATCH WALLS, TYP
- 11 3/4" CONTROL JOINT
- 12 8" 3 COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST - COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 1/2 COAT STUCCO WINDOW BAND
- 20 AVADEK CANOPY
- 21 SCUPPER - PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GRAY WALL: ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL: ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS
- 27 STONE WALL: REFINED WOOD TEXTURE STONE

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - AQUA
- 3 COAT STUCCO - COLOR (P4) - RED
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - WHITE
- ALUMINUM CLADDING - COLOR - RED
- REFINED STONE - COLOR - HONEY BLONDE

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02-1



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,506	100%	2,307	100%	7,294	100%	2,279	100%	17,542	100%
2	GLAZING DOORS & WINDOWS	1,432	19.1%	504	21.8%	963	13.2%	275	12.1%	1,432	8.2%
3	NON-GLAZING DOORS & WINDOWS	6,074	80.9%	1,803	78.2%	6,331	86.8%	2,004	87.9%	16,110	91.8%
	3.1 TOTAL WALL AREA	5,408	N/A	1,659	N/A	5,766	N/A	1,775	N/A	14,506	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
	ALUM. CLADDING	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	ACME BRICK (#22 & #23)*	3,295	60.9%	767	46.2%	3,220	55.8%	1,029	58.0%	8,311	57.3%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.9%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	22.6%	394	23.7%	1,720	29.8%	570	32.1%	3,908	26.9%
3.1	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.6%	158	9.5%	212	3.7%	130	7.3%	913	6.3%
	MASONRY WALL NET AREA (*)	5,125	94.8%	1,416	85.4%	5,266	91.3%	1,775	100.0%	13,480	92.9%
	NON-MASONRY WALL NET AREA	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	TOTAL WALL AREA	5,408	100%	1,659	100%	5,766	100%	1,775	100%	14,506	100%

SITE PLAN SET

REVISION			
NO.	DATE	BY	
0	Y-M-D	PS	

REVISIONS MUST BE SHOWN ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (SOUTH & EAST)
3 STORY - AVID HOTEL
LOT G, BLOCK A, VORA ADDITION, LLC
D/W HOSPITALITY OF ROCKWALL, LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid
AN IHG HOTEL
ROCKWALL, TEXAS
HG PROJ. NO. 1718_DFW1

DEW HOSPITALITY OF RICHARDSON
2402 PATHWAY,
EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DARDENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 348-9651

R. T. CHANG, ARCHITECT, INC
ARCHITECTURAL FIRM BY LIVING
DESIGN AND PLANNING
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO. 21737.VPR

DATE: 09-27-2018

SHEET: **A4.10**

REVISION			
NO.	DATE	BY	
0	Y-M-D	PSS	

REVISIONS MUST BE CLEARLY NOTED ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (NORTH & WEST)

3 STORY - AVID HOTEL
 LOT G, BLOCK A, VORA ADDITION, UNIT 1
 DFW HOSPITALITY OF ROCKWALL, LLC
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid
 AN IHG HOTEL
 ROCKWALL, TEXAS
 HG PROJ. NO. 1718_DFW1

DEW HOSPITALITY OF RICHARDSON
 2402 PATHWAY,
 EL DORADO, AR 71720

ENGINEER

PSA ENGINEERING
 17819 DAWSONPORT RD.,
 SUITE 215
 DALLAS, TEXAS 75252
 (972) 348-9851

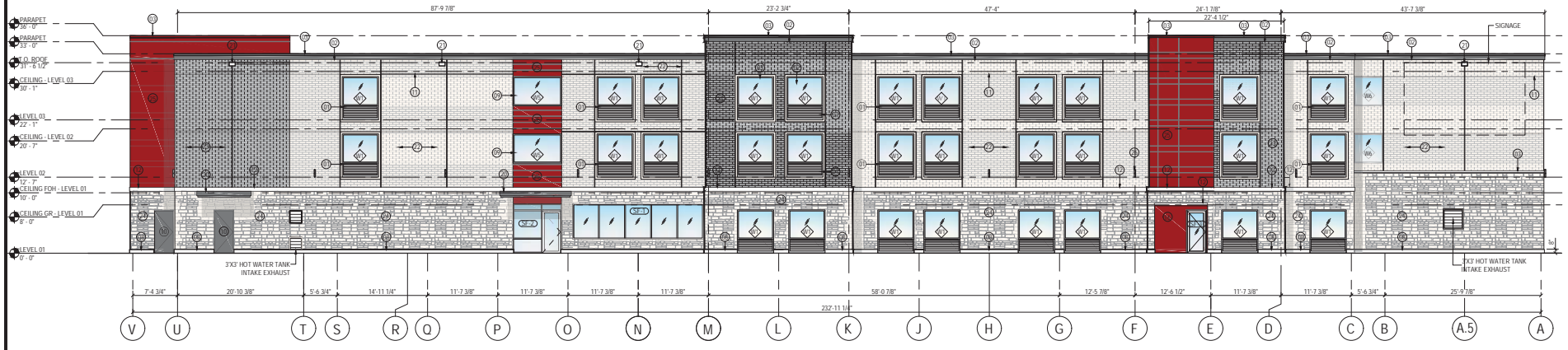
R. T. CHANG, ARCHITECT, INC.
 ARCHITECTURE AND PLANNING
 17819 DAWSONPORT RD., SUITE 215
 DALLAS, TEXAS 75252
 (214) 663-4735

SCALE: AS SHOWN
 DESIGNED: RC
 DRAWN: PSA
 CHECKED: RC

PROJECT NO. 21737.VPR

DATE: 09-27-2018

SHEET: **A4.20**



1 REAR ELEVATION (NORTH)
 SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 26 keys, and scope shall include all work related to the development of new mid-scale IHG's brands @ 26 keys, fully operational - WPTA 13, noted that will be the basis of the IHG's brands prototype in a from adaptable to individual by owners/franchisees's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	14,438 SF
LEVEL 02	14,008 SF
LEVEL 03	13,028 SF
Grand Total	31,474 SF

SHEET NOTES

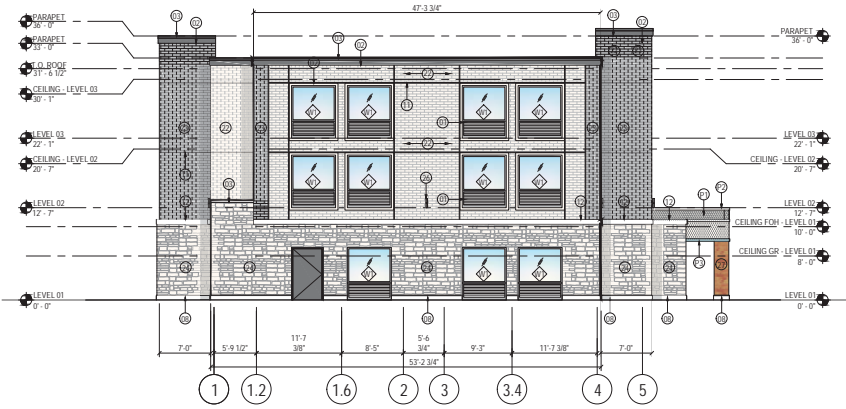
- INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 3 COAT STUCCO SYSTEM
- METAL COPING
- EXTERIOR STOREFRONT WINDOWS
- 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- SINGLE SLIDING GLASS DOOR
- ELEVATOR OVERRUN BEYOND
- 8" CAST STONE BASE
- EXTERIOR ALUMINUM WINDOW, TYP
- EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 3/4" CONTROL JOINT
- 8" 3 COAT STUCCO BAND
- SCREEN WALL
- ENTRANCE CANOPY WITH TPO ROOF
- STOREFRONT DOOR
- 3 COAT STUCCO WALL COLOR 'RED'
- 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVERS SIZE AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 3 COAT STUCCO WINDOW BAND
- AVADEX CANOPY
- SCOPPER, PAINTED TO MATCH ADJACENT WALL
- LIGHT GRAY WALL: ACME BRICK COLOR: WHITE
- DARK GRAY WALL: ACME BRICK COLOR: DARK GRAY
- STONE WALL: AUSTIN STONE
- ALUMINUM CLADDING COLOR: 'RED'
- EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING SWGS
- STONE WALL: REFINE WOOD TEXTURE STONE

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) : MAUVE
- 3 COAT STUCCO - COLOR (P2) : WHITE
- 3 COAT STUCCO - COLOR (P3) : AQUA
- 3 COAT STUCCO - COLOR (P4) : RED
- EXTERIOR ACME BRICK - COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR : GLACIER WHITE
- AUSTIN STONE - COLOR : WHITE
- ALUMINUM CLADDING - COLOR : RED
- REFINED STONE - COLOR : HONEY BLONDE

GENERAL NOTES

- ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02.1



2 SIDE ELEVATION (WEST)
 SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS											
ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,506	100%	2,307	100%	7,294	100%	2,279	100%	17,542	100%
2	GLAZING DOORS & WINDOWS	1,432	19.1%	504	21.8%	963	13.2%	275	12.1%	1,432	8.2%
3	NON-GLAZING DOORS&WINDOWS	6,074	80.9%	1,803	78.2%	6,331	86.8%	2,004	87.9%	16,110	91.8%
3.1	TOTAL WALL AREA	5,408	N/A	1,659	N/A	5,766	N/A	1,775	N/A	14,508	N/A
3.2	HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	ACME BRICK (#22 & #23)*	3,295	60.9%	767	46.2%	3,220	55.8%	1,029	58.0%	8,311	57.3%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.9%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	22.6%	394	23.7%	1,720	29.8%	570	32.1%	3,908	26.9%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.6%	158	9.5%	212	3.7%	130	7.3%	913	6.3%
	MASONRY WALL NET AREA (*)	5,125	94.6%	1,416	85.4%	5,266	91.3%	1,775	100.0%	13,480	92.9%
	NON-MASONRY WALL NET AREA	283	5.2%	243	14.6%	500	8.7%	-	0.0%	1,026	7.1%
	TOTAL WALL AREA	5,408	100%	1,659	100%	5,766	100%	1,775	100%	14,508	100%

REVISION			
NO.	DATE	BY	
0	Y-M-D	PSS	

REVISIONS MUST BE CLEARLY IDENTIFIED AND NOT APPEAR ON ALL DRAWING SHEETS.

BUILDING ELEVATIONS (NORTH & WEST)

3 STORY - AVID HOTEL

DFW HOSPITALITY OF ROCKWALL LLC

CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER

avid

AN AVID HOTEL

ROCKWALL, TEXAS

DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY,

EL DORADO, AR 71720

ENGINEER

PSA ENGINEERING

17819 DAWSONPORT RD.,

SUITE 215

DALLAS, TEXAS 75252

(972) 248-9851

R. T. CHANG, ARCHITECT, INC

ARCHITECTURE, PLANNING

AND INTERIORS

17819 DAWSONPORT RD.,

SUITE 215

DALLAS, TEXAS 75252

(214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

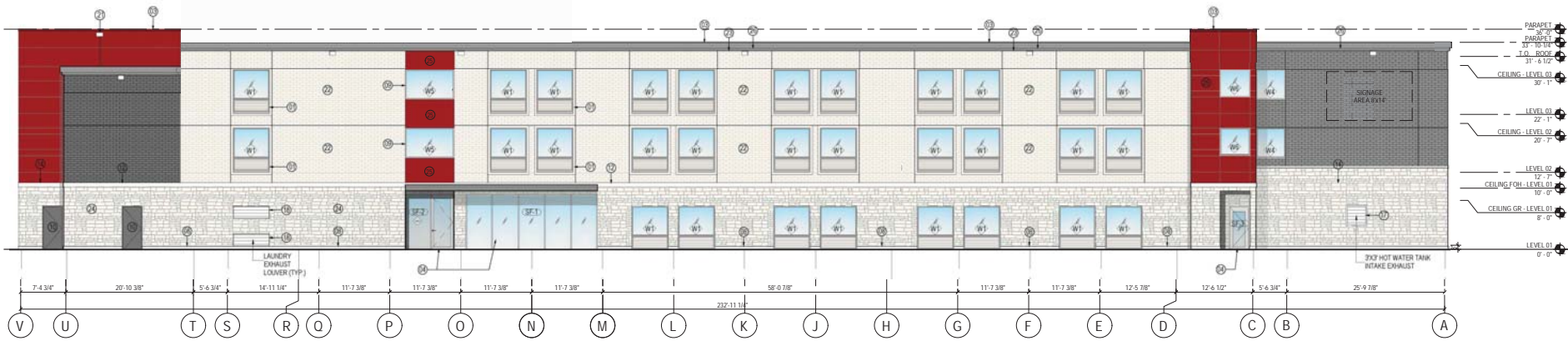
DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737-VPR

DATE: AUG 09, 2018

SHEET: A4.20



1 FRONT ELEVATION (NORTH)

SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower mid-scale market segment. The proposed building shall be @ 85 keys, and scope shall include all work related to the development of one new mid-scale IHG's brands @ 85 keys, fully optioned - WPTA 13, listed that will be the basis of the IHG's brands prototype in a from adaptable to individual by owners/franchisees's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	32,788 SQ
LEVEL 02	34,812 SQ
LEVEL 03	32,812 SQ
Grand Total	97,782 SQ

SHEET NOTES

- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- 03 METAL COPING COLOR TO MATCH BRICK WALL DARK GREY OR RED CLADDING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 EXTERIOR INSULATION FINISH SYSTEM
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 4" STUCCO BAND
- 13 SCREEN WALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST SCREENING
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS. ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 ROOF ACCESS DOOR ON SCREEN WALL
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 BRICK WALL, ACME BRICK COLOR WHITE WITH WATERPROOFING SYSTEM
- 23 BRICK WALL, ACME BRICK COLOR DARK GREY WITH WATERPROOFING SYSTEM
- 24 STONE WALL, AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR RED
- 26 PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR DARK GREY
- 27 CORONADO STONE - REFINED WOOD STONE COLOR 'MONEY BLONDE'

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - AQUA
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET GD.21
- D. TPO ROOF SYSTEM, CARLISLE'S SYNTAC INCORPORATED. TPO SHEET THICKNESS 60MILS, NOMINAL, COMPLETE WITH TREATED WD BLACK VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



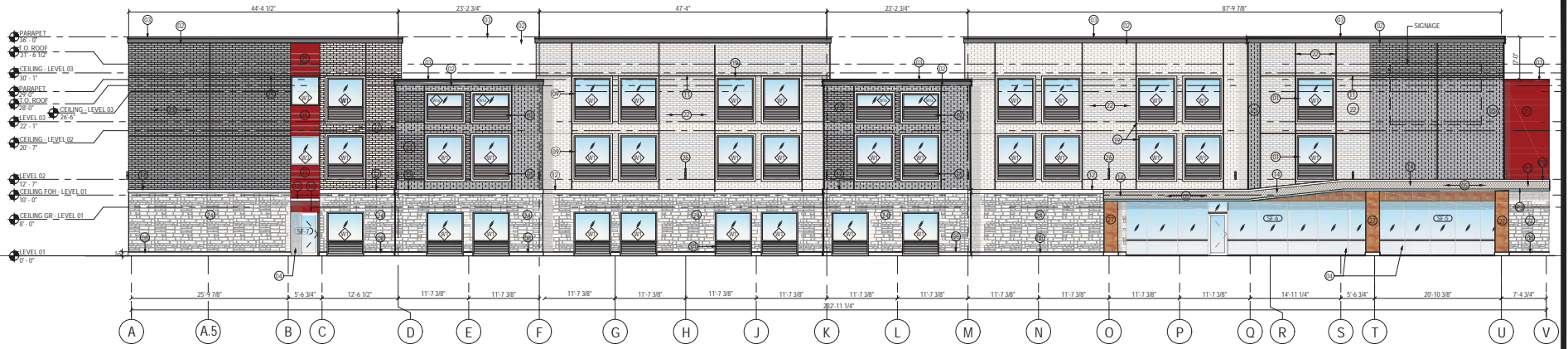
2 SIDE ELEVATION (WEST)

SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,974	100%	2,110	100%	7,984	100%	2,324	100%	20,392	100%
2	GLAZING DOORS & WNDWS	1,429	17.9%	482	22.8%	1,153	14.4%	275	11.8%	3,339	16.4%
3	NON-GLAZING DOORS&WINDOWS	6,545	82.1%	1,628	77.2%	6,831	85.6%	2,049	88.2%	17,053	83.6%
	3.1 TOTAL WALL AREA	5,861	N/A	1,514	N/A	6,208	N/A	1,795	N/A	15,378	N/A
	3.2 HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
	ALUM. CLADDING	288	4.6%	295	19.5%	483	7.5%	179	10.0%	1,205	7.8%
	ACME BRICK (#22 & #23)*	3,616	61.7%	589	38.9%	2582	41.6%	924	51.5%	7,711	50.1%
	AUSTIN STONE*	1,195	20.4%	347	22.9%	2331	37.5%	493	27.5%	4,366	28.4%
3.1	8" CAST STONE*	68	1.2%	22	1.5%	97	1.6%	28	1.8%	215	1.4%
	3-COAT STUCCO*	714	12.2%	261	17.2%	735	11.8%	171	9.5%	1,881	12.2%
	MASONRY WALL NET AREA (*)	5,593	95.4%	1,219	80.5%	5,745	92.5%	1,616	90.0%	14,173	92.2%
	NON-MASONRY WALL NET AREA	288	4.6%	295	19.5%	463	7.5%	179	10.0%	1,205	7.8%
	TOTAL WALL AREA	5,861	100%	1,514	100%	6,208	100%	1,795	100%	15,378	100%

Revised Elevations Meeting Technical Requirements



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be 40 to 45 ksq, and scope shall include all work related to the development of one new mid-scale IHG's brand @ 35 ksq, fully-sprinkled - W/PA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 03	12,600 SQ
LEVEL 02	12,600 SQ
LEVEL 01	12,600 SQ
Ground level	37,800 SQ

SHEET NOTES

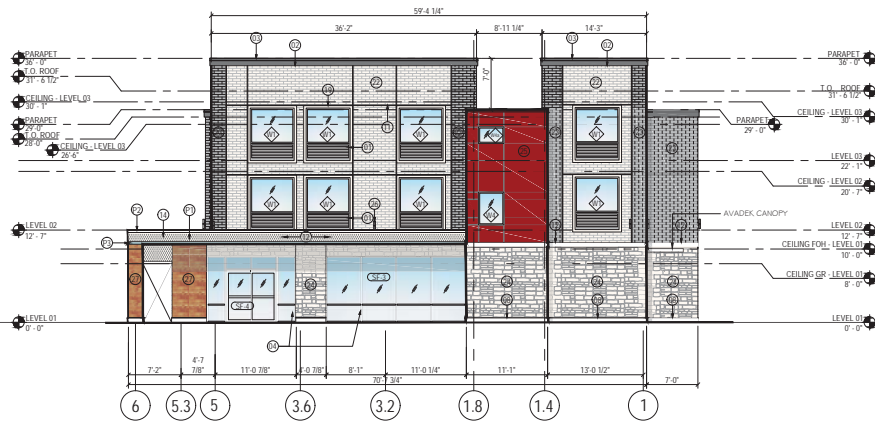
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVER RUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP
- 10 EXTERIOR YELLOW METAL DOORS PAINTED TO MATCH WALLS, TYP
- 11 3/4" CONTROL JOINT
- 12 8" COAT STUCCO BAND
- 13 SCREEN WALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST - COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 1" COAT STUCCO WINDOW BAND
- 20 AWADEK CANOPY
- 21 SCUPPER - PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GRAY WALL ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL-AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS.

