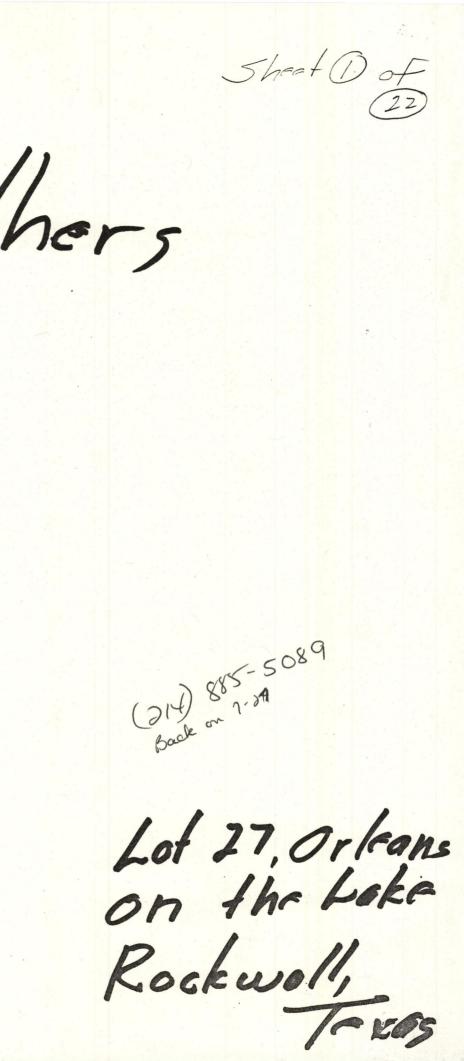
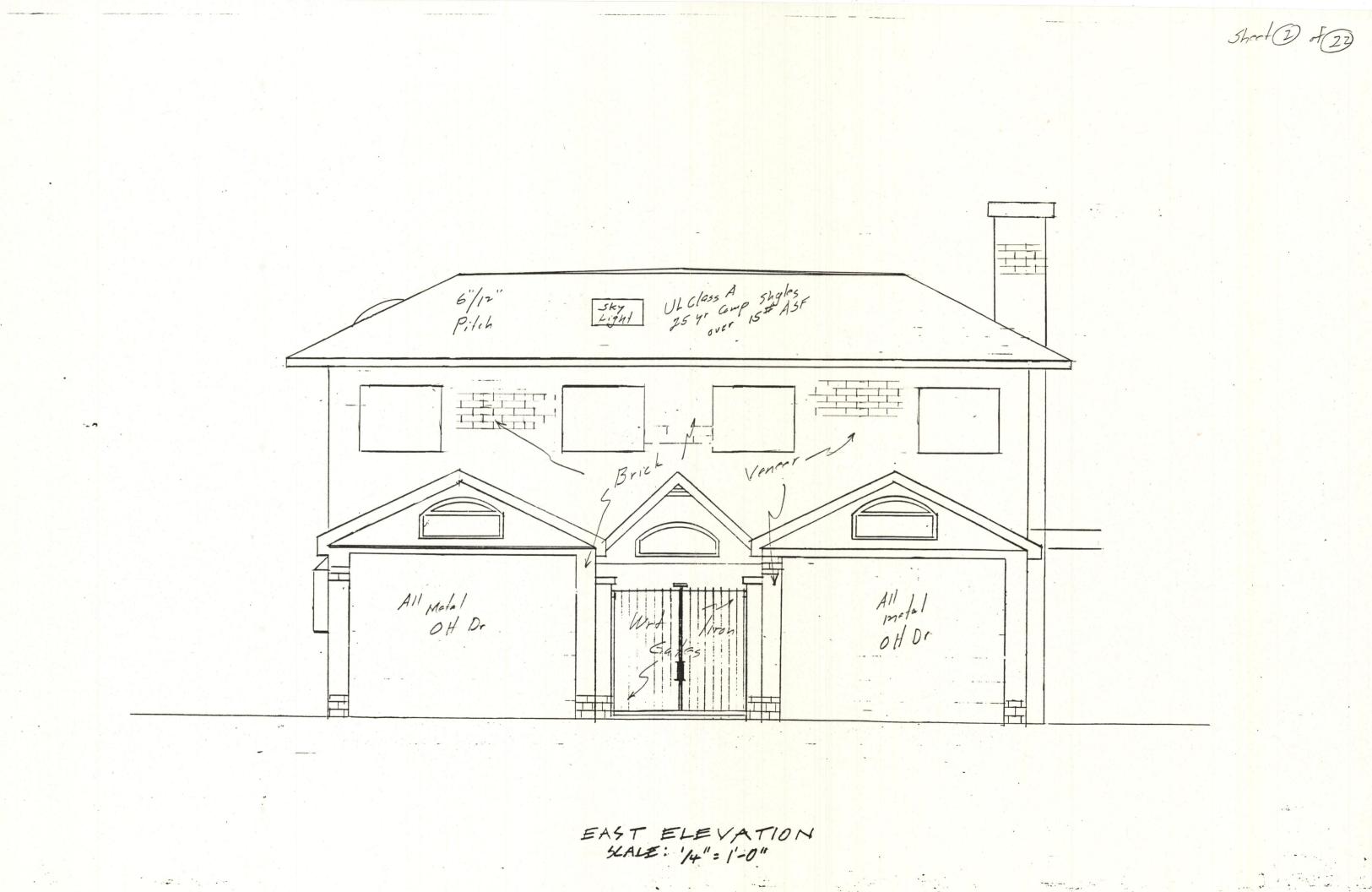
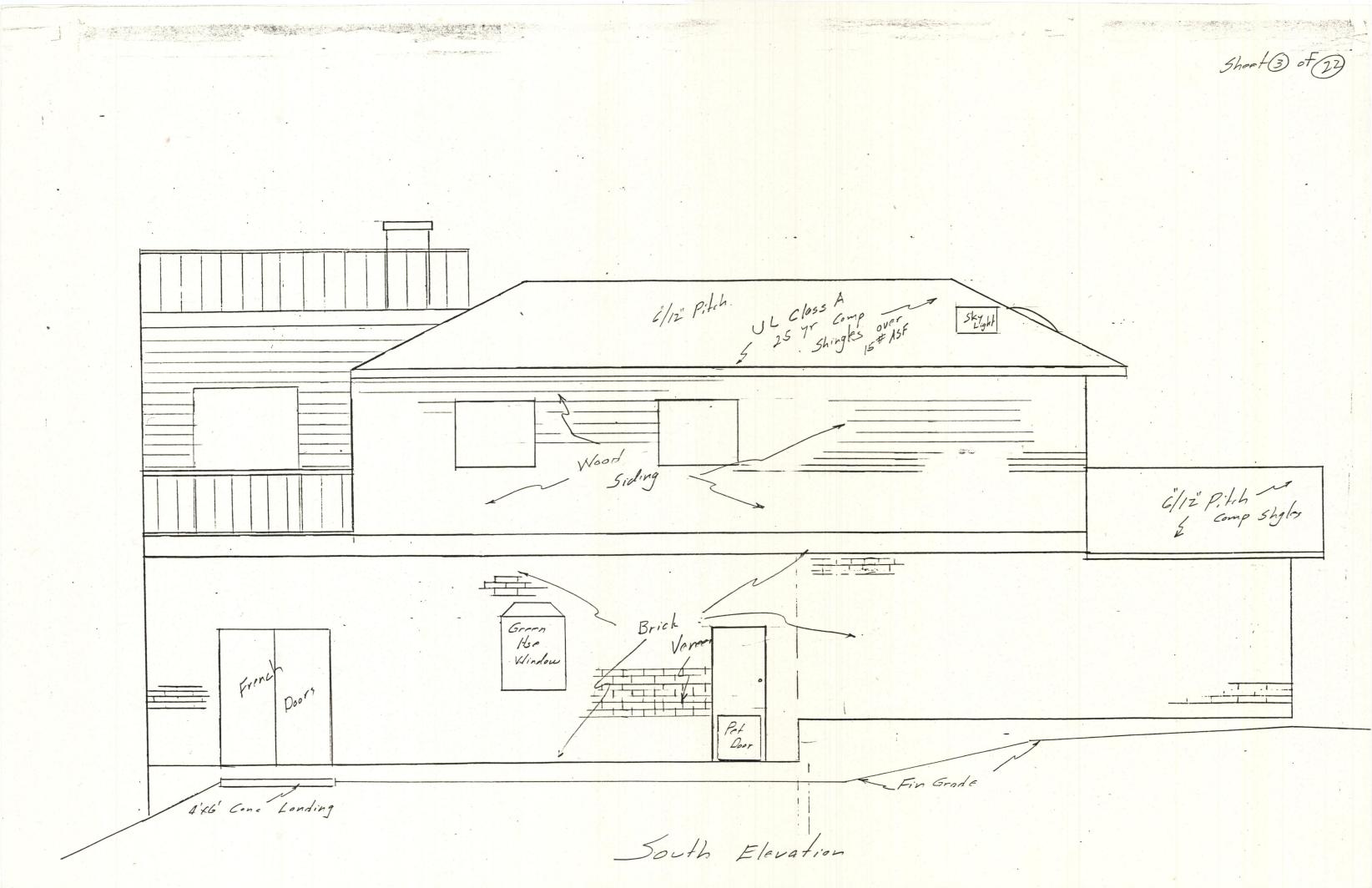
R. B. Carothers Residence

