

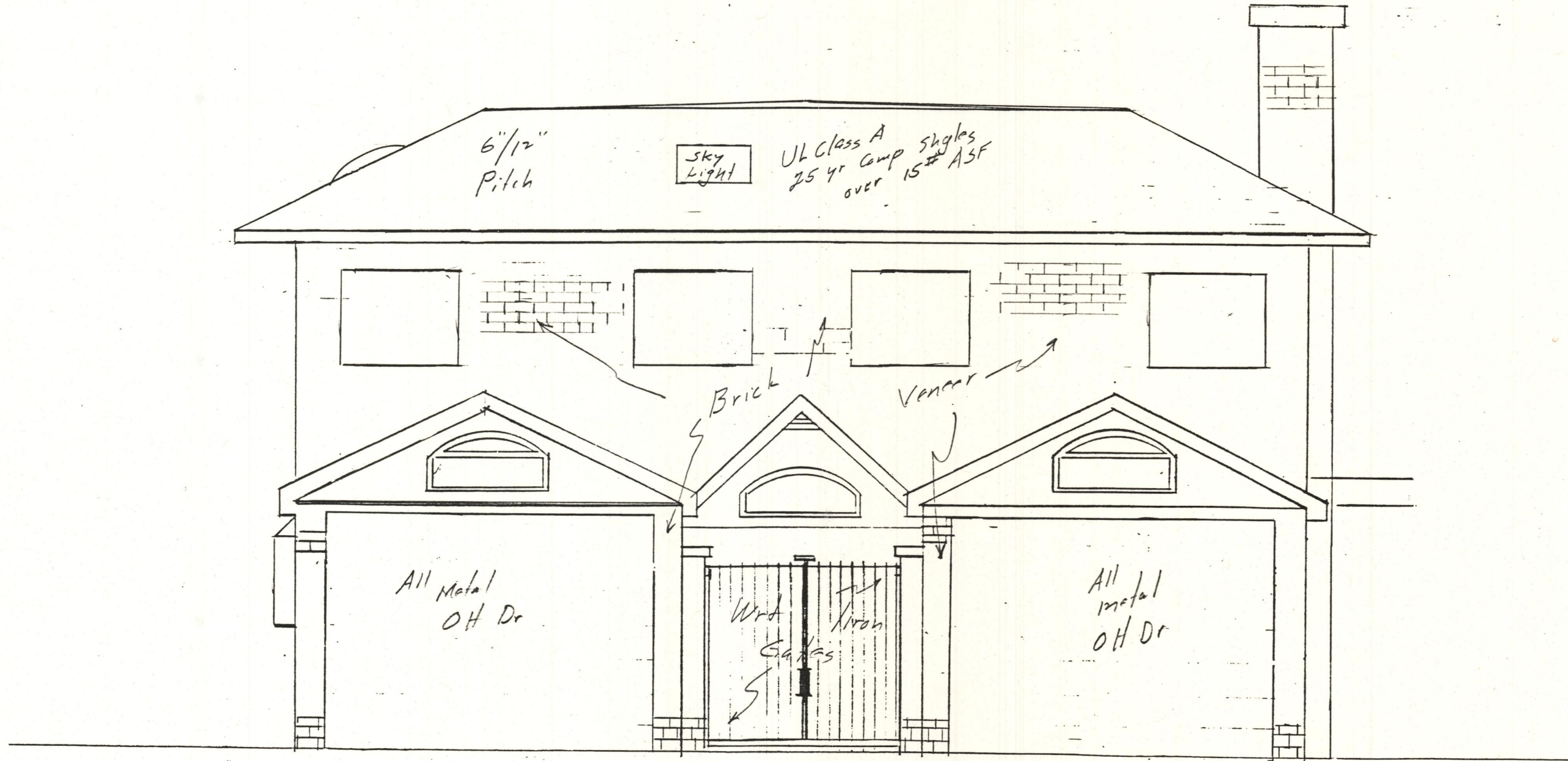
A. B. Carothers Residence

Index to Sheets

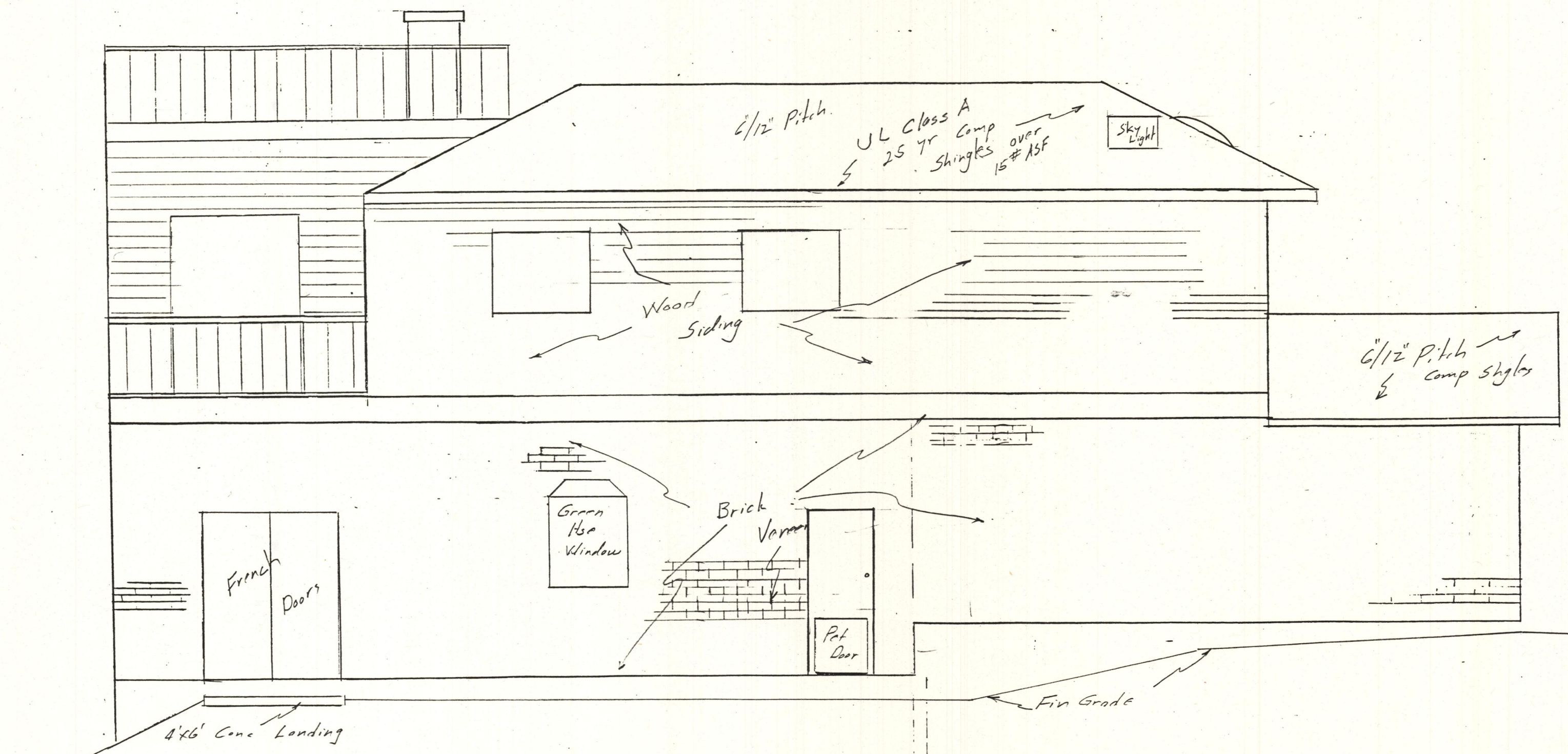
Elevations	Sheets 2-5
Plot Plan, Grading	Sheet 6
Foundation Plan	✓ 7
Foundation Details	Sheets 8 & 9
Post tensioning	Sheets 10 & 11
First Floor Plan	Sheet 12
2nd Floor Plan	Sheet 13
Sections, Roof Plan	Sheets 14-16
Electrical Plan	Sheets 17 & 18
Plumbing & Drainage Plan	Sheets 19 & 20
Heating & Cooling Plan	Sheets 21 & 22

(214) 885-5089
Back on 7-27

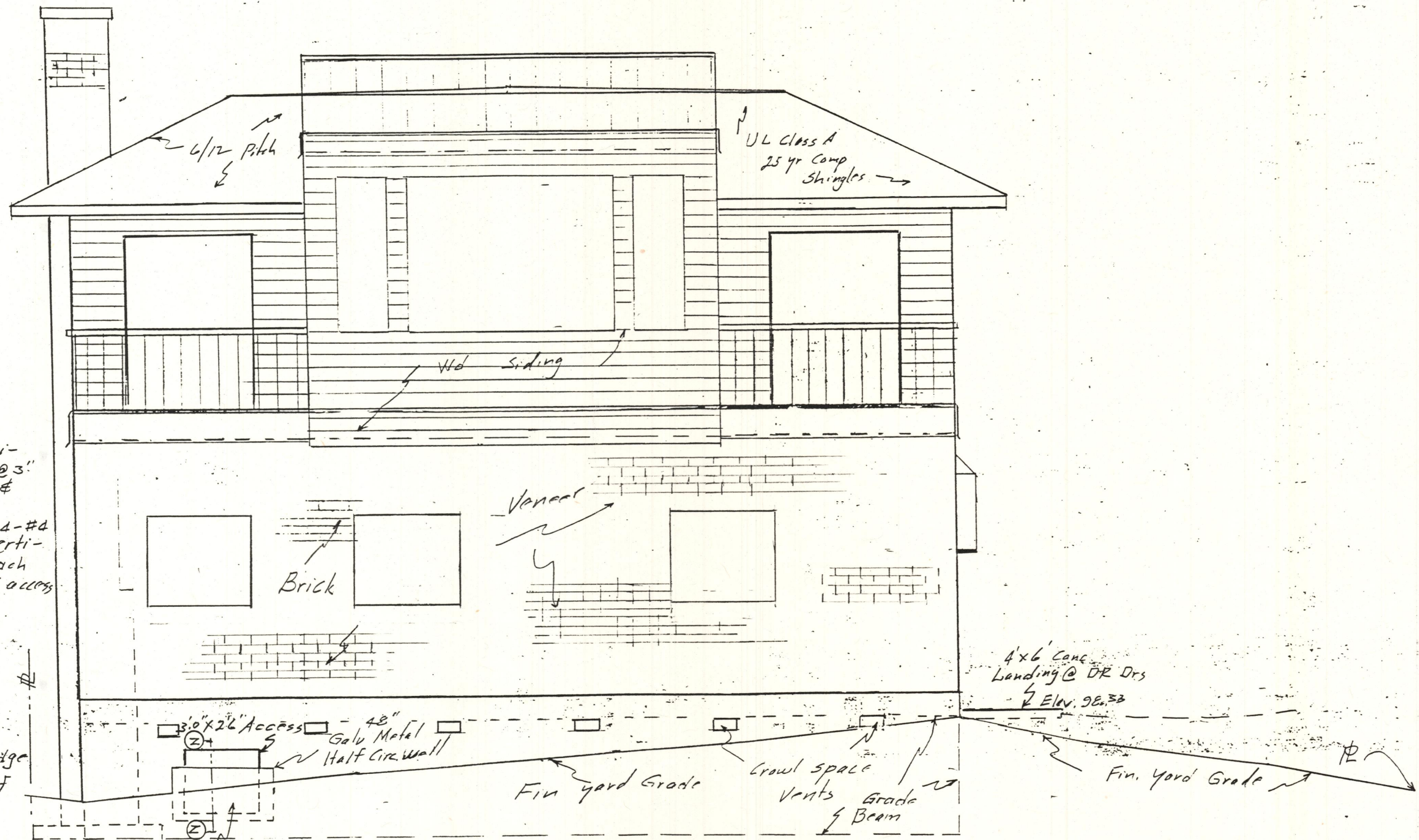
Lot 27, Orleans
on the Lake
Rockwall,
Texas



EAST ELEVATION
SCALE: 1/4" = 1'-0"