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - SPA
- 3 COAT STUCCO - COLOR (P4) - RED
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - WHITE
- ALUMINUM CLADDING - COLOR - RED

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02-1.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,676	100%	2,307	100%	7,551	100%	2,330	100%	18,020	100%
2	GLAZING DOORS & WINDOWS	1,432	18.7%	504	21.8%	963	12.8%	275	11.8%	1,432	7.9%
3	NON-GLAZING DOORS & WINDOWS	6,244	81.3%	1,803	78.2%	6,588	87.2%	2,055	88.2%	16,588	92.1%
	3.1 TOTAL WALL AREA	5,578	N/A	1,659	N/A	6,023	N/A	1,826	N/A	14,984	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
	ALUM. CLADDING	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	ACME BRICK (#22 & #23)*	3,570	64.0%	837	50.5%	3,540	58.8%	1,080	59.1%	9,027	60.2%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.8%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	21.9%	394	23.7%	1,720	28.6%	570	31.2%	3,908	26.1%
3.1	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.4%	158	9.5%	212	3.5%	130	7.1%	913	6.1%
	MASONRY WALL NET AREA (*)	5,400	96.8%	1,486	89.6%	5,586	92.7%	1,826	100.0%	14,196	94.7%
	NON-MASONRY WALL NET AREA	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	TOTAL WALL AREA	5,578	100%	1,659	100%	6,023	100%	1,826	100%	14,984	100%

SITE PLAN SET

REVISION			
NO.	DATE	BY	PS
0	Y-M-D		

REVISIONS MUST BE NOTED ON ALL DRAWING SHEETS

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DEW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DEW HOSPITALITY OF RICHARDSON
2402 PATHWAY,
EL DORADO, AR 71720

ENGINEER
PSA ENGINEERING
17819 DARDENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 348-9851

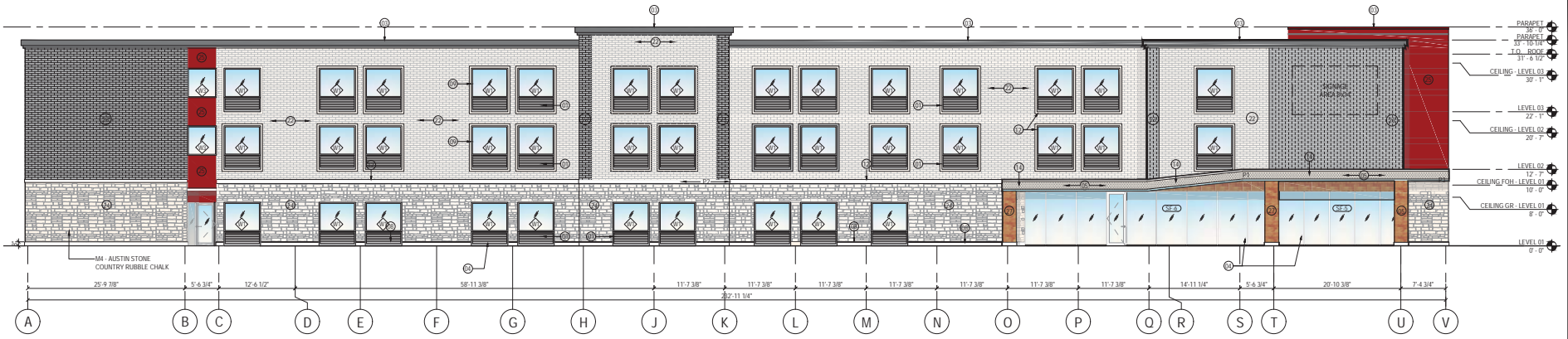
R. T. CHANG, ARCHITECT, INC
ARCHITECTURE AND PLANNING
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED BY: RC
DRAWN BY: PSA
CHECKED BY: RC

PROJECT NO: 21737-VPR

DATE: SEPT 19, 2018

SHEET: **A4.10**



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 80 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brand @ 80 keys, fully-sprinkled - NFPA 113, hotel that will be the basis of the IHG's brand prototype in a form adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	12,882 SQ
LEVEL 02	12,882 SQ
LEVEL 03	12,882 SQ
Grand Total	37,704 SQ

SHEET NOTES

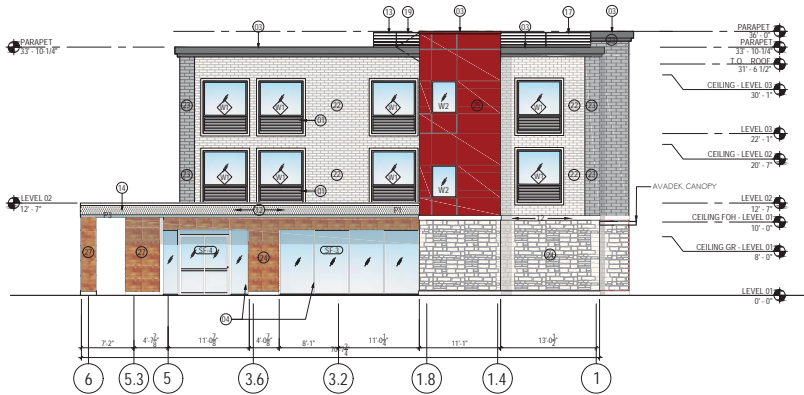
- INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- EXTERIOR CLADDING WITH WATERPROOFING SYSTEM
- METAL COPING COLOR TO MATCH BRICK WALL DARK GREY OR RED CLADDING
- EXTERIOR STOREFRONT WINDOWS
- EXTERIOR INSULATION FINISH SYSTEM
- SINGLE SLIDING GLASS DOOR
- ELEVATOR OVER/RUN BEYOND
- 8" CAST STONE BASE
- EXTERIOR ALUMINUM WINDOW, TYP
- EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP
- 3/8" CONTROL JOINT
- 4" STUCCO BAND
- SCREENWALL
- ENTRANCE CANOPY WITH TPO ROOF
- STOREFRONT DOOR
- FROSTED FILM ON THIS WINDOW ONLY FOR PRIVACY
- 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST SCREENING
- LAUNDRY EXHAUST - COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- ROOF ACCESS DOOR ON SCREENWALL
- AVADEK CANOPY
- SCUPPER PAINTED TO MATCH ADJACENT WALL
- BRICK WALL: ACME BRICK COLOR WHITE WITH WATERPROOFING SYSTEM
- BRICK WALL: ACME BRICK COLOR DARK GREY WITH WATERPROOFING SYSTEM
- STONE WALL: AUSTIN STONE
- ALUMINUM CLADDING COLOR RED
- PARAPET STUCCO BAND COLOR TO MATCH BRICK WALL COLOR DARK GREY
- CORNADO STONE - REFINED WOOD STONE COLOR HONEY BLONDE

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1): MAUVE
- 3 COAT STUCCO - COLOR (P2): WHITE
- 3 COAT STUCCO - COLOR (P3): AQUA
- EXTERIOR ACME BRICK - COLOR: MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR: GLACIER WHITE
- AUSTIN STONE - COLOR: COUNTRY RUBBLE CHALK
- ALUMINUM CLADDING

GENERAL NOTES

- ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM
- FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21
- TPO ROOF SYSTEM: CARLISLE'S SYNTAC INCORPORATED. TPO SHEET THICKNESS: 60MILS. NOMINAL, COMPLETE WITH TREATED WD.BKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,974	100%	2,110	100%	7,984	100%	2,324	100%	20,392	100%
2	GLAZING DOORS & WINDOWS	1,429	17.9%	482	22.8%	1,153	14.4%	275	11.8%	3,339	16.4%
3	NON-GLAZING DOORS&WINDOWS	6,545	82.1%	1,628	77.2%	6,831	85.6%	2,049	88.2%	17,053	83.6%
	3.1 TOTAL WALL AREA	5,861	N/A	1,514	N/A	6,208	N/A	1,795	N/A	15,378	N/A
	3.2 HM DOOR & WINDOW	684	N/A	114	N/A	623	N/A	254	N/A	1,675	N/A
3.1	ALUM. CLADDING	268	4.6%	295	19.5%	463	7.5%	179	10.0%	1,205	7.8%
	ACME BRICK (#22 & #23)*	3,616	61.7%	589	38.9%	2,582	41.6%	924	51.5%	7,711	50.1%
	AUSTIN STONE*	1,195	20.4%	347	22.9%	2,331	37.5%	493	27.5%	4,366	28.4%
	8" CAST STONE*	68	1.2%	22	1.5%	97	1.6%	28	1.6%	215	1.4%
	3-COAT STUCCO*	714	12.2%	261	17.2%	735	11.8%	171	9.5%	1,881	12.2%
	MASONRY WALL NET AREA (*)	5,593	95.4%	1,219	80.5%	5,745	92.5%	1,616	90.0%	14,173	92.2%
	NON-MASONRY WALL NET AREA	268	4.6%	295	19.5%	463	7.5%	179	10.0%	1,205	7.8%
	TOTAL WALL AREA	5,861	100%	1,514	100%	6,208	100%	1,795	100%	15,378	100%

SITE PLAN SET

REVISION			
NO.	DATE	BY	ISS
0	Y-M-D		PSS

BUILDING ELEVATIONS (SOUTH & EAST)
FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON
EL DORADO, AR 71720

ENGINEER
PSA ENGINEERING
17819 DARDENPORT RD.,
SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851

R. T. CHANG, ARCHITECT, INC
ARCHITECTURE, PLANNING
AND INTERIORS
DALLAS, TEXAS 75252
(214) 663-4735

SCALE: AS SHOWN
DESIGNED: RC
DRAWN: PSA
CHECKED: RC

PROJECT NO: 21737-VPR

DATE: AUG 09, 2018

SHEET: A4.10

REVISION			
NO.	DATE	BY	
0	Y-M-D	PSA	

BUILDING ELEVATIONS (NORTH & WEST)
 3 STORY - AVID HOTEL
 DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DEW HOSPITALITY OF RICHARDSON
 2402 PATHWAY,
 EL DORADO, AR 71720

ENGINEER
 PSA ENGINEERING
 17819 SHILOHPORT RD.,
 SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9851

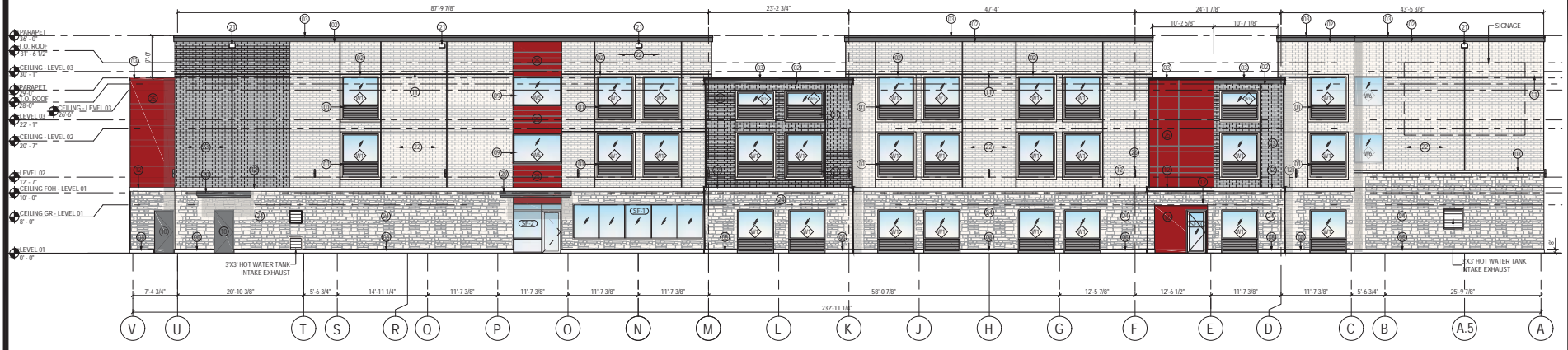
R. T. CHANG, ARCHITECT, INC.
 ARCHITECTURE AND PLANNING
 DALLAS, TEXAS 75252
 (214) 663-4735

SCALE: AS SHOWN
 DESIGNED: RC
 DRAWN: PSA
 CHECKED: RC

PROJECT NO: 21737-VPR

DATE: SEPT 19, 2018

SHEET: A4.20



1 FRONT ELEVATION (NORTH)
 SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower mid-scale market segment. The proposed building shall be @ 26 keys, and scope shall include all work related to the development of new mid-scale IHG's brands @ 26 keys, fully optioned - WPTA 13, noted that will be the basis of the IHG's brands prototype in a from adaptable to individual by owners/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	14,806 SF
LEVEL 02	14,806 SF
LEVEL 03	14,806 SF
Grand Total	44,418 SF

SHEET NOTES

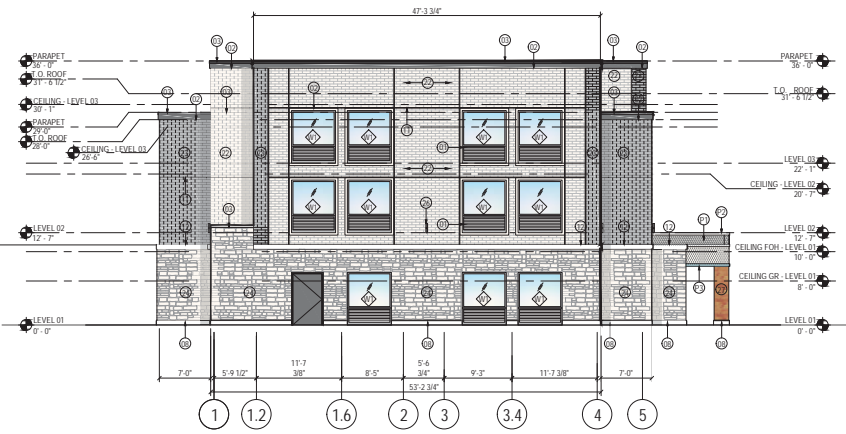
- INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 3 COAT STUCCO SYSTEM
- METAL COPING
- EXTERIOR STOREFRONT WINDOWS
- 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- SINGLE SLIDING GLASS DOOR
- ELEVATOR OVERRUN BEYOND
- 8" CAST STONE BASE
- EXTERIOR ALUMINUM WINDOW, TYP.
- EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 3/4" CONTROL JOINT
- 8" 3 COAT STUCCO BAND
- SCREENWALL
- ENTRANCE CANOPY WITH TPO ROOF
- STOREFRONT DOOR
- 3 COAT STUCCO WALL COLOR 'RED'
- 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR COVER SIZES AND LOCATIONS - ALIGH EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 3 COAT STUCCO WINDOW BAND
- AVADEK CANOPY
- SCUPPER, PAINTED TO MATCH ADJACENT WALL
- LIGHT GRAY WALL ACME BRICK COLOR 'WHITE'
- DARK GRAY WALL ACME BRICK COLOR 'DARK GRAY'
- STONE WALL-AUSTIN STONE
- ALUMINUM CLADDING COLOR 'RED'
- EXTERIOR LIGHT FIXTURE, RE. ELECT AND LIGHTING SWGS.

MATERIAL LEGEND

- 3 COAT STUCCO - COLOR (P1) - MAUVE
- 3 COAT STUCCO - COLOR (P2) - WHITE
- 3 COAT STUCCO - COLOR (P3) - SPA
- 3 COAT STUCCO - COLOR (P4) - RED
- EXTERIOR ACME BRICK - COLOR - MARBLE GRAY
- EXTERIOR ACME BRICK - COLOR - GLACIER WHITE
- AUSTIN STONE - COLOR - WHITE
- ALUMINUM CLADDING - COLOR - RED

GENERAL NOTES

- ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET 02.01



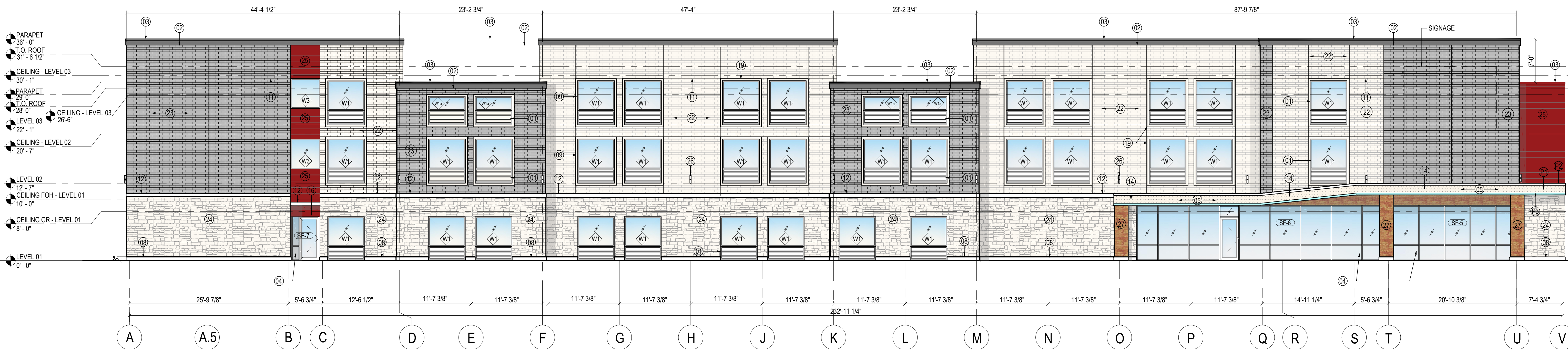
2 SIDE ELEVATION (WEST)
 SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,676	100%	2,307	100%	7,551	100%	2,330	100%	18,020	100%
2	GLAZING DOORS & WINDOWS	1,432	18.7%	504	21.8%	963	12.8%	275	11.8%	1,432	7.9%
3	NON-GLAZING DOORS & WINDOWS	6,244	81.3%	1,803	78.2%	6,588	87.2%	2,055	88.2%	16,588	92.1%
3.1 TOTAL WALL AREA		5,578	N/A	1,659	N/A	6,023	N/A	1,826	N/A	14,984	N/A
3.2 HM DOOR & WINDOW		666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	ACME BRICK (#22 & #23)*	3,570	64.0%	837	50.5%	3,540	58.8%	1,080	59.1%	9,027	60.2%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.8%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	21.9%	394	23.7%	1,720	28.6%	570	31.2%	3,908	26.1%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.4%	158	9.5%	212	3.5%	130	7.1%	913	6.1%
	MASONRY WALL NET AREA (*)	5,400	96.8%	1,486	89.6%	5,586	92.7%	1,826	100.0%	14,196	94.7%
	NON-MASONRY WALL NET AREA	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	TOTAL WALL AREA	5,578	100%	1,659	100%	6,023	100%	1,826	100%	14,984	100%

REVISION		
NO.	DATE	BY
0	Y-M-D	P55

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



1 FRONT ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 85 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	13,400 SF
LEVEL 02	12,830 SF
LEVEL 03	12,830 SF
Grand total	39,060 SF

SHEET NOTES

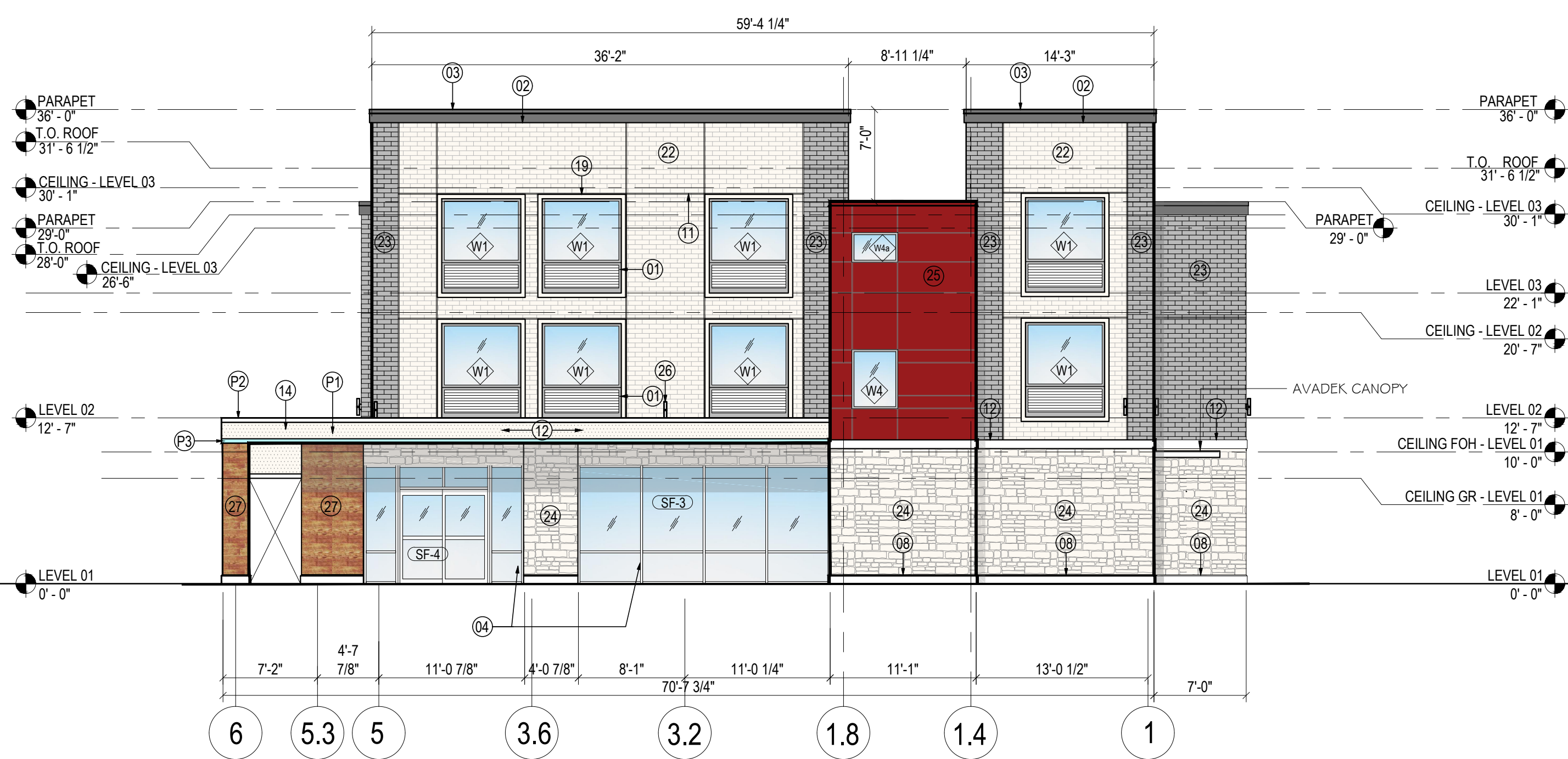
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
- 02 3 COAT STUCCO SYSTEM
- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 8" 3 COAT STUCCO BAND
- 13 SCREENWALL
- 14 ENTRANCE CANOPY WITH TPO ROOF
- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
- 17 3'-0"x3'-0" HOT WATER TANK INTAKE EXHAUST
- 18 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS - ALIGN EDGES OF LOUVER WITH WINDOW ABOVE IF FEASIBLE
- 19 3 COAT STUCCO WINDOW BAND
- 20 AVADEK CANOPY
- 21 SCUPPER, PAINTED TO MATCH ADJACENT WALL
- 22 LIGHT GARY WALL: ACME BRICK COLOR 'WHITE'
- 23 DARK GRAY WALL: ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : SPA
- 3 COAT STUCCO ; COLOR (P4) : RED
- EXTERIOR ACME BRICK ; COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : WHITE
- ALUMINUM CLADDING ; COLOR : RED

