



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2018021 P&Z DATE 8/14/18 CC DATE 8/20/2018 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECIEPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2018-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2400 Wagon Wheel Dr.

Subdivision Lofland Farms

Lot 22 Block B

General Location Wagon Wheel Dr. to Hazel Glen

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Lofland Farms Estates HOA

Applicant Ellis Little Masix Construction LLC

Contact Person David Johnston

Contact Person Ellis Little

Address 5212 Tennyson Pkwy Ste 130

Address 1121 E Spring Creek Pkwy

City, State & Zip PLANO, TX 75024

City, State & Zip PLANO, TX 75074

Phone 972-992-3444

Phone 214 274 7505

E-Mail djohnston@spectrum.com

E-Mail ellis@masixconstruction.com

NOTARY VERIFICATION [REQUIRED]

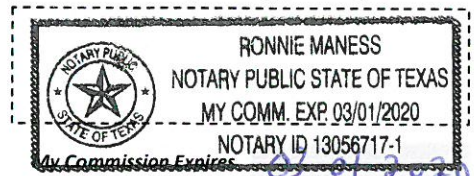
Before me, the undersigned authority, on this day personally appeared Ellis Little [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following: Ellis Little

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of July, 2018. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of July, 2018.

Owner's/Applicant's Signature *[Signature]*

Notary Public in and for the State of Texas *[Signature]*





**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 7/16/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 07/27/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 7/31/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 7/31/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2018-021
Project Name: Lofland Farms
Project Type: SITE PLAN
Applicant Name: ELLIS LITTLE MASIX CONSTRUCTION LLC
Owner Name: LOFLAND, FARMS OWNERS ASSOC.
Project Description:



RECEIPT

Project Number: SP2018-021
Job Address: 2400 WAGONWHEEL DR
ROCKWALL, TX 75032

Receipt Number: B81003

Printed: 7/16/2018 3:29 pm

Fee Description	Account Number	Fee Amount
CREDIT CARD PROCESSING FEE	01-4015	\$ 2.00
SITE PLANNING	01-4280	\$ 100.00

Total Fees Paid:

\$ 102.00

Date Paid: 7/16/2018 12:00:00AM

Paid By: ELLIS LITTLE MASIX CONSTRUCTIO

Pay Method: VISA

Received By: LM



September 21, 2018

ATTN: ELLIS LITTLE
ELLIS LITTLE MASIX CONSTRUCTION LLC
1121 E. SPRING CREEK PKWY, SUITE 110-220
Plano, TX 75074

RE: AMENDING SITE PLAN (SP2018-021), Lofland Farms

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 08/14/2018. The following is a record of all recommendations, voting records and conditions of approval:

ARCHITECTURAL REVIEW BOARD

On July 31, 2018 the Architectural Review Board's (ARB's) motion to recommend approval of the building elevations passed by a vote of 7-0.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;*
- 2) Must meet the masonry requirements of the Planned Development District 45 (PD-45) development standards.*
- 3) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, Planned Development District 45 (PD-45), the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

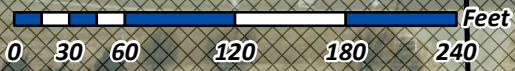
PLANNING AND ZONING COMMISSION:

On August 14, 2018, the Planning and Zoning Commission's motion to approve the site plan with staff recommendations passed by a vote of 5-0 with Commissioners Fishman and Moeller absent.

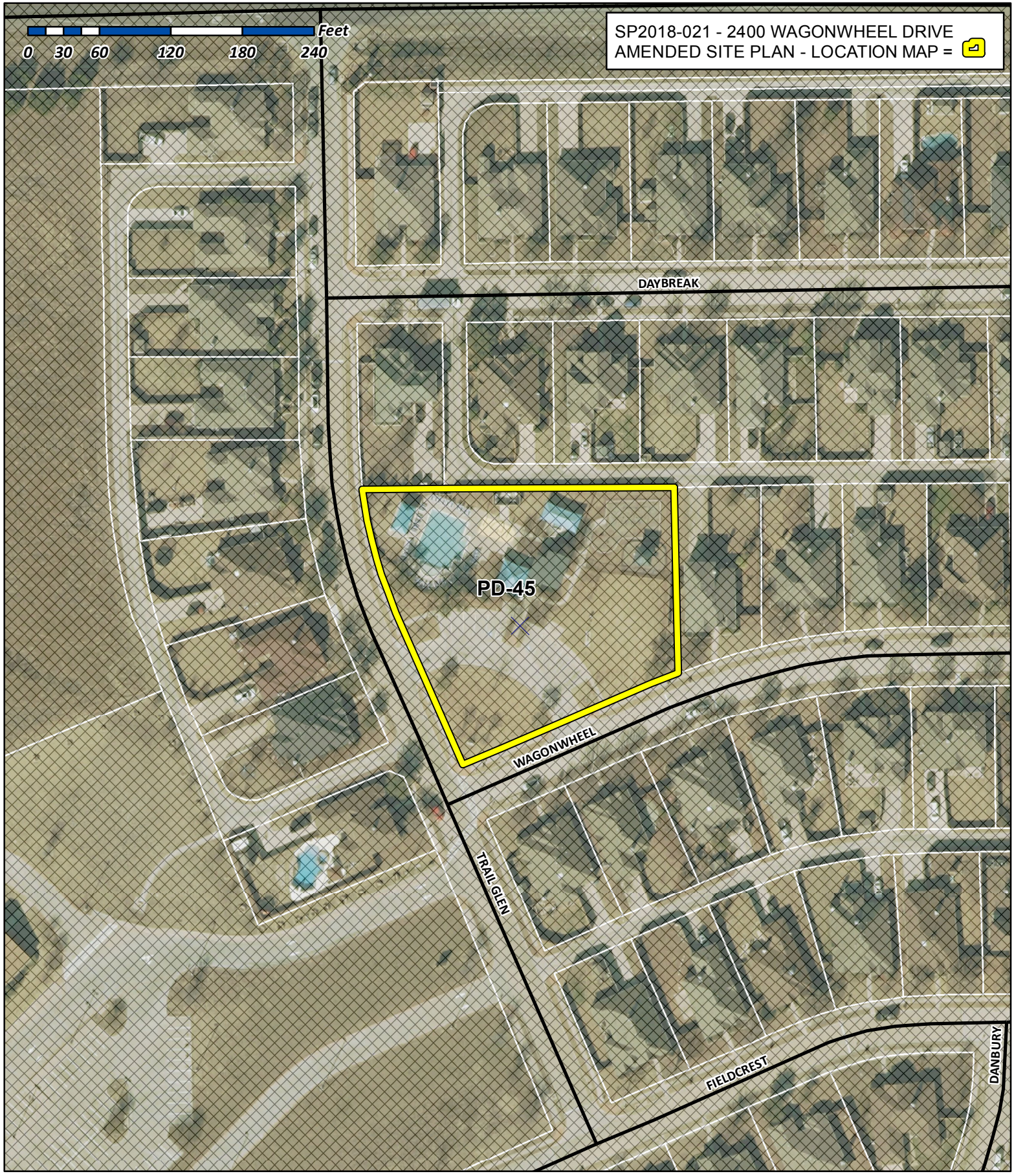
For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

Korey Brooks, AICP
Planner
Planning & Zoning Department
City of Rockwall, TX



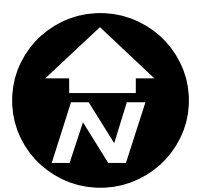
SP2018-021 - 2400 WAGONWHEEL DRIVE
AMENDED SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17

DRAWING SCHEDULE				
SHEET	NAME	SHEET ISSUE DATE	REVISION NAME	REVISION NUMBER
A0.0	COVER	12/07/17		
A0.1	GENERAL INFORMATION	04/26/18	REV. 01	1
A0.2	GENERAL INFORMATION	12/07/17		
A0.3	SURVEY	12/07/17		
A0.4	SITE PLAN	04/26/18	REV. 01	1
A0.5	RESTROOM PLANS, ELEVS., & DETAILS	12/07/17		
A1.1	FLOOR PLAN	04/26/18	REV. 01	1
A1.2	ROOF PLAN	12/07/17		
A2.1	BUILDING ELEVATIONS	04/26/18	REV. 01	1
A3.1	BUILDING SECTIONS	04/26/18	REV. 01	1
A3.2	WALL SECTIONS	04/26/18	REV. 01	1
A3.3	WALL SECTIONS	04/26/18	REV. 01	1
A3.4	WALL SECTIONS	04/26/18	REV. 01	1
A4.1	WINDOW & DOOR SCHEDULE	04/26/18	REV. 01	1
E0.1	ELECTRICAL PLAN	04/26/18	REV. 01	1
S1	GENERAL ENGINEERING NOTES, DETAILS, & SCHEDULES	11/20/17		
S2	FOUNDATION PLAN	11/20/17		
S3	ROOF FRAMING PLAN	11/20/17		
S4	STRUCTURAL SECTIONS & DETAILS	11/20/17		

SCOPE OF PROJECT

THIS SET OF DOCUMENTS DESCRIBES THE CONSTRUCTION OF A NEIGHBORHOOD CLUBHOUSE AND SEPARATE, UNCONDITIONED POOL BATHROOMS.

LEGAL DESCRIPTION

LOT 22, BLOCK B OF LOFLAND FARMS, PHASE I, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, PAGE 285 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

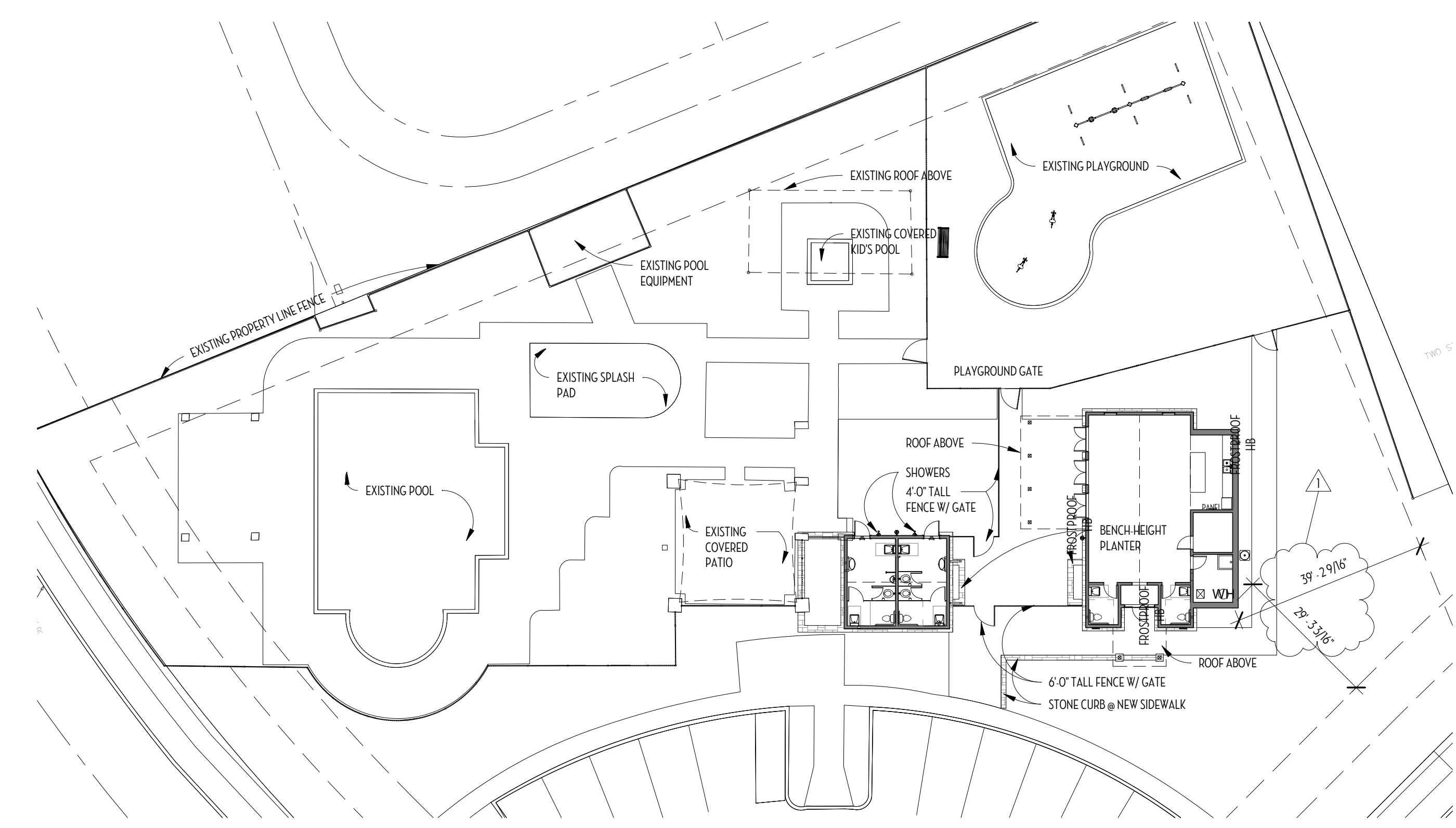
GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION, PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION.
- "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS: THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 4' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE BUILDING PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L., WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.
- ANY FILL OR GRADING MATERIAL IMPORTED INTO THE SITE SHALL COMPLY WITH "WHITE SAND PROTECTION ZONE" REQUIREMENTS

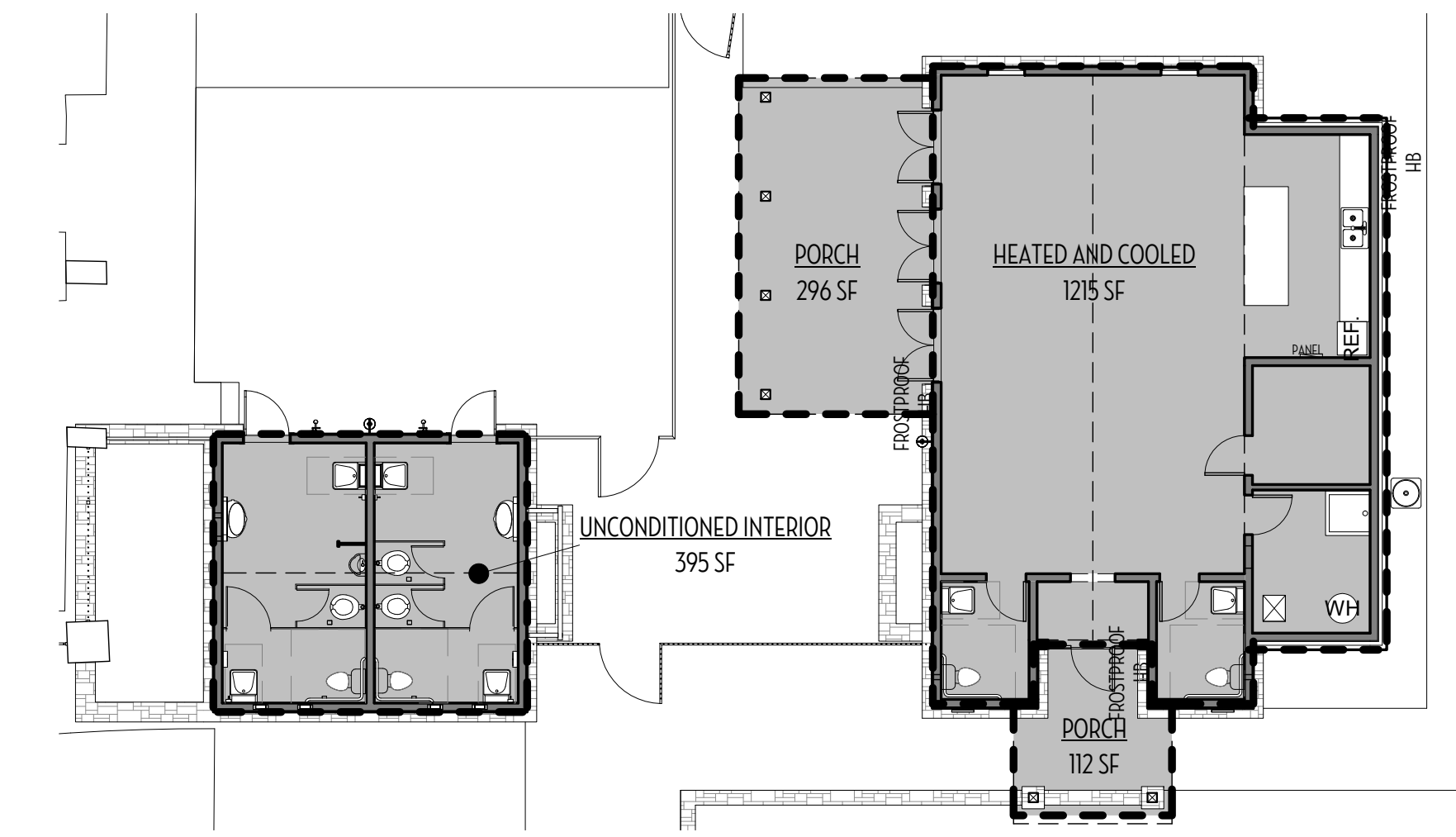
ABBREVIATIONS

A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
AF	ABOVE FINISHED FLOOR	ISA	INT'L SYMBOL OF ACCESSIBILITY
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ALUM	ALUMINUM	MAX	MAXIMUM
B/W	BETWEEN	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CMT	CENTER LINE	MTD	MOUNTED
CT	CERAMIC MOSAIC TILE	NO	NUMBER
CL	CERAMIC TILE	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	OC	ON CENTER
CJ	CONTROL JOINT	OH	OVERHEAD
DR	DOOR	PL	PLATE
ELEV	ELEVATION	PLFIN	PREFINISHED
EW	EACH WAY	PT	PRESSURE TREATED
EWC	ELECTRIC WATER COOLER	RL	RAIN LEADER
EQ	EQUAL	REIN	REINFORCED
EXIST	EXISTING	SS	STAINLESS STEEL
EXT	EXTERIOR	THK	THICK
FIN	FINISH	THR	THRESHOLD
FF	FINISHED FLOOR	T&B	TOP AND BOTTOM
FACP	FIRE ALARM CONTROL PANEL	TYP	TYPICAL
FEX	FIRE EXTINGUISHER	VERT	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	WC	WATER CLOSET
FD	FLOOR DRAIN	WD	WOOD
FRP	FIRE RETARDANT PAINT	WWF	WELDED WIRE FABRIC
GALV	GALVANIZED	W/	WITH
GC	GENERAL CONTRACTOR	XTR	EXISTING TO REMAIN
GWB	GYPSPUM WALLBOARD		
HC	HANDICAPPED		
HM	HOLLOW METAL		

THESE PLANS AND THE IDEAS AND CONCEPTS CONTAINED HEREIN INCLUDING DIGITAL INFORMATION ARE THE PROPERTY OF MCWHORTER VALLEE REESE DESIGN INC. AND ARE NOT TO BE REPRODUCED, COPIED, MODIFIED, OR CHANGED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF MCWHORTER VALLEE REESE DESIGN INC.

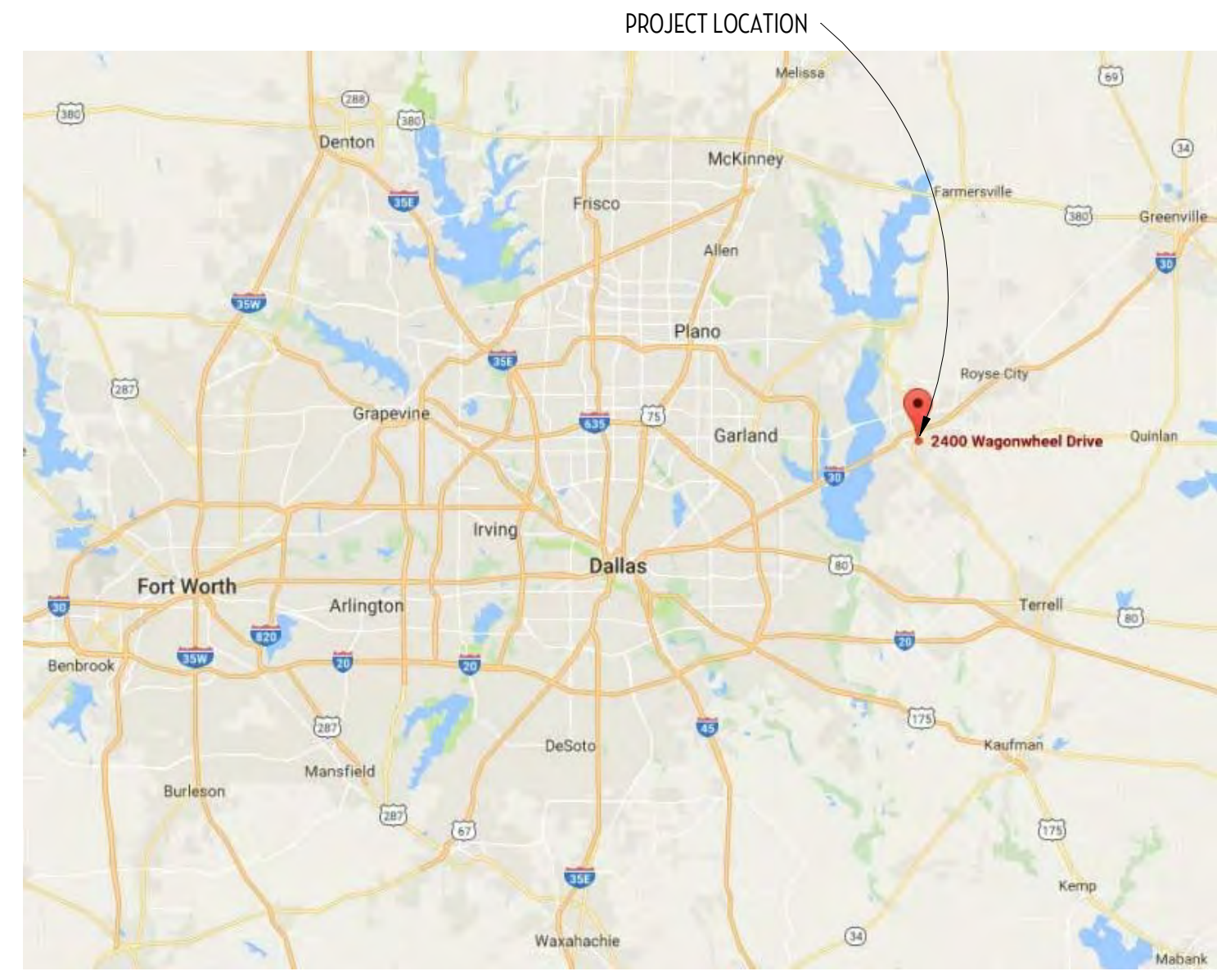
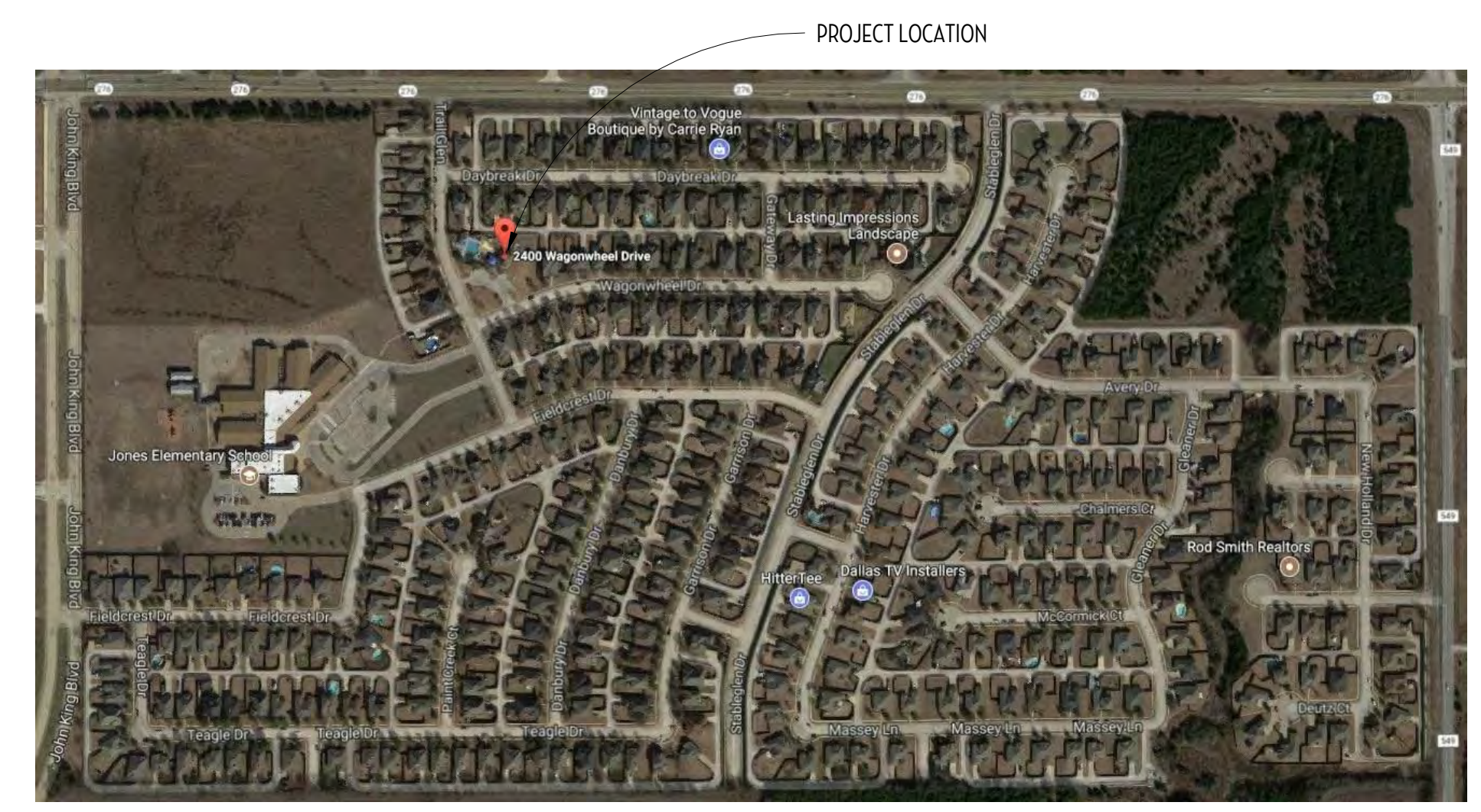