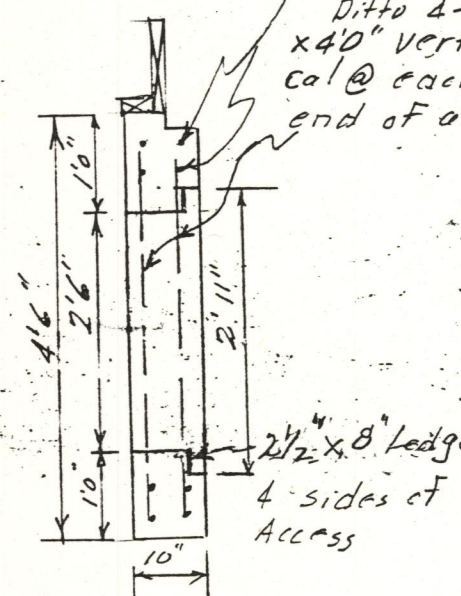


South Elevation



4 #4 x 70" Horizontal Rebars @ 3" spacing above & below access

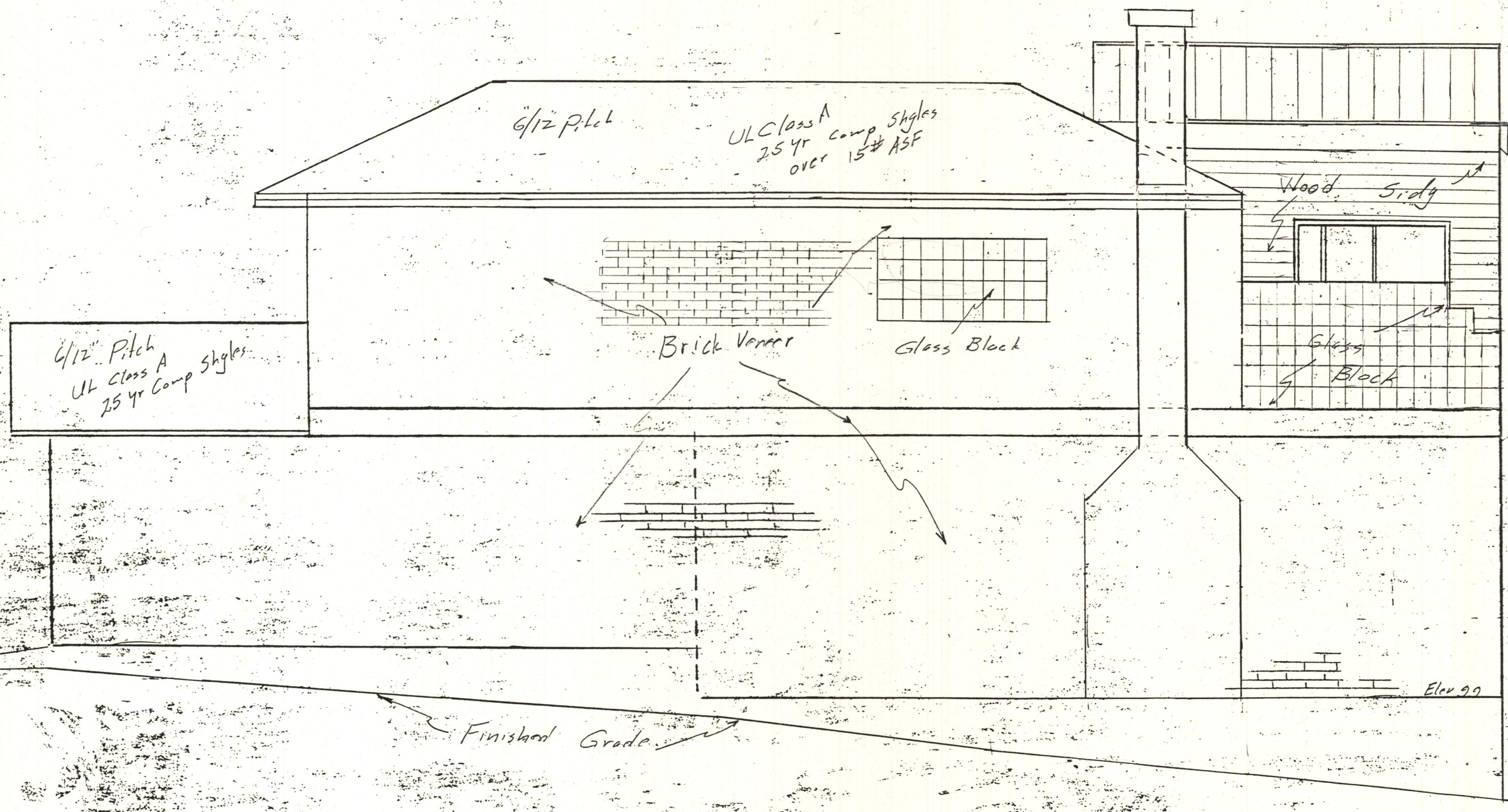
Ditto 4 #4 x 40" vertical @ each end of access




Section ②②
Crawl Space Access

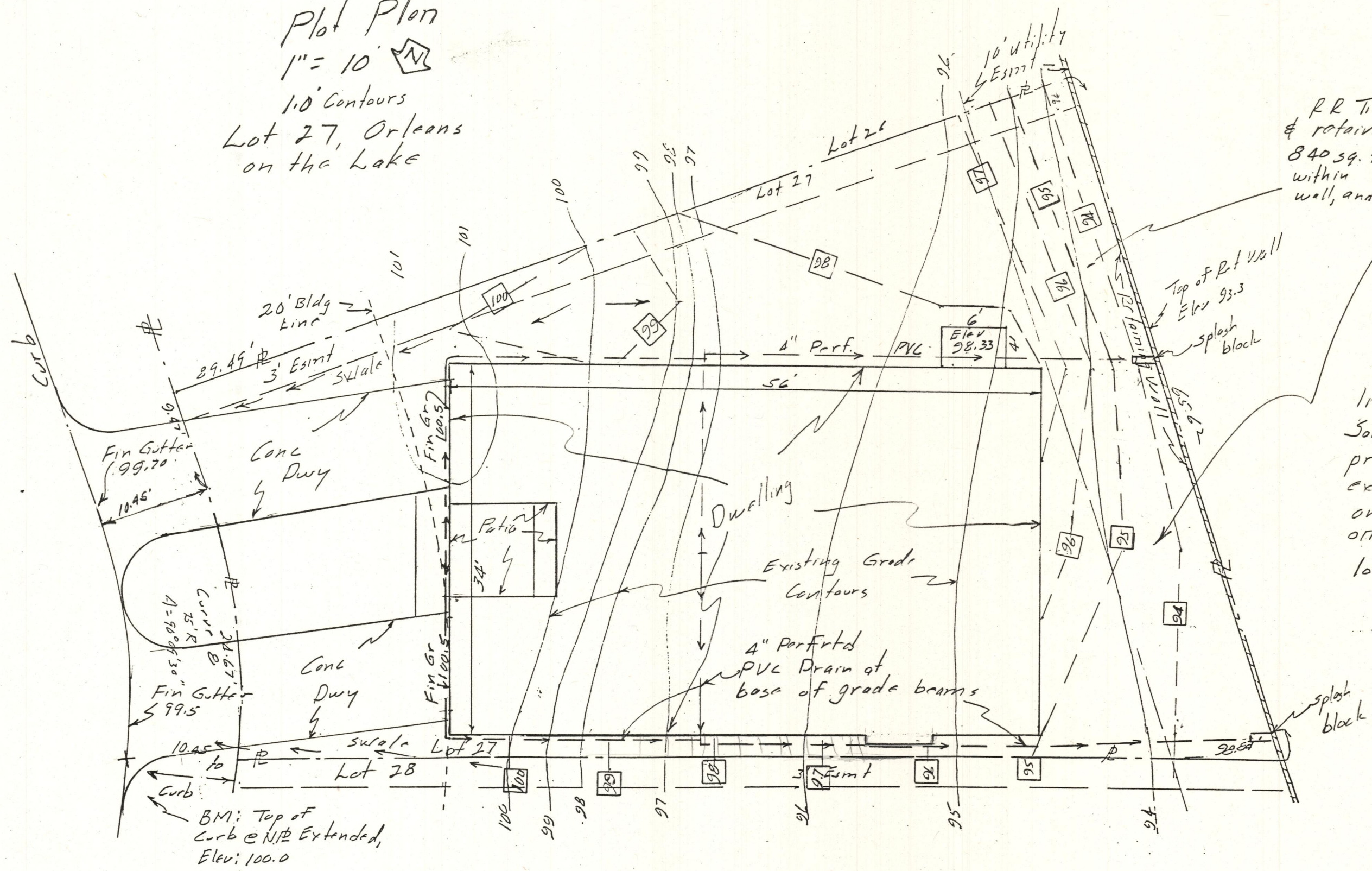
Fabricate 3'5" x 3'1" Wood Cover of 2"x6" T&G matl.

West Elevation



North Elevation

Plot Plan
1" = 10' 
1.0' Contours
Lot 27, Orleans
on the Lake



RR Ties to support & retain approximately 840 sq. ft. slope surface within 10' to 27' of retaining wall, and west of dwelling

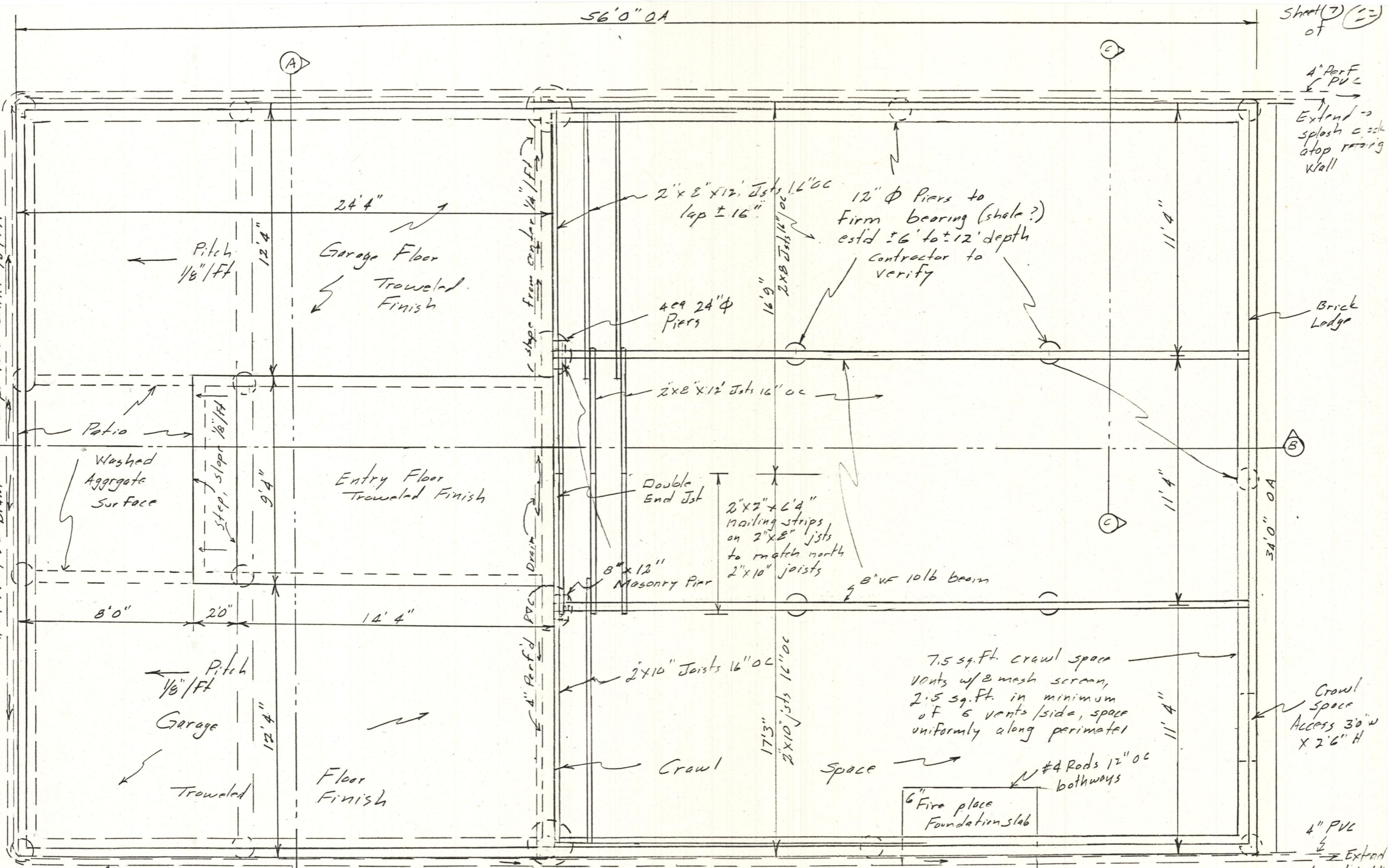
Import 70 Cu Yds Soil for yard grading prior to Foundation excavation and store on SE lot corner & on rear 6' to 8' of lot for final grading

--- 97 --- Finished Grade Contours

Grading & Drainage Details

56'0" OA

Sheet (7) of (12)