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,676	100%	2,307	100%	7,551	100%	2,330	100%	18,020	100%
2	GLAZING DOORS & WINDOWS	1,432	18.7%	504	21.8%	963	12.8%	275	11.8%	1,432	7.9%
3	NON-GLAZING DOORS&WINDOWS	6,244	81.3%	1,803	78.2%	6,588	87.2%	2,055	88.2%	16,588	92.1%
	3.1 TOTAL WALL AREA	5,578	N/A	1,659	N/A	6,023	N/A	1,826	N/A	14,984	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	ACME BRICK (#22 & #23)*	3,570	64.0%	837	50.5%	3,540	58.8%	1,080	59.1%	9,027	60.2%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.8%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	21.9%	394	23.7%	1,720	28.6%	570	31.2%	3,908	26.1%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.4%	158	9.5%	212	3.5%	130	7.1%	913	6.1%
	MASONRY WALL NET AREA (*)	5,400	96.8%	1,486	89.6%	5,586	92.7%	1,826	100.0%	14,196	94.7%
NON-MASONRY WALL NET AREA	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%	
	TOTAL WALL AREA	5,578	100%	1,659	100%	6,023	100%	1,826	100%	14,984	100%

BUILDING ELEVATIONS (SOUTH & EAST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY, EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD., SUITE 215 DALLAS, TEXAS 75252 (972) 248-9651

R.T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5634 WINDMILL LANE DALLAS, TEXAS 75252 (214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

DRAWN: PSA

CHECKED: RC

PROJECT NO. 21737.VPR

DATE: SEPT 19, 2018

SHEET: A4.10

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REVISION		
NO.	DATE	BY
0	Y-M-D	PSS

BUILDING ELEVATIONS (NORTH & WEST)

FOR
3 STORY - AVID HOTEL
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

OWNER / DEVELOPER



DFW HOSPITALITY OF RICHARDSON

2402 PATHWAY, EL DORADO, AR 71730

ENGINEER

PSA ENGINEERING
17819 DAVENPORT RD., SUITE 215 DALLAS, TEXAS 75252 (972) 248-9651

R.T. CHANG, ARCHITECT, INC
ARCHITECTURAL AND PLANNING
5834 WINDMIER LANE DALLAS, TEXAS 75252 (214) 663-4735

SCALE: AS SHOWN

DESIGNED: RC

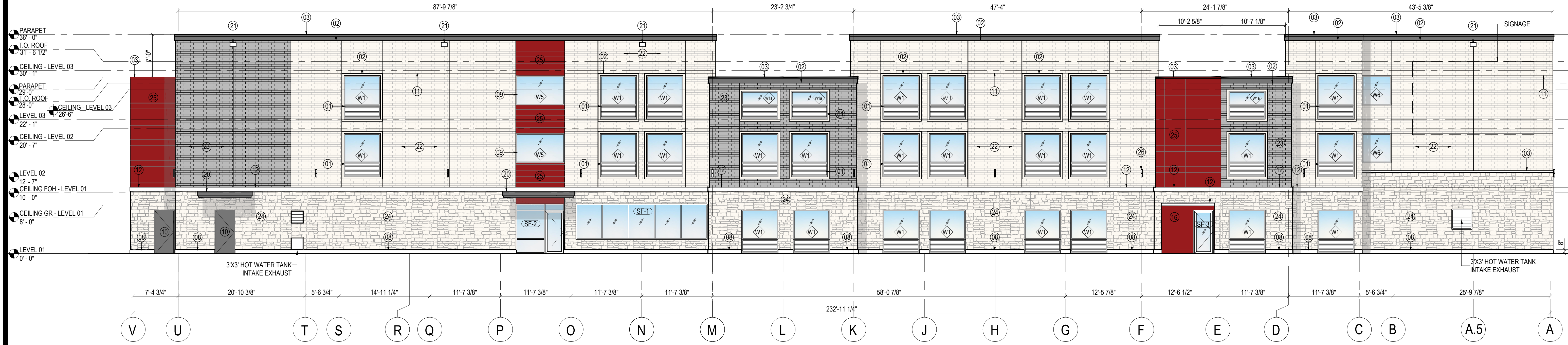
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CHECKED: RC

PROJECT NO. 21737.VPR

DATE: SEPT 19, 2018

SHEET: **A4.20**



1 FRONT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION

1. NEW BUILDING - The design and development from a prototype of IHG's brands, lower-mid-scale market segment. The proposed building shall be @ 86 keys, and scope shall include all work related to the documentation of one new mid-scale IHG's brands @ 95 keys, fully sprinklered - NFPA 13, hotel that will be the basis of the IHG's brands prototype in a from adaptable to individual by owner/franchisee's Implementation Architect.

GROSS BUILDING AREA	
LEVEL	NEW (SQ FT)
LEVEL 01	13,400 SF
LEVEL 02	12,830 SF
LEVEL 03	12,830 SF
Grand total	39,060 SF

SHEET NOTES

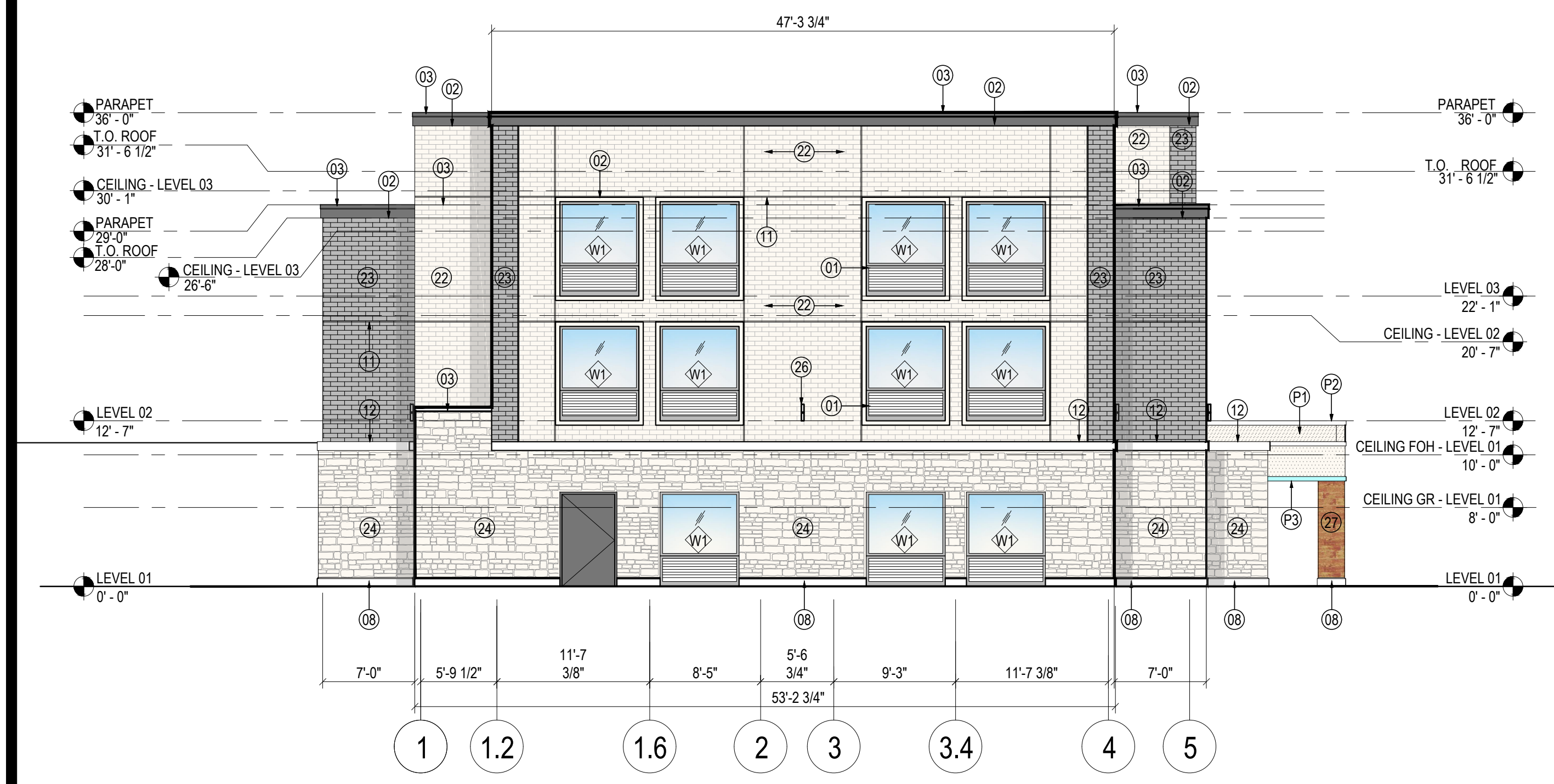
- 01 INTEGRATED EXTERIOR WINDOW AND PTAC LOUVER
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- 03 METAL COPING
- 04 EXTERIOR STOREFRONT WINDOWS
- 05 3 COAT STUCCO SYSTEM BENEATH CANOPY AND ADJACENT WING WALLS
- 06 SINGLE SLIDING GLASS DOOR
- 07 ELEVATOR OVERRUN BEYOND
- 08 8" CAST STONE BASE
- 09 EXTERIOR ALUMINUM WINDOW, TYP.
- 10 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH WALLS, TYP.
- 11 3/4" CONTROL JOINT
- 12 8" 3 COAT STUCCO BAND
- 13 SCREENWALL
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- 15 STOREFRONT DOOR
- 16 3 COAT STUCCO WALL COLOR 'RED'
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- 23 DARK GRAY WALL: ACME BRICK COLOR 'DARK GRAY'
- 24 STONE WALL: AUSTIN STONE
- 25 ALUMINUM CLADDING COLOR 'RED'
- 26 EXTERIOR LIGHT FIXTURE, RE. ELECT. AND LIGHTING DWGS

MATERIAL LEGEND

- 3 COAT STUCCO ; COLOR (P1) : MAUVE
- 3 COAT STUCCO ; COLOR (P2) : WHITE
- 3 COAT STUCCO ; COLOR (P3) : SPA
- 3 COAT STUCCO ; COLOR (P4) : RED
- EXTERIOR ACME BRICK ; COLOR : MARBLE GRAY
- EXTERIOR ACME BRICK ; COLOR : GLACIER WHITE
- AUSTIN STONE ; COLOR : WHITE
- ALUMINUM CLADDING ; COLOR : RED

GENERAL NOTES

- A. ALL WINDOWS WITH LOUVERS TO BE ANODIZED BRONZE WITH THE EXCEPTION OF ANODIZED ALUMINUM IN WALLS WITH ADJACENT RED PAINT.
- B. ALL STOREFRONT FINISHES TO BE ANODIZED ALUMINUM.
- C. FOR GLASS TYPES REFER TO SPECIFICATIONS AND SHEET G0.21



2 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

MATERIALS CALCULATION TABLE - AVID HOTEL 3 STORY @ ROCKWALL, TEXAS

ITEM	DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		GRAND TOTAL AREA	
		(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%	(S.F.)	%
1	TOTAL ELEVATION AREA	7,676	100%	2,307	100%	7,551	100%	2,330	100%	18,020	100%
2	GLAZING DOORS & WINDOWS	1,432	18.7%	504	21.8%	963	12.8%	275	11.8%	1,432	7.9%
3	NON-GLAZING DOORS&WINDOWS	6,244	81.3%	1,803	78.2%	6,588	87.2%	2,055	88.2%	16,588	92.1%
	3.1 TOTAL WALL AREA	5,578	N/A	1,659	N/A	6,023	N/A	1,826	N/A	14,984	N/A
	3.2 HM DOOR & WINDOW	666	N/A	144	N/A	565	N/A	229	N/A	1,604	N/A
3.1	ALUM. CLADDING	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	ACME BRICK (#22 & #23)*	3,570	64.0%	837	50.5%	3,540	58.8%	1,080	59.1%	9,027	60.2%
	STONE* (REFINED WOOD STONE 'HONEY BLONDE')	115	1.8%	67	3.7%	20	0.3%	15	0.7%	115	0.7%
	AUSTIN STONE*	1,224	21.9%	394	23.7%	1,720	28.6%	570	31.2%	3,908	26.1%
	8" CAST STONE*	78	1.4%	30	1.8%	94	1.6%	31	1.7%	233	1.6%
	3-COAT STUCCO*	413	7.4%	158	9.5%	212	3.5%	130	7.1%	913	6.1%
	MASONRY WALL NET AREA (*)	5,400	96.8%	1,486	89.6%	5,586	92.7%	1,826	100.0%	14,196	94.7%
	NON-MASONRY WALL NET AREA	178	3.2%	173	10.4%	437	7.3%	-	0.0%	788	5.3%
	TOTAL WALL AREA	5,578	100%	1,659	100%	6,023	100%	1,826	100%	14,984	100%

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- Impact Fees must be paid.
- 4% Engineering Inspection fees
- Must meet all Engineering Standards of Design
- All storm outfalls of flow downstream not at a 90 degree angle.
- Must build complete water line loop now.
- Must check existing detention to make sure the approved volume and outfall is still correct.
- Need to establish the 100-yr water surface elevation in open channel area. Review fees required
- Need Waters of the US/wetland determination
- No trees within 5' of public utilities.
- Walls 3' and taller must be designed by an engineer.
- Retaining walls must be rock or stone faced.
- Dumpster to drain to an oil/water separator.
- Need to label on site plan
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning.

SITE NOTE:
 1. HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
 2. SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
 3. ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
 4. BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

NOTE:
 LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRF.	IRON ROD FOUND
	EASEMENT LINE	IRS.	IRON ROD SET
	STORM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LOT 5 - PHASE I
 TOTAL BLDG. AREA = 91,940 S.F. (2.111 AC.)
 PROPOSED = 39,060 S.F.
 = AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS
 PARKING RATIO = 1SP/1 UNIT
 TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
 HANDICAP PARKING REQUIRED = 4 SP
 SURFACE PARKING PROVIDED = 83 SP

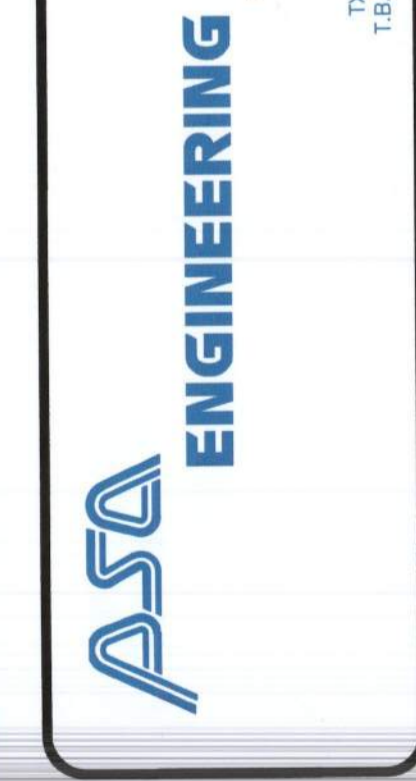
REVISION

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

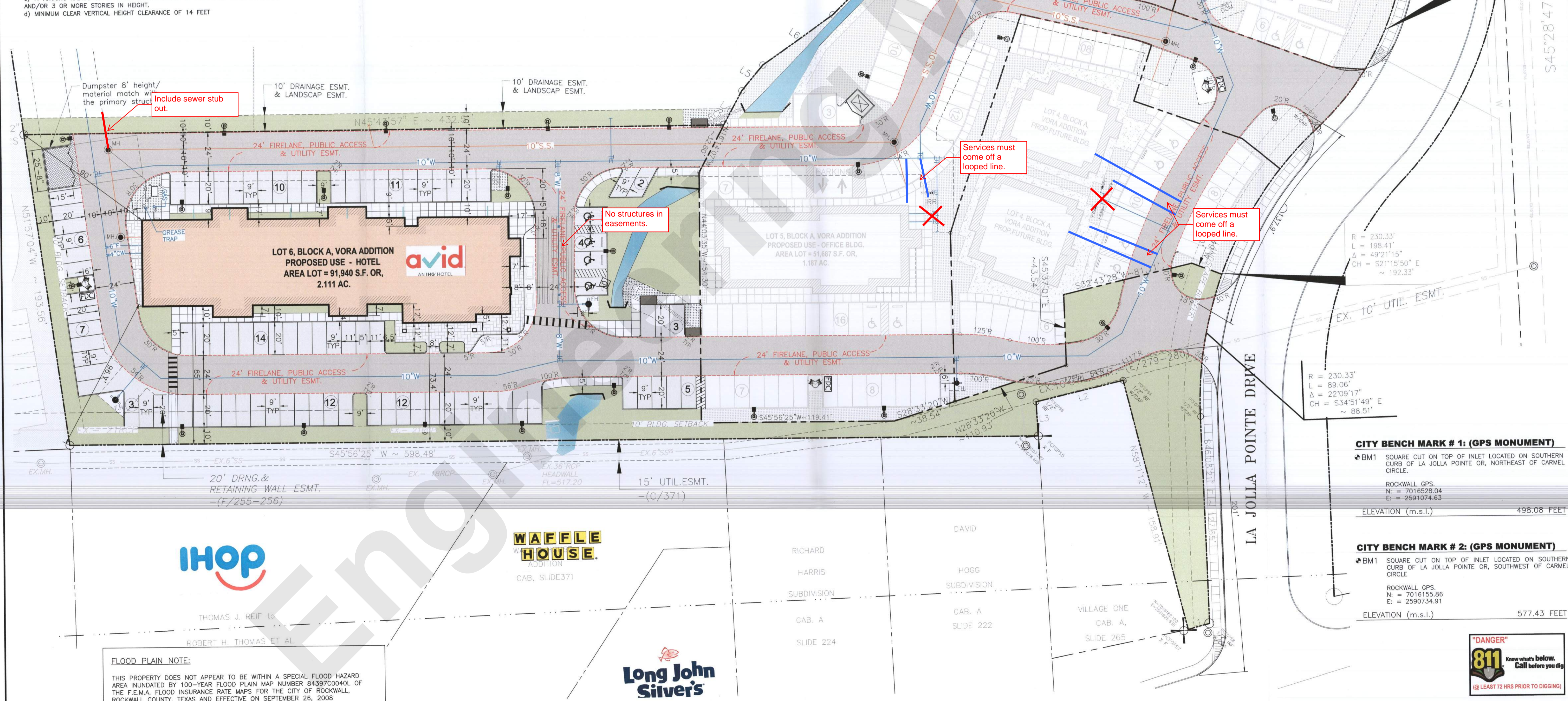
SITE PLAN
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9851
 TX T.B.P.E. REGISTRATION # F-008974
 T.B.P.E.'S. FIRM REGISTRATION # 100433



SCALE: AS SHOWN
 DESIGNED: PSS
 DRAWN: PSA
 CHECKED: PSS
 PROJECT NO. 21737.VPR
 DATE: SEPTEMBER 14, 2018
 SHEET: C-01

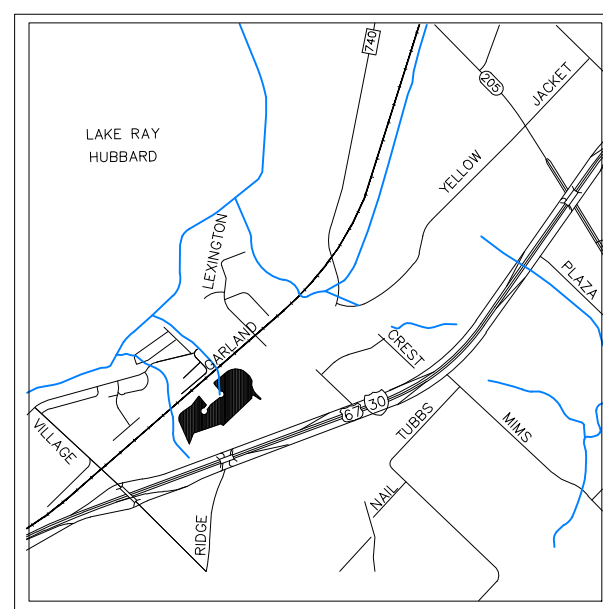


Must show offsite utilities on Site Plan.
 No other engineering sheets were reviewed with this submittal.
 Water and sewer are on Site Plan. Drainage not reviewed until engineering review.

