

next deadline Feb 24

SITE PLAN APPLICATION

Date: 2/24/86

NAME OF PROPOSED DEVELOPMENT Rockwall Village - Phase II

NAME OF PROPERTY OWNER/DEVELOPER Carlisle Investments

ADDRESS 12340 Inwood Road, Dallas, Texas 75244 PHONE 214-233-5555

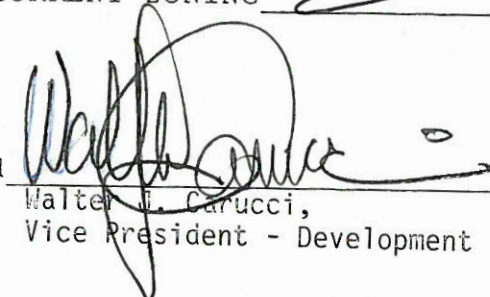
NAME OF LAND PLANNER/ENGINEER Harold L. Evans Consulting Engineer

ADDRESS 2331 Gus Thomasson Road, Dallas, Texas 75228 PHONE 214-328-8133

TOTAL ACREAGE 3.86 acres (Phase II)

CURRENT ZONING C

NUMBER OF LOTS/UNITS N/A

Signed 
Walter L. Carucci,
Vice President - Development

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal.

<u>Provided or Shown on Site Plan</u>	<u>Not Applicable</u>	
<u>✓</u>	<u>_____</u>	1. Location of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
<u>✓</u>	<u>_____</u>	2. Landscaping, lighting, fencing and/or screening of yards and set-back areas
<u>✓</u>	<u>_____</u>	3. Design and location of ingress and egress
<u>_____</u>	<u>✓</u>	4. Off-street parking and loading facilities
<u>✓</u>	<u>_____</u>	5. Height of all structures
<u>✓</u>	<u>_____</u>	6. Proposed Uses
<u>✓</u>	<u>_____</u>	7. Location and types of all signs, including lighting and heights
<u>✓</u>	<u>_____</u>	8. Elevation drawings citing proposed exterior finish materials

Provided or Shown
on Site Plan

Not
Applicable

✓

✓

9. Street names on proposed streets

10. The following additional information:

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.

Taken by: _____

File No. _____

Date: _____

Fee: _____

SITE PLAN REVIEW

Date Submitted _____

Scheduled for P&Z _____

Scheduled for Council _____

Applicant/Owner Carlisle Properties

Name of Proposed Development Rockwell Village II

Location FM-740, I-30

Total Acreage 3.86

Number Lots/Units N/A

Current Zoning C

Special Restrictions None

Surrounding Zoning C, Ag, PD for retail, GR

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
<u>Planning</u>			
1. Is the site zoned properly?	✓	_____	_____
2. Does the use conform to the Land Use Plan	✓	_____	_____
3. Is this project in compliance with the provisions of a Concept Plan?	_____	_____	✓
4. Is the property platted?	✓	_____	_____
5. If not, is this site plan serving as a preliminary plat?	_____	_____	✓
6. Does the plan conform to the Comprehensive Zoning Ordinance or PD Ordinance			
a. Lot size	✓	_____	_____
b. Building line	✓	_____	_____
c. Buffering <i>question to run of new bldgs</i>	_____	_____	_____
d. Landscaping <i>what will be landscaped</i>	_____	_____	_____
e. Parking <i>need to find identify all new parking</i>	_____	_____	_____
f. Lighting	✓	_____	_____
g. Building height	✓	_____	_____
h. Building Materials <i>what will run of last bldg use</i>	✓	_____	_____

Yes No N/A

- 7. Does the site plan contain all required information from the application checklist?
- 8. Is there adequate access and circulation? *See review*
- 9. Are street names acceptable?
- 10. Was the plan reviewed by a consultant? (If so, attach copy of review.)
- 11. Does the plan conform to the Master Park Plan?

Comments:

There should be a thru lane reviewed for access on FM-1740

Building Codes

- 1. Do buildings meet setback requirements?
- 2. Do buildings meet fire codes?
- 3. Do signs conform to Sign Ordinance?

Comments:

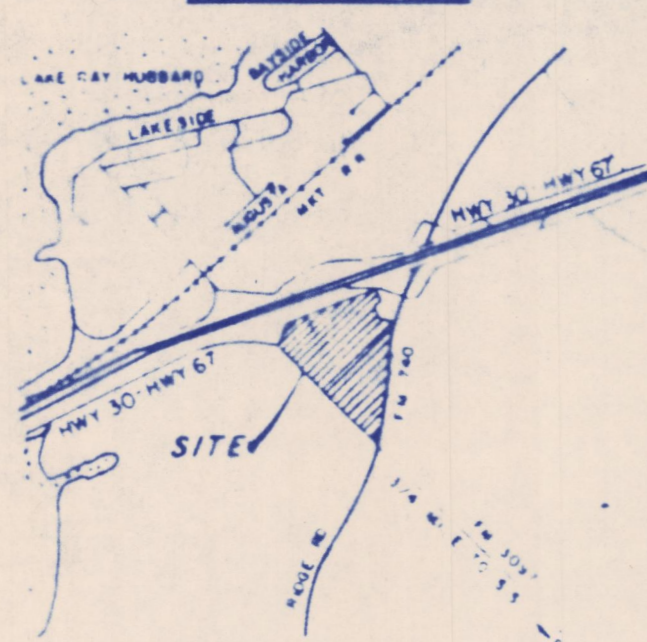
Engineering

- 1. Does plan conform to Thoroughfare Plan?
- 2. Do points of access align with adjacent ROW?
- 3. Are the points of access properly spaced?
- 4. Does plan conform with Flood Plain Regulations?
- 5. Will escrowing of funds or construction of substandard roads be required?

Time Spent on Review

<u>Name</u>	<u>Date</u>	<u>Time Spent (hours)</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

VICINITY MAP



GENERAL NOTES

- All construction shall be in accordance with the Building Code, 1972 Edition, and shall comply with all codes, ordinances and requirements set forth by the City of Rockwall, Texas. The building shall be zoned as "Commercial".
- All buildings shall have a B-1 Occupancy. Interior columns shall have a Two (2) Hour Minimum Fire Rating as follows:
- All Property bearing and dimensions are from a survey prepared by Harold L. Evans, Civil Engineers, 2341 Gus Thomasson Road, Suite 101, Dallas, Texas, 75225, (214) 225-1133.
- All signage to be placed on this site is subject to approval by the owner and City of Rockwall sign ordinances.
- All paving shall be coordinated with the lawn sprinkler contractor to allow for installation of sleeves under drive.
- All dimensions are to be field verified for correctness. If any variances occur, Architect shall be contacted for verification.
- It is the responsibility of the General Contractor to become aware of the location of all underground utilities on the site before any drilling or excavation begins. Contractor shall be aware that an existing structure was removed and that existing utilities will be used if possible.
- A utility package has been prepared by Harold L. Evans Civil Engineers. General Contractor shall gain access to such utility package and include in the bid of this project.
- Harold L. Evans, Civil Engineers, has prepared a dimensioned layout for foundation and column locations for this project. A Registered Civil Engineer, with approval of Architect and Owner, shall carefully layout the slab and column locations. Any discrepancies shall be called to the attention of the Architect immediately for resolution.
- General Contractor shall coordinate construction with landscape contractor under separate contract and provide rough grading on planting areas. Landscape contractor shall be responsible for proper drainage of landscape areas away from buildings.
- Contractor shall not remove or destroy any trees without Owner's approval. The Owner's representative shall be at site to mark any and all trees to be removed and or to remain. Trees to be saved shall be carefully marked per specifications, so as not to be damaged during the construction process. Tree damage will not be tolerated.
- All concrete paving and walks shall be reinforced with #5 or #4 rebar. All reinforcement shall be raised 14" above final graded surface with plastic chairs.
- All light gauge metal studs shall be 20 gauge unless otherwise noted on Plans.

Revisions

Date	No.	Description
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MICHAEL F. TWICHELL

Architect

Dallas, Texas 748 6461

A PROJECT FOR

CARLISLE PROPERTY CO
RETAIL

ROCKWALL VILLAGE SHOPPING CENTER

PHASE I

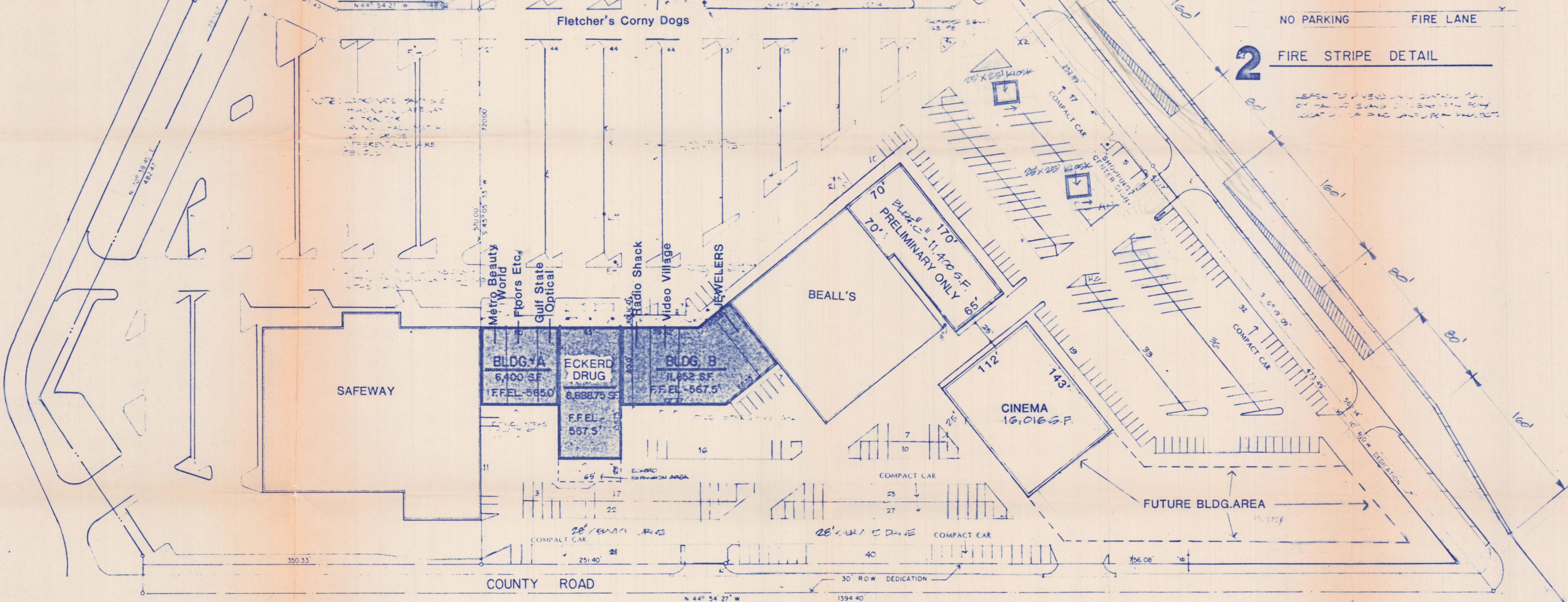
ROCKWALL, TEXAS

SITE PLAN

1" = 50'-0"

DATE: 1/21/85
JOB: 64700
SP-1

INTERSTATE HIGHWAY 30
FRONTAGE ROAD



1 SITE PLAN

2 FIRE STRIPE DETAIL

NO PARKING FIRE LANE

REFER TO PAVING AND CONCRETE CONTRACT FOR ALL DETAILS AND SPECIFICATIONS FOR FIRE STRIPE READING EVERY 25'-0" TO PARKING FIRE LANE

NOTES:
1. REFER TO HAROLD EVANS, CIVIL ENGINEER, SURVEY CONTROL AND EASE OVERSIGHT AND OF THESE SURVEY DRAWINGS.
2. GENERAL CONTRACTOR TO PROVIDE A PVC CONDUIT UNDER PAVEMENT APPROXIMATELY 6" ABOVE FINISHED GRADE TO ALLOW FOR FUTURE UTILITY INSTALLATION IN ALL PARKING AREAS. COORDINATE WITH LANDSCAPE CONTRACTOR.

Phase II Tabulations

BUILDING SUMMARY	PARKING
Bldg. A 6,400 sf	21
Bldg. B 11,800 sf	39
Eckerd 8,640 sf	29
Beall's 24,955 sf	83
Bldg. D 36,452 sf	122
Bldg. C 11,400 sf	57 (City Rockwall changed)
Bldg. E 19,250 sf	66 (Code for Retail on 7/15/85)
Cinema 16,016 sf (1,250 seats)	416 (1 parking space per 3 seats)
Kiosks 1,487 sf	6

TABULATIONS	
BUILDING AREA (PHASE I)	= 63,593 SF
PARKING INDICATED	= 511 SPACES
PARKING REQUIRED (1:200)	= 318 SPACES (PHASE I)
LAND AREA (PHASE I)	= 409,536 SF
LAND AREA (PHASE II)	= 30,590 SF
TOTAL	= 440,143 SF
BUILDING/LAND RATIO	= 27.07%

2nd sub

Revisions

Date	No.	Description
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MICHAEL F. TWICHELL

Architect
Dallas, Texas 748-6461

A PROJECT FOR:

CARLISLE PROPERTY CO. RETAIL

ROCKWALL VILLAGE SHOPPING CENTER

PHASE II
ROCKWALL, TEXAS

SITE PLAN

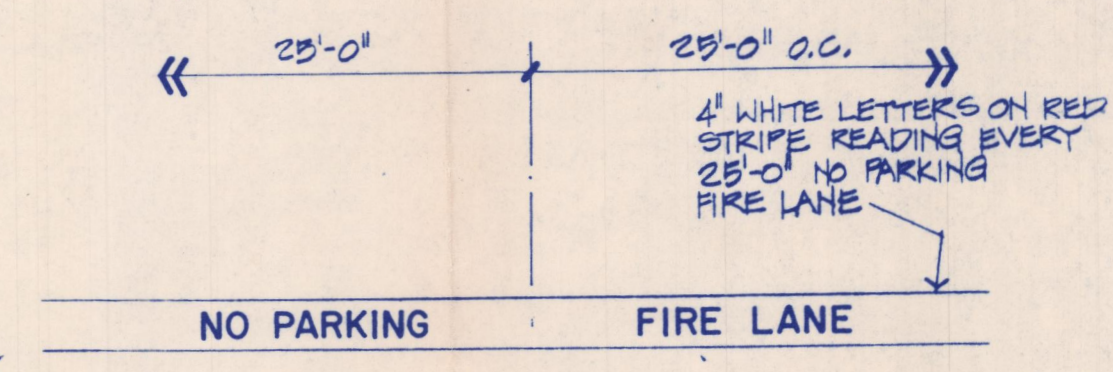
1" = 60'-0"