1 SITE DIAGRAM
1" = 20'-0"



2 AREA PLAN
3/32" = 1'-0"

AREA PLANS		
NAME	LEVEL	AREA
HEATED AND COOLED	FIRST FLOOR	1215 SF
		1215 SF
PORCH	FIRST FLOOR	408 SF
		408 SF
UNCONDITIONED INTERIOR	FIRST FLOOR	395 SF
		395 SF
TOTAL AREA		2018 SF

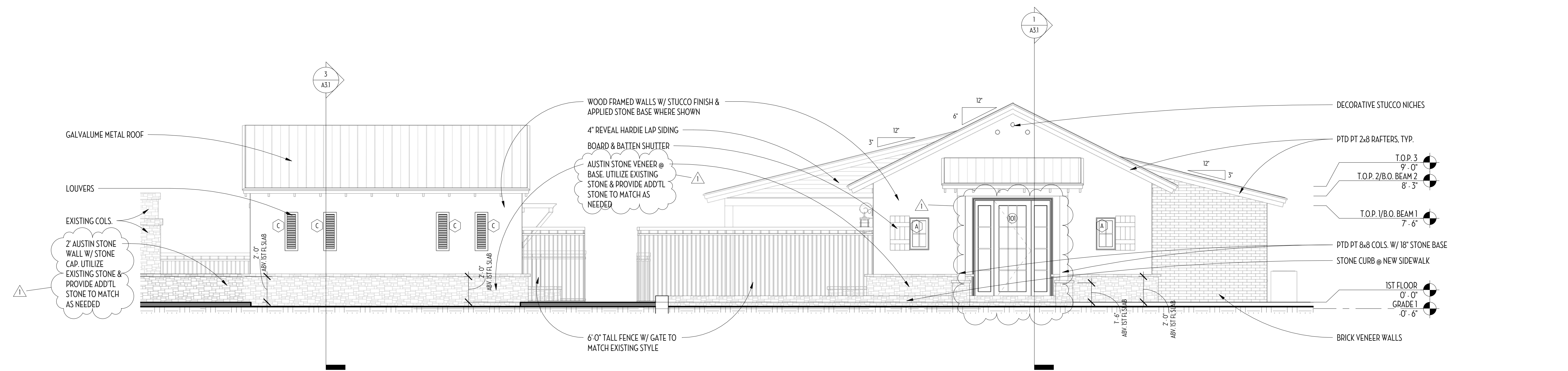


DATE	DISTRIBUTION
06-29-17	ISSUED FOR REVIEW
09-29-17	ISSUED FOR REVIEW
10-17-17	ISSUED FOR REVIEW
12-07-17	ISSUED FOR PERMIT

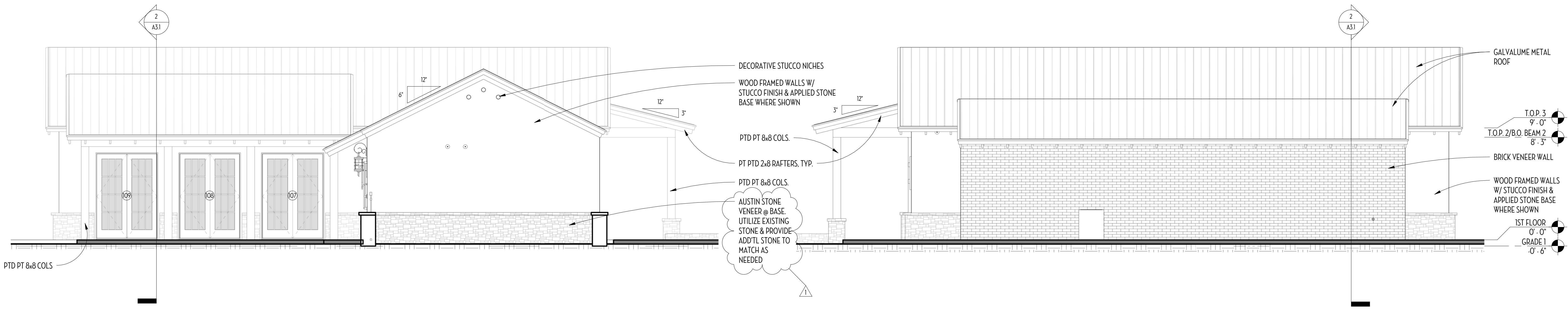
PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE: **BUILDING ELEVATIONS**
SHEET SCALE: 1/4" = 1'-0"

JOB No.: 1718
DATE: 04/26/18
DRAWN BY: NS
CHECKED BY: AJV

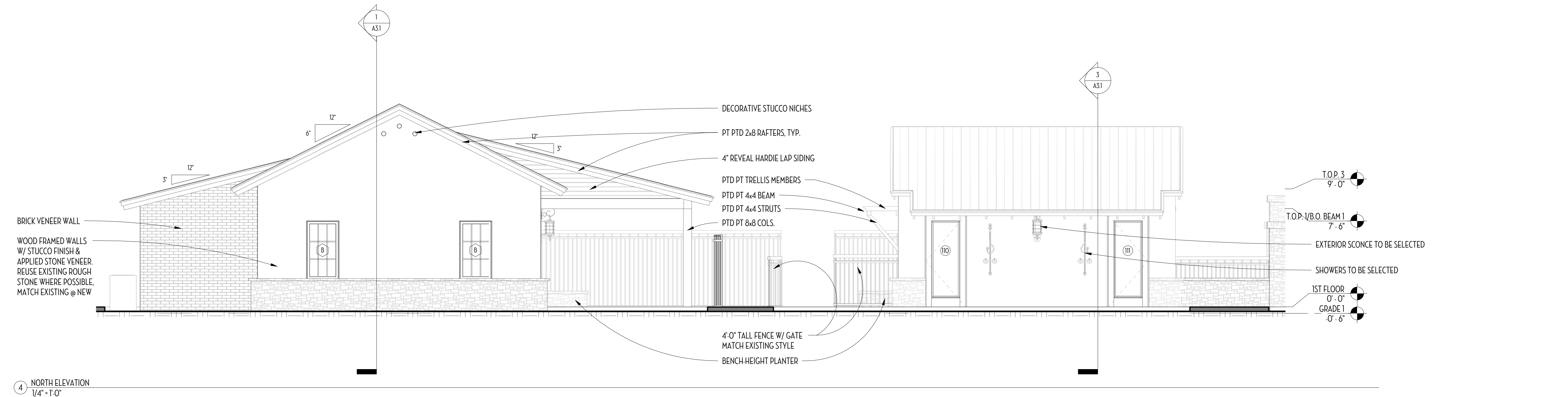


1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

3 EAST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"

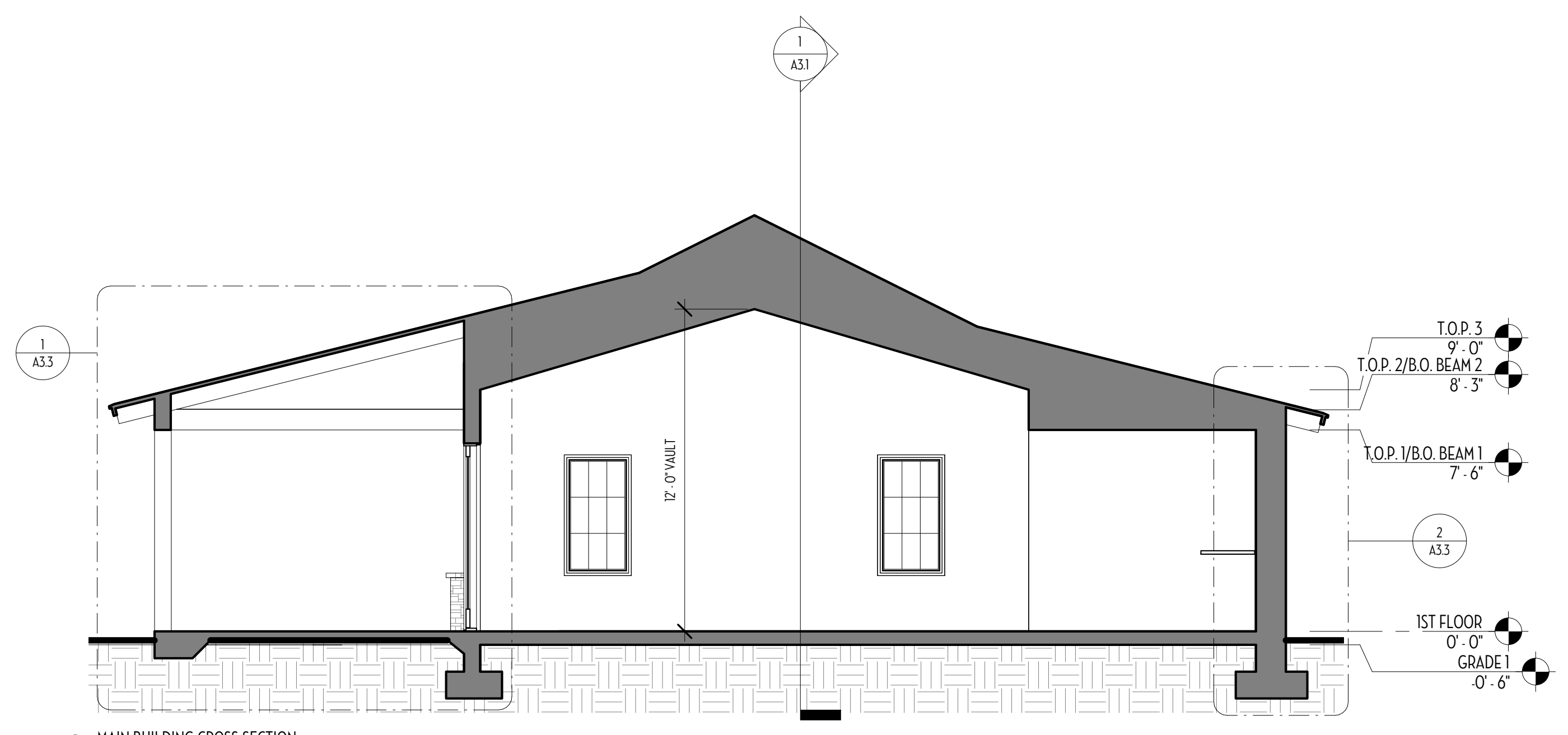
DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
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PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

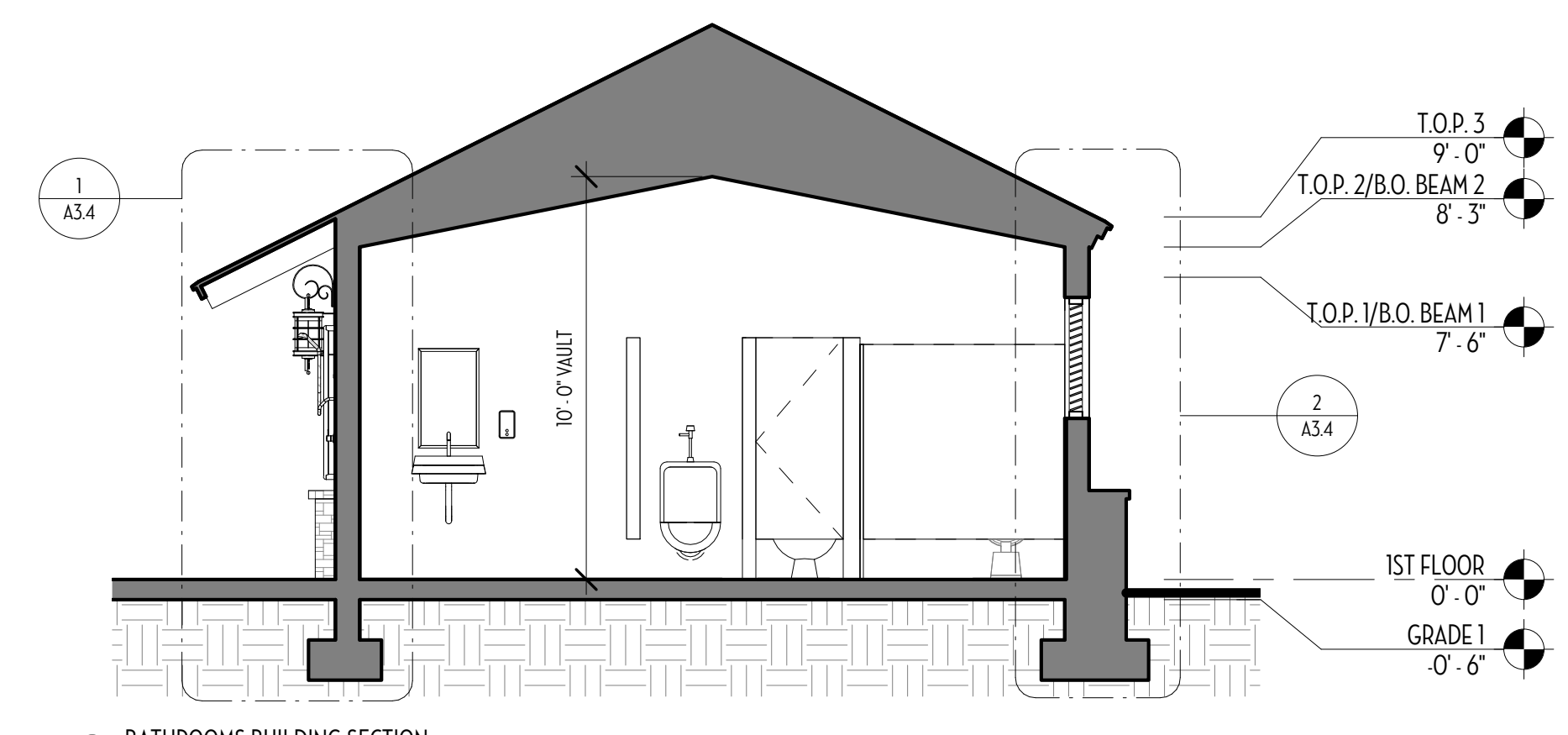
SHEET TITLE: **BUILDING SECTIONS**
SHEET SCALE: 1/4" = 1'-0"
JOB No.: 1718
DATE: 04/26/18
DRAWN BY: NS
CHECKED BY: AJV



1 MAIN BUILDING LONGITUDINAL SECTION
1/4" = 1'-0"



2 MAIN BUILDING CROSS-SECTION
1/4" = 1'-0"



3 BATHROOMS BUILDING SECTION
1/4" = 1'-0"

- GENERAL SECTION NOTES:**
- AT STUCCO OVER WOOD FRAME CONDITIONS:
- (3) COAT STUCCO
- SELF-FURRING LATH
- BENJAMIN OBDYKE SLICKER MAX
- BENJAMIN OBDYKE FLATWRAP UV
- INSTALL ALL COMPONENTS PER MFR. RECOMMENDATIONS FOR SYSTEM WARRANTY
 - DEFER TO STRUCTURAL FOR ALL STRUCTURAL CONNECTIONS, SIZES, AND LOCATIONS.
 - OPEN CELL FOAM INSULATION, R-20 MIN, TYP IN ROOFS.
 - BALLOON FRAME GABLE END WALLS, TYP. 2x6 STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING & 2x6 BLOCKING @ EA-SHEATHING JOINT.
 - AUSTIN STONE VENEER BASE & SITE WALLS. UTILIZE EXISTING STONE & PROVIDE ADD'L STONE TO MATCH AS NEEDED

CD
A

4639 Gulf Starr Drive
Destin, Florida 32541
Tel: 850.837.4654
Fax: 850.654.2000

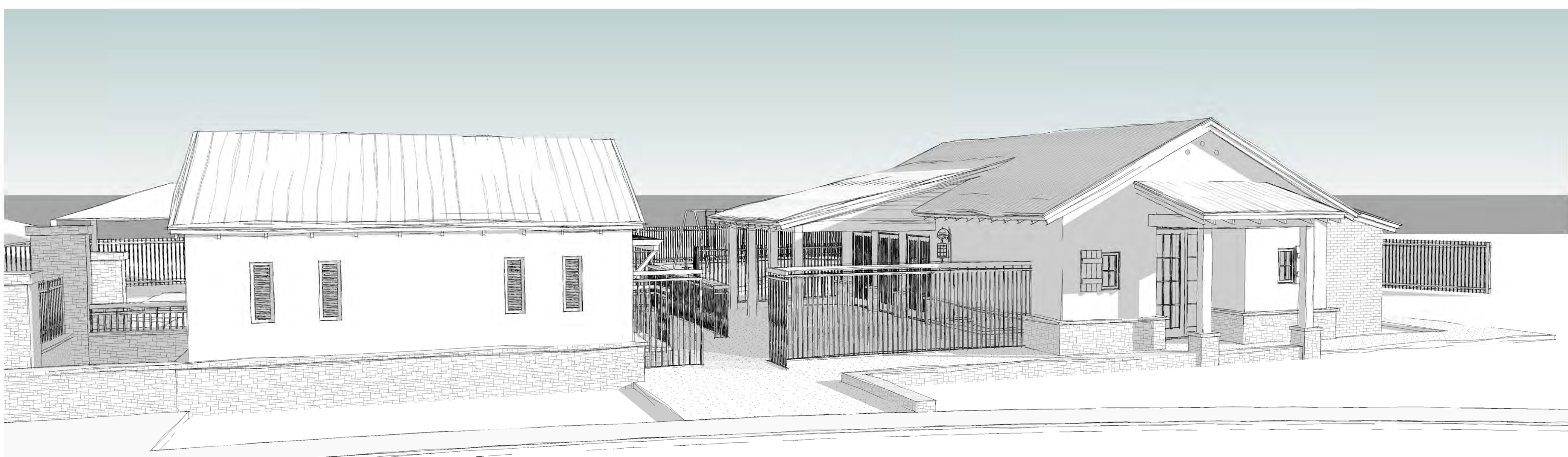
Anthony J. Vallee,
Architect
TX. 26308

Texas #BR2691

a complete engineering &
construction management
company
TELEPHONE: (850) 837-7454 (ENGR.)
TELEPHONE: (850) 837-7456 (NSP.)
FAX: (850) 654-2000
Texas Firm Number: #10948

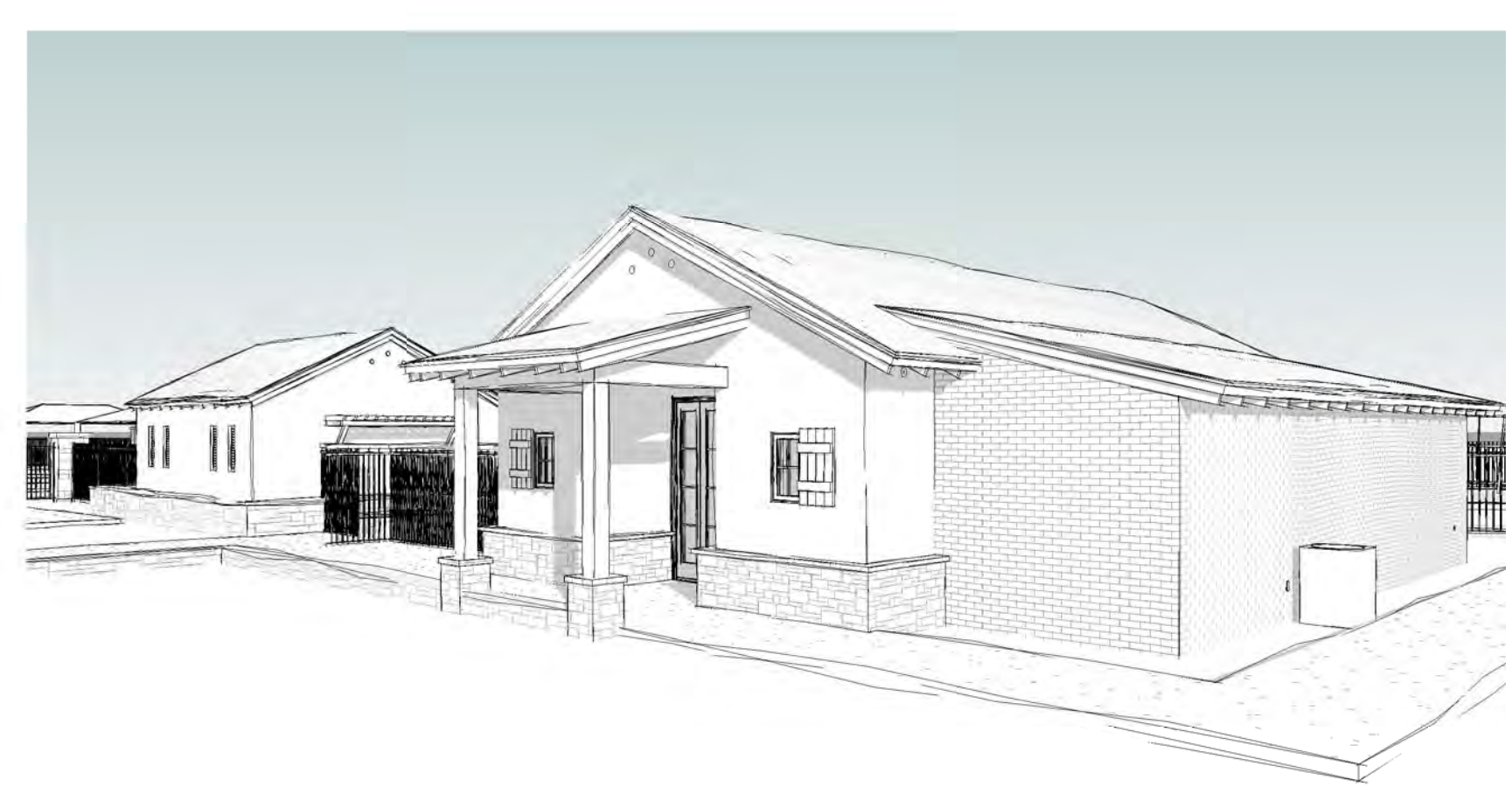
FCM
4639 GULF STARR DRIVE
DESTIN, FLORIDA 32541
E-MAIL: ecm@fcmanagement.com
John H. Edmund, PE
Texas #110897

DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17



Lofland Farms Clubhouse

2400 Wagonwheel Drive
Rockwall, Texas



PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE:
COVER

JOB No.: 1718
DATE: 12/07/17
DRAWN BY: NS
CHECKED BY: AJV

SHEET SCALE:
A0.0

City of Rockwall Project Plan Review History



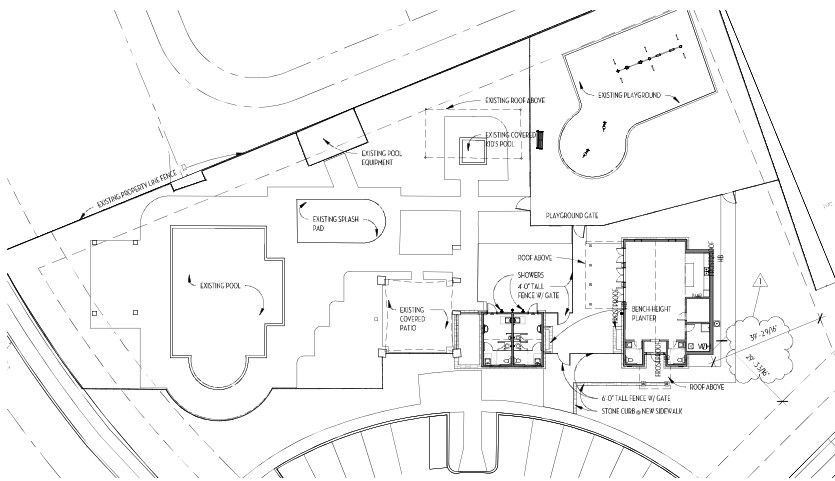
Project Number SP2018-021	Owner LOFLAND, FARMS OWNERS ASSOC.	Applied 7/16/2018 LM
Project Name Lofland Farms	Applicant ELLIS LITTLE MASIX CONSTRUCTION LLC	Approved
Type SITE PLAN		Closed
Subtype AMENDING		Expired
Status Staff Review		Status

Site Address 2400 WAGONWHEEL DR	City, State Zip ROCKWALL, TX 75032	Zoning
---	--	---------------

Subdivision LOFLAND FARMS PH 1	Tract 22	Block B	Lot No 22	Parcel No 4316-000B-0022-00-OR	General Plan
--	--------------------	-------------------	---------------------	--	---------------------

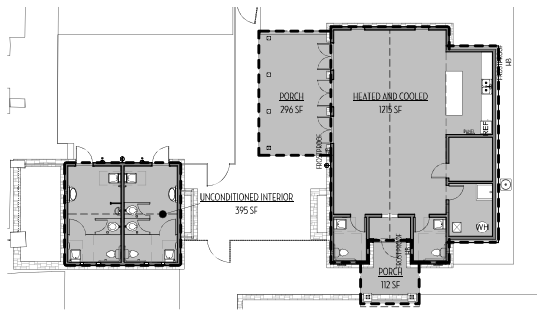
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/16/2018	7/23/2018	7/19/2018	3	APPROVED	
ENGINEERING (7/25/2018 4:48 PM SH) - Upsizing water meters? - Using existing plumbing? - Need to show existing water, sewer, and storm.	Sarah Hager	7/16/2018	7/23/2018	7/25/2018	9	COMMENTS	
FIRE (7/19/2018 1:55 PM AA) Approved, unobstructed fire department access (fire lanes) shall be provided such that all portions of the exterior of the building shall be within 150-feet (as the hose lays) of a fire lane and/or other approved fire apparatus access roadway. The path of measurement shall be along a minimum of a ten feet (10') wide unobstructed pathway. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.	Ariana Hargrove	7/16/2018	7/23/2018	7/19/2018	3	COMMENTS	see comments
GIS	Lance Singleton	7/16/2018	7/23/2018	7/19/2018	3	APPROVED	
PLANNING	Korey Brooks	7/16/2018	7/23/2018	7/27/2018	11	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2018-021 Site Plan Lofland Farms						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request by Ellis Little of Ellis Little Masix Construction, LLC on behalf of David Johnston of the Lofland Farms Estates Homeowner's Association (HOA) for the approval of a site plan for an amenities center on a 1.0521-acre parcel of land identified as Lot 22, Block B, Lofland Farms, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2400 Wagon Wheel Drive.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2018-021) in the lower right hand corner of all pages on future submittals.						
I.4 Please provide material percentages						
The building is allowed up to 50% stucco per façade. It seems that you will need a variance.						
There is a 20% natural stone requirement per façade.						
Please provide North arrow and scale.						
I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 7, 2018. The Planning and Zoning Worksession for this case is July 31, 2018. The Planning and Zoning Meeting for this case is August 14, 2018.						
I.6 The projected City Council meeting date and subsequent approval for this request is August 20, 2018 , if needed.						



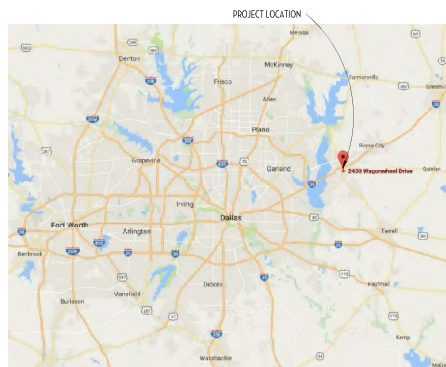
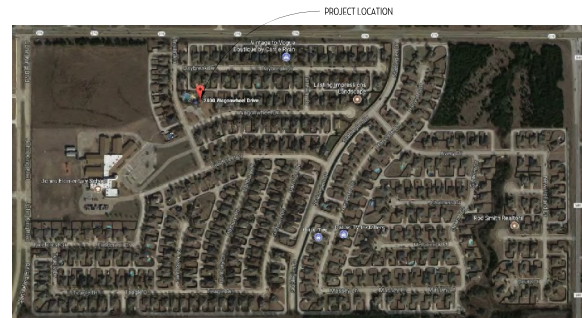
- Upsizing water meters?
 - Using existing plumbing?
 - Need to show existing water, sewer, and storm.

1 SITE DIAGRAM
 1" = 20' 0"



2 AREA PLAN
 3/32" = 1'-0"

AREA PLANS	LEVEL	AREA
HEATED AND COOLED	FIRST FLOOR	1715 SF
	FIRST FLOOR	1715 SF
PORCH	FIRST FLOOR	408 SF
	FIRST FLOOR	408 SF
UNCONDITIONED INTERIOR	FIRST FLOOR	395 SF
	FIRST FLOOR	395 SF
TOTAL AREA		2018 SF



DRAWING SCHEDULE				
SHEET	NAME	SHEET ISSUE DATE	REVISION NAME	REVISION NUMBER
A00	COVER	12/07/17		
A01	GENERAL INFORMATION	04/26/18	REV 01	1
A02	GENERAL INFORMATION	12/07/17		
A03	SURVEY	12/07/17		
A04	SITE PLAN	04/26/18	REV 01	1
A05	RESTROOM PLANS, ELEV., & DETAILS	12/07/17		
A11	FLOOR PLAN	04/26/18	REV 01	1
A12	ROOF PLAN	12/07/17		
A21	BUILDING ELEVATIONS	04/26/18	REV 01	1
A31	BUILDING SECTIONS	04/26/18	REV 01	1
A32	WALL SECTIONS	04/26/18	REV 01	1
A33	WALL SECTIONS	04/26/18	REV 01	1
A34	WALL SECTIONS	04/26/18	REV 01	1
A41	WINDOW & DOOR SCHEDULE	04/26/18	REV 01	1
E01	ELECTRICAL PLAN	04/26/18	REV 01	1
S1	GENERAL ENGINEERING NOTES, DETAILS, & SCHEDULES	11/20/17		
S2	FOUNDATION PLAN	11/20/17		
S3	ROOF FRAMING PLAN	11/20/17		
S4	STRUCTURAL SECTIONS & DETAILS	11/20/17		

SCOPE OF PROJECT

THIS SET OF DOCUMENTS DESCRIBES THE CONSTRUCTION OF A NEIGHBORHOOD CLUBHOUSE AND SEPARATE, UNCONDITIONED POOL, BATHROOMS.

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LOT 22, BLOCK B OF LORLAND FARMS, PHASE I, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, PAGE 283 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

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ABBREVIATIONS

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AFF	ABOVE FINISHED FLOOR	ISA	INFL SYMBOL OF ACCESSIBILITY
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ALUM	ALUMINUM	LAV	LAVATORY
B/W	BETWEEN	MAX	MAXIMUM
CLG	CEILING	MTL	METAL
CLF	CENTER LINE	MNI	MINIMUM
CT	CERAMIC MOSAIC TILE	MTD	MOUNTED
CL	CERAMIC TILE	NO	NUMBER
CONC	CONCRETE	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	OC	ON CENTER
DOOR	DOOR	OH	OVERHEAD
ELEV	ELEVATION	PL	PLATE
EW	EACH WAY	PROFIN	PREFINISHED
EW/C	ELECTRIC WATER COOLER	PT	PRESSURE TREATED
EQ	EQUAL	RL	RAIN LEADER
EXIST	EXISTING	REIN	REINFORCED
EXT	EXTERIOR	SS	STAINLESS STEEL
FIN	FINISH	TJK	THICK
FF	FINISHED FLOOR	THR	THRESHOLD
FACP	FIRE ALARM CONTROL PANEL	T&B	TOP AND BOTTOM
FEK	FIRE EXTINGUISHER	TP	TYPICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VERTICAL
FD	FLOOR DRAIN	WC	WATER CLOSET
FRP	FIRE RETARDANT PAINT	WD	WOOD
GALV	GALVANIZED	WWF	WELDED WIRE FABRIC
GC	GENERAL CONTRACTOR	W/	WITH
GWB	GYPSON WALLBOARD	XTR	EXISTING TO REMAIN
HC	HANDICAPPED		
HM	HOLLOW METAL		

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 Fax: 850.664.2000
 Anthony J. Valle,
 Architect
 TX 26308

Texas #002091

A COMMERCIAL ENGINEERING & ARCHITECTURE
 COMPANY
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 FORT WORTH, TEXAS 76104
 TEL: (817) 441-1111
 FAX: (817) 441-2000

Texas #11007

ECM
 4000 ELLIS BLVD. SUITE 1000
 FORT WORTH, TEXAS 76104
 TEL: (817) 441-1111
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Texas #11007

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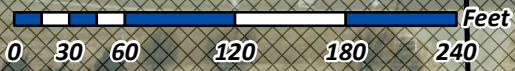
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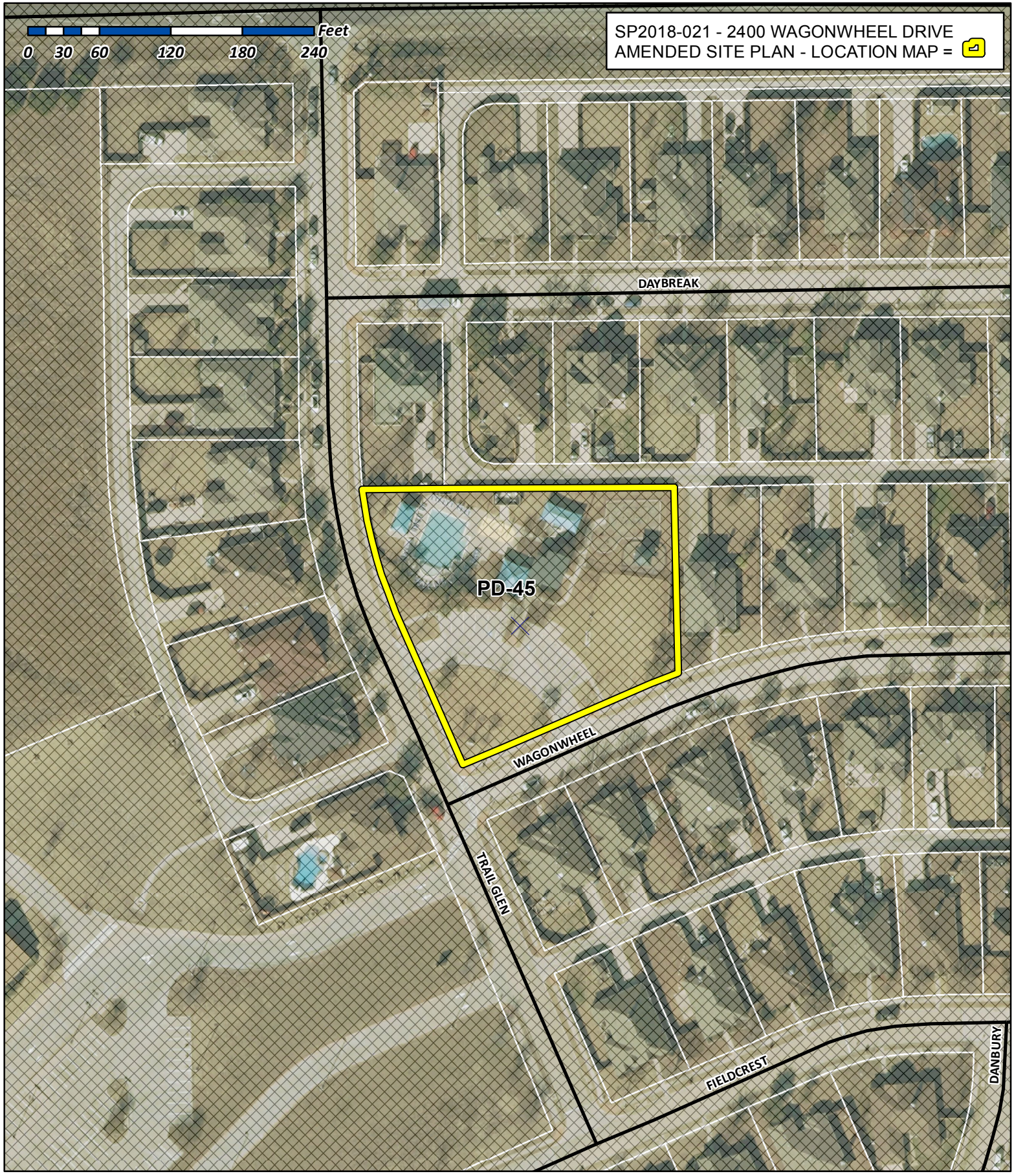
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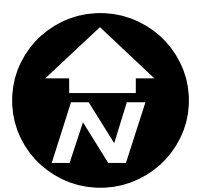
SP2018-021 - 2400 WAGONWHEEL DRIVE
AMENDED SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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A0.0	COVER	12/07/17		
A0.1	GENERAL INFORMATION	04/26/18	REV. 01	1
A0.2	GENERAL INFORMATION	12/07/17		
A0.3	SURVEY	12/07/17		
A0.4	SITE PLAN	04/26/18	REV. 01	1
A0.5	RESTROOM PLANS, ELEVS., & DETAILS	12/07/17		
A1.1	FLOOR PLAN	04/26/18	REV. 01	1
A1.2	ROOF PLAN	12/07/17		
A2.1	BUILDING ELEVATIONS	04/26/18	REV. 01	1
A3.1	BUILDING SECTIONS	04/26/18	REV. 01	1
A3.2	WALL SECTIONS	04/26/18	REV. 01	1
A3.3	WALL SECTIONS	04/26/18	REV. 01	1
A3.4	WALL SECTIONS	04/26/18	REV. 01	1
A4.1	WINDOW & DOOR SCHEDULE	04/26/18	REV. 01	1
E0.1	ELECTRICAL PLAN	04/26/18	REV. 01	1
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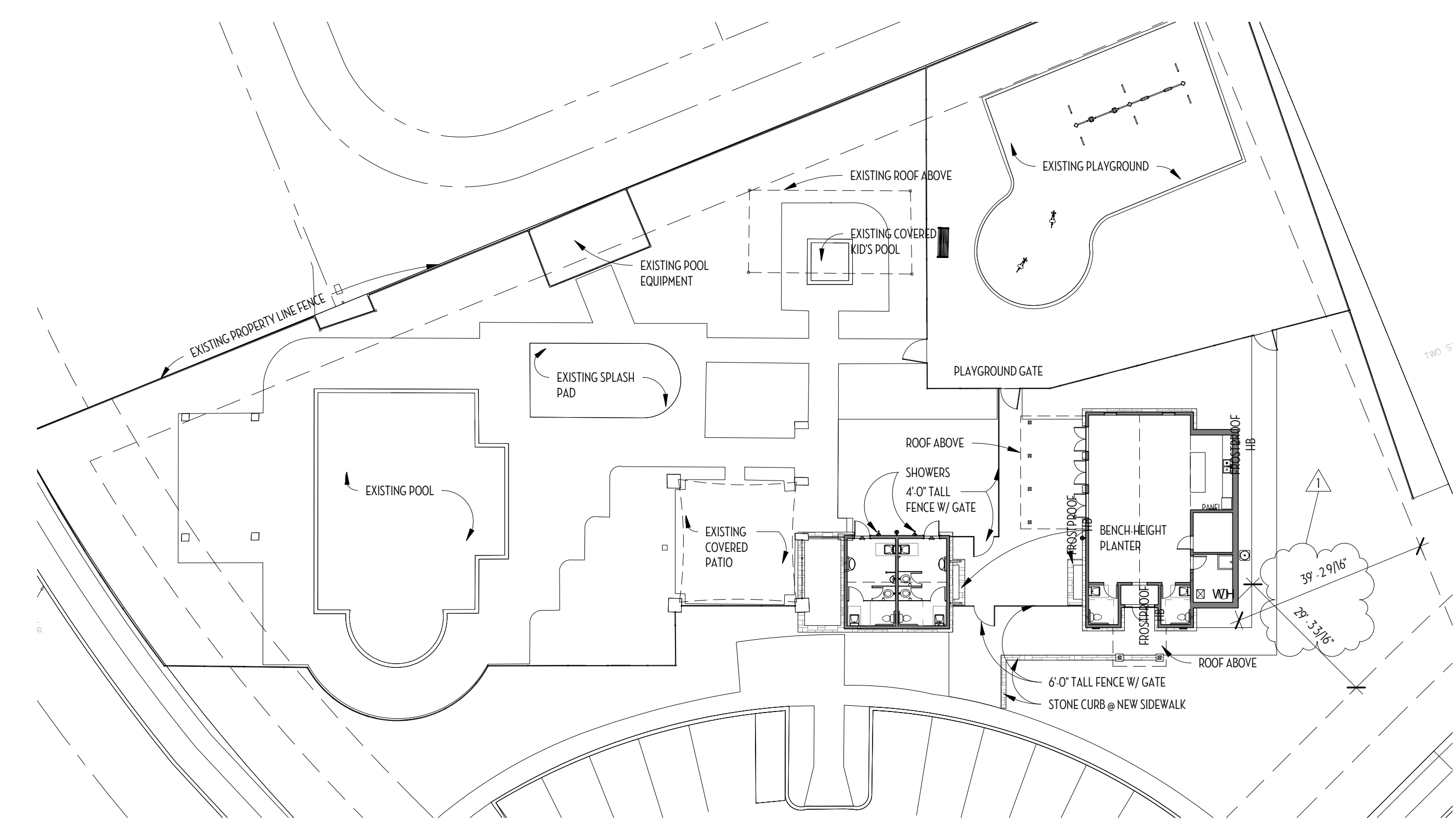
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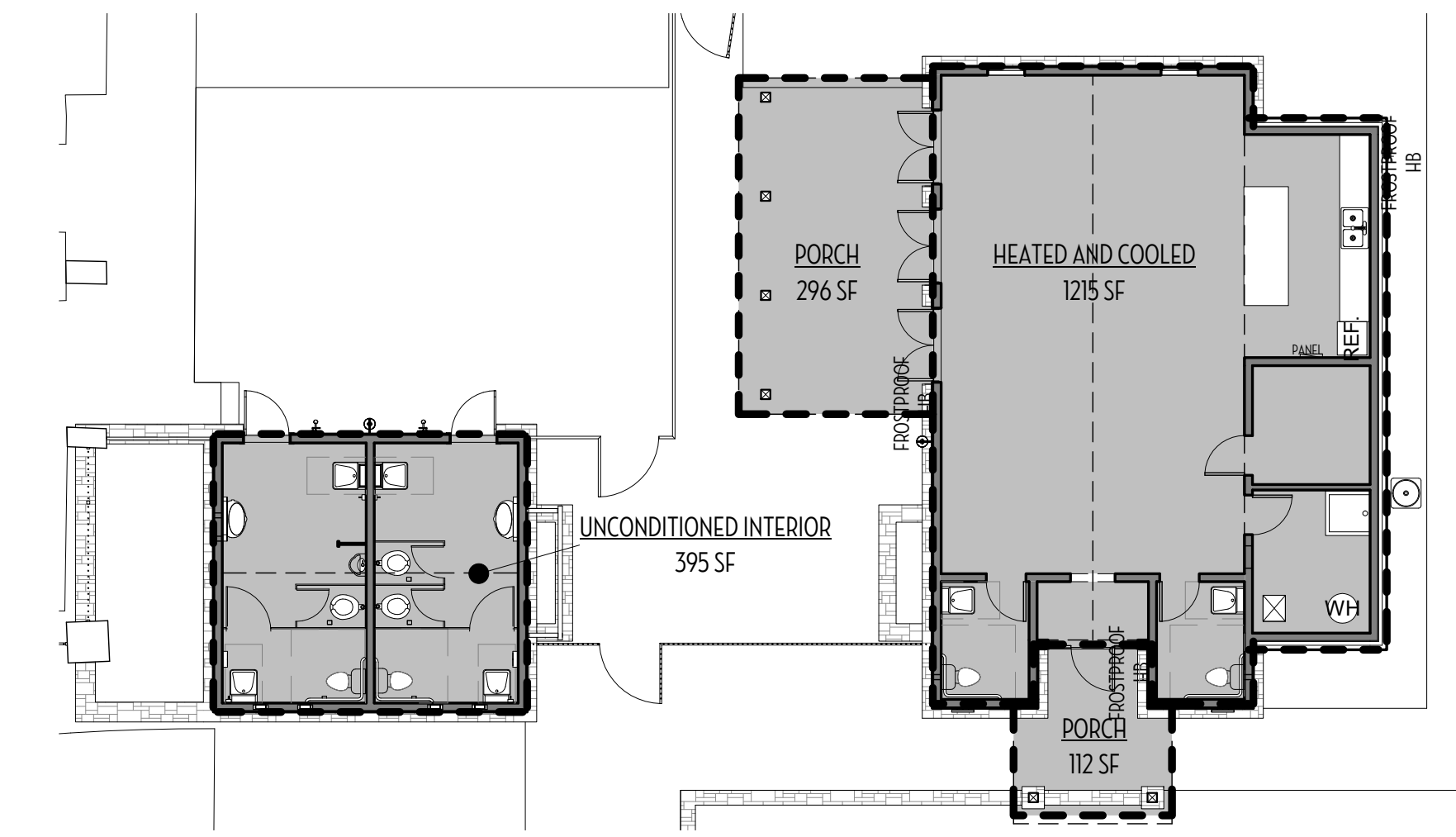
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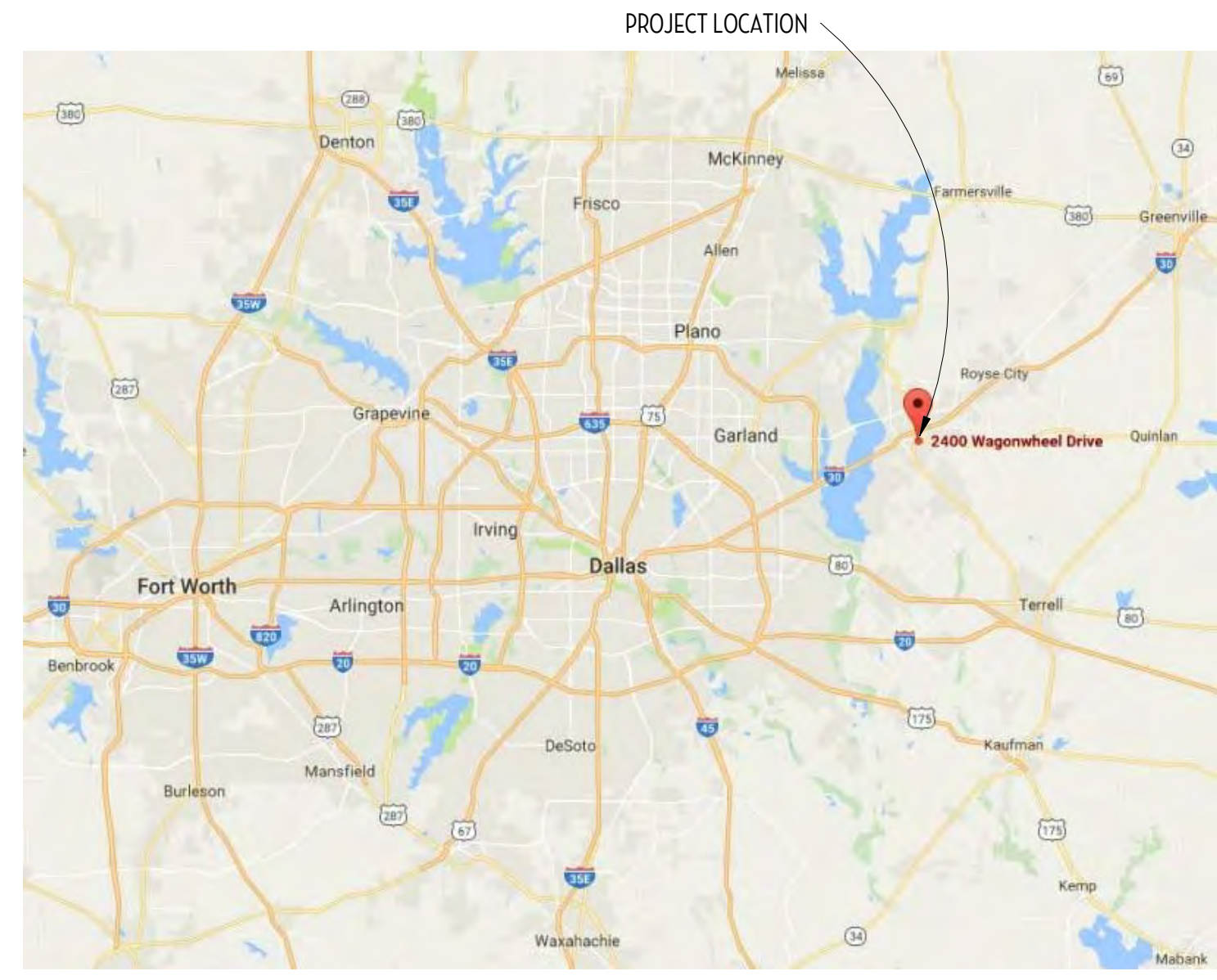
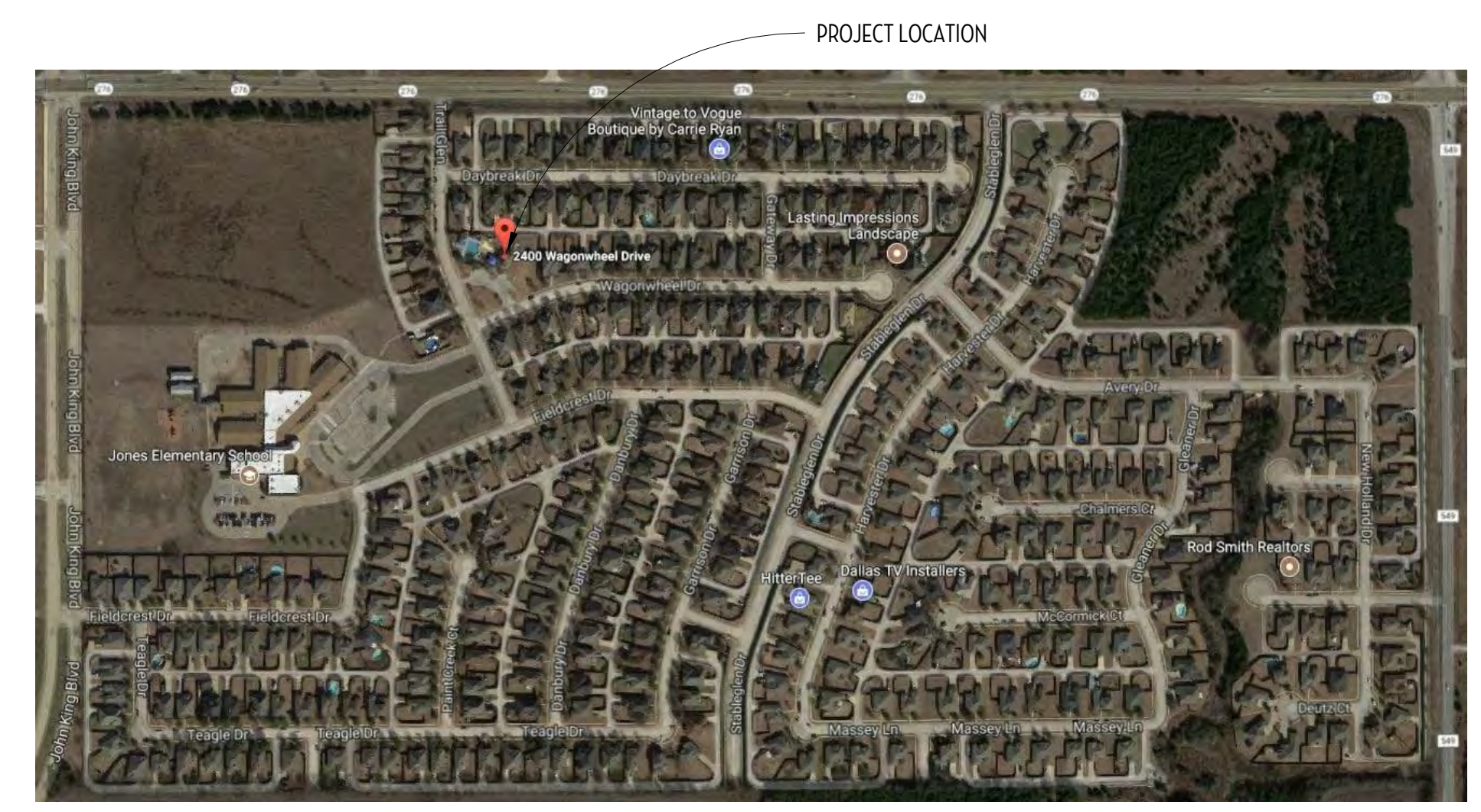