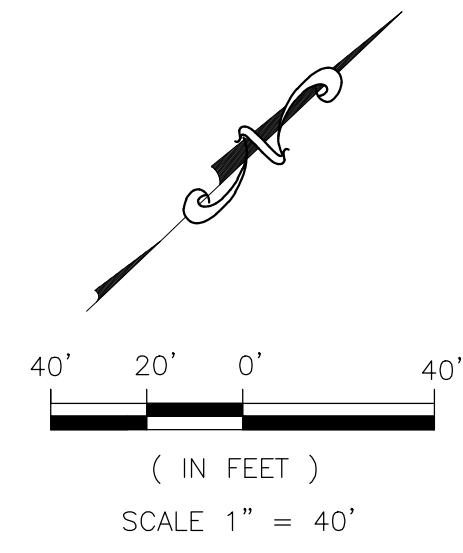
AND/OR 3 OR MORE STORIES IN HEIGHT.
 d) MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET

FLOOD PLAIN NOTE:
 THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008





VICINITY MAP
N.T.S.

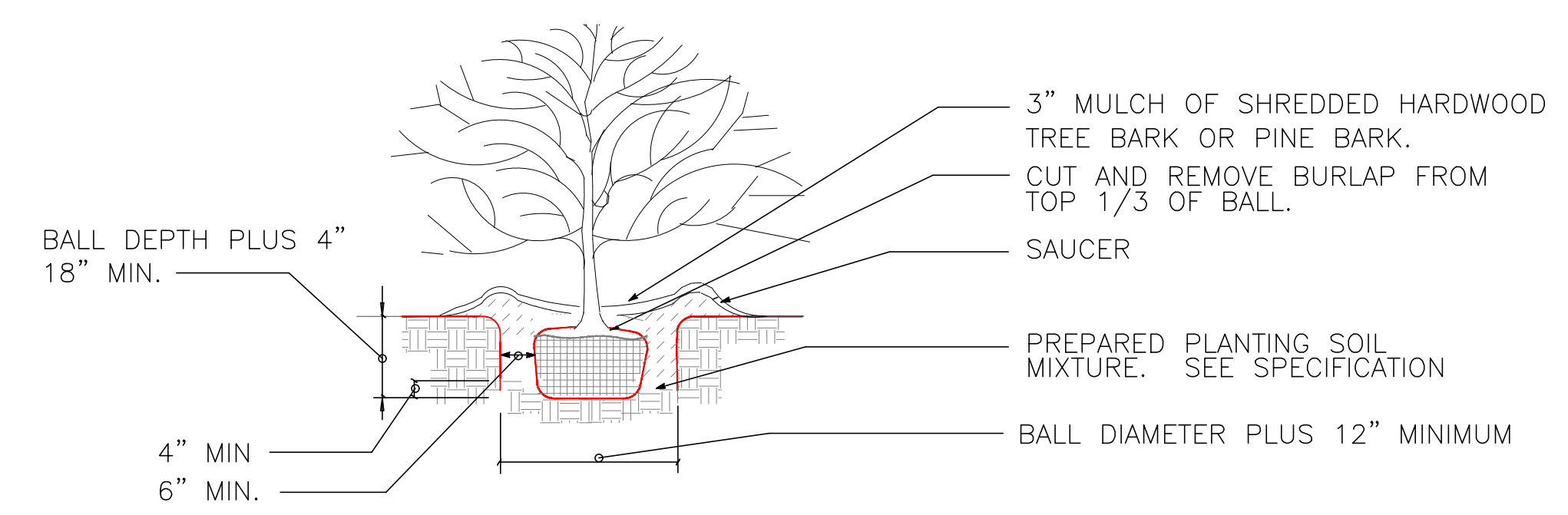


PLANT MATERIAL SCHEDULE :

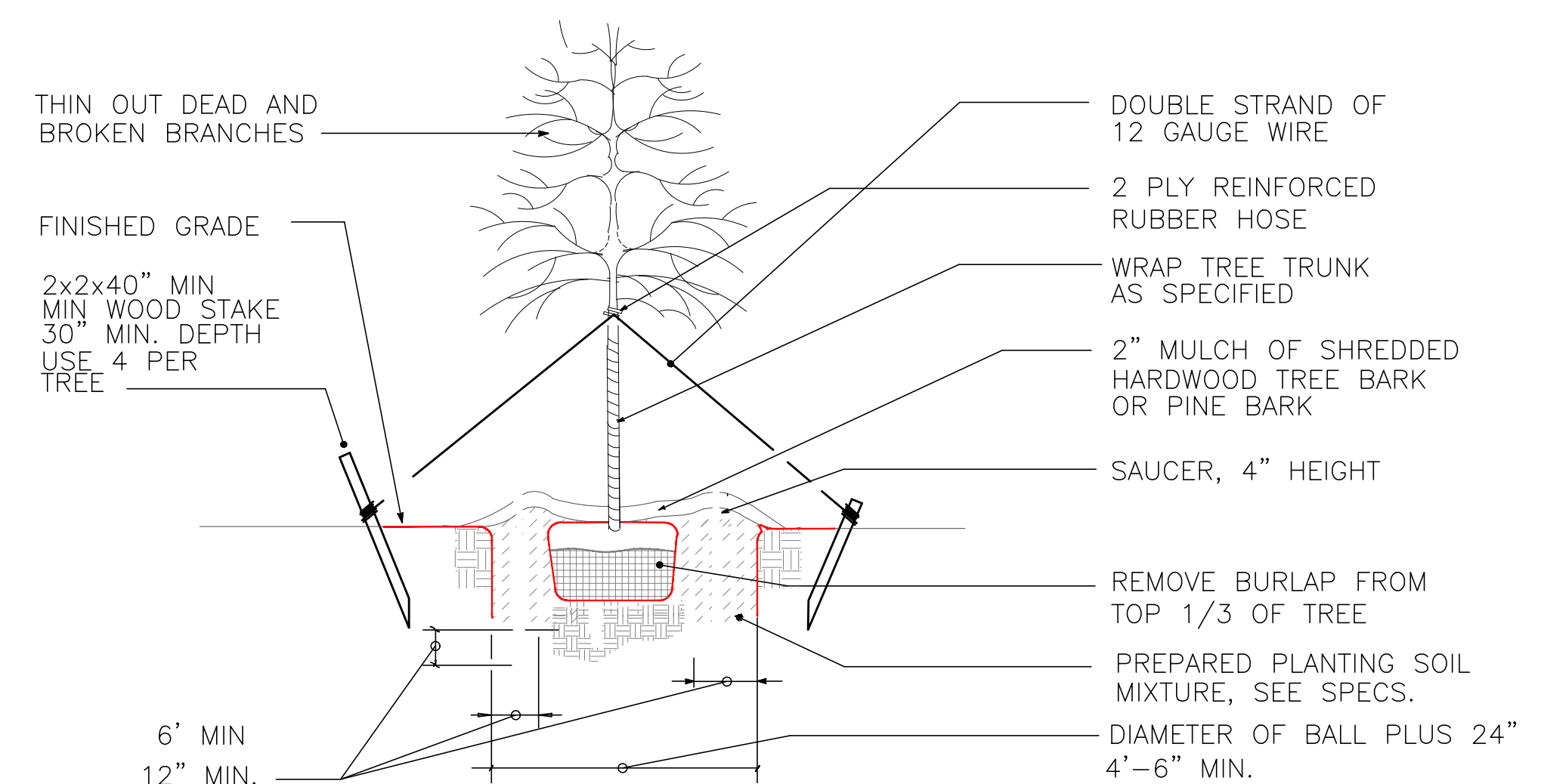
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
14	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.
28	TEXAS RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.
23	EASTERN RED BUD	CERCIS CANADENSIS	2.5" CAL.
124	DWARF GRAPE MYRTLE 'CHERRY DAZZLE'	LAGERSTROMIA INDICA 'GAMAD I'	5 GALLONS
267	INDIAN HAWTHORN 'SNOW WHITE'	RHAPHIOLEPIS INDICA	5 GALLONS
39	PAMPAS GRASS	CORTADERIA SELLOANA	5 GALLONS
28,631 SF.	BERMUDA GRASS	CYNODON DACTYLON	

LEGENDS:

	PROPERTY LINE		EXISTING TREE TO KEEP
	EASEMENT LINE		LITTLE GEM MAGNOLIA
	IRON ROD		TEXAS RED OAK TREE (SHADE)
	EXISTING SANITARY MANHOLE		INDIAN HAWTHORN 'SNOW WHITE'
	PROPOSED SANITARY MANHOLE		EASTERN RED BUD (ORNAMENTAL)
	EXISTING FIRE HYDRANT		DWARF GRAPE MYRTLE 'CHERRY DAZZLE'
	PROPOSED FIRE HYDRANT		PAMPAS GRASS
			ERAGROSTIS CURVULA HYDROSEED



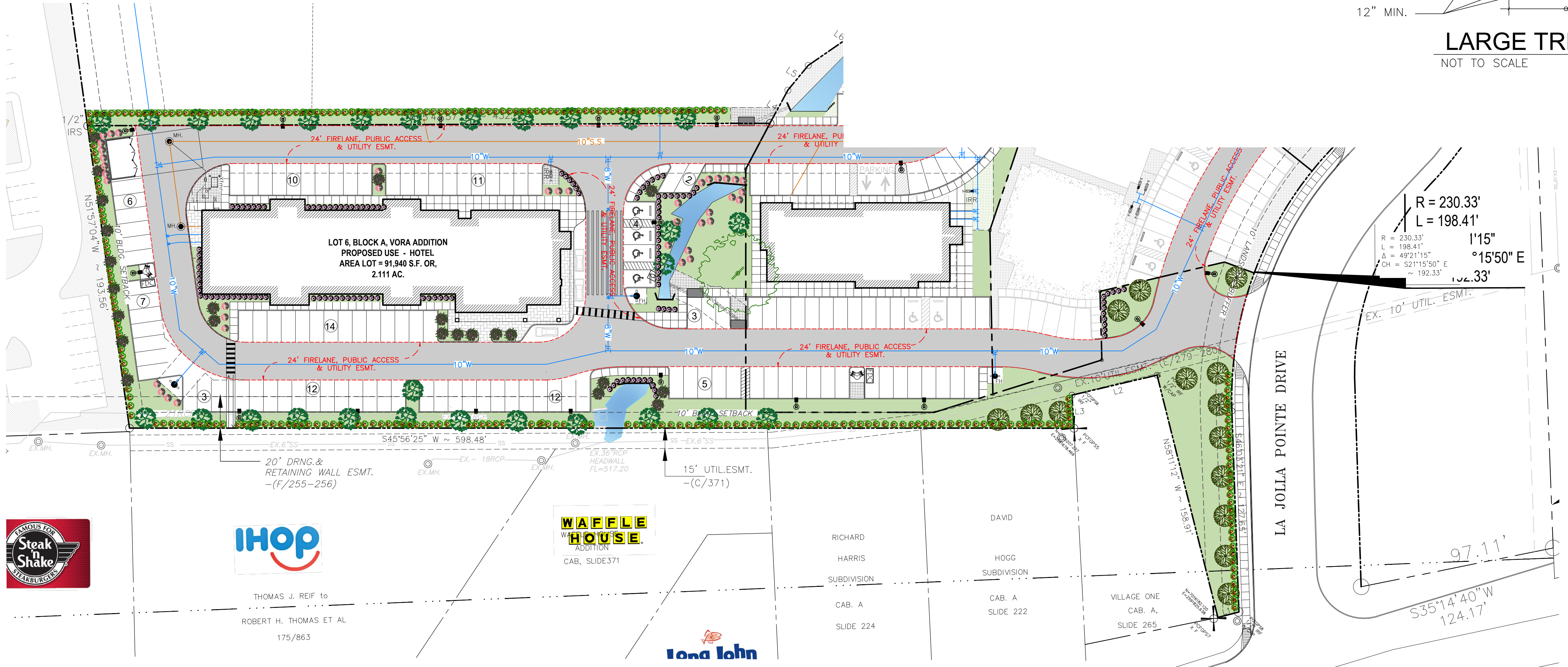
SHRUB PLANTING DETAIL
NOT TO SCALE



LARGE TREE STAKING DETAIL
NOT TO SCALE FOR TREES UNDER 3 1/2" CALIPER

LANDSCAPE NOTE:

- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.
- ALL BED AREAS MUST BE SEPERATED FROM TURF AREAS BY STEEL EDGING.
- ALL AREAS TO BE HYDROSEEDED MUST BE FINE GRADED BEFORE SEEDING.
- ALL BEDS AND TREE WELLS TO BE MULCHED WITH 4 TO 6 INCHES OF SHREDDED HARDWOOD MULCH.
- ALL HYDROSEEDED AREAS AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY PLAN COMMISSION.
- PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN ALL HEIGHT AND SPREAD ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITH VARIETIES.
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLAN.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH OR APPROVED EQUAL.
- LANDSCAPE EDGING SHALL BE OF TYPE AND LOCATION AS NOTES ON PLAN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STAND FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR LOCAL (TEXAS ASSOCIATION OF NURSERYMEN STANDARDS) EQUIVALENT.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF REACH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. SPRAY OVER ON STREETS AND WALKS IS PROHIBITED.
- QUANTITIES ON PLANS AND PLANT LIST ARE PROVIDED AS A CONVENIENCE FOR ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS.
- REQUIRED AT SPACING INDICATED FOR THE BED SIZE AND CONFIGURATION SHOWN REGARDLESS OF QUANTITIES SHOWN ON PLANS AND PLANT LIST. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NO LANDSCAPE PLANTINGS, TREES, SHRUBS, GROUND COVERS AND GRASSES, TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL TREES TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PITS SIDE PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHT ABOVE FINISHED GRADE. ALL TREE PITS TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP-DRESSED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH, OR APPROVED EQUAL, STAKE AND OR GUY TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ROTO TILL THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL AND TILL INTO THE TOP 3" OF EXISTING SOIL. INSTALL ALL SHRUBS 1" AS PER MANUFACTURER'S RECOMMENDED RATE OF APPLICATION. TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD BARK MULCH, OR APPROVED EQUAL.
- NO PLANTED MATERIAL SHALL BE INSTALLED UNTIL THE IRRIGATION SYSTEM HAS BEEN INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- INSTALL AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREA.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE AND/OR REJECT LANDSCAPE MATERIAL ON SITE.



LANDSCAPE TABULATIONS:

	REQUIRED	PROVIDED
10 FT. LANDSCAPE BUFFER STRIP		
1 TREE PER 50 FT. OF STREET FRONTAGE (220 FT.)	5 TREES	8 TREES
PARKING SPACE (87 SP)		
1 TREE PER 10 REQ. PARKING SPACES (87 REQ. SPACES)	9 TREES	22 TREES
AMOUNT OF LANDSCAPING (TOTAL LOT AREA = 91,732 SF.)	13,759.80 SF.	28,631 SF.
COMMERCIAL/ GENERAL RETAIL	15% OF LOT AREA	

TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.

FLOOD PLAIN NOTE:
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 845970040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

CITY BENCH MARK # 1: (GPS MONUMENT)
BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, NORTHEAST OF CARMEL CIRCLE.
ROCKWALL GPS.
N: = 7016528.04
E: = 2591074.63
ELEVATION (m.s.l.) 498.08 FEET

CITY BENCH MARK # 2: (GPS MONUMENT)
BM1 SQUARE CUT ON TOP OF INLET LOCATED ON SOUTHERN CURB OF LA JOLLA POINTE OR, SOUTHWEST OF CARMEL CIRCLE.
ROCKWALL GPS.
N: = 7016155.86
E: = 2590734.91
ELEVATION (m.s.l.) 577.43 FEET

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



SITE PLANS SET

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

LANDSCAPE PLAN
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851
TX.T.B.P.E. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 00433