3rd sub

DATE	SHEET
2-28-86	SP-1
86202	

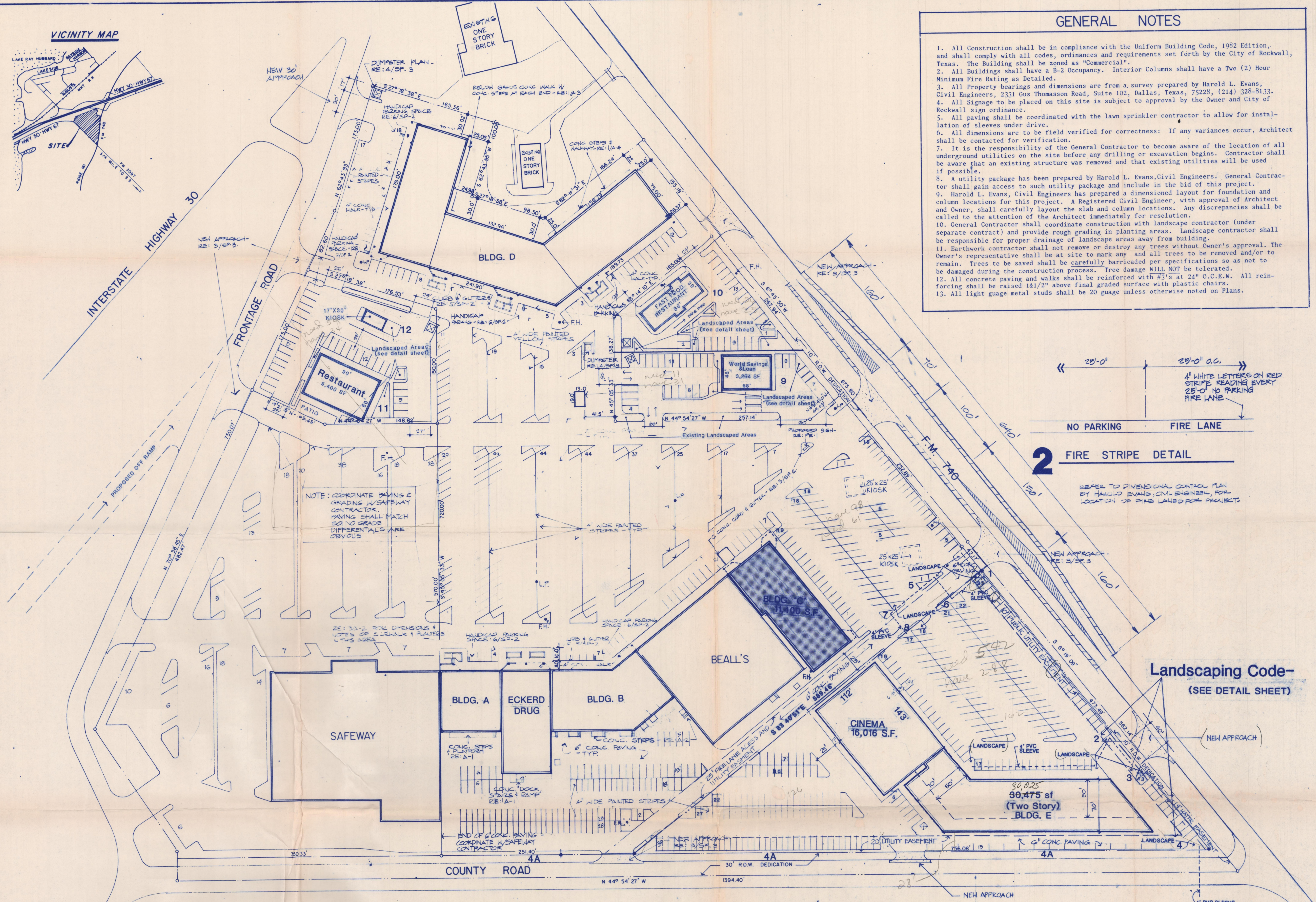
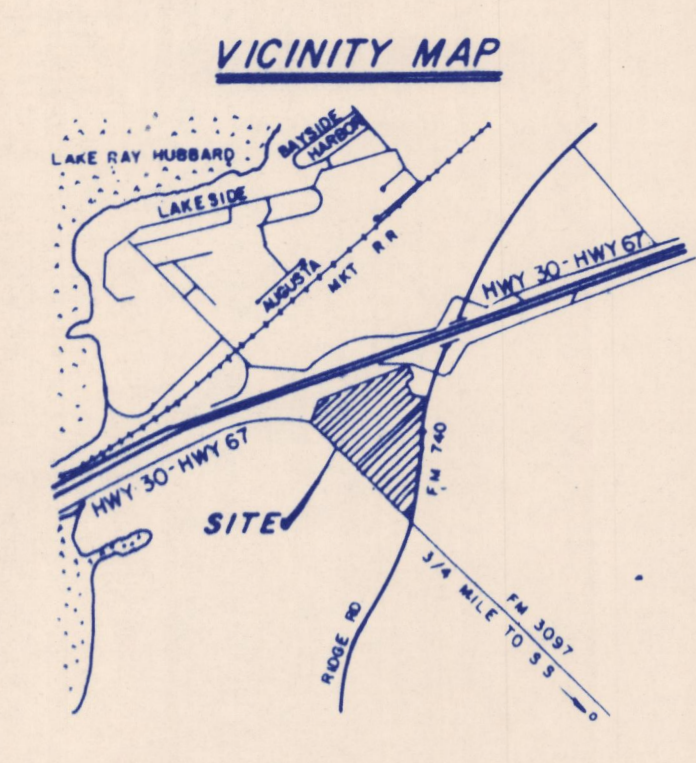
GENERAL NOTES

- All Construction shall be in compliance with the Uniform Building Code, 1982 Edition, and shall comply with all codes, ordinances and requirements set forth by the City of Rockwall, Texas. The Building shall be zoned as "Commercial".
- All Buildings shall have a B-2 Occupancy. Interior Columns shall have a Two (2) Hour Minimum Fire Rating as Detailed.
- All Property bearings and dimensions are from a survey prepared by Harold L. Evans, Civil Engineers, 2331 Gus Thomasson Road, Suite 102, Dallas, Texas, 75228, (214) 328-8133.
- All Signage to be placed on this site is subject to approval by the Owner and City of Rockwall sign ordinance.
- All paving shall be coordinated with the lawn sprinkler contractor to allow for installation of sleeves under drive.
- All dimensions are to be field verified for correctness: If any variances occur, Architect shall be contacted for verification.
- It is the responsibility of the General Contractor to become aware of the location of all underground utilities on the site before any drilling or excavation begins. Contractor shall be aware that an existing structure was removed and that existing utilities will be used if possible.
- A utility package has been prepared by Harold L. Evans, Civil Engineers. General Contractor shall gain access to such utility package and include in the bid of this project.
- Harold L. Evans, Civil Engineers has prepared a dimensioned layout for foundation and column locations for this project. A Registered Civil Engineer, with approval of Architect and Owner, shall carefully layout the slab and column locations. Any discrepancies shall be called to the attention of the Architect immediately for resolution.
- General Contractor shall coordinate construction with landscape contractor (under separate contract) and provide rough grading in planting areas. Landscape contractor shall be responsible for proper drainage of landscape areas away from building.
- Earthwork contractor shall not remove or destroy any trees without Owner's approval. The Owner's representative shall be at site to mark any and all trees to be removed and/or to remain. Trees to be saved shall be carefully barricaded per specifications so as not to be damaged during the construction process. Tree damage WILL NOT be tolerated.
- All concrete paving and walks shall be reinforced with #3's at 24" O.C.E.W. All reinforcing shall be raised 1 1/2" above final graded surface with plastic chairs.
- All light gauge metal studs shall be 20 gauge unless otherwise noted on Plans.



2 FIRE STRIPE DETAIL

REFER TO DIMENSIONAL CONTROL PLAN BY HAROLD EVANS, CIVIL ENGINEER, FOR LOCATION OF FIRE LABEL FOR PROJECT.



NOTE: COORDINATE PAVING & GRADING w/ SAFEWAY CONTRACTOR. PAVING SHALL MATCH SO NO GRADE DIFFERENTIALS ARE OBVIOUS.

Landscaping Code- (SEE DETAIL SHEET)

TABULATIONS		
TOTAL LAND AREA	842,243.61 SF	19.34 Acres
PARKING REQUIRED @ 1:300		
SAFeway	49,300 SF	145 spaces
Bldg. A	6,400 SF	21 spaces
Bldg. B	11,800 SF	39 spaces
Eckerd	8,400 SF	29 spaces
Bealls	24,955 SF	83 spaces
Bldg. D	36,452 SF	122 spaces
Bldg. E (Second Floor)	141,000 SF	46 spaces
World Savings & Loan	3,264 SF	11 spaces
PARKING REQUIRED @ 1:200		
Bldg. C	11,400 SF	57 spaces*
Bldg. E	16,025 SF	80 spaces
Cinema (1,250 seats-1 parking space)	16,016 SF	416 spaces
Kiosks (4)	2,007 SF	8 spaces
PARKING REQUIRED @ 1:100		
5,400 SF Restaurant	5,400 SF	54 spaces
Fast Food Restaurant	2,580 SF	26 spaces
	202,239 SF	1,137 required
		1,202 provided

*City of Rockwall changed code for retail 7/15/85 1:200

NOTES:
1. REFER TO HAROLD EVANS, CIVIL ENGINEER, DIMENSIONAL CONTROL PLAN FOR DIMENSIONAL LAYOUT OF PARKING SPACES, BUILDINGS, ETC.
2. GENERAL CONTRACTOR TO PROVIDE 4" PVC CONDUIT UNDER PAVEMENT, APPROACHES & WALKS SO IRRIGATION SYSTEM CAN BE REACHED TO ALL PLANTER AREAS. COORDINATE WITH LANDSCAPE CONTRACTOR.

6-10-87
247 parking spaces marked
984 filed into
in Theatre
AB.

GENERAL NOTES

- All Construction shall be in compliance with the Uniform Building Code, 1982 Edition, and shall comply with all codes, ordinances and requirements set forth by the City of Rockwall, Texas. The Building shall be zoned as "Commercial".
- All Buildings shall have a B-2 Occupancy. Interior Columns shall have a Two (2) Hour Minimum Fire Rating as Detailed.
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- All concrete paving and walks shall be reinforced with #3's at 24" O.C.E.W. All reinforcing shall be raised 1 1/2" above final graded surface with plastic chairs.
- All light gauge metal studs shall be 20 gauge unless otherwise noted on Plans.

Revisions

Date	No.	Description
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Carlisle

MICHAEL F. TWICHELL

Architect
Dallas, Texas 748-6461

A PROJECT FOR:

CARLISLE PROPERTY CO.
RETAIL

ROCKWALL VILLAGE SHOPPING CENTER

PHASE II

ROCKWALL, TEXAS

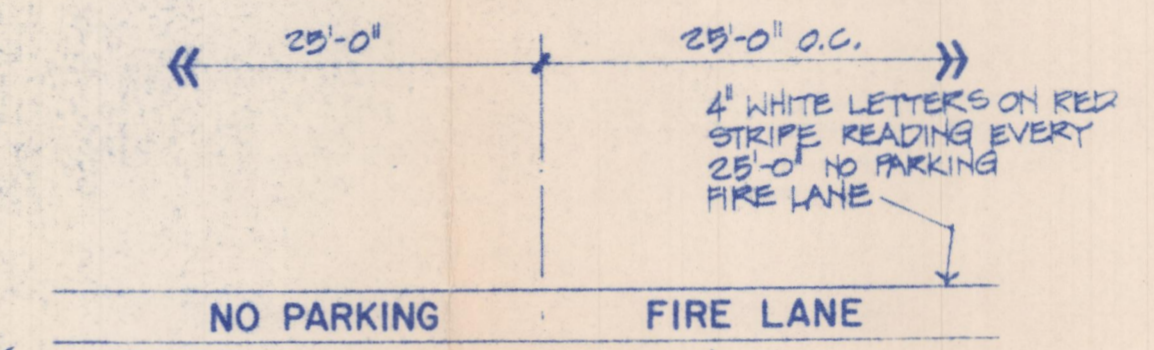
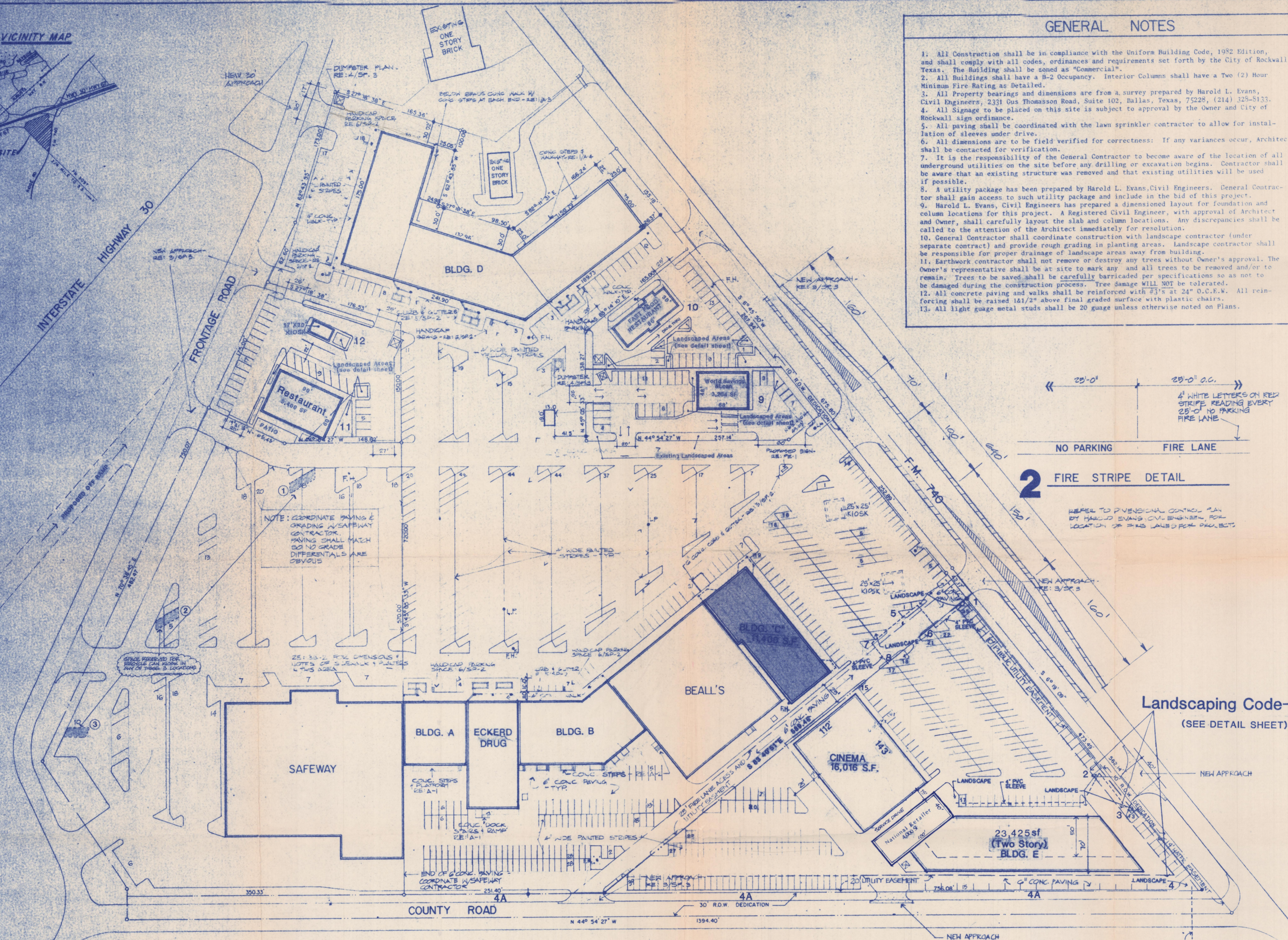
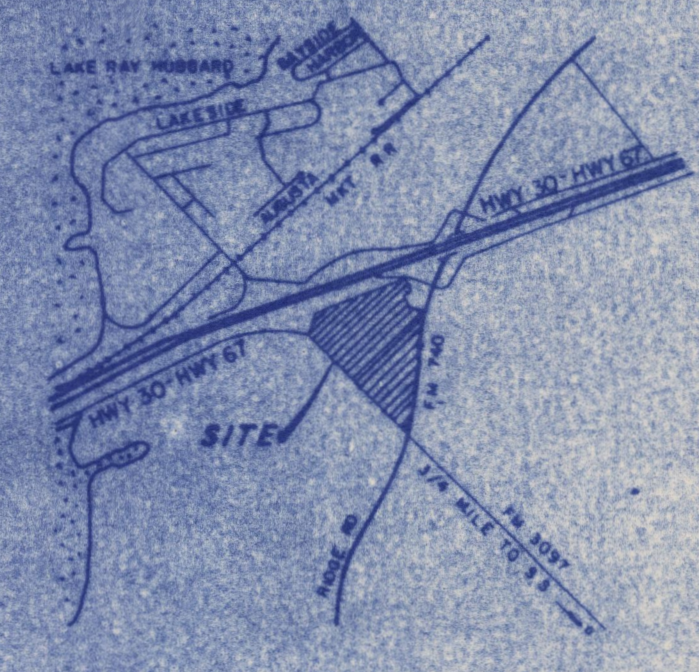
SITE PLAN

1" = 60'-0"

Revised 10/13/86

DATE	SHEET
2-28-86	SP-1
86202	

VICINITY MAP



2 FIRE STRIPE DETAIL
REFER TO DIMENSIONAL CONTROL PLAN BY HAROLD EVANS, CIVIL ENGINEER, FOR LOCATION OF FIRE LANES FOR PROJECT.

NOTE: COORDINATE PAVING & GRADING W/SAFEMART CONTRACTOR. PAVING SHALL MATCH SO NO GRADE DIFFERENTIALS ARE OBVIOUS.

Landscaping Code-
(SEE DETAIL SHEET)

TABULATIONS

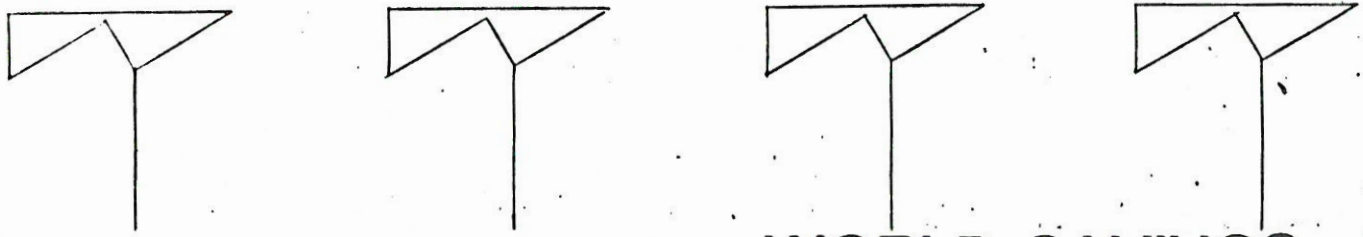
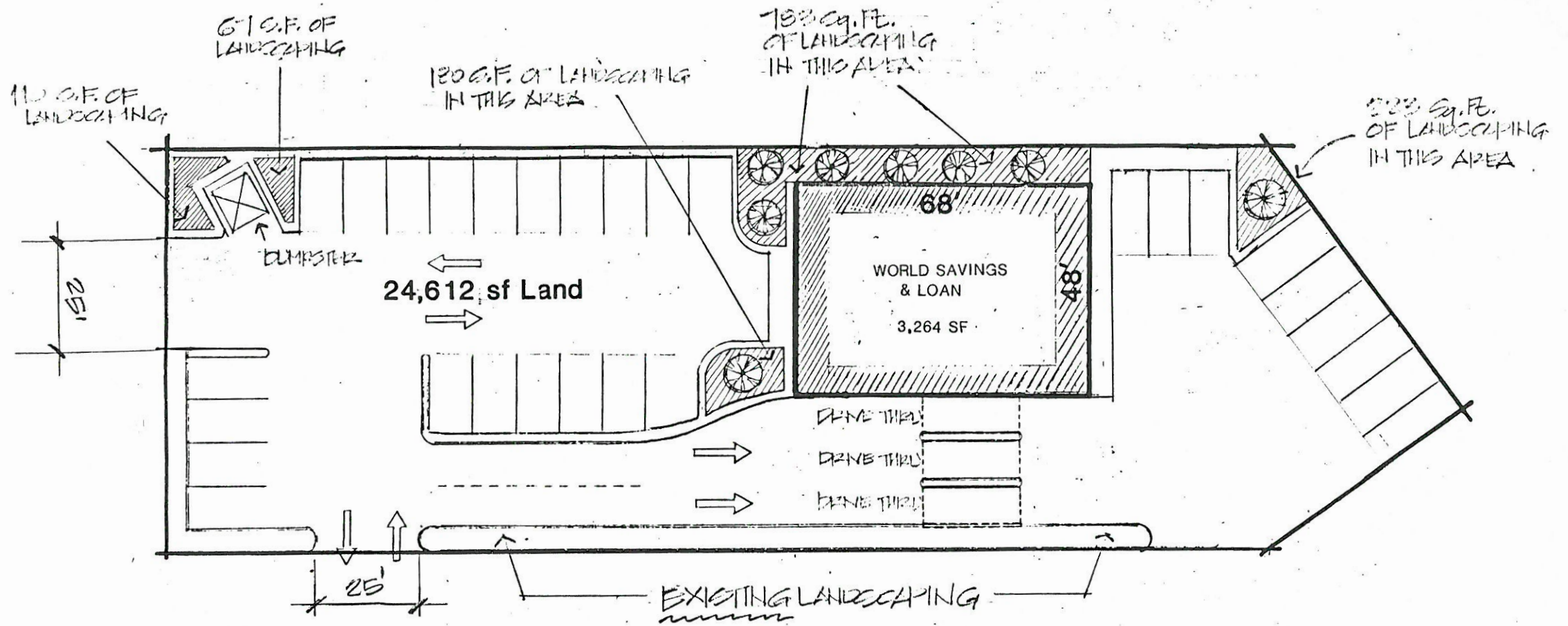
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PARKING REQUIRED @ 1:300		
SAFEMART	48,300 SF	145 spaces
Bldg. A	5,400 SF	21 spaces
Bldg. B	11,800 SF	39 spaces
Eckerd	3,640 SF	29 spaces
Beall's	24,888 SF	83 spaces
Bldg. D	36,482 SF	122 spaces
World Savings & Loan	11,250 SF	36 spaces
Bldg. E	3,264 SF	11 spaces
PARKING REQUIRED @ 1:200		
Bldg. C	11,400 SF	57 spaces*
Bldg. E	12,175 SF	61 spaces
Cinema (1,250 seats-1 parking space per 3 seats)	16,016 SF	416 spaces
Kiosks (4)	2,007 SF	8 spaces
PARKING REQUIRED @ 1:100		
5,400 SF Restaurant	5,400 SF	54 spaces
Fast Food Restaurant	2,580 SF	26 spaces
NATIONAL RESTAURANT - 4,000 @ 1:200	4,000 SF	20
TOTAL	193,633 SF	1730 required parking

NOTES:
1. REFER TO HAROLD EVANS, CIVIL ENGINEER, DIMENSIONAL CONTROL PLAN FOR DIMENSIONAL LAYOUT OF PAVING SPACES, BUILDINGS, ETC.
2. GENERAL CONTRACTOR TO PROVIDE 4" PVC CONDUIT UNDER PAVEMENT, APPROACHES & WALKS SO IRRIGATION SYSTEM CAN BE ATTACHED TO ALL PLANTING AREAS. COORDINATE WITH LANDSCAPE CONTRACTOR.

- LP - LIGHT POLE - REPE-1
- FH - FIRE HYDRANT - REPE-1 & CIVIL DRAWINGS.

Approved Revised Site Plan

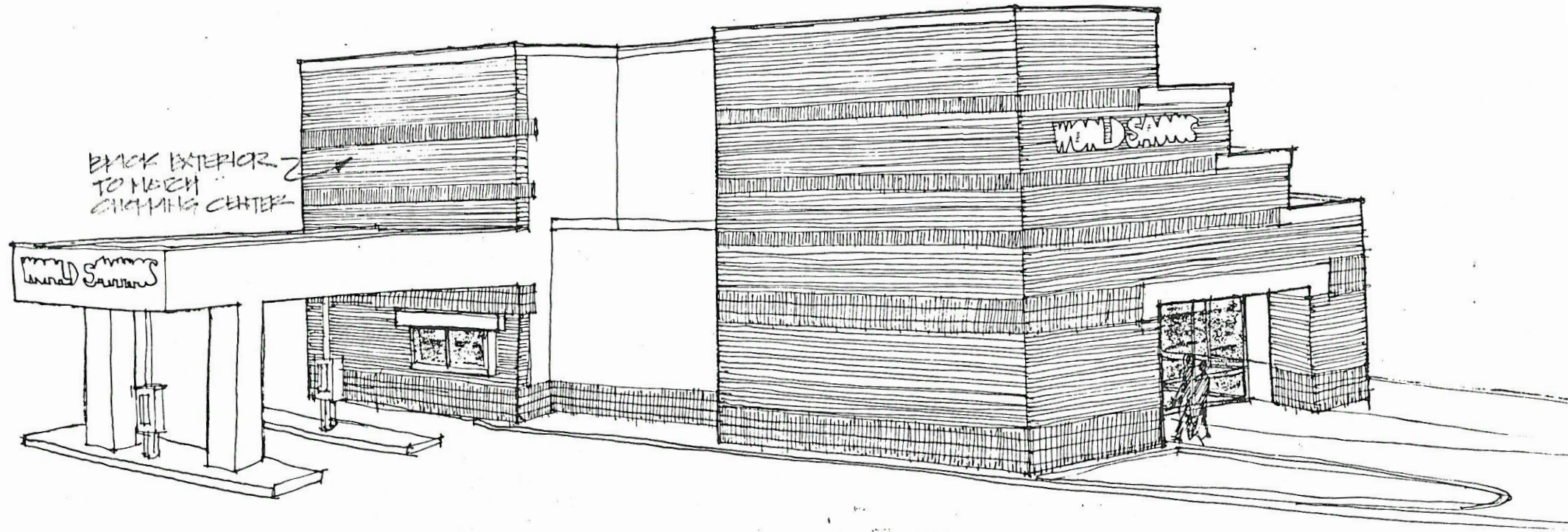
*City of Rockwall changed code for retail 7/15/85 1:200



SCALE 1" = 20'