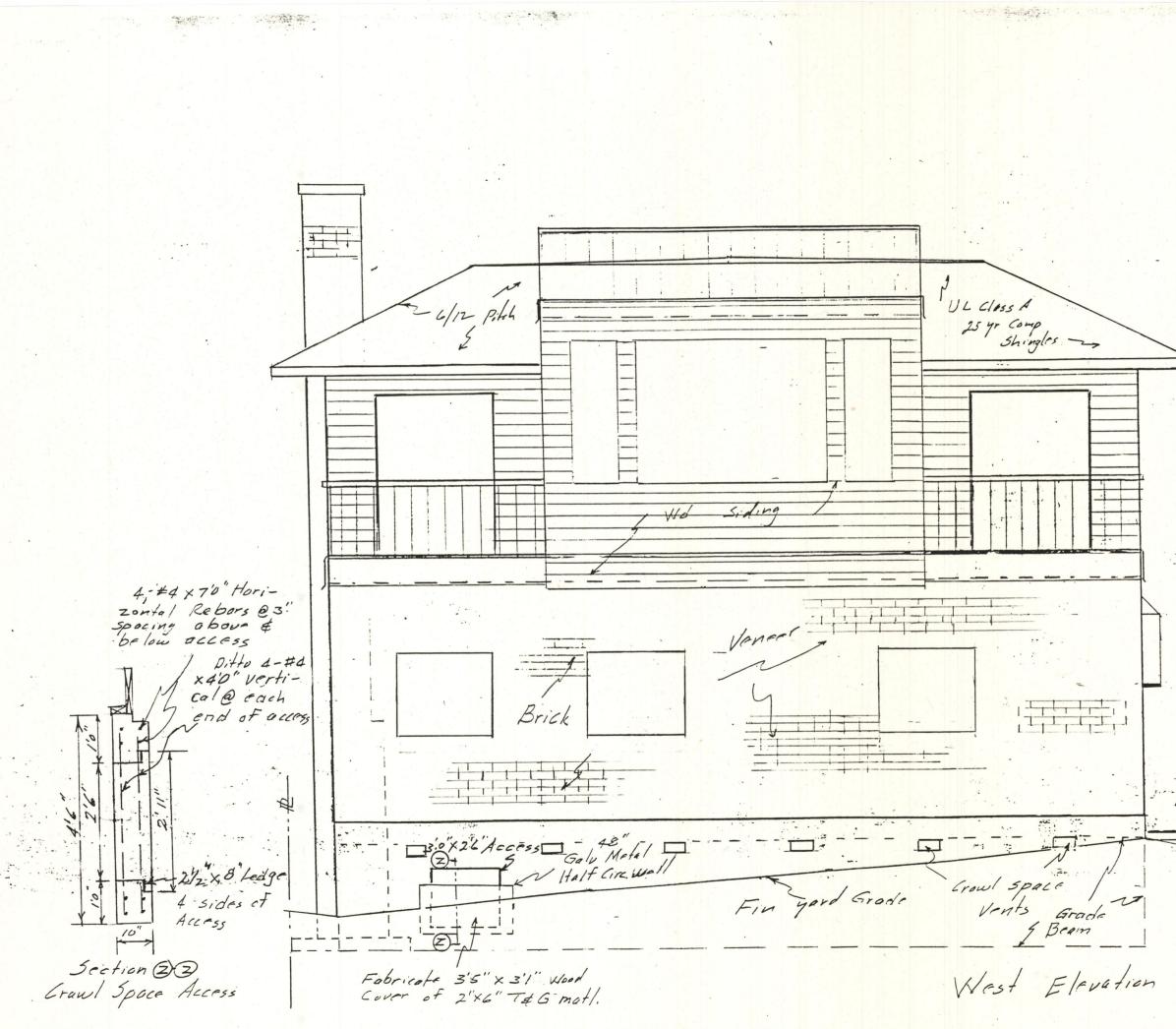
Index to Sheets

Elevations sheats 2-5 Plot Plan, Grading Scheet 6 - 7 Foundation Plan Sheads 8 \$ 9 Foundation Details Sheets 10 \$ 11 Post tensioning start 12 First Floor Plan Shart 13 2nd Floor Plan shorts 14-16 Sections, Root Plan Sheets 17 \$ 18 Electrical Plan Sheets 19\$20 Mumbing & Drainage Man sharts 21 \$ 22 Heating of Cooling Plan





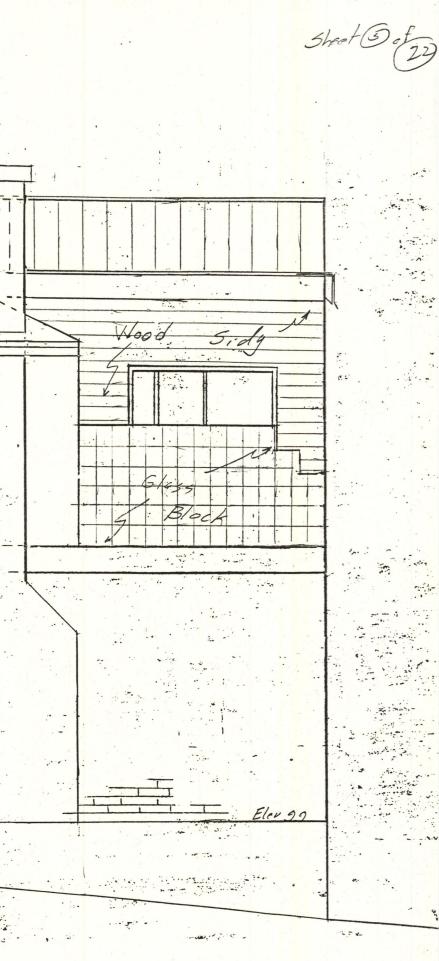




Salar and the state of the second Sheet@ of 3 4'x 6 Conc Landing @ DR Drs - 7 Elev, 98,33 P Fin. yord Grade

Gliz Pitch G/12" Pitch UL Class A 15 yr Com Glass Block Brick Veneri A. 100 mg 100 mg · ¢ Finishon Grad

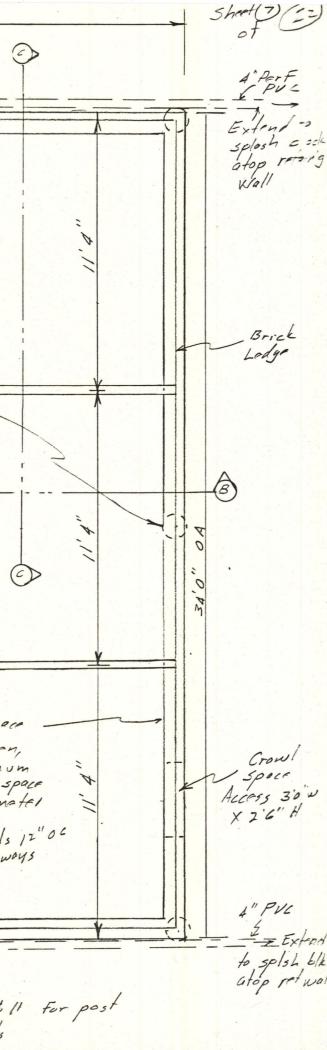
North Elevation



Sheet 6 . 1(22) Plot Plon 1"= 10 1 1.0 Contours & R Ties to support & rotain approximately Lot 27, Orleans on the Lake 840 sq. Ft. slope surface within 10 to 22' of retaining well, and west of dwelling 20 66 12 Top of R. I V/0 // Elry 93.3 101 35 100 Bldg RVC - 98.33 splash block 4" Perf. Sylale 1 56' Import To Cuyde 57 Soil For yord grading prior to Foundation Fin Gutta. Conc 199,70 Dwy Dwelling excavation and store 10.45 on SE lot corner & Patio on rear 6 to 2' of 3 6 lot For Final grading Existing Grode Contours 1) = 50 8 4" Portirta 66 Conc PVC Prain at bose of grade beams w Fin Gatter 599.5 Dwy splash block sulala 20.54 Lp7 27 1 ++ Þ ~ 56 Lot 28 R 36 3 Traint 5 100 Curb 38 97 BM: Top of CorbeNA Extended, Elev: 100.0 -- Finished Grade Contours - 97