ASDA ENGINEERING

SCALE: AS SHOWN

DESIGNED: PSS

DRAWN: PSA

CHECKED: PSS

PROJECT NO. 21737.VPR

DATE: SEPTEMBER 12, 2018

SHEET: L-01

AVID HOTEL

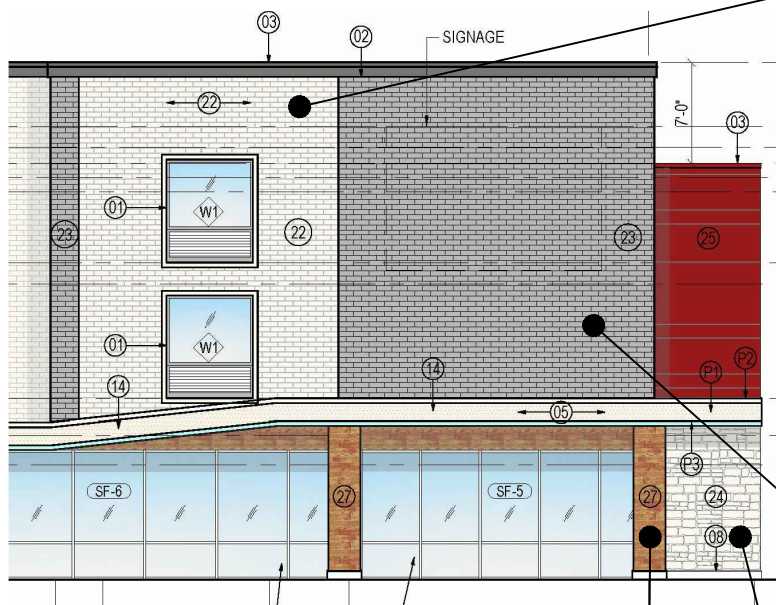


FOR VORA PROPERTY AT ROCKWALL, TEXAS

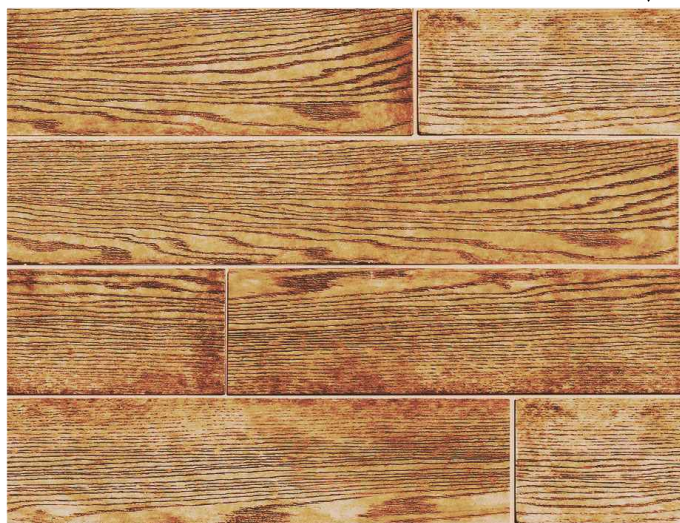
DATE : 08/30/18



03. COPING
SHERWIN - WILLIAMS COLOR: SW 7019 - GAUNTLET GRAY



BUILDING ELEVATION @ FRONT ENTRY



27. CORONADO STONE: MODEL 'REFINED WOODSTONE'
COLOR 'HONEY BLONDE'



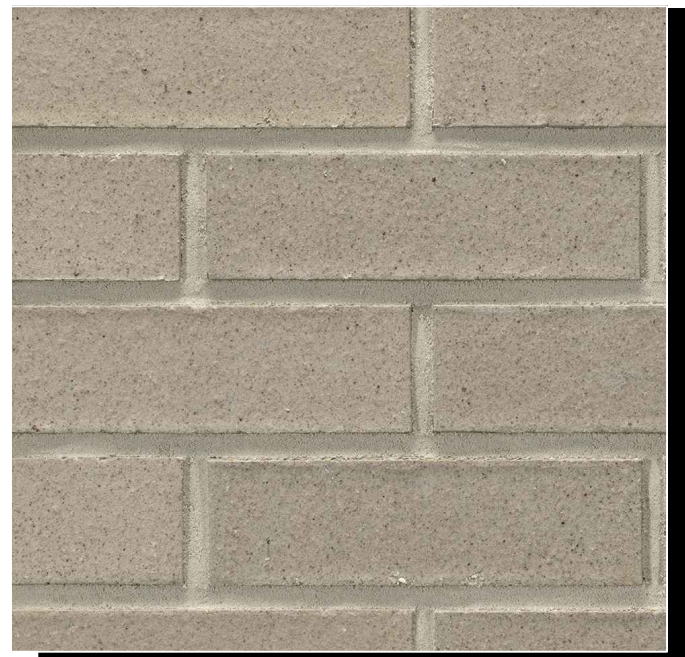
P3 CANOPY CLADDING - AQUA
SHERWIN - WILLIAMS COLOR: SW 9045 - BORA BORA SHORE



25. METAL CLADDING - RED
SHERWIN - WILLIAMS COLOR: SW 6864 - CHERRY TOMATO



22. BRICK WALL
ACME BRICK: MODEL 'GLACIER WHITE - SMOOTH TEXTURE'
PERLA EAST GATE PLANT - PEP050,105822



23. BRICK WALL
ACME BRICK: MODEL 'MARBLE GRAY - SMOOTH TEXTURE'
PEP- 116



24. STONE WALL
AUSTIN STONE: COLOR 'WHITE'

CITY OF ROCKWALL

ORDINANCE NO. 18-20

SPECIFIC USE PERMIT NO. S-187

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A HOTEL IN A COMMERCIAL (C) DISTRICT, ON A 2.056-ACRE TRACT OF LAND BEING IDENTIFIED AS A PORTION OF LOT 7 AND A PORTION OF LOT 8, BLOCK A, LA JOLLA POINTE, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Pan S, Sribhen, P.E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a Specific Use Permit (SUP) to allow for a *Hotel* in a Commercial (C) District on a 2.056-acre tract of land, identified as a portion of Lot 7 and a portion of Lot 8, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned *Commercial (C) District*, situated within the *IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts*, generally located along La Jolla Pointe Drive, south of the intersection of Carmel Circle and Laguna Drive, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

Section 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Hotel* within a *Commercial (C) District* as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38* on the *Subject Property*]; and

Section 2. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in *Section 4.5, Commercial (C) District; Section 6.6, IH-30 Overlay (IH-30 OV) District; and Section 6.8, Scenic Overlay (SOV) District, of Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Hotel* on the *Subject Property*, and conformance to these operational conditions is required for continued operations:

- 1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* of this SUP ordinance for the development of a *Hotel*; and,
- 2) The proposed hotel shall generally conform to the *Concept Building Elevations* depicted in *Exhibit 'D'* of this SUP ordinance, and shall be subject to review and recommendation by the Architecture Review Board (ARB); and,
- 3) The maximum overall height of the building shall not exceed 36-feet and shall be limited to a maximum of three (3) stories.
- 4) The Hotel shall be limited to non-residence suites, which are considered to be typical hotel rooms that do not contain kitchen facilities.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4. (3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

Section 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

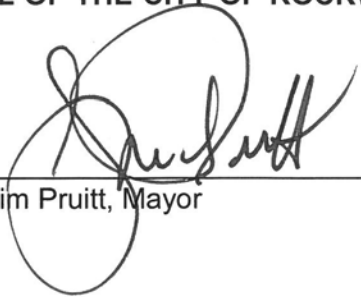
Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict

Section 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 8. That this ordinance shall take effect immediately from and after its passage of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF APRIL, 2018.



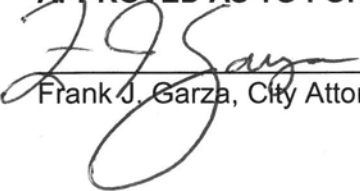
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: March 19, 2018

2nd Reading: April 2, 2018

Exhibit 'A':
Legal Description

BEING a tract of land situated in the, abstract Number 9 Rockwall County, Texas, and the James Smith Survey, Abstract Number 200, and being more particularly described by metes and bounds as follows;

BEGINNING at 1/2" iron rod found at the North corner of the La Jolla Point drive, said an about 10 feet to the Right-of-Way of La Jolia Pointe, also at the corner between La Jolia Pointe and Ridge Road (FM 740);

THENCE S 31°45'06" W, a distance of 16.55 feet to "X" mark found for corner;

THENCE N 56°44'36" W, a distance of 158.98 feet to a iron rod found for corner;

THENCE S 32°44'34" W, a distance of 54.85 feet to a iron rod found for corner;

THENCE S 46°35'35" E a distance of 21.02 feet to "X" mark found for corner;

THENCE S 46°29'21" W, a distance of 598.53 feet to a iron rod found for corner;

THENCE N 51°24'03" W, a distance of 288.85 feet to a 1/2" iron rod set for corner;

THENCE N 38°36'01" W, a distance of 75.51 feet to a 1/2" iron rod set for corner;

THENCE S 51°23'59" E, a distance of 113.18 feet to a 1/2" iron rod set for corner;

THENCE N 46°14'10" E, a distance of 350.27 feet to a 1/2" iron rod set for corner;

THENCE S 12°35'26" E, a distance of 32.10 feet to a 1/2" iron rod set for corner;

THENCE S 07°13'08" W, a distance of 33.92 feet to a 1/2" iron rod set for corner;

THENCE S 18°44'59" E, a distance of 22.67 feet for corner, said a point also being a curve tangent;

THENCE continuing along the curve to the right with a Chord bearing of S 28°11'31"E, and a Chord distance of 31.15 feet with a delta of 18°53'12", a curve radius of 95 feet and a curve length of 31.29 feet and a Tangent of 15.79 feet to a point;

THENCE S 38°09'07" E, a distance of 65.61 feet to a 1/2" iron rod set for corner;

THENCE N 46°05'36" E, a distance of 197.23 feet to a 1/2" iron rod set for corner;

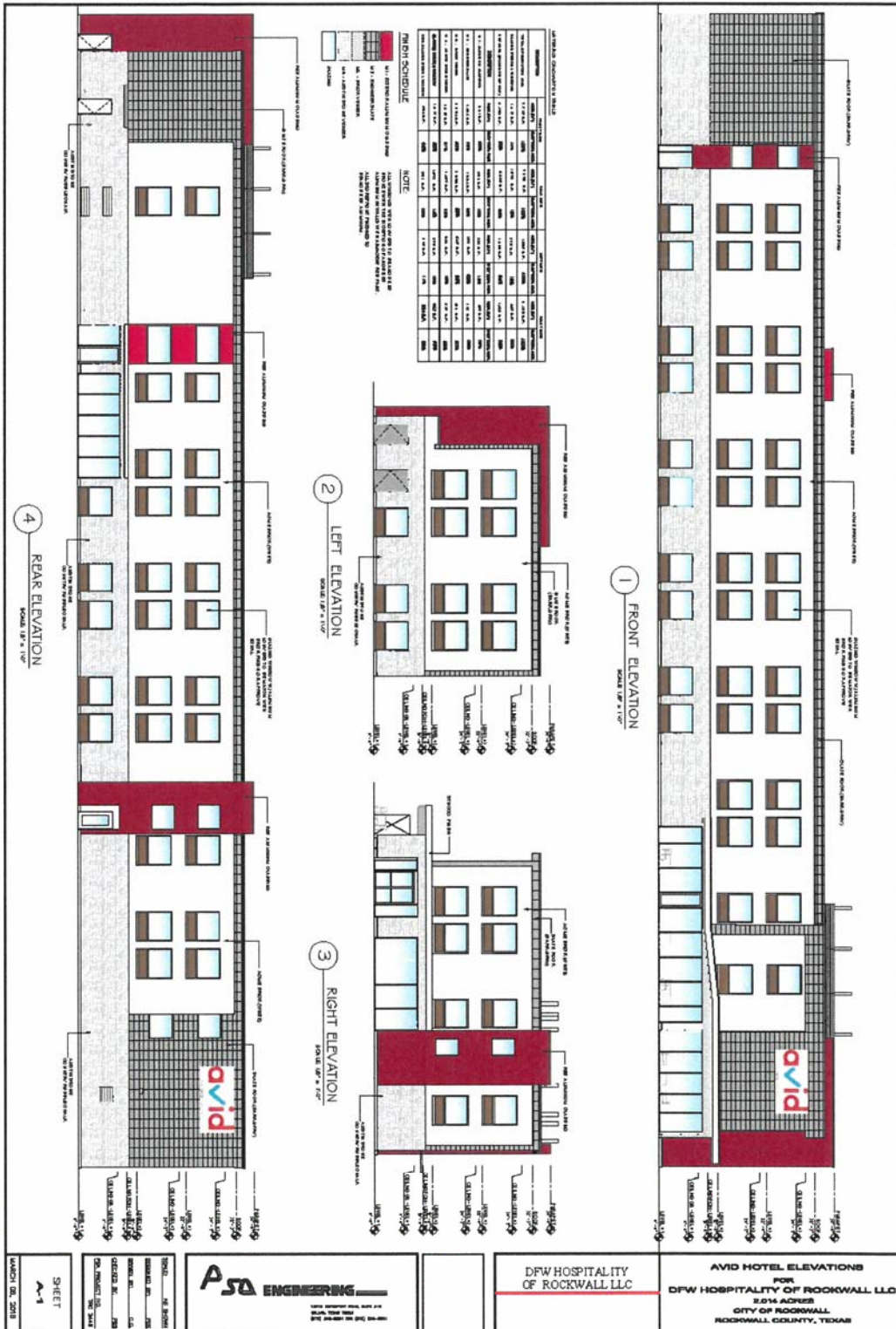
THENCE N 12°31'52" W, a distance of 33.13 feet to a 1/2" iron rod set for corner, said a point also being a curve tangent;

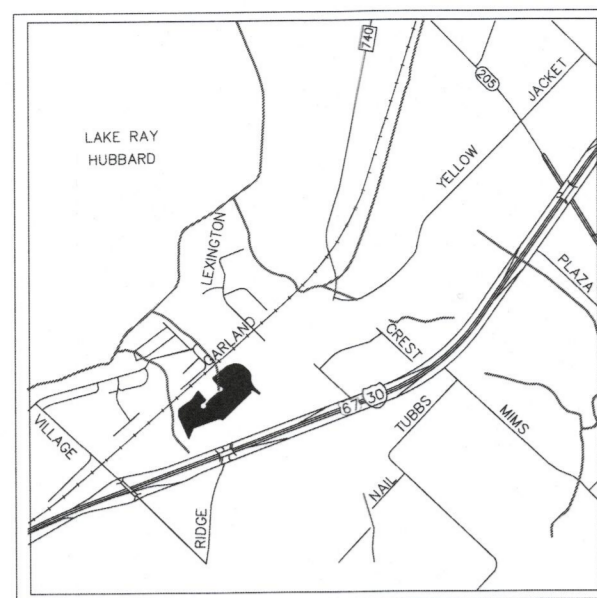
THENCE continuing along the curve to the right with a Chord bearing of N 57°11'06"W, and a Chord distance of 55.52 feet with a delta of 52°44'32", a curve radius of 62.5 feet and a curve length of 57.53 feet and a Tangent of 31.00 feet to a 1/2" iron rod set for corner;

THENCE N 32°43'14" E, a distance of 102.98 feet to 1/2" iron rod set for corner, said a point also being a curve tangent and perpendicular to Right of Way of La Jolla Pointe Drive;

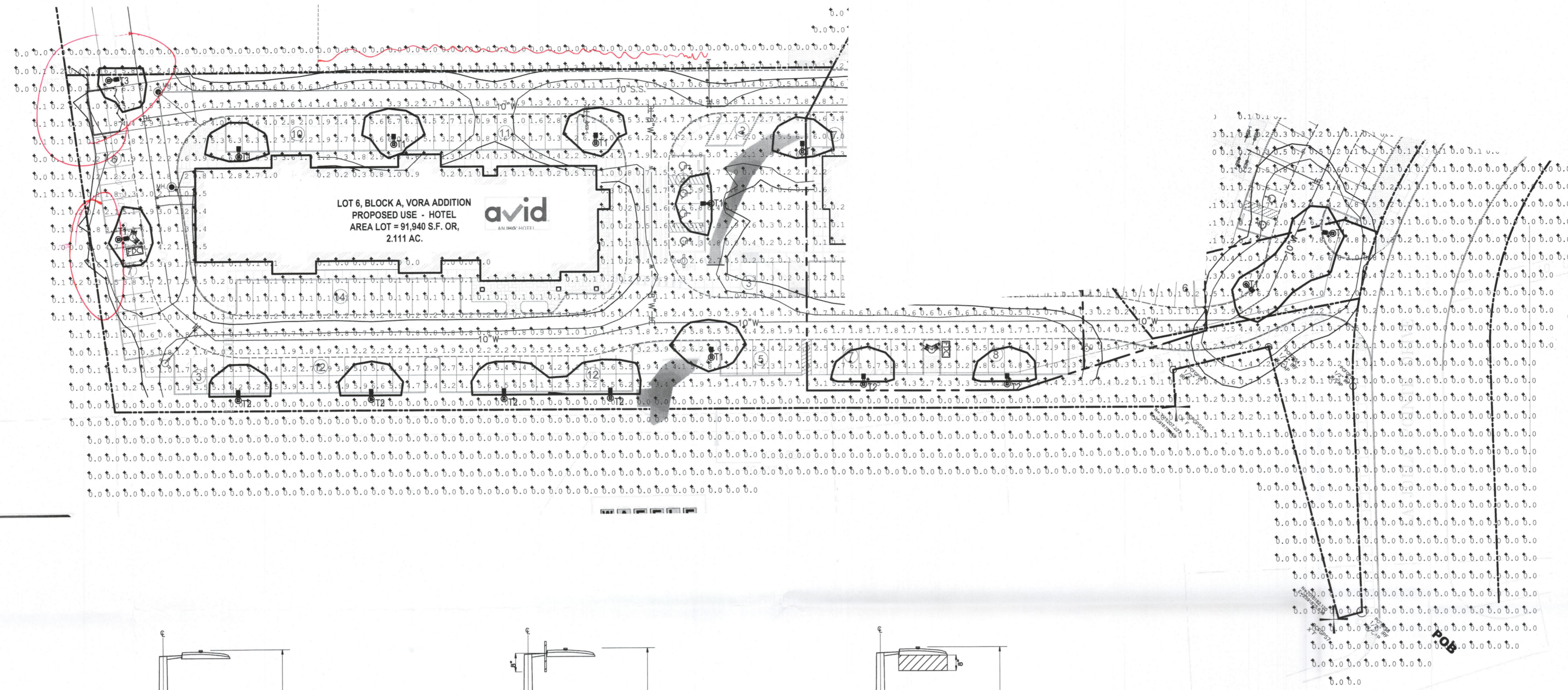
THENCE continuing along the curve to the right with a Chord bearing of S 38°44'58" E, and a Chord distance of 54.21 feet with a delta of 13°33'40", a curve radius of 230 feet and a curve length of 54.33 feet and a Tangent of 27.30 feet to a 1/2" iron rod found for corner and also being a point of the Beginning and containing 89,557 square feet or 2.056 acres of land more or less.

Exhibit 'D': Conceptual Building Elevations



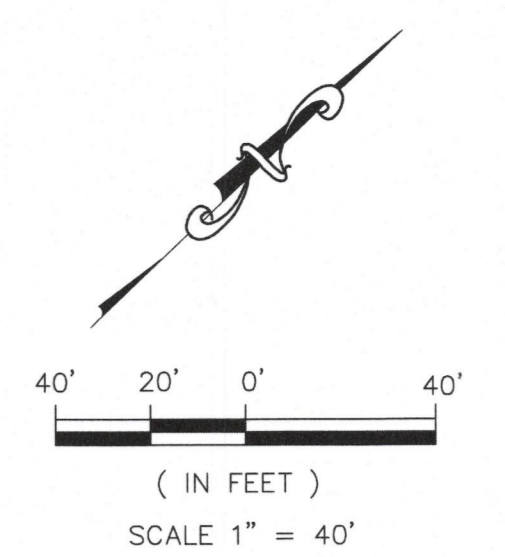


VICINITY MAP
N.T.S.



LEGEND

- PROPERTY LINE
- ⊙ PROPOSED LIGHT POLE (ONE HEAD)



SITE PLANS SET

REVISION		
NO.	DATE	BY
1	18-08-07	P59
2	18-08-21	P59

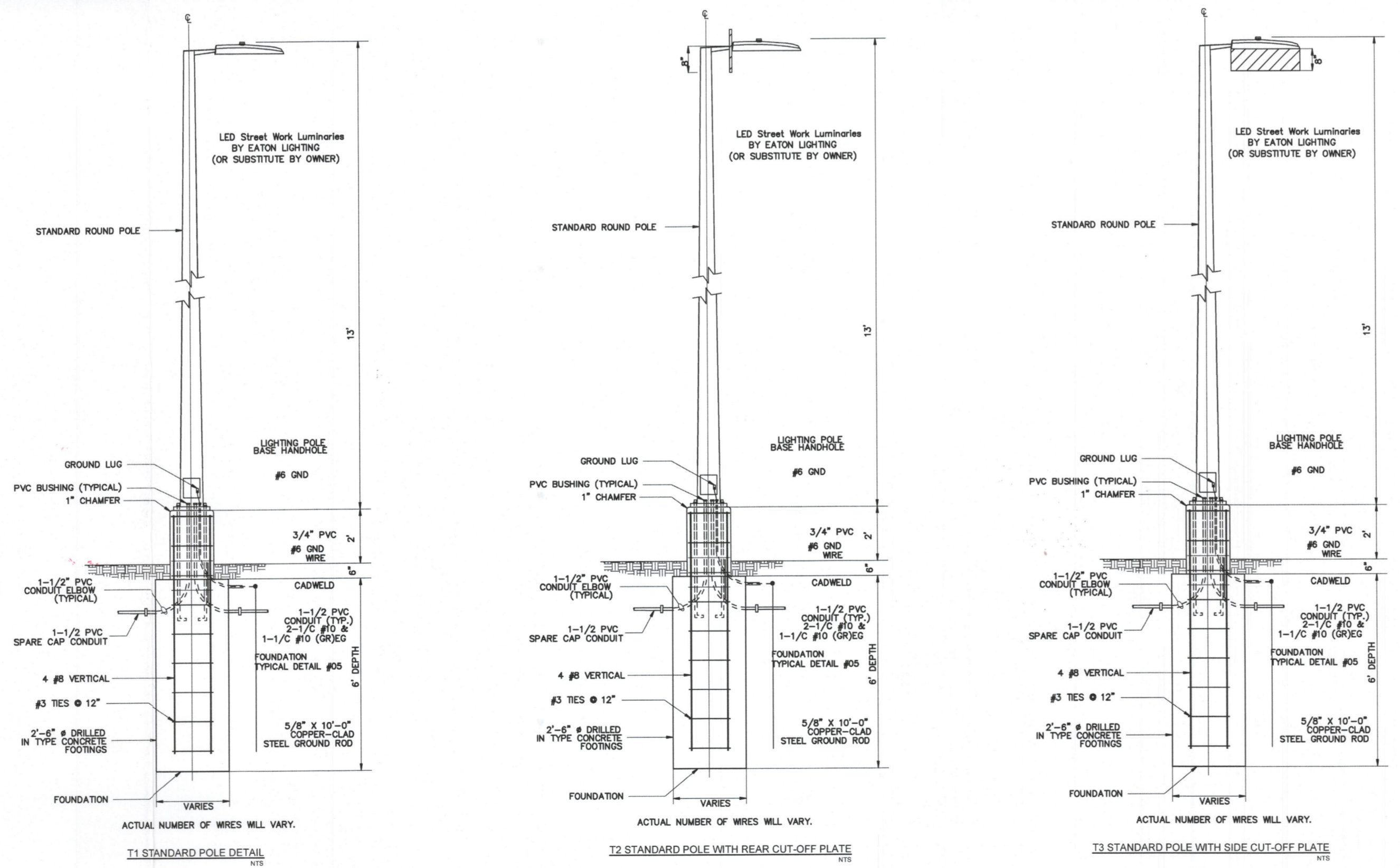
REMARK:
REVISION CLOUD MAY NOT
APPEAR ON ALL DRAWING SHEETS.