WORLD SAVINGS - Landscaping Plan

1,363 s.f. Landscaping

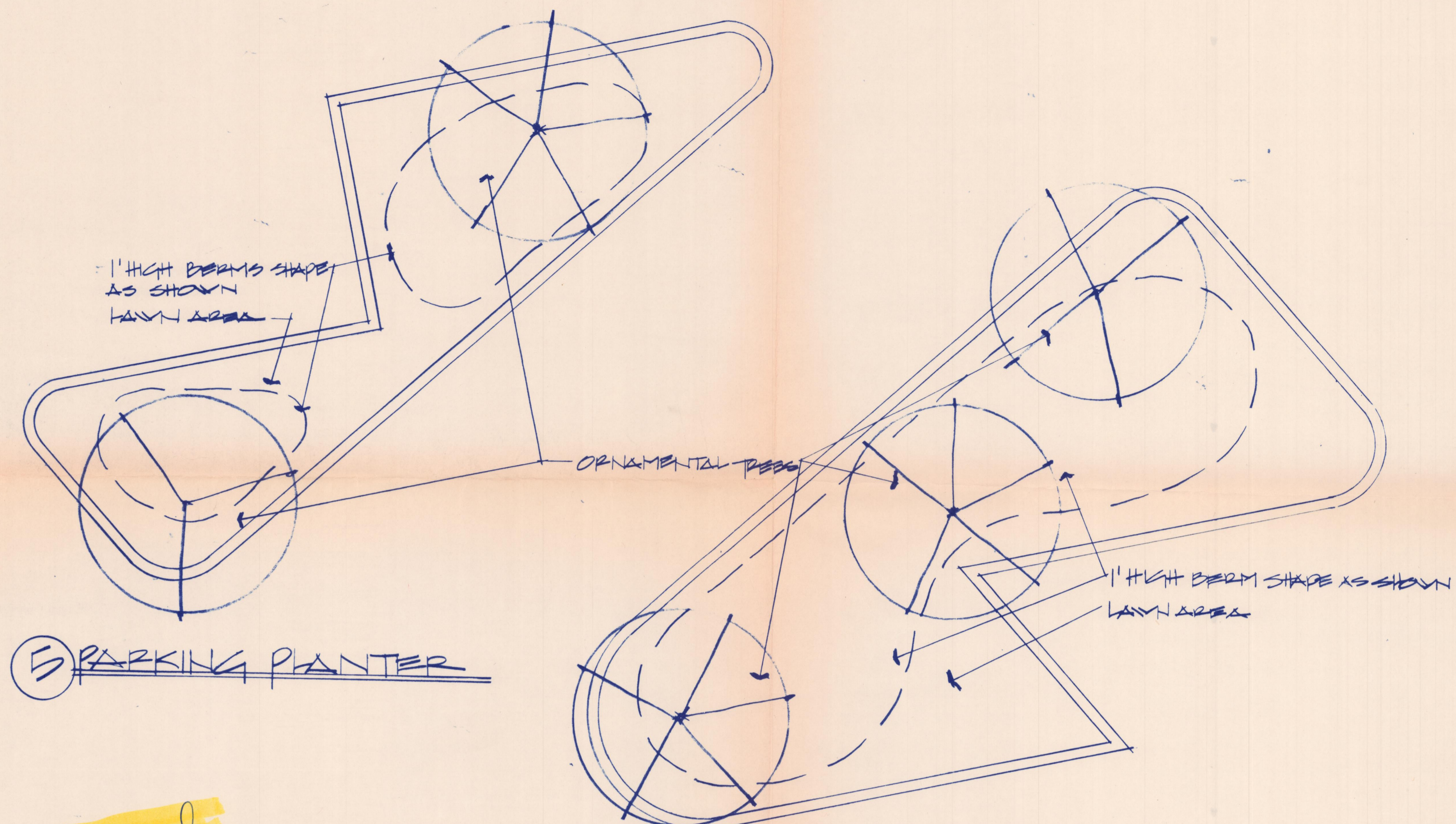


BRICK EXTERIOR
TO MATCH
CHICKENS CENTER

WORLD SAVINGS

WORLD SAVINGS

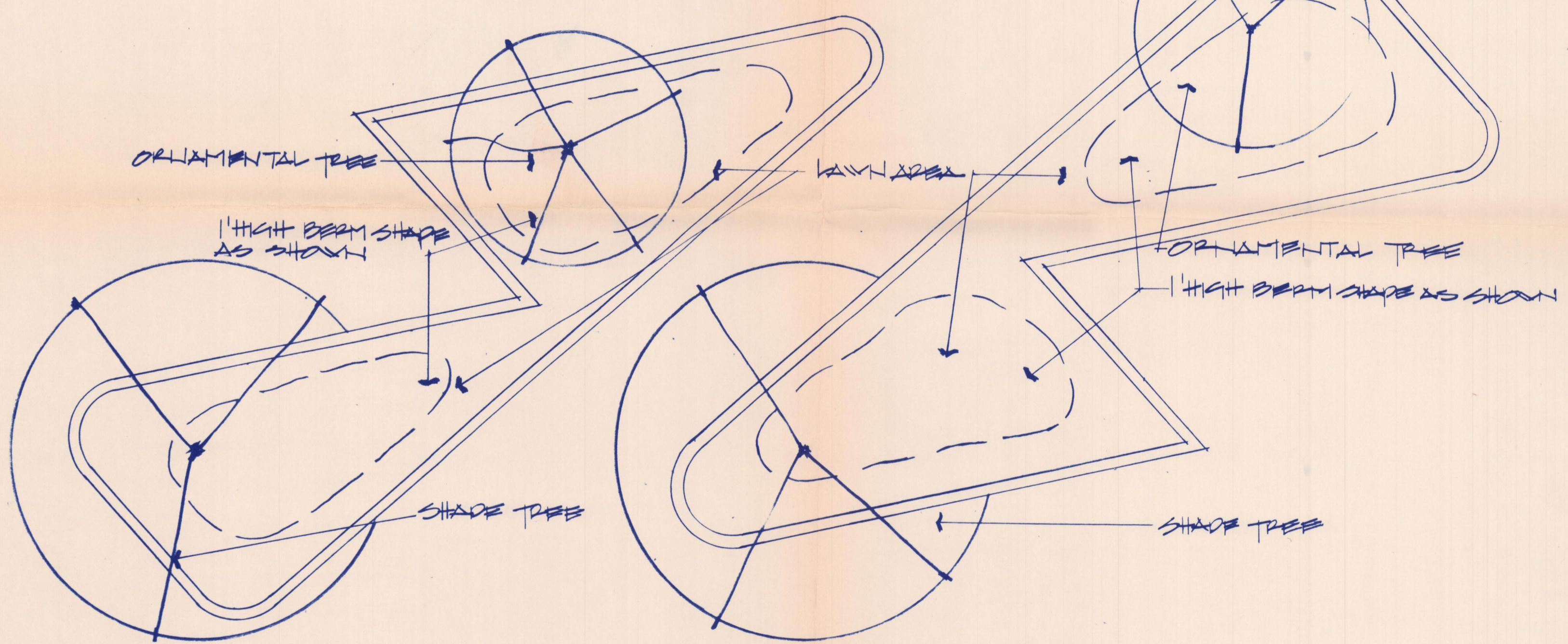
WORLD SAVINGS ELEVATION



5 PARKING PLANTER

6 PARKING PLANTER

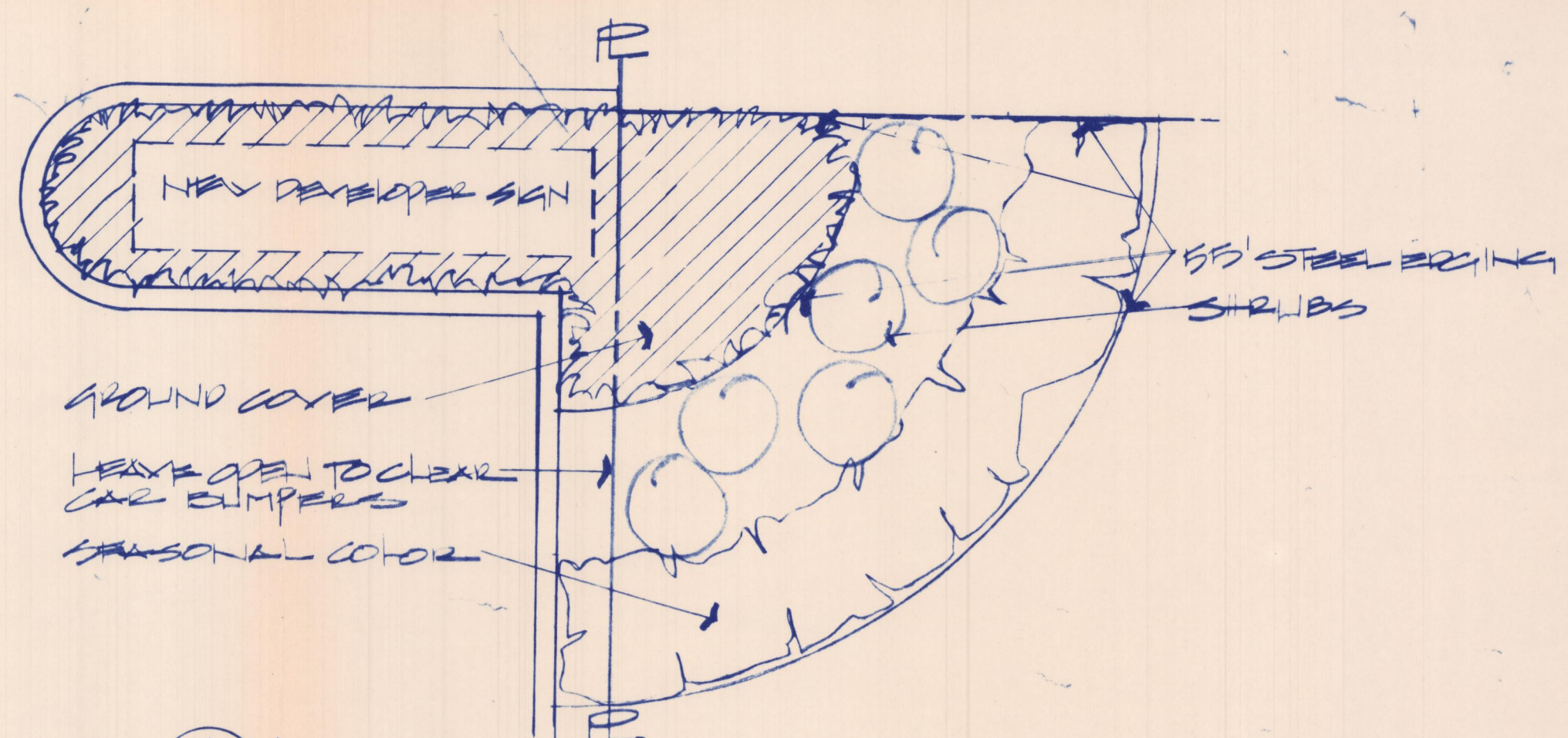
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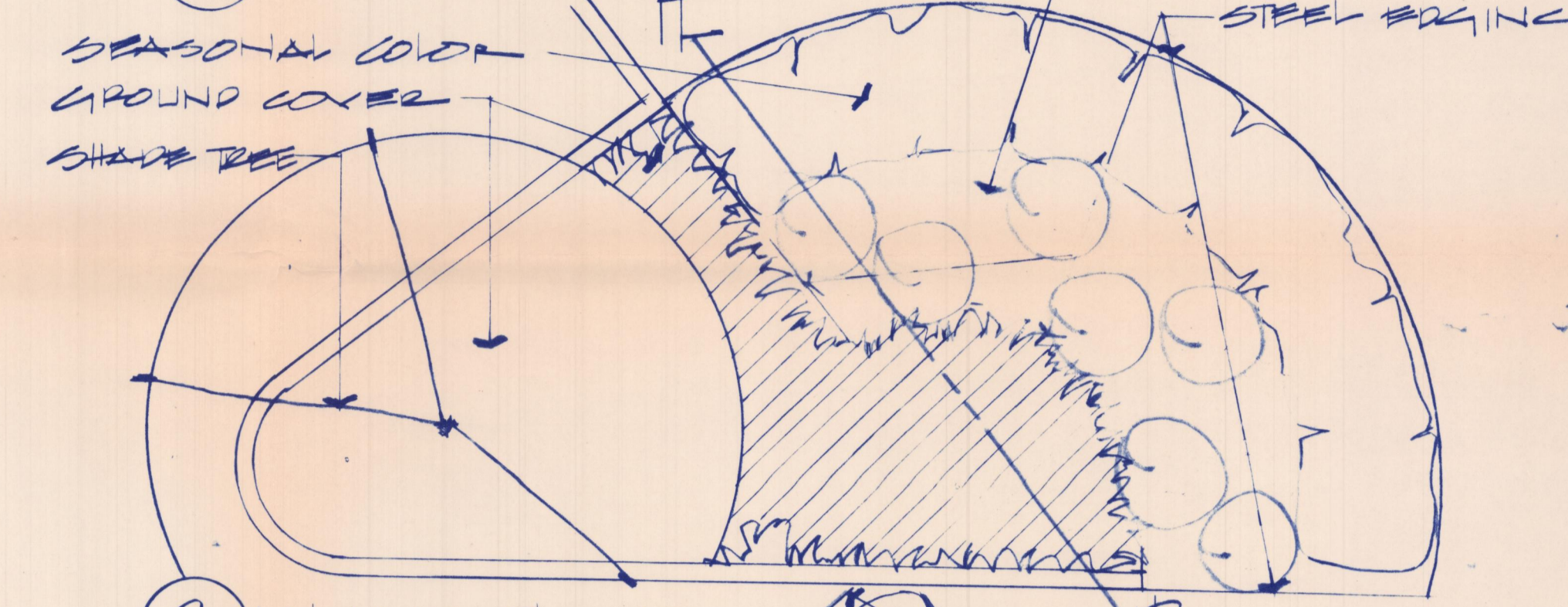
7 PARKING PLANTER

