

APPLICATION AND PRELIMINARY PLAT CHECKLIST

Date 7/24/90

NAME OF PROPOSED SUBDIVISION LOT ONE, FOOD LION- RIDGE ROAD

NAME OF SUBDIVIDER JEM Texas Acquisitions, Inc.

ADDRESS 3538 Gastonia, N.C. 28053 Phone 704/867-4628

OWNER OF RECORD Whittle Development Inc.

ADDRESS P.O. Box 369 Rockwall, Texas 75087 PHONE 214/771-5253

NAME OF LAND PLANNER/SURVEYOR/ENGINEER Cardenas-Salcedo and Associates, Inc.

ADDRESS 5787 S. Hampton, Suite 480 PHONE 214/333-0014

TOTAL ACREAGE 3.7 CURRENT ZONING PD - General Retail

NO. OF LOTS/UNITS one

SIGNED

The Following Preliminary Plat Checklist is a summary of the requirements listed under Section VII of the Rockwall Subdivision Ordinance. Section VII should be reviewed and followed when preparing a Preliminary Plat. The following checklist is intended only as a reminder and a guide for those requirements. Use the space at the left to verify the completeness of the information you are submitting. If an item is not applicable to your plan, indicate by placing a check mark.

Provided or Shown Not On Plat Applicable

I. General Information

- A. Vicinity map
B. Subdivision Name
C. Name of record owner, subdivider, land planner/engineer
D. Date of plat preparation, scale and north point





III. Surrounding Area

  x                    \_\_\_\_\_

A. The record owners of contiguous parcels of unsubdivided land; names and lot pattern of contiguous subdivisions; approved concept plans or preliminary plat

\_\_\_\_\_                    x  

B. The approximate location, dimension and description of all existing or proposed lots and blocks, public rights-of-way and easements, parks and open spaces. Specifically indicate how the proposed improvements would relate to those in the surrounding area.

Taken by \_\_\_\_\_

File No. \_\_\_\_\_

Date \_\_\_\_\_

Fee \_\_\_\_\_

Receipt No. \_\_\_\_\_

II. Subject Property

|              |              |  |
|--------------|--------------|--|
| <u>  x  </u> | _____        | A. Subdivision boundary lines  |
| <u>  x  </u> | _____        | B. Identification of each lot and block by number or letter  |
| <u>  x  </u> | _____        | C. Dimensions, names and description of all public rights-of-ways, improvements, easements, parks and open spaces, both existing and proposed. Locate and identify existing and/or proposed median openings and left turn channelization |
| <u>  x  </u> | _____        | D. Proposed land uses, and existing and proposed zoning categories   |
| <u>  x  </u> | _____        | E. Approximate acreage   |
| _____        | <u>  x  </u> | F. Typical lot size; lot layout; smallest lot area; number of lots   |
| <u>  x  </u> | _____        | G. Building set-back lines adjacent to street  |
| <u>  x  </u> | _____        | H. Topographical information and physical features to include contours at 2' intervals, outlines of wooded areas, drainage areas and 50 and 100 year flood limit lines, if applicable  |
| _____        | <u>  x  </u> | I. Location of City Limit lines, contiguous or within plat area  |
| <u>  x  </u> | _____        | J. Location and sizes of existing utilities  |
| <u>  x  </u> | _____        | K. Intended water source and sewage disposal method whether inside City Limits or in extraterritorial jurisdiction   |

**OVERLAY DISTRICT  
SITE PLAN APPLICATION**

Date 7/31/90

NAME OF PROPOSED DEVELOPMENT Food Line - Rockwall

LOCATION OF PROPOSED DEVELOPMENT F.M. 740 @ F.M. 3097

NAME OF PROPERTY OWNER/DEVELOPER JEM Texas Aquistions, Inc.

ADDRESS Post Office  
Box 3538  
Gastonia, N.C. 75087 PHONE 214/771-5253

NAME OF LAND PLANNER/ENGINEER Cardenas-Salcedo and Associates, Inc.

ADDRESS 5787 S. Hampton, Suite 480  
Dallas, Texas 75232 PHONE 214/333-0014

TOTAL ACREAGE 3.7 CURRENT ZONING PD General Retail

NUMBER OF LOTS/UNITS 1

PROPOSED USE FOR DEVELOPMENT Supermarket

SIGNED \_\_\_\_\_

Following is a checklist of items that are required as a part of the site plan consideration. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal. All information should be provided on a scaled 18" x 24" sheet. Refer to the Design Guidelines for the Scenic Overlay District for additional information.

|   |                           |
|---|---------------------------|
| <u>Provided or Shown<br/>On Site Plan</u> | <u>Not<br/>Applicable</u> |
|---|---------------------------|

|               |               |
|---------------|---------------|
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |
| <u>      </u> | <u>  x  </u>  |
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |
| <u>  x  </u>  | <u>      </u> |

1. Key Map showing general location of proposed development.
2. Total lot or site area - if the site is part of a larger tract include a key map showing entire tract and location of site being planned.
3. Location, dimensions, and size of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
4. Accurate boundary dimensions
5. Location and type of fencing and/or screening of yards and setback areas.
6. Landscape plan meeting the provisions of Ordinance No. 88-28.
7. Location and dimensions of ingress and egress, including drive widths and curb radii, location and dimensions of all existing drives within 100 ft. of proposed development.
8. Location of all easements within the site.
9. Show existing topographic contours on 5 ft. intervals and the existing average grade of all streets adjacent to the site and indicate the proposed pad elevations for all structures.
10. Indicate proposed drive access grades.
11. Include a center cross section of the site including elevations of the ground and buildings taken from the street to the rear of the property. Additional cross sections may be necessary depending on the individual location.



| Provided or Shown<br><u>On Site Plan</u> | Not<br><u>Applicable</u> |   |
|--|--------------------------|---|
| <u>  x  </u>                             | _____                    | 12. <u>Location, number and dimensions</u> of off-street parking and loading facilities.  |
| <u>  x  </u>                             | _____                    | 13. <u>Height</u> of all structures.  |
| _____                                    | <u>  x  </u>             | 14. <u>Location, general design, typical elevation and types of all signs</u> (both wall and free standing) including lighting, heights and colors. |
| <u>  x  </u>                             | _____                    | 15. <u>General description</u> of exterior lighting plan including <u>height</u> and <u>type</u> of all light poles.                                |
| <u>  x  </u>                             | _____                    | 16. Building Plan - include a general layout of all proposed buildings indicating proposed uses.  |
| <u>  x  </u>                             | _____                    | 17. <u>Elevation drawings</u> in accordance with the Overlay District Guidelines.   |
| <u>  x  </u>                             | _____                    | 18. <u>Location and screening</u> of trash facilities.  |
| <u>  x  </u>                             | _____                    | 19. <u>Location</u> of nearest fire hydrant within 500 ft.  |
| <u>  x  </u>                             | _____                    | 20. Street names on proposed streets.   |
| <u>  x  </u>                             | <u>  x  </u>             | 21. The following additional information:<br>_____<br>_____<br>_____  |



**CITY OF ROCKWALL**  
 "THE NEW HORIZON"  
 Rockwall, Texas 75087-3628

(214) 771-1111

Cash Receipt

Name JEM Tex Acquisition Inc. Date \_\_\_\_\_

Mailing Address \_\_\_\_\_

Job Address \_\_\_\_\_ Permit No. \_\_\_\_\_

Check

Cash

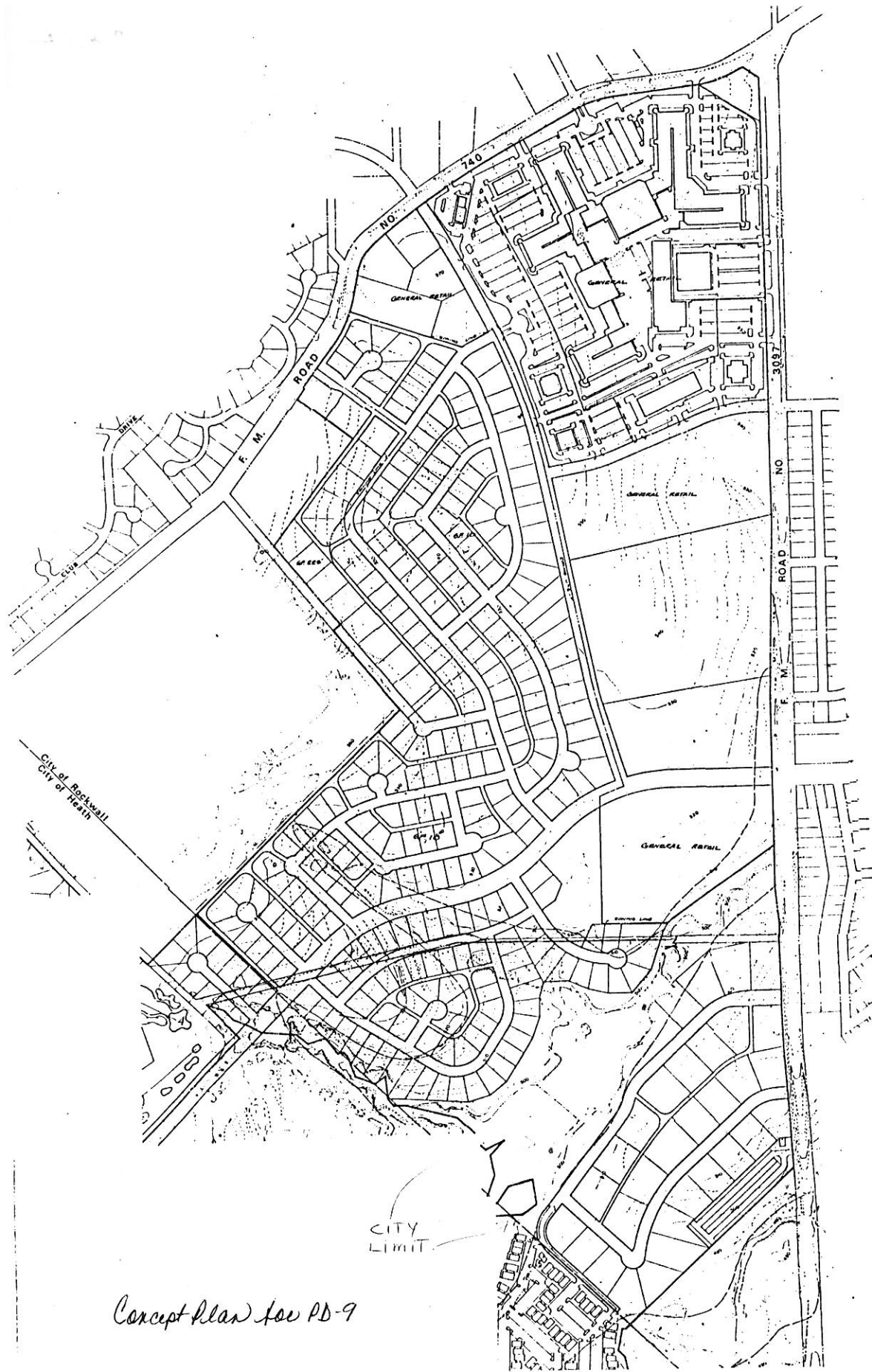
Other

| DESCRIPTION              | Acct. Code | Amount | DESCRIPTION            | Acct. Code |
|--------------------------|------------|--------|------------------------|------------|
| Building Permit          | 01-3601    |        | Water Tap              | 02-3311    |
| Fence Permit             | 01-3602    |        | 10% Fee                | 02-3311    |
| Electrical Permit        | 01-3604    |        | Sewer Tap              | 02-3314    |
| Plumbing Permit          | 01-3607    |        | Water Availability     | 06-3835    |
| Mechanical Permit        | 01-3610    |        | Sewer Availability     | 07-3836    |
| Municipal Pool           | 01-3402    |        | Meter Deposit          | 02-2201    |
| Zoning, Planning, B.O.A. | 01-3411    | 112.00 | Portable Meter Deposit | 02-2202    |
| Subdivision Plats        | 01-3412    |        | Misc. Income           | 02-3819    |
| Sign Permits             | 01-3628    |        | NSF Check              | 02-1128    |
| Health Permits           | 01-3631    |        | Meter Rent             | 02-3406    |
| Misc. Permits            | 01-3625    |        | Penalties              | 20-3117    |
| Misc. Income             | 01-3819    |        | Hanger Rent            | 20-3406    |
| Sale of Supplies         | 01-3807    |        | Tie Down Fees          | 20-3407    |
| Marina Lease             | 08-3810    |        | Land Lease             | 20-3804    |
| Cemetery Receipts        | 10-3830    |        | Sale of Supplies       | 20-3807    |
| PID                      | 13-3828    |        | Airport Cred. Cd.      | 20-1132    |
| Street                   | 14-3828    |        | Fuel Sales             | 20-3809    |
| Hotel/Motel Tax          | 15-3206    |        |                        |            |
|                          |            |        |                        |            |
|                          |            |        |                        |            |
| <b>TOTAL OF COLUMN</b>   |            |        | <b>TOTAL OF COLUMN</b> |            |

**TOTAL DUE**

112.00

Received By 2



Concept Plan for PD-9

## Recommendation

## Response

1. That a detailed traffic analysis be completed including the design of a center turn lane on FM-740, the possible provision of a north bound turn acceleration lane on FM-740, the request for a 36 ft. entrance drive with three lanes, and both internal and external stacking conditions. The Board generally stated that their preference was for 30 ft. drives but that the drive conditions should be studied along with the other traffic issues. Their recommendation was that the study be completed in conjunction with the review of the final plat.
  2. That the parking lot lighting poles not exceed 20 feet in height. The applicant had requested the use of 40 ft. poles.
  3. That the joint access easements be established on the final plat and include the drives into the project.
  4. That a raised sidewalk be provided along the front and south side of the building.
  5. That the screen along FM-3097 for the loading area consist of a 3 ft. berm with a minimum of 3 ft. Photinia hedge not less
- The developer does not object to a traffic analysis of the project. They are very interested in keeping the 36' drive entrances and believe that a detailed design of the drives would address concerns. They are willing to consider the construction of an acceleration lane northbound in addition to the center turn lane if that is necessary to have the wider drives. We have briefly spoken to John Reglin and he believes the drives can be designed to function with the three lanes.
- This was a concern of the developer. They use a standard 40' pole to obtain the lighting required by Food Lion. They have indicated that the number of poles will increase from 2 to 8 if they use 20 foot poles. The Board felt quite strongly about this item. The applicant had suggested the use of 30 ft. poles at the Commission meeting, however the Commission felt that the pole height should remain at a maximum of 20 ft.
- The developer has indicated no problem with this recommendation.
- This is a significant concern to the Food Lion Company. They apparently do not use a raised sidewalk on any of their installations and they in fact remove them if they occupy an existing site. They prefer that the paving have no obstructions to the building. They have no problem with providing a walk area along the south side of the building, as shown on the attached site plan, but they again do not want to raise that walk. If this is approved the fire lane in the front does need to be painted to insure that it is not used for parking.
- The Planning and Zoning Commission has recommended that they not be required to provide a raised sidewalk.
- The applicant has no problem with this recommendation and has incorporated the changes in the revised landscape Plan that is included in Your



than six inches from the top of the berm. The photinias should be placed on 3 ft. centers and some effort should be made to not create a straight line with the plants. The landscape ordinance requires a 6 ft. screen such as a masonry wall or berm to screen loading docks unless otherwise approved by the Commission and Council. The Board and the Commission felt that long term a landscape hedge on top of the berm would be more desirable than a masonry wall.

6. The additional required street trees should be placed along the north property line to provide some screening for the side of the building. The plan reviewed by the Board did not have 4 street trees included.
7. Paved access should be provided on both sides of the Mr. M building.
8. The parapet wall should be extended along the back of the building. (The elevations reviewed by the Board proposed that the parapet wall would be extended along the two sides of the building but not along the back. The developer had proposed to use a stucco screen just around the mechanical equipment on the roof.)
9. The parapet at the two front corners of the building should be wrapped around from the front to the sides to add some mass and break up the visual appearance of the front parapet.
10. Any additional roof mount equipment other than what is identified in the application should be studied by the City to determine if additional screening is necessary.
11. The color of the building should be compatible with surrounding development and a brick sample should be provided to the Commission and Council.
12. The contrasting color band on the front of the building should be continued on all sides of the building.

packet.

The developer has included these additional trees in the revised site plan.

The developer has included the additional access on the revised site plan.

The developer has removed the stucco type screen and has extended the parapet along the back of the building. This change is reflected in the revised elevations. As a point of information, the parapet is not as high as the screen was proposed to be and the top of the mechanical equipment is visible over the top of the parapet.

The developer had some initial concerns about this issue, but they believe it can be addressed. The elevations do not reflect this change, but they hope to have a proposed solution by Monday.

The developer has no problem with this recommendation. They have indicated that they should know if additional equipment will be needed prior to the submission for the final plan.

The brick being proposed should be fully compatible with the shopping center and with the Mr. M. They will have the sample at the meeting.

The developer has no problem with this and the bands are now reflected on the revised elevations.

13. The stairways and canopies at the rear of the building should be upgraded and tied into the buildings.

They propose to construct the stairs out of concrete rather than use a metal stair and they propose to use a dark bronze canopy and posts to soften the visual effect of the canopy in response to this item. The Commission approved this proposal.



APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

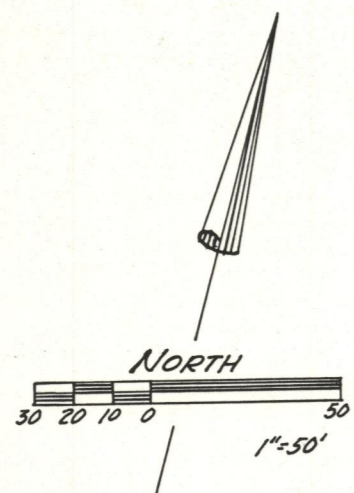
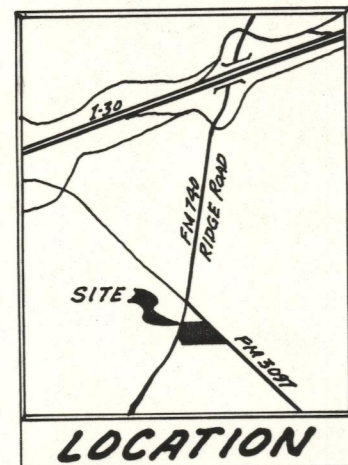
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred twenty (120) days said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

Mayor, City of Rockwall

City of Secretary  
City of Rockwall



MR. M'S ADDITION  
SLIDE C, PAGE 24  
D.R.R.C.T.