AVID HOTEL SITE LIGHTING
 FOR
DFW HOSPITALITY OF ROCKWALL LLC
 CITY OF ROCKWALL, TEXAS

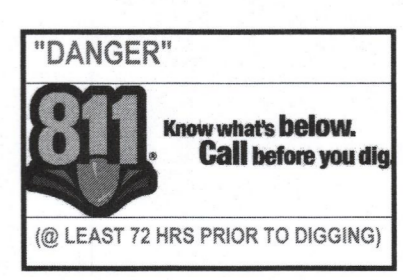


17819 DAVENPORT ROAD, SUITE 215
 DALLAS, TEXAS 75252
 (972) 248-9651
 TX T.B.E. REGISTRATION # F-008974
 T.B.P.L.S. FIRM REGISTRATION # 100425

ASA ENGINEERING



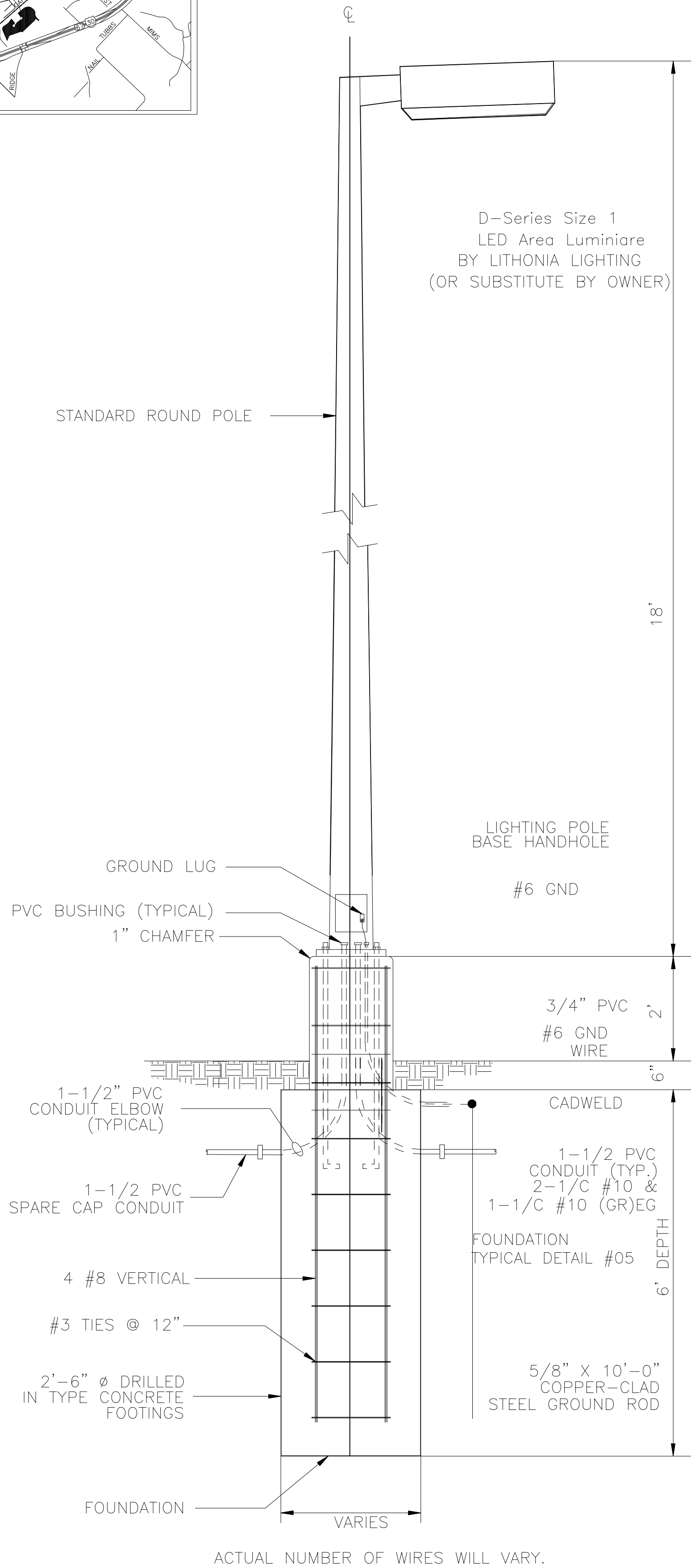
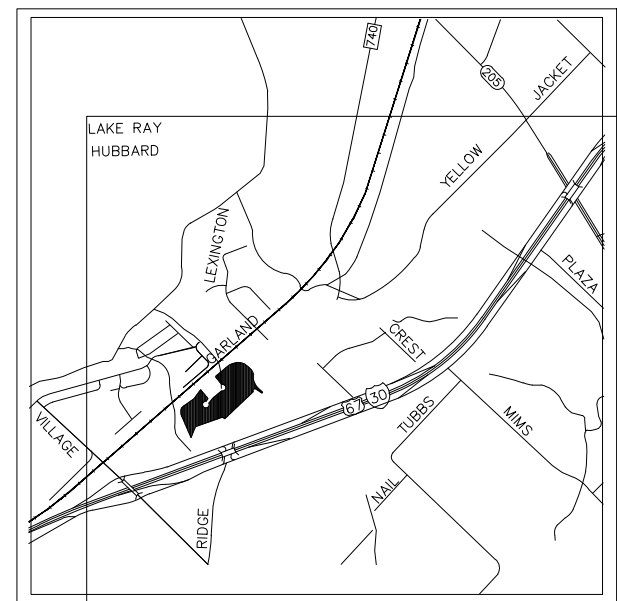
- High Readings Exceed 0.2-FC @ PL3



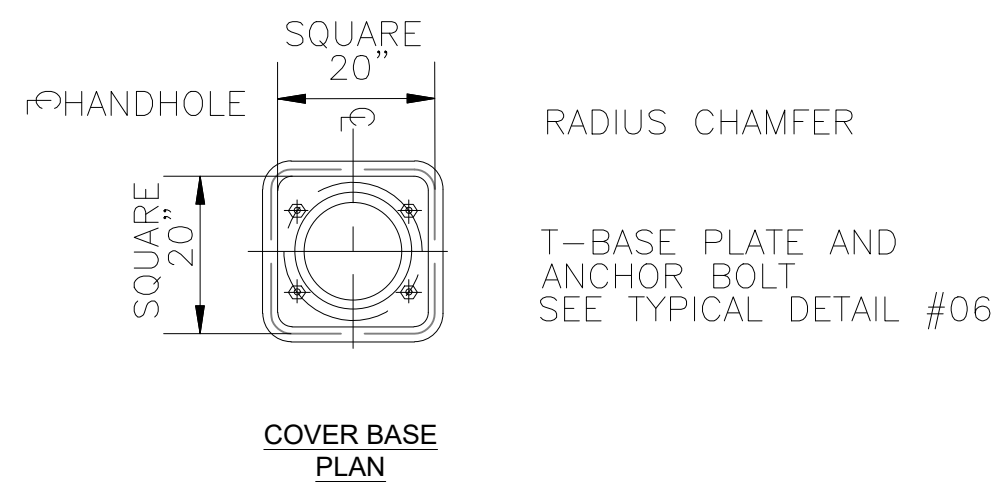
SCALE: AS SHOWN
 DESIGNED: P59
 DRAWN: P5A
 CHECKED: P55
 PROJECT NO. 21737.VPR
 DATE: SEPTEMBER 12, 2018
 SHEET: SL-2

REVISION		
NO.	DATE	BY
1	18-08-07	P55

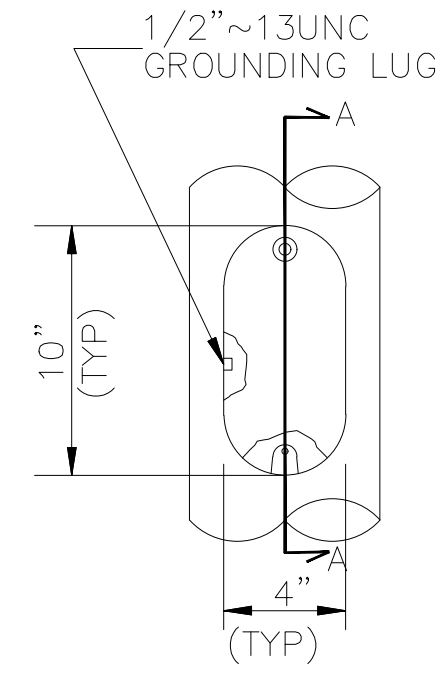
REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