8 PARKING PLANTER

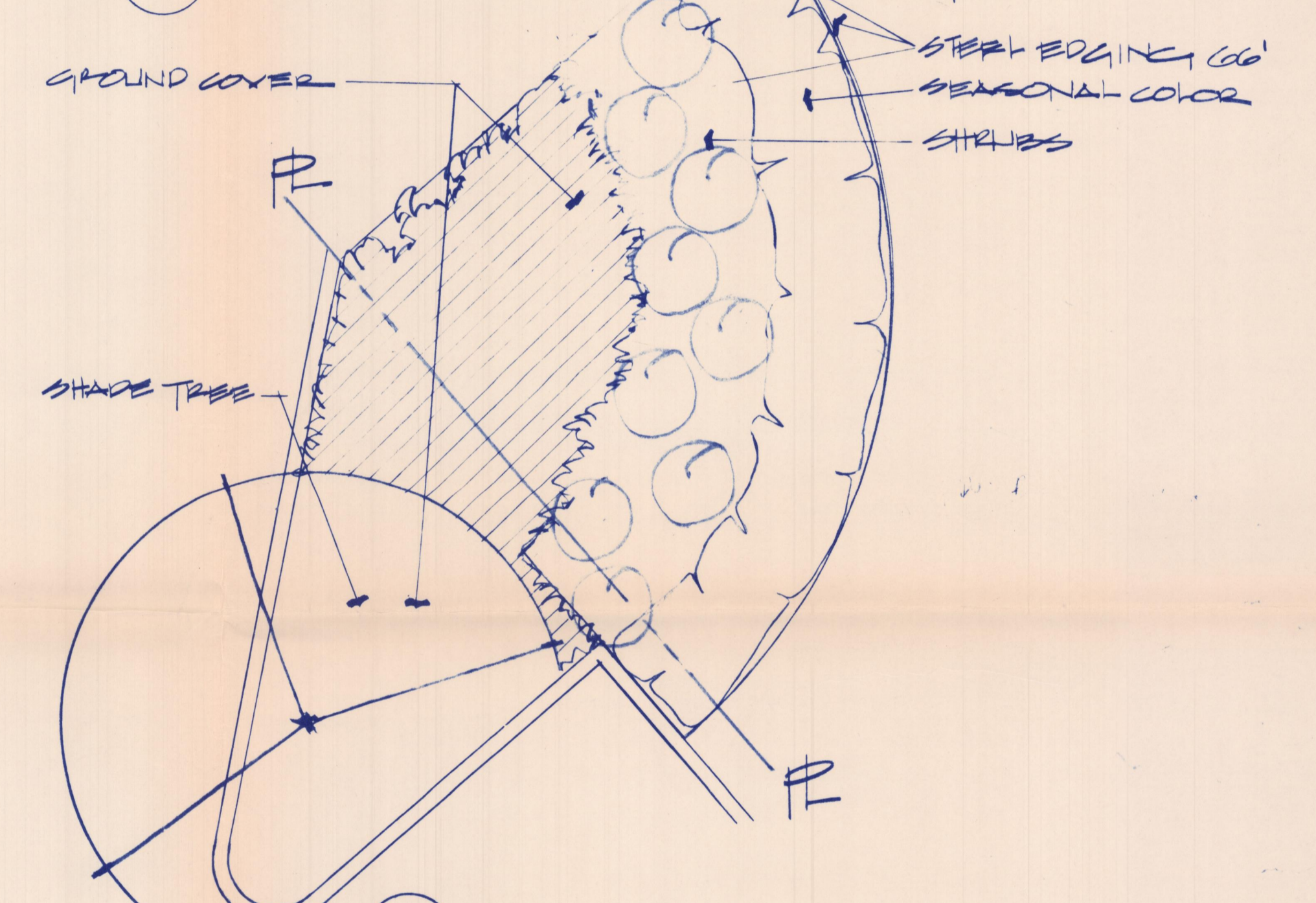
ISLAND PLANTER DETAILS
SCALE 1/4" = 1'-0"



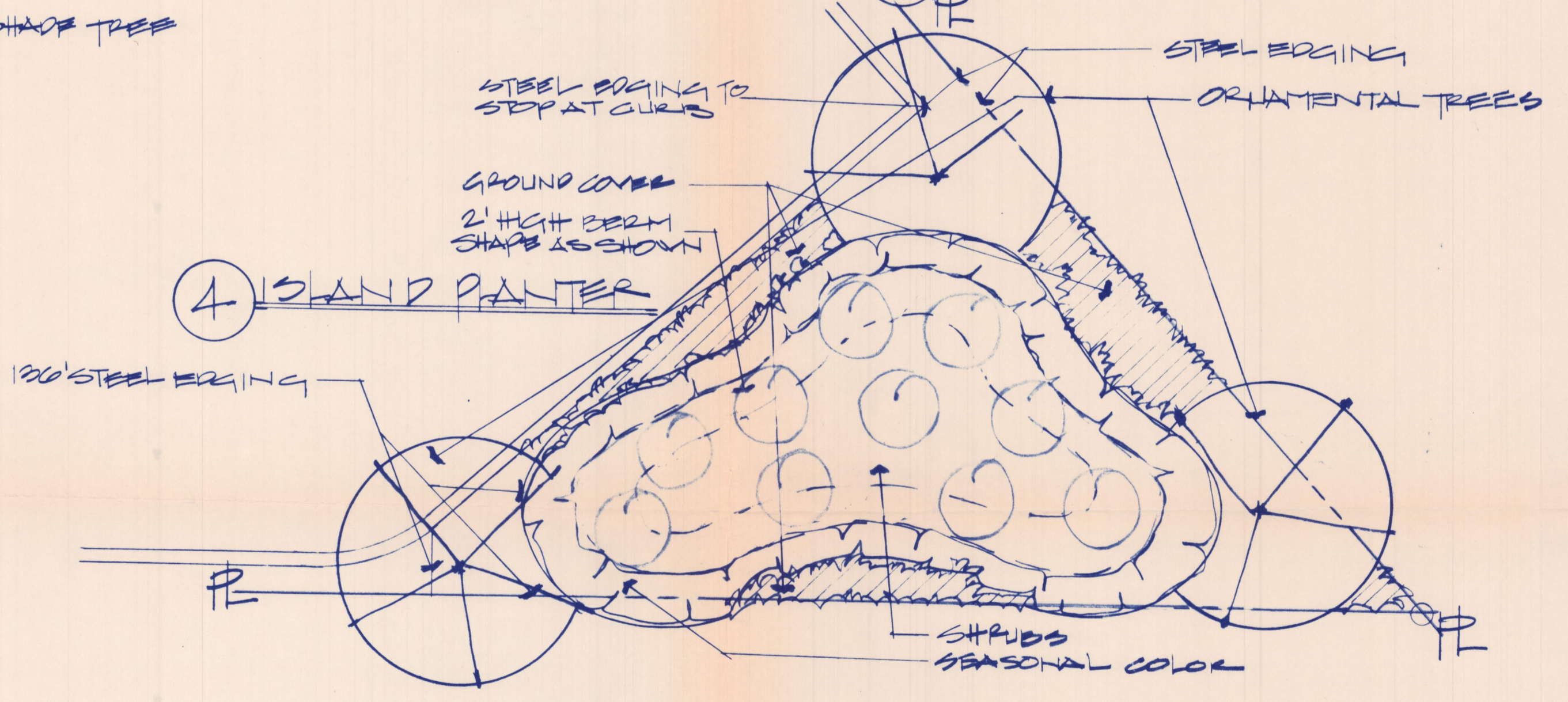
1 ISLAND PLANTER



2 ISLAND PLANTER



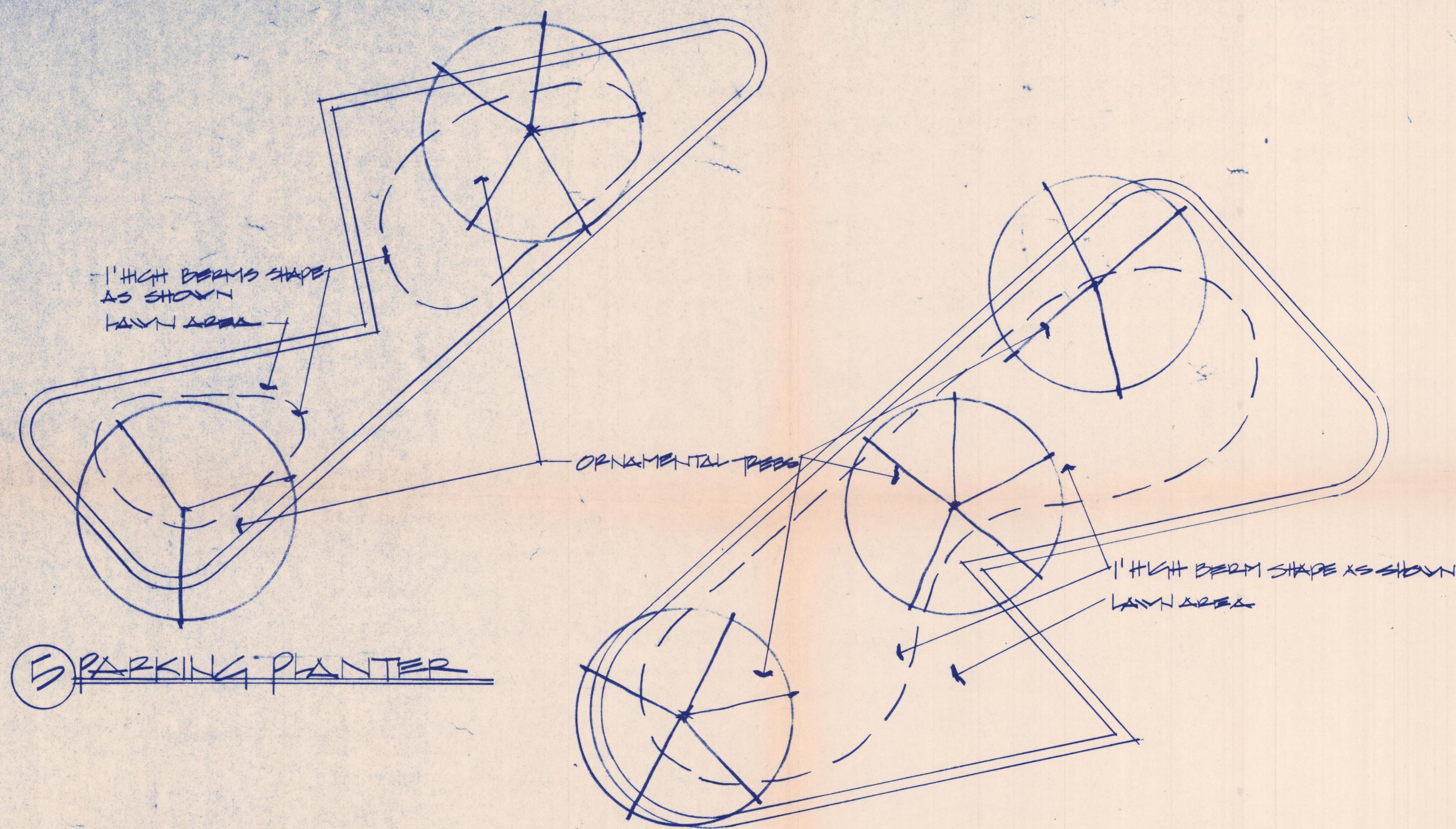
3 ISLAND PLANTER



4 ISLAND PLANTER

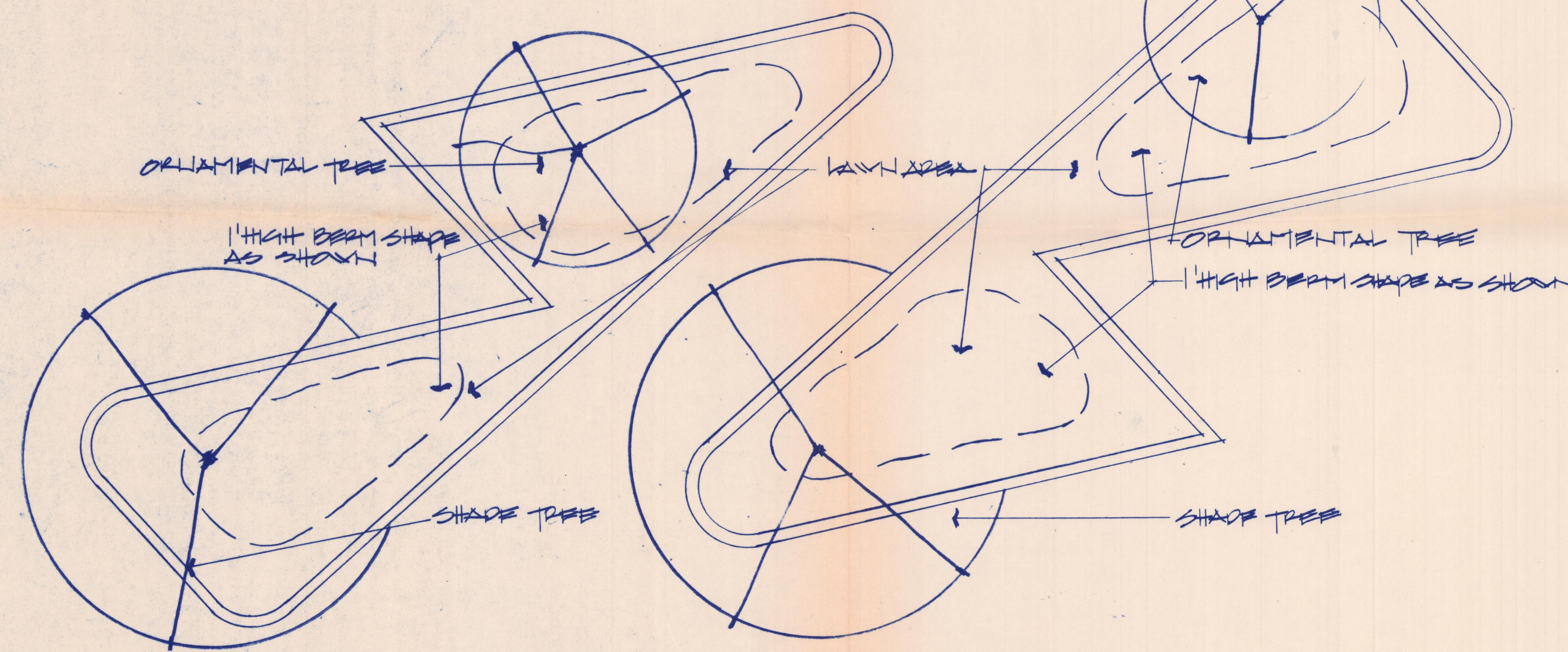
NO	PLANT MATERIAL	QUANTITY
1	120' STEEL EDGING STRIPS	120'
2	60' STEEL EDGING STRIPS	60'
3	120' STEEL EDGING STRIPS	120'
4	120' STEEL EDGING STRIPS	120'
5	120' STEEL EDGING STRIPS	120'
6	120' STEEL EDGING STRIPS	120'
7	120' STEEL EDGING STRIPS	120'
8	120' STEEL EDGING STRIPS	120'
9	120' STEEL EDGING STRIPS	120'
10	120' STEEL EDGING STRIPS	120'
11	120' STEEL EDGING STRIPS	120'
12	120' STEEL EDGING STRIPS	120'
13	120' STEEL EDGING STRIPS	120'
14	120' STEEL EDGING STRIPS	120'
15	120' STEEL EDGING STRIPS	120'
16	120' STEEL EDGING STRIPS	120'
17	120' STEEL EDGING STRIPS	120'
18	120' STEEL EDGING STRIPS	120'
19	120' STEEL EDGING STRIPS	120'
20	120' STEEL EDGING STRIPS	120'