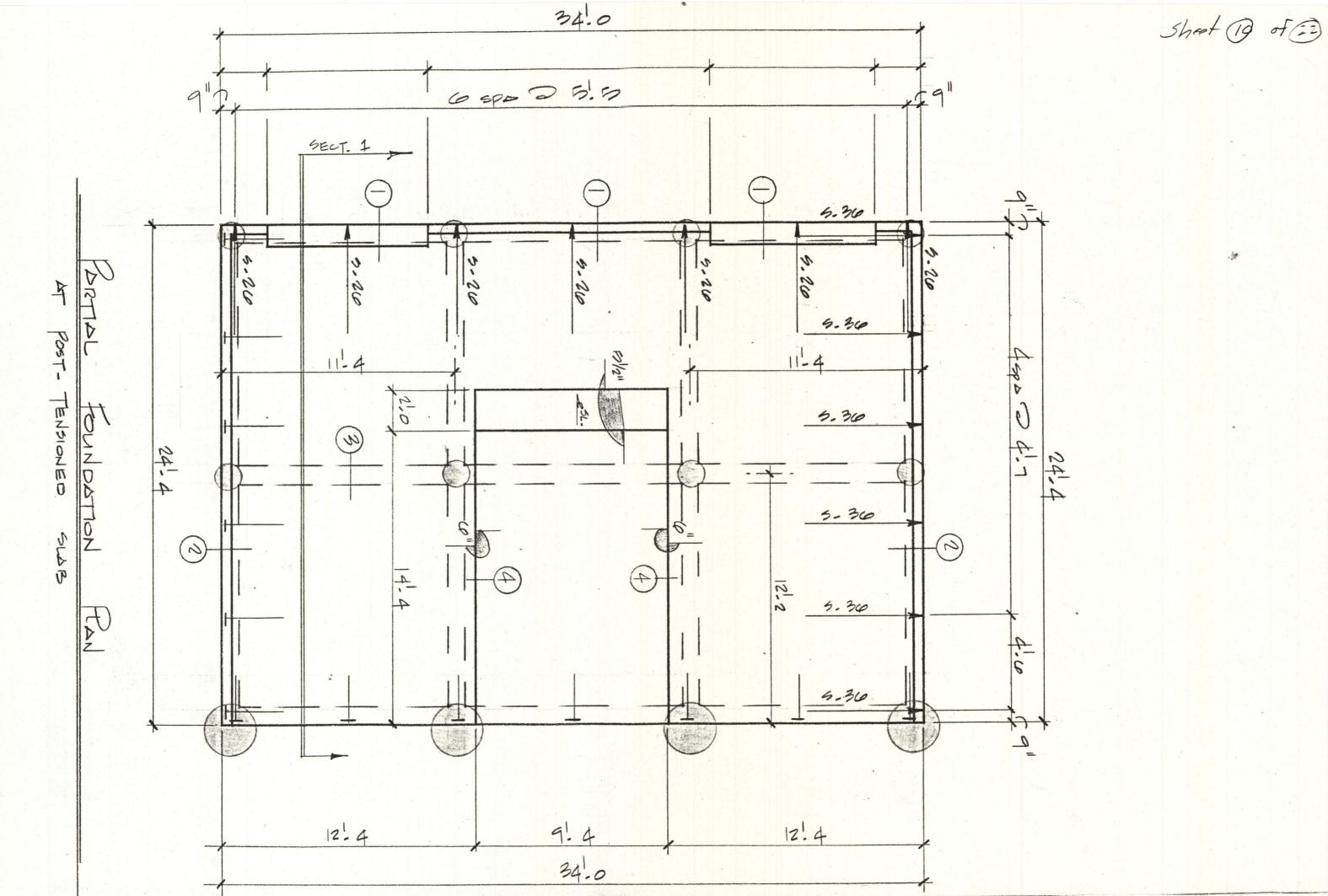
Grading & Drainage Datails

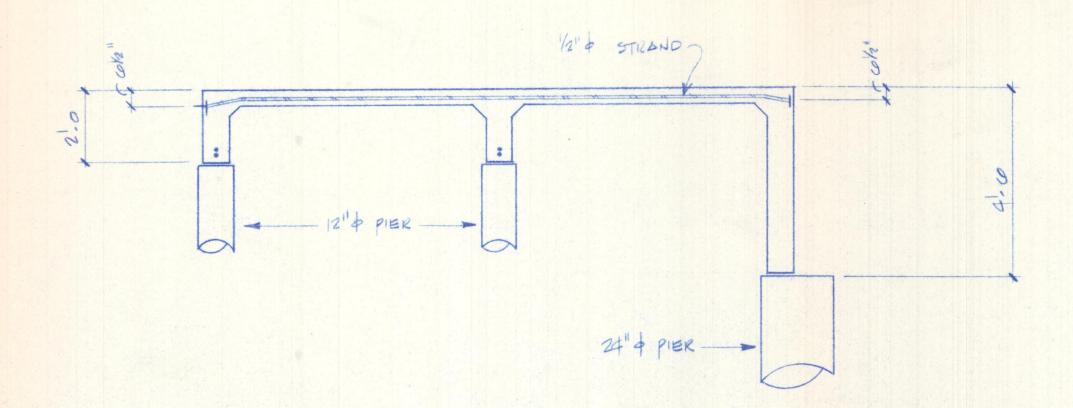
56'0" OA 2 × 2 ×12, Jst 16'66 12 \$ Piers to 24'4" lap = 16" Firm bearing (shale?) estal 16 to 12' depth A Pitch Garage Floor 3 Contractor to 1/8"/Ff Verify Troweld. frem 4 cq 24 '4 Finish Piers ZXEX12 Jats 16'OC 18/14 Patio Washed Slop Entry Floor Trowald Finish 2 Aggrgate Double A End Jst Sur Face 2 × 7 × 6'4" noiling strips on 2"x E" jsts to match north 8 × 12" 2"× 10" joists 8" WF 10/6 broin Masonry Pier 8'0" 20 14'4" 7.5 sq. Ft. crawl space Ve"/Ft 2×10" Joists 16"0C Vents w/ & mesh scran, 2:5 sq. Ft. in minimum of 6 vents /side, space uniformly along perimeter Garage N#4 Rods 12"0C bothways Crawl Space Floor Troueled Finish 6 Fire place Foundationslab 14" Pert. PVC (A)Ser Sheets 10 \$ 11 For post tensioning details Foundation Plan Wropped in 3" pea gravel



Sheet @ 34'0" OA Elev 101.0 Section @ 12'4" 12'4" 9'4' Elev 101.0 SW Corner of The Elen 100.5 Slab & SE Cor Tensioning backs 10\$11 4"PerF Elev 1005' Pos Constr It. ~ of Craul Space PVC 1'x4 Brk Drain Lodge Jts Constr 5#4 shear Elev 20.0 # 1 Rebars Post 0 trans. For Robars Tensing sheets 1041 2#4 Re bors Post -10"-Tensioning per sheets mon grade beam face 10 \$ 11 N 4" Perf. Puc 4" Sand Cushion & 6 mil poly 10 Drain, wropped 3"w/ pea gravel pr 12" & piers to 10 Grade 7'8" long Firm broring as Bean shown on Foundation See Sherts 10 \$11 For post tensioning details plan Elev 93,50 Section @A. 1/2"=1" 560"0A 24'4" 31'8 8'0" 20 14'4" 8"KF 1016-8"WF 10,16 Post Tensioning Elev 10107 Step, slope Construction Sheats 10 #11 6"x12"x1/4 plates 2 1/8 / F+ Joint Elev. 1005-- ' 4"Perf 3" per avel Beg Zsla" sq. Hd bolts PUL Drain 20 Sand Lushiant 4 # 4 Horiz. Robors ploy 6mil Fin Flr Elev . 99.0 2×8 Jats 16'04 15"06, #4 Verti Brick 2×10 Jsts 16"05-17 N. Half South GalF Ledge cal Rebars 24'04. Elev. 98.14 Elau 98.00 8" WF 1016. N Exist' Grad 99.0 Eler Flr Fin 8"x12" 1 Elev 96.75 Bolted Connections masonry ZXEJsts 4" Parforated-16'00 0 Pirrs 96 over & pler Elev 98.00 Beam Sea See Detail Above Brk Tedge 1-8"WF 1016 drep - 1/2 × 12" Anchor # 4 Vertical PUC Drain. Wrapped in 3 bolts 40"00 Rebors, 24"OL, 4#4 Horiz Rebors A # 4 Rebors , ExistgGrad 10" \$ 4 ge Spiral w/ 3" pitch pra gravel 409 24 15" 00 9 + Elev 94.5 all piers - Do not 24'0 # + Vertical Diers Rebors 24"06 tie into broms. 4"puz Elev 93.50 #4 Horizontal 4-#4 Rebors spiral w/3" pitch 17ea 12" & piers to Drain 2 Firm bearing Rebars 15'00 24 Pier (shale?) estid IG' to II' depth; verity to Contractor 4" Porf Brick PVC 20 Section Ledge 0 Drain wrapped 1/2"= 1'0" in 3' progravel Section 00 < Plan View 5106 Crowl Foundation, Sections / Details @ SW Corner of Space Slab & SE Corner of Crowl Space 16" Grade Brom