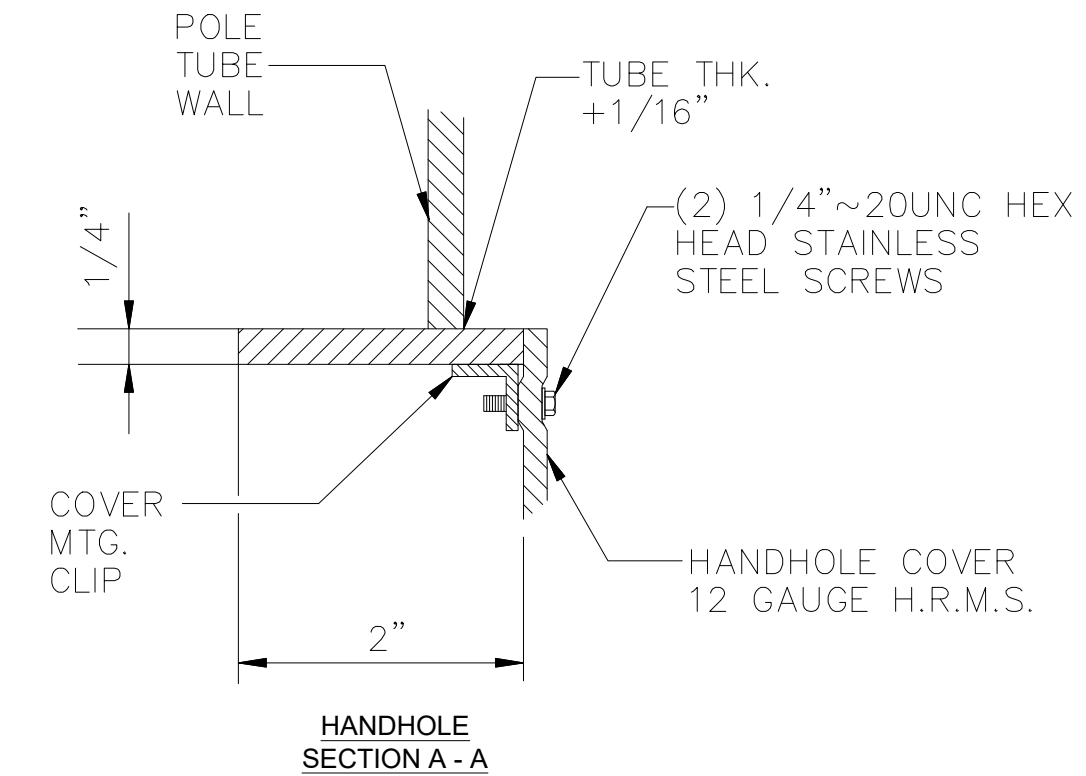
02 TYP. SINGLE LIGHT POLE DETAILS
NTS



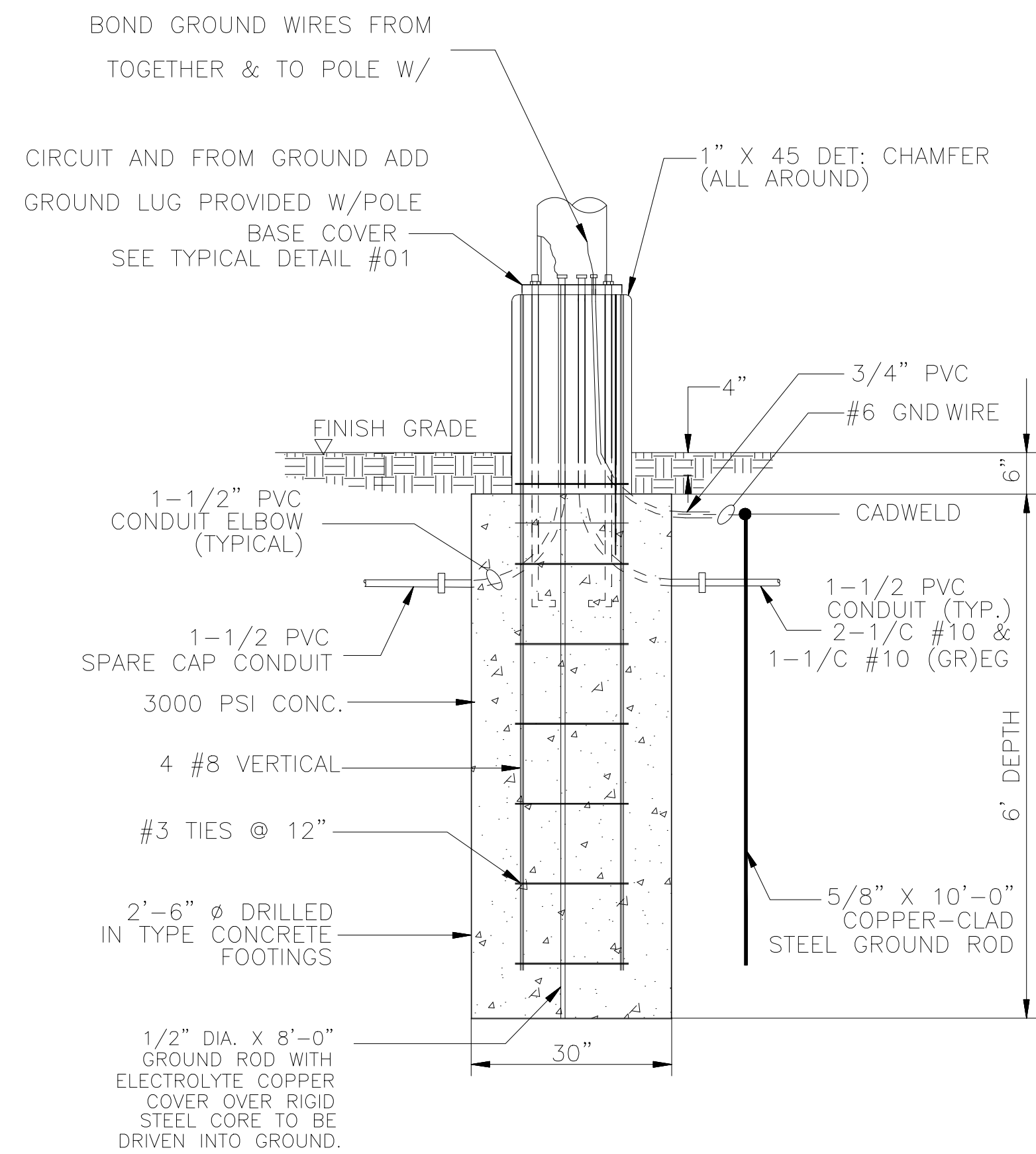
01 TYPICAL DETAIL



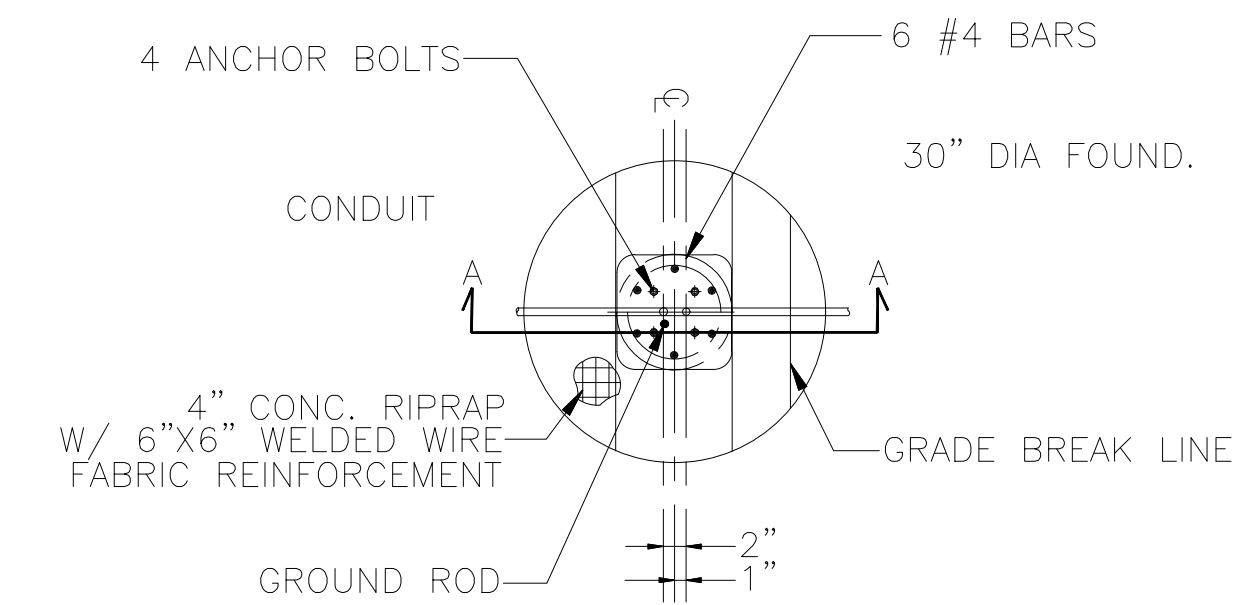
TYPICAL DETAIL HANDHOLE ELEVATION



03 TYPICAL DETAIL
NTS

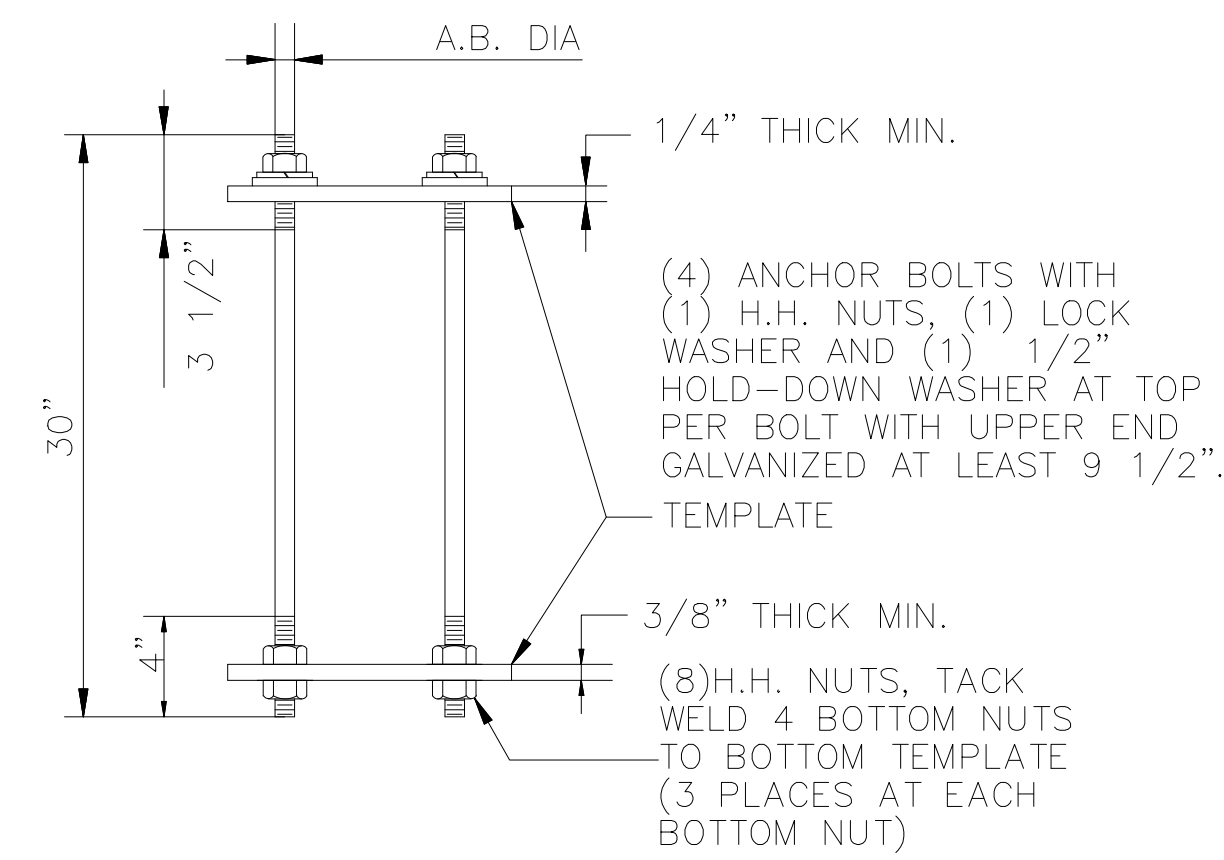


05 SECTION A-A'
NTS

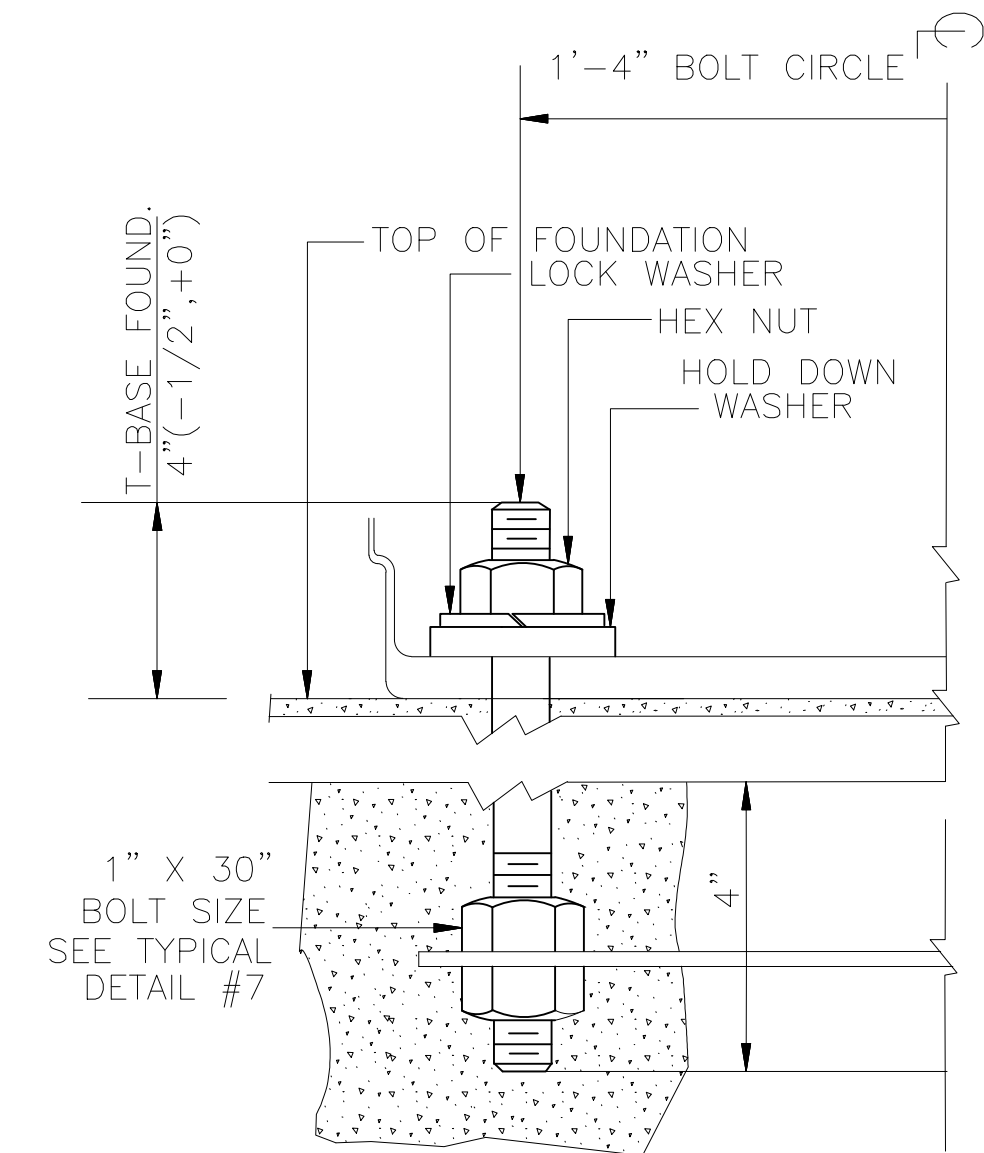


STREET LIGHT FOUNDATION - PLAN

04 TYPICAL DETAIL
NTS



06 TYPICAL DETAIL
NTS



07 TYPICAL DETAIL
NTS

POLE'S DETAIL
FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



ASA ENGINEERING
17819 DAVENPORT ROAD, SUITE 219
DALLAS, TEXAS 75252
(972) 246-9651
TX T.E.P.E. REGISTRATION # F-006974
T.E.P.E.S. FIRM REGISTRATION # 100625

SCALE: AS SHOWN
DESIGNED: P55
DRAWN: PSA
CHECKED: P55

PROJECT NO. 21737.VPR

DATE: AUGUST 07, 2018

SHEET: C-06



City of Rockwall Project Plan Review History



Project Number SP2018-023	Owner ROCKWAY, PARTNERS LLP	Applied 7/17/2018 LM
Project Name AVID Hotel	Applicant PSA ENGINEERING, LLC	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status P&Z HEARING		Status 7/24/2018 DG

Site Address 508 LA JOLLA POINTE DR	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision RICHARD HARRIS	Tract 6	Block A	Lot No 6	Parcel No 4119-000A-0006-00-0R	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING Parking?	Russell McDowell	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	
ENGINEERING	Sarah Hager	7/17/2018	7/24/2018	7/25/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(7/25/2018 4:09 PM SH)						
- Impact Fees must be paid.						
- 4% Engineering Inspection fees						
- Must meet all Engineering Standards of Design						
- All storm outfalls of flow downstream not at a 90* angle.						
- Must build complete water line loop now						
- Must check existing detention to make sure the approved volume and outfall is still correct						
- Need to establish the 100-yr water surface elevation in open channel area						
- Parking to be 20' by 9' standard.						
- No trees within 5' of public utilities.						
- Walls 3' and taller must be designed by an engineer.						
- Retaining walls must be rock or stone faced						
- Dumpster to drain to an oil/water separator.						
- Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning						
- No grate inlets allowed						
- Fire hydrants to have 5' clearance all around. Island for fire hydrant must be 10' wide.						
- Must loop water line now.						
- Radii for fire lane to be 30' min for the height of the building. This includes the entrance drives.						
- Driveway spacing must be 100' minimum.						
- Please see the attached mark up.						
(7/25/2018 4:15 PM SH)						
- 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together.						
ENGINEERING	Sarah Hager	8/10/2018	8/17/2018	8/10/2018	COMMENTS	second review.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(8/10/2018 11:38 AM SH) <ul style="list-style-type: none"> - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a90* angle. - Must build complete water line loop now - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area - Parking to be 20' by 9' standard. - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced - Dumpster to drain to an oil/water separator. - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning - Must loop water line now. - Driveway spacing must be 100' minimum. - Please see the attached mark up. - 10' spacing between water and sewer lines. Easement to be 10' on both sides of pipe. Min 30' easement if running water and sewer together. 	Sarah Hager	9/5/2018	9/12/2018	9/5/2018	APPROVED	Contingent on Engineering

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(9/6/2018 11:21 AM SH) The following information will need to be addressed during Engineering Design <ul style="list-style-type: none"> - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a 90 degree angle. - Must build complete water line loop now. - Must check existing detention to make sure the approved volume and outfall is still correct - Need to establish the 100-yr water surface elevation in open channel area Review fees required - Need Waters of the US/wetland determination - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced - Dumpster to drain to an oil/water separator. Need to label on site plan - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning 							
ENGINEERING	Sarah Hager	9/20/2018	9/27/2018	9/20/2018		APPROVED	
ENGINEERING (9/20/2018 4:46 PM SH) FYI for engineering review. <ul style="list-style-type: none"> - Impact Fees must be paid. - 4% Engineering Inspection fees - Must meet all Engineering Standards of Design - All storm outfalls of flow downstream not at a 90 degree angle. - Must build complete water line loop now. - Must check existing detention to make sure the approved volume and outfall is still correct. - Need to establish the 100-yr water surface elevation in open channel area. Review fees required - Need Waters of the US/wetland determination - No trees within 5' of public utilities. - Walls 3' and taller must be designed by an engineer. - Retaining walls must be rock or stone faced. - Dumpster to drain to an oil/water separator. Need to label on site plan - Must upsize 1400 LF of 10" offsite sewer to 15" due to the infrastructure study completed during zoning. - No structures in easements. - All water services must be off of a looped line. Each service gets a new tap. - Must show offsite utilities on Site Plan. - No other engineering sheets were reviewed with this submittal. - Water and sewer are on Site Plan. Drainage not reviewed until engineering review. 	Sarah Hager	9/20/2018	9/27/2018	9/20/2018		APPROVED	See comments
FIRE	Ariana Hargrove	7/17/2018	7/24/2018	7/19/2018	2	COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(7/19/2018 1:51 PM AA) Fire hydrants shall be located 6 feet behind the edge of the fire apparatus access roadway/fire lane pavement. Revise location of proposed fire hydrant on the northeast side of the building.							
The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.							
FIRE (8/24/2018 11:10 AM AA) Fire hydrants shall be located 6 feet behind the edge of the fire apparatus access roadway/fire lane pavement. Revise location of proposed fire hydrant on the northeast side of the building.	Ariana Hargrove	8/24/2018	8/31/2018	8/24/2018		COMMENTS	same notes from prior review
The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.							
FIRE	Ariana Hargrove	9/5/2018	9/12/2018	9/5/2018		APPROVED	
GIS (7/19/2018 10:21 AM LS) Address assignment will be: 508 LA JOLLA POINTE DR, ROCKWALL, TX 75087	Lance Singleton	7/17/2018	7/24/2018	7/19/2018	2	APPROVED	See Comment
PLANNING	David Gonzales	7/17/2018	7/24/2018	7/24/2018	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>* Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> 1. Adherence to Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits. 3. Label all revised site plan documents with "Case No. SP2018-023" at the lower right corner. 4. The development is to comply with SUP Ordinance No. 18-20 (S-187). <p>VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:</p> <p>The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):</p> <ol style="list-style-type: none"> 1. Sec.4.1.C.1. a&b: Approval of a variance to the articulation standards to allow for not meeting the vertical and horizontal articulation for the north and south elevations. 2. Sec. 6.8.D.5: Approval of a variance for not meeting the requirement of having a row of trees planted on the perimeter behind the building 3. Sec. 6.8.H: Approval of a variance to allow for the outdoor lighting poles to exceed the overall maximum height of 20-ft. which includes the light pole, pole base, or a combination thereof. <p>THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:</p> <ol style="list-style-type: none"> a. On & Off-Site Surface Drainage Area Map - submit with civil set. b. Proposed Utility Layout Plan - submit with civil set. c. Level 01 - Floor Plan - submit with building permit. d. Overall Location - informational only. <p>** Please address the following Planning Comments for each plan submitted</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1. Lot as depicted does not meet the minimum standards for a legal lot; minimum 60-ft frontage along a public street and a minimum of 100-ft lot depth. Submit preliminary plat concurrently with site plan. 2. Relabel all firelane as '25-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility). 3. Dumpster enclosure to be reoriented; not facing the street.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>4. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque</p> <p>5. Dumpster enclosure walls to a minimum of 8-ft in height with the exterior materials matching the primary structure</p> <p>6. Provide a minimum 10-ft landscape buffer along La Jolla Pointe Drive and label as such</p> <p>7. Variance to horizontal articulation required as noted above with recommendation from ARB and R&Z.</p> <p>Landscape Plan:</p> <p>1. Provide a row of trees behind the perimeter of the building per SOV standards</p> <p>2. Parking space not to be more than 80-ft from the trunk of a large tree. Provide minimum 3-inch caliper trees in islands at the rear of the property.</p> <p>Treescape Plan:</p> <p>1. Mitigation credit of 44 inches to be used towards mitigation balance of office and medical building sites[SP2018-024 & SP2018-025].</p> <p>Photometric Plan:</p> <p>1. Provide a separate photometric plan for each lot/development.</p> <p>2. High readings indicated on the overall plan, both at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code with re-submitting each separate lot plan</p> <p>3. Exterior light pole detail indicates pole to exceed the maximum overall height of 20-ft. Adjustment or approval of a variance required as indicated above</p> <p>Building Elevations:</p> <p>1. Requires a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration</p> <p>2. Are you using Austin Stone (natural) or Coronado Stone (manufactured) on the building. If Coronado Stone, this will require the Planning and Zoning Commission to consider an exception as per the Scenic Overlay District standards under Sec 6.8.D.1.a. This will also require ARB to make a recommendation for the Coronado stone product. This is being asked due to elevations state Austin Stone and the Materials Sample Board states Coronado Stone</p> <p>3. The screening elements exceed the overall height limitation of 36-ft, as stipulated by the SUP Ordinance. Adjustment required.</p> <p>4. Please remove the area's designated for signage. A separate permit for signage is required to be submitted and approved by the building inspections department</p> <p>*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com</p> <p>**** Scheduled Meeting Dates to Attend</p> <p>Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]</p> <p>Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]</p> <p>Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]</p> <p>Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]</p>						
PLANNING	David Gonzales	8/9/2018	8/16/2018	8/9/2018	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Should the Planning and Zoning Commission conditionally approve this site plan, the following staff comments are to be addressed and resubmitted no later than Tuesday, August 21, 2018. Please provide two large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff:

* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. The development is to comply with SUP Ordinance No. 18-20 (S-187).

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER AND REQUIRES APPROVAL OF THE CITY COUNCIL BY EITHER A SIMPLE MAJORITY VOTE OR 3/4 MAJORITY VOTE IS WITH THE SCENIC OVERLAY DISTRICT:

The following variance and excetion requests are as follows from the UDC, Article V, Sec. 4 (simple majority vote) and Sec. 6.8, Scenic Overlay (SOV) District (3/4 majority vote):

1. Sec.4.1.C.1.b: Approval of a variance to the articulation standards to allow for not meeting the vertical articulation for the north and south elevations

THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED WITH THE SITE PLAN APPLICATION THEY MUST BE REVIEWED DURING OTHER STAGES OF THE PROCESS AS NOTED:

- a. On & Off-Site Surface Drainage Area Map- submit with civil set.
- b. Proposed Utility Layout Plan- submit with civil set.
- c. Level 01 - Floor Plan - submit with building permit.
- d. Overall Location- informational only.

** Please address the following Planning Comments for each plan submitted

Site Plan:

1. Relabel all firelane as '25-ft Firelane, PUBLIC ACCESS & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).

Landscape Plan:

1. Plan meets or exceeds the intent of the UDC as submitted

Treescape Plan:

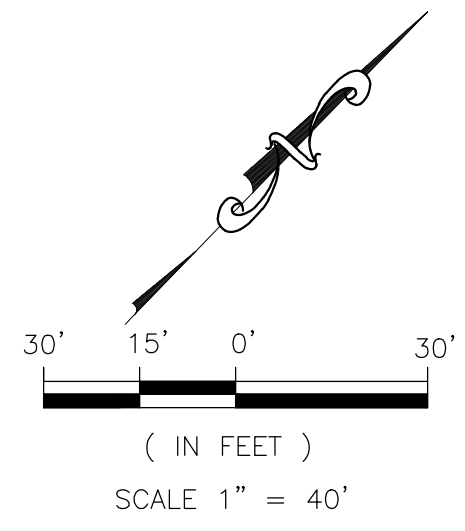
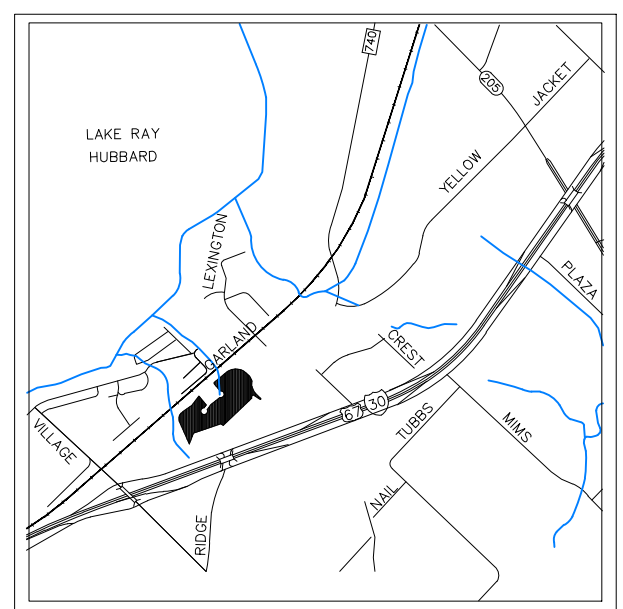
1. Plan meets or exceeds the intent of the UDC as submitted
2. Mitigation credit of 152 inches to be used towards mitigation balance of office and medical building sites[SP2018-024 & SP2018-025]. Mitigation Satisfied

Photometric Plan:

1. Adjustment needed. High readings indicated at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code.

Building Elevations:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
1. Requires a recommendation from the Architectural Review Board(ARB) forwarded to the Planning and Zoning Commission for consideration						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
**** Scheduled Meeting Dates to Attend						
Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						
PLANNING	David Gonzales	9/20/2018	9/27/2018	9/20/2018	COMMENTS	See comments
* Planning Department General Comments to Acknowledge and Addressed:						
1. Adherence to Engineering and Fire Department standards shall be required.						
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.						
3. The development is to comply with SUP Ordinance No. 18-20 (S-187).						
4. The revised building elevations requie a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission (see scheduled below for meeting times).						
THE FOLLOWING PLANS RECEIVED WERE NOT REVIEWED OR ARE APPROVED WITH THE SITE PLAN APPLICATION.						
a. On & Off-Site Surface Drainage Area Map - submit with civil set.						
b. Proposed Utility Layout Plan - submit with civil set.						
c. Level 01 - Floor Plan - submit with building permit.						
d. Overall Location - informational only.						
** Please address the following Planning Comments for each plan submitted:						
Photometric Plan:						
1. Adjustment needed. High readings indicated at the property line and the internal lots. Review City standards under Section 3, Article VII Environmental Performance, of the Unified Development Code.						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
**** Scheduled Meeting Dates to Attend ****						
Architectural Review Board: September 25, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: September 25, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						



VICINITY MAP
N.T.S.