$\Delta = 2^{\circ}21'37''$   
 $R = 613.63'$   
 $L = 25.28'$   
 $T = 12.64'$

F.M. 740 - RIDGE ROAD (80' Right of Way)  
N 37° 36' 09" E, 224.71'  
N 52° 21' 36" W, 161.48'

N 74° 41' 46" E, 374.97'

162,287 SF  
3.7256 AC

F.M. 3097 (100' Right of Way)  
S 45° 35' 28" E, 640.31'

Note: All pins 1/2" set unless otherwise indicated.

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS \_\_\_\_\_, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being a part of Tract 5, as recorded in Volume 184, Page 490, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron pin found on the Southwest right-of-way line of F.M. 3097 (100' right-of-way) at the East corner of Mr. M's Addition to the City of Rockwall, recorded in Slide C, Page 24, Plat Records, Rockwall County, Texas, said point being a distance of 222.12 feet from the original Easterly Southern corner of the intersection of F.M. 740 and F.M. 3097;

THENCE, South 45° 35' 28" East a distance of 324.32 feet with said Southwesterly R.O.W. line to a 1/2" iron pin found for a corner;

THENCE, South 74° 41' 40" West a distance of 640.31 feet to a 1/2" iron pin found;

THENCE, North 52° 21' 36" West a distance of 161.48 feet to a 1/2" iron pin found in the Southwest line of F.M. 740, (80' ROW);

THENCE, North 37° 36' 09" East a distance of 224.71 feet with said Southeast line to a 1/2" radius pin of 613.63 feet, and chord bearing at North 36° 25' 21" East a distance of 25.28 feet;

THENCE, Along said curve with an arc distance of 25.28 feet to a 1/2" iron pin found at the Southern corner of said Mr. M's Addition;

THENCE: North 74° 41' 46" East a distance of 374.97 feet with the Southeast line of said Mr. M's Addition to the POINT OF BEGINNING and containing 162,287 square feet or 3.7256 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT \_\_\_\_\_ being the owner, does hereby adopt this plat designating the hereinabove described property as FOOD LION ROCKWALL, an addition to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate to the public use forever, and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. The developer and subdivision engineer shall bear total responsibility for storm drainage improvements. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability of water for personal use and fire protection within such plat, as required under Ordinance 83-54.

WITNESS MY HAND AT \_\_\_\_\_, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
BY \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, by \_\_\_\_\_ (the owner) (on behalf of the owner) of the above described property.

Notary Public  
My Commission Expires \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, \_\_\_\_\_ do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly under my personal supervision.

Louis M. Salcedo, P.E., R.P.L.S.  
Registered Public Surveyor No. 3664

STATE OF TEXAS  
COUNTY OF ROCKWALL

This instrument was acknowledge before me on the \_\_\_\_\_ day of \_\_\_\_\_  
by \_\_\_\_\_

Notary Public  
My Commission Expires \_\_\_\_\_

Chairman, Planning and Zoning Commission

Date \_\_\_\_\_

**FOOD LION - ROCKWALL**  
AN ADDITION TO  
THE CITY OF  
ROCKWALL, ROCKWALL CO.,  
TEXAS  
E. TEAL SURVEY, ABST. NO 207  
SEPTEMBER, 1990

Owner:  
Whittle Development  
Box 369  
Rockwall, Texas  
75087

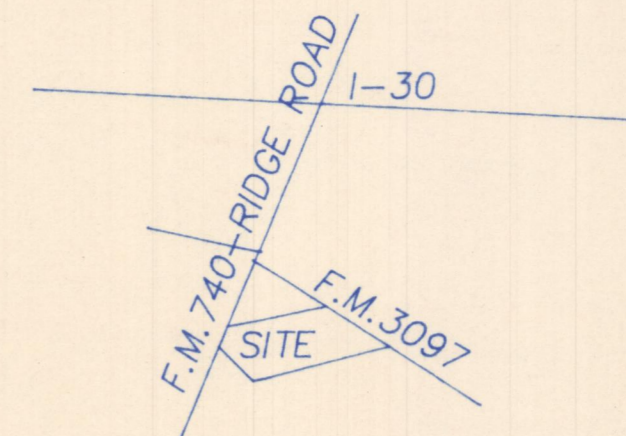
Developer:  
J.E.M. Tex Acquisitions, Inc.  
Box 353B  
Gastonia, North Carolina  
28053

Engineer:  
Cardenas Salcedo & Associates, Inc.  
5787 S. Hampton Road #480  
Dallas, Texas  
75232



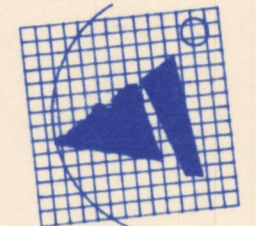
FM 3097 is listed on Throughfare Plan, but no improvements in the immediate future.

| NO. | REVISION | DATE |
|-----|----------|------|
| 1   |          |      |
| 2   |          |      |
| 3   |          |      |
| 4   |          |      |
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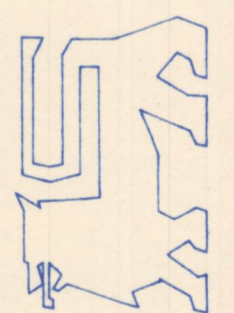


**LOCATION**

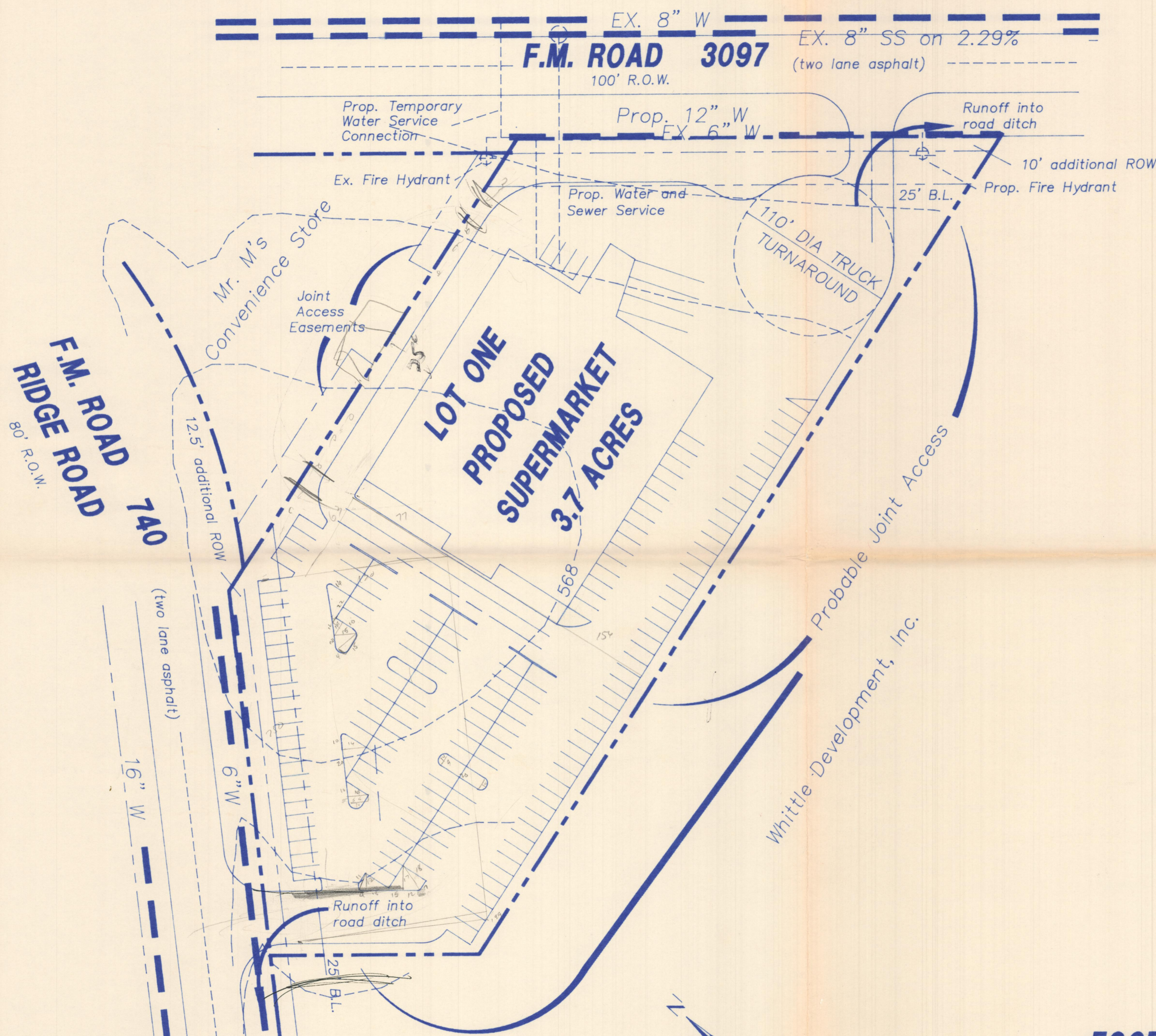
ARTECH  
DESIGN GROUP INC.



FOOD LION, INC.  
PROPOSED FOOD LION STORE  
RIDGE ROAD (FM 740) @ FM 3097  
ROCKWALL, TEXAS



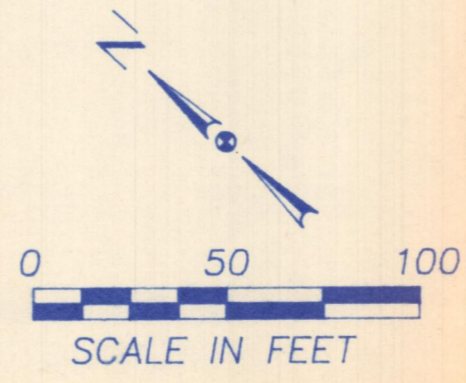
|           |            |
|-----------|------------|
| JOB NO.   | 90-349     |
| DATE      | JULY, 1990 |
| DRAWN     |            |
| CHK.      |            |
| SHEET     | C-3        |
| OF        | 3          |
| SITE PLAN |            |



Current Improvements to FM 740 are not planned to extend south beyond Mr. M's and should not affect entrance drive to Supermarket

Note: All median openings in future roadway improvements to be coordinated with State Department of Highways.

Note: Site has no flood prone areas.



**LOT ONE  
FOOD LION - RIDGE ROAD  
PD ZONING - GENERAL RETAIL**

Owner:  
Whittle Development, Inc.  
P.O. Box 369  
Rockwall, Texas 75087

Developer:  
JEM TEX Aquisitions, Inc.  
Box 3538  
Gastonia, NC 28053

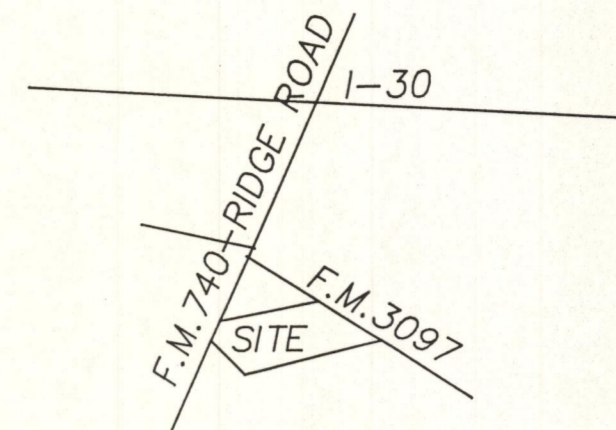
Engineer:  
Cardenas - Salcedo and Associates, Inc.  
5787 S. Hampton Rd., 480  
Dallas, Texas 75232

*1st Submission*

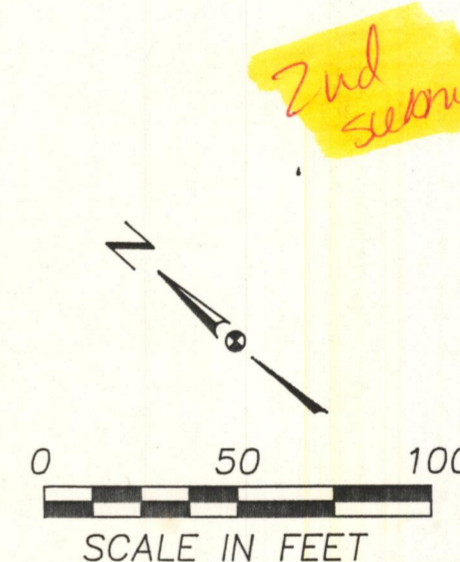


FM 3097 is listed on Throughfare Plan, but no improvements in the immediate future. *11 feet*

EX. 8" W  
**F.M ROAD 3097** EX. 8" SS on 2.29%  
 100' R.O.W. (two lane asphalt) 0.62%

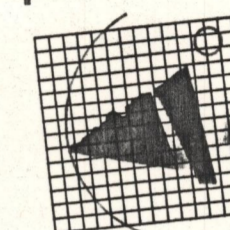


**LOCATION**

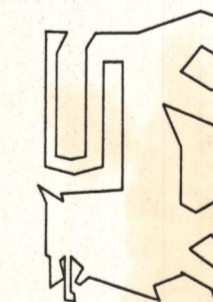


| NO. | REVISION | DATE |
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| 10  |          |      |

**ARTECH**  
 DESIGN GROUP INC.



**FOOD LION, INC.**  
 PROPOSED FOOD LION STORE  
 RIDGE ROAD (FM 740) @ FM 3097  
 ROCKWALL, TEXAS



**CARDENAS-SALCEDO & ASSOCIATES, INC.**

|           |            |
|-----------|------------|
| JOB NO.   | 90-349     |
| DATE      | JULY, 1990 |
| DRAWN     | -----      |
| CHK.      | -----      |
| SHEET     | C-3        |
| OF 3      |            |
| SITE PLAN |            |

**F.M. ROAD 740**  
 RIDGE ROAD  
 80' R.O.W.

Mr. M's  
 Convenience Store  
 F.F. 568.52

**LOT ONE**  
**3.7 ACRES**  
**PROPOSED SUPERMARKET**  
 F.P. 567.5

*Whittle Development, Inc.*

Owner:  
 Whittle Development, Inc.  
 P.O. Box 369  
 Rockwall, Texas 75087

Developer:  
 JEM TEX Aquisitions, Inc.  
 Box 3538  
 Gastonia, NC 28053

Engineer:  
 Cardenas - Salcedo and Associates, Inc.  
 5787 S. Hampton Rd., 480  
 Dallas, Texas 75232

SUPERMARKET SIZE: 32,211 SF  
 161 PARKING SPACES REQUIRED  
 161 PARKING SPACES PROVIDED

**LOT ONE**  
**FOOD LION - RIDGE ROAD**  
**PD ZONING - GENERAL RETAIL**

Current Improvements to FM 740 are not planned to extend south beyond Mr. M's and should not affect entrance drive to Supermarket

Note:  
 All median openings in future roadway improvements to be coordinated with State Department of Highways.

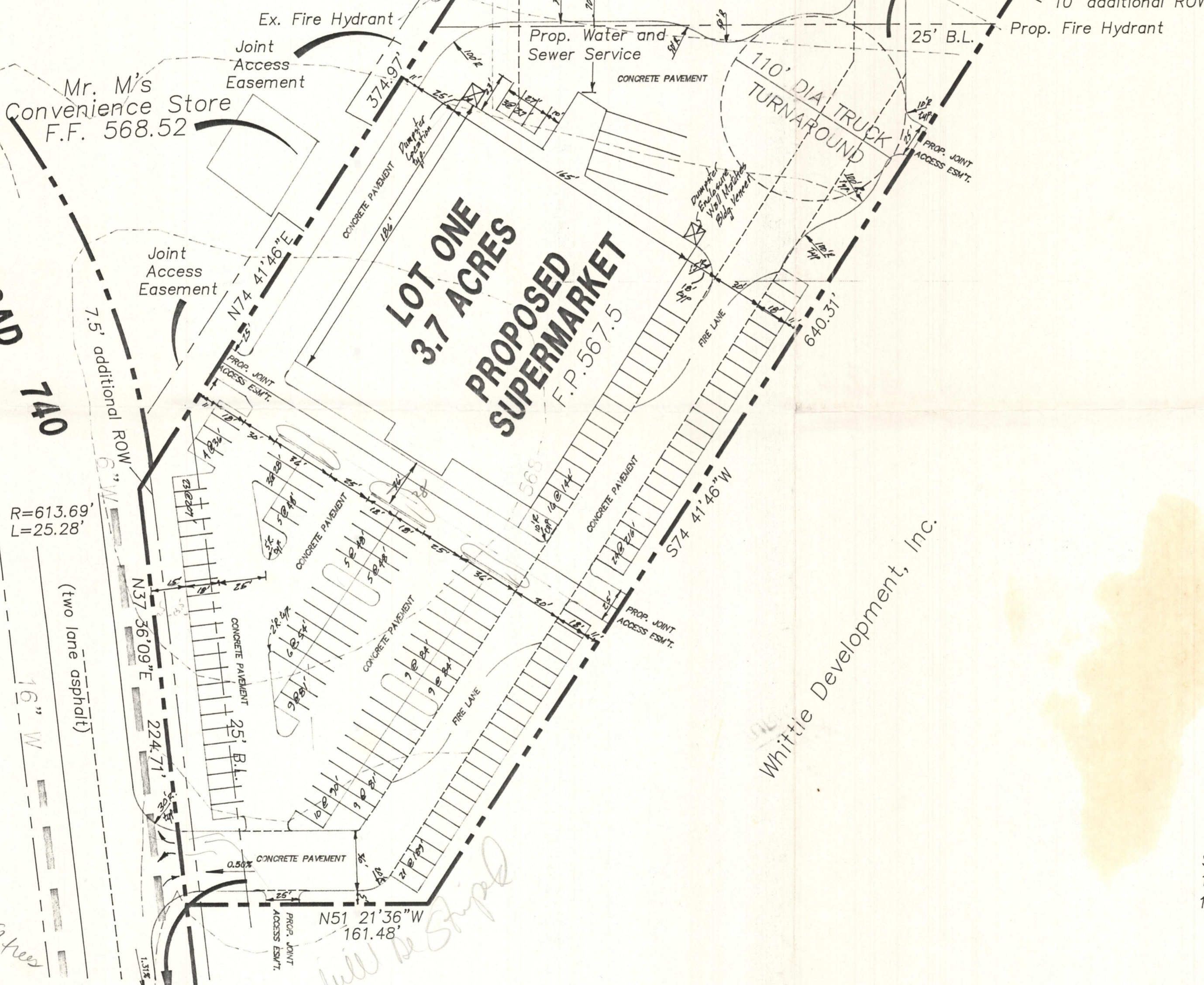
Note:  
 Site has no flood prone areas.