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3/32" = 1'-0"

AREA PLANS		
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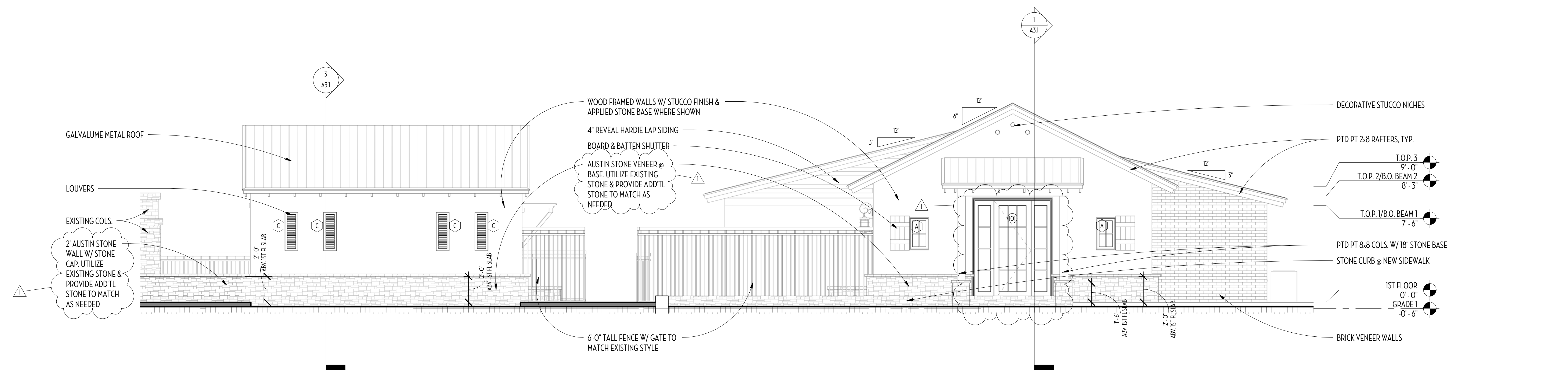


DATE	DISTRIBUTION
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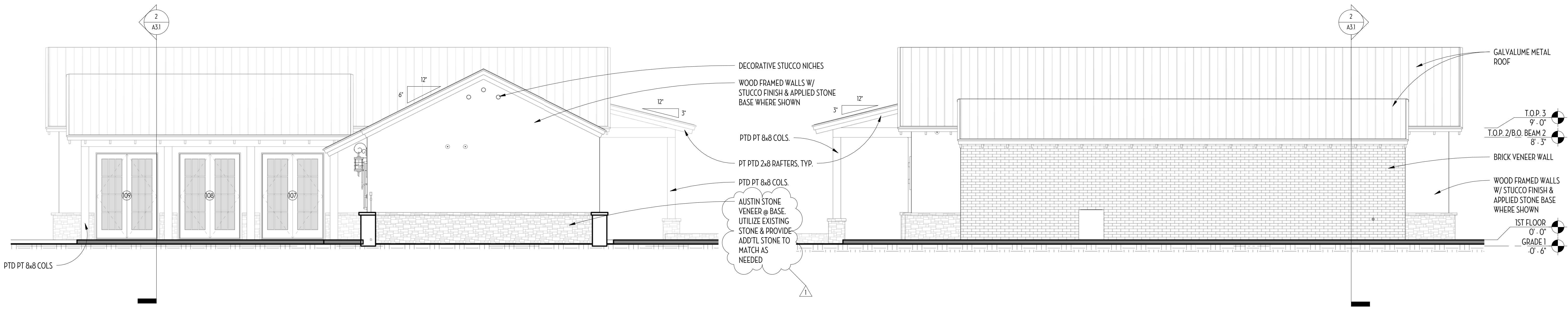
PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE: **BUILDING ELEVATIONS**
SHEET SCALE: 1/4" = 1'-0"

JOB No.: 1718
DATE: 04/26/18
DRAWN BY: NS
CHECKED BY: AJV

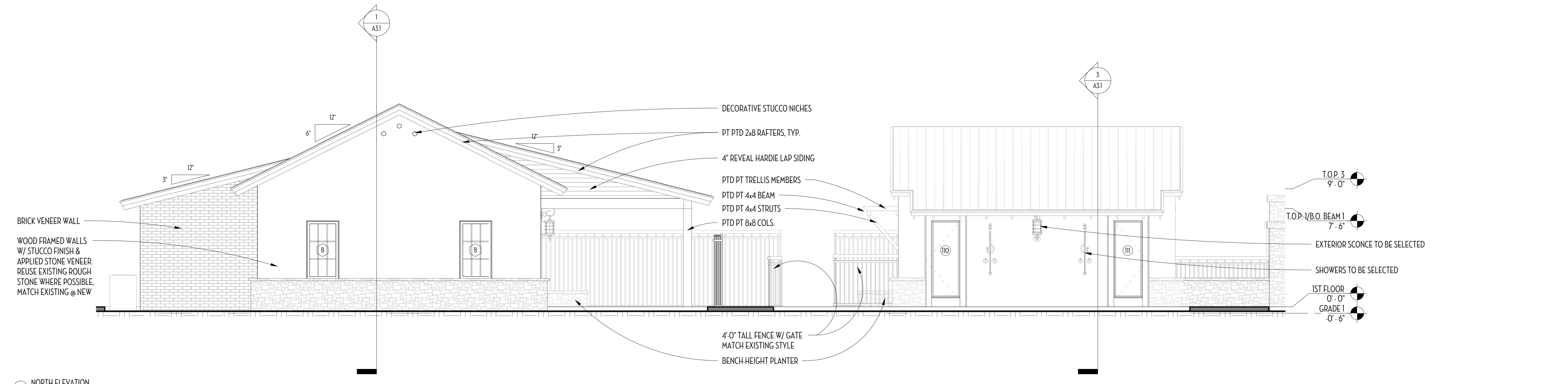


1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

3 EAST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"

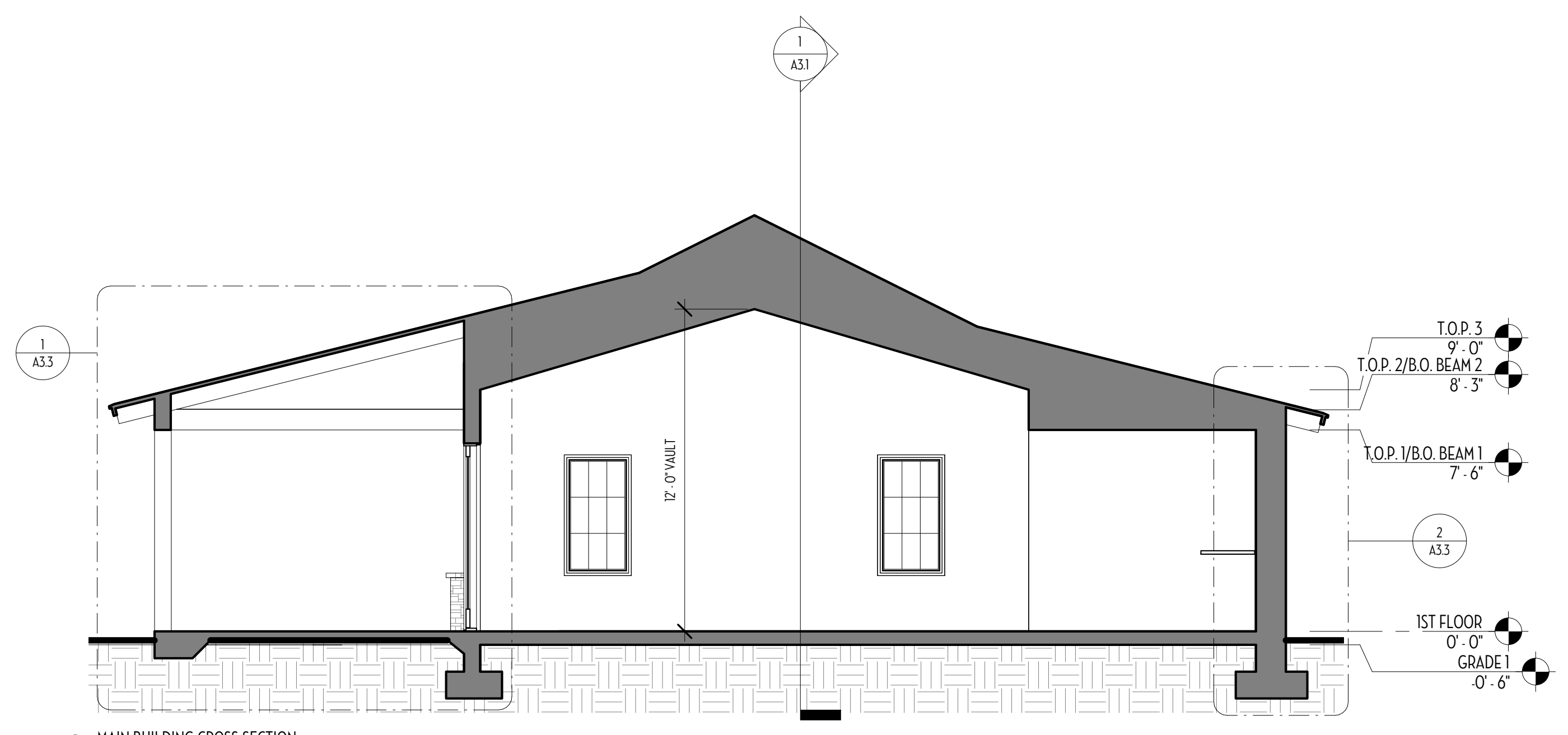
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PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

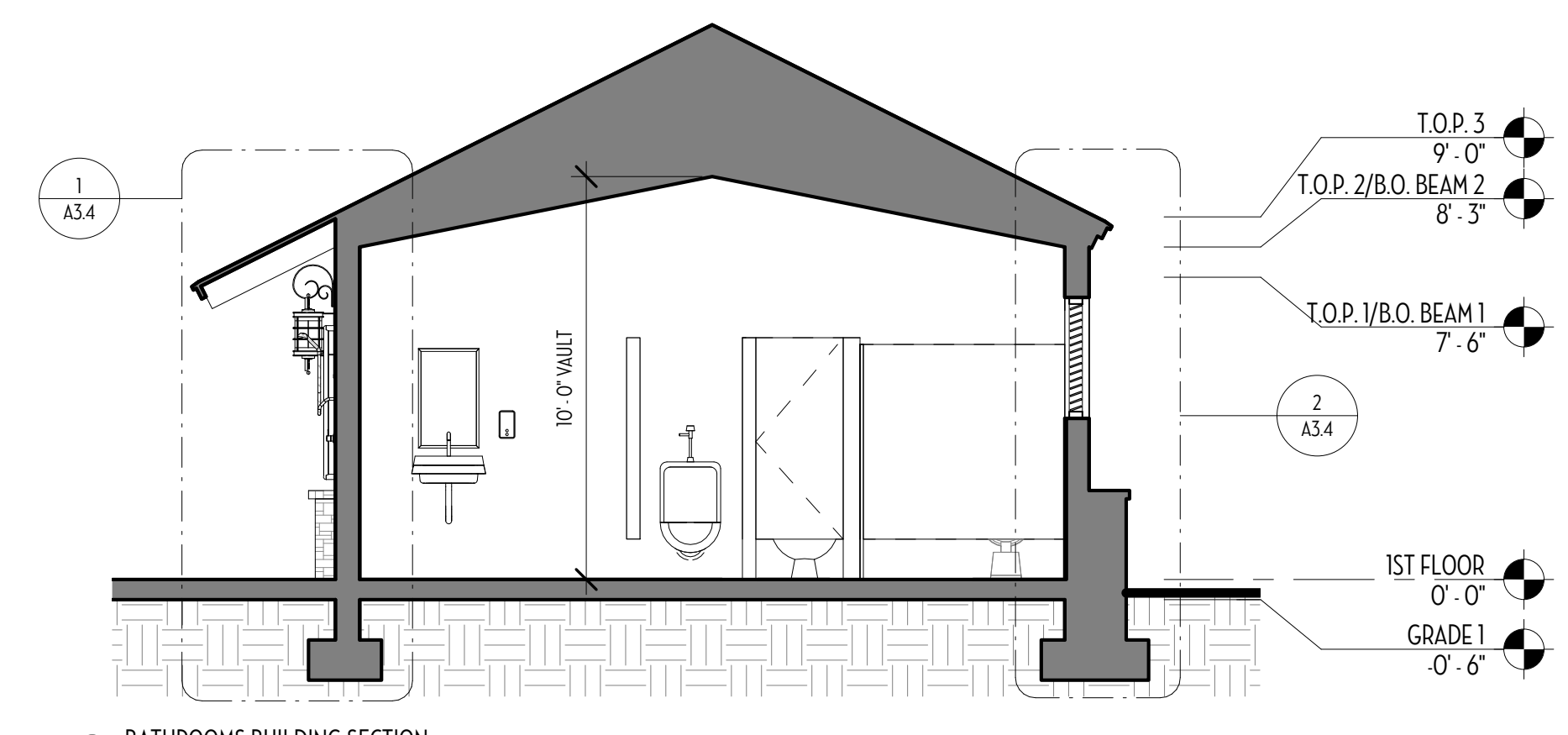
SHEET TITLE: **BUILDING SECTIONS**
JOB No.: 1718
DATE: 04/26/18
DRAWN BY: NS
CHECKED BY: AJV



1 MAIN BUILDING LONGITUDINAL SECTION
1/4" = 1'-0"



2 MAIN BUILDING CROSS-SECTION
1/4" = 1'-0"



3 BATHROOMS BUILDING SECTION
1/4" = 1'-0"

GENERAL SECTION NOTES:

- AT STUCCO OVER WOOD FRAME CONDITIONS:
- (3) COAT STUCCO
- SELF-FURRING LATH
- BENJAMIN OBDYKE SLICKER MAX
- BENJAMIN OBDYKE FLATWRAP UV
- INSTALL ALL COMPONENTS PER MFR. RECOMMENDATIONS FOR SYSTEM WARRANTY
- DEFER TO STRUCTURAL FOR ALL STRUCTURAL CONNECTIONS, SIZES, AND LOCATIONS.
- OPEN CELL FOAM INSULATION, R-20 MIN, TYP IN ROOFS.
- BALLOON FRAME GABLE END WALLS, TYP. 2x6 STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING & 2x6 BLOCKING @ EA-SHEATHING JOINT.
- AUSTIN STONE VENEER BASE & SITE WALLS. UTILIZE EXISTING STONE & PROVIDE ADD'L STONE TO MATCH AS NEEDED

SHEET SCALE: 1/4" = 1'-0"

CD
A

4639 Gulf Starr Drive
Destin, Florida 32541
Tel: 850.837.4654
Fax: 850.654.2000

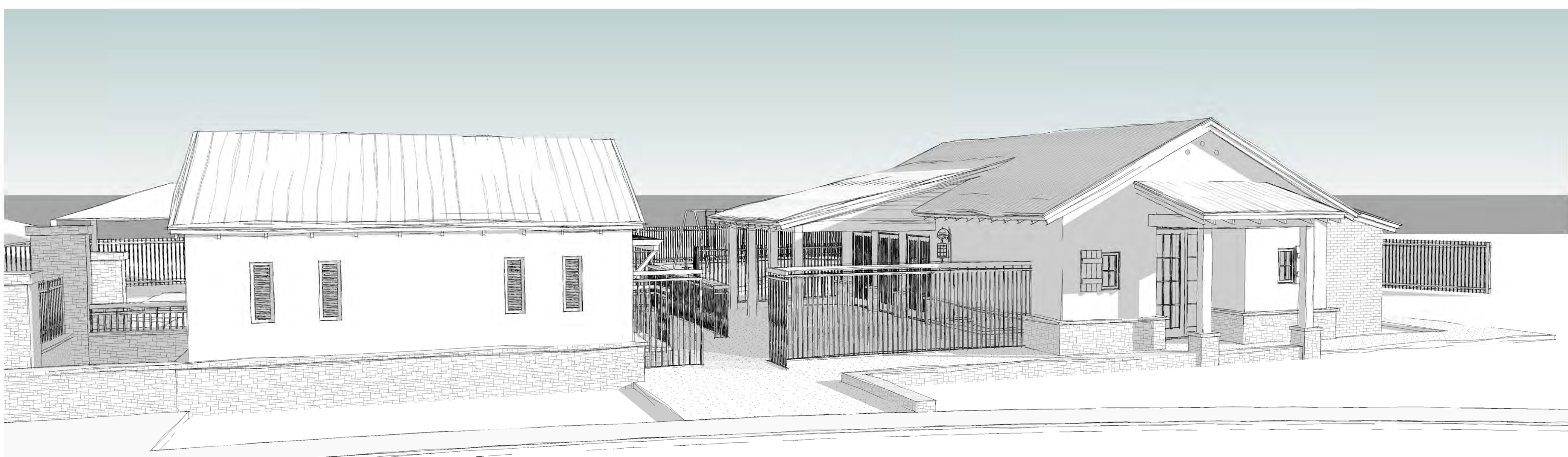
Anthony J. Vallee,
Architect
TX. 26308

Texas #BR2691

a complete engineering &
construction management
company
TELEPHONE: (850) 837-7454 (ENGR.)
TELEPHONE: (850) 837-7456 (NSP)
FAX: (850) 654-1098
Texas Firm Number: #1098