Shre 19, 5(2) 75'R 1- 90°09 welling 60 56 10.45 + 20.84 to Esmt Curb -BM: Top of CorbeNA Extended, 5 Portial Plan Elev: 100.0 Front Woll 1=10 Front Wall oF Garage-Approx., Existing Foundation -6 +100,2 Ground Driveway Sections Bermot Grade Excavate RR firs & Crowl Spore Eler 94.0 1 Eler 34.5 Grading Datails - 14 1 F1 25 24 pier - Elev 93,3 Spetion @ S. Wall of Dwelling - Retaining Wall Horizontal 12"piers? Scalt: 1=10 Notes: 1. See Shipets 7 Vertical Scale: 1"=5 Garage Floor Elev 100.5 PUG Foundation for 8 Foyer Flr Elev 101 LR, Kil & OR FIR Elev: 997 drain defails 2. Grade crowl space Compacted 5 Fill 20 as shown prior to Form-Elen 96.5 Finished Grode cover with RR firs 6 Approximate dation excavation. Grade Exist's Ground 2. Cover crowl space 95 24" pier 43.3 with is mil plastic shreting Fili 95 1F1 Retain's lopped 12" and 2" crushed -Dwelling Kulz" pier Section thru Center of Wall 1×12" pier stone Finished grode, cover with 6 mil. plastic and 2" crushed stone, Foyer Flr Elry 101 LR Kild DR FILELEN 99 Compacted Approx ' Existing Dwy_ Fill Elev 696,5 Grade Finished Grade Elev Graul 94.0 Finished Grade cover with Ground Elev 100 Elev 95.0 LRR ties Space Elev 95 94.52 ELEN 93.50 Elan 23,3 Section @ N Wall of Dwelling 12" pier





GECTION 1

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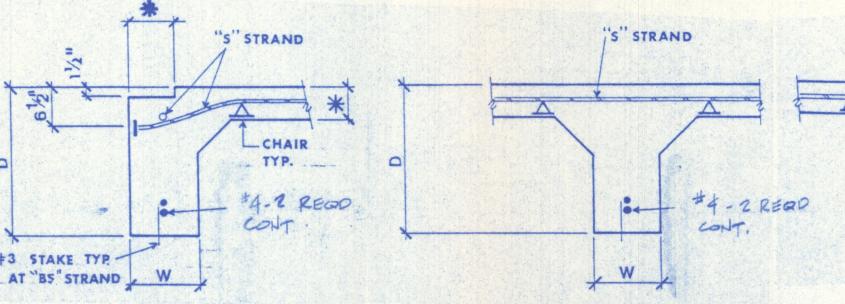
14

612

#3 STAKE TYP.

0





SECTION 2

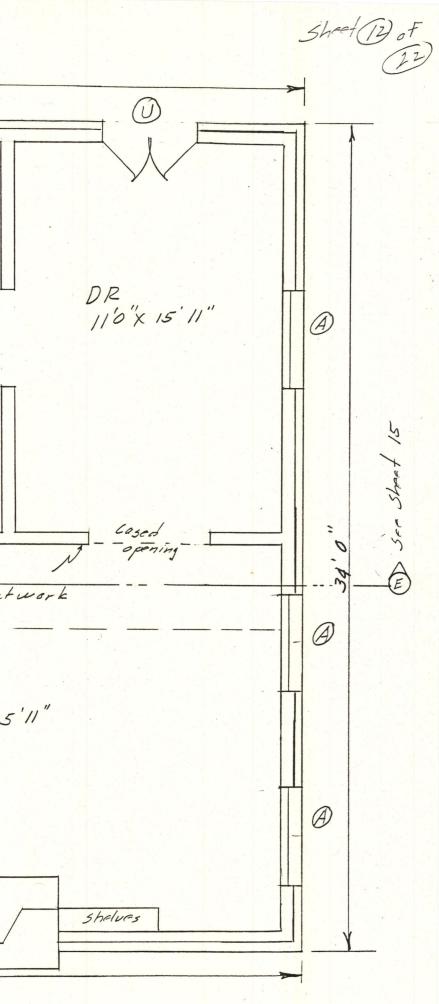
SECTION 3

NOTES:

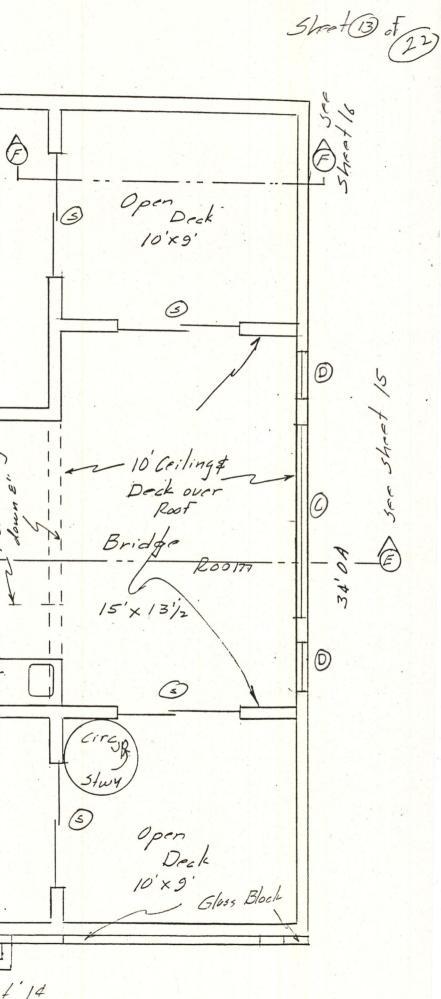
- 1. 4 1/2" THICK 3000 PSI CONCRETE SLAB
- 2. ALL STRANDS ARE 1/2" BIA. 270 K. STRESBED TO AN INITIAL FORCE OF 32 KIPS AND SEATED AT 28.9 KIPS.
- 3. ALL BEAMS ARE 10" W. X 24" D.
- 4. USE 2- #4's CONT. IN THE BOTTOM OF ALL BEAMS.
- 5 DO NOT THE PHER REINFORCING TO BEAMS.
- 5. A LAYER OF SIX MILE POLYETHYLENE SHEETING
- SHALL BE INSTALLED UNDER THE SLAS. 7. ALL S-36 STRANDS SHALL HAVE A FINAL REQUIRED ELONGATION OF 2 5/8" MINIMUM SLONGATION OF 2 3/8" MAXIMUM ELONGATION OF 2 7/8"
- 8 ALL S-26 STRANDS SHALL HAVE A FINAL REQUIRED ELONGATION OF 1.7/8" MINIMUM ELONGATION OF 1 5/8" MAXIMUM ELONGATION OF 2 1/8"

Shart D. 3 TIMES A CHAIR MUST BE drop depth INSTALLED HERE 12^{II} max -BEAM IF SHOWN ON PLAN SECTION 4

