



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # MIS 2018-001 P&Z DATE _____ CC DATE _____

APPROVED/DENIED ARB DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECIEPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 1/17/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/19/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/30/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/30/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

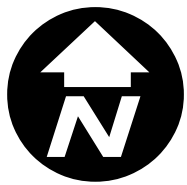
Project Number: MIS2018-001
Project Name: 1507 S. Alamo
Project Type: MISCELLANEOUS
Applicant Name: KRIS GREEN
Owner Name: JBR, 2 LLC
Project Description:



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 1507 South Alamo Rd
 Subdivision: Eagle Point Estates Lot: 7 Block: A
 General Location: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: _____ Current Use: _____
 Proposed Zoning: _____ Proposed Use: _____
 Acreage: _____ Lots [Current]: _____ Lots [Proposed]: _____

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	_____	<input checked="" type="checkbox"/> Applicant	Kris Green
Contact Person	_____	Contact Person	Kris Green
Address	_____	Address	5626 Cambria Ar
City, State & Zip	_____	City, State & Zip	Rockwall, TX 75082
Phone	_____	Phone	972-824-9805
E-Mail	_____	E-Mail	Kgreenconstruction@icloud.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's/Applicant's Signature

Kris Green

Notary Public in and for the State of Texas

My Commission Expires _____

January 11, 2018

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, TX 75087

Dear P&Z Department,

I am in the planning stages of building a home at 1507 South Alamo Rd., Eagle Point Estates Lot 7, block A.

We would like to build a modern 2 story farm house. For the exterior we would like to use the concrete Hardie siding and Hardie board and batten. Our home size will approximately be 3100 a/c square footage.

I have a provided a photo of the home that was the inspiration for our design.

Thanks in advance for allowing us to build our dream home in Rockwall.

Kris Green

5626 Cambria Dr.

Rockwall, TX 75032

972-824-9805





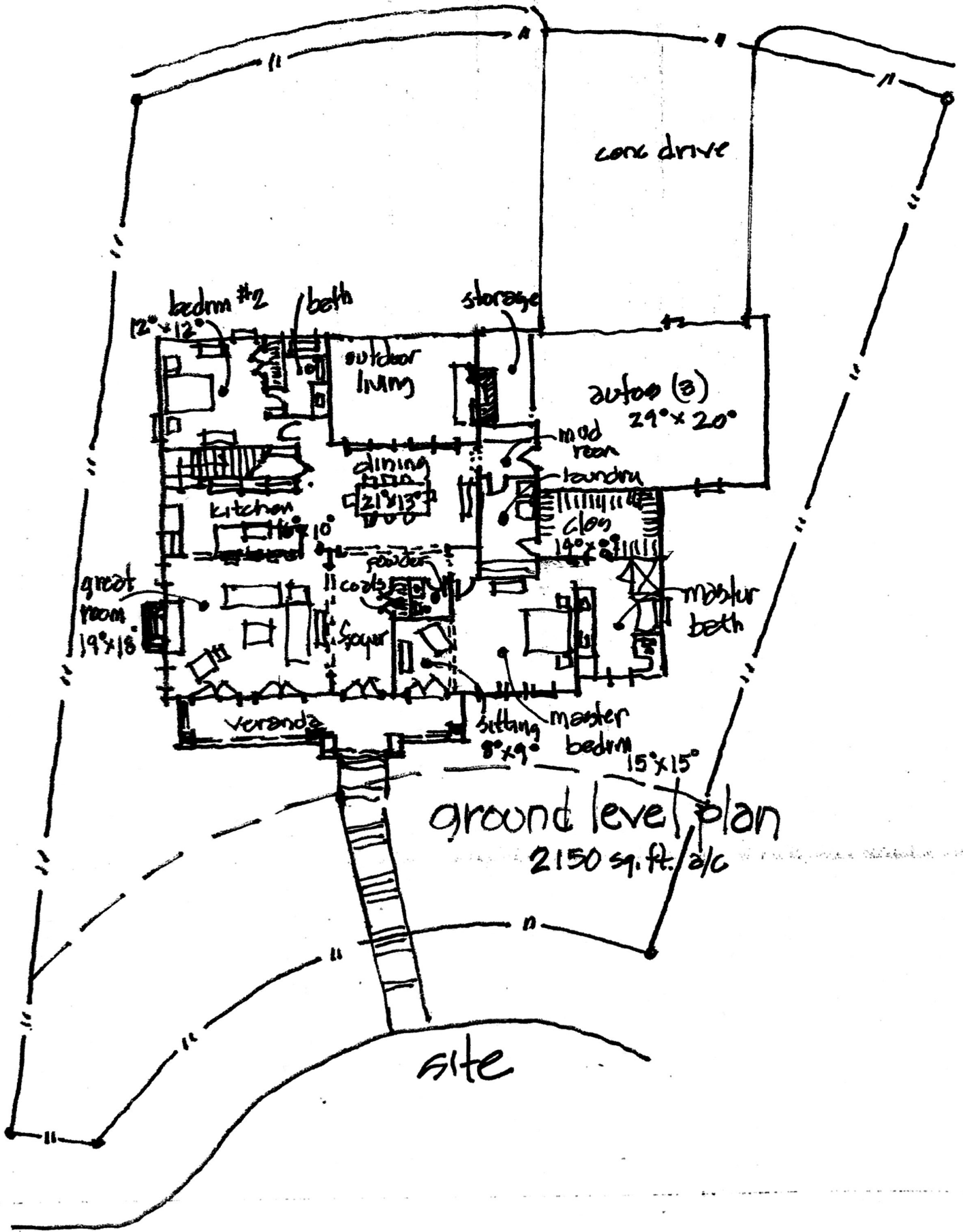
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Green Residence