R=613.69'  
 L=25.28'

(two lane asphalt)  
 16" W

*will be striped*

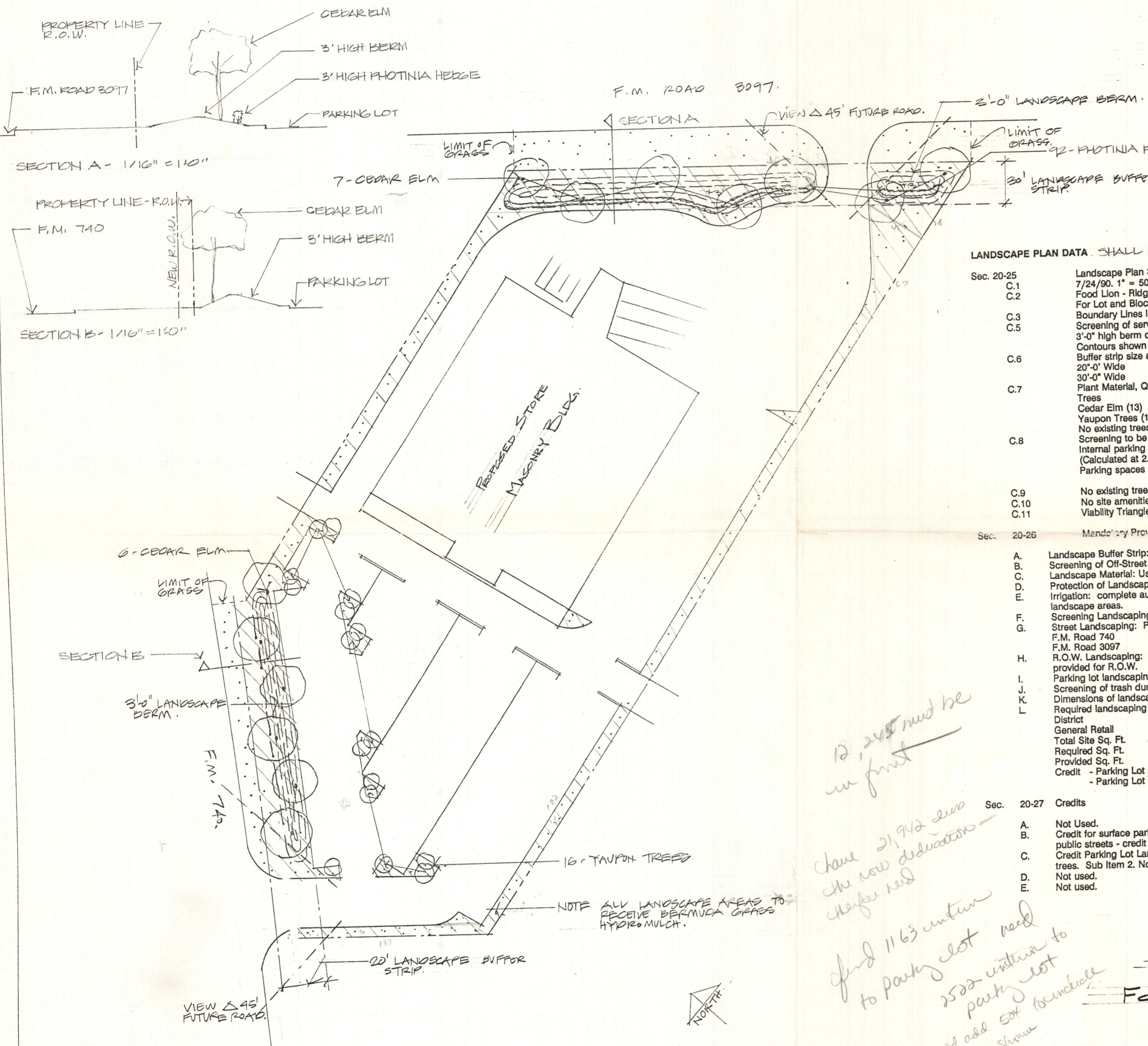
*8 feet*





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PLAN PREPARED BY:  
 T.H. PATCHETT AND ASSOCIATES  
 LANDSCAPE ARCHITECTS.  
 5207 MCKINNEY AVE #15  
 DALLAS, TX. 75205  
 214.559.0808.



**LANDSCAPE PLAN DATA SHALL MEET ORDINANCE NO. 88-23**

- Sec. 20-25 Landscape Plan Submission
  - C.1 7/24/90. 1" = 50' 0"
  - C.2 Food Lion - Ridge Road
  - C.3 For Lot and Block Number see Civil Drawings
  - C.5 Boundary Lines located on Civil Drawings
  - C.5 Screening of service area to be accomplished by 3'-0" high berm on F.M. Road 3097
  - C.6 Contours shown as diagrammatic.
  - C.6 Buffer strip size and location
    - 20'-0" Wide F.M. Road 740
    - 30'-0" Wide F.M. Road 3097
  - C.7 Plant Material, Quantity, Caliper, Height, Spread, Spacing
    - Trees
    - Cedar Elm (13) 3-3 1/2" Cal, 10-12'-5-6"
    - Yaupon Trees (16) 3-3 1/2" Cal, 7-8' High, 5-6'
    - No existing trees
  - C.8 Screening to be accomplished by berm.
    - Internal parking area. Required 1,450 sq. ft. (2.5%)
    - (Calculated at 2.5%) Provided 1,550 sq. ft.
    - Parking spaces Required 162
    - Provided 164
  - C.9 No existing trees
  - C.10 No site amenities
  - C.11 Viability Triangles. 45 deg. angle, See plan.
- Sec. 20-26 Mandatory Provisions
  - A. Landscape Buffer Strip: Provided
  - B. Screening of Off-Street Loading Docks: Provided by 3'0" berm
  - C. Landscape Material: Used acceptable plants
  - D. Protection of Landscape Areas: Provided
  - E. Irrigation: complete automatic underground irrigation system will be provided for all landscape areas.
  - F. Screening Landscaping: Provided
  - G. Street Landscaping: Provided
    - F.M. Road 740 6 Cedar Elm
    - F.M. Road 3097 7 Cedar Elm
  - H. R.O.W. Landscaping: All R.O.W. will be grassed. Complete Irrigation system will be provided for R.O.W.
  - I. Parking lot landscaping: Minimum of 2.5% is provided (See Section 20-27, C. below)
  - J. Screening of trash dumpsters: Provided by Architect
  - K. Dimensions of landscaping: All areas over 25 sq. ft.
  - L. Required landscaping
 

| District           | % Requirement | 12.5    | Net % w/credit |
|--------------------|---------------|---------|----------------|
| General Retail     | 15            |         | 10%            |
| Total Site Sq. Ft. | 162,261       | 163,261 |                |
| Required Sq. Ft.   | 24,339        | 24,339  | 16,226         |
| Provided Sq. Ft.   | 25,240        | 26,240  | 25,240         |

    - Credit - Parking Lot Screen (2.5%)
    - Parking Lot Landscaping (2.5%)
- Sec. 20-27 Credits
  - A. Not Used.
  - B. Credit for surface parking screening; 3'0" landscape berm provided at edge of site and public streets - credit 2.5%
  - C. Credit Parking Lot Landscaping: Providing 1 tree per each 10 parking spaces or 16 trees. Sub Item 2. Not provided.
  - D. Not used.
  - E. Not used.

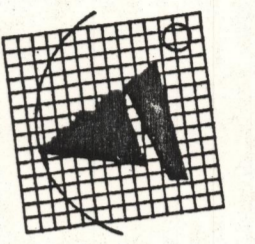
*12,240 must be in front*

*have 21,942 area the row dedication therefore need*

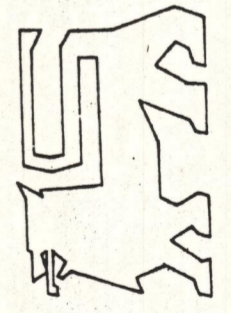
*find 1163 contours to parking lot need 2500 contours to parking lot would add 500 boundary the show*

NOTE ALL LANDSCAPE AREAS TO RECEIVE BERMUDA GRASS HYDRO MULCH.

ARTECH  
 DESIGN GROUP INC.



FOOD LION, INC.  
 PROPOSED FOOD LION STORE  
 RIDGE ROAD (FM 740) @ FM 3097  
 ROCKWELL, TEXAS

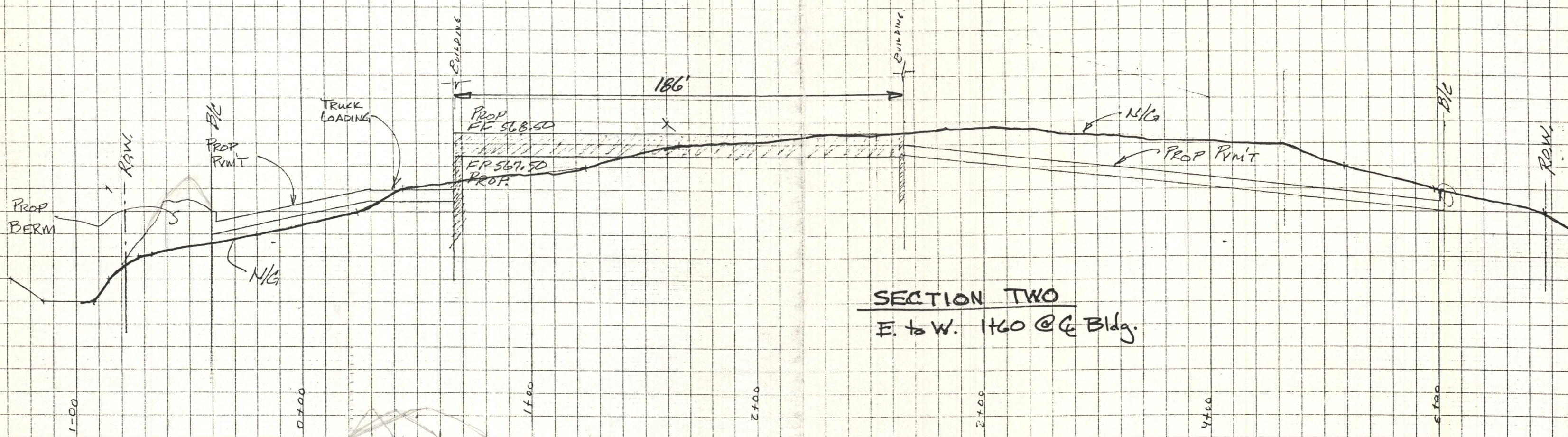
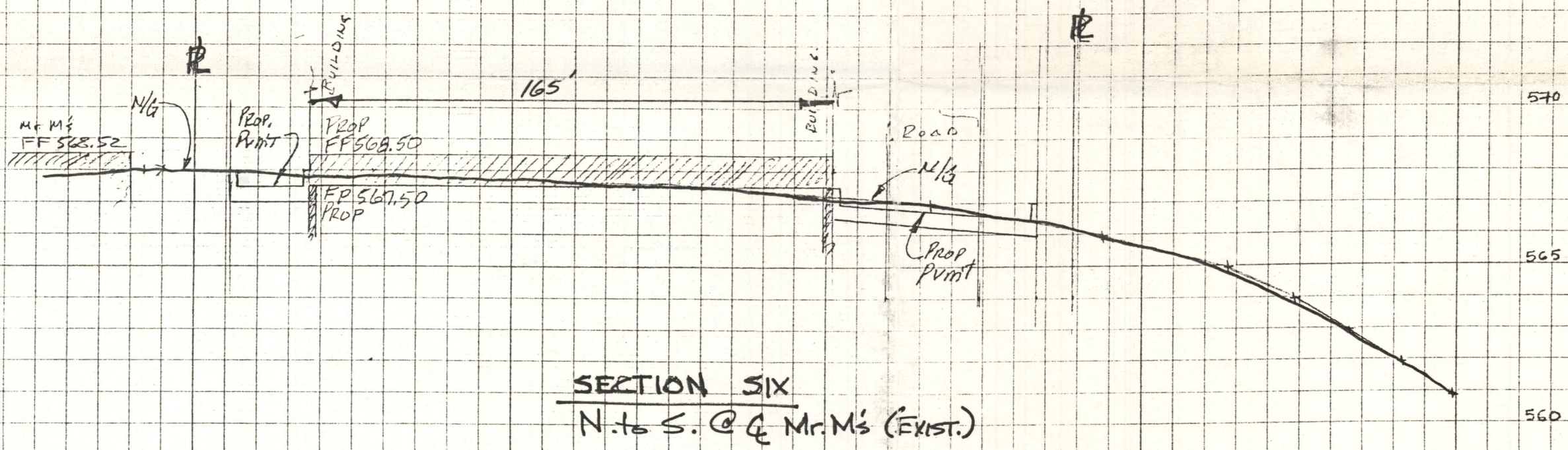
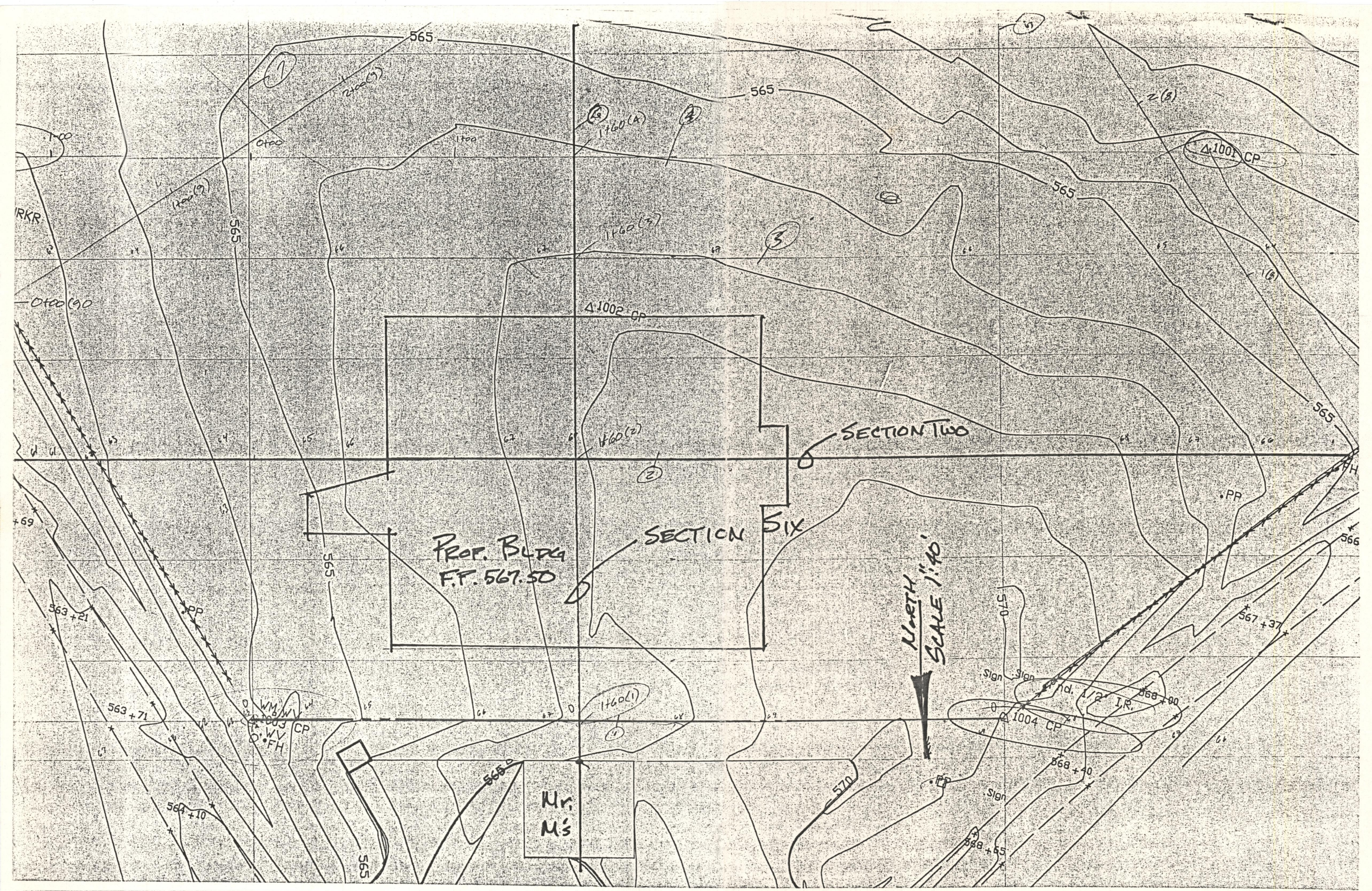


LOT ONE  
 FOOD LION - RIDGE ROAD

|           |            |
|-----------|------------|
| JOB NO.   | 90-349     |
| DATE      | JULY, 1990 |
| DRAWN     |            |
| CHK       |            |
| SHEET     | C-3        |
| OF        | 3          |
| SITE PLAN |            |

*2nd Submission*





K&E  
KENNELL & ERBER CO.  
PRINTED IN U.S.A. 4 X 50 TO THE INCH

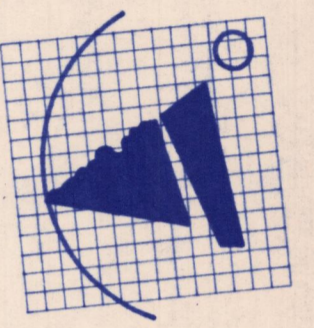
PROPOSED  
FOOD LION STORE  
PRELIMINARY PROPERTY SECTIONS  
1" = 40' H / 1" = 4' V

2nd  
Submission



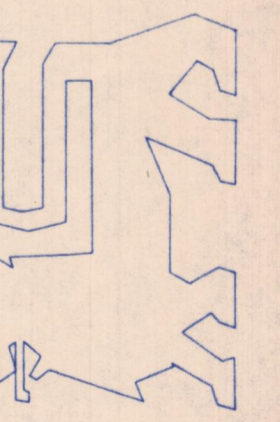
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ARTECH  
DESIGN GROUP INC.