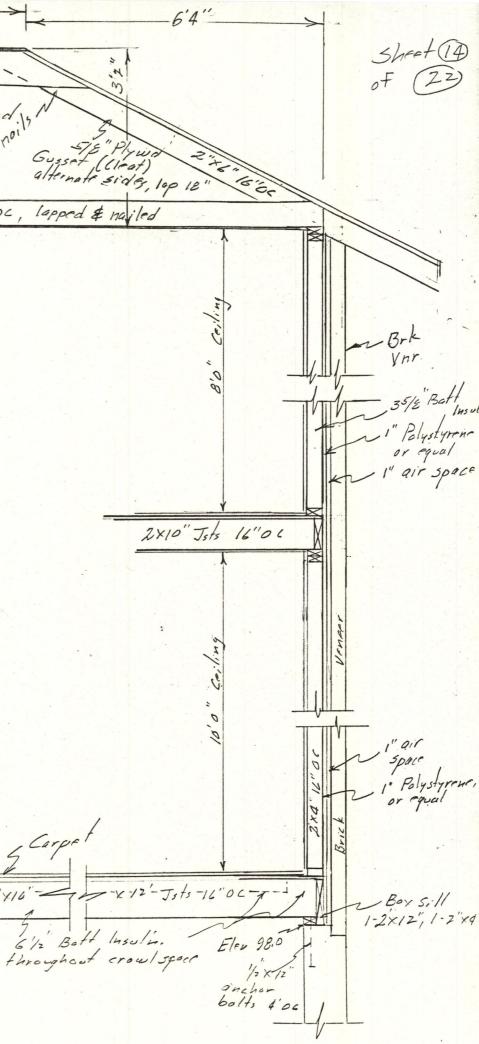
56'0" B V Greenhse KIndu 00 "Dy GD 00 2 Double 2"x12" Beam D61 Oven D. 5'e''× 12'0" Rg/Hd D Garalge Z 2 11/2 × 23 10" 210 Ref Island Block& Cabinet D 23' Kit 13'0'X 15'11" Tresh Comp. Loundry Tuby Schute) W HI Base & Wall Cob's Ð Vlood A Siding Brk Up 2-00-10'0" Entry 8'4"x 13 Pass 0 Ø Closef Ø B' Tisers Drop coiling Thru ê Dn Fur cailing 12" around ductwork in beth 1 to E' 12 yes 04 Wood 4 Siding G - DEI stud Æ 510 LR 24'7" × 15'11" 23' 10 Fur × 20" Clear : E 12.10 Ø M Garage 111/2 × 23' First 0 Double 2×12" Brom to corry 2nd story wall 0 1 Ð Storg 0 F shelves 32'2" First Floor Plan D see shout 14

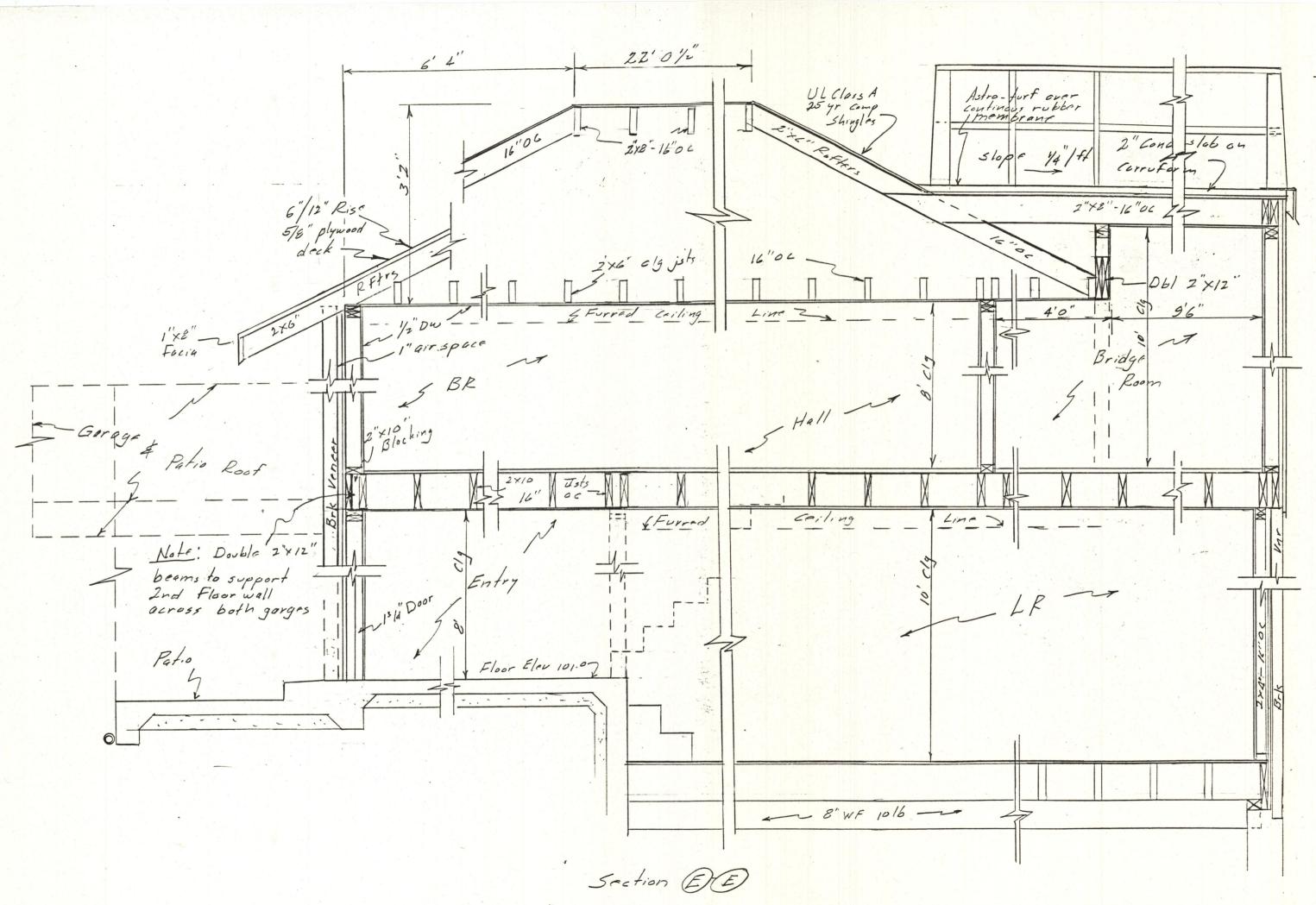


0 46'0A (A) A Sky Light = $\widehat{\mathcal{A}}$ Closet 1_24"_1 8'×6'10 Master BR Lin 12'×171/-R Ð R Lin Loundry -2 Chute -2 24 -1 T closet Jery Jisty 0 51/2+6 3 6" Dox Var , 9,2 Hall Brk Cailing +0 7'4" Drop A Ê D Ð Ē BR 10×161/2 D Bar. 0 0 BR/OFF 10 × 16/2 5401 Ð ×12 D Glass Block Ponel 4 6'73 H'x 3' 3 3/4" 4 - Brick Venne 1 2nd Floor Plan D Jer shret 14

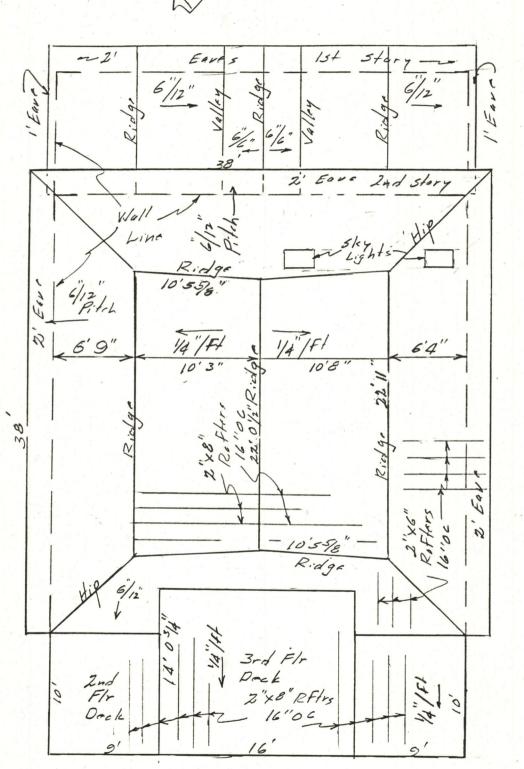


20 11 Pitch 1/4" /Ft_ Pitch 1/4" 1 Ft -240 16. Sq. butt 3 tab shingles over 15 16. Felt 2 2:48"-16"06 nt 5/8" Dreking 2"x 8"-16"00 Busset (cleat), lep 10" alternate sides 5/8"× 75/6"× 3' plywood cleat Aply mineral surfaced in built-proofing noi 24"00 5/8 Deck roe noi' 160 2"x6" @16"OC, lapped & naviled -1-: : 2"×6" 16'06 1 1 Noc W X N Ory wall Insulation 1-61/2" \$1-31/2" Balt 2nd Flr Hall +2 , 1" Polystone, or equal 35/2" Batt Insul Finished Floor Sub Floor 2"×10"-16"06 1/2" Drywall " Polystyrene sheathing or gual """Factor 35/8" Batt Insul K:t DR LR 5/2 Cromic Tile 5/2 Cromic Tile 4 11/4 "Setting Bed w/wire mesh 16"0c 1 15# Bldg. Felt 2"x 8"x 12' Jsts 16"/0 4 - 8"WF 1016 1/2×12 /15-anchor bolls-612 Batt Insul 2×2"×64" Neiling Strips on 2"x8" jsts Throughout Growl space 4'0"06 Corc. Foundation D Section D-