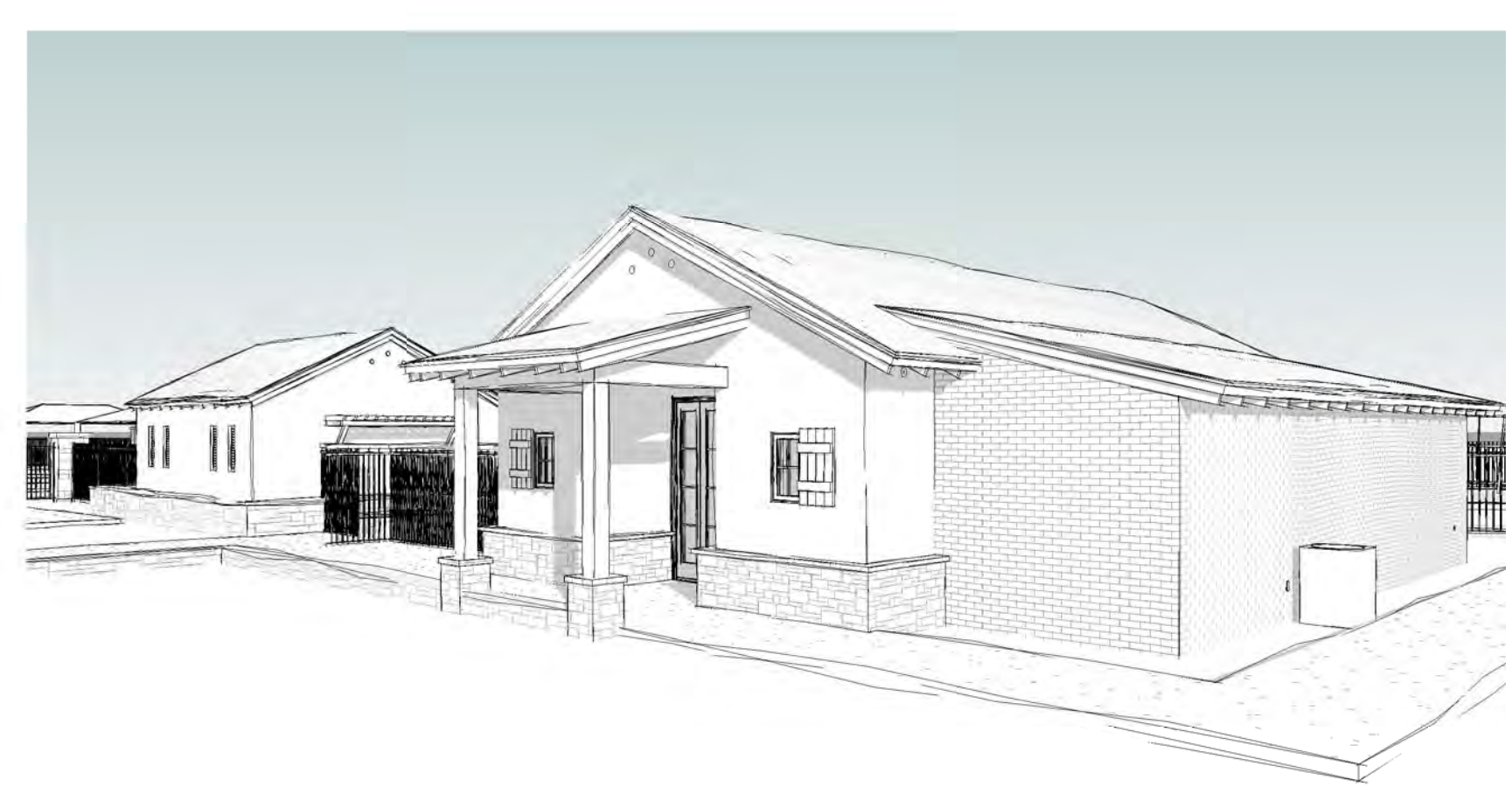
ECM
4639 GULF STARR DRIVE
DESTIN, FLORIDA 32541
E. Anthony J. Vallee, Architect
John H. Edmund, PE
Texas #110897

DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17



Lofland Farms Clubhouse

2400 Wagonwheel Drive
Rockwall, Texas



PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE:
COVER

JOB No.: 1718
DATE: 12/07/17
DRAWN BY: NS
CHECKED BY: AJV

A0.0

SHEET SCALE:

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 08/14/2018

APPLICANT: Ellis Little; *Ellis Little Masix Construction, LLC*

AGENDA ITEM: SP2018-021; Lofland Farms

SUMMARY:

Discuss and consider a request by Ellis Little of Ellis Little Masix Construction, LLC on behalf of David Johnston of the Lofland Farms Estates Homeowner's Association (HOA) for the approval of a site plan for an amenities center on a 1.0521-acre parcel of land identified as Lot 22, Block B, Lofland Farms, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2400 Wagon Wheel Drive, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting approval of a site plan for an ~1,619 SF amenities center and restroom facility for the Lofland Farm Subdivision. The proposed amenities center and restroom facility will be situated on a 1.0521-acre parcel of land [*i.e. Lot 22, Block A, Lofland Farms, Phase 1 Addition*]. The subject property is zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses and is addressed as 2400 Wagon Wheel Drive.

On April 20, 1998, the City Council adopted *Ordinance No. 98-16*, establishing the development requirements for Planned Development District (PD-45), which allows an *amenities center* by-right. Currently, there is an existing ~1,440 SF amenities center with a covered patio on the subject property, which will be demolished to build the new amenities center and restroom facility. The subject property also included a 500 SF restroom facility that was demolished in 2017. The new amenities center will be ~1,215 SF and restroom building will be ~395 SF (*i.e. 1,610 SF or 330 total SF smaller than the original amenities center and restroom building*). The existing parking lot and landscaping will not be modified.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The submitted site plan and building elevations conform to the technical requirements contained within the Unified Development Code (UDC) and Planned Development District 45 (PD-45) [*Ordinance No. 98-16*] development standards. A summary of the density and dimensional requirements of the subject property is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X~45,829 SF; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>80-Feet</i>	<i>X~120-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X~154Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>20-Feet</i>	<i>X~29-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X~50-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>6-Feet</i>	<i>X~39-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X~9-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=4%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>60%</i>	<i>X= 100%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>7</i>	<i>10 Provided; In Conformance</i>
<i>Minimum Stone Requirement (SH205 OV)</i>	<i>20% ea facade</i>	<i>X=20%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X<85%; In Conformance</i>

ARCHITECTURAL REVIEW BOARD

On July 31, 2018 the Architectural Review Board's (ARB's) motion to recommend approval of the building elevations passed by a vote of 6-0 with Board Member Neill absent.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Must meet the masonry requirements of the Planned Development District 45 (PD-45) development standards.
- 3) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, Planned Development District 45 (PD-45), the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



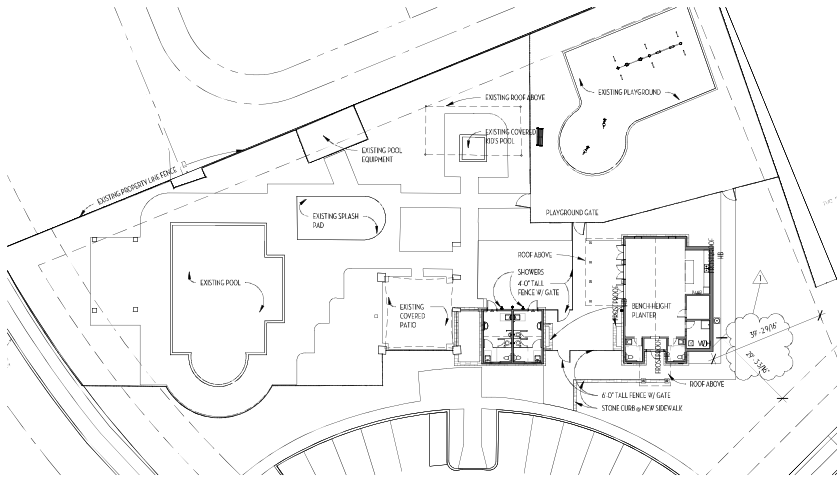
Project Number SP2018-021	Owner LOFLAND, FARMS OWNERS ASSOC.	Applied 7/16/2018 LM
Project Name Lofland Farms	Applicant ELLIS LITTLE MASIX CONSTRUCTION LLC	Approved
Type SITE PLAN		Closed
Subtype AMENDING		Expired
Status Staff Review		Status

Site Address 2400 WAGONWHEEL DR	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision LOFLAND FARMS PH 1	Tract 22	Block B	Lot No 22	Parcel No 4316-000B-0022-00-OR	General Plan
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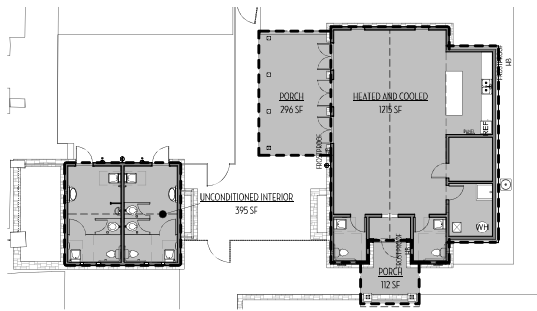
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	7/16/2018	7/23/2018	7/19/2018	3	APPROVED	
ENGINEERING (7/25/2018 4:48 PM SH) - Upsizing water meters? - Using existing plumbing? - Need to show existing water, sewer, and storm.	Sarah Hager	7/16/2018	7/23/2018	7/25/2018	9	COMMENTS	
FIRE (7/19/2018 1:55 PM AA) Approved, unobstructed fire department access (fire lanes) shall be provided such that all portions of the exterior of the building shall be within 150-feet (as the hose lays) of a fire lane and/or other approved fire apparatus access roadway. The path of measurement shall be along a minimum of a ten feet (10') wide unobstructed pathway. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.	Ariana Hargrove	7/16/2018	7/23/2018	7/19/2018	3	COMMENTS	see comments
GIS	Lance Singleton	7/16/2018	7/23/2018	7/19/2018	3	APPROVED	
PLANNING	Korey Brooks	7/16/2018	7/23/2018	7/27/2018	11	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2018-021 Site Plan Lofland Farms						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request by Ellis Little of Ellis Little Masix Construction, LLC on behalf of David Johnston of the Lofland Farms Estates Homeowner's Association (HOA) for the approval of a site plan for an amenities center on a 1.0521-acre parcel of land identified as Lot 22, Block B, Lofland Farms, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2400 Wagon Wheel Drive.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2018-021) in the lower right hand corner of all pages on future submittals.						
I.4 Please provide material percentages						
The building is allowed up to 50% stucco per façade. It seems that you will need a variance.						
There is a 20% natural stone requirement per façade.						
Please provide North arrow and scale.						
I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by August 7, 2018. The Planning and Zoning Worksession for this case is July 31, 2018. The Planning and Zoning Meeting for this case is August 14, 2018.						
I.6 The projected City Council meeting date and subsequent approval for this request is August 20, 2018 , if needed.						



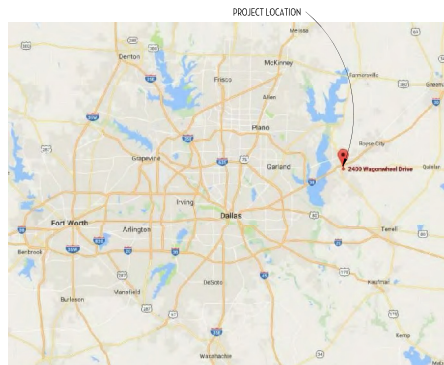
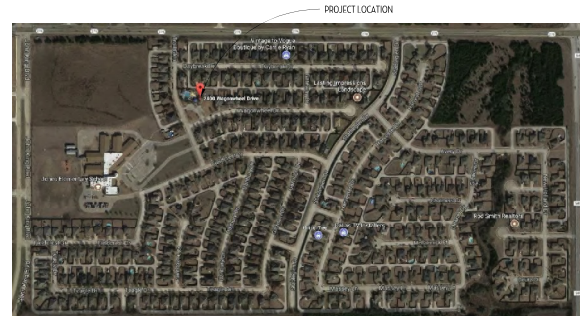
- Upsizing water meters?
 - Using existing plumbing?
 - Need to show existing water, sewer, and storm.

1 SITE DIAGRAM
 1" = 20'-0"



2 AREA PLAN
 3/32" = 1'-0"

AREA PLANS	LEVEL	AREA
HEATED AND COOLED	FIRST FLOOR	1715 SF
PORCH	FIRST FLOOR	295 SF
UNCONDITIONED INTERIOR	FIRST FLOOR	395 SF
PORCH	FIRST FLOOR	112 SF
TOTAL AREA		2018 SF



DRAWING SCHEDULE				
SHEET	NAME	SHEET ISSUE DATE	REVISION NAME	REVISION NUMBER
A0.0	COVER	12/01/17		
A0.1	GENERAL INFORMATION	04/26/18	REV 01	1
A0.2	GENERAL INFORMATION	12/01/17		
A0.3	SURVEY	12/01/17		
A0.4	SITE PLAN	04/26/18	REV 01	1
A0.5	RESTROOM PLANS, ELEV'S. & DETAILS	12/01/17		
A1.1	FLOOR PLAN	04/26/18	REV 01	1
A1.2	ROOF PLAN	12/01/17		
A2.1	BUILDING ELEVATIONS	04/26/18	REV 01	1
A3.1	BUILDING SECTIONS	04/26/18	REV 01	1
A3.2	WALL SECTIONS	04/26/18	REV 01	1
A3.3	WALL SECTIONS	04/26/18	REV 01	1
A3.4	WALL SECTIONS	04/26/18	REV 01	1
A4.1	WINDOW & DOOR SCHEDULE	04/26/18	REV 01	1
E0.1	ELECTRICAL PLAN	04/26/18	REV 01	1
S1	GENERAL ENGINEERING NOTES, DETAILS, & SCHEDULES	11/20/17		
S2	FOUNDATION PLAN	11/20/17		
S3	ROOF FRAMING PLAN	11/20/17		
S4	STRUCTURAL SECTIONS & DETAILS	11/20/17		

SCOPE OF PROJECT

THIS SET OF DOCUMENTS DESCRIBES THE CONSTRUCTION OF A NEIGHBORHOOD CLUBHOUSE AND SEPARATE UNCONDITIONED POOL, BATHROOMS.

LEGAL DESCRIPTION

LOT 22, BLOCK B OF LOKLAND FARMS, PHASE I, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, PAGE 283 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE DESIGN TEAM OF ANY VARIATION PRIOR TO THE PURCHASING OF MATERIALS. STARTING FABRICATION OR BEGINNING CONSTRUCTION.
- "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- EXISTING FIELD CONDITIONS: THE CONTRACT DOCUMENTS INDICATE THE DESIGN INTENT USING AVAILABLE INFORMATION. THE CONTRACTOR IS TO ADVISE THE DESIGN TEAM IF CODE OR SAFETY CONFLICTS EXIST. THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE (PRIOR TO COMMENCEMENT) TO BECOME FAMILIAR WITH CONDITIONS AND INSTALLATION DETAILS THAT WILL AFFECT HIS WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL, AND PLUMBING INSPECTIONS, ETC.
- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 4' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE BUILDING PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L. WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.
- ANY FILL OR GRADING MATERIAL IMPORTED INTO THE SITE SHALL COMPLY WITH "WHITE SAND PROTECTION ZONE" REQUIREMENTS.

ABBREVIATIONS

A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
AF	ABOVE FINISHED FLOOR	ISA	INFL SYMBOL OF ACCESSIBILITY
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ALUM	ALUMINUM	LAV	LAVATORY
B/W	BETWEEN	MAX	MAXIMUM
CLG	CEILING	MTL	METAL
CLF	CENTER LINE	MN	MINIMUM
CT	CERAMIC MOSAIC TILE	MTD	MOUNTED
CL	CERAMIC TILE	NO	NUMBER
CONC	CONCRETE	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	OC	ON CENTER
DOOR	DOOR	OH	OVERHEAD
ELEV	ELEVATION	PL	PLATE
EW	EACH WAY	PROFIN	PREFINISHED
EW/C	ELECTRIC WATER COOLER	PT	PRESSURE TREATED
EQ	EQUAL	RL	RAIN LEADER
EXIST	EXISTING	REIN	REINFORCED
EXT	EXTERIOR	SS	STAINLESS STEEL
FIN	FINISH	TJK	THICK
FF	FINISHED FLOOR	THR	THRESHOLD
FACP	FIRE ALARM CONTROL PANEL	T&B	TOP AND BOTTOM
FEK	FIRE EXTINGUISHER	TYP	TYPICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VERTICAL
FD	FLOOR DRAIN	WC	WATER CLOSET
FRP	FIRE RETARDANT PAINT	WD	WOOD
GALV	GALVANIZED	WWF	WELDED WIRE FABRIC
GC	GENERAL CONTRACTOR	W/	WITH
GWB	GYPSPUM WALLBOARD	XTR	EXISTING TO REMAIN
HC	HANDICAPPED		
HM	HOLLOW METAL		

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 TELEFAX: (850) 664-2000
 E-MAIL: ajevalle@ajvalle.com
 Texas Firm Number: 1094

ECM
 4000 E. PALM BLVD. SUITE 100
 ROCKWALL, TEXAS 75087
 JOHN B. STANKE, P.E.
 Texas #11007

DATE: 04/26/18
 DRAWN BY: NS
 CHECKED BY: AJV

DATE: 04/26/18
 DRAWN BY: NS
 CHECKED BY: AJV

DATE: 12/01/17
 DRAWN BY: NS
 CHECKED BY: AJV

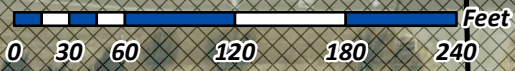
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 CHECKED BY: AJV

PROJECT: LOFLAND FARMS CLUBHOUSE
 2400 Whisperwood Drive
 Rockwall, TX

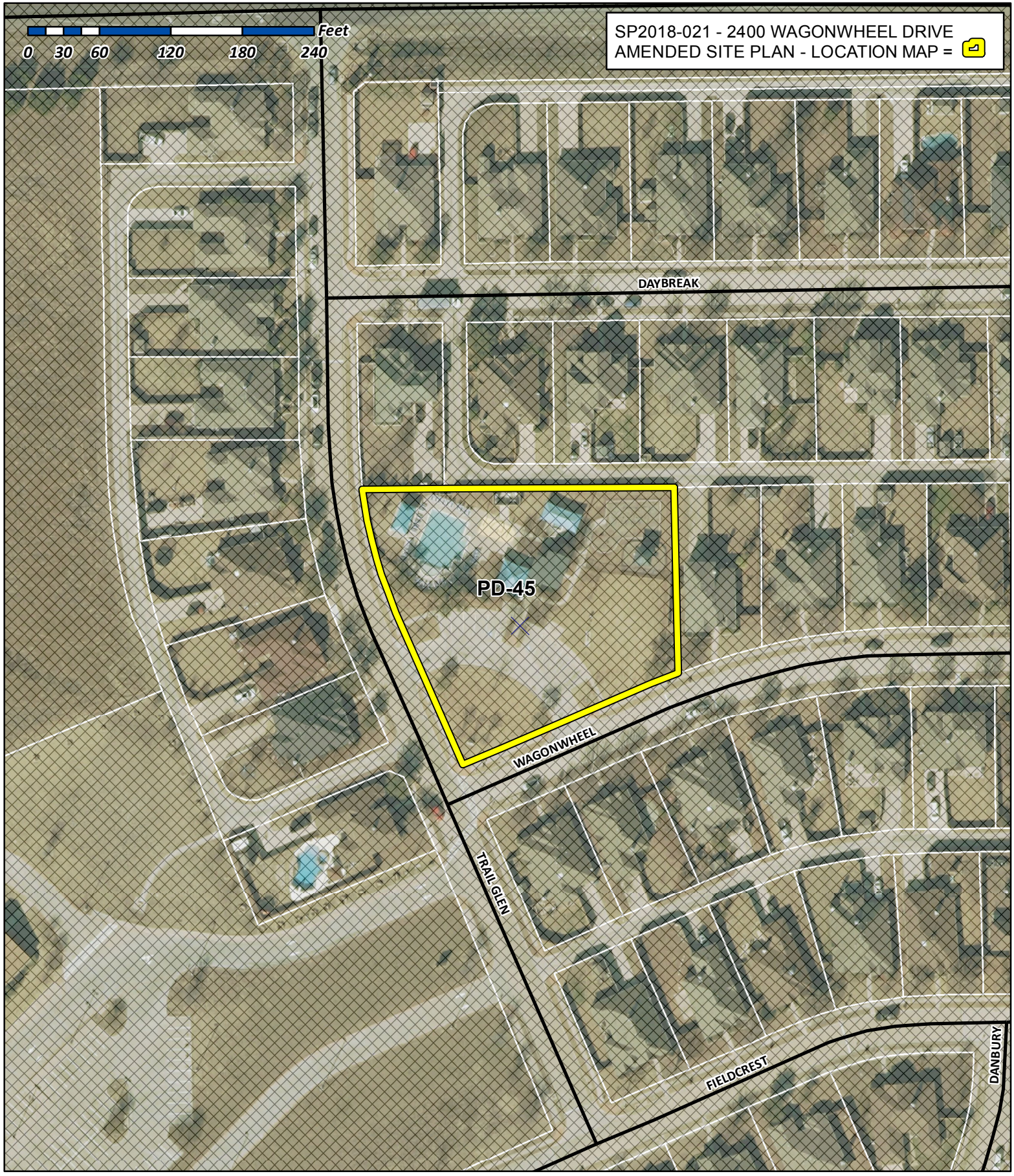
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 SHEET SCALE: As indicated

JOB No.: 1718
 DATE: 04/26/18
 DRAWN BY: NS
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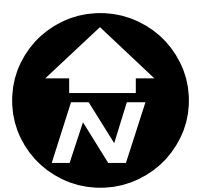
SP2018-021 - 2400 WAGONWHEEL DRIVE
AMENDED SITE PLAN - LOCATION MAP =



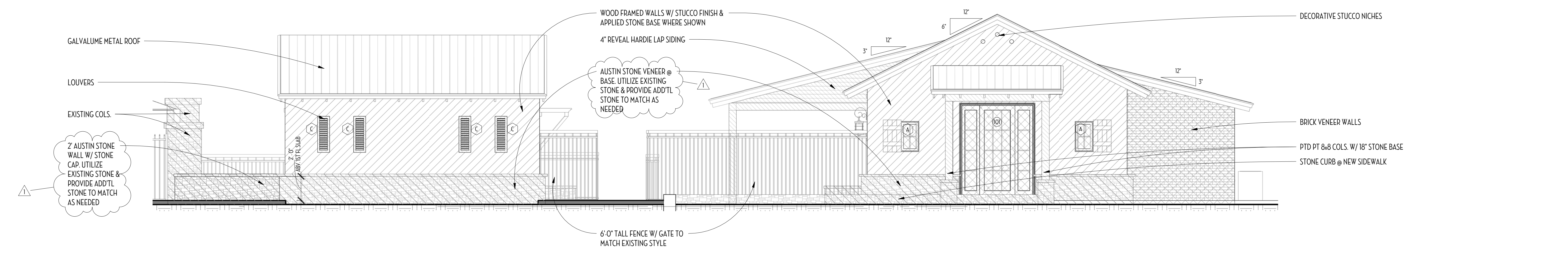
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