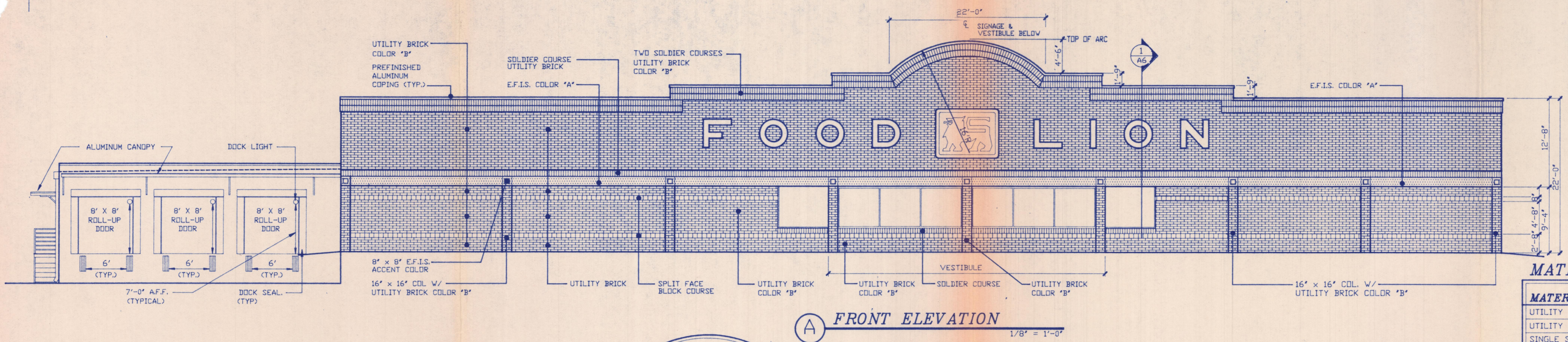


2826 Broad Street, Suite 201, Chattanooga, TN 37408 615/265-4433 Fax 615/265-6433

FOOD LION, INC.



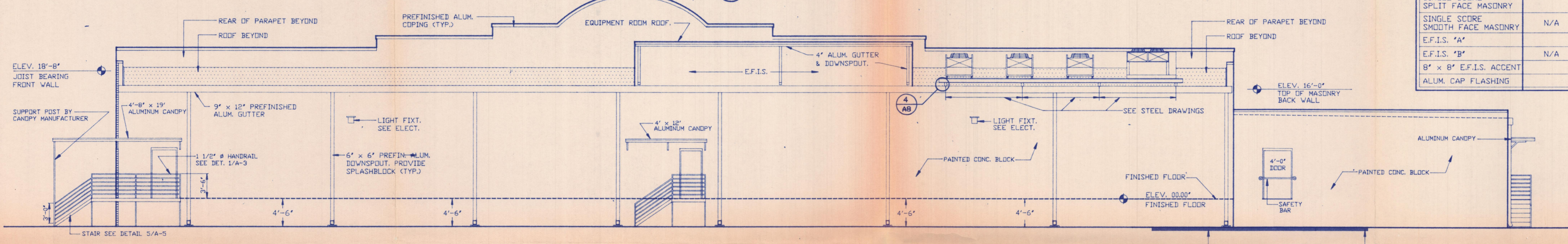
2990 4Z



**A FRONT ELEVATION**  
1/8" = 1'-0"

**MATERIALS LEGEND**

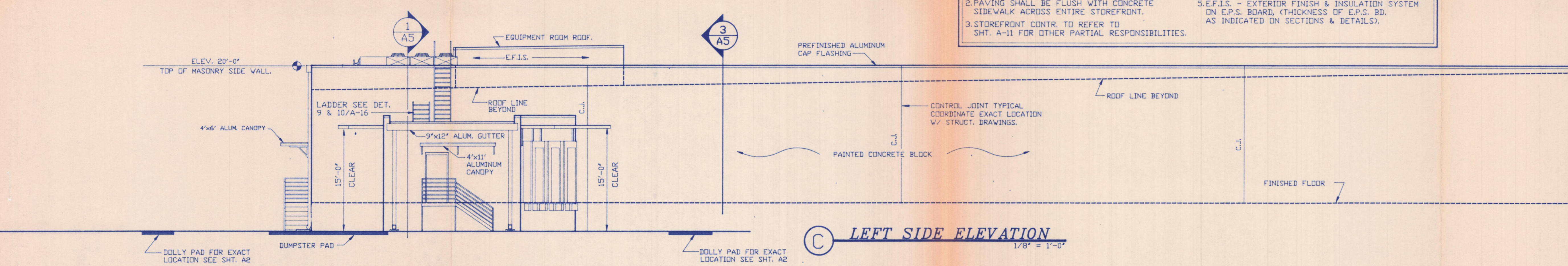
| MATERIAL                         | MANUF. | COLOR | SIZE |
|----------------------------------|--------|-------|------|
| UTILITY BRICK 'A'                | N/A    | N/A   | N/A  |
| UTILITY BRICK 'B'                | N/A    | N/A   | N/A  |
| SINGLE SCORE                     |        |       |      |
| SPLIT FACE MASONRY               |        |       |      |
| SINGLE SCORE SMOOTH FACE MASONRY | N/A    | N/A   | N/A  |
| E.F.I.S. 'A'                     |        |       |      |
| E.F.I.S. 'B'                     | N/A    | N/A   | N/A  |
| 8" x 8" E.F.I.S. ACCENT          |        |       |      |
| ALUM. CAP FLASHING               |        |       |      |



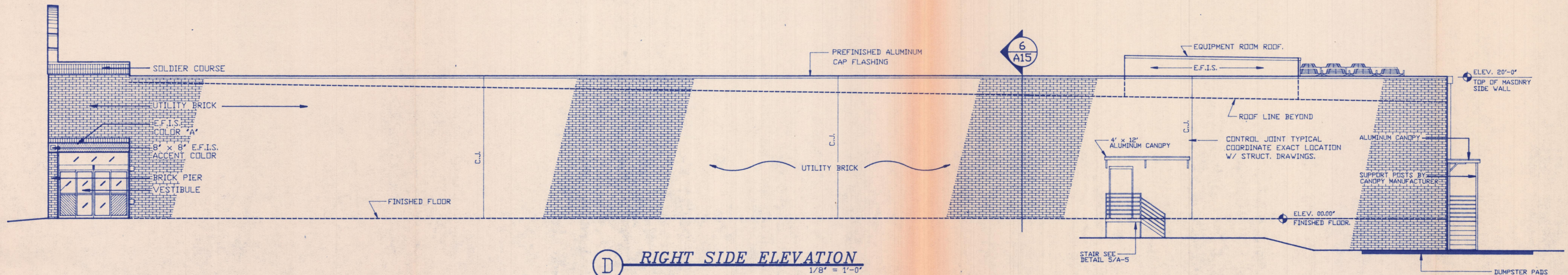
**B REAR ELEVATION**  
1/8" = 1'-0"

**NOTES**

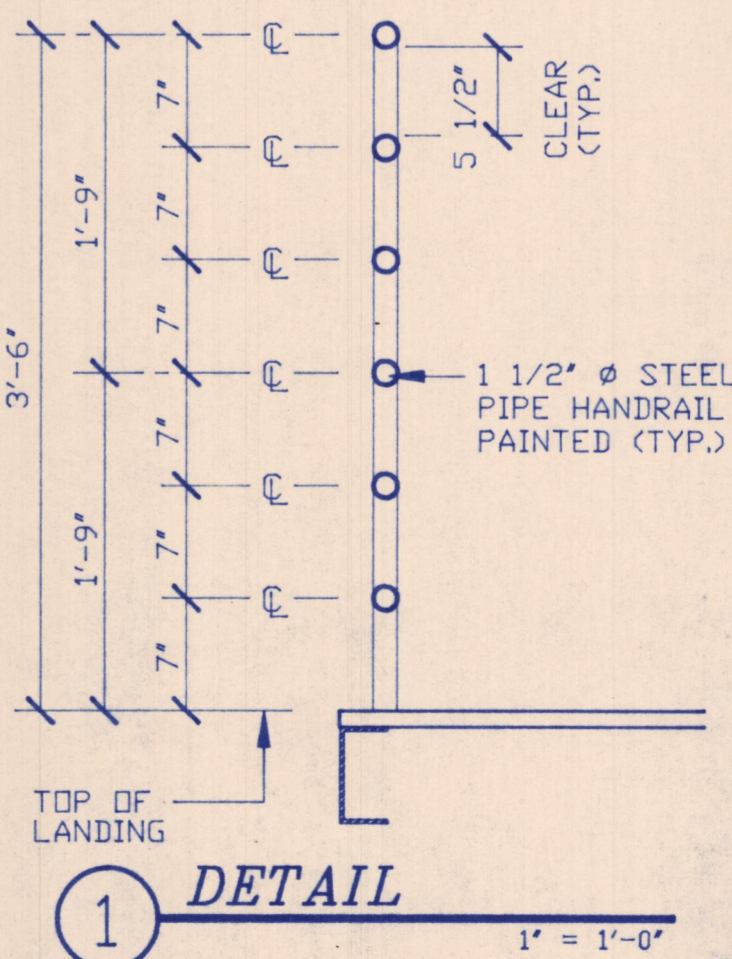
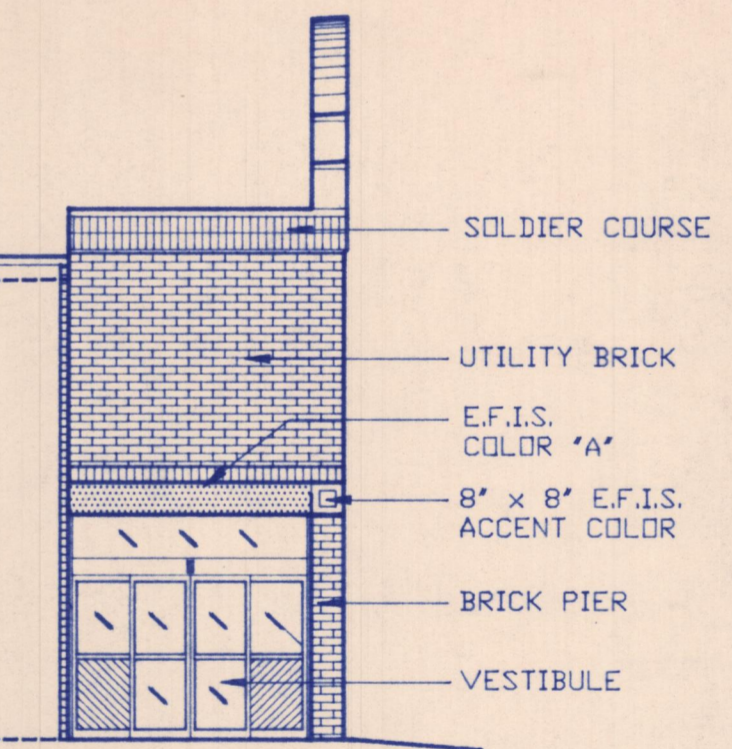
1. SIDEWALK MUST BE LEVEL ACROSS ENTIRE STOREFRONT. NO RAMPING ALLOWED.
2. PAVING SHALL BE FLUSH WITH CONCRETE SIDEWALK ACROSS ENTIRE STOREFRONT.
3. STOREFRONT CONTR. TO REFER TO SHT. A-11 FOR OTHER PARTIAL RESPONSIBILITIES.
4. ALL MSRY @ FRONT ELEV. BELOW 8' A.F.F. TO BE SMOOTH FACE SINGLE SCORE.
5. E.F.I.S. - EXTERIOR FINISH & INSULATION SYSTEM ON E.P.S. BOARD. (THICKNESS OF E.P.S. BD. AS INDICATED ON SECTIONS & DETAILS).



**C LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**D RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**1 DETAIL**  
1" = 1'-0"

1st Submission

|                     |        |
|---------------------|--------|
| JOB NO.             | 90-96  |
| DATE                | 7/6/90 |
| DRAWN               | M.T.B. |
| CHK.                | D.F.   |
| SHEET               | A-3    |
| OF 16               |        |
| EXTERIOR ELEVATIONS |        |

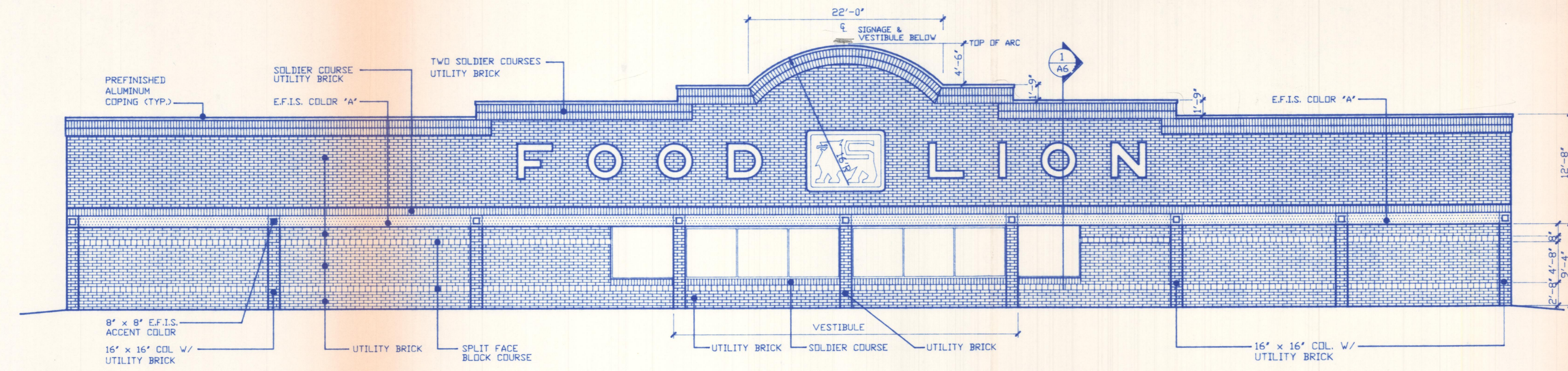


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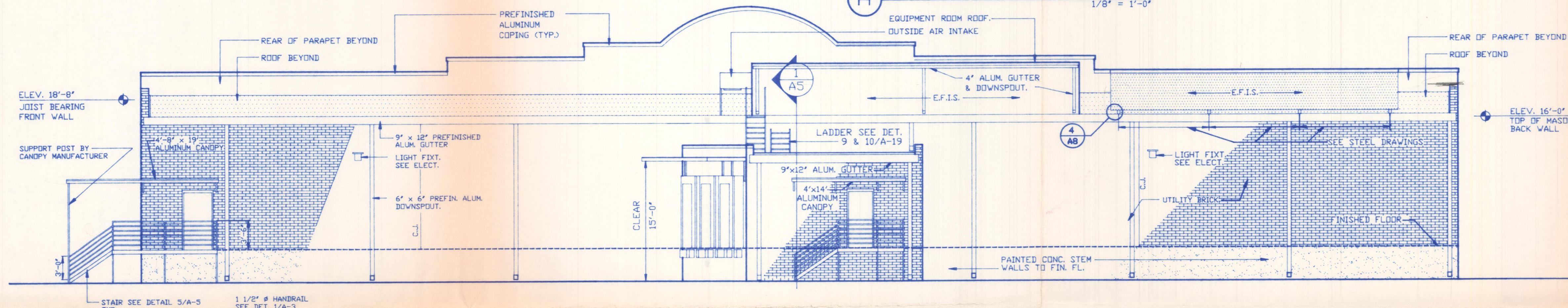
**MATERIALS LEGEND**

| MATERIAL                         | MANUF. | COLOR | SIZE |
|----------------------------------|--------|-------|------|
| UTILITY BRICK                    |        |       |      |
| BRICK MORTAR                     |        |       |      |
| SINGLE SCORE SPLIT FACE MASONRY  |        |       |      |
| SINGLE SCORE SMOOTH FACE MASONRY | N/A    | N/A   | N/A  |
| E.F.I.S. 'A'                     |        |       |      |
| E.F.I.S. 'B'                     | N/A    | N/A   | N/A  |
| 8' x 8' E.F.I.S. ACCENT          |        |       |      |
| ALUM. CAP FLASHING               |        |       |      |

NOTE: MORTAR COLOR FOR PRECOLORED BLOCK SHALL MATCH BLOCK.