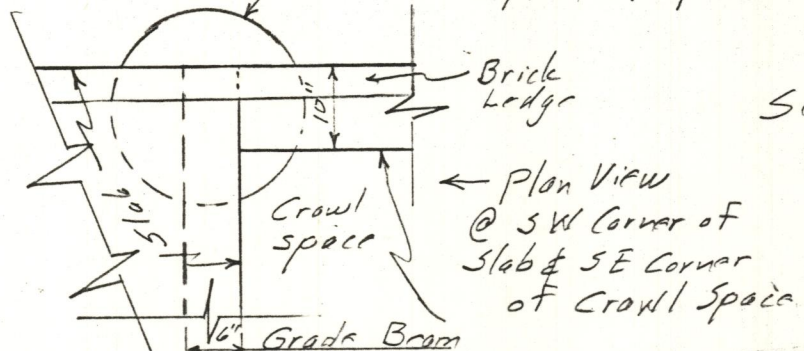
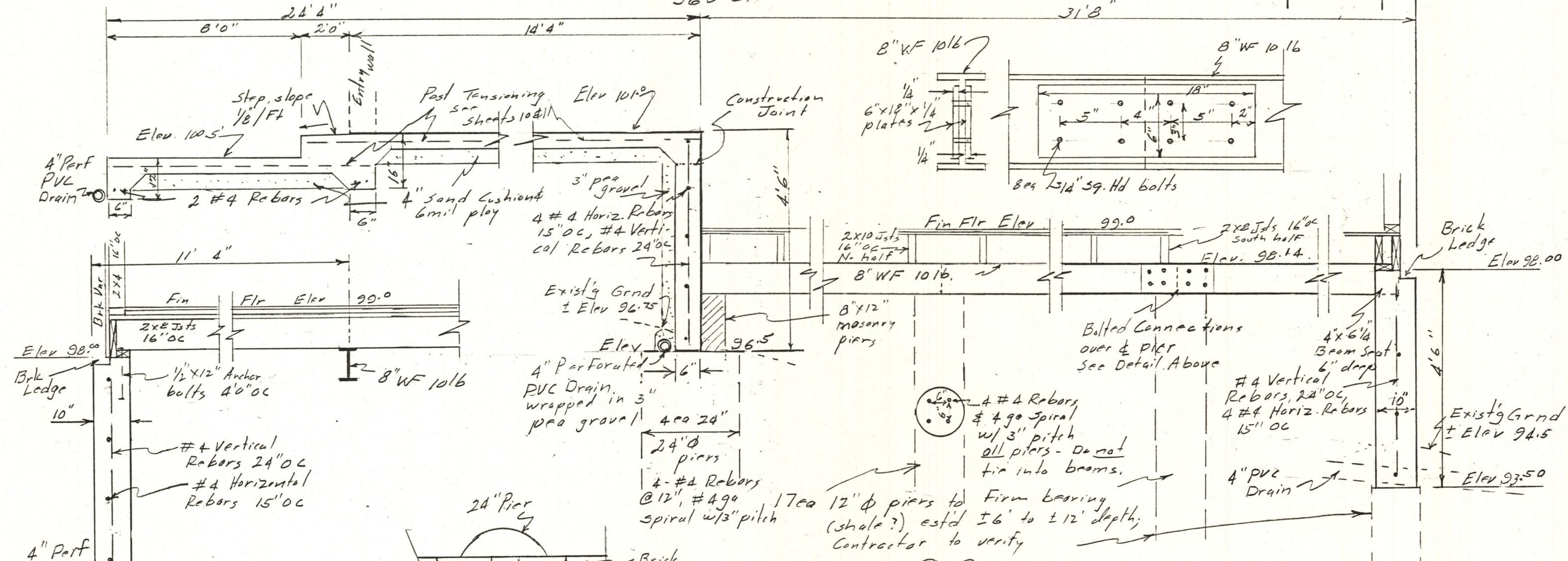
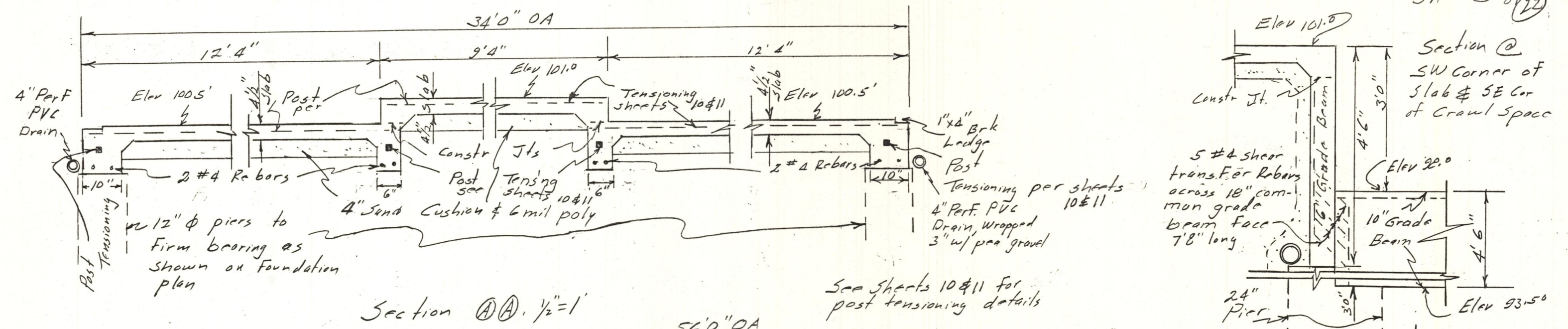