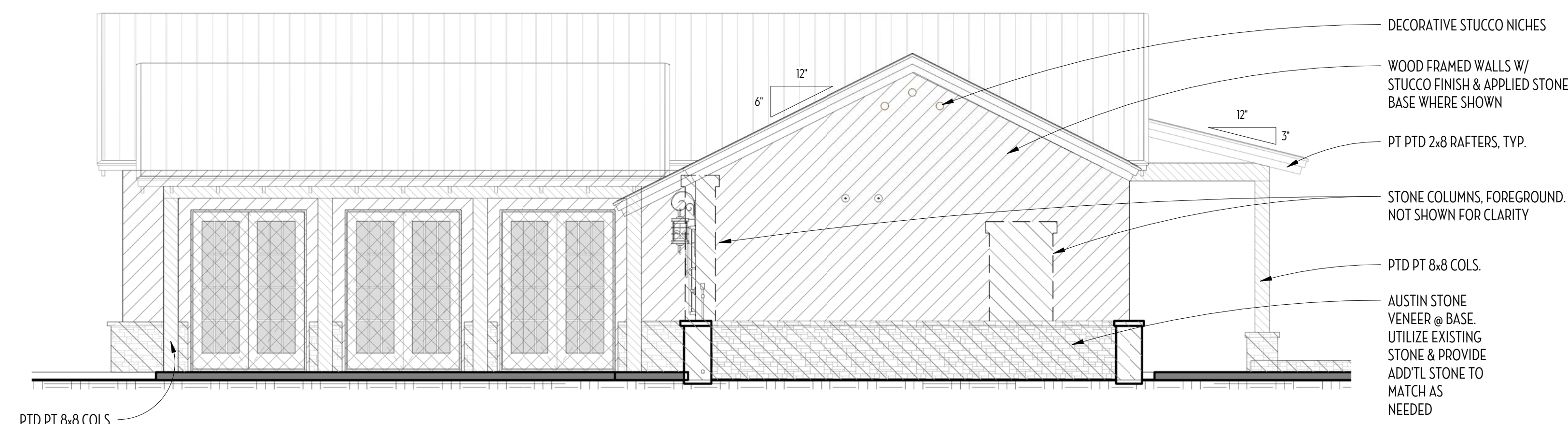
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



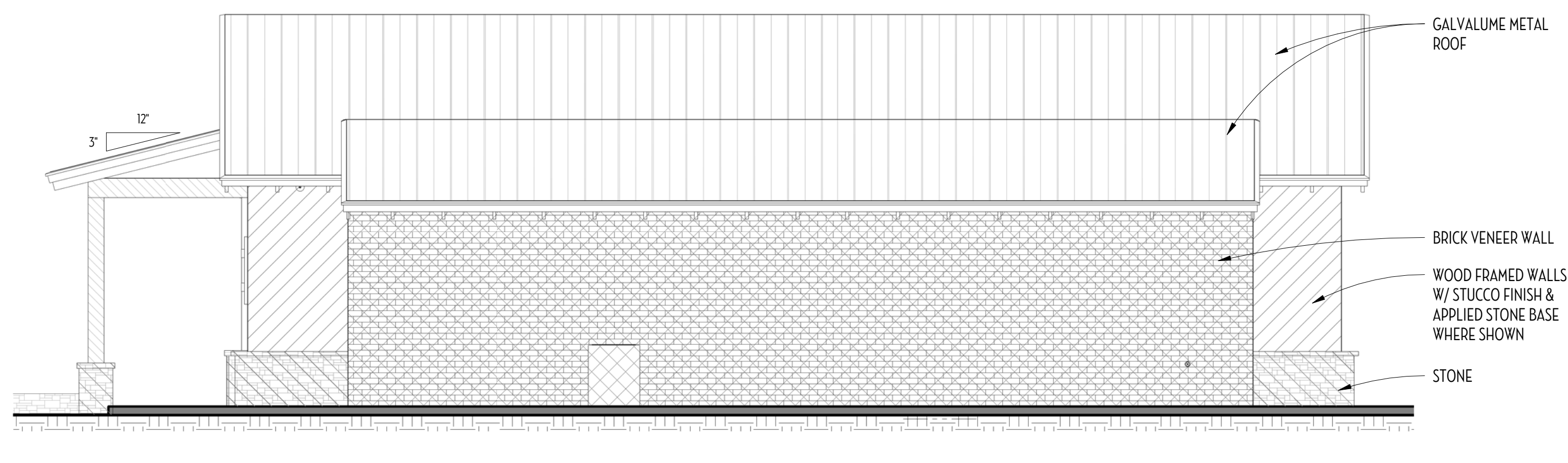
DATE	DISTRIBUTION
06-29-17	ISSUED FOR REVIEW
09-29-17	ISSUED FOR REVIEW
10-17-17	ISSUED FOR REVIEW
12-07-17	ISSUED FOR PERMIT



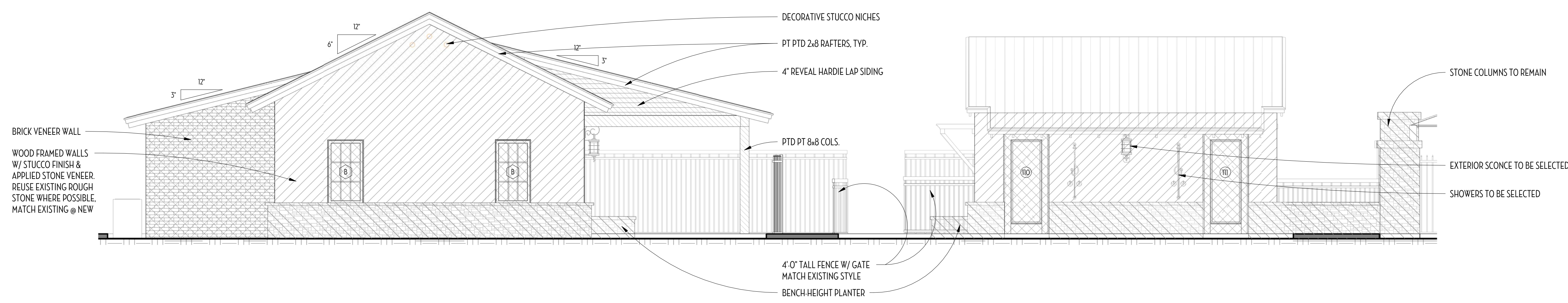
1 SOUTH ELEVATION MATERIALS
1/4" = 1'-0"



2 WEST ELEVATION MATERIALS
1/4" = 1'-0"



3 EAST ELEVATION MATERIALS
1/4" = 1'-0"



4 NORTH ELEVATION MATERIALS
1/4" = 1'-0"

FACADE PERCENTAGES:		
WEST ELEVATION:	431.55 S.F.	
STUCCO:	201.39 S.F.	46.67%
STONE:	87.14 S.F.	20.19%
MASONRY:	105.00 S.F.	24.33%
SECONDARY:	38.02 S.F.	8.81%
SOUTH ELEVATION:	583.38 S.F.	
STUCCO:	248.03 S.F.	42.52%
STONE:	147.62 S.F.	25.30%
MASONRY:	134.65 S.F.	23.08%
SECONDARY:	53.08 S.F.	9.10%
EAST ELEVATION:	353.81 S.F.	
STUCCO:	48.19 S.F.	13.62%
STONE:	21.83 S.F.	6.17%
MASONRY:	275.23 S.F.	77.79%
SECONDARY:	8.56 S.F.	2.42%
NORTH ELEVATION:	611.79 S.F.	
STUCCO:	291.42 S.F.	47.63%
STONE:	147.22 S.F.	24.06%
MASONRY:	145.42 S.F.	23.77%
SECONDARY:	27.73 S.F.	4.53%
TOTAL:	1,980.53 S.F.	
STUCCO:	789.03 S.F.	39.84%
STONE:	403.81 S.F.	20.39%
MASONRY:	660.30 S.F.	33.34%
SECONDARY:	127.39 S.F.	6.43%

▲

▲

▲

DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17

DRAWING SCHEDULE				
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A0.5	RESTROOM PLANS, ELEVS., & DETAILS	12/07/17		
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A1.2	ROOF PLAN	12/07/17		
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A3.1	BUILDING SECTIONS	04/26/18	REV. 01	1
A3.2	WALL SECTIONS	04/26/18	REV. 01	1
A3.3	WALL SECTIONS	04/26/18	REV. 01	1
A3.4	WALL SECTIONS	04/26/18	REV. 01	1
A4.1	WINDOW & DOOR SCHEDULE	04/26/18	REV. 01	1
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SCOPE OF PROJECT

THIS SET OF DOCUMENTS DESCRIBES THE CONSTRUCTION OF A NEIGHBORHOOD CLUBHOUSE AND SEPARATE, UNCONDITIONED POOL BATHROOMS.

LEGAL DESCRIPTION

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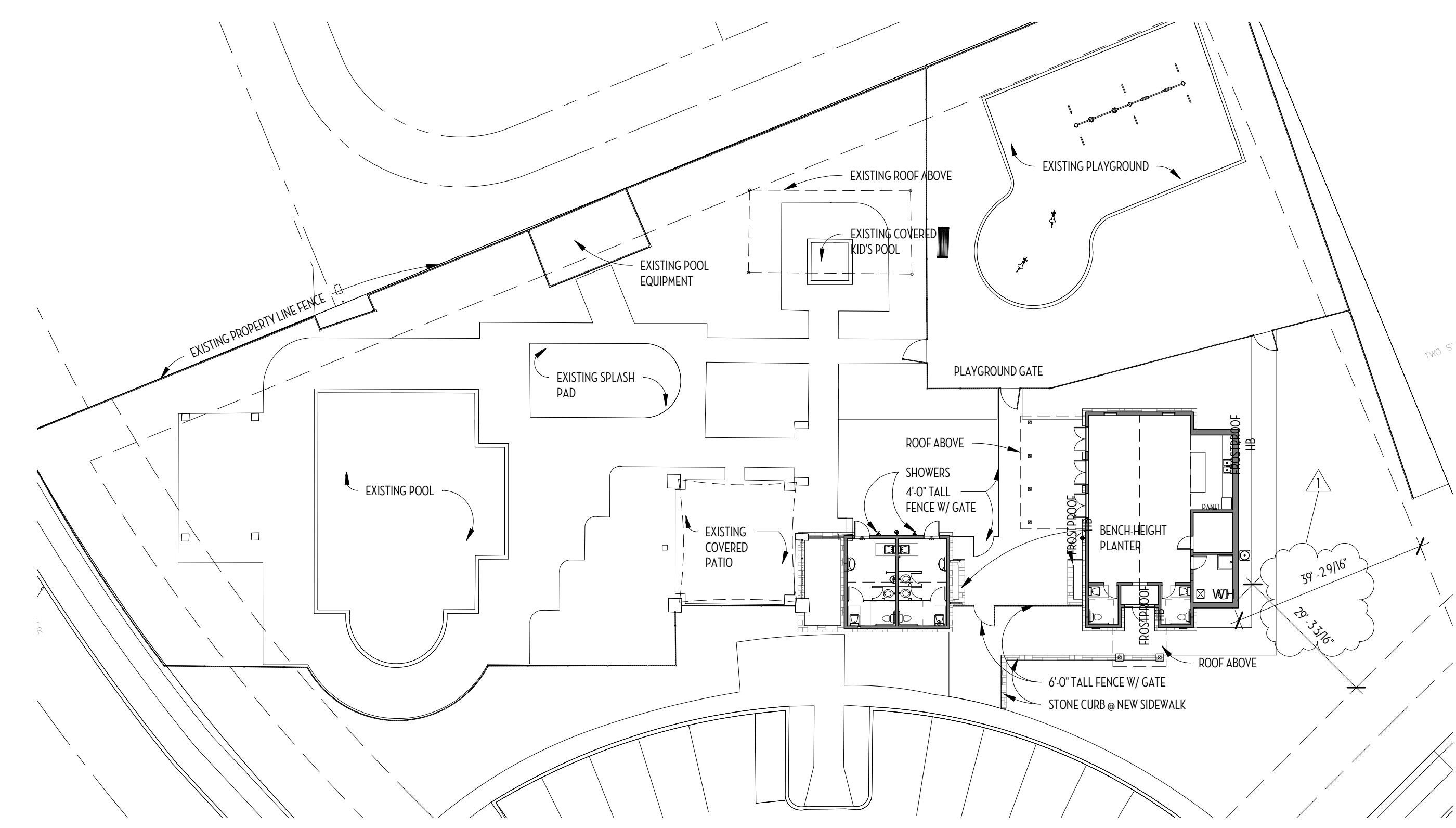
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- ALL DIMENSIONS ARE GIVEN TO ROUGH FRAMING AND MASONRY UNLESS NOTED.
- EXISTING VEGETATION SHALL BE MAINTAINED DURING CONSTRUCTION. NO CLEARING SHOULD OCCUR MORE THAN 4' BEYOND THE PLANNED BUILDING FOOTPRINT.
- KEYING AT ALL NEW AND EXISTING INTERIOR DOORS TO BE COORDINATED BY CONTRACTOR WITH OWNER.
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES MAINTAIN ON THE JOB SITE - A COMPLETE SET OF CONSTRUCTION DOCUMENTS, ADDENDA, SUPPLEMENTAL INSTRUCTIONS, SUPPLEMENTAL DRAWINGS, MEETING NOTES, ETC.
- SLOPE GRADE AWAY FROM THE BUILDING PERIMETER. MAINTAIN POSITIVE DRAINAGE FOR 6' OR UP TO THE P.L., WHICHEVER IS GREATER.
- PROTECT TREE ROOTS WITHIN THE TREE CANOPY FROM DAMAGE WHEN GRADING.
- SLOPE DRIVEWAY AWAY FROM STRUCTURES.
- ANY FILL OR GRADING MATERIAL IMPORTED INTO THE SITE SHALL COMPLY WITH "WHITE SAND PROTECTION ZONE" REQUIREMENTS

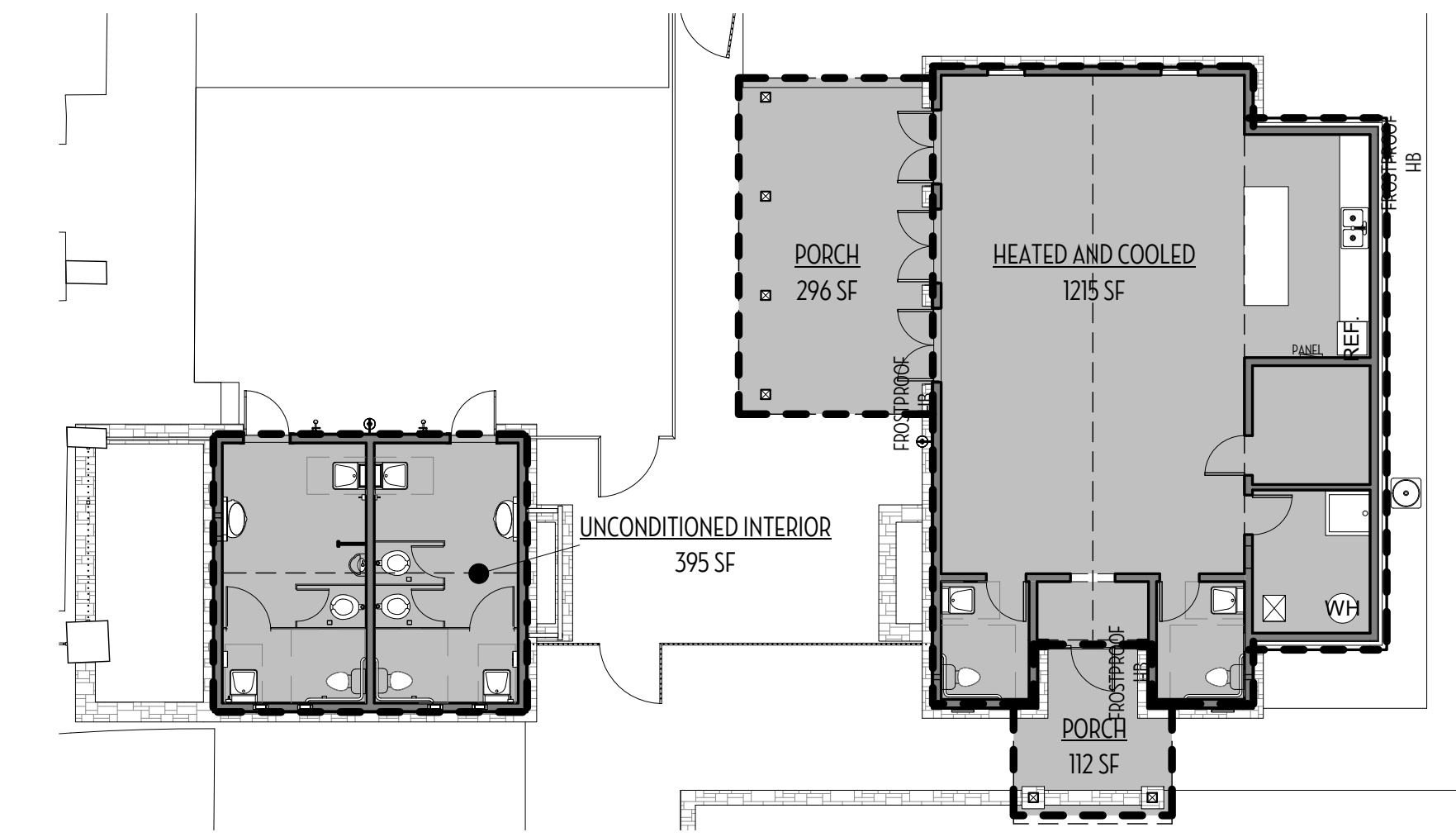
ABBREVIATIONS

A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
AF	ABOVE FINISHED FLOOR	ISA	INT'L SYMBOL OF ACCESSIBILITY
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ALUM	ALUMINUM	MAX	MAXIMUM
B/W	BETWEEN	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CMT	CENTER LINE	MTD	MOUNTED
CT	CERAMIC MOSAIC TILE	NO	NUMBER
CL	CERAMIC TILE	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	OC	ON CENTER
CJ	CONTROL JOINT	OH	OVERHEAD
DR	DOOR	PL	PLATE
ELEV	ELEVATION	PLFIN	PREFINISHED
EW	EACH WAY	PT	PRESSURE TREATED
EWC	ELECTRIC WATER COOLER	RL	RAIN LEADER
EQ	EQUAL	REIN	REINFORCED
EXIST	EXISTING	SS	STAINLESS STEEL
EXT	EXTERIOR	THK	THICK
FIN	FINISH	THR	THRESHOLD
FF	FINISHED FLOOR	T&B	TOP AND BOTTOM
FACP	FIRE ALARM CONTROL PANEL	TYP	TYPICAL
FEX	FIRE EXTINGUISHER	VERT	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	WC	WATER CLOSET
FD	FLOOR DRAIN	WD	WOOD
FRP	FIRE RETARDANT PAINT	WWF	WELDED WIRE FABRIC
GALV	GALVANIZED	W/	WITH
GC	GENERAL CONTRACTOR	XTR	EXISTING TO REMAIN
GWB	GYPSPUM WALLBOARD		
HC	HANDICAPPED		
HM	HOLLOW METAL		

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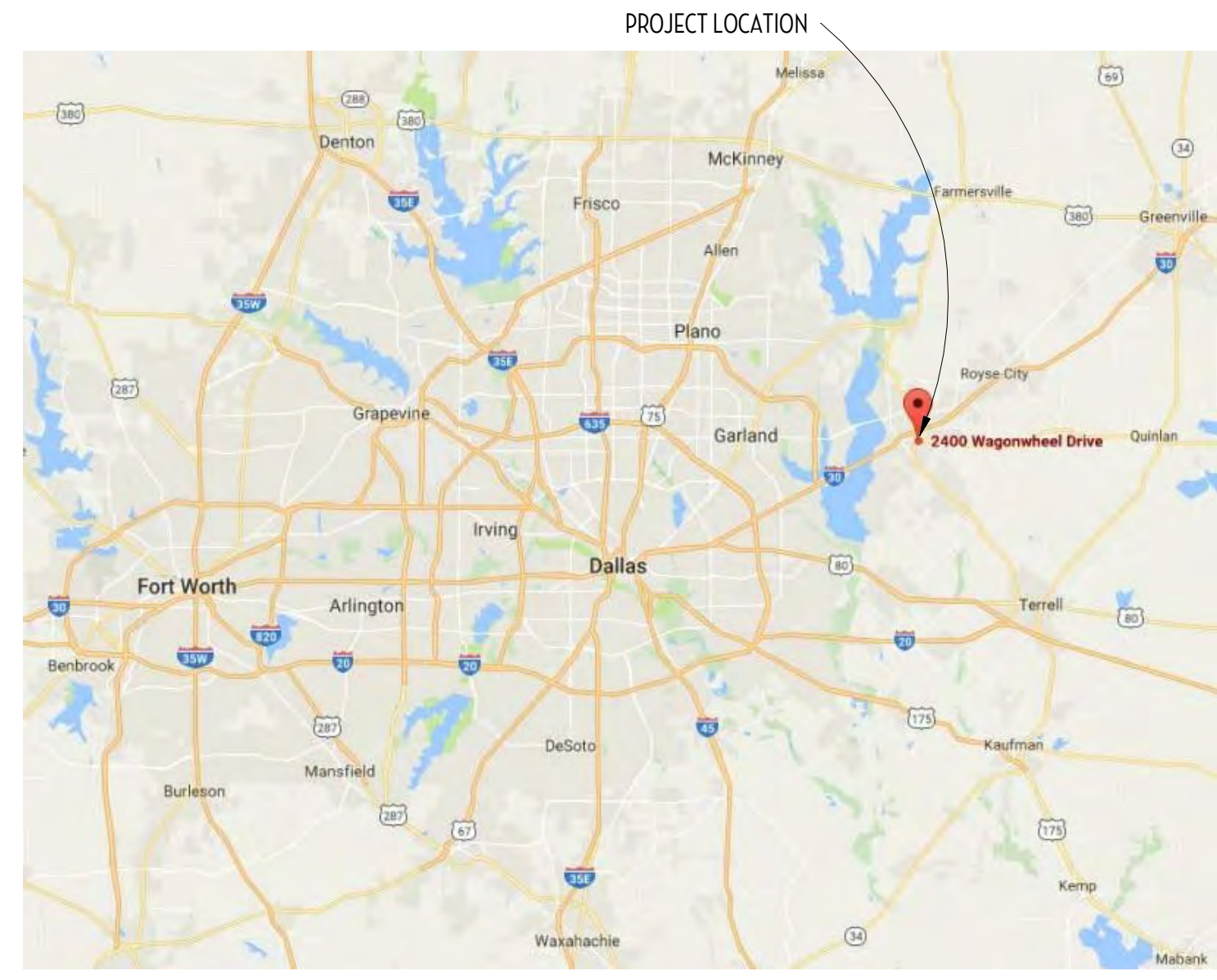
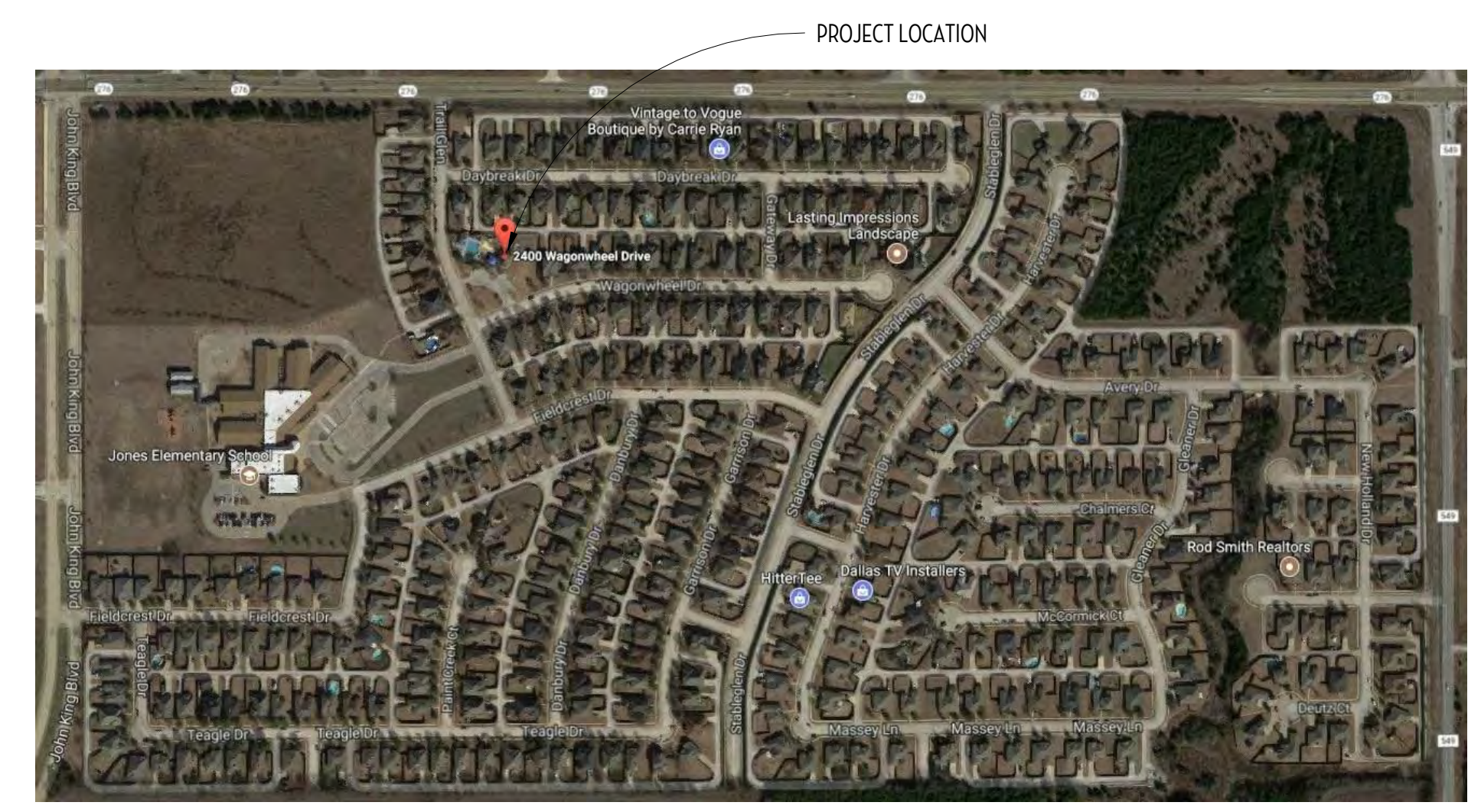