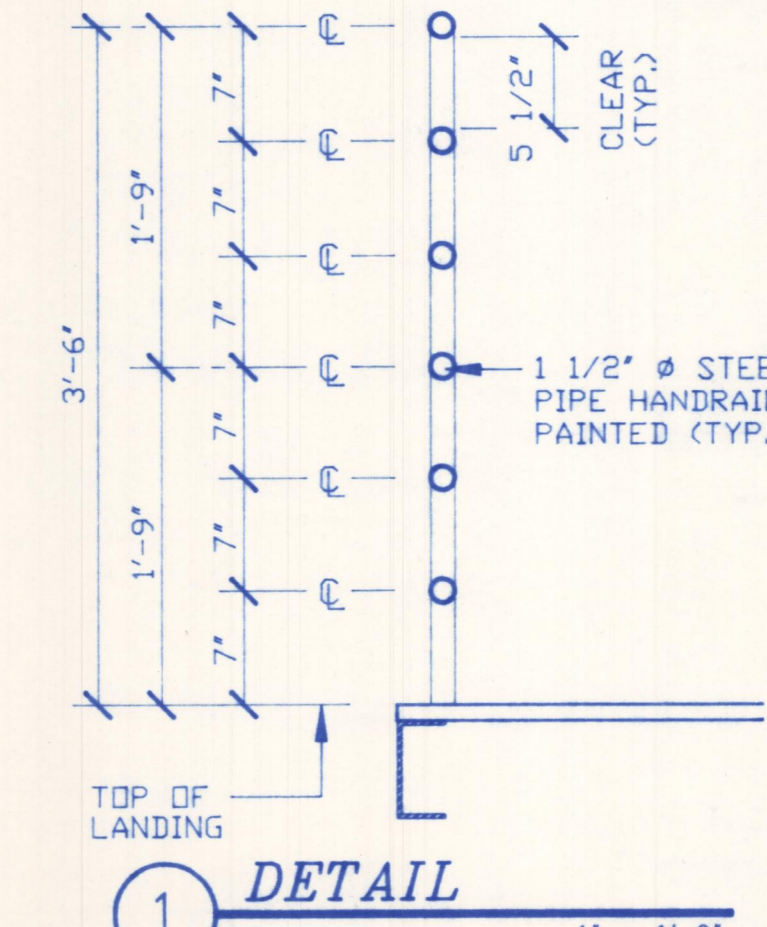
**(A) FRONT ELEVATION**  
1/8" = 1'-0"



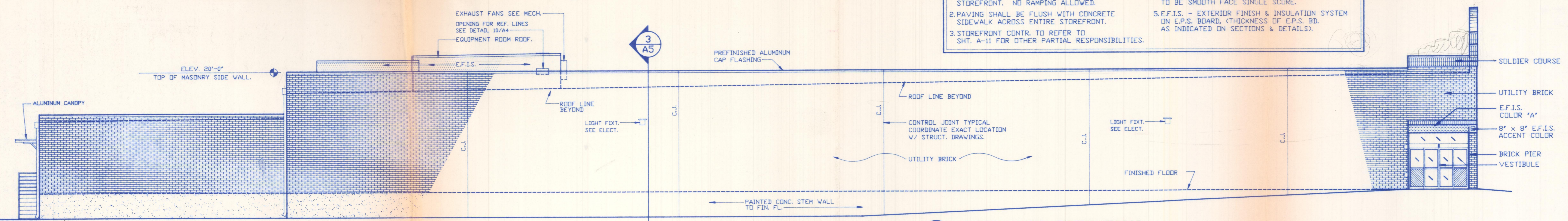
**(B) REAR ELEVATION**  
1/8" = 1'-0"

**NOTES**

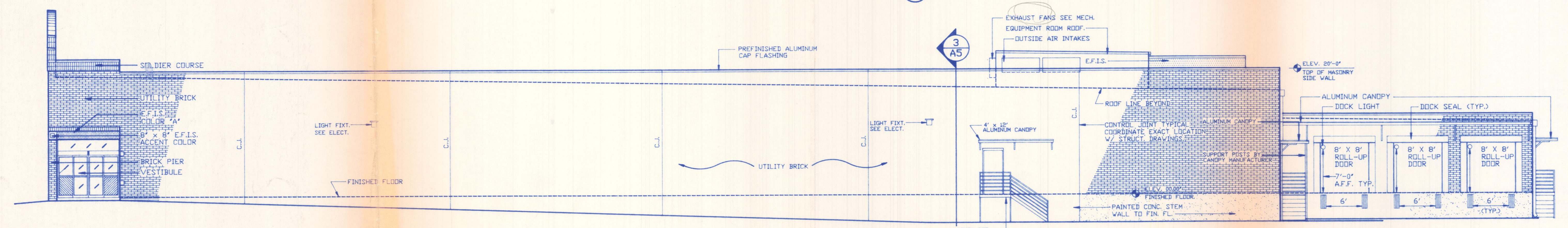
- SIDEWALK MUST BE LEVEL ACROSS ENTIRE STOREFRONT. NO RAMPING ALLOWED.
- PAVING SHALL BE FLUSH WITH CONCRETE SIDEWALK ACROSS ENTIRE STOREFRONT.
- STOREFRONT CONTR. TO REFER TO SHT. A-11 FOR OTHER PARTIAL RESPONSIBILITIES.
- ALL MSRY @ FRONT ELEV. BELOW 8' AFF. TO BE SMOOTH FACE SINGLE SCORE.
- E.F.I.S. - EXTERIOR FINISH & INSULATION SYSTEM ON E.P.S. BOARD, (THICKNESS OF E.P.S. BD. AS INDICATED ON SECTIONS & DETAILS).



**(1) DETAIL**  
1" = 1'-0"



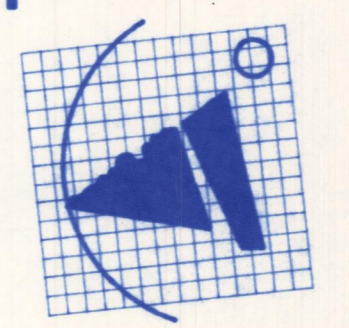
**(C) LEFT SIDE ELEVATION**  
1/8" = 1'-0"



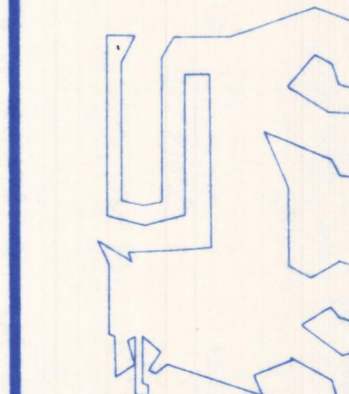
**(D) RIGHT SIDE ELEVATION**  
1/8" = 1'-0"

*2nd Submission*

**ARTECH**  
DESIGN GROUP INC.



**FOOD LION, INC.**  
**ROCKWALL, TEXAS**  
**F.M. RD. #740 & F.M. RD. #3097**



|                     |         |
|---------------------|---------|
| JOB NO.             | 90-96   |
| DATE                | 7/16/90 |
| DRAWN               | M.T.B.  |
| CHK.                | D.L.F.  |
| SHEET               | A-3     |
| OF 19               |         |
| EXTERIOR ELEVATIONS |         |

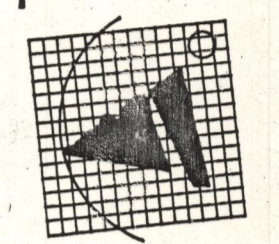
2025 Broad Street, Suite 201, Chattanooga, TN 37408 615/266-4313 Fax 615/266-5413



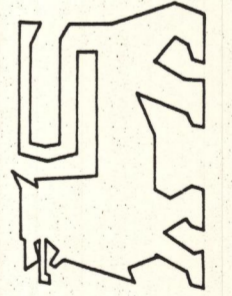
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11 feet  
3rd submission

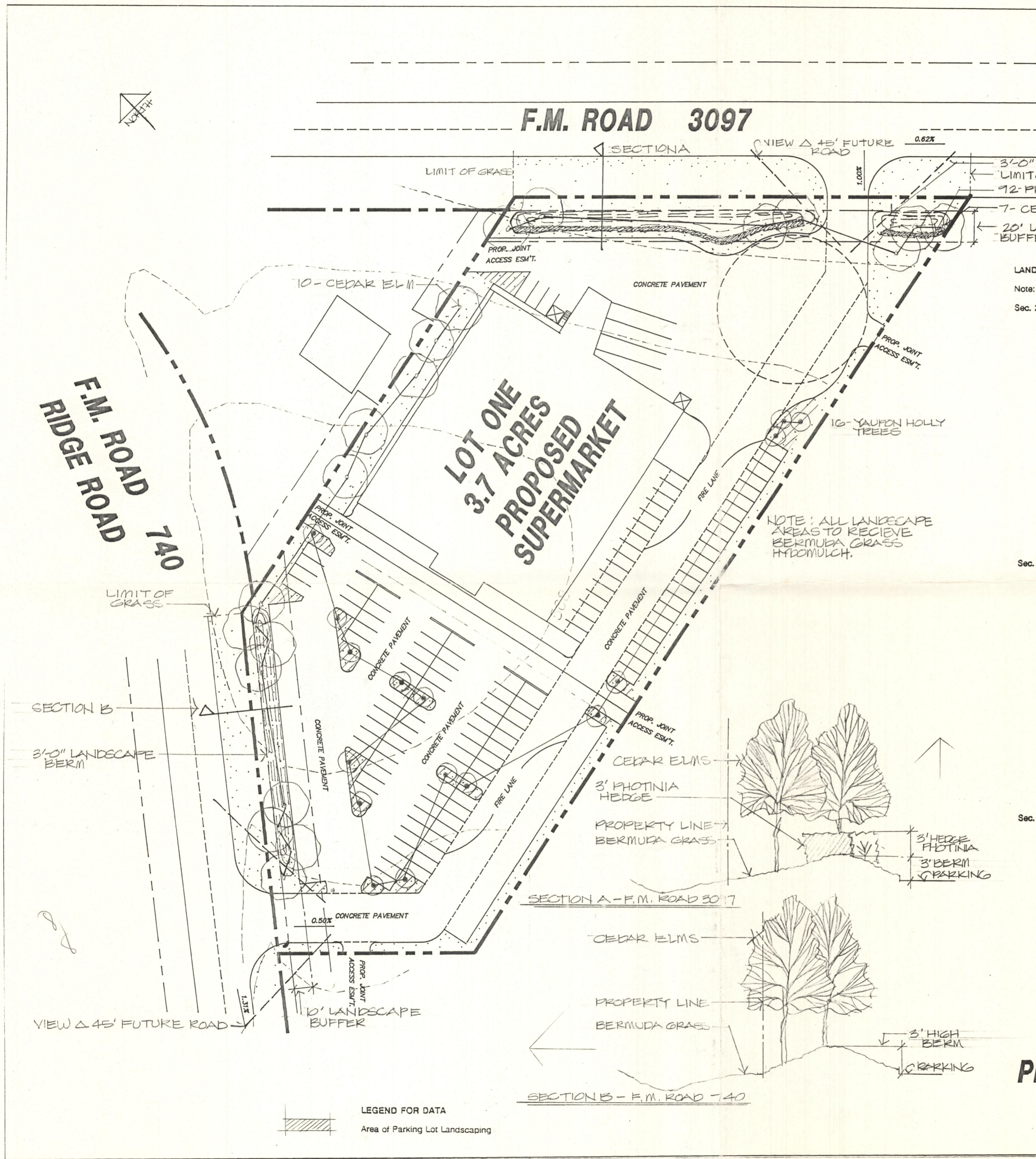
ARTECH  
DESIGN GROUP INC.



FOOD LION, INC.  
PROPOSED FOOD LION STORE  
RIDGE ROAD (FM 740) @ FM 3097  
ROCKWALL, TEXAS



|           |            |
|-----------|------------|
| JOB NO.   | 90-349     |
| DATE      | JULY, 1990 |
| DRAWN     |            |
| CHK       |            |
| SHEET     | C-3        |
| OF        | 3          |
| SITE PLAN |            |



LANDSCAPE PLAN DATA

Note: Shall meet Ordinance No. 88-28

- Sec. 20-25 Landscape Plan Submission
- C.1 7/24/90, 1" = 50' 0"
- C.2 Food Lion - Ridge Road
- C.3 For Lot and Block Number see Civil Drawings
- C.5 Boundary Lines located on Civil Drawings
- C.5 Screening of service area to be accomplished by 3'-0" high berm with 3' high photinia hedge totaling 6'-0" in height F.M. Road 3097
- C.6 Contours shown as diagrammatic
- C.6 Buffer strip size and location
- C.6 10'-0" Wide F.M. Road 740
- C.6 20'-0" Wide F.M. Road 3097
- C.7 Plant Material, Quantity, Caliper, Height, Spread, Spacing
- C.7 Trees
- C.7 Cedar Elm (13) 3-3 1/2" Cal, 10-12', 5-6'
- C.7 Yaupon Trees (16) 3-3 1/2" Cal, 7-8' High, 5-6'
- C.7 Photinias 5 gal., 36" high
- C.8 No existing trees
- C.8 Screening to be accomplished by berm.
- C.8 Internal parking area, (63,862) Required 3,193 sq. ft. (5%)
- C.8 (Calculated at 2.5%) Provided 3,200 sq. ft.
- C.8 Parking spaces Required 162
- C.8 Provided 164
- C.9 No existing trees
- C.10 No site amenities
- C.11 Viability Triangles, 45 deg. angle, See plan.
- Sec. 20-26 Mandatory Provisions
- A. Landscape Buffer Strip: Provided
- B. Screening of Off-Street Loading Docks: Provided by 3'0" berm and 3'-0" high Photinia hedge
- C. Landscape Material: Used acceptable plants
- D. Protection of Landscape Areas: Provided
- E. Irrigation: complete automatic underground irrigation system will be provided for all landscape areas.
- F. Screening Landscaping: Provided
- G. Street Landscaping: Provided on street and at north property line.
- G. F.M. Road 740 8 Cedar Elm
- G. F.M. Road 3097 10 Cedar Elm
- H. R.O.W. Landscaping: All R.O.W. will be grassed. Complete irrigation system will be provided for R.O.W.
- I. Parking lot landscaping: Minimum of 2.5% is provided (See Section 20-27, C. below)
- J. Screening of trash dumpsters: Provided by Architect
- K. Dimensions of landscaping: All areas over 25 sq. ft.
- L. Required landscaping on reduced site size after dedication.
- L. District % Requirement Net % w/credit
- L. General Retail 15 10%
- L. Total Site Sq. Ft. 157,333
- L. Required Sq. Ft. 23,600 15,733
- L. Provided Sq. Ft. 26,555 26,555
- L. Credit - Parking Lot Screen (2.5%)
- L. - Parking Lot Landscaping (2.5%)
- Sec. 20-27 Credits
- A. Not Used.
- B. Credit for surface parking screening; 3'0" landscape berm provided at edge of site and public streets - credit 2.5%
- C. Credit Parking Lot Landscaping: Providing 1 tree per each 10 parking spaces or 18 trees.
- D. Not used.
- E. Not used.

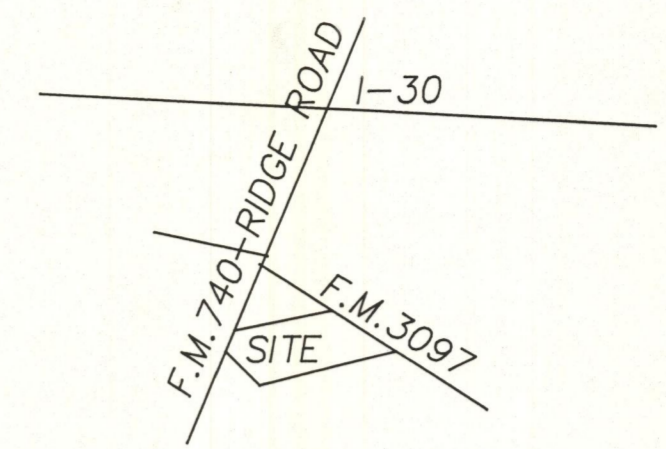
NOTE: ALL LANDSCAPE AREAS TO RECEIVE BERMUDA GRASS HYDROMULCH.

**LOT ONE  
FOOD LION - RIDGE ROAD  
PD ZONING - GENERAL RETAIL**

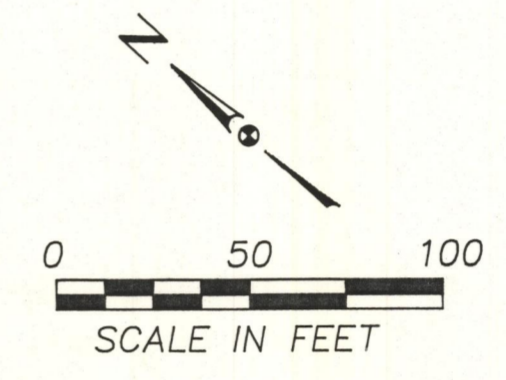


FM 3097 is listed on Throughfare Plan, but no improvements in the immediate future.

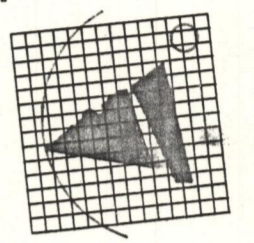
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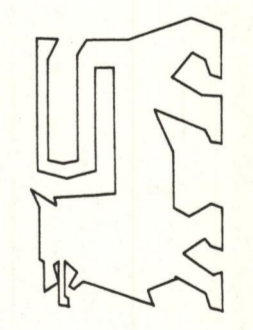
**LOCATION**



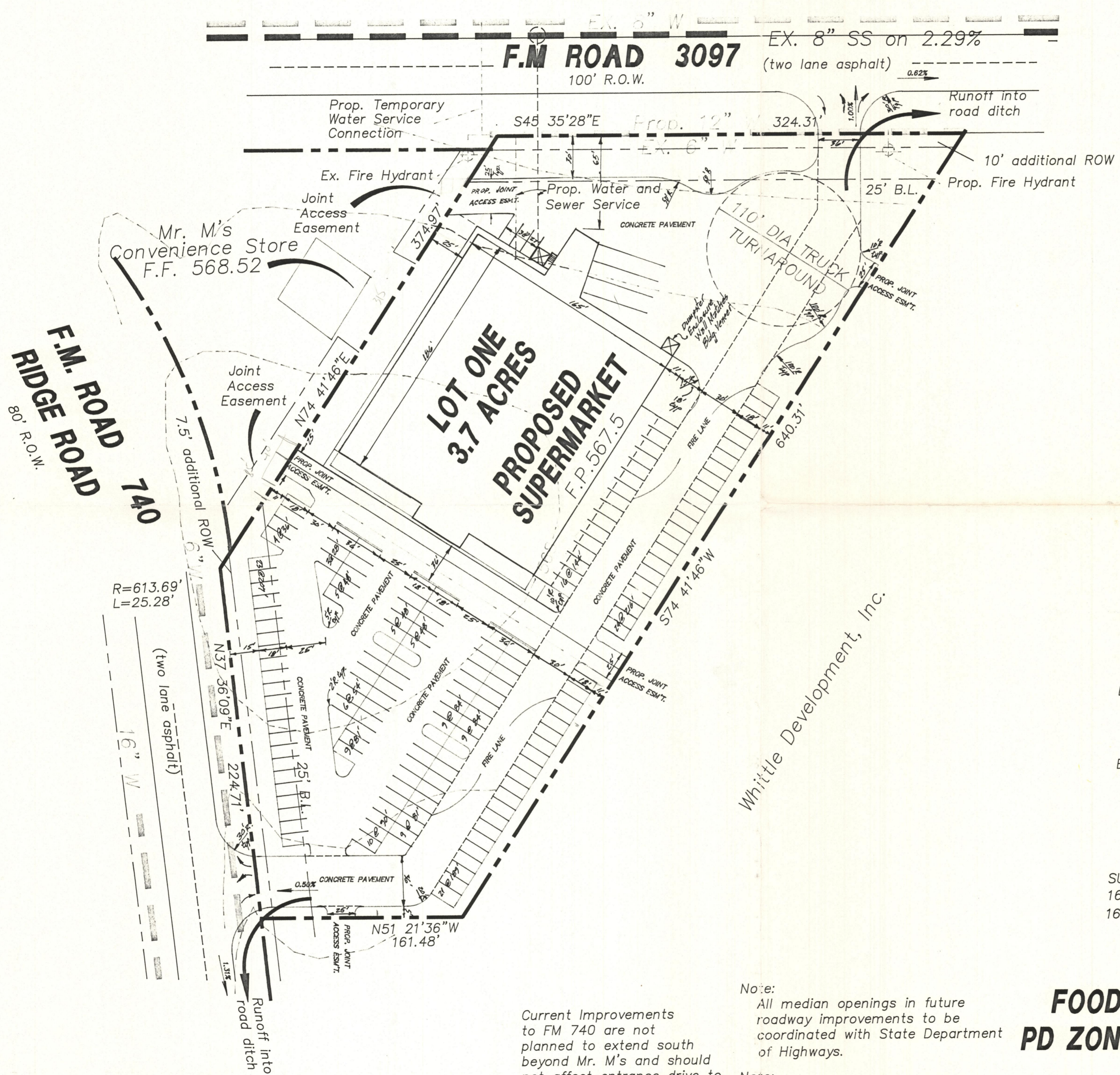
ARTECH  
DESIGN GROUP INC.