CARLISLE PROPERTY CO.
Landscape Plan - Phase II



5 PARKING PLANTER

6 PARKING PLANTER

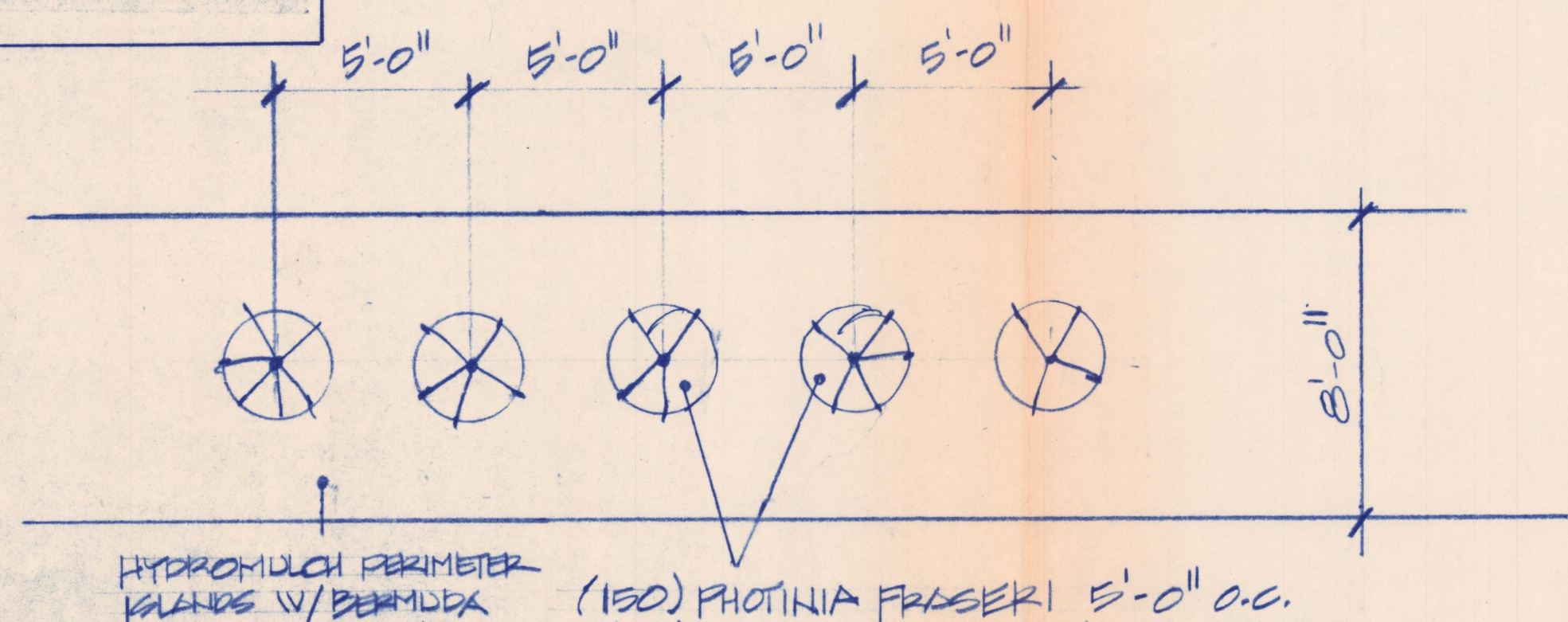


7 PARKING PLANTER

8 PARKING PLANTER

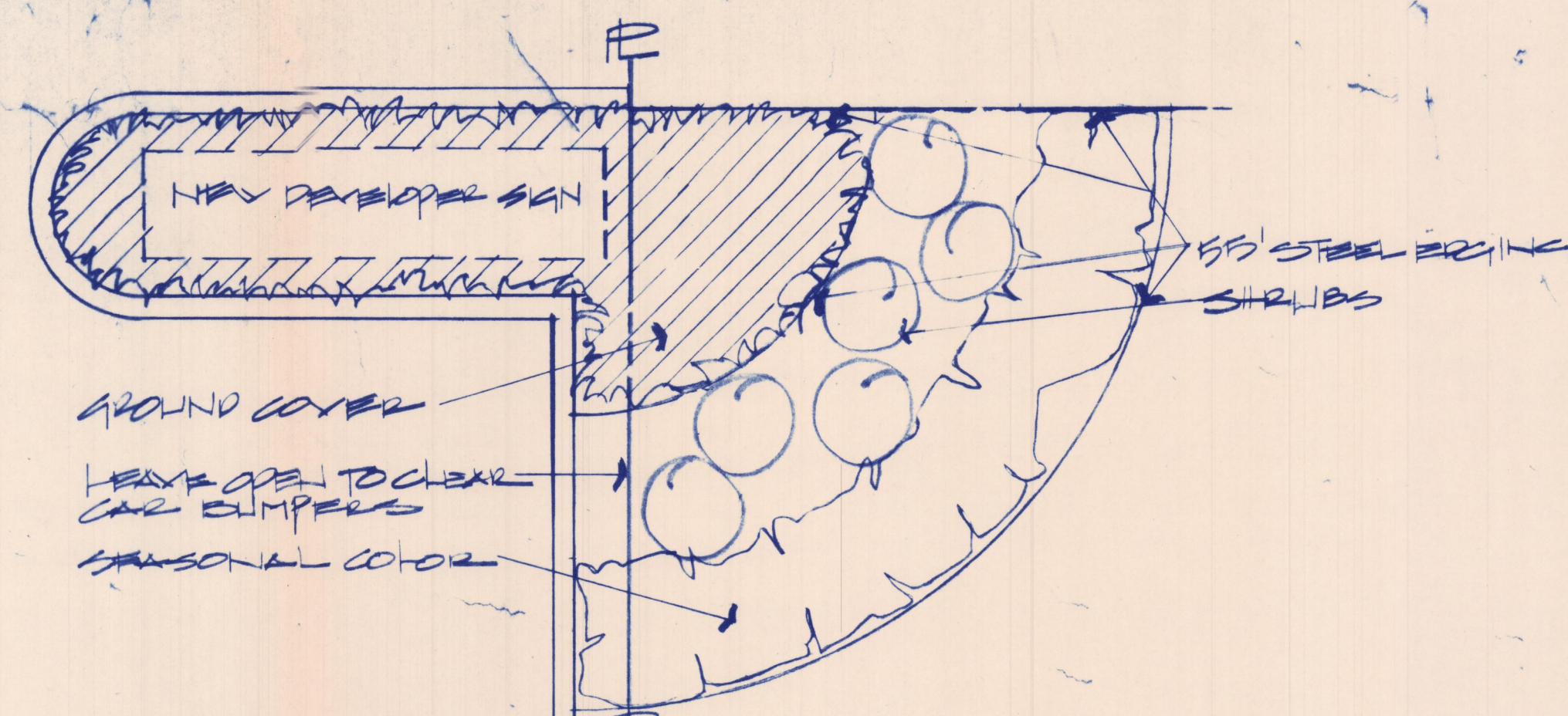
ISLAND PLANTER DETAILS

SCALE 1/4" = 1'-0"
 CARLISLE PROPERTY CO.
 Landscape Plan - Phase II
 6/5/86



4A Screening Along County Road

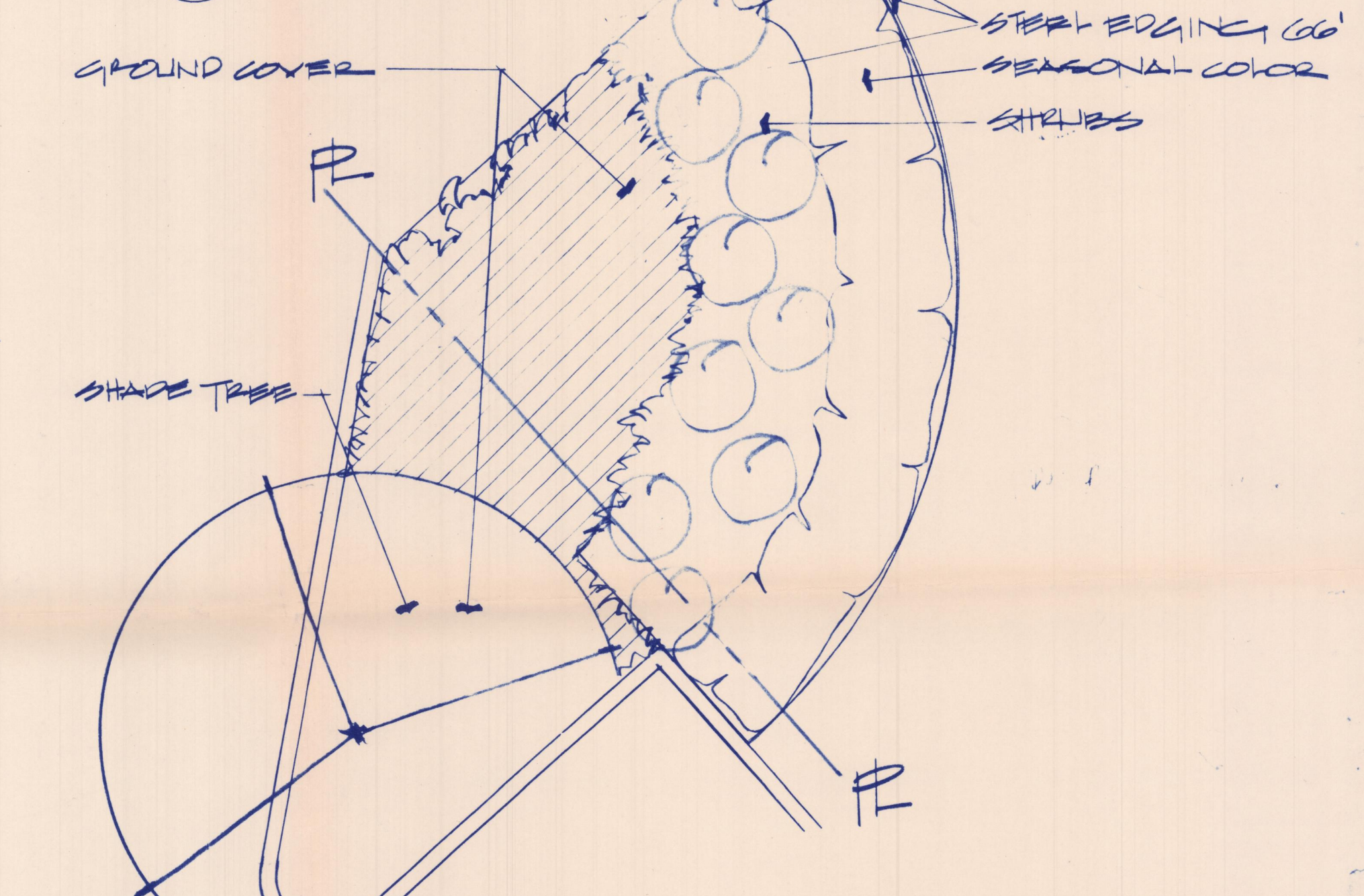
(150) PHOTINIA FRASERI 5'-0" O.C.
 4'-6" H.G. GROWN TO SCREEN COUNTY ROAD FROM F.M. 140 TO EDGE OF BLDG. "A" OR GATEWAY BURG.