1 SITE DIAGRAM
1" = 20'-0"



2 AREA PLAN
3/32" = 1'-0"

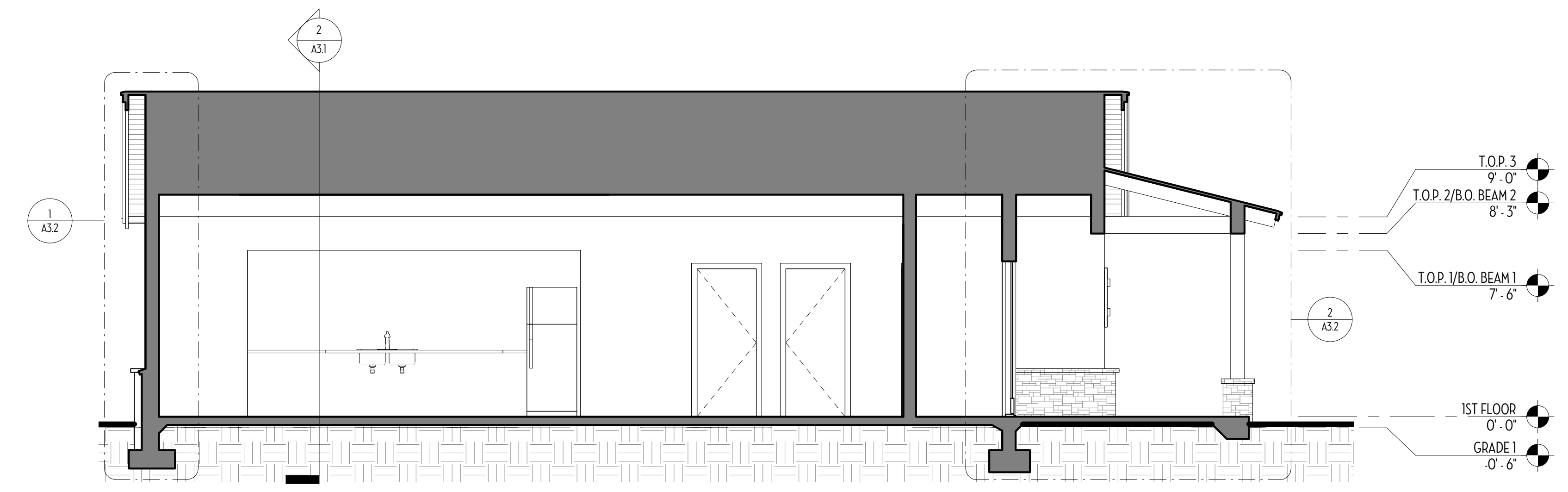
AREA PLANS		
NAME	LEVEL	AREA
HEATED AND COOLED	FIRST FLOOR	1215 SF
		1215 SF
PORCH	FIRST FLOOR	408 SF
		408 SF
UNCONDITIONED INTERIOR	FIRST FLOOR	395 SF
		395 SF
TOTAL AREA		2018 SF



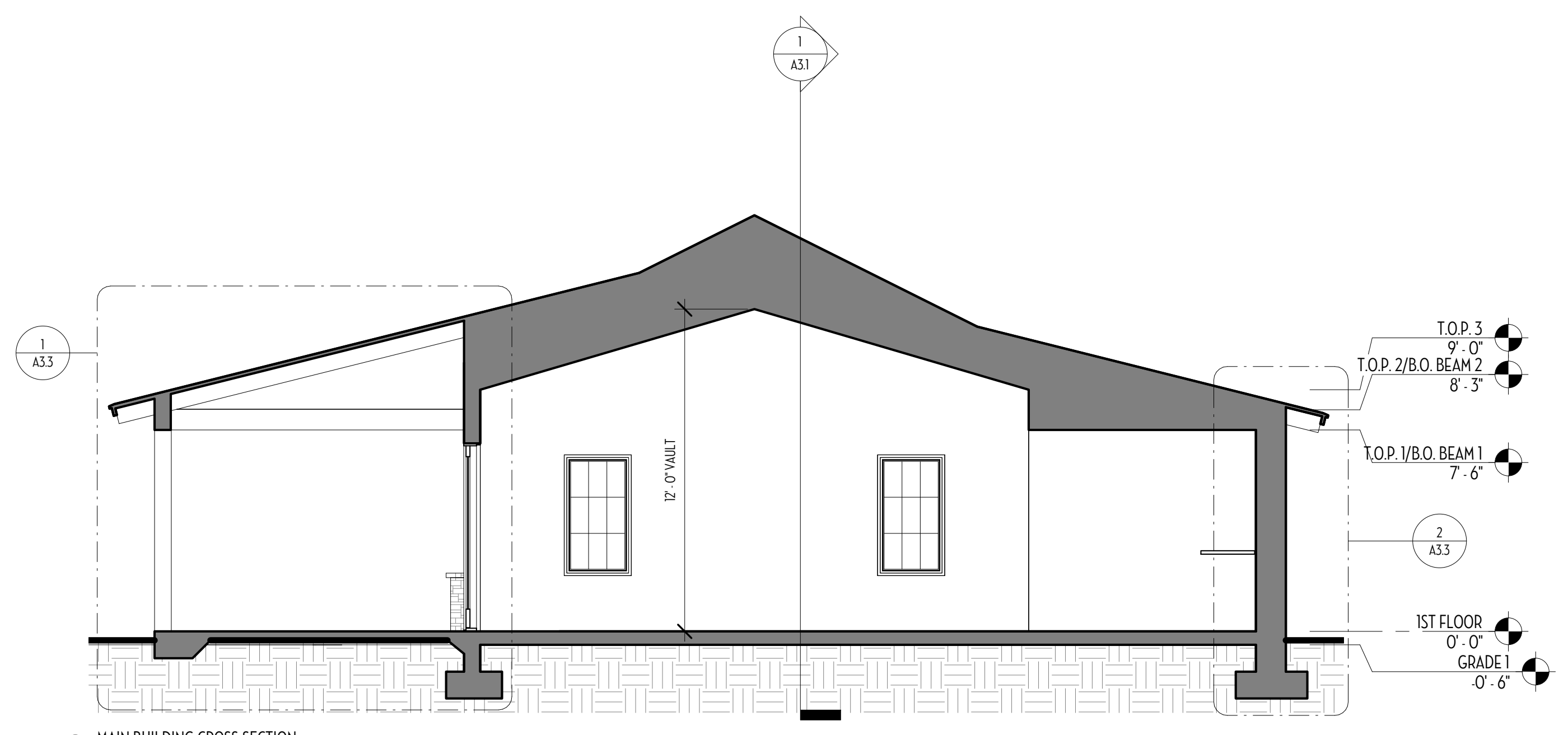
DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17

PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

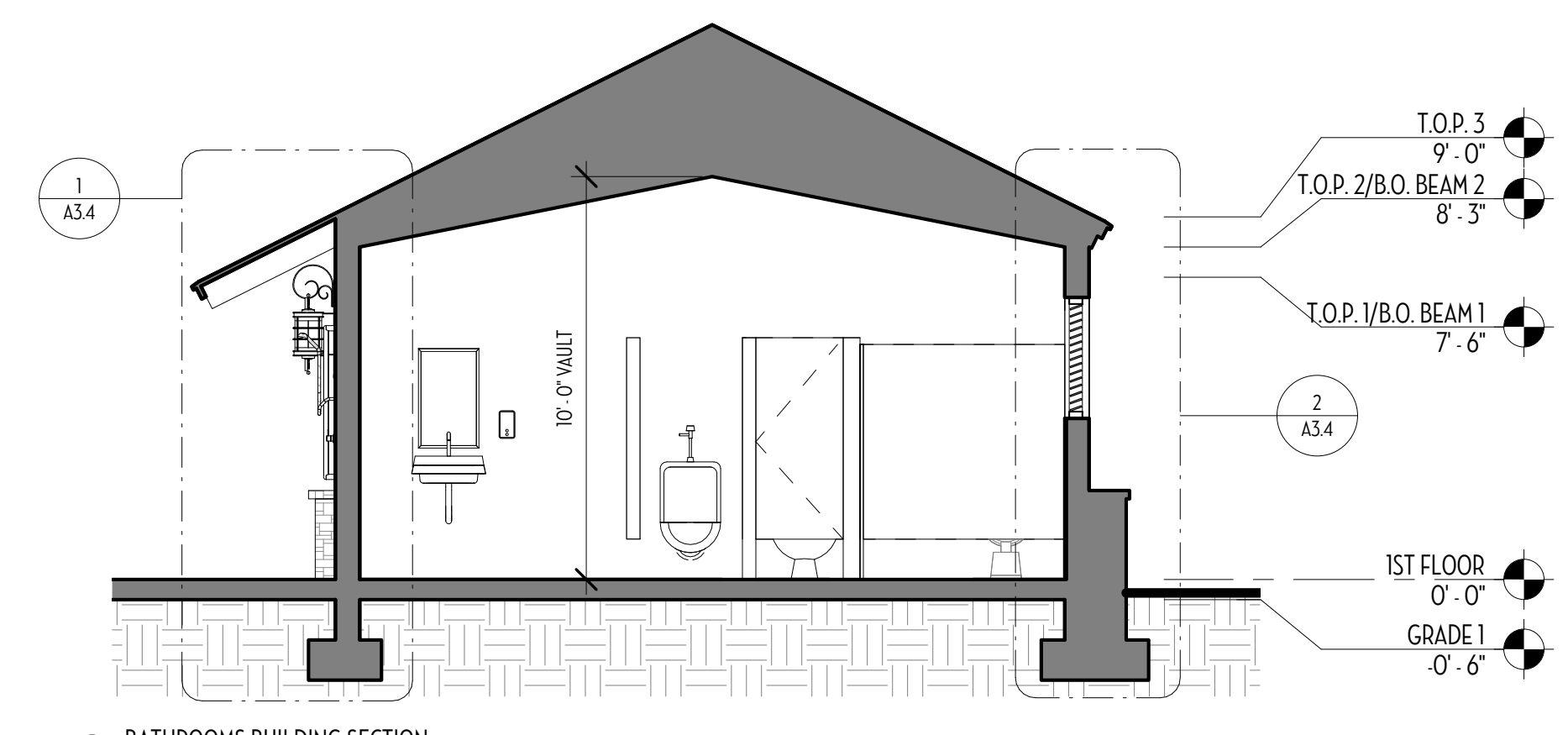
SHEET TITLE: **BUILDING SECTIONS**
JOB No.: 1718
DATE: 04/26/18
DRAWN BY: NS
CHECKED BY: AJV



1 MAIN BUILDING LONGITUDINAL SECTION
1/4" = 1'-0"



2 MAIN BUILDING CROSS-SECTION
1/4" = 1'-0"



3 BATHROOMS BUILDING SECTION
1/4" = 1'-0"

GENERAL SECTION NOTES:

- AT STUCCO OVER WOOD FRAME CONDITIONS:
- (3) COAT STUCCO
- SELF-FURRING LATH
- BENJAMIN OBDYKE SLICKER MAX
- BENJAMIN OBDYKE FLATWRAP UV
- INSTALL ALL COMPONENTS PER MFR. RECOMMENDATIONS FOR SYSTEM WARRANTY
- DEFER TO STRUCTURAL FOR ALL STRUCTURAL CONNECTIONS, SIZES, AND LOCATIONS.
- OPEN CELL FOAM INSULATION, R-20 MIN, TYP IN ROOFS.
- BALLOON FRAME GABLE END WALLS, TYP. 2x6 STUDS @ 16" O.C. W/ 1/2" PLYWOOD SHEATHING & 2x6 BLOCKING @ EA-SHEATHING JOINT.
- AUSTIN STONE VENEER BASE & SITE WALLS. UTILIZE EXISTING STONE & PROVIDE ADD'L STONE TO MATCH AS NEEDED

SHEET SCALE: 1/4" = 1'-0"

CD
A

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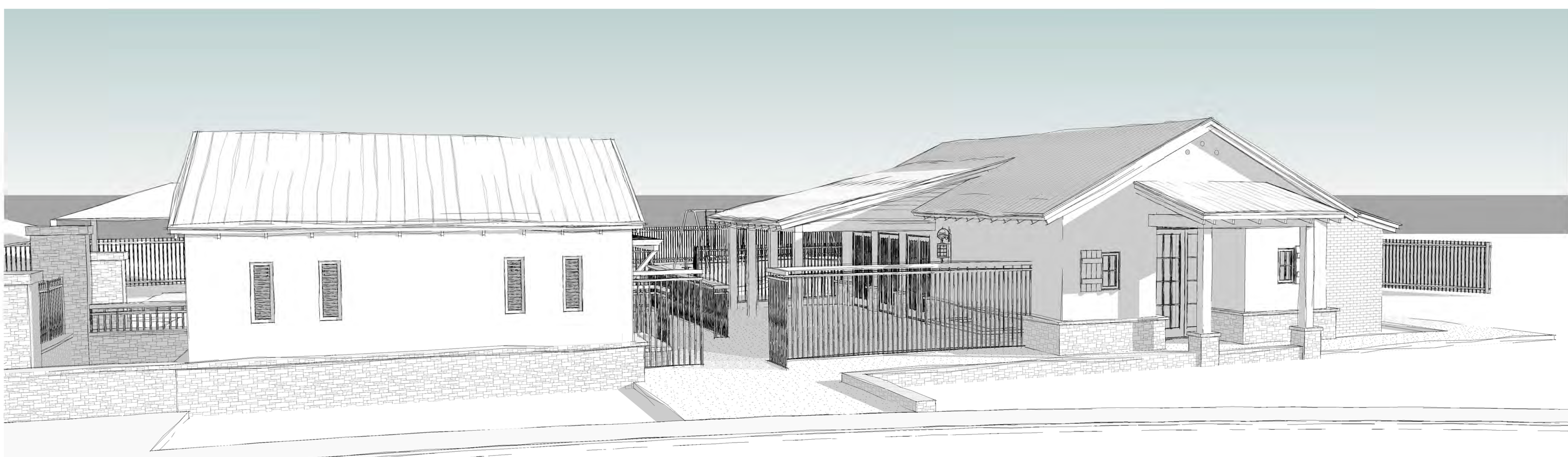
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ECM
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E-MAIL: ecm@ecmgroup.net
John H. Edmund, PE
Texas #110897

DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
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ISSUED FOR PERMIT	12-07-17



Lofland Farms Clubhouse

2400 Wagonwheel Drive
Rockwall, Texas



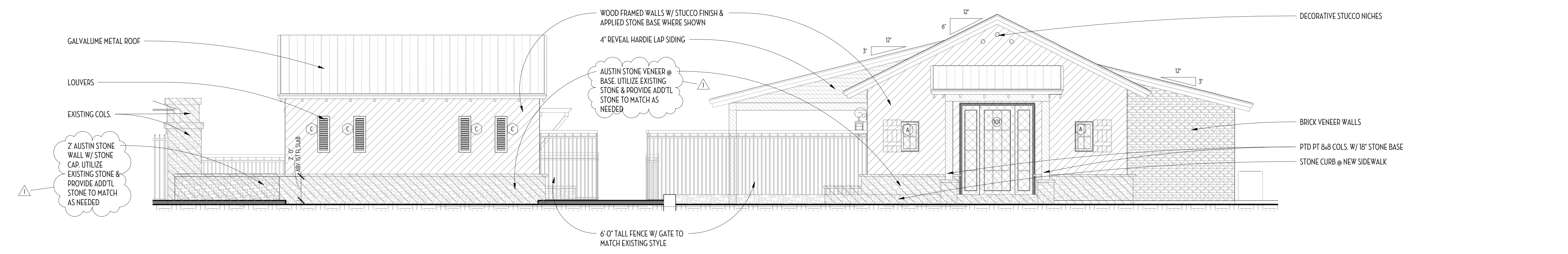
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2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE:
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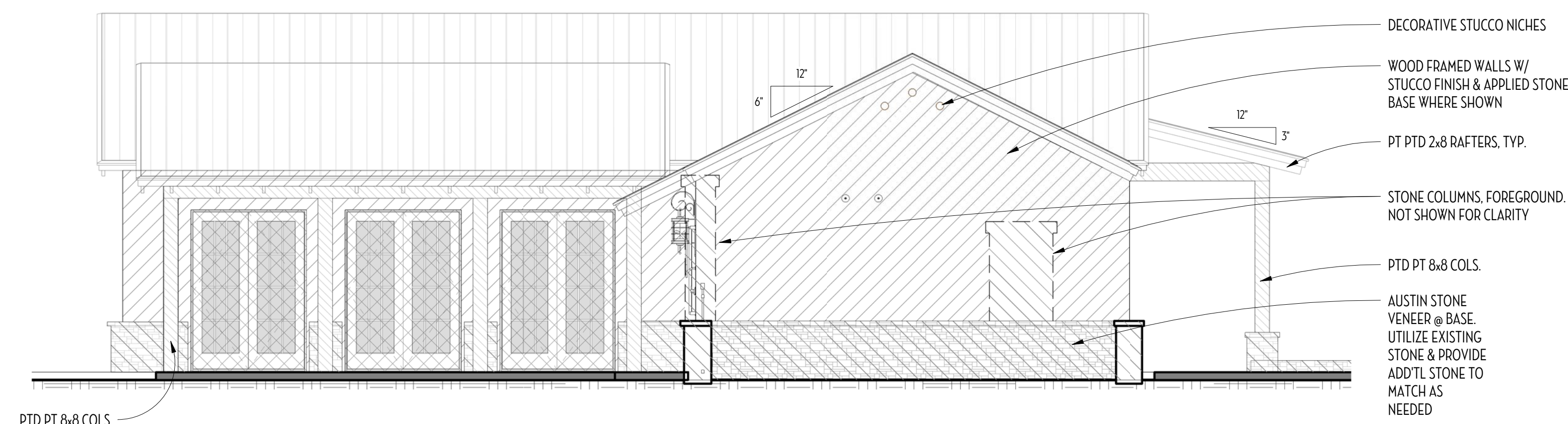
JOB No.: 1718
DATE: 12/07/17
DRAWN BY: NS
CHECKED BY: AJV

SHEET SCALE:
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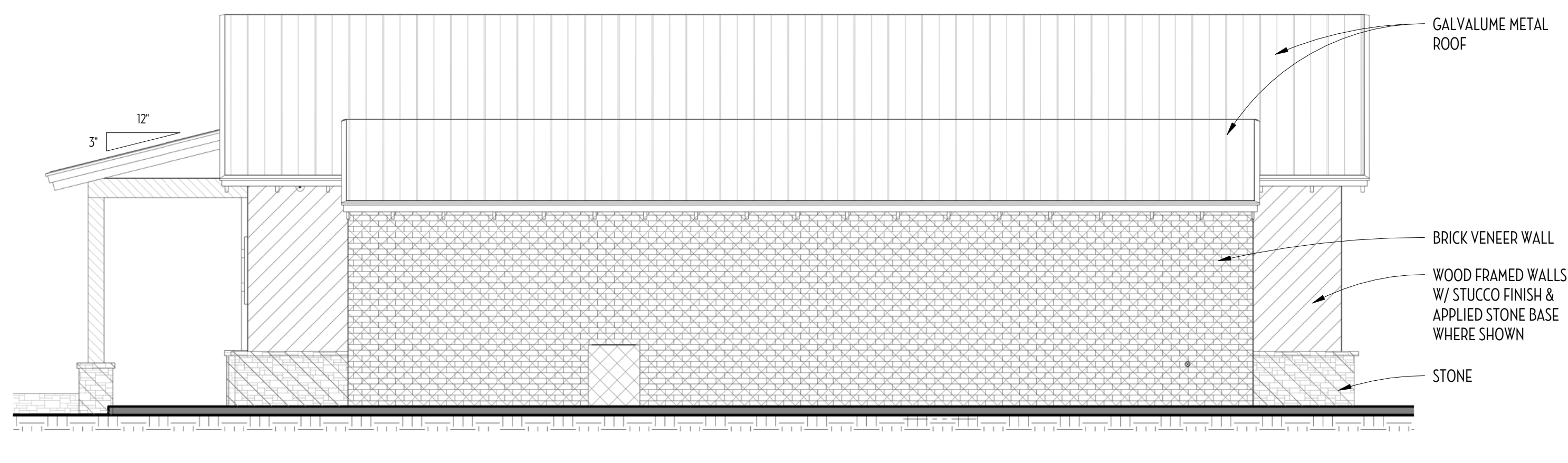
DATE	DISTRIBUTION
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09-29-17	ISSUED FOR REVIEW
10-17-17	ISSUED FOR REVIEW
12-07-17	ISSUED FOR PERMIT