Sheet (15)



Roof Plan 1/8"=1"

Notes 1. Roof decking shall be \$18" plywood applied with staggered joints, penel odhesive and galvonized ed nails 10"oc along all raffers. 2. RooFing on 6"/12", 4 steeper, decks shall be heavy weight UL Class A wind and Fire resistant 25 year warranty compo-Sition shingles over 15 tesphalt Falt. On Flat decks rooting shell be 4 ply, 15 # ASF with grovel surface. 3. Second and 3rd Floor root decks shall be 2" Conc on corru-Form steel w/6"×6" 1099 mesti reinf. 4. Tuper 2"xe" jsts to 5 5/2"@ plate line, MBR or BRIOFF 12"Conc Astro fur F. Ion Coruf. Astro fur F. I Nover continous Vover continous Vover membrone 4 20 ga. Gelu Metal ZXE 16'00 # 1" 35/8 polystyre insul 1/2 DW DRor LR Section BB Copen Deck

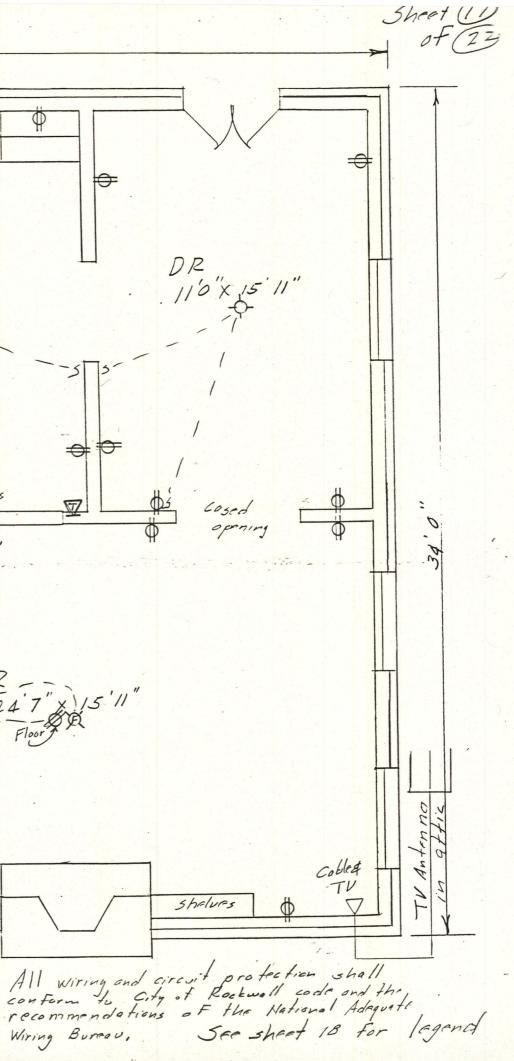
B

Sheet B of 22

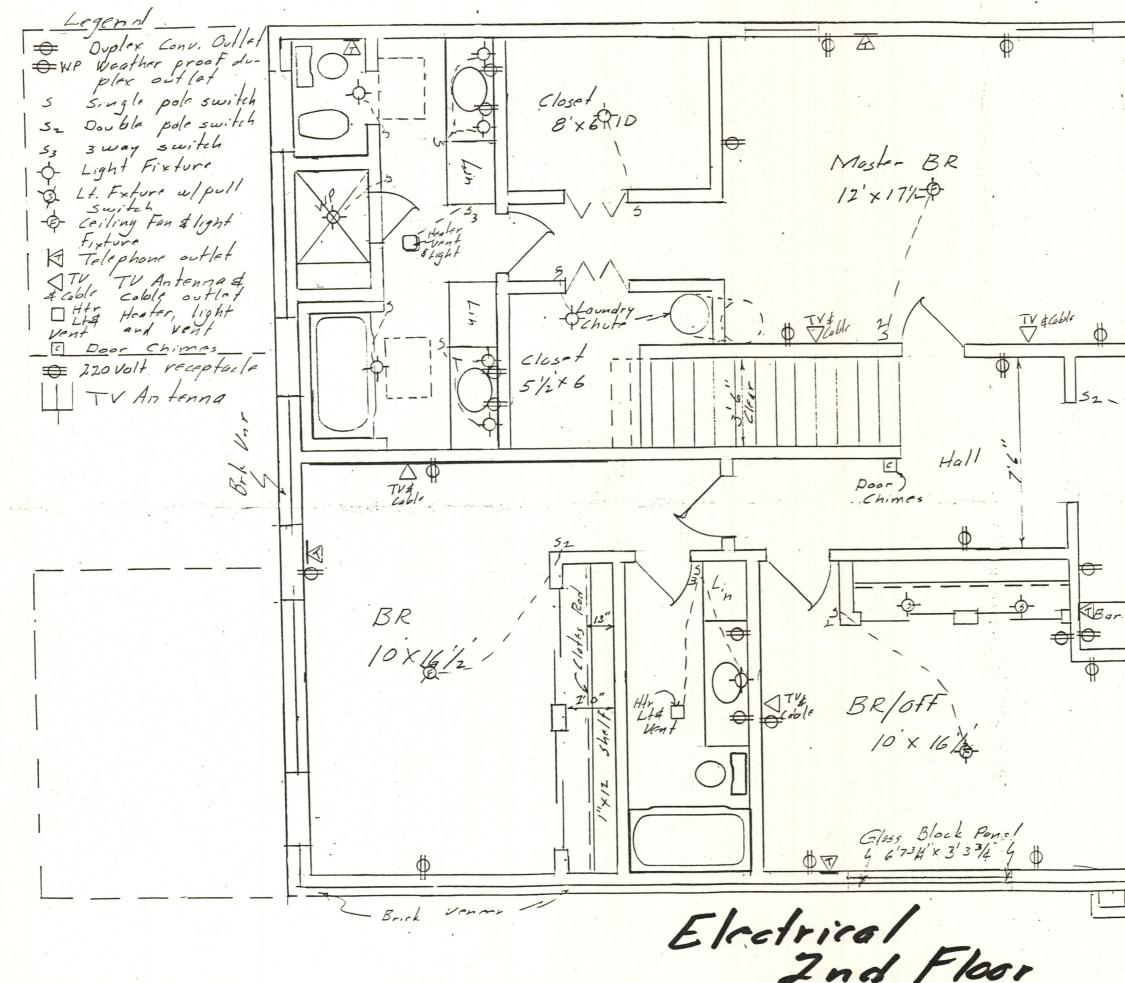
5. Provide Sriosg. Ft. attic vents with # & mesh screen

5-4-1924

56'0" WB Greents KInaw 9 CHO φ 5P àb D61 Gren 00 VJ Rg/Hd 5'8' × 120' Garage ₩D Det 11/2 00 ¢-Island Block& + Dortig FW Tube HI Base & Well Cob's Φ J.B 0 Up Entry 84"x 13 Pass Cor Phil V Closet ¢ Ç Thru Din Chimes Door Chimes -DEI Studs 55 Notes T. Distribution ponel shall have B appliance circuits and 12 branch circuits 0 Act SITU 6-9-Garage DG-111/2 × 23' 0 00 E Nrg O 1-0-Meter Base & Main Switch Storg -0shelves Electrical Plan Ist Floor UG Service to Electric Co. Wiring Burrow,