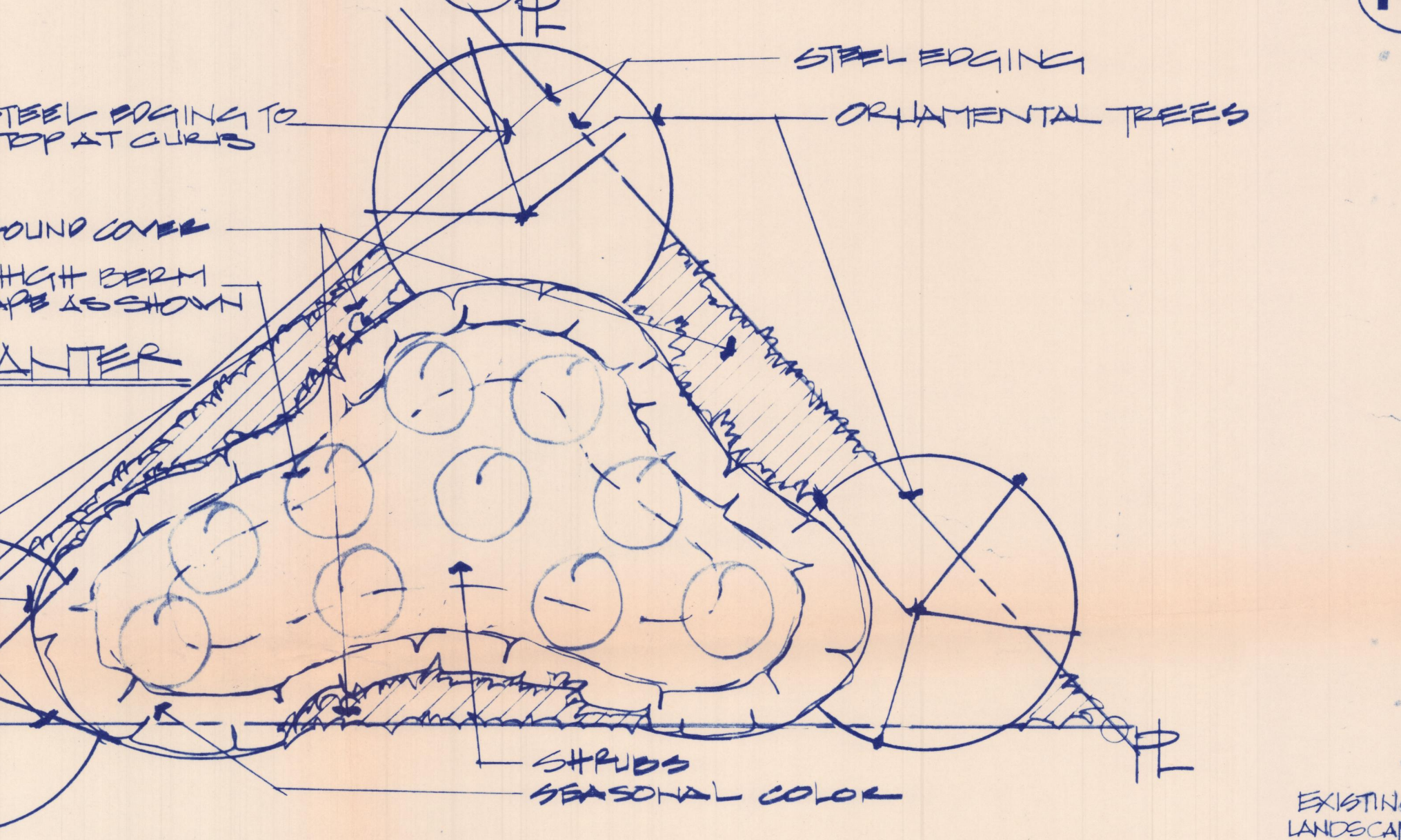
1 ISLAND PLANTER



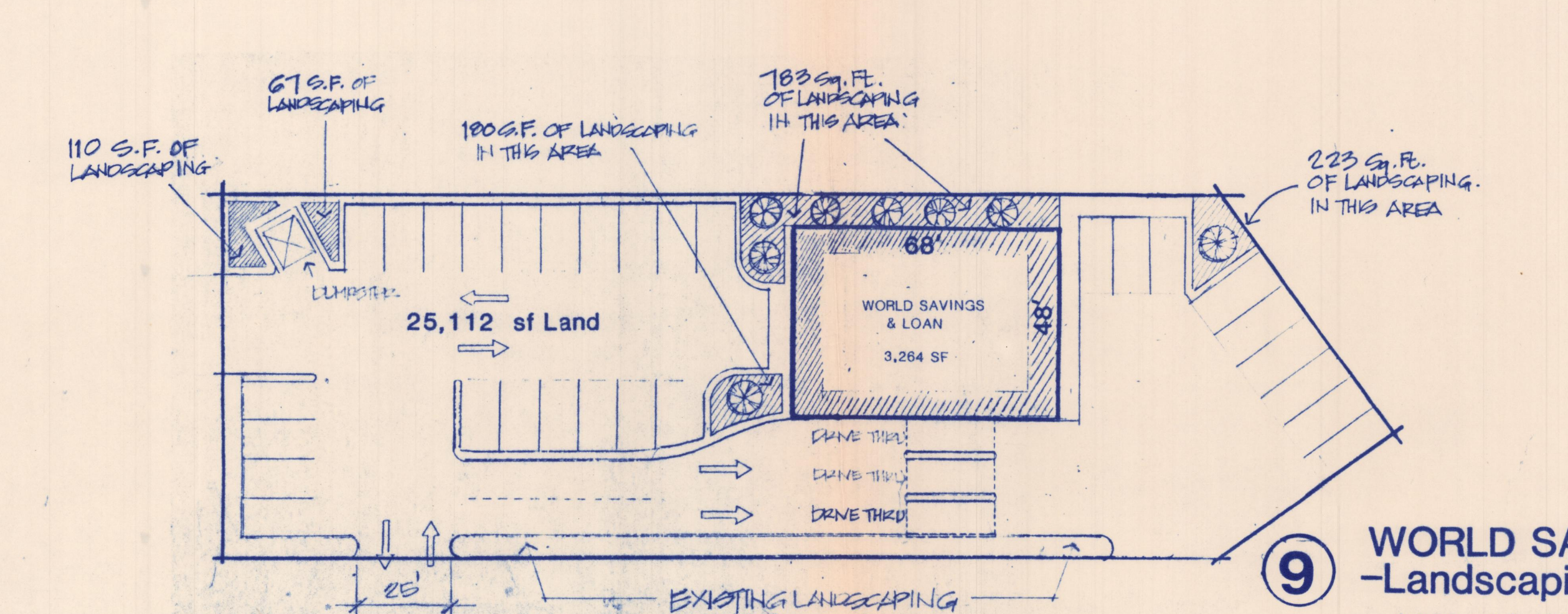
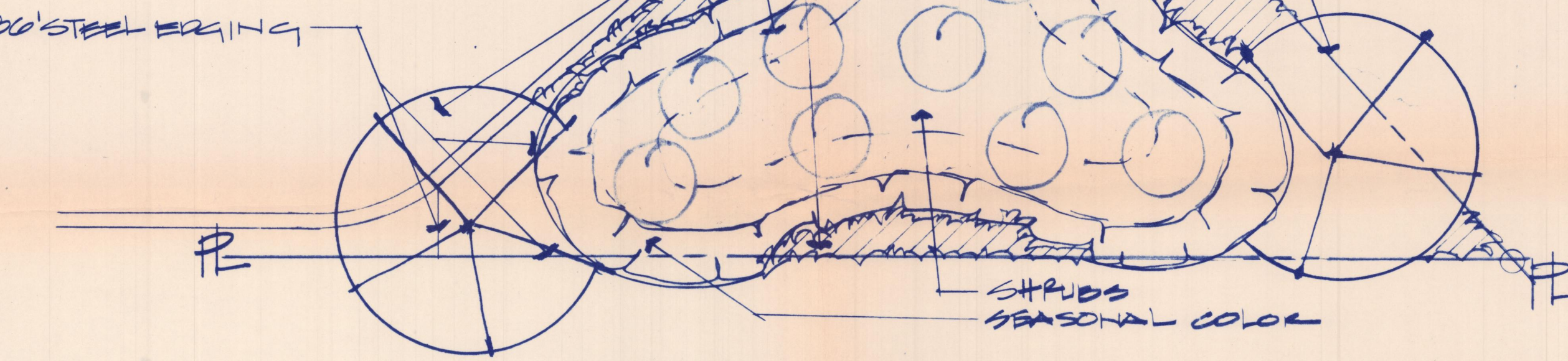
2 ISLAND PLANTER



3 ISLAND PLANTER

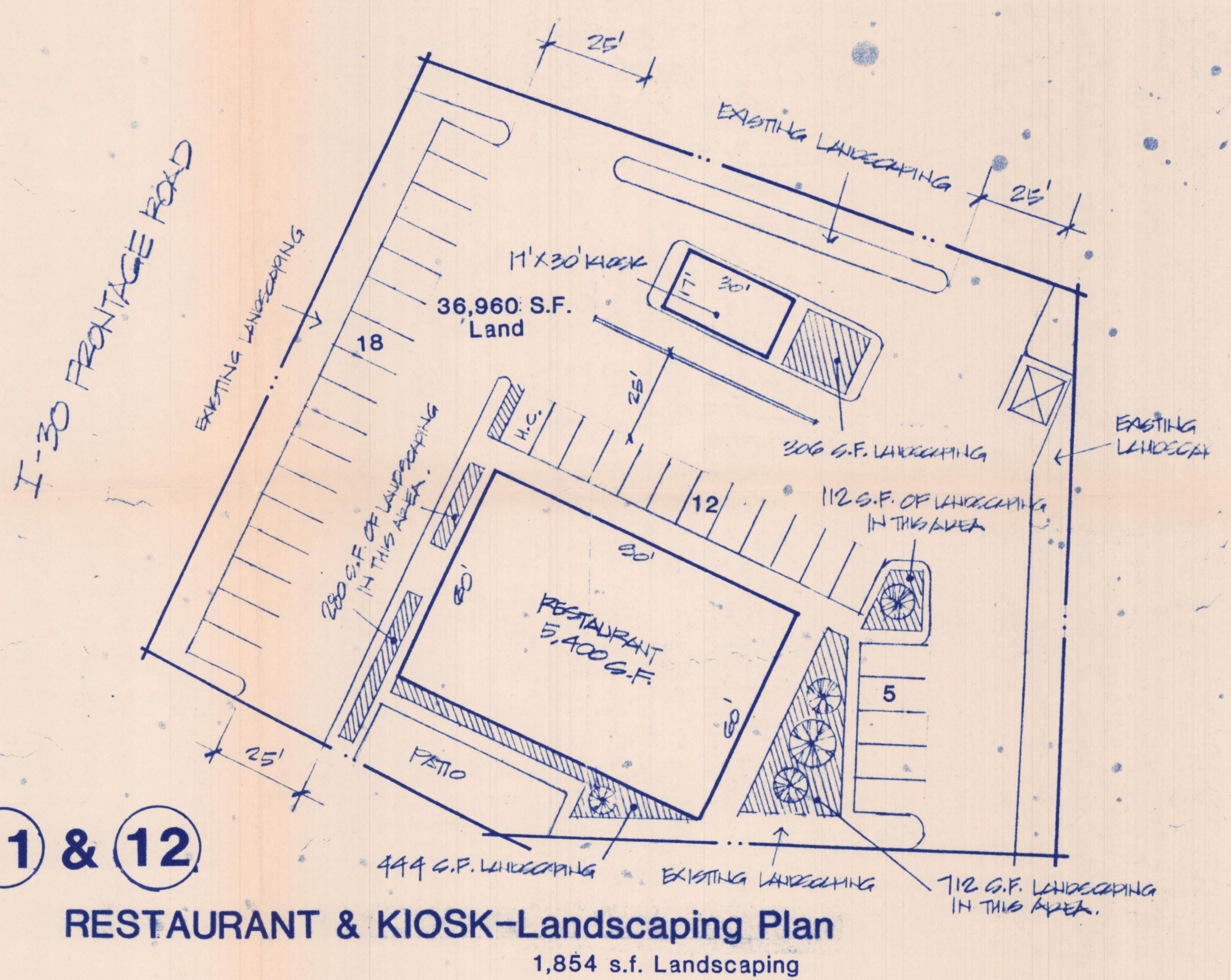


4 ISLAND PLANTER

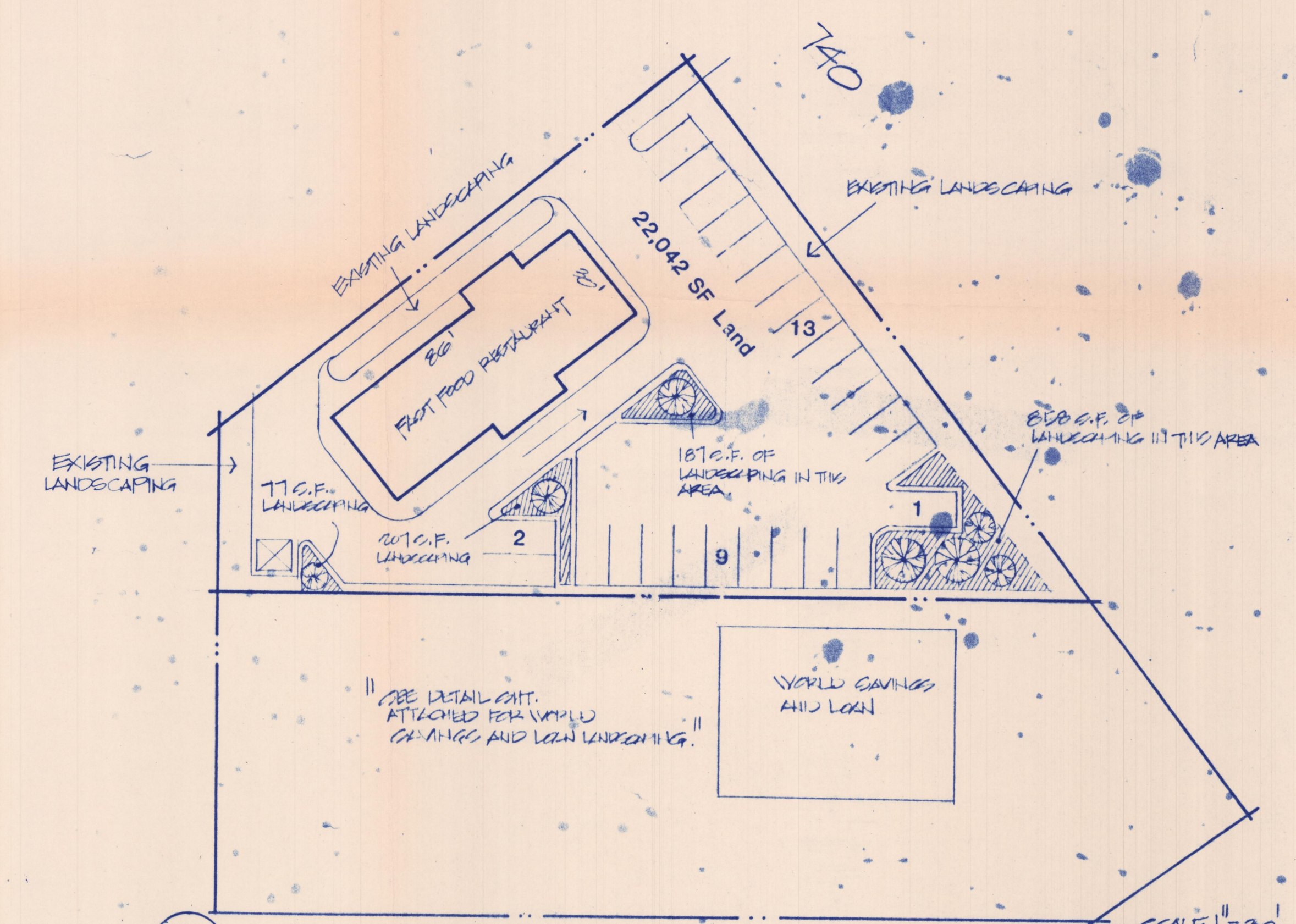


9 WORLD SAVINGS -Landscaping Plan
 1,363 s.f. Landscaping

NO.	PLANT	PLANT MATERIAL	QTY
1	LA	HYDROMULCH BERMUDA	200
2	LA	HYDROMULCH BERMUDA	200
3	LA	HYDROMULCH BERMUDA	200
4	LA	HYDROMULCH BERMUDA	200
5	LA	HYDROMULCH BERMUDA	200
6	LA	HYDROMULCH BERMUDA	200
7	LA	HYDROMULCH BERMUDA	200
8	LA	HYDROMULCH BERMUDA	200
9	LA	HYDROMULCH BERMUDA	200
10	LA	HYDROMULCH BERMUDA	200
11	LA	HYDROMULCH BERMUDA	200
12	LA	HYDROMULCH BERMUDA	200
13	LA	HYDROMULCH BERMUDA	200
14	LA	HYDROMULCH BERMUDA	200
15	LA	HYDROMULCH BERMUDA	200
16	LA	HYDROMULCH BERMUDA	200
17	LA	HYDROMULCH BERMUDA	200
18	LA	HYDROMULCH BERMUDA	200
19	LA	HYDROMULCH BERMUDA	200
20	LA	HYDROMULCH BERMUDA	200
21	LA	HYDROMULCH BERMUDA	200
22	LA	HYDROMULCH BERMUDA	200
23	LA	HYDROMULCH BERMUDA	200
24	LA	HYDROMULCH BERMUDA	200
25	LA	HYDROMULCH BERMUDA	200
26	LA	HYDROMULCH BERMUDA	200
27	LA	HYDROMULCH BERMUDA	200
28	LA	HYDROMULCH BERMUDA	200
29	LA	HYDROMULCH BERMUDA	200
30	LA	HYDROMULCH BERMUDA	200