Foundation Plan

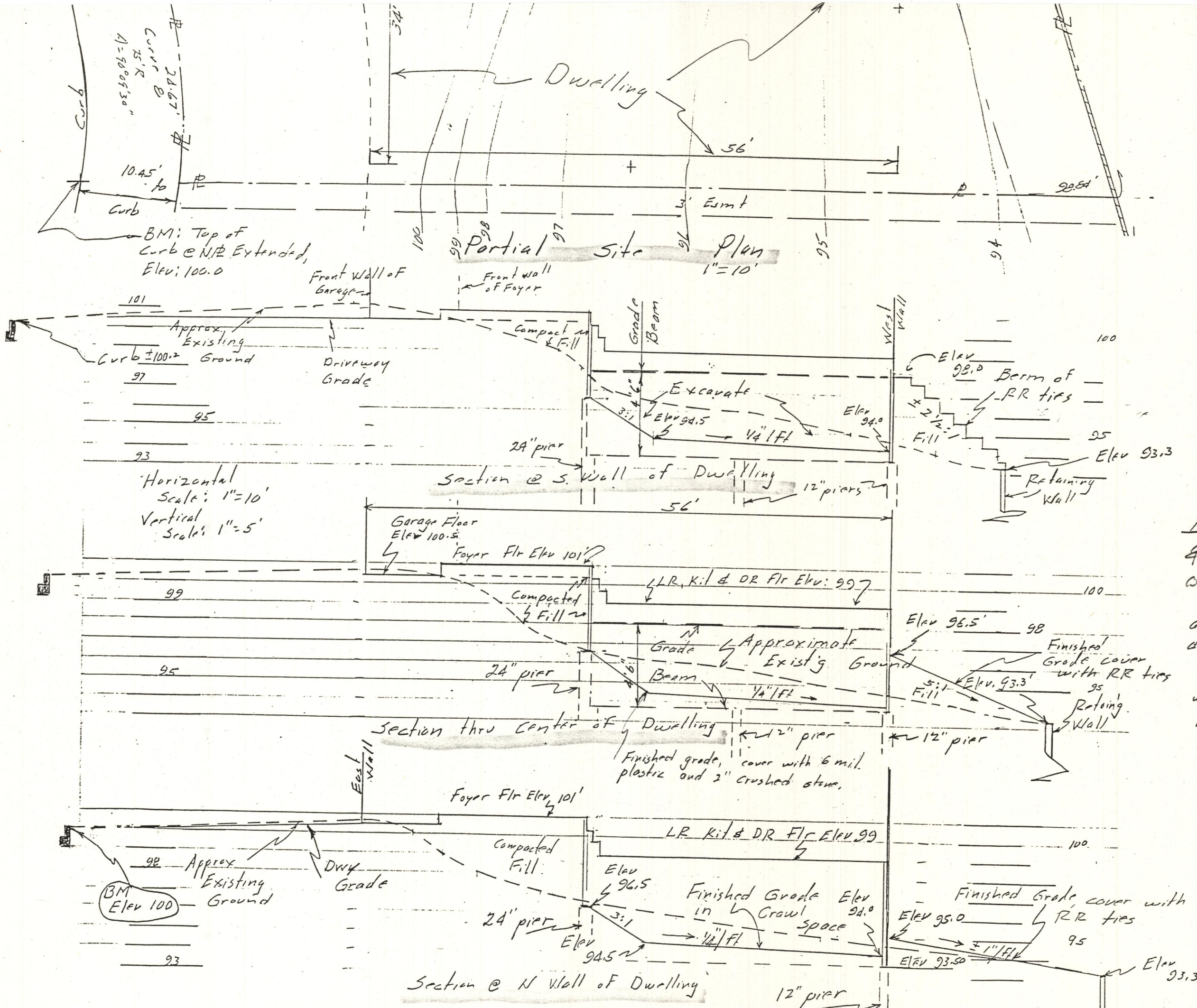
4" Perf. PVC wrapped in 3" pea gravel

See sheets 10 & 11 for post tensioning details

4" PVC extend to splash blk atop retaining wall



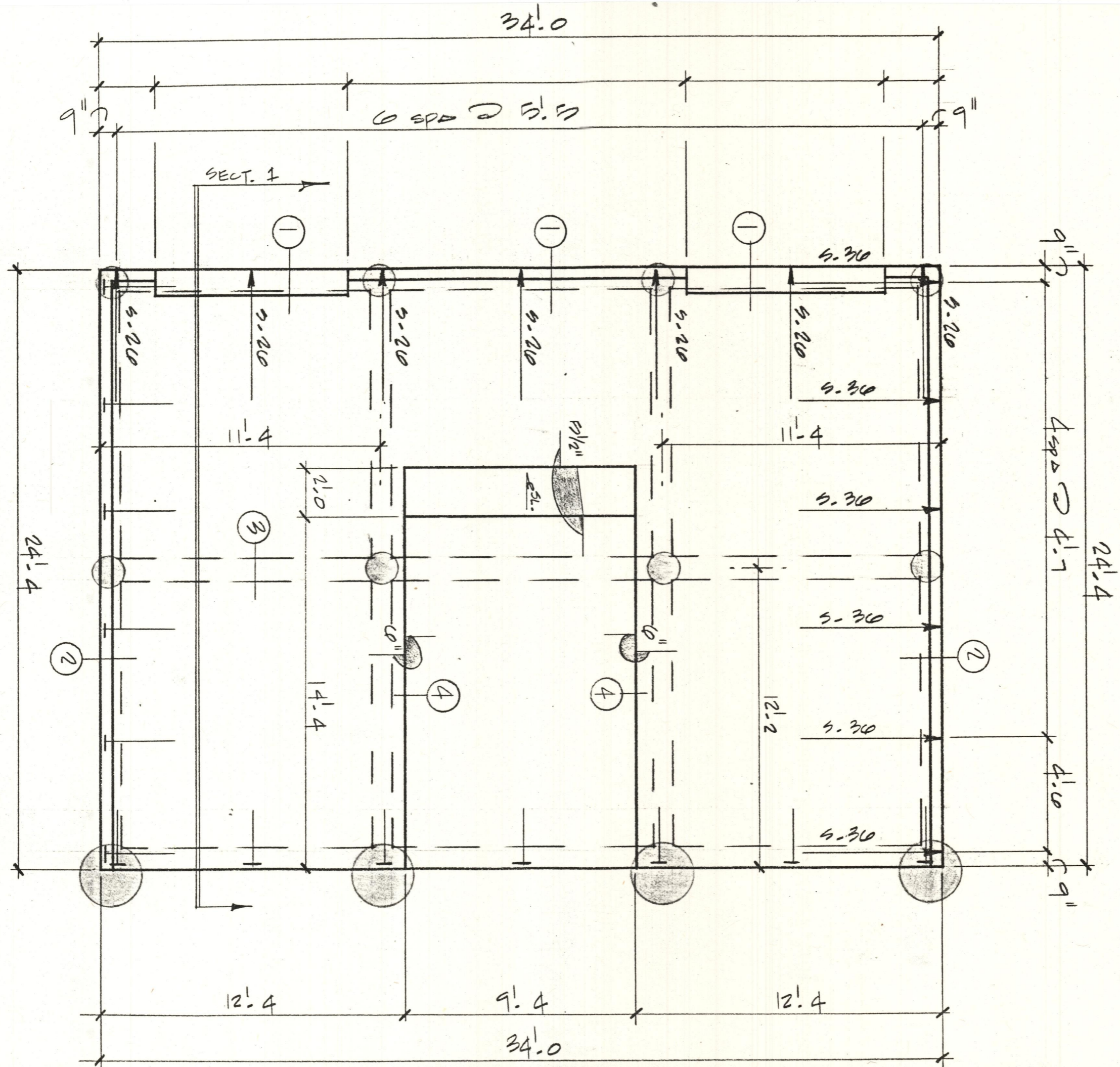
Foundation, Sections / Details

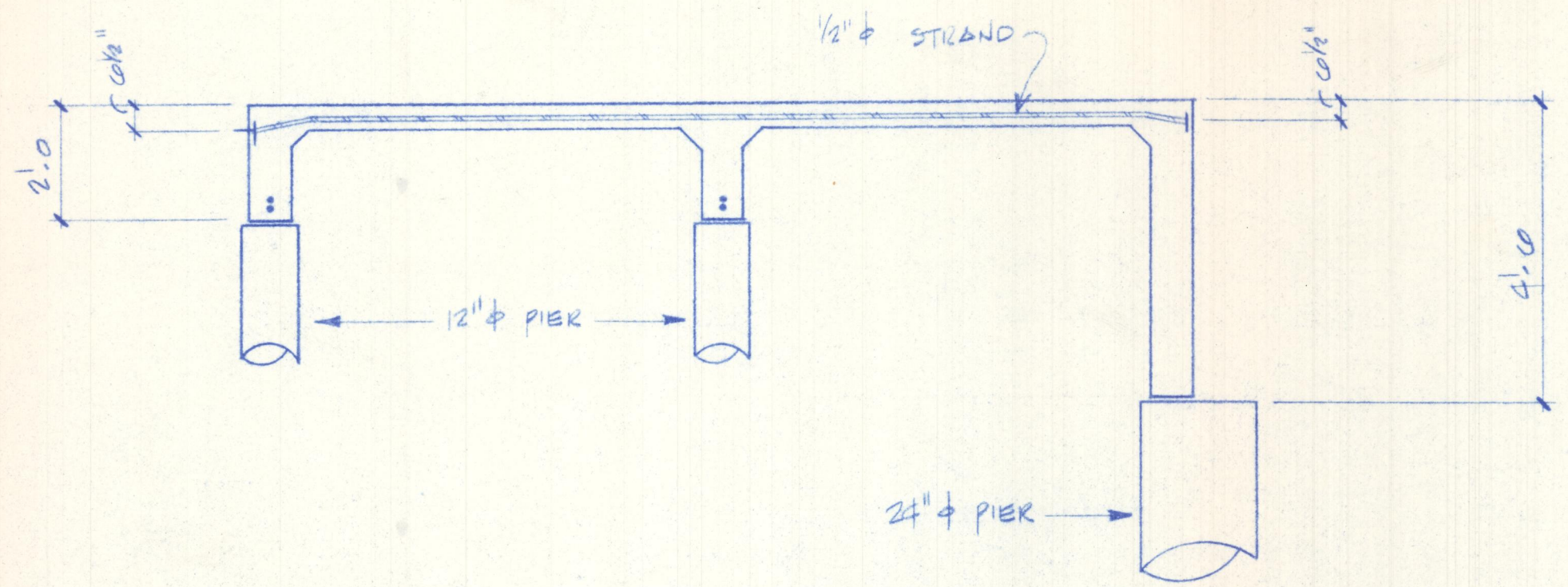


Foundation Sections & Crawl Space Grading Details

- Notes:
1. See sheets 7 & 8 for PVC Foundation Drain details
 2. Grade crawl space as shown prior to Foundation excavation.
 3. Cover crawl space with 6 mil plastic sheeting lapped 12" and 2" crushed stone

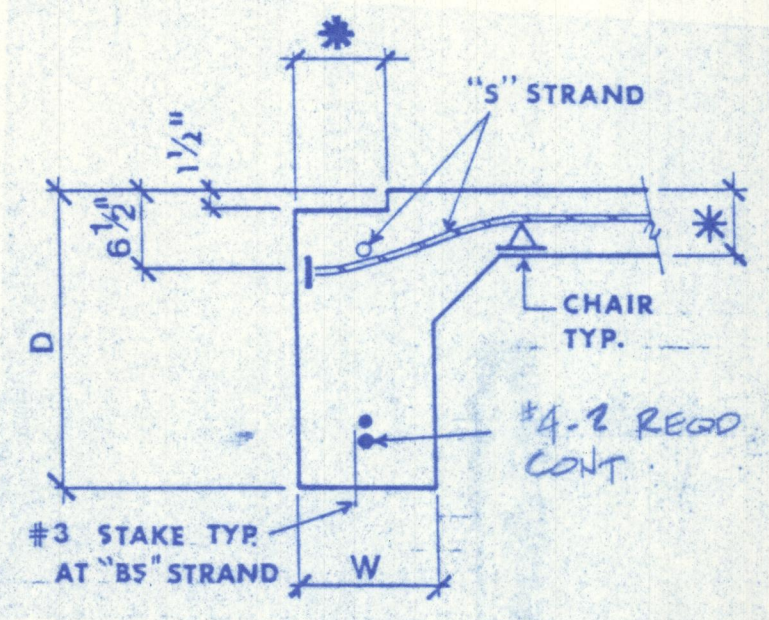
PORTAL FOUNDATION PLAN
AT POST-TENSIONED SLAB



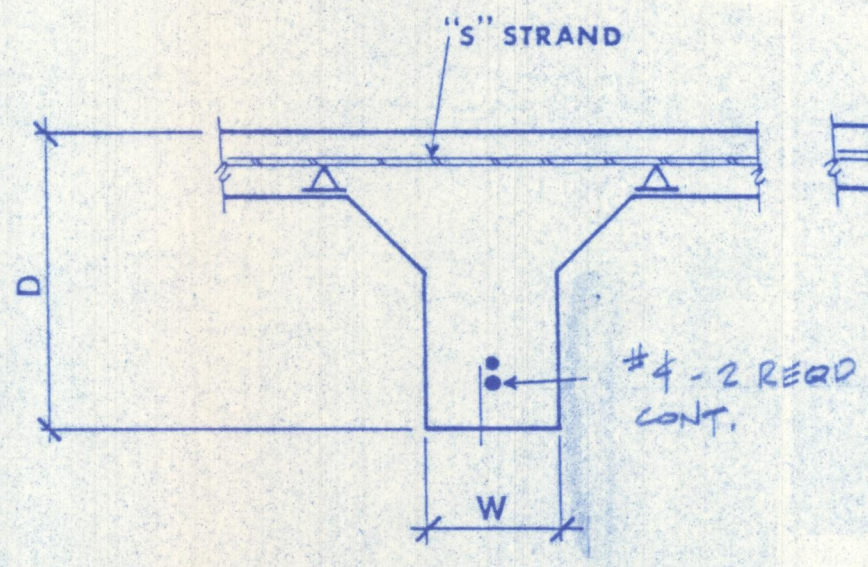


SECTION 1

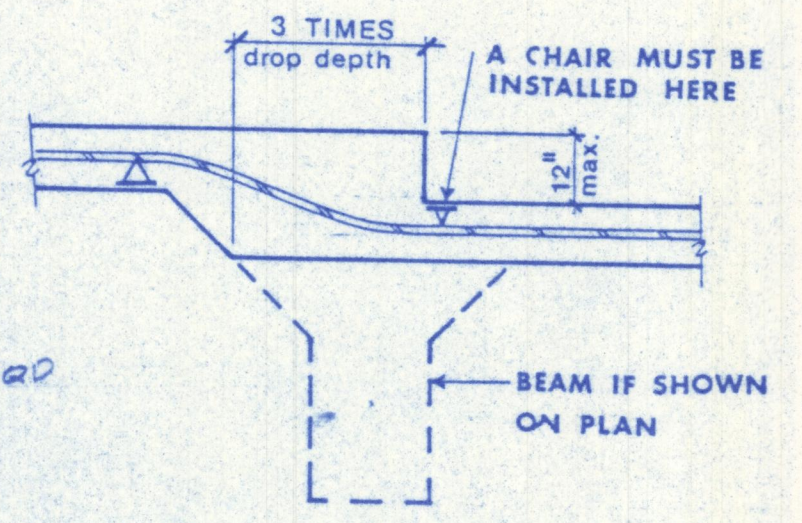
- NOTES:
1. 4 1/2" THICK 3000 PSI CONCRETE SLAB
 2. ALL STRANDS ARE 1/2" DIA, 270 K, STRESSED TO AN INITIAL FORCE OF 30 KIPS AND SEATED AT 28.9 KIPS.
 3. ALL BEAMS ARE 10" W. X 24" D.
 4. USE 2- #4's CONT. IN THE BOTTOM OF ALL BEAMS.
 5. DO NOT TIE PIER REINFORCING TO BEAMS.
 6. A LAYER OF SIX MIL. POLYETHYLENE SHEETING SHALL BE INSTALLED UNDER THE SLAB.
 7. ALL S-36 STRANDS SHALL HAVE A FINAL REQUIRED ELONGATION OF 2 5/8" MINIMUM ELONGATION OF 2 3/8" MAXIMUM ELONGATION OF 2 7/8"
 8. ALL S-26 STRANDS SHALL HAVE A FINAL REQUIRED ELONGATION OF 1 7/8" MINIMUM ELONGATION OF 1 5/8" MAXIMUM ELONGATION OF 2 1/8"