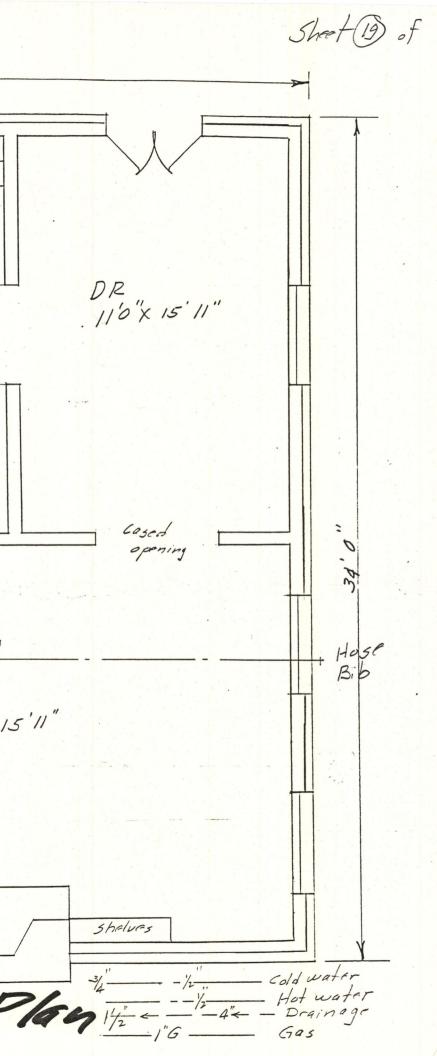


46'0A

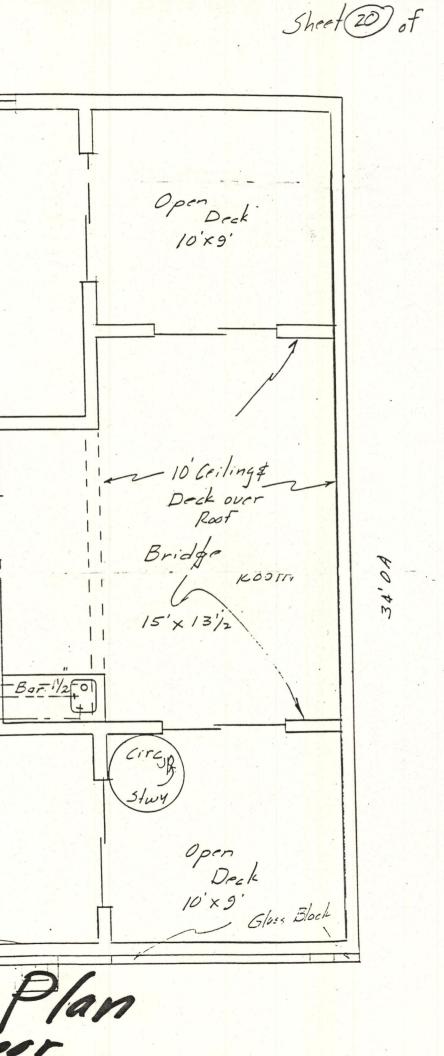


Sheet (E) of (22) Open Deck 10'×9' Bewf E= 0 10 Ceiling # Deck over Bridge ROSITI 0 34 15'× 13'/2 0 circy Open Deck 10' × 9' - Glass Block

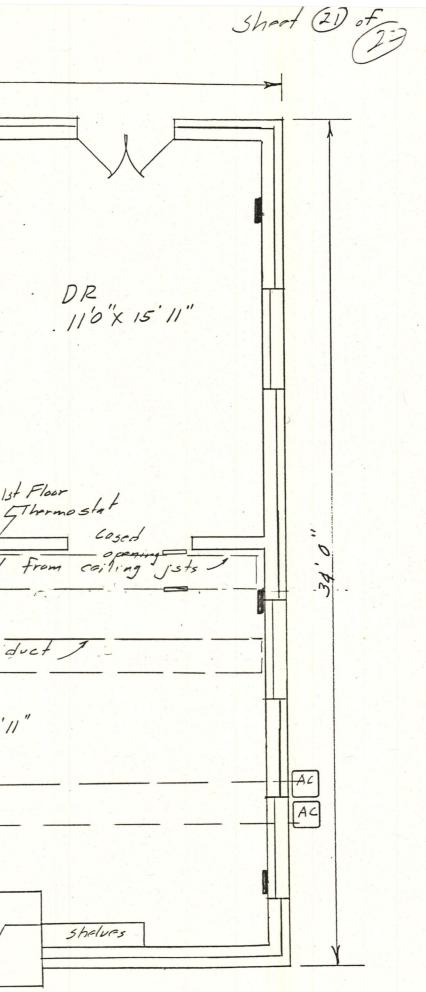
A Riser From Crowl space 2nd Floor F, 1 56'0 + 1/2 hose bib + To city water 3/4 Copper_ Greenhar m-Kindw Main= CutoFF 00 9 00 DGI Oven 4" Riser to 2nd Floor Ufit: 4y 5'8''× 12'0 <11/2-11 - Rg/Hd Garage 111/2 × 23 Det Island D Block\$ 1 Cabinet 314" CW\$ Hw to 2nd Floor Base & Wall Cob's + Hose bib Up Entry 8'4"× 13 Pass Con Paris Closet 2 Thru - DUI stud Notes: 1. Line locations are schematic only. All water pipe, Fiftings and values shall conform to City of Rockwell code and shall be copper. 2. All drain pipe shall be PUC, all gos pipe shall be wrought iron. LR 24'7" × 15'11" A to 1.4 3. All piping values and Fittings shall conform to City of Rockwall requirements and code. E -9. Storg shelves nking & Drainogr Plan 1/2 From Gas Co.



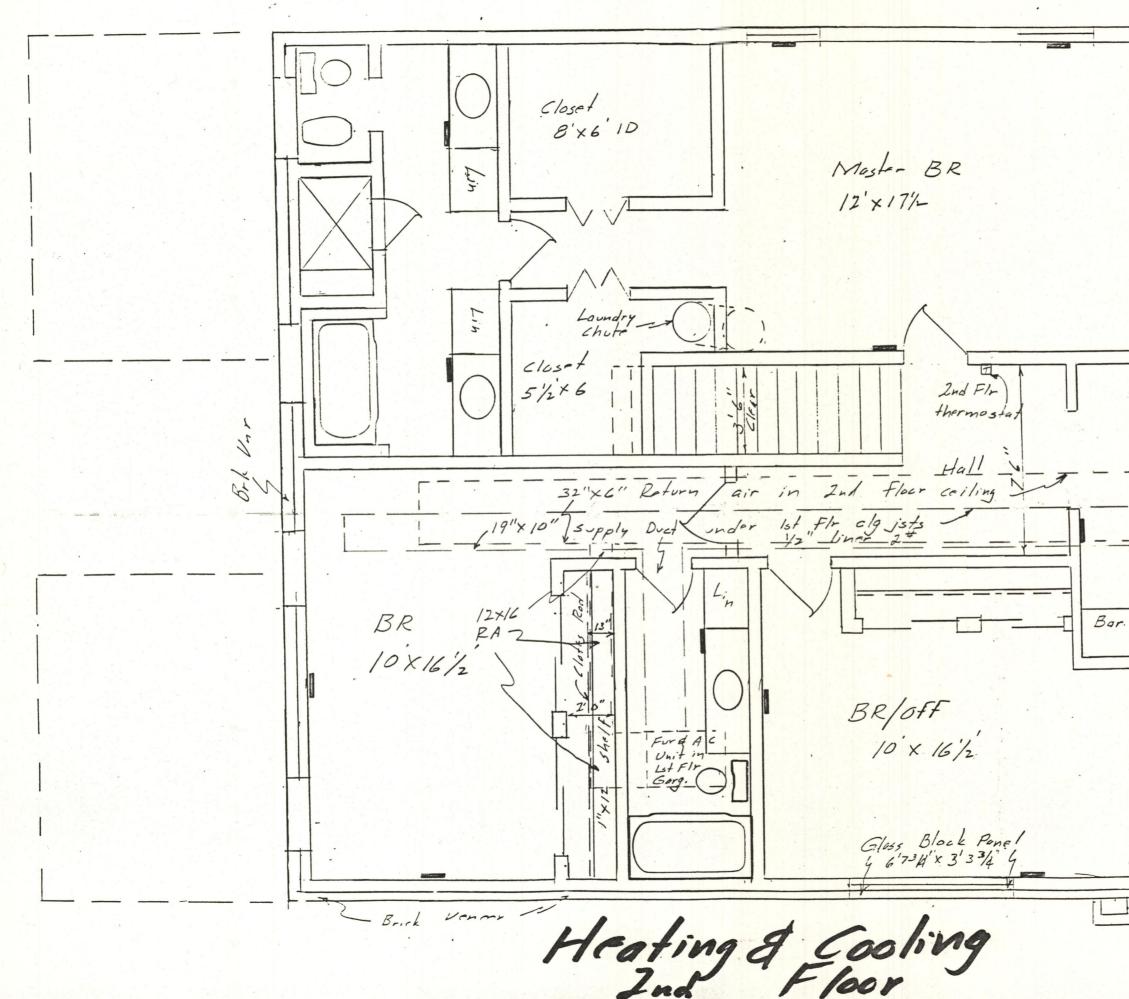
4" Prain @ 4" riser From Crowl 46'0A Space Garage Cailing -4" 1/2" Closet 8'×6'10 Moster BR 12 25 12'×171/-From 1st Floor -/2-Loundry -15 closet 51/2+6 11 1 12 Hall Brk Π st? BR 1/2-10×16/2 hi stack BR/OFF Vent 10 × 16/2 ThruF (A") ×12 Shower 1 Gloss Block Ponel 4 6'73 H'x 3' 3 3/4" 4 Plumbing & Drainge Plan - Brick Vermin