FOOD LION, INC.  
PROPOSED FOOD LION STORE  
RIDGE ROAD (FM 740) @ FM 3097  
ROCKWALL, TEXAS



|           |           |
|-----------|-----------|
| JOB NO.   | 90-349    |
| DATE      | Aug, 1990 |
| DRAWN     |           |
| CHK.      |           |
| SHEET     | C-3       |
| OF        | 3         |
| SITE PLAN |           |



Whittle Development, Inc.

Owner:  
Whittle Development, Inc.  
P.O. Box 369  
Rockwall, Texas 75087

Developer:  
JEM TEX Aquisitions, Inc.  
Box 3538  
Gastonia, NC 28053

Engineer:  
Cardenas - Salcedo and Associates, Inc.  
5787 S. Hampton Rd., 480  
Dallas, Texas 75232

*4th Submission*

SUPERMARKET SIZE: 32,211 SF  
161 PARKING SPACES REQUIRED  
161 PARKING SPACES PROVIDED

**LOT ONE  
FOOD LION - RIDGE ROAD  
PD ZONING - GENERAL RETAIL**

Current Improvements to FM 740 are not planned to extend south beyond Mr. M's and should not affect entrance drive to Supermarket

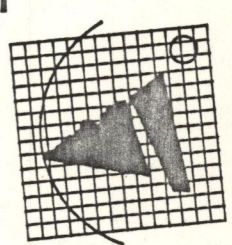
Note:  
All median openings in future roadway improvements to be coordinated with State Department of Highways.

Note:  
Site has no flood prone areas.

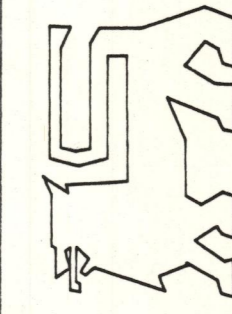


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ARTECH  
DESIGN GROUP INC.

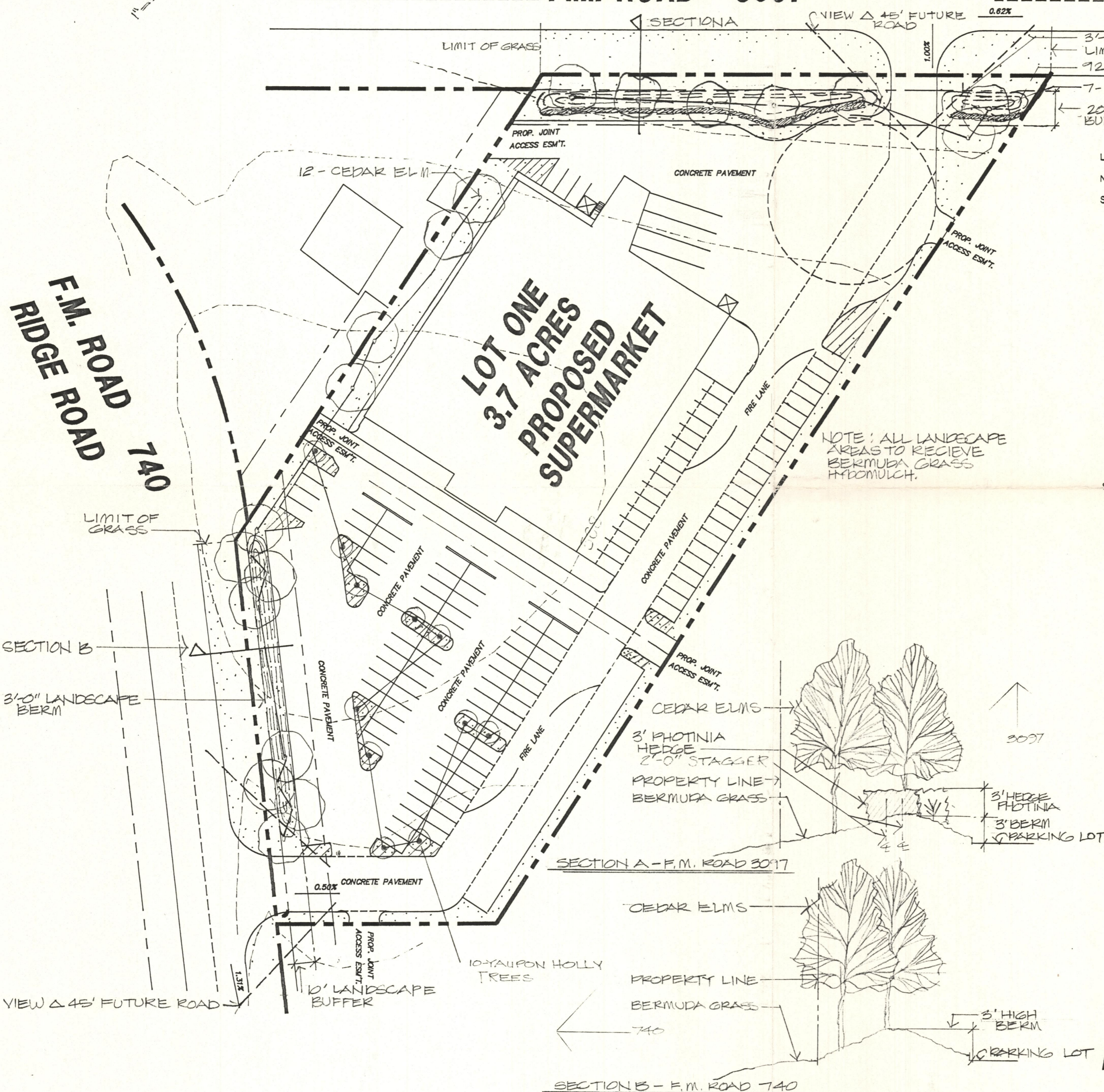


FOOD LION, INC.  
PROPOSED FOOD LION STORE  
RIDGE ROAD (FM 740) @ FM 3097  
ROCKWALL, TEXAS



|           |           |
|-----------|-----------|
| JOB NO.   | 90-349    |
| DATE      | AUG, 1990 |
| DRAWN     |           |
| CHK.      |           |
| SHEET     | LS-1      |
| OF        |           |
| LANDSCAPE |           |
| PLAN      |           |

# F.M. ROAD 3097



### LANDSCAPE PLAN DATA

Note: Shall meet Ordinance No. 88-28

- Sec. 20-25 Landscape Plan Submission  
 7/24/90, 1" = 50' 0"  
 Food Lion - Ridge Road  
 For Lot and Block Number see Civil Drawings  
 Boundary Lines located on Civil Drawings  
 C.3 Screening of service area to be accomplished by  
 C.5 3'-0" high berm with 3' high photinia hedge totaling  
 6'-0" in height F.M. Road 3097  
 Contours shown as diagrammatic  
 C.6 Buffer strip size and location  
 10'-0" Wide F.M. Road 740  
 20'-0" Wide F.M. Road 3097  
 C.7 Plant Material, Quantity, Caliper, Height, Spread, Spacing  
 Trees  
 Cedar Elm (19) 3-3 1/2" Cal, 10-12', 5-6"  
 Yaupon Trees (10) 3-3 1/2" Cal, 7-8' High, 5-6"  
 Photinias 5 gal., 36" high  
 No existing trees  
 C.8 Screening to be accomplished by berm.  
 Internal parking area (63,862) Required 3,193 sq. ft. (5%)  
 (Calculated at 2.5%) Provided 3,200 sq. ft.  
 Parking spaces Required 162  
 Provided 164  
 C.9 No existing trees  
 C.10 No site amenities  
 C.11 Viability Triangles, 45 deg. angle, See plan.
- Sec. 20-26 Mandatory Provisions
- A. Landscape Buffer Strip: Provided  
 B. Screening of Off-Street Loading Docks: Provided by 3'0" berm  
 and 3'-0" high Photinia hedge  
 C. Landscape Material: Used acceptable plants  
 D. Protection of Landscape Areas: Provided  
 E. Irrigation: complete automatic underground irrigation system will be provided for all  
 landscape areas.  
 F. Screening Landscaping: Provided  
 G. Street Landscaping: Provided on street and at north property line.  
 F.M. Road 740 8 Cedar Elm  
 F.M. Road 3097 10 Cedar Elm  
 H. R.O.W. Landscaping: All R.O.W. will be grassed. Complete irrigation system will be  
 provided for R.O.W.  
 I. Parking lot landscaping: Minimum of 2.5% is provided (See Section 20-27, C. below)  
 J. Screening of trash dumpsters: Provided by Architect  
 K. Dimensions of landscaping: All areas over 25 sq. ft.  
 L. Required landscaping on reduced site size after dedication.
- | District                           | % Requirement | Net % w/credit |
|------------------------------------|---------------|----------------|
| General Retail                     | 15            | 10%            |
| Total Site Sq. Ft.                 | 157,333       |                |
| Required Sq. Ft.                   | 23,600        | 15.733         |
| Provided Sq. Ft.                   | 26,555        | 26.555         |
| Credit - Parking Lot Screen (2.5%) |               |                |
| - Parking Lot Landscaping (2.5%)   |               |                |
- Sec. 20-27 Credits
- A. Not Used.  
 B. Credit for surface parking screening: 3'0" landscape berm provided at edge of site and  
 public streets - credit 2.5%  
 C. Credit Parking Lot Landscaping: Providing 1 tree per each 10 parking spaces or 16  
 trees.  
 D. Not used.  
 E. Not used.

NOTE: ALL LANDSCAPE  
AREAS TO RECEIVE  
BERMUDA GRASS  
HYDROMULCH.

4th Submission

## LOT ONE FOOD LION - RIDGE ROAD PD ZONING - GENERAL RETAIL

LEGEND FOR DATA  
 Area of Parking Lot Landscaping



PLAT REVIEW

\* \_\_\_\_\_ Preliminary Plat

. \_\_\_\_\_ Final Plat

Name of Proposed Subdivision Food Lion

Location of Proposed Subdivision \_\_\_\_\_

Name of Subdivider \_\_\_\_\_

Date Submitted \_\_\_\_\_ Date of Review \_\_\_\_\_

Total Acreage \_\_\_\_\_ No. of Lots \_\_\_\_\_

Review Checklist

|   | <u>Yes</u>                          | <u>No</u>                | <u>N/A</u>               |
|---|-------------------------------------|--------------------------|--------------------------|
| 1. Was the proper application submitted and checklist? (attach copy)          |                                     |                          |                          |
| 2. Were the proper number of copies submitted?                                | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Is scale 1" = 100' (Specify scale if different)<br>Scale = <u>1" = 50'</u> | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Is the subdivision name acceptable?  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Comments:  |                                     |                          |                          |

Spelling of Name of Plat  
 ROW not correct 10 ft on 3097  
 7.5 ft on 780  
 need to verify P.O.B.  
 need to add lot 1, Block A.  
 recommended for approval - P&Z chairman  
 need to verify location of easements - cannot  
 tie back to site plan  
 dimension wrong on plat

Planning and Zoning

1. What is the proposed use? Commercial
  2. What is the proposed density? N/A
  3. What is the existing zoning? PD-9, CR
- |   | <u>Yes</u>   | <u>No</u>    | <u>N/A</u>   |
|---|--------------|--------------|--------------|
| 4. Is the plan zoned properly?  | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| 5. Does the use conform to the Land Use Plan?   | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| 6. Is this tract taken out of a larger tract  | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| 7. Will the development landlock another property?  | <u>_____</u> | <u>✓</u>     | <u>_____</u> |
| 8. Is this project subject to the provisions of the Concept Plan Ordinance?                 | <u>_____</u> | <u>✓</u>     | <u>_____</u> |
| 9. Has a Concept Plan been been Provided and Approved                                       | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| 10. Does the plan conform to the Master Park Plan?  | <u>_____</u> | <u>_____</u> | <u>✓</u>     |
| 11. Does plan conform to the Comprehensive Zoning Ordinance of approved PD Ordinance?       |              |              |              |
| a. Lot Size   | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| b. Building Line  | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| c. Parking  | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| d. Buffering  | <u>_____</u> | <u>_____</u> | <u>✓</u>     |
| e. Site Plan  | <u>✓</u>     | <u>_____</u> | <u>_____</u> |
| f. Other  | <u>_____</u> | <u>_____</u> | <u>_____</u> |
| 12. Has the City Planner reviewed and commented on the plan? (If so, attach copy of Review) | <u>✓</u>     | <u>_____</u> | <u>_____</u> |



13. Does the plan exhibit good planning in general layout, access, and vehicular and pedestrian circulation?

14. Comments: *There are several comments from John Reiter regarding circulation from lane design.*

Yes                      No                      N/A

Engineering

1. Streets and Traffic

- a. Does the plan conform to the Master Thoroughfare Plan?
- b. Is adequate right-of-way provided for any major thoroughfares or collectors?
- c. Is any additional right-of-way provided for all streets and alleys?
- d. Is any additional right-of-way required?
- e. Is there adequate road access to the proposed project?
- f. Will escrowing of funds or construction of sub-standard roads be required?
- g. Do proposed streets and alleys align with adjacent right-of-way?
- h. Do the streets and alleys conform to City regulations and specifications?

- i. Are the street names acceptable?
- j. Is a traffic analysis needed?
- k. Comments:

\_\_\_\_\_

✓

*see attached from John Reglin*

2. Utilities

- a. Does the Plan conform to the Master Utility Plan?
- b. Are all lines sized adequately to handle development?
  - 1. Water
  - 2. Sewer
- c. Is additional line size needed to handle future development?
  - 1. Water
  - 2. Sewer
- d. Is there adequate capacity in sewer outfall mains, treatment plants and water transmission lines to handle the proposed development?
- e. Are all necessary easements provided?
- f. Do all easements have adequate access?
- g. Are any off site easements required?
- h. Have all appropriate agencies reviewed and approved plans?
  - 1. Electric
  - 2. Gas
  - 3. Telephone
  - 4. Cable

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- i. Does the drainage conform to City regulations and specifications? \_\_\_\_\_
- j. Do the water and sewer plans conform to City regulations and specifications? \_\_\_\_\_
- k. Is there adequate fire protection existing or planned? \_\_\_\_\_
- l. Comments:

General Requirements

- 1. Has the City Engineer reviewed and approved the plan? \_\_\_\_\_
- 2. Does the final plat conform to the City's Flood Plain Regulations? \_\_\_\_\_
- 3. Does the final plat conform to the preliminary plat as approved? \_\_\_\_\_
- 4. Staff Comments:

Time Spent on Review

| <u>Name</u>       | <u>Date</u> | <u>Time Spent (hours)</u> |
|-------------------|-------------|---------------------------|
| <u>Julie Cook</u> | <u>10/1</u> | <u>1 hr.</u>              |
| <u> </u>          | <u> </u>    | <u> </u>                  |
| <u> </u>          | <u> </u>    | <u> </u>                  |
| <u> </u>          | <u> </u>    | <u> </u>                  |

## REVIEW OF THE SITE PLAN FOR FOOD LION STORE

Following are the staff comments regarding the application of Food Lion Stores for a site to be located on FM-740 south of Horizon Road:

### Site Plan

1. They do not propose any free standing signs at this time. They are aware that if a sign is proposed later it would have to be a monument type.
2. The drives are proposed to be 36 feet in width. Our OV guidelines recommend a maximum of 30 feet in most locations.
3. The entrance off of FM-740 would work better as a joint entrance for both this site and the site to the south. The applicants would prefer to construct the drive as shown or a portion of the drive.
4. Their standard light pole for the parking lot is 40 feet with fairly bright lights. The OV guidelines recommend a maximum of 20 feet in height. This site is also at the top of the hill and this would make the lights even brighter from the street.
5. The loading area is shown to be screened from FM-3097 with a 3' berm and a photinia hedge. The applicant may wish to use a short brick wall along the top of the berm, which would be in conformance with the landscaping ordinance.
6. They are aware that a turn lane will be required for the entrance to FM-740.

### Landscape Plan

1. The applicant is providing 12.5% of landscaping with a credit of 2.5% for the 3' berm on FM-740 and FM-3097. They need to adjust the landscaping in the interior of the parking lot to provide 5% in landscaping. They are currently only providing approximately 2.5%.
2. They need to provide additional trees along the street frontages. They are required to have trees equal to 1 per 30 feet in the OV district and they are only providing 1 per 50 feet. They are requesting approval to not use that many trees in the front because it blocks the view of the building from the street.

### Elevations

1. The applicant has proposed to use a parapet wall along the front and the two sides of the building, but not along the back of the building. They are proposing a screen along the A/C equipment, but the roof will be visible from FM-3097.