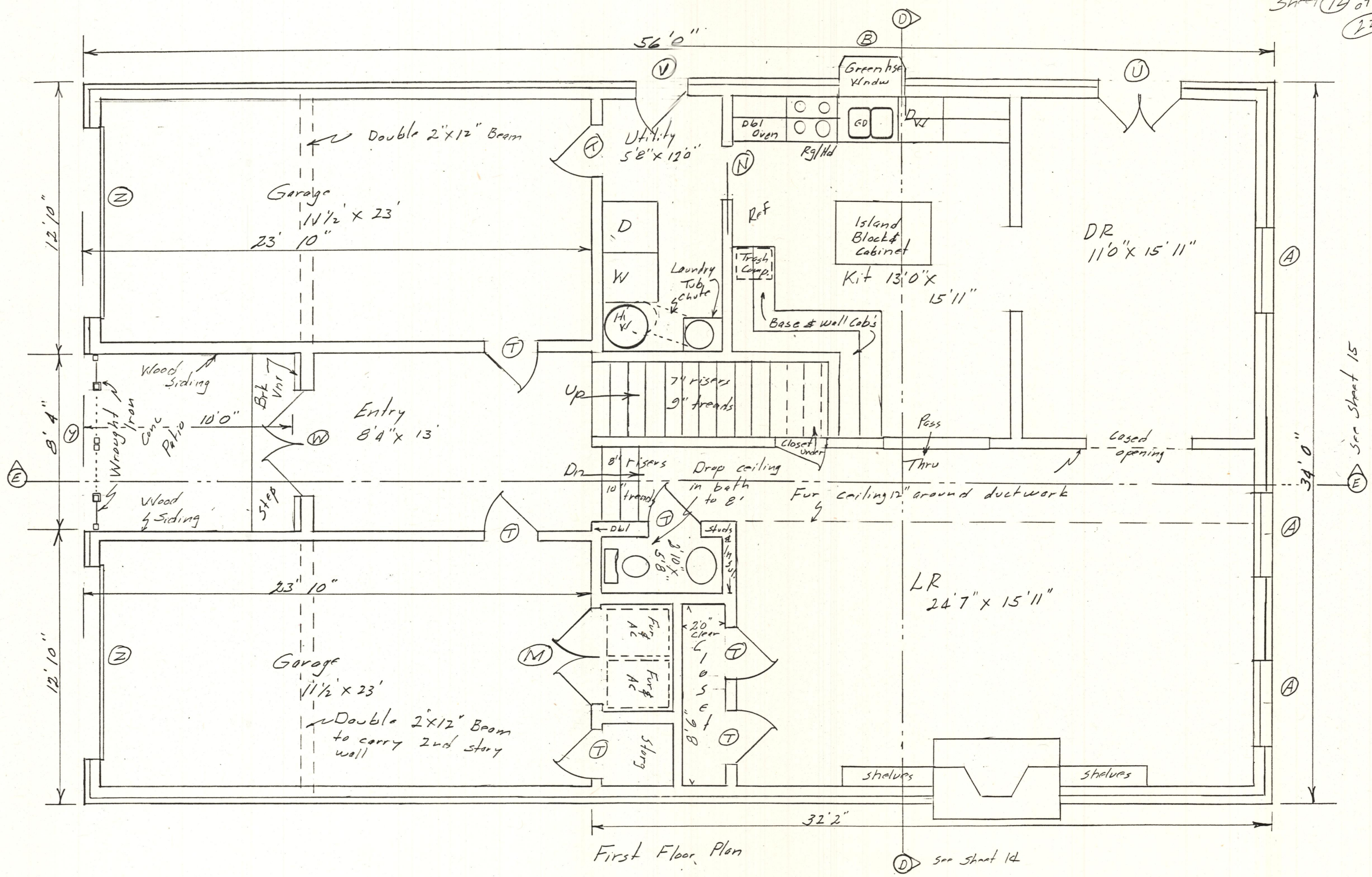
SECTION 2



SECTION 3



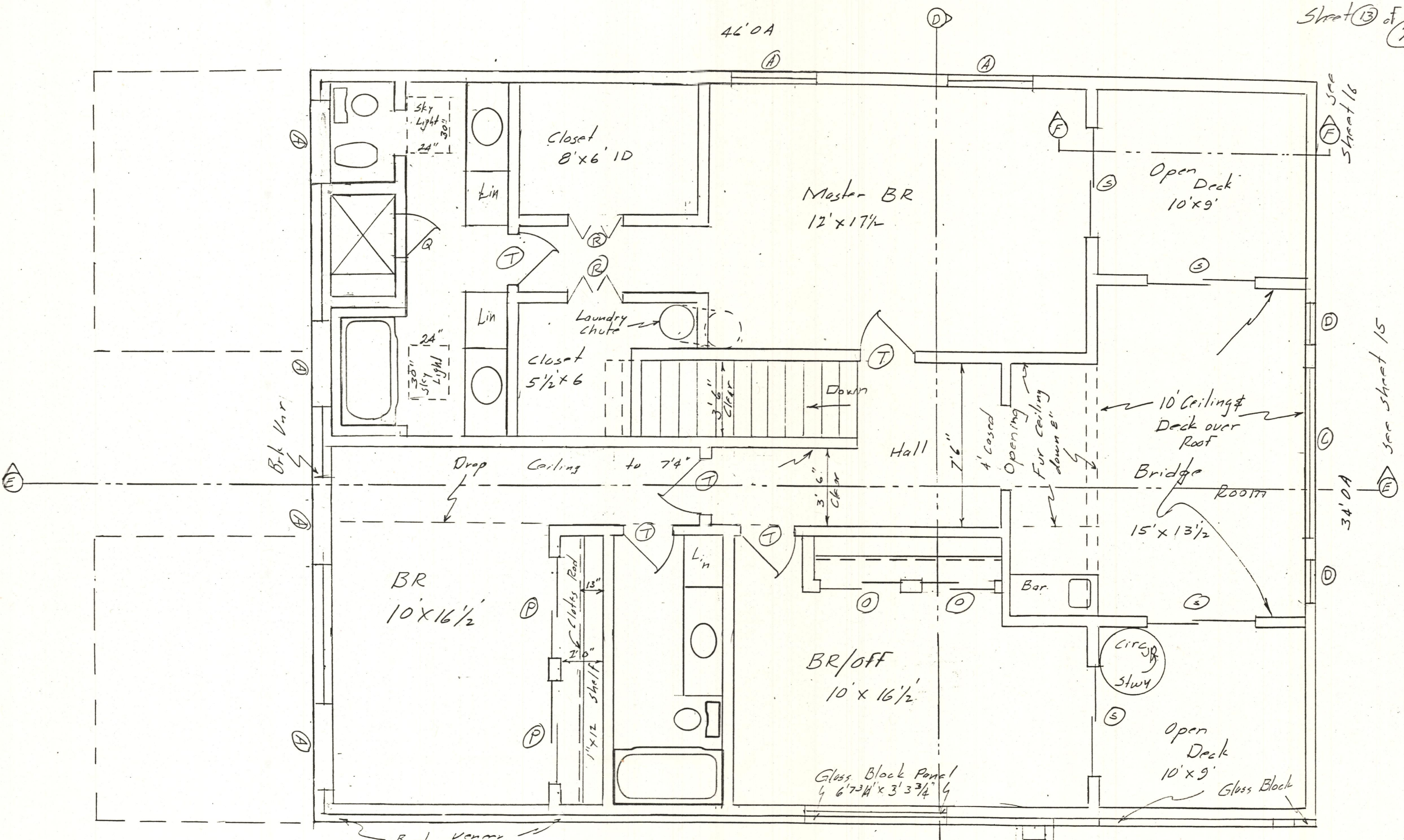
SECTION 4



First Floor Plan

see sheet 14

see sheet 15



2nd Floor Plan

See sheet 14

See sheet 16

See sheet 15

34'0A

D

C

D

F

A

F

A

D

E

E

A

A

A

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A

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S

S

S

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P

P

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Circ Stwy

sky Light 24" 30"

30" sky Light 24"

closet 8' x 6' 10"

closet 5 1/2' x 6'

Master BR 12' x 17 1/2'

Open Deck 10' x 9'

BR 10' x 16 1/2'

BR/off 10' x 16 1/2'

Bridge Room 15' x 13 1/2'

Open Deck 10' x 9'

Drop Ceiling to 7'4"

Glass Block Panel 6'7 3/4" x 3'3 3/4"

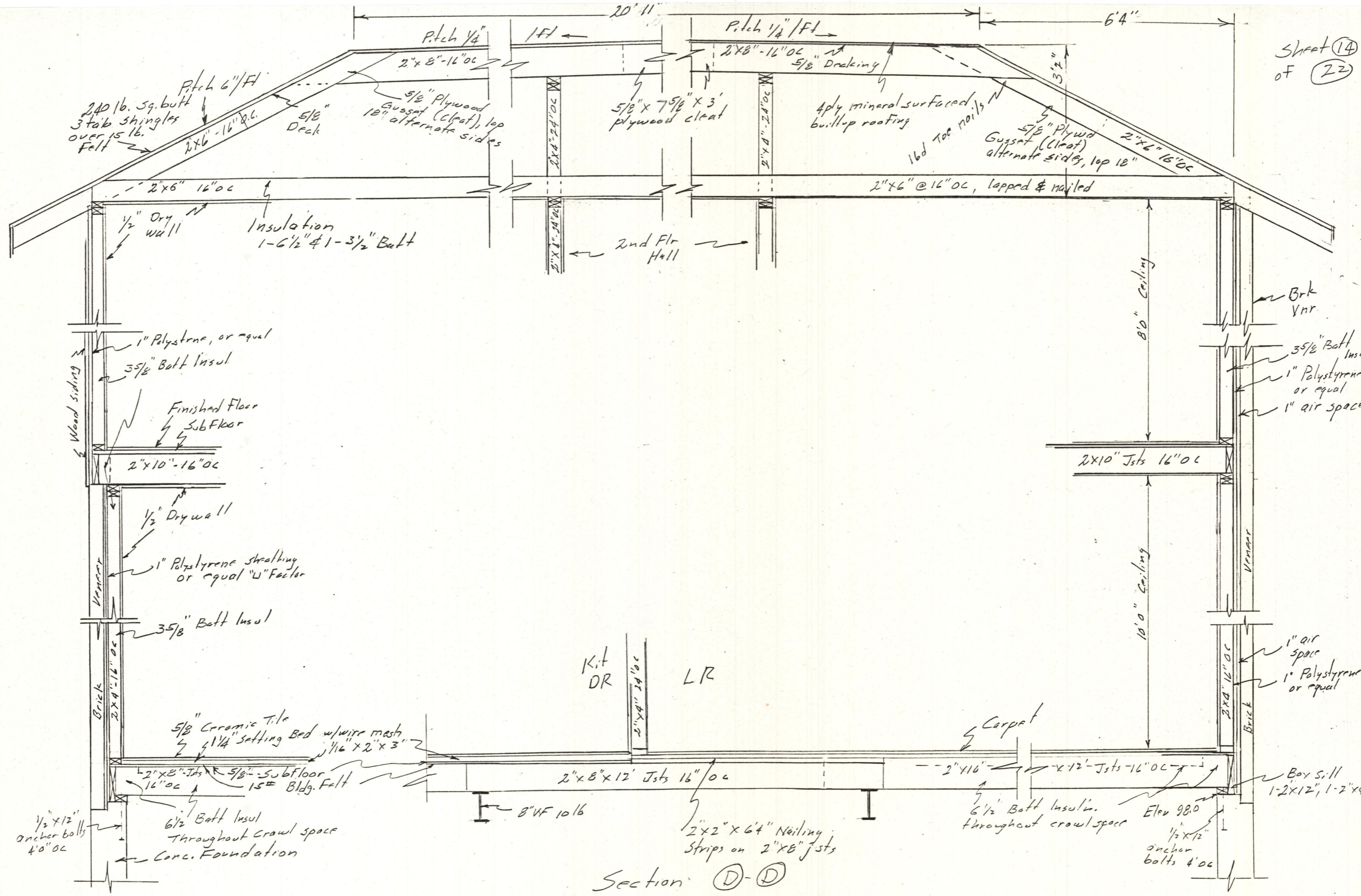
Glass Block

4' Cased Opening For ceiling down 8"