56'0" Greenh. KIndw CO D Notes. Dbl Oven CO 1. Furnaces shall be Corrier 58553,0906C. Utility 5'8"× 12'0" Rg/Hd 1 up Flow, I down Flow, Air conditioners' shall be Carrier 38TH0363 with 28RDS036 indoor coils. 2. Main ducts shall have 192 squin cross section Ref Island D and 1/2" liner Blocks 3. - Registers shall have 6" & supply duck for each 110 cfm air. Register locations and duct Cabinet Lourdiy W 5 hote runs are schematic A First and second Floor systems shall be sepo-rate and independently controlled with seporate thermostats HI Base & Wall Cob's 1st Floor Entry 8'4"x 13 Cor Qu' Closet suspended from cailing jests -19" ×10" Refurm Air Din 5 16"x12" Under Floor supply duct 1 -1/2" liner 2# duct 1 -- DEI studs LR 24'7" × 15'11" Ist Floor Unit Garage 2nd Floor 0 11 1/2 × 23' Unit E Storg shell 35 Ser plumbing plan, strat (3) for Heating & Cooling gus supply and electrical plan, Heating & Cooling short (1) for receptacle locations let Floor



· 46'0A



Shret 14 01 (22) Open Deck 10'x9' 10 Criling \$ Deck over Roof Bridge 64 RODITI 4 m 15'× 13'/2 Circy Open Deck 10'x 9' Gluss Block

1-25

DECLARATION OF COVENANT AND DEED RESTRICTIONS

THE STATE OF TEXAS § S KNOW ALL MEN BY THESE PRESENTS: COUNTY OF ROCKWALL §

Mike Slavens ("Declarant") is the owner in fee simple of certain real property consisting of approximately ______ acres located in Rockwall County, Texas, being more particularly described on <u>Exhibit "A"</u> attached hereto and incorporated herein for all purposes (the "Property").

Declarant desires to develop the Property in accordance with the proposed final plat (the "Plat") attached hereto as <u>Exhibit "B"</u> and incorporated herein for all purposes.

Declarant hereby covenants and agrees that Declarant, and its successors and assigns, shall develop the property in accordance with the attached <u>Exhibit "B"</u> and hereby deed restricts that the construction of any buildings or structures shall comply with all applicable codes and ordinances of the City of Rockwall, with the exception that Declarant shall not be required to retain licensed subcontractors to construct buildings or structures on the Property which is located outside of the City limits of the City of Rockwall. Additionally, Declarant shall allow City of Rockwall inspectors onto the Property to inspect the construction of any buildings or structures on the premises.

DECLARATION OF COVENANT AND DEED RESTRICTIONS - PAGE 1 0350c/18 These restrictions shall continue in full force and effect for a period of twenty-five (25) years from the date of execution, and shall automatically be extended for additional periods of ten (10) years unless terminated in the manner specified herein.

These restrictions shall not be altered, amended or terminated without a public hearing before the City Planning and Zoning Commission and the City Council of the City of Rockwall. Notice of such public hearings shall be given as would be required by law for a zoning change on the Property. The City Manager, or his designee, through authorization by majority vote of the City Council of the City of Rockwall, Texas, and Mike Slavers and his successors or assigns, must sign a document to be filed in the Deed Records of Rockwall County, Texas, approving the amendment or termination of these Declaration of Covenants and Deed Restrictions.

The restrictions contained herein are not in any manner intended to restrict the right or the ability of the City Council of the City of Rockwall to exercise its legislative duties and powers insofar as zoning of the property within the City limits of the City of Rockwall is concerned.

These restrictions inure to the benefit of the City of Rockwall, and the City of Rockwall does hereby reserve the right to prosecute, at law and in equity, against the entity person or persons violating or attempting to violate such restrictions, either to prevent them from so doing and to

DECLARATION OF COVENANT AND DEED RESTRICTIONS - PAGE 2 0350c/19 correct such violation and for further remedy, the City of Rockwall may withhold the Certificate of Occupancy necessary for the lawful use of the Property that is located within the City limits of the City of Rockwall until such restrictions described herein are fully complied with.

These restrictions are hereby declared to be covenants running with the land and shall be fully binding upon all persons acquiring property within the above described tract, as described in the attached <u>Exhibit "A"</u> and any person by acceptance of title to any of the Property shall thereby agree and covenant to abide by and fully perform the foregoing restrictions and covenants.

EXECUTED as of this ____ day of ____, 1990.

DECLARANT

Mike Slavens

DECLARATION OF COVENANT AND DEED RESTRICTIONS - PAGE 3

STATE OF TEXAS § COUNTY OF ROCKWALL §

This instrument was acknowledged before me on the _____ day of September, 1990, by Mike Slavens, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that the agreement was executed for the purposes and consideration therein expressed.

[SEAL]

Name:_____

Notary Public, State of Texas

My Commission Expires:

DECLARATION OF COVENANT AND DEED RESTRICTIONS - PAGE 4

P.O. Box 1008 Sulphur Springs, Texas 75482 July 18, 1990

(214) 885-5089

Ms. Julie Couch Assistant City Manager City of Rockwall 205 W. Rusk Rockwall, Texas 75087

Dear Ms. Couch:

Thank you for taking the time earlier this week to explain Rockwall city planning and zoning procedures. In accordance with our earlier conversations, I wish to submit a request for deviation from planned development zoning for Orleans on the Lake, Block A, Lot 27 as follows:

- (a) deviation from the typical front elevation as it applies to the design of the garage, as per elevation plan submitted to the City Building Inspector.
- (b) deviation from zero-lot-line requirement as per plot plan submitted to City Building Inspector.

I request that these proposed deviations be considered at the next meeting of the Planning and Zoning Committee to be held on August 20.

Very truly yours, 3 (nother (by JK)

R. B. Carothers

RBC:jk



CITY OF ROCKWALL "THE NEW HORIZON"

July 27, 1990

Mr. R. B. Carothers P. O. Box 1008 Sulpher Springs, Texas 75482

Dear Mr. Carothers:

This is to confirm that you are scheduled to meet with the Planning and Zoning commission on August 9, 1990 at 7:30 p.m. and the City Council on August 20, 1990 at 7:00 p.m. for consideration of your proposed elevations for Lot 27, Block B, Orleans on the Lake. As you are aware, we have had several elevations already submitted to the Commission and Council in this same addition. While I understand that it is not yet fully official, I understand that the Homeowner's Association is being reformed and has established a review board. The last elevation submitted for approval had received approval from this group and the Commission did find it helpful that the neighbors had already looked at the design. You may want to consider this process as well. The Commission will want to know if the neighbors have seen the proposed design.

If you have any questions feel free to give me a call. I will be out of the office during the week of August 30th, but I will be back on Monday, August 6th.

Sincerely,

such / nec

Julie Couch Assistant City Manager

hcc

CITY OF ROCKWALL Planning and Zoning Agenda

Agenda Date:	August 9, 1990	Agenda No:III. E.
<u>Agenda Item:</u>	Consider Approval of Elevations of Proposed Single Orleans on the Lake Addition	Family Home in the

Item Generated By: Applicant

Action Needed: Consider approval of the elevations as submitted.

Background Information:

We have received another request from a builder in this addition for a variation on the typical elevation within the addition. As you are aware the approved elevation is for a two story home with a two car front entry garage. This applicant wishes to construct a house with two one car garages on each end of the house. A copy of the elevation is attached.

We understand that the homeowners group in the addition has reviewed this plan and has no problem with it.

Attachments:

1. Elevations