- SITE NOTE:**
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE W/ADA STANDARDS
 - SITE PLAN IS FOR INFORMATIONAL PURPOSE ONLY, NOT FOR CONSTRUCTION DOCUMENT.
 - ALL PARKING STALLS SHALL BE 9'x20' AND HANDICAP STALLS SHALL BE 11'x20'. OTHER ACCESS AISLES ADJACENT TO HANDICAP PARKING SHALL BE 5' WIDE x 20'.
 - BUILDING OR PORTIONS OF BUILDINGS OR FACILITIES THREE OR MORE STORIES OR 30 FEET OR MORE IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH A FIRE LANE A MINIMUM OF 15- FEET TO A MAXIMUM OF 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING

NOTE:

LOCATION AND TYPES OF ALL SIGNS, INCLUDING LIGHTING AND HEIGHTS TO INDICATE THE REQUIREMENT FOR A SEPARATE SIGN PERMIT

LINE TABLE-TRACT 1

LINE	LENGTH	BEARING
L1	16.55'	S31°45'06"W
L2	54.85'	S32°44'34"W
L3	21.02'	S46°35'35"E
L4	53.85'	N11°25'50"E
L5	39.79'	S02°17'03"E
L6	40.07'	N09°07'31"W
L7	47.21'	N25°33'01"W
L8	40.86'	N17°26'21"E
L9	39.60'	N38°12'59"E
L10	26.44'	N12°08'16"E

LEGEND

	PROPOSED WTR. LINE	RF	REBAR FOUND
	PROPOSED S.S. LINE	CRS	CAPPED REBAR SET
	PROPERTY LINE	IRR	IRON ROD FOUND
	EASEMENT LINE	IRS	IRON ROD SET
	STORM SEWER LINE	UTIL.	UTILITY
	IRON ROD	ESMT.	EASEMENT
	PROPOSED SANITARY MANHOLE	EX.	EXISTING
	EXISTING SANITARY MANHOLE	WTR.	WATER LINE
	EXISTING FIRE HYDRANT	EX.MH.	EXISTING SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT	B.L.	BUILDING SETBACK LINE
	PROPOSED SITE LIGHTING 20' HT. MAX.	R.O.B.	RIGHT OF WAY
	INDICATE PARKING NO.		
	INDICATE CURB INLET		

LOT INFORMATION

LOT 5 - PHASE I

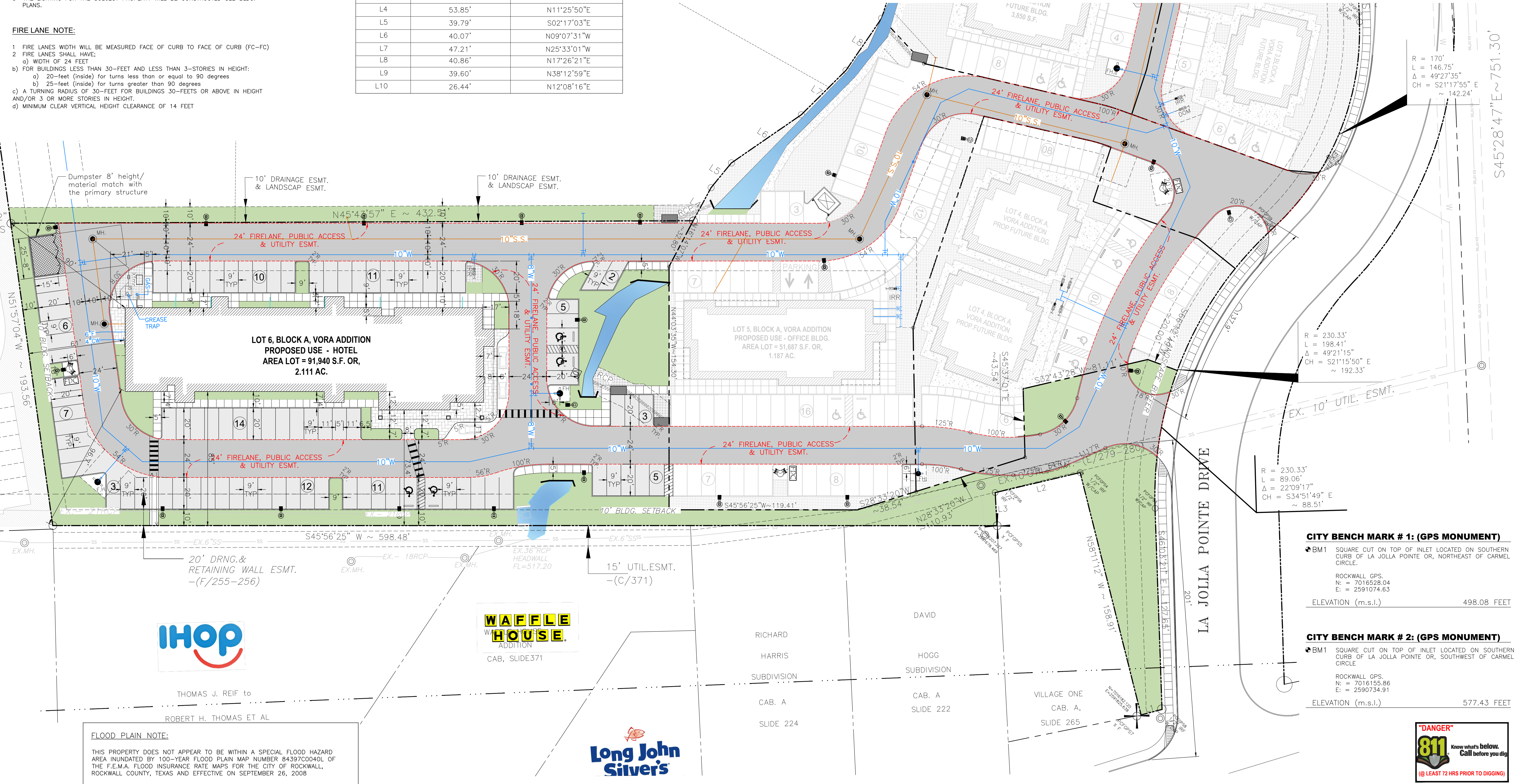
AREA LOT = 91,940 S.F. (2.111 AC.)
TOTAL BLDG. AREA = 37,130 S.F.
PROPOSED = AVID HOTEL, 87 RM. 3-STORY

PARKING REQUIREMENTS

PARKING RATIO = 1 SP/1 UNIT
TOTAL PARKING REQUIRED = 87 SP

TOTAL PARKING PROVIDED = 87 SP
HANDICAP PARKING REQUIRED = 4 SP
SURFACE PARKING PROVIDED = 83 SP

- SITE PLAN NOTE:**
- FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARD.
 - ALL SIGNAGE BY SEPARATE PERMIT.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS. AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED SEE BLDG. PLANS.
- FIRE LANE NOTE:**
- FIRE LANES WIDTH WILL BE MEASURED FACE OF CURB TO FACE OF CURB (FC-FC)
 - FIRE LANES SHALL HAVE:
 - WIDTH OF 24 FEET
 - FOR BUILDINGS LESS THAN 30- FEET AND LESS THAN 3- STORIES IN HEIGHT:
 - 20- feet (inside) for turns less than or equal to 90 degrees
 - 25- feet (inside) for turns greater than 90 degrees
 - A TURNING RADIUS OF 30- FEET FOR BUILDINGS 30- FEET OR ABOVE IN HEIGHT AND/OR 3 OR MORE STORIES IN HEIGHT.
 - MINIMUM CLEAR VERTICAL HEIGHT CLEARANCE OF 14 FEET



SITE PLANS SET

REVISION

NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.

SITE PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS

17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9851
TX T.B.P.E. REGISTRATION # F-008974
T.B.P.L.S. FIRM REGISTRATION # 100433



SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS

PROJECT NO. 21737.VPR

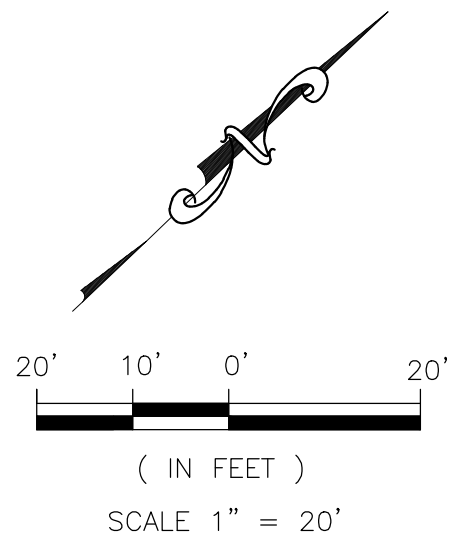
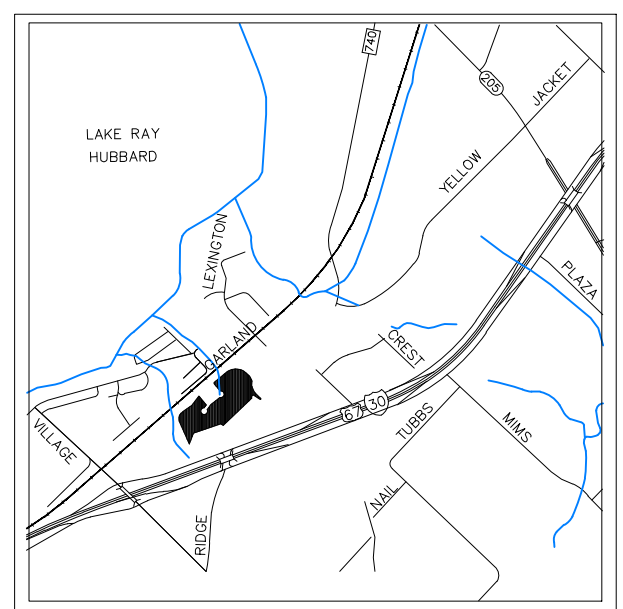
DATE: AUGUST 21, 2018

SHEET: C-01



NO.	DATE	BY
1	18-08-07	PSS
2	18-08-21	PSS

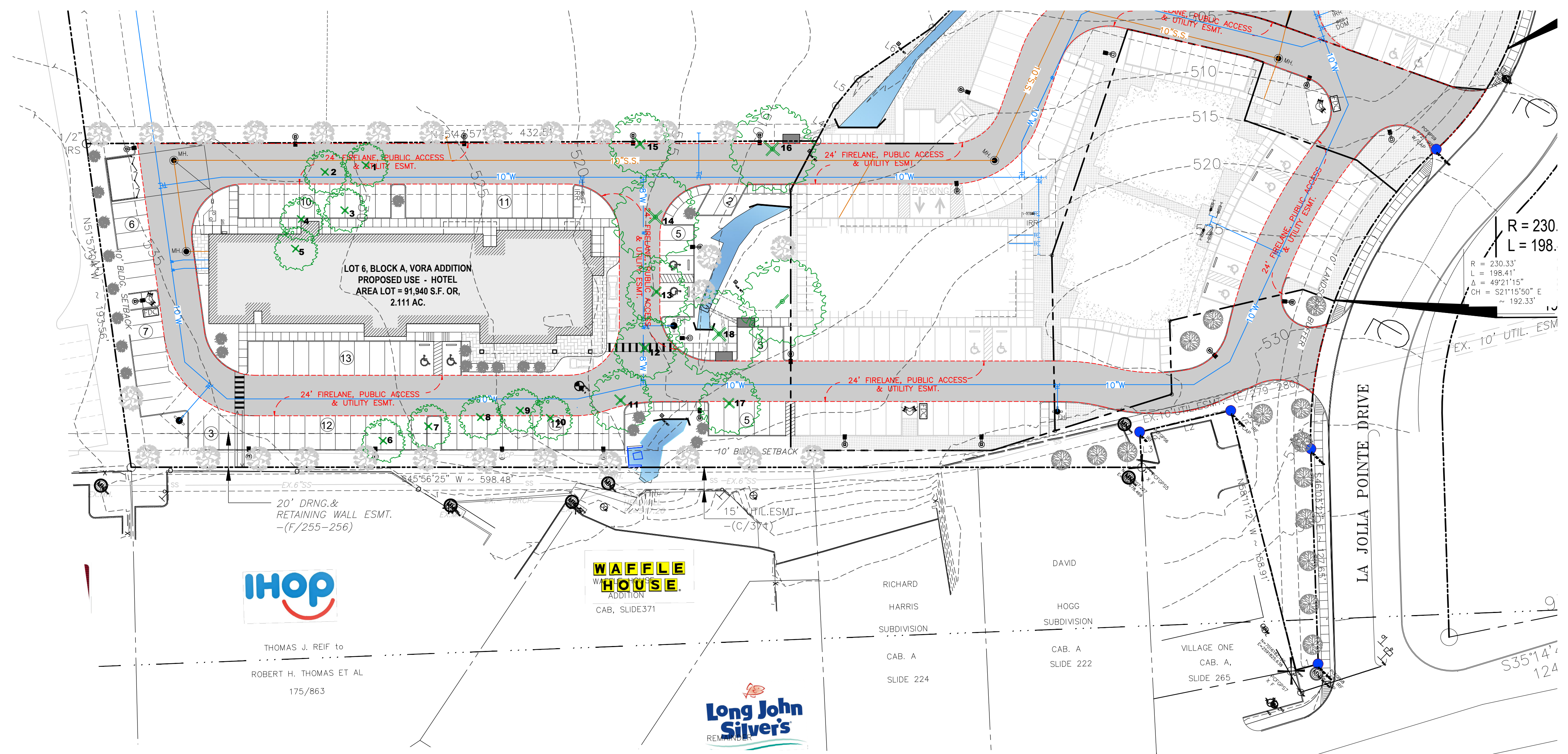
REMARK: REVISION CLOUD MAY NOT APPEAR ON ALL DRAWING SHEETS.



VICINITY MAP
N.T.S.

PROTECTED TREE SURVEY

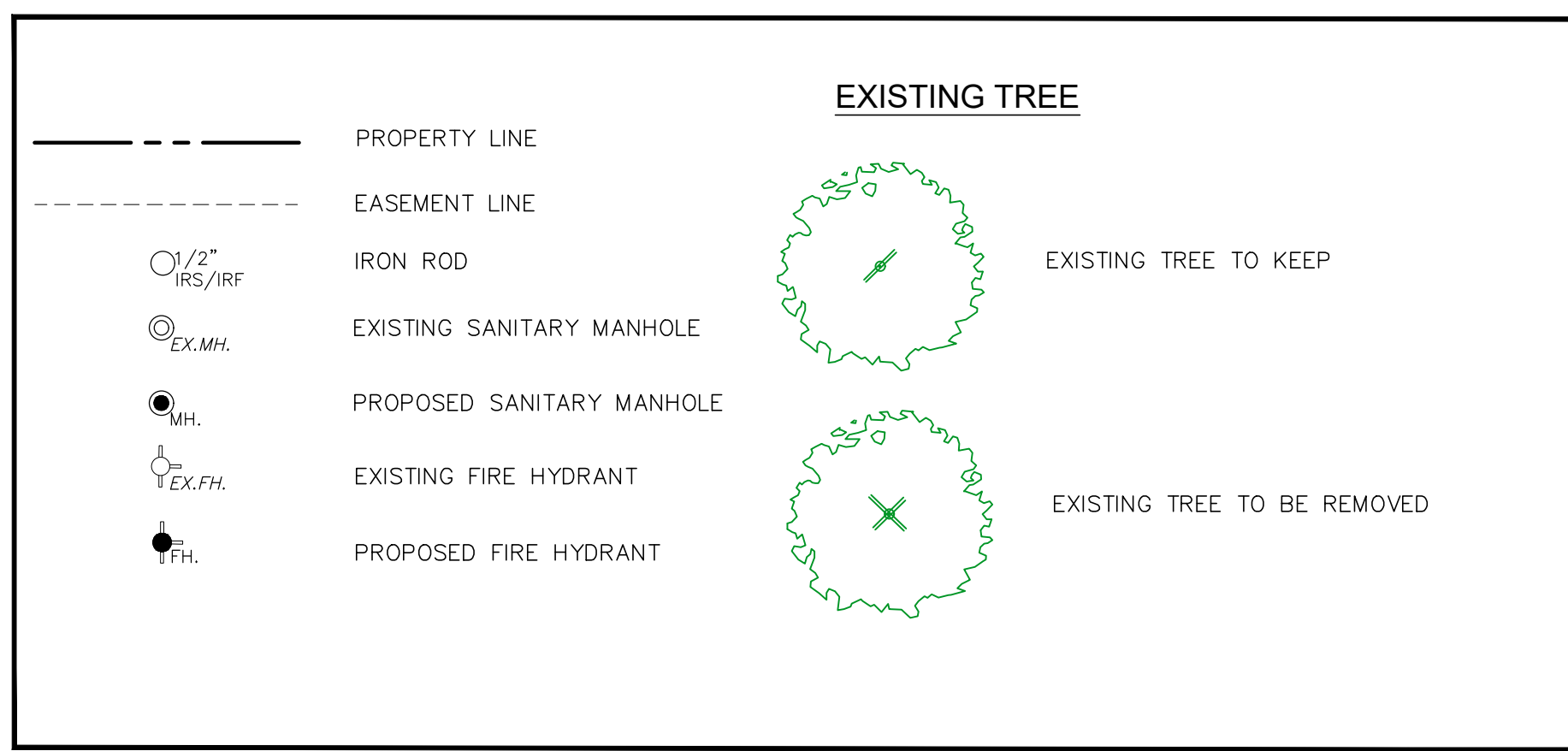
TAG	DBH	COMMON NAME	BOTANICAL NAME
1	6"	WHITE OAK	QUERCUS ALBA
2	6"	WHITE OAK	QUERCUS ALBA
3	6"	WHITE OAK	QUERCUS ALBA
4	6"	WHITE OAK	QUERCUS ALBA
5	6"	LIVE OAK	QUERCUS VIRGINIANA
6	6"	LIVE OAK	QUERCUS VIRGINIANA
7	6"	WHITE OAK	QUERCUS ALBA
8	6"	WHITE OAK	QUERCUS ALBA
9	6"	WHITE OAK	QUERCUS ALBA
10	6"	WHITE OAK	QUERCUS ALBA
11	15"	WHITE OAK	QUERCUS ALBA
12	12"	WHITE OAK	QUERCUS ALBA
13	10"	LIVE OAK	QUERCUS VIRGINIANA
14	10"	LIVE OAK	QUERCUS VIRGINIANA
15	10"	WHITE OAK	QUERCUS ALBA
16	10"	WHITE OAK	QUERCUS ALBA
17	11"	WHITE OAK	QUERCUS ALBA
18	10"	WHITE OAK	QUERCUS ALBA
148" TOTAL INCHES OF TREE REMOVED-100% REPLACEMENT RATIO			
-44" TOTAL INCHES OF MITIGATION CREDIT			
104" TOTAL INCHES OF TREE REPLACEMENT REQUIRED			
358" TOTAL INCHES OF TREE REPLACEMENT PROVIDED			



TREE REPLACEMENT

SIZE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING/REMARKS
14	1	LITTLE GEM MAGNOLIA TREE	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	6" CAL.	AS SHOWN
28	1	RED OAK TREE	QUERCUS BUCKLEYI	6" CAL.	AS SHOWN
22	1	EASTERN RED BUD	CERCIS CANADENSIS	3" CAL.	AS SHOWN

LEGENDS:



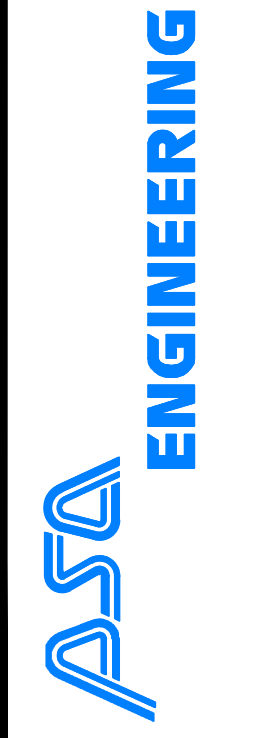
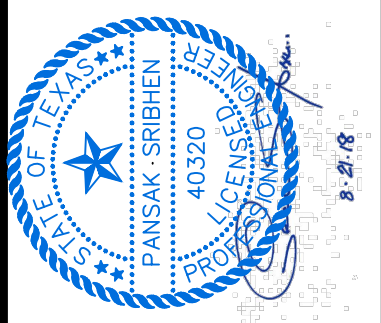
FLOOD PLAIN NOTE:
THIS PROPERTY DOES NOT APPEAR TO BE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PLAIN MAP NUMBER 84397C0040L OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND EFFECTIVE ON SEPTEMBER 26, 2008.

IRRIGATION PLANS AND DESIGN SHALL BE PART OF LANDSCAPING CONTRACT AND TO BE SUBMITTED WITH LANDSCAPE AND IRRIGATION PERMITS.



TREE PRESERVATION PLAN

FOR
DFW HOSPITALITY OF ROCKWALL LLC
CITY OF ROCKWALL, TEXAS



17819 DAVENPORT ROAD, SUITE 215
DALLAS, TEXAS 75252
(972) 248-9651
TX T.B.P.E. REGISTRATION # F-006974
T.B.P.L.S. FIRM REGISTRATION # 100433

SCALE: AS SHOWN
DESIGNED: PSS
DRAWN: PSA
CHECKED: PSS
PROJECT NO. 21737.VPR
DATE: AUGUST 21, 2018
SHEET: L-02