Farm House

alley



conc drive

bedrm #2
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autoop (3)
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great room
19' x 18'

powder

coat

door

master bath

veranda

sitting

master bedroom
8' x 9'

15' x 15'

ground level plan

2150 sq. ft. +/-

site

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 01/30/2018

APPLICANT: Kris Green

AGENDA ITEM: MIS2018-001; *Masonry Exception*

SUMMARY:

Discuss and consider a request by Kris Green for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code, for a 0.255-acre parcel of land identified as Lot 7, Block A, Eagle Point Estates, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1507 South Alamo Drive, and take any action necessary.

CHARACTERISTICS OF REQUEST:

The applicant has submitted a request for an exception to the minimum masonry requirements for the purpose of constructing an ~3,100 SF home on the subject property. According to the applicant's letter, the proposed home will be constructed in a modern farmhouse style. The applicant is proposing to utilize 100% fiber-cement [e.g. *Hardie Board*] siding in a vertical *board-and-baton* pattern that will be painted white.

According to Subsection 3.1.A.1, *Exterior Wall Materials*, of Section 3, *Residential Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all buildings 120 SF or more and over ten (10) feet in height shall have exterior walls constructed of at least 80% masonry materials with no more than 50% being Hardie Board or other similar cementitious material. Buildings not meeting this requirement shall require approval of the Planning and Zoning Commission and City Council. According to Subsection 3.1.A.3, *Exterior Wall Materials*, of Section 3, *Residential Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), exceptions to these requirement may be permitted on a case-by-case basis by the City Council upon submission and approval of elevation drawings of the subject structure and material samples. In this case, the applicant has provided examples of the style of home and siding proposed for the home in the attached packet.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the applicant's request staff would recommend the following conditions:

- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number MIS2018-001	Owner JBR, 2 LLC	Applied 1/12/2018	LM
Project Name 1507 S. Alamo	Applicant KRIS GREEN	Approved	
Type MISCELLANEOUS		Closed	
Subtype EXCEPTION OR WAIVER		Expired	
Status Staff Review		Status	
 Site Address 1507 S ALAMO RD		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision EAGLE POINT ESTATES	Tract 7	Block A	Lot No 7
		Parcel No 3559-000A-0007-00-OR	General Plan