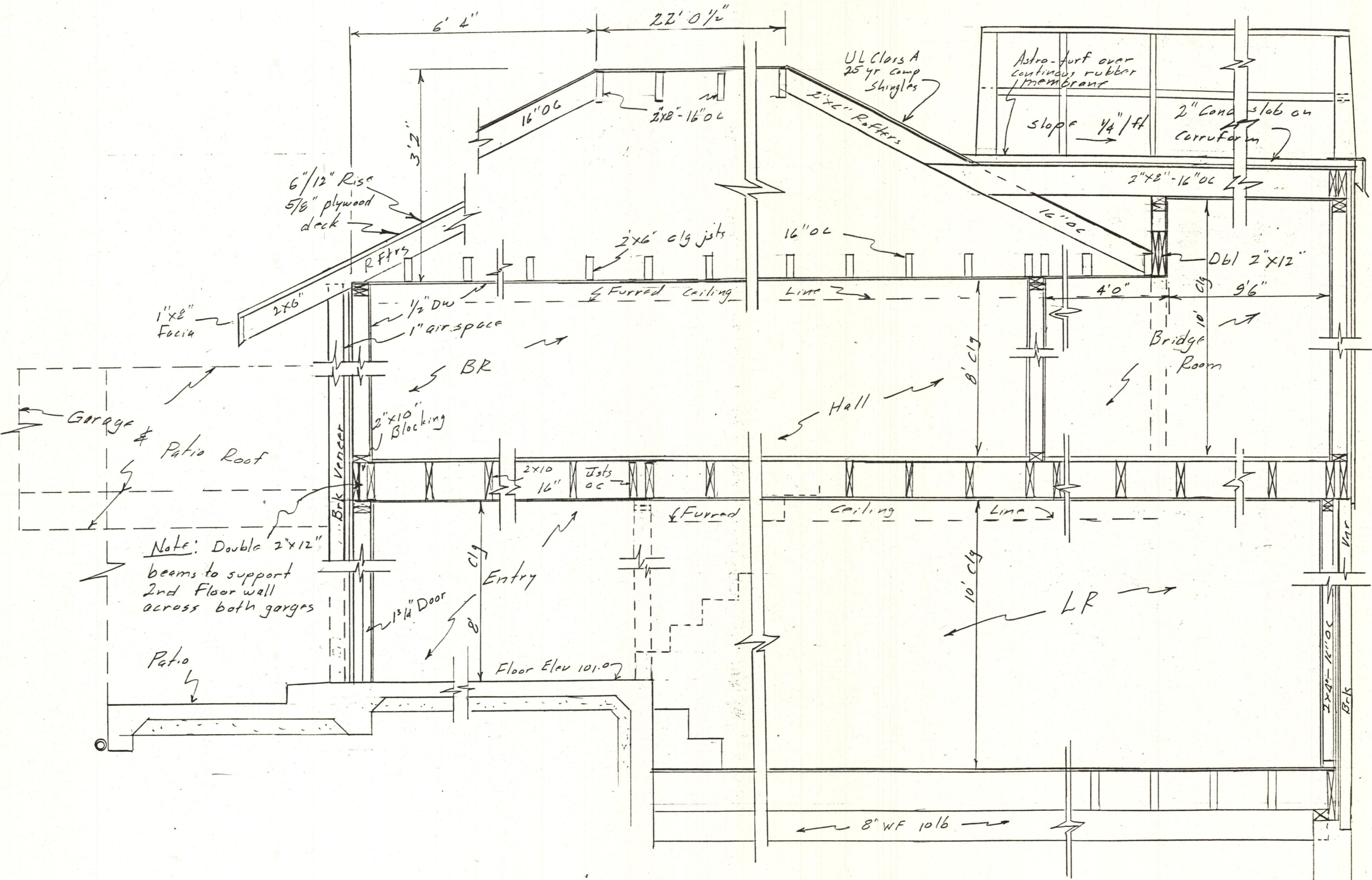
10' Ceiling Deck over Roof

Brk Vnr

Brick Veneer

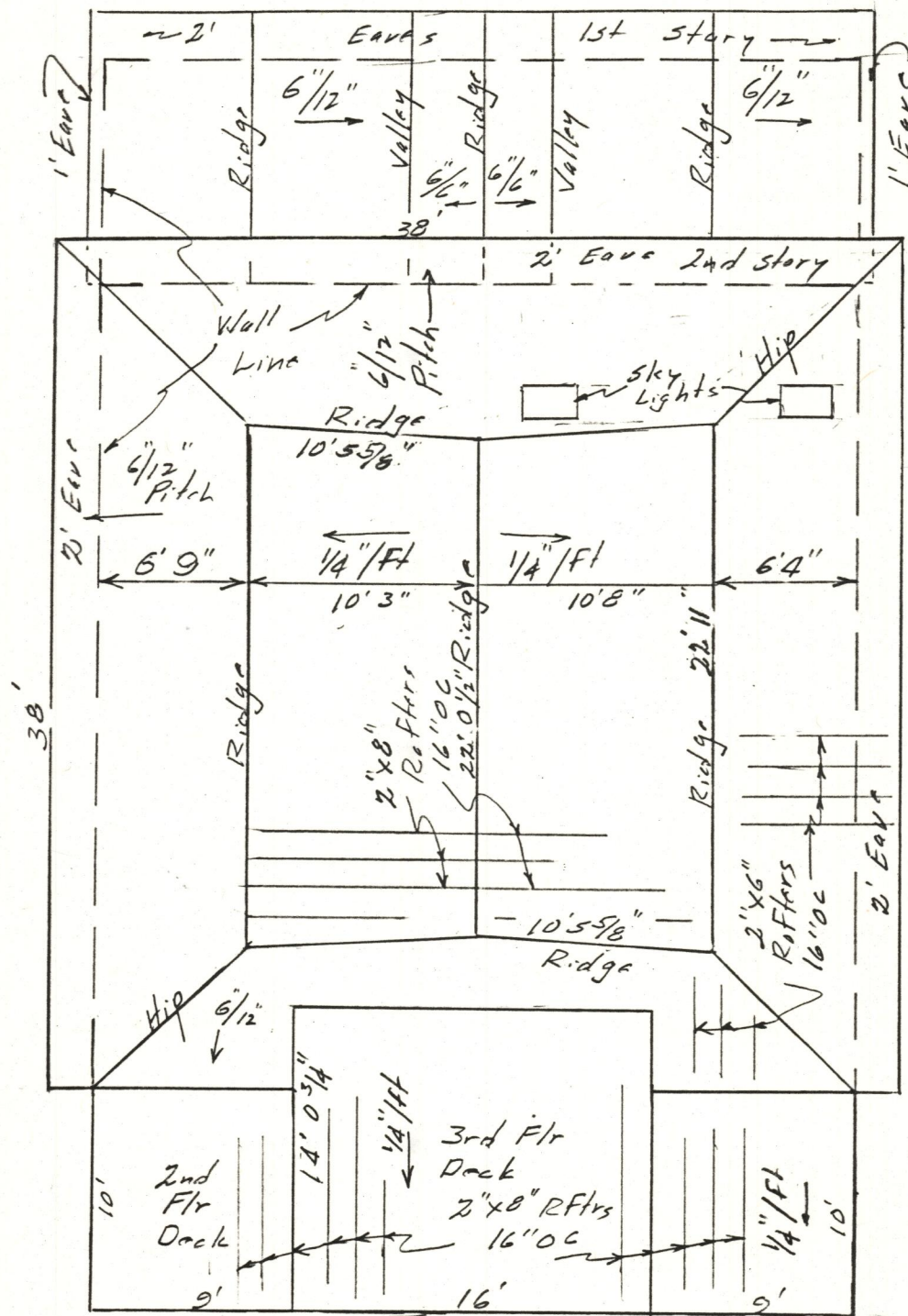


Section D-D



Section (E-E)

Jay Light

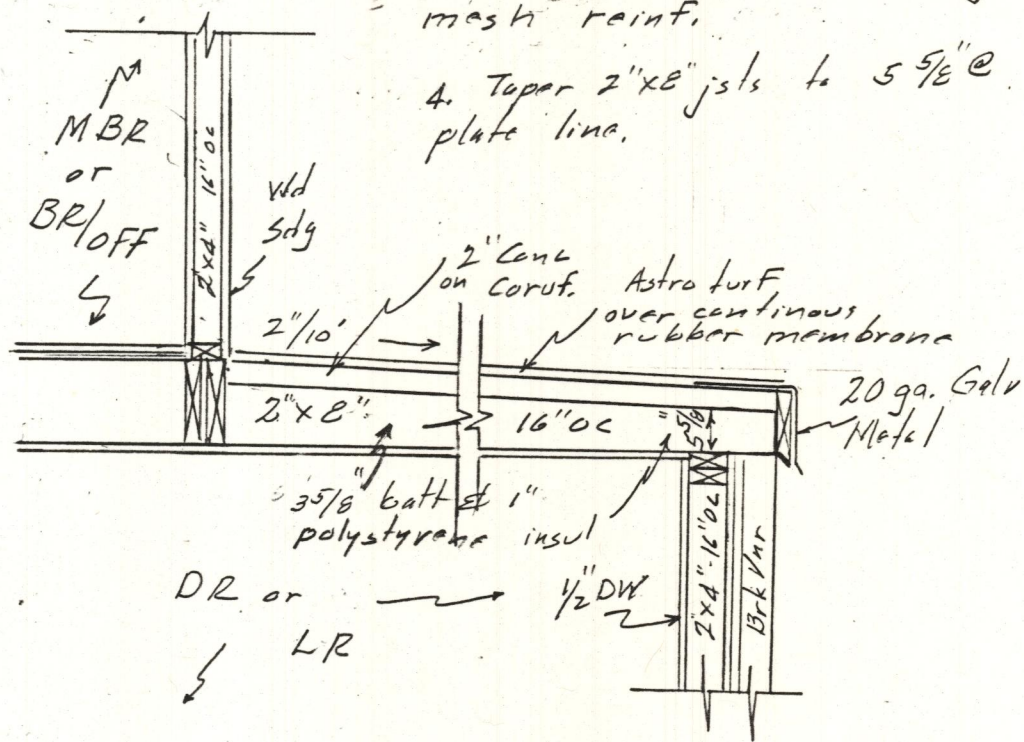


Roof Plan 1/8" = 1'

Notes

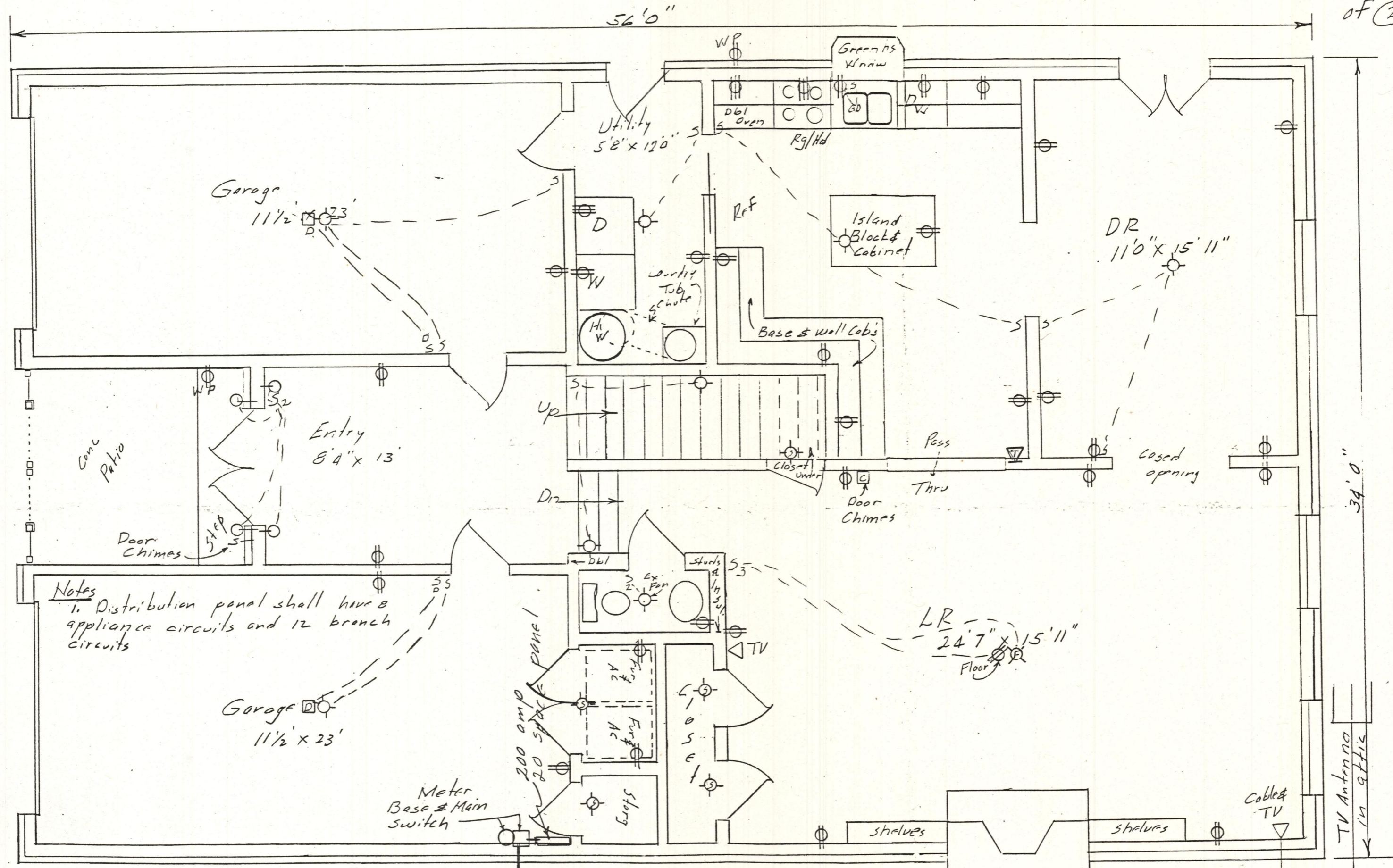
1. Roof decking shall be 5/8" plywood applied with staggered joints, panel adhesive and galvanized ed nails 10" oc along all rafters.
2. Roofing on 6" / 12", 4 steeper, decks shall be heavy weight UL Class A wind and Fire resistant 25 year warranty composition shingles over 15# asphalt felt. On flat decks roofing shall be 4 ply, 15# ASF with gravel surface.
3. Second and 3rd Floor roof decks shall be 2" Conc on corruf-Form steel w/ 6"x6" 10ga mesh reinf.
4. Taper 2"x8" jsls to 5 5/8" @ plate line.