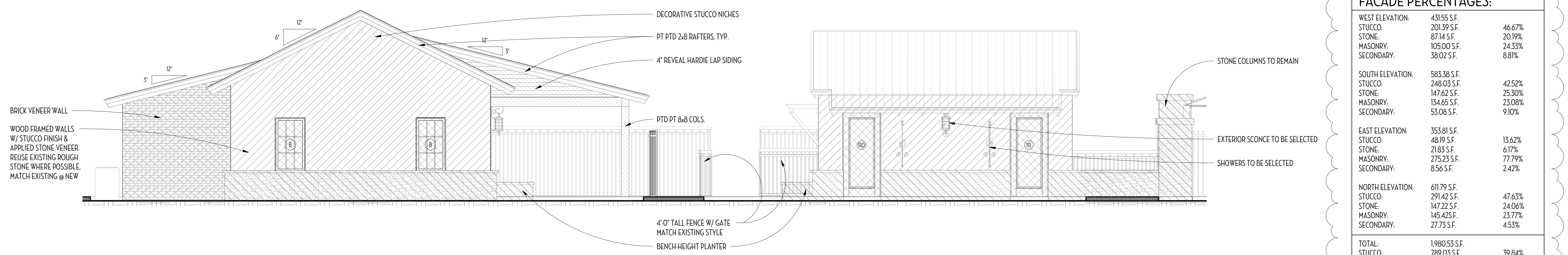
1 SOUTH ELEVATION MATERIALS
1/4" = 1'-0"



2 WEST ELEVATION MATERIALS
1/4" = 1'-0"



3 EAST ELEVATION MATERIALS
1/4" = 1'-0"



4 NORTH ELEVATION MATERIALS
1/4" = 1'-0"

FACADE PERCENTAGES:		
WEST ELEVATION:	431.55 S.F.	
STUCCO:	201.39 S.F.	46.67%
STONE:	87.14 S.F.	20.19%
MASONRY:	105.00 S.F.	24.33%
SECONDARY:	38.02 S.F.	8.81%
SOUTH ELEVATION:	583.38 S.F.	
STUCCO:	248.03 S.F.	42.52%
STONE:	147.62 S.F.	25.30%
MASONRY:	134.65 S.F.	23.08%
SECONDARY:	53.08 S.F.	9.10%
EAST ELEVATION:	353.81 S.F.	
STUCCO:	48.19 S.F.	13.62%
STONE:	21.83 S.F.	6.17%
MASONRY:	275.23 S.F.	77.79%
SECONDARY:	8.56 S.F.	2.42%
NORTH ELEVATION:	611.79 S.F.	
STUCCO:	291.42 S.F.	47.63%
STONE:	147.22 S.F.	24.06%
MASONRY:	145.42 S.F.	23.77%
SECONDARY:	27.73 S.F.	4.53%
TOTAL:	1,980.53 S.F.	
STUCCO:	789.03 S.F.	39.84%
STONE:	403.81 S.F.	20.39%
MASONRY:	660.30 S.F.	33.34%
SECONDARY:	127.39 S.F.	6.43%

CD
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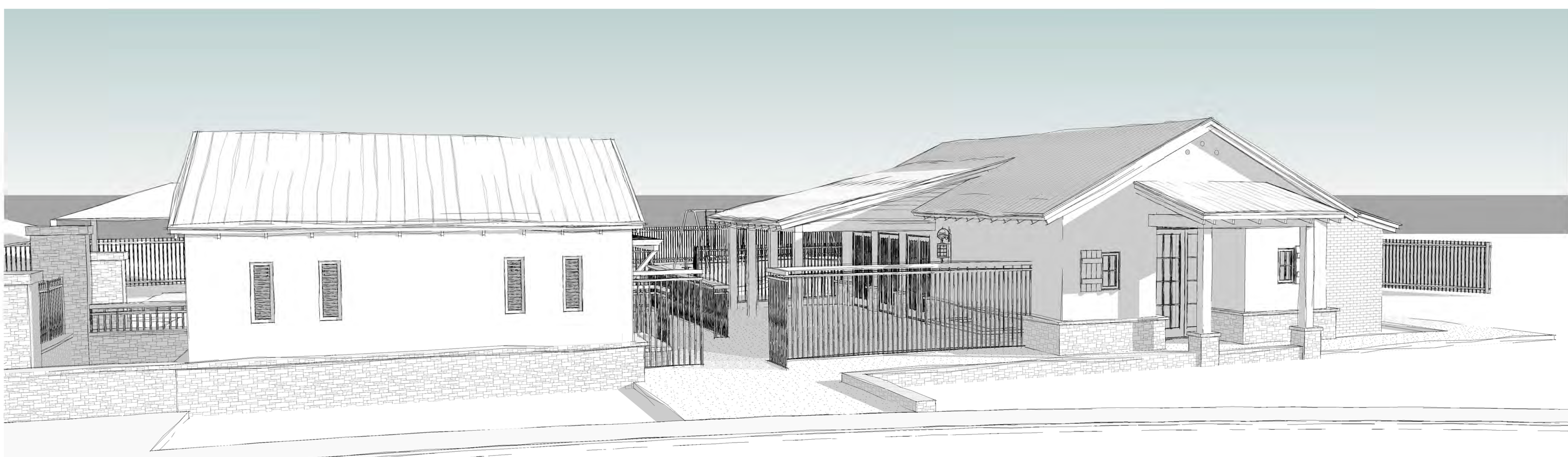
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John H. Edmund, PE
Texas #110897

DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17



Lofland Farms Clubhouse

2400 Wagonwheel Drive
Rockwall, Texas

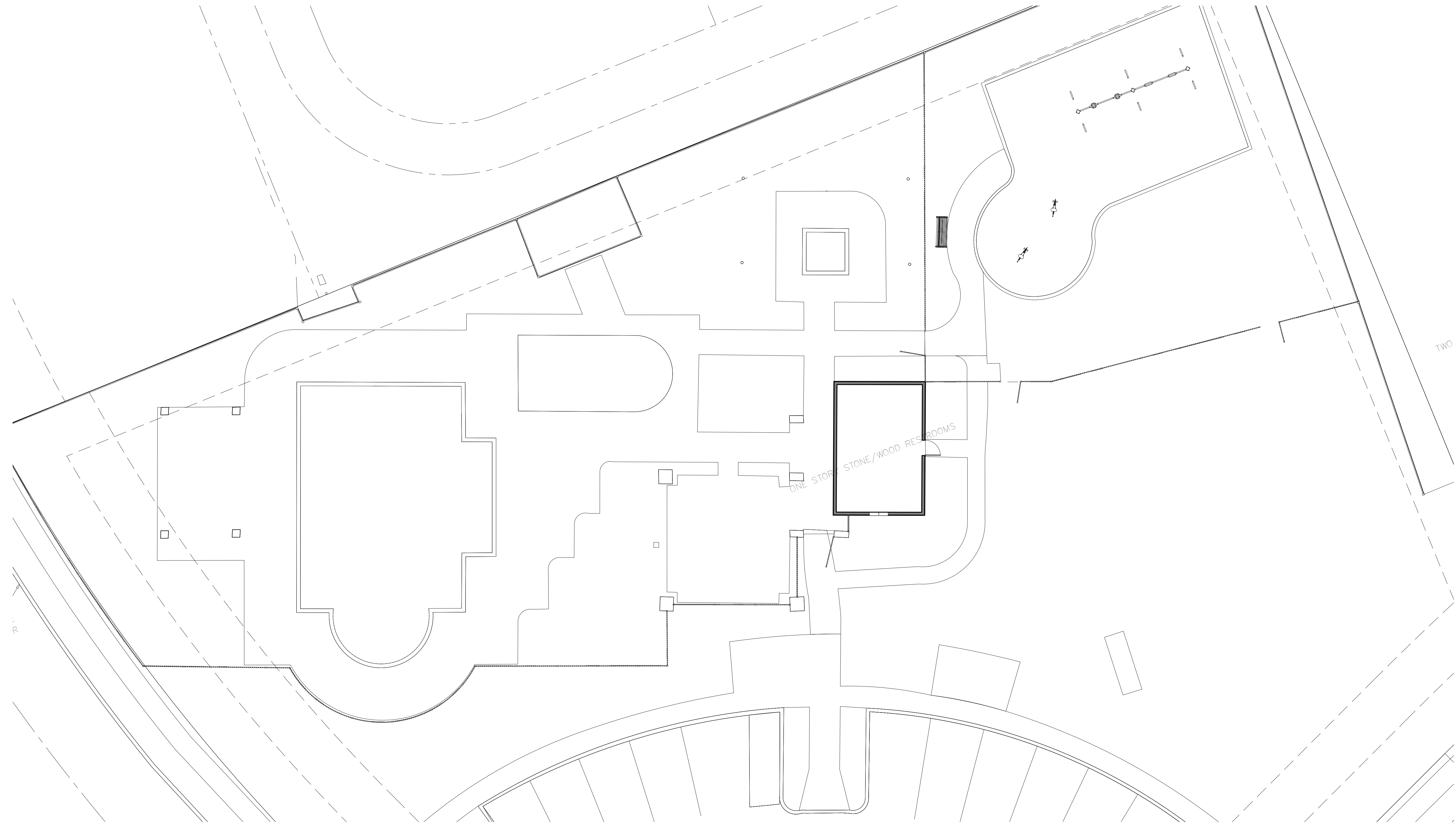


PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE:
COVER

JOB No.: 1718
DATE: 12/07/17
DRAWN BY: NS
CHECKED BY: AJV

SHEET SCALE:
A0.0



① SURVEY
1" = 10'-0"

**CD
A**

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4639 GULF STARR DRIVE
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DISTRIBUTION	DATE
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	06-29-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17

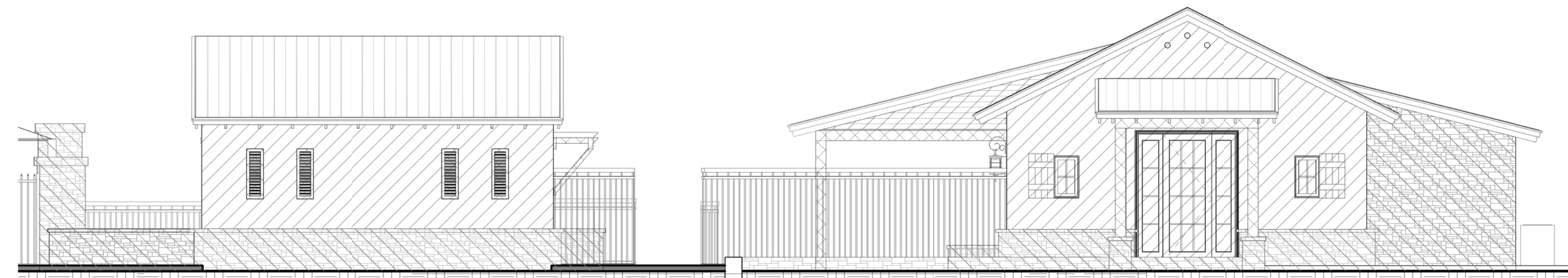
PROJECT: **LOFLAND FARMS CLUBHOUSE**
2400 Wagonwheel Drive
Rockwall, TX

SHEET TITLE: **SURVEY**
SHEET SCALE: 1" = 10'-0"

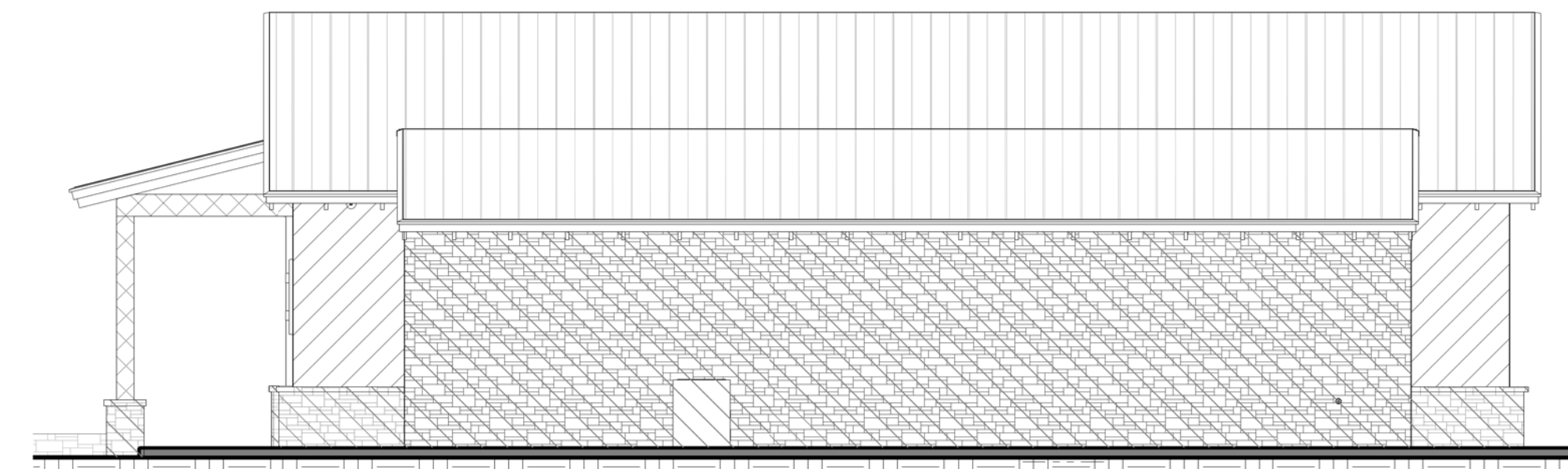
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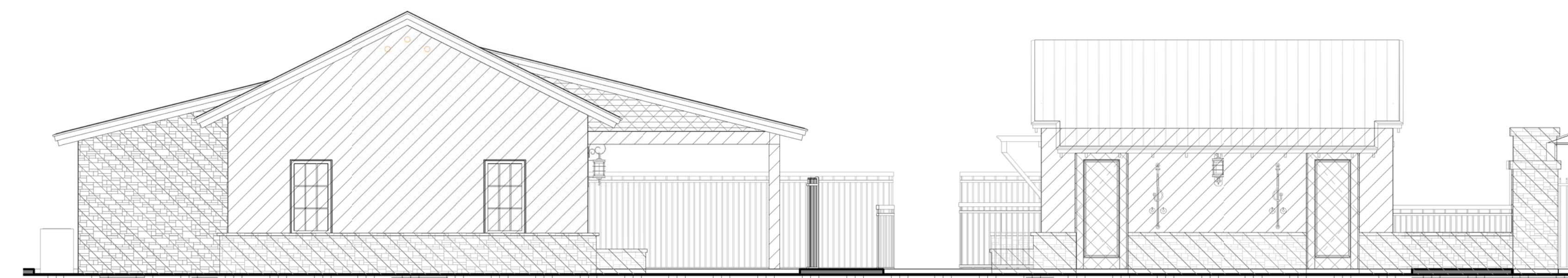
DISTRIBUTION	DATE
ISSUED FOR REVIEW	08-29-17
ISSUED FOR REVIEW	09-26-17
ISSUED FOR REVIEW	10-17-17
ISSUED FOR PERMIT	12-07-17
REVISED FOR PERMIT	08-26-17



1 SOUTH ELEVATION MATERIALS
3/16" = 1'-0"



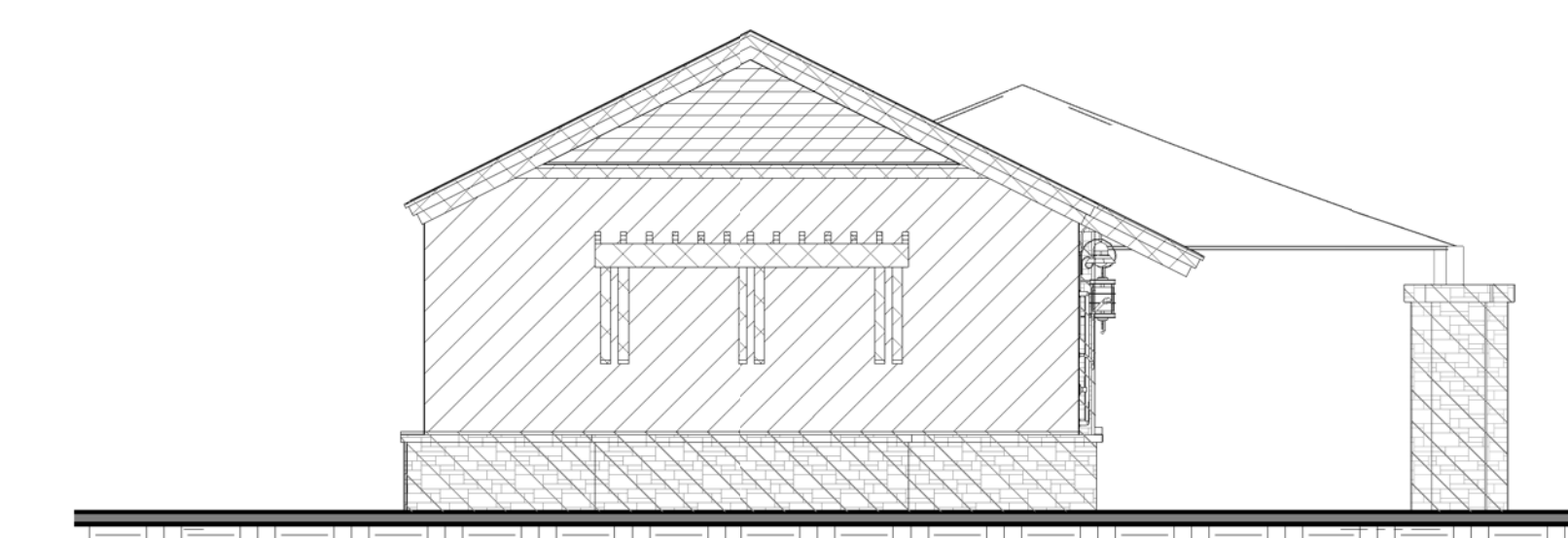
3 EAST ELEVATION MATERIALS
3/16" = 1'-0"



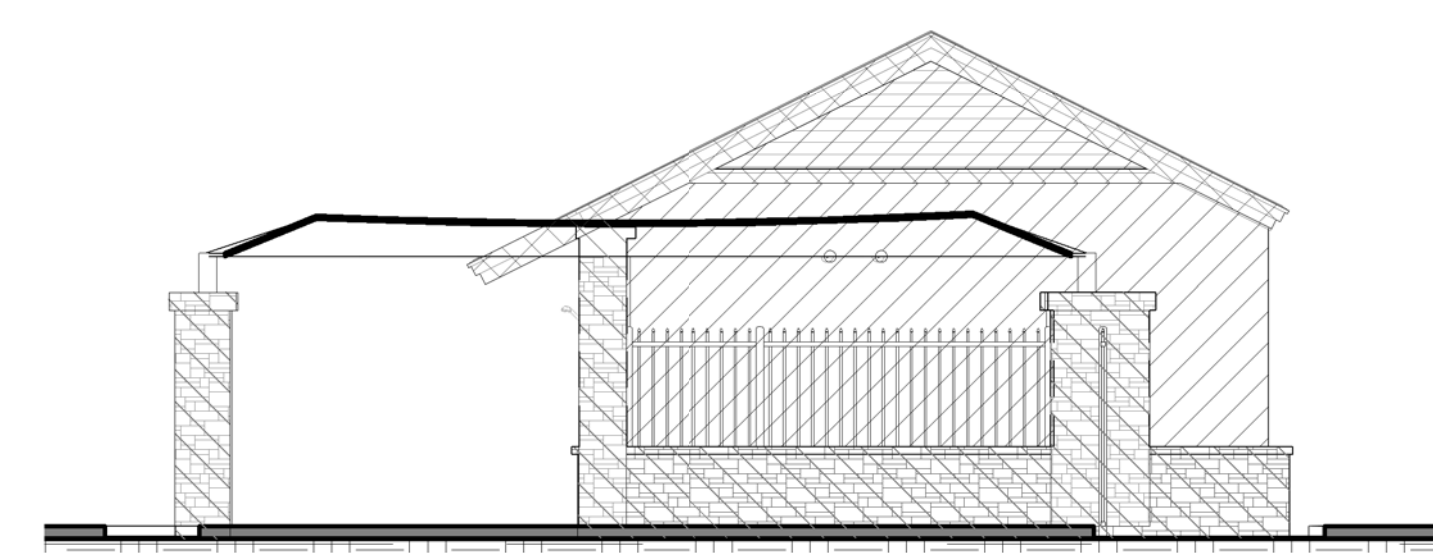
4 NORTH ELEVATION MATERIALS
3/16" = 1'-0"



2 WEST ELEVATION MATERIALS HALL
3/16" = 1'-0"



6 EAST ELEVATION MATERIALS BATH
3/16" = 1'-0"



5 WEST ELEVATION MATERIALS BATHROOM
3/16" = 1'-0"

FACADE PERCENTAGES:

MEETING HALL			BATHROOMS		
WEST ELEVATION:	293.11 S.F.		WEST ELEVATION:	238.84 S.F.	
STUCCO:	186.75 S.F.	63.71%	STUCCO:	116.75 S.F.	49%
STONE:	73.84 S.F.	25.19%	STONE:	81.44 S.F.	34%
BRICK:	00.0 S.F.	0%	BRICK:	00.0 S.F.	0%
HARDIE:	00.0 S.F.	0%	HARDIE:	00.0 S.F.	7%
WOOD:	35.52 S.F.	11.09%	WOOD:	40.64 S.F.	10%
MASONARY DR. & WIN:	0.00 S.F.	0%	MASONARY DR. & WIN:	00.00 S.F.	0%
SOUTH ELEVATION:	298.65 S.F.		SOUTH ELEVATION:	237.87 S.F.	
STUCCO:	127.88 S.F.	43%	STUCCO:	119.79 S.F.	50%
STONE:	129.69 S.F.	44%	STONE:	103.89 S.F.	44%
BRICK:	00.0 S.F.	0%	BRICK:	00.0 S.F.	0%
HARDIE:	15.39 S.F.	4%	HARDIE:	00.0 S.F.	0%
WOOD:	25.69 S.F.	9%	WOOD:	14.19 S.F.	6%
MASONARY DR. & WIN:	0.00 S.F.	0%	MASONARY DR. & WIN:	00.00 S.F.	0%
EAST ELEVATION:	353.79 S.F.		EAST ELEVATION:	239.40 S.F.	
STUCCO:	48.19 S.F.	14%	STUCCO:	120.50 S.F.	50%
STONE:	297.04 S.F.	84%	STONE:	66.25 S.F.	28%
BRICK:	00.0 S.F.	0%	BRICK:	00.0 S.F.	0%
HARDIE:	00.0 S.F.	0%	HARDIE:	17.13 S.F.	7%
WOOD:	8.56 S.F.	2%	WOOD:	35.52 S.F.	15%
MASONARY DR. & WIN:	00.00 S.F.	0%	MASONARY DR. & WIN:	00.00 S.F.	0%
NORTH ELEVATION:	357.88 S.F.		NORTH ELEVATION:	187.93 S.F.	
STUCCO:	189.44 S.F.	53%	STUCCO:	101.99 S.F.	54%
STONE:	140.71 S.F.	39%	STONE:	85.94 S.F.	46%
BRICK:	00.0 S.F.	0%	BRICK:	00.0 S.F.	0%
HARDIE:	14.28 S.F.	4%	HARDIE:	00.0 S.F.	0%
WOOD:	13.45 S.F.	4%	WOOD:	00.00 S.F.	0%
MASONARY DR. & WIN:	0.00 S.F.	0%	MASONARY DR. & WIN:	00.00 S.F.	0%
TOTAL:	1303.43 S.F.		TOTAL:	903.62 S.F.	
STUCCO:	552.26 S.F.	42%	STUCCO:	459.03 S.F.	50%
STONE:	641.28 S.F.	50%	STONE:	337.52 S.F.	38%
BRICK:	0.00 S.F.	0%	BRICK:	00.0 S.F.	0%
HARDIE:	26.67 S.F.	2%	HARDIE:	34.81 S.F.	4%
WOOD:	80.22 S.F.	6%	WOOD:	72.26 S.F.	8%
MASONARY DR. & WIN:	0.00 S.F.	0%	MASONARY DR. & WIN:	43.95 S.F.	0%