SITE PLAN REVIEW

✓ Date Submitted \_\_\_\_\_  
 ✓ Scheduled for P&Z \_\_\_\_\_  
 ✓ Scheduled for Council \_\_\_\_\_  
 ✓ Applicant/Owner Food Lion \_\_\_\_\_  
 ✓ Name of Proposed Development \_\_\_\_\_  
 ✓ Location \_\_\_\_\_ Legal Description \_\_\_\_\_  
 \_\_\_\_\_  
 ✓ Total Acreage \_\_\_\_\_ No. Lots/Units \_\_\_\_\_  
 ✓ Current Zoning \_\_\_\_\_  
 Special Restrictions \_\_\_\_\_  
 \_\_\_\_\_  
 ✓ Surrounding Zoning \_\_\_\_\_

| <u>Planning</u>  | <u>Yes</u>                          | <u>No</u>                           | <u>N/A</u>                          |
|--|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. Is the site zoned properly?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| 2. Does the use conform to the Land Use Plan?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| 3. Is this project in compliance with the provisions of a Concept Plan?                          | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| ✓ 4. Is the property platted?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| ✓ 5. Is plat filed of record at Courthouse?<br>File No. _____                                    | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/>            |
| ✓ 6. If not, is this site plan serving as a preliminary plat?                                    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| 7. Does the plan conform to the Comprehensive Zoning Ordinance or PD Ordinance on the following: |                                     |                                     |                                     |
| a. Are setbacks correct?   |                                     |                                     |                                     |
| front  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| side   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| rear   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| b. Are buildings on same lot adequately separated?   | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |



- c. Is the lot the proper size?
- d. Does the lot have proper dimensions?
- e. Are exterior materials correct? *Concrete Block*
- f. Are structural materials correct?
- g. Is coverage correct?
- h. Is adequate area in landscaping shown?
- i. Is it irrigated?
- j. Is landscaping in parking lot required?
- k. Are types of landscaping indicated?
- l. Is floor area ratio correct?
- m. Is building height correct? *needs to check*
- n. Are correct number of parking spaces provided? *need to check*
- o. Are driving lanes adequate in width?
- p. Are parking spaces dimensioned properly
- q. Does the parking lot meet City specifications
- r. Is a fire lane provided?
- s. Is it adequate in width?
- t. Are drive entrances properly spaced? *7'4"*
- u. Are drive entrances properly dimensioned? *7'4"*
- ....Do drive entrances line up with planned median breaks? *needs to verify*
- v. Is lighting provided and correctly directed?
- w. Are sidewalks required?
- x. Are sidewalks provided?
- y. Is a screen or buffer required?
- ....Is it sized properly?
- ....Is it designed properly?
- ....Is it of correct materials?

- |  |         |         |         |
|--|---------|---------|---------|
| ✓ 7. Does the site plan contain all required information from the application checklist?           | _____   | _____ ✓ | _____   |
| 8. Is there adequate access and circulation?   | _____ ✓ | _____   | _____   |
| 9. Is trash service located and screened?  | _____   | _____ ✓ | _____   |
| ✓ 10. Are street names acceptable?   | _____   | _____   | _____ ✓ |
| 11. Was the plan reviewed by a consultant?<br>(If so, attach copy of review.)                      | _____   | _____ ✓ | _____   |
| 12. Does the plan conform to the Master Park Plan?   | _____   | _____   | _____ ✓ |
| 13. Are there any existing land features to be maintained?<br>(ie, topography, trees, ponds, etc.) | _____   | _____ ✓ | _____   |

Comments:

Building Codes

- |  |         |       |       |
|--|---------|-------|-------|
| 1. Do buildings meet fire codes?       | _____ ✓ | _____ | _____ |
| 2. Do signs conform to Sign Ordinance? | _____   | _____ | _____ |
- need to check*

Comments:

Engineering

- |  |         |         |         |
|--|---------|---------|---------|
| 1. Does plan conform to Thoroughfare Plan?                                   | _____ ✓ | _____   | _____   |
| 2. Do points of access align with adjacent ROW?                              | _____   | _____   | _____ ✓ |
| 3. Are the points of access properly spaced?                                 | _____   | _____ ✓ | _____   |
| 4. Are street improvements required?   | _____   | _____ ✓ | _____   |
| 5. Will escrowing of funds or construction of substandard roads be required? | _____   | _____ ✓ | _____   |
| 6. Does plan conform with Flood Plain Regulations?                           | _____ ✓ | _____   | _____   |
| 7. Is adequate fire protection present?                                      | _____   | _____   | _____   |
| 8. Are all utilities adequate?   | _____   | _____   | _____   |
| 9. Are adequate drainage facilities present?                                 | _____   | _____   | _____   |
| 10. Is there a facilities agreement on this site?                            | _____   | _____ ✓ | _____   |
- joint access*
- need to check*

- 11. Are existing roads adequate for additional traffic to be generated?
- 12. Is the site part of a larger tract? Does the plan adversely impact development of remaining land?
- 13. Are access easements necessary?
- 14. Are street and drive radii adequate? *need to check*
- 15. Have all required conditions been met?
- 16. Is there a pro rata agreement on this site? *but must water line*
- 17. Have all charges been paid?

Time Spent on Review

| <u>Name</u>    | <u>Date</u> | <u>Time Spent (hours)</u> |
|----------------|-------------|---------------------------|
| <i>Julie A</i> | <i>7/26</i> | <i>2 hrs.</i>             |
| _____          | _____       | _____                     |
| _____          | _____       | _____                     |
| _____          | _____       | _____                     |
| _____          | _____       | _____                     |

MEMORANDUM

August 8, 1990

TO: Members of the Planning and Zoning Commission

FROM: Julie Couch, Assistant City Manager

RE: Food Lion Site Plan

As we mentioned in the notes the Architectural Review Board met Tuesday night to take action on the Food Lion request. I have attached a copy of the draft minutes of the meeting which includes their recommendation on the proposal.

I have spoken with the developers since the meeting and the following are some of their responses to the recommendations of the Board:

| <u>Item</u>                 | <u>Response</u>  |
|-----------------------------|--|
| 1. Traffic analysis -       | The developer does not object to a traffic analysis of the project. They are very interested in keeping the 36' drive entrances and believe that a detailed design of the drives would address concerns. They are willing to consider the construction of an acceleration lane northbound in addition to the center turn lane if that is necessary to have the wider drives. |
| 2. 20' light poles-         | This was a concern of the developer. They use a standard 40' pole to obtain the lighting required by Food Lion. They should be prepared to address this tomorrow night. They have indicated that the number of poles will increase from 2 to 8 if they use 20 foot poles. The Board felt quite strongly about this item.   |
| 3. Joint access easements - | This presents no problems.   |
| 4. Raised sidewalk curb -   | This is a significant concern to the Food Lion Company. They apparently do not use a raised sidewalk on any of their installations   |

and they in fact remove them if they occupy an existing site. They prefer that the paving have no obstructions to the building. They have no problem with providing a walk area along the south side of the building but they again do not want to raise that walk. If this is approved the fire lane in the front does need to be painted to insure that it is not used for parking.

5. Screening for loading area - This presents no problems.
6. Additional trees - This presents no problems.
7. Access to Mr. M. - This presents no problems.
8. Back parapet wall - This presents no problems.
9. Wrap around front parapet - They had some initial concerns but they believe this can be addressed.
10. Additional roof equipment - They had some initial concerns.
11. Brick color - This presents no problems.
12. Brick band - This presents no problems.
13. Rear stairway and canopy - They propose to construct the stairs out of concrete rather than use a metal stair and they propose to use a dark bronze canopy and posts to soften the visual effect of the canopy in response to this item.

## Developer Response

1. Driveway widths - would prefer
2. can provide access to Mr. Nor 3097, would  
more buildy to Mr M of open access
3. Would like 3 lanes but would consider  
at access lane
4. Make sure access easement is wide enough +  
connect the entire drive entrance

Minor - also look at acceleration lane  
on 740 as well as when the road is  
widened.



1. ✓ access to Mr. M on 3097 side
2. limit the width of drives to 30 feet
3. Put a sidewalk along the side of Buddy
4. cart road outside of front
5. raise the issue of drainage
6. Bring up the color of brick
7. Bring up the continuation of Brick Bardon all 4 sides
8. Wrap around the full parapet
9. There will be a skirt on wall & on scenery wall
10. Parapet should be continued along the back.
11. Exterior light on building - fluorescent under the Buddy - look at recessed can on soffit light
12. Letters - every face letters
13. Color of canopy & type of canopy - would like an upgrade so on back
14. Stair should be concrete & look like a part of Buddy
15. Metal cap - Test green baked enamel
16. Don't want a curb in front & along side when there is parking to avoid any expansion on side of Buddy
17. Need traffic sign analysis in conjunction with drive openings & stacks both unobscured out of parking lot

## Academy Board

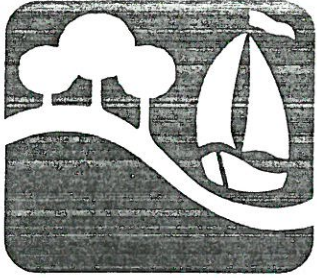
1. Want to stay with soft drives but willy to clock at with traffic analysis on stacky, internal & external, as well as turn lane & acceleration lane. Also look at when 740 is evidenced.
2. ~~Second~~ <sup>point</sup> one for 20 foot poles - period. & fixture with better fixtures  
us 8
3. Work on joint access on final plat.
4. Need a curb on sidewalk <sup>front</sup> & provide sidewalk along South side.
5. Will plant 3' photinias 4' offset from the top of 5' berm on 36" centers not in straight row
6. Put additional trees on north side
7. Provide access on both sides of Mr. M.
8. Extend parapet wall along the back
9. To wrap around the front parapet or full down the front of the building
10. Any sign or sign. w/ fixture deli should be studied
11. Color will be consistent & provide Blue signage



12. Put brick band around bulley

13. Any more stairways on back + upgrade  
canopy on back

14.



# CITY OF ROCKWALL

## "THE NEW HORIZON"

July 30, 1990

Mr. John Reed  
Cardenas-Salcedo and Associates, Inc.  
5787 S. Hampton, Suite 480  
Dallas, TX 75232

Dear John:

I have had an opportunity to review the site plan and related information that has been submitted for the proposed Food Lion Store. There are a number of items that need to be added to the submission for a complete review. I had provided you with the Site Plan application for the Overlay District as well as the standard Site Plan form. Both of these forms list much of the information that still needs to be provided and should be included in the submission. I have attached another copy of the Overlay District application form for completion. Following is a list of additional information or clarification that is needed.

### Site Plan

1. Label all dimensions including driveway widths, drive lanes, turning radii, property lines, and building size and dimensions including height.
2. Typical design of all signage including wall and free standing signage. You are limited to a monument sign for a free standing sign design.
3. Location, screening, and dimensions of trash disposal area.
4. Number of parking spaces required and number provided on the site plan.
5. Fire lane needs to be designated.
6. Paving needs to be constructed to the property line at those points that are to be designated as cross access locations. I have identified several possible locations on the attached drawing.
7. Identify paving material.
8. The drive on FM-740 appears to be approximately 35-40 feet. Our general standard for automobile access is 30 feet.



9. The access off of FM-740 should be designed to serve as a joint access for this site and the site to the south.
10. We need details of outside lighting including parking lot lighting. Generally, parking lot light poles should not exceed 20 feet.
11. We need more details of the proposed screening of the loading area. Generally, the screening needs to be six feet in height from the street. I see that you are using a berm for partial screening but we need to address this issue further. You may consider the use of a brick wall parallel to FM-3097 in front of the loading area itself.
12. Be aware that all utility drops must be underground.
13. You are providing 12.5 feet of ROW on FM-740. Our current plans only call for 7.5 feet to be dedicated.
14. As indicated on the Overlay District Site Plan application we need grade information on the access drives and cross section information through the building and site.
15. As we discussed, we will need to look at a center turn lane being provided on FM-740.

#### Landscaping Plan

1. The area being used in the calculation for required landscaping needs to be shaded for identification. You cannot use land to be dedicated as ROW to meet the landscaping requirements unless you wish to receive credit for enhanced landscaping.
2. I need a calculation of the area of the interior of the parking lot. At least 5% of the interior of the parking lot must be landscaped. This area needs to be identified. At least one tree for every 20 parking spaces must be provided and they should be placed throughout the parking lot in the front.
3. We need more details on the landscaping itself. What is proposed besides the identified trees and grass.
4. The proposed berms appear to be partially on ROW. This may present a problem. We need some typical cross sections of the berms to determine if they will pose a problem.
5. I would recommend that evergreen shrubs be considered along the berm on FM-3097 for additional screening.
6. There need to be trees equal to 1 for every 30 feet of frontage on both FM-740 and FM-3097.

Elevations

1. We will need more detailed elevations for the front and the rear of the building. There will be significant interest in mitigating the rear view of the building from FM-3097.
2. Concrete block is not a permitted material without a Conditional Use Permit. Tilt wall in not encouraged within the Overlay District. You need to consider brick on the two sides currently showing block.
3. All utility equipment must be screened from view. Consideration should be given to extending the parapet wall on both sides and the rear.
4. What will the front canopy consist of and what will it look like?

As I mentioned to you this is scheduled to go to the Architectural Review Board on August 7 and the Planning and Zoning Commission on August 9. In order for the Board to have adequate time to review the application I will need this information back by next Wednesday at 12:00. There will be a great deal of interest in this project. It is the largest project to be constructed on FM-740 since the Overlay District was adopted. As much detail as you can provide will be needed to adequately present your application. If the Board or Commission do not feel that they have enough information to adequately review the application your case may be delayed to provide additional time.

As I mentioned, I will be out of town until August 6. I will call you when I get back and have an opportunity to review the additional information. In the meantime if you have any scheduling questions you may contact Mary Nichols. We will need 16 copies of the revisions for both the Board and the Commission, along with an 8-1/2" x 11" reduction. Please submit them to Mary Nichols.

Sincerely,



Julie Couch  
Assistant City Manager

cc: Bill Eisen  
Mary Nichols

attachment



OVERLAY DISTRICT  
SITE PLAN APPLICATION

Date\_\_\_\_\_

NAME OF PROPOSED DEVELOPMENT\_\_\_\_\_

LOCATION OF PROPOSED DEVELOPMENT\_\_\_\_\_

NAME OF PROPERTY OWNER/DEVELOPER\_\_\_\_\_

ADDRESS\_\_\_\_\_ PHONE\_\_\_\_\_

NAME OF LAND PLANNER/ENGINEER\_\_\_\_\_

ADDRESS\_\_\_\_\_ PHONE\_\_\_\_\_

TOTAL ACREAGE\_\_\_\_\_ CURRENT ZONING\_\_\_\_\_

NUMBER OF LOTS/UNITS\_\_\_\_\_

PROPOSED USE FOR DEVELOPMENT\_\_\_\_\_

SIGNED\_\_\_\_\_

Following is a checklist of items that are required as a part of the site plan consideration. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal. All information should be provided on a scaled 18" x 24" sheet. Refer to the Design Guidelines for the Scenic Overlay District for additional information.

Provided or Shown  
On Site Plan

Not  
Applicable

|       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

1. Key Map showing general location of proposed development.

2. Total lot or site area - if the site is part of a larger tract include a key map showing entire tract and location of site being planned.

3. Location, dimensions, and size of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.

4. Accurate boundary dimensions

5. Location and type of fencing and/or screening of yards and setback areas.

6. Landscape plan meeting the provisions of Ordinance No. 88-28.

7. Location and dimensions of ingress and egress, including drive widths and curb radii, location and dimensions of all existing drives within 100 ft. of proposed development.

8. Location of all easements within the site.

9. Show existing topographic contours on 5 ft. intervals and the existing average grade of all streets adjacent to the site and indicate the proposed pad elevations for all structures.

10. Indicate proposed drive access grades.

11. Include a center cross section of the site including elevations of the ground and buildings taken from the street to the rear of the property. Additional cross sections may be necessary depending on the individual location.



| <u>Provided or Shown<br/>On Site Plan</u> | <u>Not<br/>Applicable</u> |
|---|---------------------------|
|---|---------------------------|

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

12. Location, number and dimensions of off-street parking and loading facilities.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

13. Height of all structures.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

14. Location, general design, typical elevation and types of all signs (both wall and free standing) including lighting, heights and colors.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

15. General description of exterior lighting plan including height and type of all light poles.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

16. Building Plan - include a general layout of all proposed buildings indicating proposed uses.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

17. Elevation drawings in accordance with the Overlay District Guidelines.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

18. Location and screening of trash facilities.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

19. Location of nearest fire hydrant within 500 ft.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

20. Street names on proposed streets.

|       |       |
|-------|-------|
| _____ | _____ |
|-------|-------|

21. The following additional information:

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**CARDENAS-SALCEDO & ASSOCIATES, INC.**  
 5787 South Hampton, Suite 480  
 DALLAS, TEXAS 75232

(214) 333-0014  
 FAX (214) 333-2742

LETTER OF TRANSMITTAL

|                                   |        |         |        |
|-----------------------------------|--------|---------|--------|
| DATE                              | 8/1/90 | JOB NO. | 90-349 |
| ATTENTION                         |        |         |        |
| RE: Revised Submittal - Food Lion |        |         |        |
|                                   |        |         |        |
|                                   |        |         |        |
|                                   |        |         |        |
|                                   |        |         |        |
|                                   |        |         |        |

TO Mr Bill Eisen  
City Manager  
City of Rockwall, Texas

WE ARE SENDING YOU  Attached  Under separate cover via Carrier the following items:

- Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     \_\_\_\_\_

| COPIES | DATE | NO. | DESCRIPTION           |
|--------|------|-----|-----------------------|
|        |      |     | 16 Site Plan          |
|        |      |     | 16 Landscape Plan     |
|        |      |     | 16 Site Cross Section |
|        |      |     |                       |
|        |      |     |                       |
|        |      |     |                       |
|        |      |     |                       |
|        |      |     |                       |
|        |      |     |                       |

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     By Julie Couch  
 FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

REMARKS Respond if Necessary.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

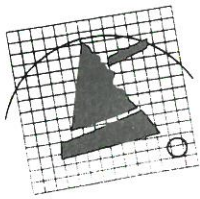
\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

COPY TO Julie Couch, ACU    SIGNED: [Signature]



**ARTECH**  
DESIGN GROUP INC.

FED X OVERNIGHT

**LETTER OF TRANSMITTAL**

TO: CITY OF ROCKWALL  
205 WEST RUSK  
ROCKWALL, TX 75087  
214/771-1111

DATE: 8/1/90      JOB NO.: 90-50  
ATTENTION: MARY NICHOLS  
RE: FOOD LION STORE  
ROCKWALL, TX

We are sending you attached:

- Prints                       Copy of letter                       Specifications
- Tracings                       Shop drawings                       Samples
- Other: \_\_\_\_\_

| Copies | Date | Sheet # | Description                  |
|--------|------|---------|------------------------------|
| 16     |      |         | BULELINES OF ELEVATIONS      |
| 1      |      |         | REDUCTION ON 8 1/2" W. PAPER |
|        |      |         |                              |
|        |      |         |                              |
|        |      |         |                              |
|        |      |         |                              |
|        |      |         |                              |
|        |      |         |                              |

These are transmitted as checked below:

- For approval                       Approved as noted
- For your use                       Returned for corrections
- As requested                       Resubmit copies for approval
- For review and comment                       Submit copies for distribution
- Approved as submitted                       Return corrected prints

Remarks: THESE ARE SUBMITTED FOR INCLUSION WITH THE  
SITE DRAWINGS AS SUBMITTED BY CARDENAS-SALCEDO.