5. Provide 5,10 sq. Ft. attic vents with #6 mesh screens.



Section (F-F)
@ Open Deck

sky light



Notes
 1. Distribution panel shall have 8 appliance circuits and 12 branch circuits

Electrical Plan 1st Floor

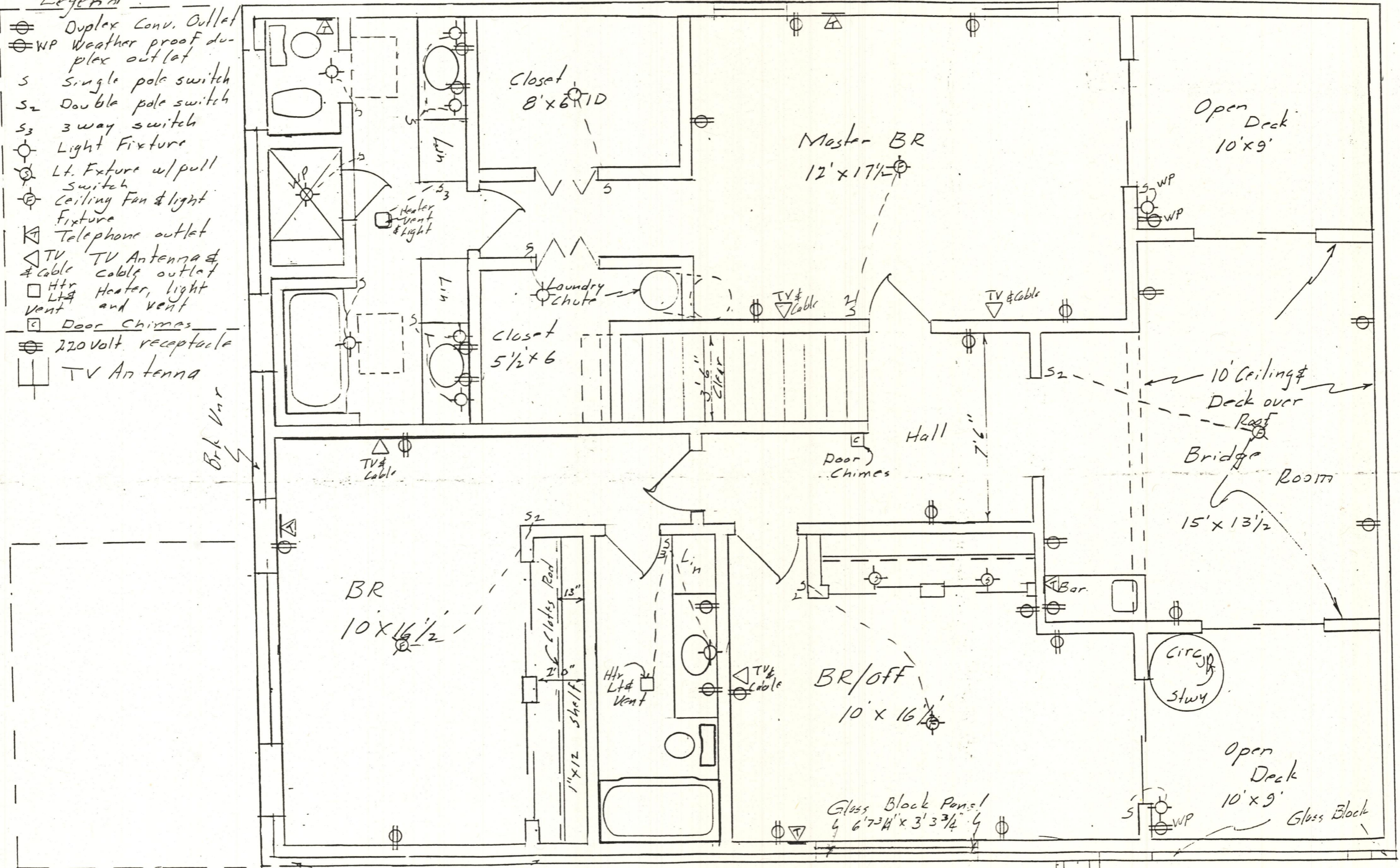
All wiring and circuit protection shall conform to City of Rockwall code and the recommendations of the National Adequate Wiring Bureau. See sheet 18 for legend

UG Service to Electric Co.

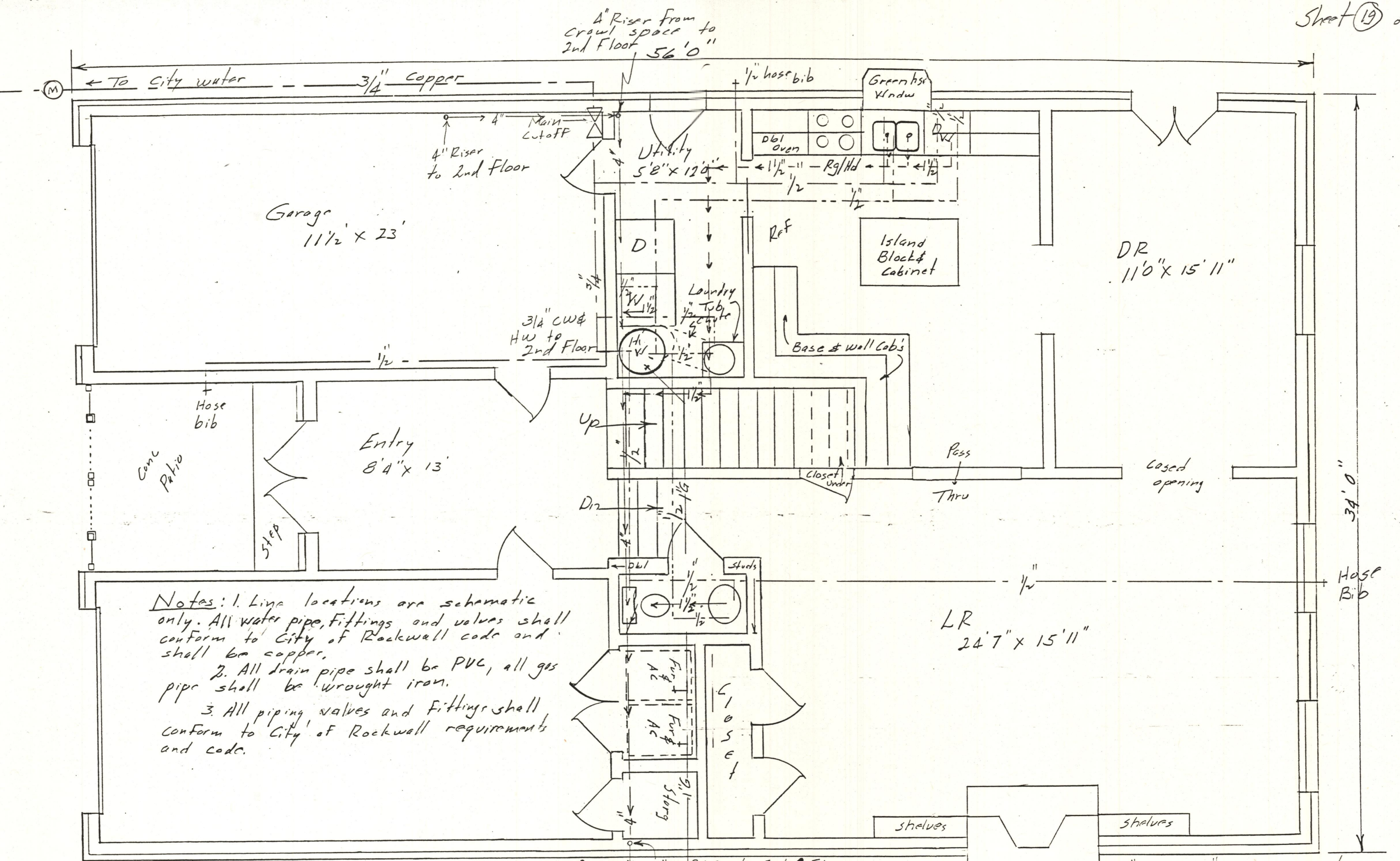
46'0A

34'0A

- Legend**
- ⊕ Duplex Conv. Outlet
 - ⊕ WP Weather proof duplex outlet
 - S Single pole switch
 - S₂ Double pole switch
 - S₃ 3 way switch
 - ⊙ Light Fixture
 - ⊙ Lt. Fixture w/pull switch
 - ⊙ Ceiling Fan & light Fixture
 - ⊕ Telephone outlet
 - △ TV Antenna & cable outlet
 - ⊕ Htr Lt & vent
 - ⊕ Door Chimes
 - ⊕ 220 volt receptacle
 - ⊕ TV Antenna



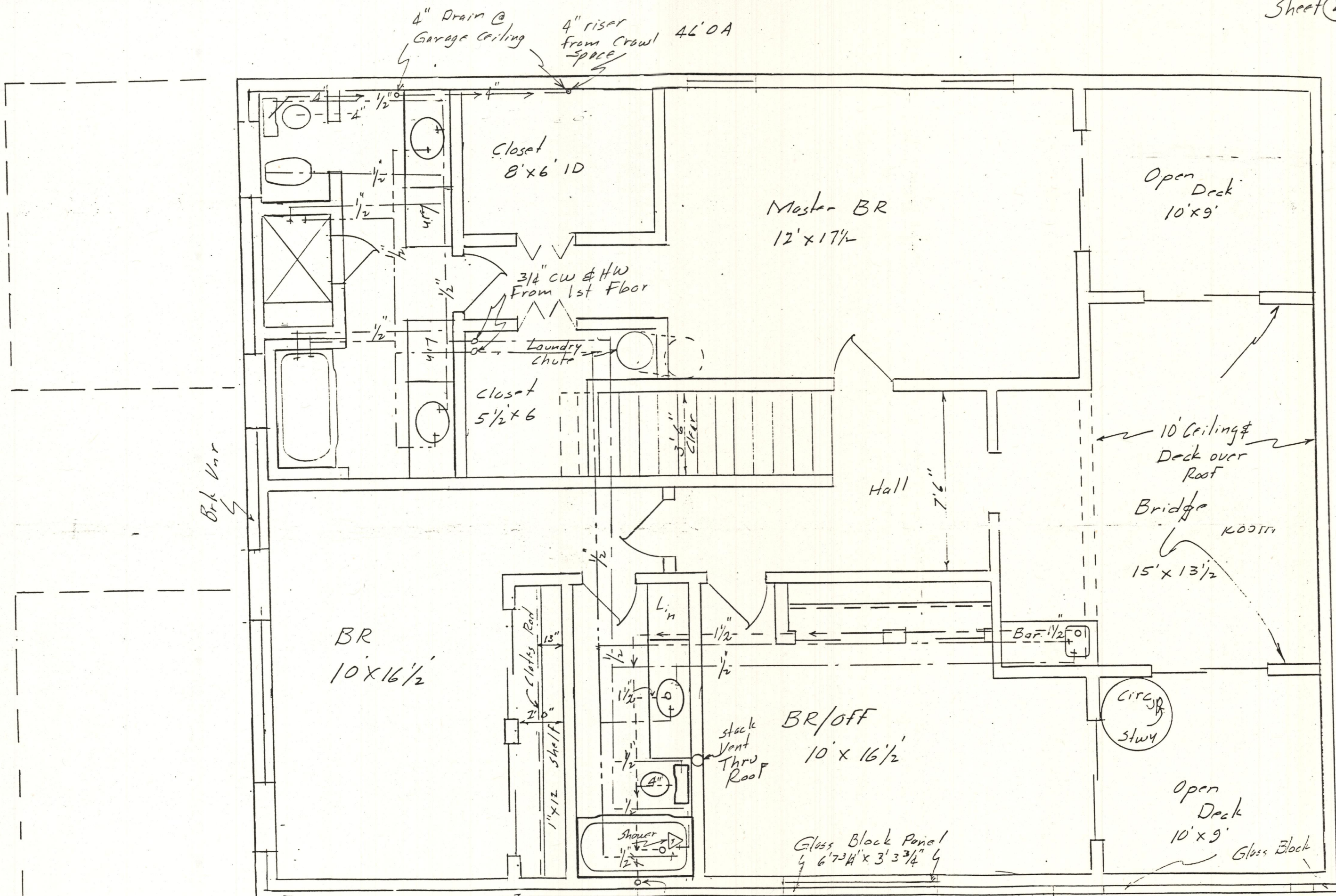
**Electrical
2nd Floor**



Notes: 1. Line locations are schematic only. All water pipe, fittings and valves shall conform to City of Rockwall code and shall be copper.
 2. All drain pipe shall be PVC, all gas pipe shall be wrought iron.
 3. All piping, valves and fittings shall conform to City of Rockwall requirements and code.