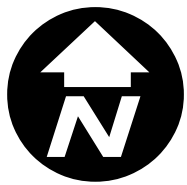
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Building Inspections Di	John Ankrum	1/17/2018		1/17/2018	APPROVED	
Fire Department	Kevin Clark	1/22/2018	1/22/2018	1/22/2018	APPROVED	
Planning Department	Korey Brooks	1/26/2018		1/26/2018	COMMENTS	Comments
MIS2018-001 Masonry Exception 1507 S Alamo. Drive Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request by Kris Green for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, General Residential District Standards, of Article V, District Development Standards, of the Unified Development Code, for a 0.255-acre parcel of land identified as Lot 7, Block A, Eagle Point Estates, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1507 South Alamo Drive.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (MIS2018-001) in the lower right hand corner of all pages on future submittals.						
I.4 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by February 6, 2018.						
I.5 The Planning and Zoning Meeting will be January 30, 2018. The City Council meeting date is February 19, 2018.						
I.6 All meetings will be held at 6:00 p.m. in the Council Chambers at City Hall.						



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CITY ENGINEER: _____

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PROPERTY INFORMATION [PLEASE PRINT]

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 Subdivision: Eagle Point Estates Lot: 7 Block: A
 General Location: _____

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Contact Person	_____	Contact Person	Kris Green
Address	_____	Address	5626 Cambria Ar
City, State & Zip	_____	City, State & Zip	Rockwall, TX 75082
Phone	_____	Phone	972-824-9805
E-Mail	_____	E-Mail	Kgreenconstruction@icloud.com

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Before me, the undersigned authority, on this day personally appeared _____ [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

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Given under my hand and seal of office on this the _____ day of _____, 20 _____. _____

Owner's/Applicant's Signature

Kris Green

Notary Public in and for the State of Texas

My Commission Expires _____

January 11, 2018

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, TX 75087

Dear P&Z Department,

I am in the planning stages of building a home at 1507 South Alamo Rd., Eagle Point Estates Lot 7, block A.

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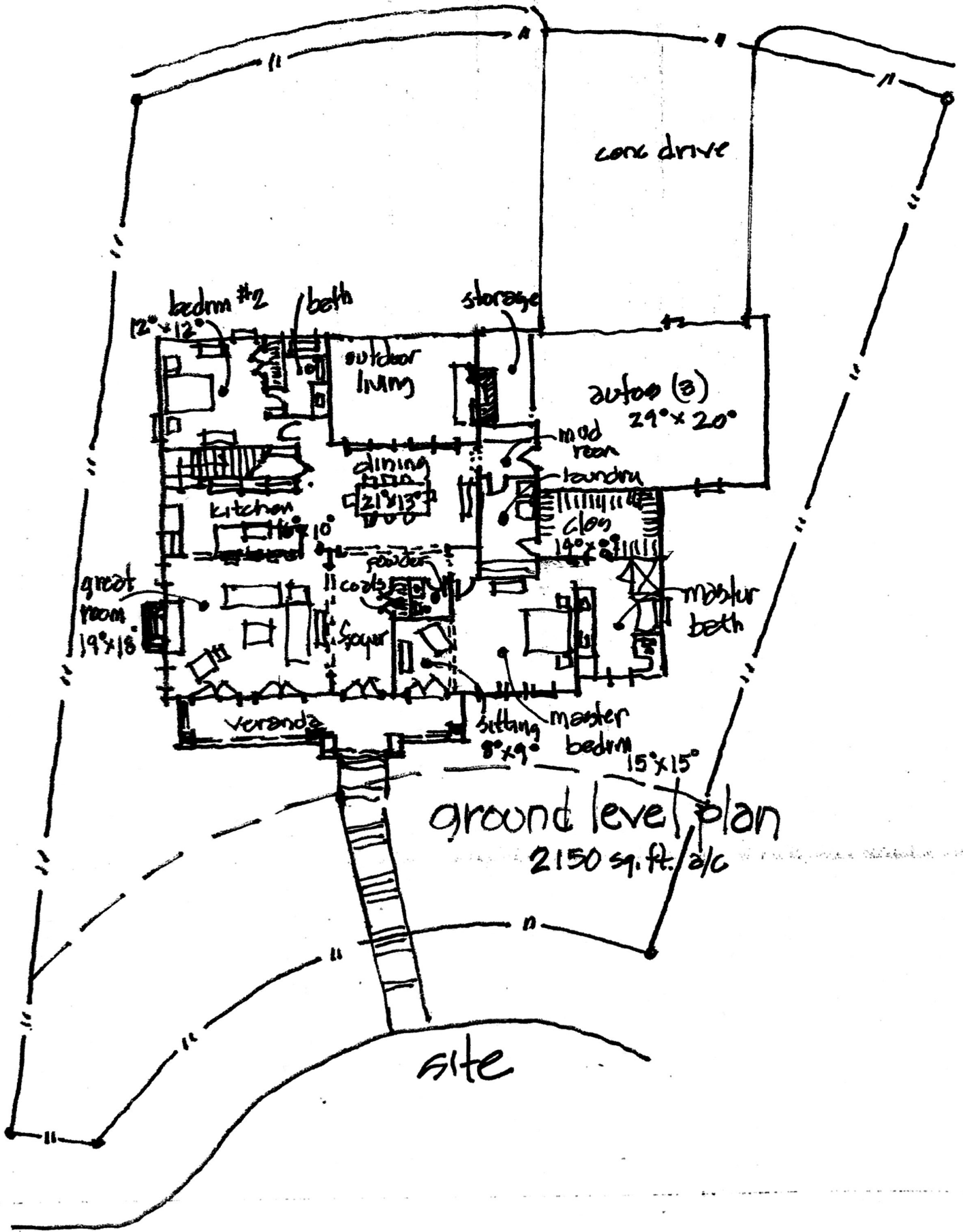
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brick or stone