Copy to: \_\_\_\_\_ By: DANNY FLOYD



MINUTES OF  
THE ARCHITECTURAL BOARD OF REVIEW

AUGUST 7, 1990

Members Present: Chuck Hodges, Lynn Broyles, Gary McKibben, John Lewis, Haywood Eason. Rick Burgy and Sherry Lofland were not present. The meeting was called to order at 7:15 p.m.

The Board considered approval of a site plan and building plan for a Food Lion grocery store to be located on FM-740 south of Horizon Road.

After a lengthy discussion it was the consensus of the Board that the following items be recommended to the Planning and Zoning Commission regarding the proposed development:

1. That a detailed traffic analysis be completed including the design of the center turn lane, the possible provision of a north bound acceleration lane, the request for a 36 foot entrance drive with three lanes, and both internal and external stacking conditions. The Board generally stated that their preference was for 30 foot drives but that the drive conditions should be studied along with the other traffic issues.
2. That the parking lot lighting poles not exceed 20 feet in height.
3. That the joint access easements be established on the final plat and include the drives into the project.
4. That a raised sidewalk be provided along the front and south side of the building.
5. That the screen along FM-3097 for the loading area consist of a 3 foot berm with a minimum of 3 foot photinia hedge not less than six inches from the top of the berm. The photinias should be placed on 3 foot centers and some effort should be made to not create a straight line with the plants.
6. The additional required street trees should be placed along the north property line to provide some screening for the side of the building.
7. Paved access should be provided on both sides of the Mr. M building.
8. The parapet wall should be extended along the back of the building.
9. The parapet at the two front corners of the building should be wrapped around from the front to the sides to add some mass and break up the visual appearance of the front parapet.

10. Any additional roof mount equipment other than what is identified in the application should be studied by the City to determine if additional screening is necessary.
11. The color of the building should be compatible with surrounding development and a brick sample should be provided to the Commission and Council.
12. The contrasting color band on the front of the building should be continued on all sides of the building.
13. The stairways and canopies at the rear of the building should be upgraded and tied into the building.



**CITY OF ROCKWALL  
Planning and Zoning Agenda**

**Agenda Date:** August 9, 1990

**Agenda No:** III. B.

**Agenda Item:** P&Z 09-23/SP/PP - Discuss and Consider Approval of a Site Plan/  
Preliminary Plat/Building Plan for Food Lion Grocery Store

**Item Generated By:** Applicant, Food Lion Stores

**Action Needed:** Consider approving the site plan and plat with any changes necessary.

**Background Information:**

We have received a request from Food Lion Stores for the above items. They have submitted a site plan, elevations, landscape plan, and cross sections for your consideration and for the Architectural Board. They will be meeting with the Board on Tuesday and we will have their recommendation for you on Thursday night. Our comments regarding the plans submitted are as follows:

**Site Plan**

1. They do not propose any free standing signs at this time. They are aware that if a sign is proposed later it would have to be a monument type.
2. The drives are proposed to be 36 feet in width. Our OV guidelines recommend a maximum of 30 feet in most locations.
3. The entrance off of FM-740 would work better as a joint entrance for both this site and the site to the south. The applicants would prefer to construct the drive as shown or a portion of the drive.
4. Their standard light pole for the parking lot is 40 feet with fairly bright lights. The OV guidelines recommend a maximum of 20 feet in height. This site is also at the top of the hill and this would make the lights even brighter from the street.
5. The loading area is shown to be screened from FM-3097 with a 3' berm and a photinia hedge. The applicant may wish to use a short brick wall along the top of the berm, which would be in conformance with the landscaping ordinance.

We will be able to review the recommendations of the Board on Thursday night.

**NOTES CONT'D ON NEXT PAGE**

**Attachments:**

1. Site Plan, Elevations, Cross Sections, Landscape Plan

**Agenda Item:** Food Lion Site Plan

**Item No:** III. B.

## NOTES ON FOOD LION CONT'D

6. They are aware that a turn lane will be required for the entrance to FM-740.

### Landscape Plan

1. The applicant is providing 12.5% of landscaping with a credit of 2.5% for the 3' berm on FM-740 and FM-3097. They need to adjust the landscaping in the interior of the parking lot to provide 5% in landscaping. They are currently only providing approximately 2.5%.
2. They need to provide additional trees along the street frontages. They are required to have trees equal to 1 per 30 feet in the OV district and they are only providing 1 per 50 feet. They are requesting approval to not use that many trees in the front because it blocks the view of the building from the street.

### Elevations

1. The applicant has proposed to use a parapet wall along the front and the two sides of the building, but not along the back of the building. They are proposing a screen along the A/C equipment, but the roof will be visible from FM-3097.

**CITY OF ROCKWALL**  
**Planning and Zoning Agenda**

**Agenda Date:** December 13, 1990

**Agenda No:** III. D.

**Agenda Item:** Discuss and Consider Recommending Approval of an Amendment to the Site Plan for Food Lion

**Item Generated By:** Applicant, Food Lion

**Action Needed:** Consider approving the requested amendment.

**Background Information:**

Food Lion is now in the process of completing their construction plans for the Rockwall store. In their original application they had requested a 36 foot drive off of FM-740 and a 30 foot drive off of FM-3097. There was a great deal of discussion regarding the 36 foot drive on 740 and it was included in the review done by John Reglin. They have now decided that they would prefer a 36 foot drive off of 3097 as well. They want to be able to provide for a north and a south bound exit from the parking lot. This entrance will also be used by the majority of the truck traffic servicing this site.

Because this was such an item of discussion during the original consideration I have required them to submit their request as a formal site plan amendment. I have discussed this change with Mr. Reglin and he does not see a significant problem with the additional footage. A copy of that portion of the site plan is attached with their request.

**Attachments:**

1. Location Map
2. Request with drawing

**Agenda Item:** Food Lion Site Plan

**Item No:** III. D.



November 21, 1990



Ms. Julie Couch  
City of Rockwall  
205 W. Rusk  
Rockwall, Texas

**CARDENAS - SALCEDO AND ASSOCIATES, INC.**  
5787 S. HAMPTON, SUITE 480 • DALLAS, TX 75232  
214/333-0014

RE: Proposed Food Lion Site Development

Dear Ms. Couch:

In follow up to our telephone conversation last week I would like this letter to serve as a request in considering a 36.00 foot wide drive in lieu of a 30.00 foot wide drive at our project entrance off of F.M. 3097. The attached exhibit shows the requested widening. This request was prompted by the Site Developer in order to provide better patron and truck accessibility off of F.M. 3097. This drive widening along with the proposed widening of F.M. 740 should greatly entrance the traffic conditions at the F.M. 740 site entrance. Although we do not intend to restrict truck traffic from the F.M. 740 drive we do anticipate the more convenient truck entrance and exit condition to be at F.M. 3097. Thus relieving the storage and exiting condition at the F.M. 740 Drive.

Also, as discussed we are making plans to be on the December 13th, 1990 Planning and Zoning Commission Meeting and then the 17th of December, 1990 Council Meeting. As always we look forward to a favorable response.

Should you require any further information or correspondence please do not hesitate in calling.

Sincerely,  
**CARDENAS-SALCEDO AND ASSOCIATES, INC.**

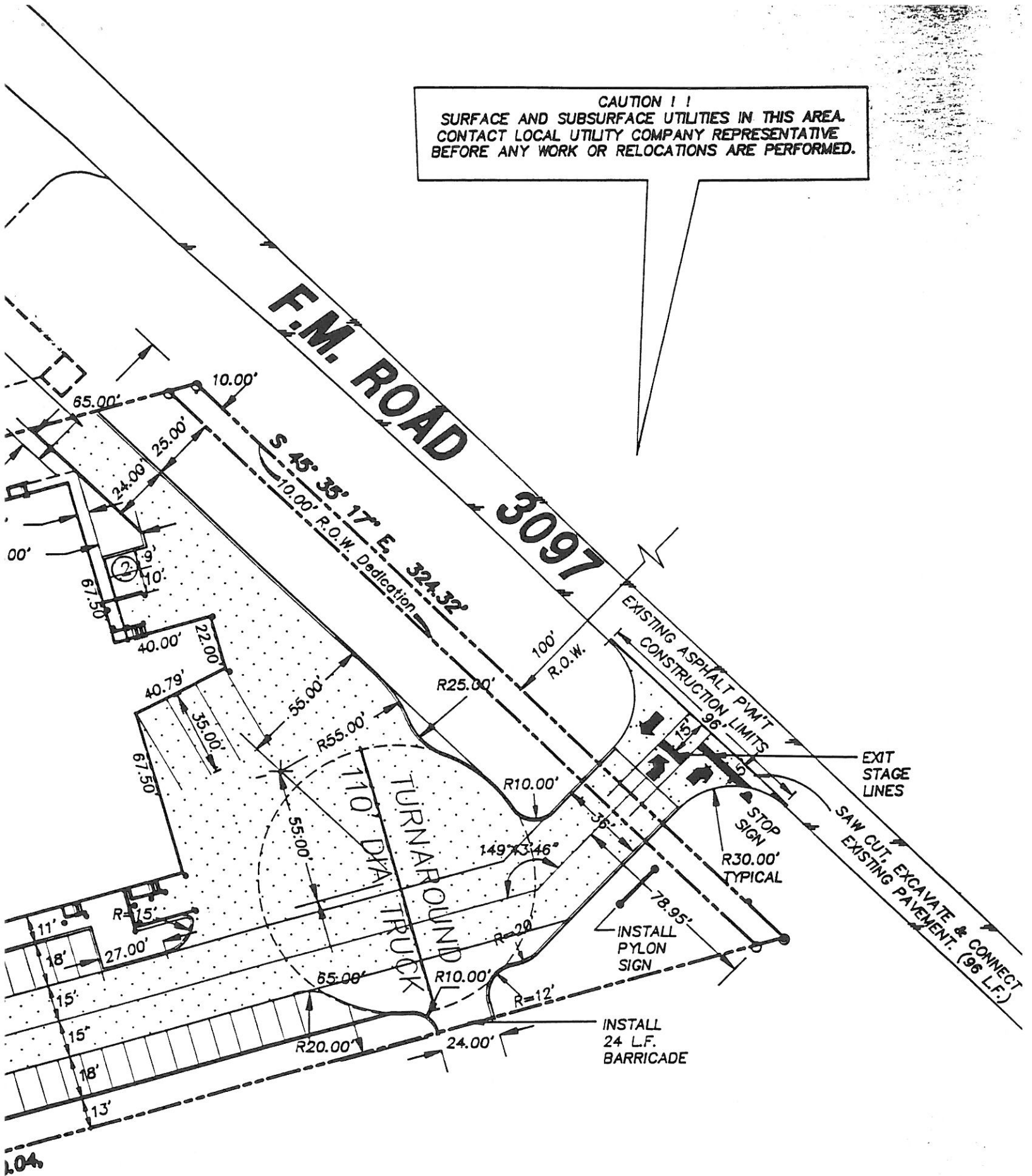
*J. R. R.*

J Rob't Reed

JRR/dg

Encl.  
cc: JEMTEX

**CAUTION !!**  
 SURFACE AND SUBSURFACE UTILITIES IN THIS AREA.  
 CONTACT LOCAL UTILITY COMPANY REPRESENTATIVE  
 BEFORE ANY WORK OR RELOCATIONS ARE PERFORMED.



36.00' WIDE  
 EAST DRIVE EXHIBIT  
 SITE # 50 @ F.M.3097  
 ROCKWALL, TEXAS







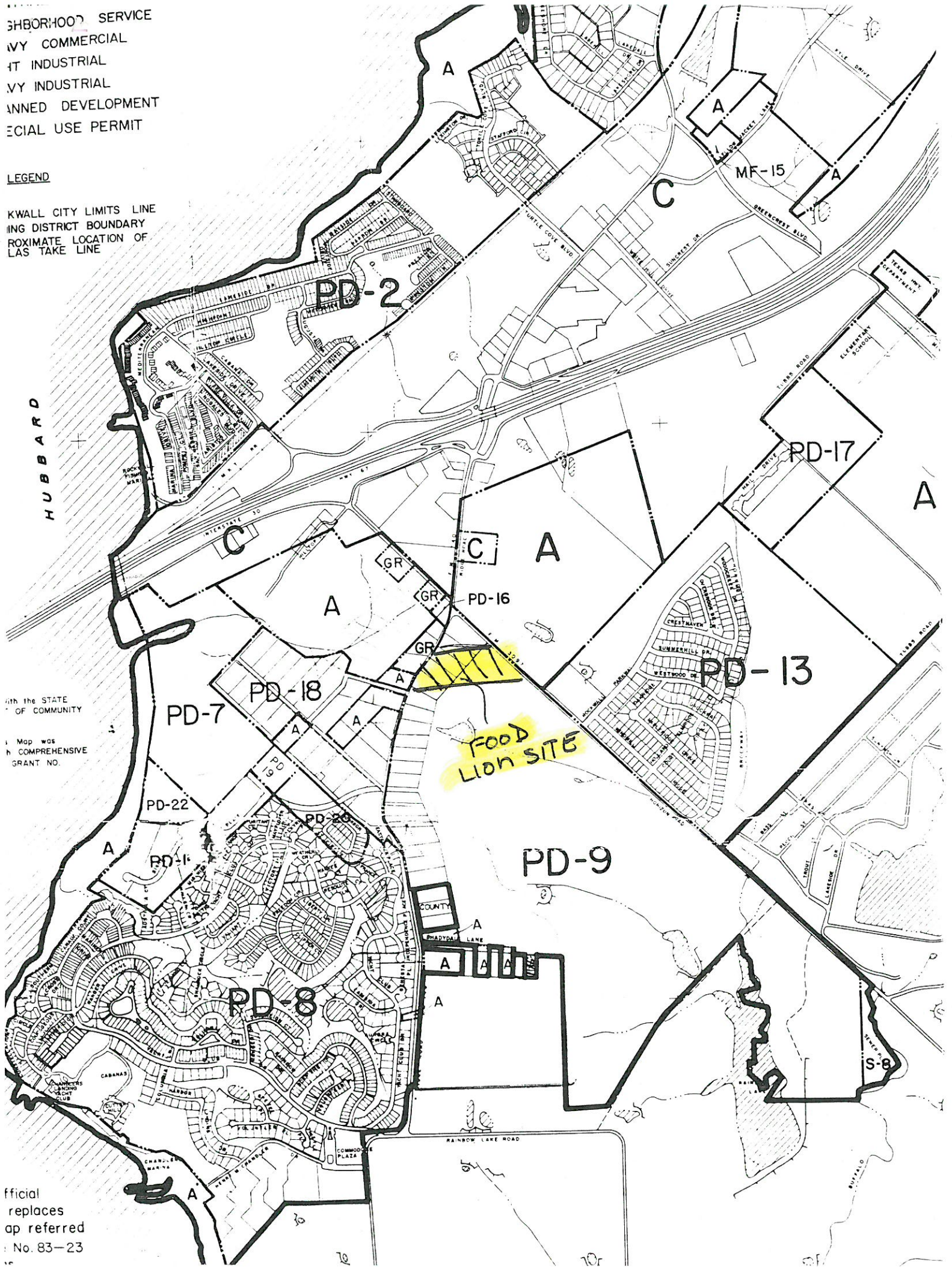
SHORHOOD SERVICE  
 VY COMMERCIAL  
 IT INDUSTRIAL  
 VY INDUSTRIAL  
 ANNEDED DEVELOPMENT  
 ECIAL USE PERMIT

**LEGEND**

KWALL CITY LIMITS LINE  
 ING DISTRICT BOUNDARY  
 ROXIMATE LOCATION OF  
 LAS TAKE LINE

with the STATE  
 OF COMMUNITY  
 Map was  
 COMPREHENSIVE  
 GRANT NO.

Official  
 replaces  
 map referred  
 No. 83-23



**FOOD LION SITE**



**CITY OF ROCKWALL  
City Council Agenda**

**Agenda Date:** August 20, 1990

**Agenda No:** VI. B.

**Agenda Item:** P&Z 90-23-SP/PP - Discuss and Consider Approval of a Site Plan/Preliminary Plat/Building Plan for Food Lion Grocery Store

**Item Generated By:** Applicant, Food Lion Stores

**Action Needed:** Take action on the proposed site plan/plat.

**Background Information:**

We have received a request for approval of a site plan from Food Lion Stores for a 32,211 sq. ft. store to be located on FM-740 south of the Mr. M location. The site contains 3.7 acres and will have frontage on both FM-740 and FM-3097. The site plan, as it has been revised, generally conforms to our requirements. The property is located within the Overlay District and has been reviewed by the Architectural Review Board as well as the Commission.

The Commission has recommended that the site plan/building plan/preliminary plat be approved subject to the recommendations of the Architectural Review Board with the exception that they not be required to construct a raised sidewalk in front of and along the south side of the building.

A listing of the recommendations of the Board and the response of the developer to the recommendation is attached. The developer has incorporated most of the recommendations of the Board and Commission in their plans and they have included the changes in the drawings that you have in your packet. The Planning and Zoning Chairman will be at the meeting and a copy of the revised drawings have been provided to him as well.

**Attachments:**

1. Location Map
2. Site Plan
3. Elevations
4. Cross Sections
5. Landscape Plan
6. Concept Plan for PD-9

**Agenda Item:** Food Lion Site Plan

**Item No:** VI. B.