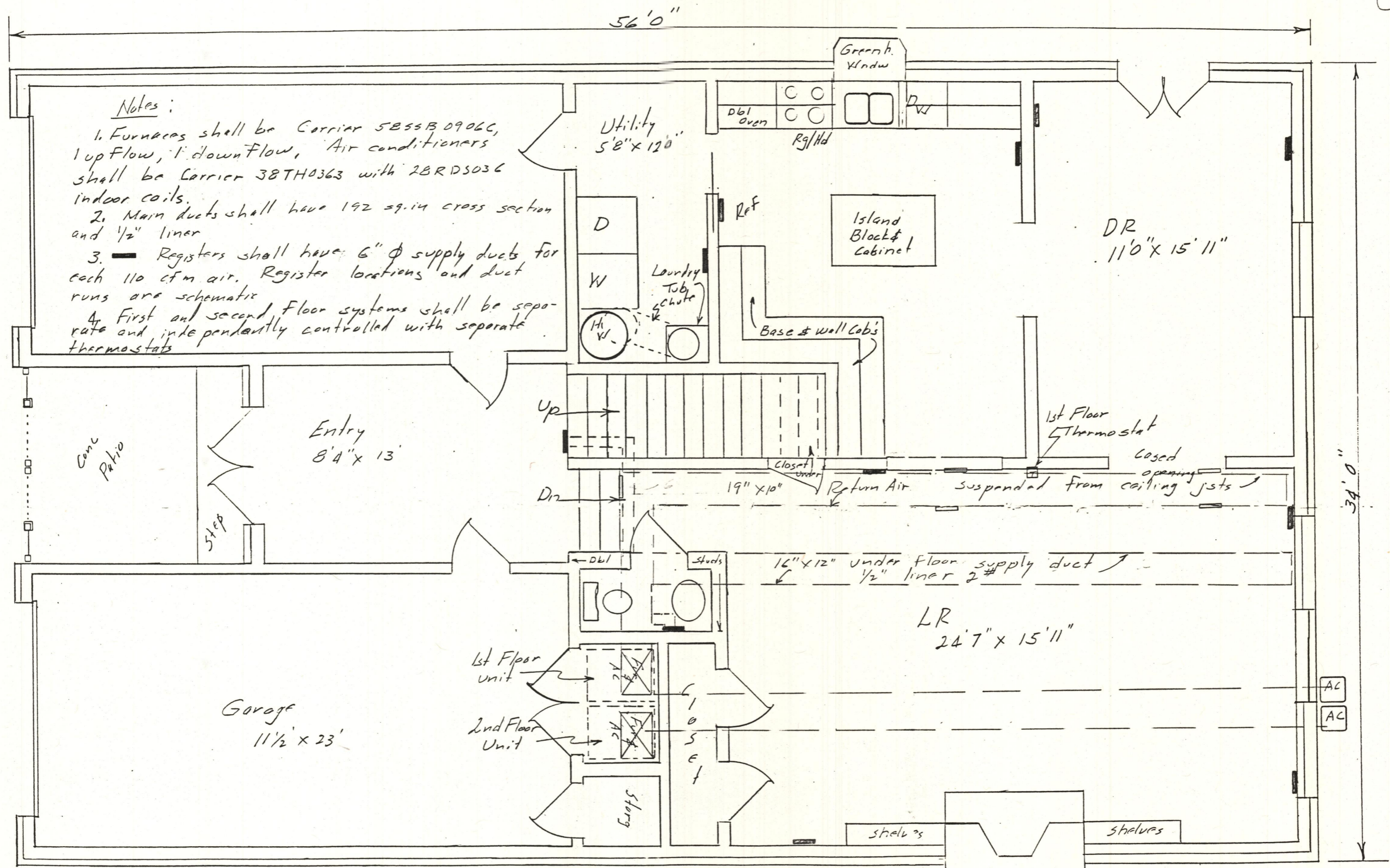
Plumbing & Drainage Plan 1st Floor

3/4" — 1/2" — Cold water
 — 1/2" — Hot water
 1 1/2" — 4" — Drainage
 — 1" — Gas



Plumbing & Drainage Plan
2nd Floor

34'0A

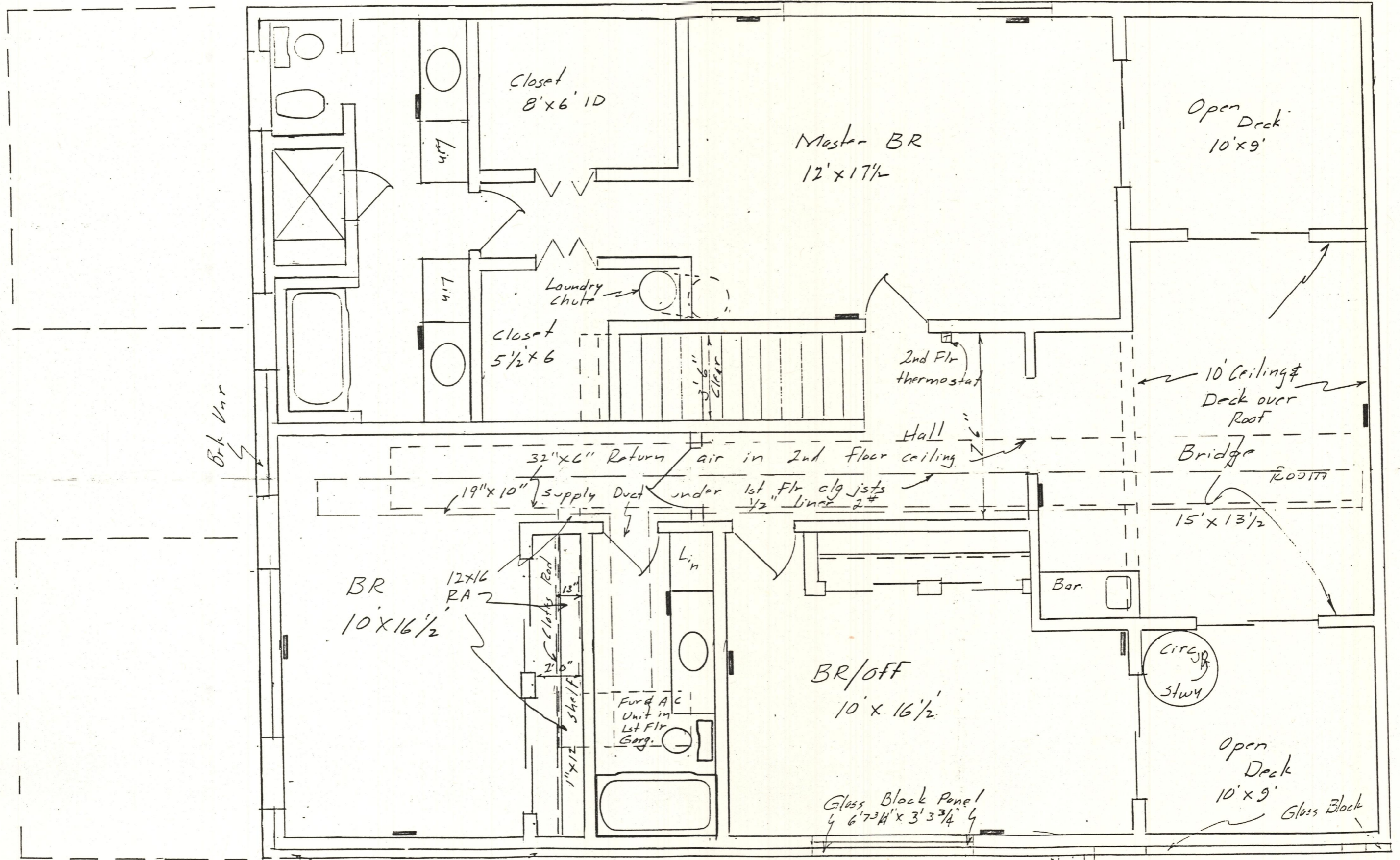


Notes:
 1. Furnaces shall be Carrier 5B55B0906C, 1 up flow, 1 down flow, Air conditioners shall be Carrier 38TH0363 with 2BRDS036 indoor coils.
 2. Main ducts shall have 192 sq. in. cross section and 1/2" liner
 3. Registers shall have 6" ϕ supply ducts for each 110 cfm air. Register locations and duct runs are schematic
 4. First and second floor systems shall be separate and independently controlled with separate thermostats

Heating & Cooling 1st Floor

See plumbing plan, sheet (19) for gas supply, and electrical plan, sheet (17) for receptacle locations

46'0A



Brk Vnr

34'0A

Brick Vanner

Heating & Cooling 2nd Floor

90-25

DECLARATION OF COVENANT
AND
DEED RESTRICTIONS

THE STATE OF TEXAS
COUNTY OF ROCKWALL

§
§
§

KNOW ALL MEN BY THESE PRESENTS:

Mike Slavens ("Declarant") is the owner in fee simple of certain real property consisting of approximately _____ acres located in Rockwall County, Texas, being more particularly described on Exhibit "A" attached hereto and incorporated herein for all purposes (the "Property").

Declarant desires to develop the Property in accordance with the proposed final plat (the "Plat") attached hereto as Exhibit "B" and incorporated herein for all purposes.

Declarant hereby covenants and agrees that Declarant, and its successors and assigns, shall develop the property in accordance with the attached Exhibit "B" and hereby deed restricts that the construction of any buildings or structures shall comply with all applicable codes and ordinances of the City of Rockwall, with the exception that Declarant shall not be required to retain licensed subcontractors to construct buildings or structures on the Property which is located outside of the City limits of the City of Rockwall. Additionally, Declarant shall allow City of Rockwall inspectors onto the Property to inspect the construction of any buildings or structures on the premises.

These restrictions shall continue in full force and effect for a period of twenty-five (25) years from the date of execution, and shall automatically be extended for additional periods of ten (10) years unless terminated in the manner specified herein.

These restrictions shall not be altered, amended or terminated without a public hearing before the City Planning and Zoning Commission and the City Council of the City of Rockwall. Notice of such public hearings shall be given as would be required by law for a zoning change on the Property. The City Manager, or his designee, through authorization by majority vote of the City Council of the City of Rockwall, Texas, and Mike Slavers and his successors or assigns, must sign a document to be filed in the Deed Records of Rockwall County, Texas, approving the amendment or termination of these Declaration of Covenants and Deed Restrictions.

The restrictions contained herein are not in any manner intended to restrict the right or the ability of the City Council of the City of Rockwall to exercise its legislative duties and powers insofar as zoning of the property within the City limits of the City of Rockwall is concerned.

These restrictions inure to the benefit of the City of Rockwall, and the City of Rockwall does hereby reserve the right to prosecute, at law and in equity, against the entity person or persons violating or attempting to violate such restrictions, either to prevent them from so doing and to

correct such violation and for further remedy, the City of Rockwall may withhold the Certificate of Occupancy necessary for the lawful use of the Property that is located within the City limits of the City of Rockwall until such restrictions described herein are fully complied with.

These restrictions are hereby declared to be covenants running with the land and shall be fully binding upon all persons acquiring property within the above described tract, as described in the attached Exhibit "A" and any person by acceptance of title to any of the Property shall thereby agree and covenant to abide by and fully perform the foregoing restrictions and covenants.

EXECUTED as of this ____ day of _____, 1990.

DECLARANT

Mike Slavens

STATE OF TEXAS §
 §
COUNTY OF ROCKWALL §

This instrument was acknowledged before me on the ____ day of September, 1990, by Mike Slavens, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that the agreement was executed for the purposes and consideration therein expressed.

[SEAL]

Name: _____

Notary Public, State of Texas

My Commission Expires:

P.O. Box 1008
Sulphur Springs, Texas 75482
July 18, 1990

(214) 885-5089

Ms. Julie Couch
Assistant City Manager
City of Rockwall
205 W. Rusk
Rockwall, Texas 75087

Dear Ms. Couch:

Thank you for taking the time earlier this week to explain Rockwall city planning and zoning procedures. In accordance with our earlier conversations, I wish to submit a request for deviation from planned development zoning for Orleans on the Lake, Block A, Lot 27 as follows:

- (a) deviation from the typical front elevation as it applies to the design of the garage, as per elevation plan submitted to the City Building Inspector.
- (b) deviation from zero-lot-line requirement as per plot plan submitted to City Building Inspector.

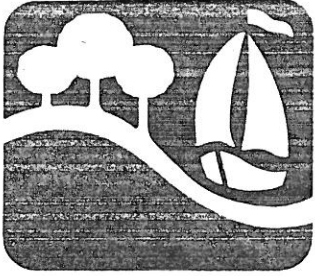
I request that these proposed deviations be considered at the next meeting of the Planning and Zoning Committee to be held on August 20.

Very truly yours,

R. B. Carothers (by JK)

R. B. Carothers

RBC:jk



CITY OF ROCKWALL
"THE NEW HORIZON"

July 27, 1990

Mr. R. B. Carothers
P. O. Box 1008
Sulphur Springs, Texas 75482

Dear Mr. Carothers:

This is to confirm that you are scheduled to meet with the Planning and Zoning commission on August 9, 1990 at 7:30 p.m. and the City Council on August 20, 1990 at 7:00 p.m. for consideration of your proposed elevations for Lot 27, Block B, Orleans on the Lake. As you are aware, we have had several elevations already submitted to the Commission and Council in this same addition. While I understand that it is not yet fully official, I understand that the Homeowner's Association is being reformed and has established a review board. The last elevation submitted for approval had received approval from this group and the Commission did find it helpful that the neighbors had already looked at the design. You may want to consider this process as well. The Commission will want to know if the neighbors have seen the proposed design.

If you have any questions feel free to give me a call. I will be out of the office during the week of August 30th, but I will be back on Monday, August 6th.

Sincerely,

Julie Couch
Assistant City Manager

hcc

**CITY OF ROCKWALL
Planning and Zoning Agenda**

Agenda Date: August 9, 1990

Agenda No: III. E.

Agenda Item: Consider Approval of Elevations of Proposed Single Family Home in the Orleans on the Lake Addition

Item Generated By: Applicant

Action Needed: Consider approval of the elevations as submitted.

Background Information:

We have received another request from a builder in this addition for a variation on the typical elevation within the addition. As you are aware the approved elevation is for a two story home with a two car front entry garage. This applicant wishes to construct a house with two one car garages on each end of the house. A copy of the elevation is attached.

We understand that the homeowners group in the addition has reviewed this plan and has no problem with it.

Attachments:

1. Elevations