Green Residence

Farm House

alley



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bedrm #2
12' x 12'

bath

storage

outdoor living

auto garage (3)
21' x 20'

mod room

kitchen

dining room
21' x 13'

laundry

clo

great room
19' x 18'

powder

master bath

veranda

sitting room
8' x 9'

master bedroom
15' x 15'

ground level plan

2150 sq. ft. +/-

site

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 02/05/2018

APPLICANT: Kris Green

AGENDA ITEM: MIS2018-001; *Masonry Exception*

SUMMARY:

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CHARACTERISTICS OF REQUEST:

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RECOMMENDATIONS:

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PLANNING AND ZONING COMMISSION:

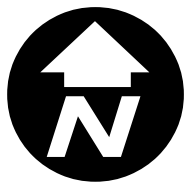
On January 30, 2018, the Planning and Zoning Commission's motion to recommend approval of the exception to the minimum masonry requirements stipulated in the Unified Development Code (UDC) with staff recommendations passed by a vote of 5-2 with Commissioners Lyons and Welch dissenting.



City of Rockwall

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January 11, 2018

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, TX 75087

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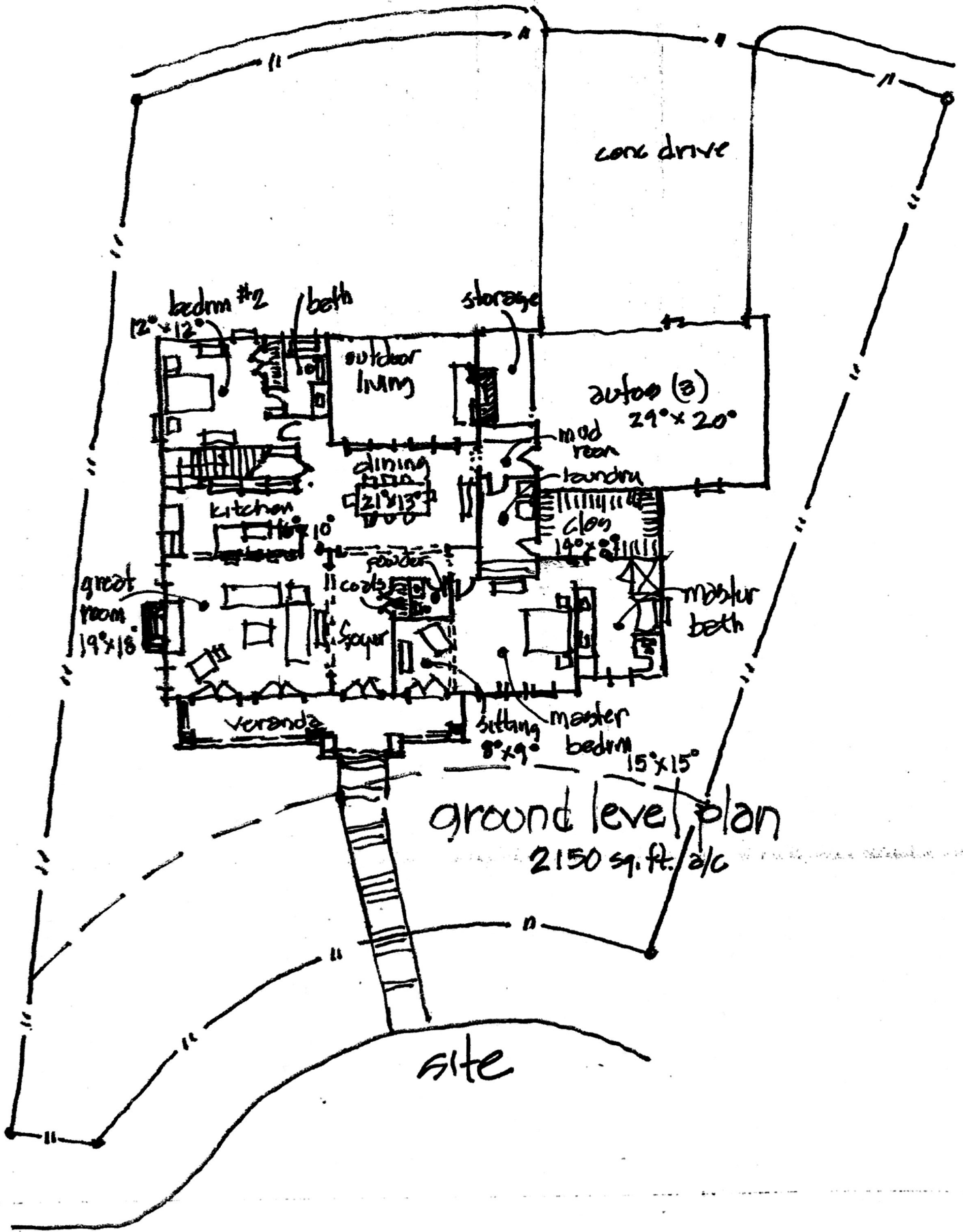
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ground level plan

2150 sq. ft. +/-

site

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 02/09/2018

APPLICANT: Kris Green

AGENDA ITEM: MIS2018-001; *Masonry Exception*

SUMMARY:

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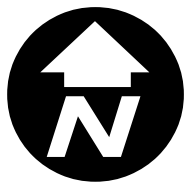
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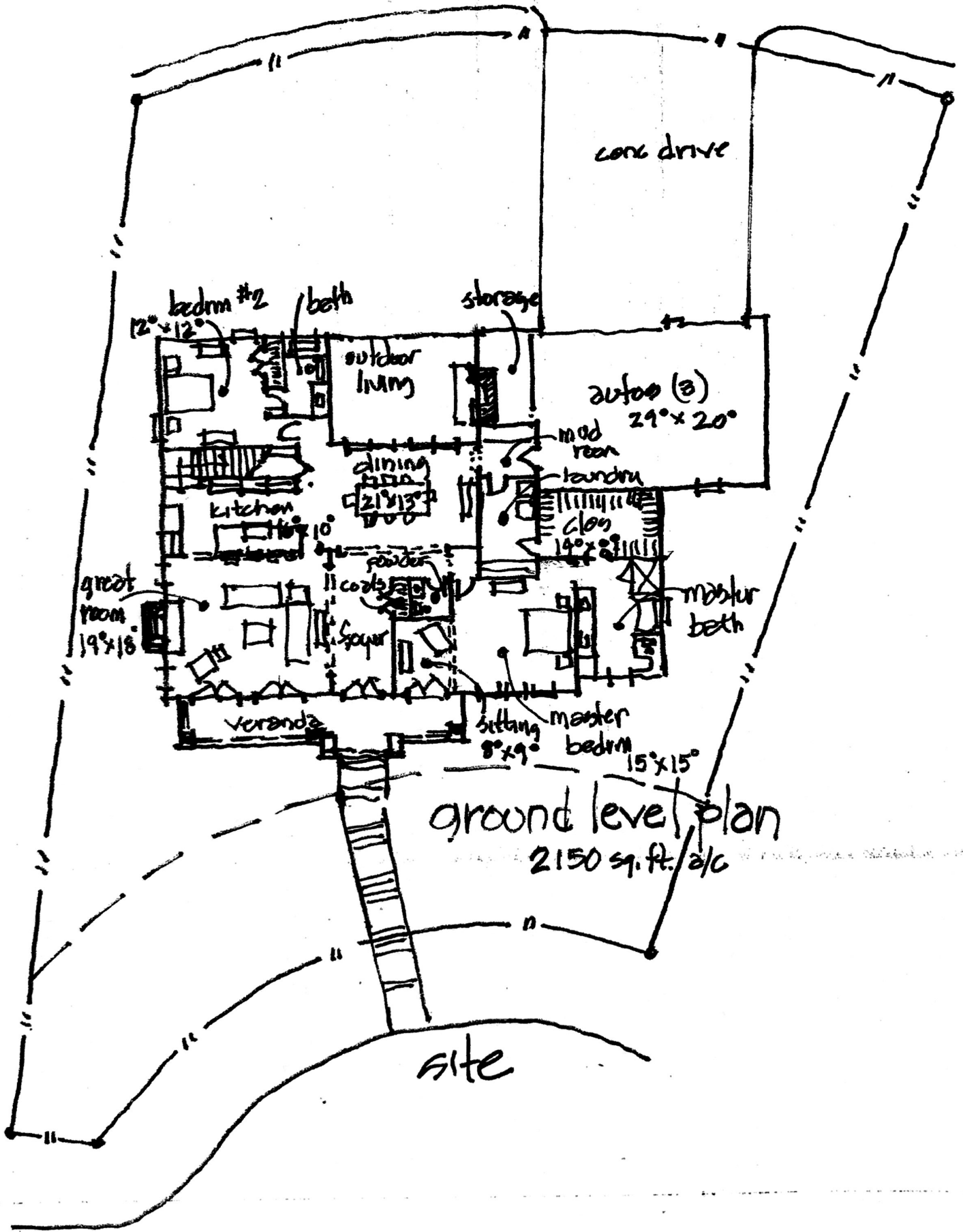
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clo

great room
19' x 18'

powder

master bath

veranda

sitting room
8' x 9'

master bedroom
15' x 15'

ground level plan

2150 sq. ft. +/-

site



February 27, 2018

KRIS GREEN
5626 CAMBRIA DRIVE,
Rockwall, TX 75032

RE: EXCEPTION OR WAIVER MISCELLANEOUS (MIS2018-001), 1507 S. Alamo

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council on 02/19/2018. The following is a record of all recommendations, voting records and conditions of approval:

STAFF RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the applicant's request staff would recommend the following conditions:

- 1) Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

PLANNING AND ZONING COMMISSION:

On January 30, 2018, the Planning and Zoning Commission's motion to recommend approval of the exception to the minimum masonry requirements stipulated in the Unified Development Code (UDC) with staff recommendations passed by a vote of 5-2 with Commissioners Lyons and Welch dissenting.

CITY COUNCIL:

On February 19, 2018, the City Council's motion to approve an exception to the minimum masonry requirements and with staff conditions passed by a vote of 4 to 1 with Council Member Daniels dissenting and Council Members Macalik and Townsend absent.

Please contact the City of Rockwall Planning Staff at (972) 771-7745 with any questions regarding this matter.

Sincerely,

Korey Brooks
Planner
Planning & Zoning Department
City of Rockwall, TX