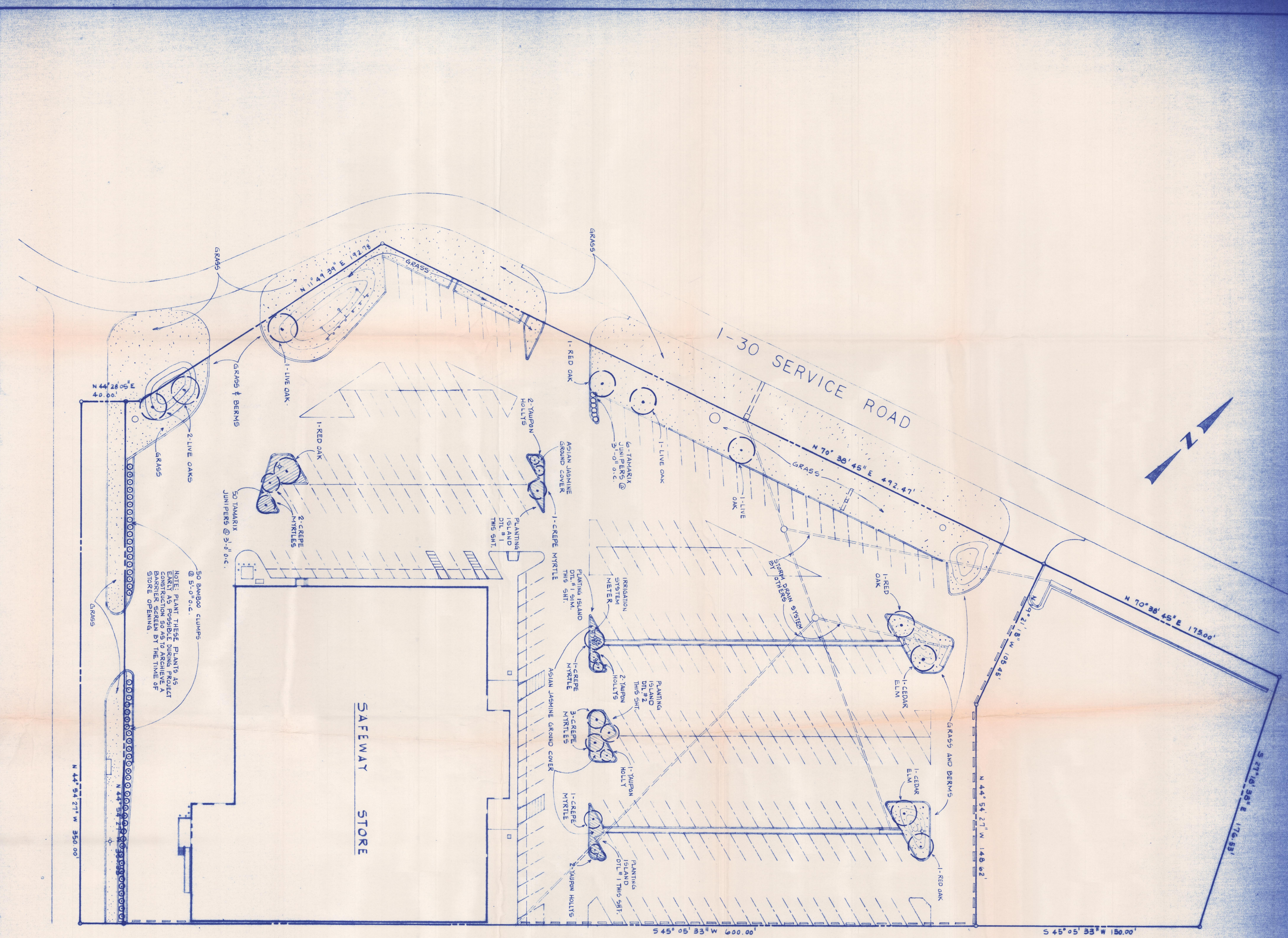


11 & 12 RESTAURANT & KIOSK -Landscaping Plan
 1,854 s.f. Landscaping



10 FAST FOOD RESTAURANT -Landscaping Plan
 1,329 s.f. Landscaping

3rd sub



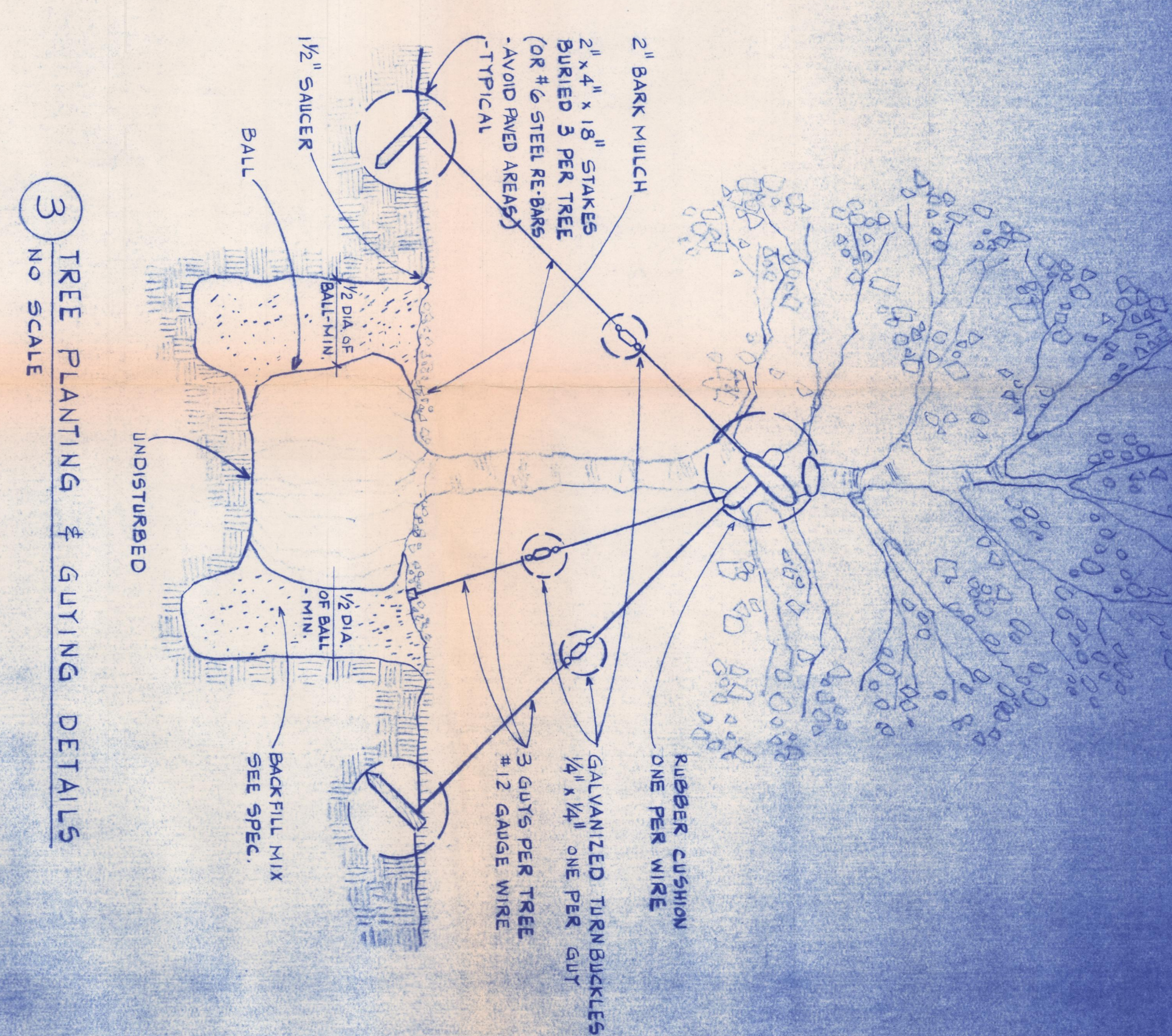
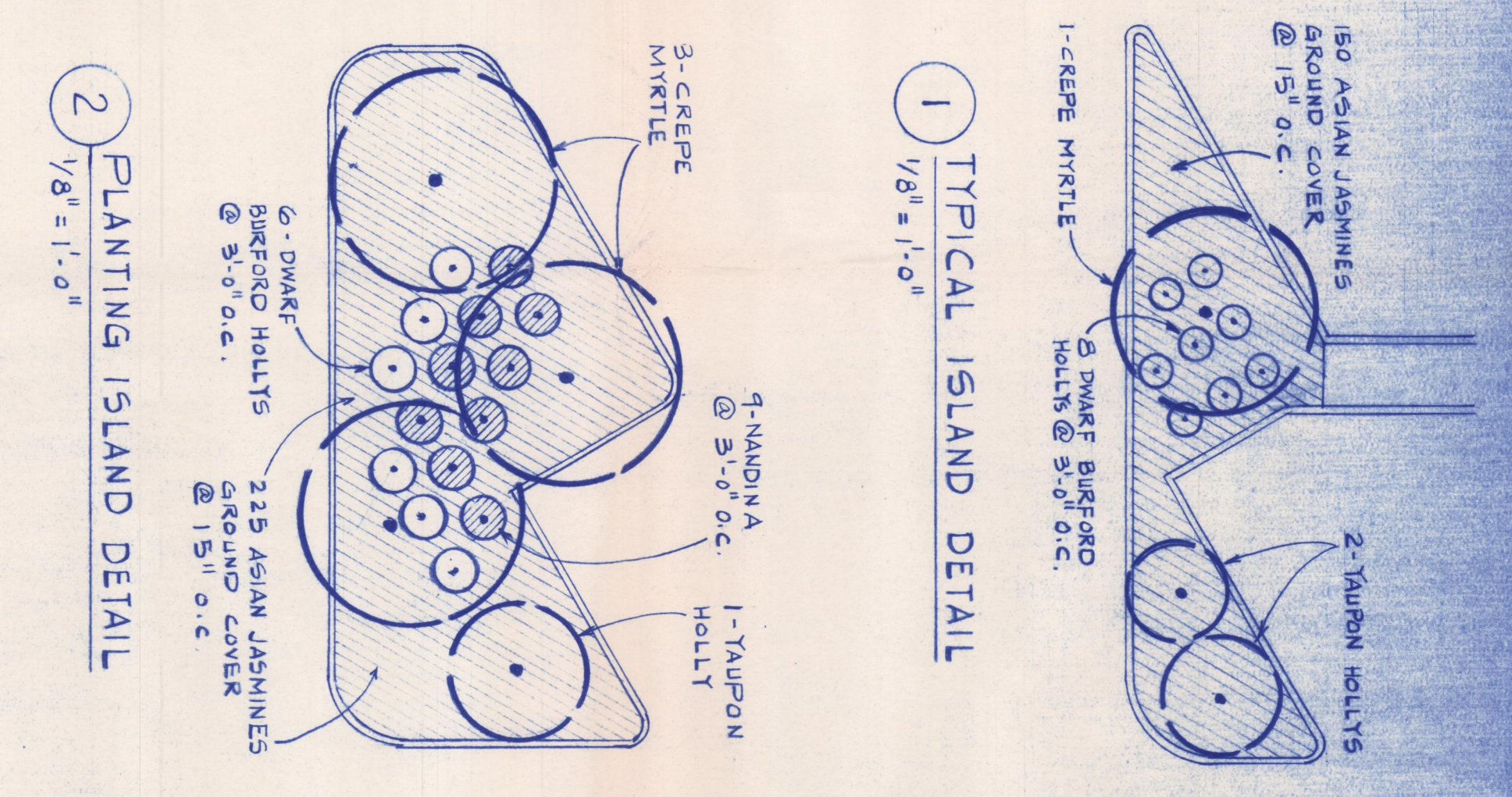
LANDSCAPE NOTES:

1. VERIFY LOCATIONS OF UNDERGROUND UTILITIES AND REFERRED WORK IN A HANDEX TO AVOID POSSIBLE DAMAGE.
2. COORDINATE WORK WITH IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO PIPES AND TO DETERMINE EXACT LAYOUT OF SPRINKLER HEADS AND PLANTS.
3. SEE SHEET 22 FOR IRRIGATION SYSTEM.

LANDSCAPE PLANTING PLAN

1" = 30'-0"

NOTE: AREA OF PLANTING PROVIDED WITHIN PROJECT PROPERTY LINE (17,210 S.F. (71.65% OF GRASS LAND AREA))



COMMON NAME	BOTANICAL NAME	MINIMUM ACCEPTABLE SIZE	REMARKS		
TREES:	HEIGHT (TYPICAL)	ROOT CAL.			
YUCCA HOLLY-TREE FORM	YUCCA VONTORIA	6'-0"	4"	3.1 B	THIN PACKAGE AT PLANTING PRIOR TO TREE FORM.
CREPE MYRTLE-TREE FORM	LAEOPHYLLA INCA NERDSEY	8'-0"	4"	3.1 B	THIN PACKAGE AT PLANTING PRIOR TO TREE FORM.
RED OAK	QUELUS VIRGINIANA	8'-0"	3"	3.1 B	LOWER BRANCH MIN. 2'-0" ABOVE TOP OF BAL-DAVY
CEDEAR ELM	ULMUS CRASSIFOLIA	8'-0"	3"	3.1 B	"
SHRUBS:					
NANDINA	NANDINA DOMESTICA	1'-0"	1'-0"	2 GAL.	FULL, SYMMETRICAL
DIKANE BURFORD HOLLY	ILEX CORNUTA BURFORDI	2'-0"	1'-0"	2 GAL.	FULL, SYMMETRICAL
TAKIARI JUNIPER	JUNIPERUS SIBIRA THUNBERGII	8"	1'-0"	1 GAL.	FULL
GOLDEN BAMBOO	BAMBUSA PHYLLOSPORA AUKA	6"	2"	5 GAL.	FULL, WELL KEPT CLUMPS
GROUND COVERS:					
ASIAN JASMINE	TRACHELOSPERMA ASIATICUM	3"	8"	4 POT	HEMISPHERICAL 3" DIA. POT. 4" HIGHER
BERNHUDA GRASS					100% BERMUDA GRASS. 1" SEED PER 500 SQT. 1" HIGHER. 1" HIGHER.

REVISIONS			
DATE	BY	REVISION	FOR NO.
SEPT 21, 1984	DR	ISSUE FOR NO.	03-0678-01

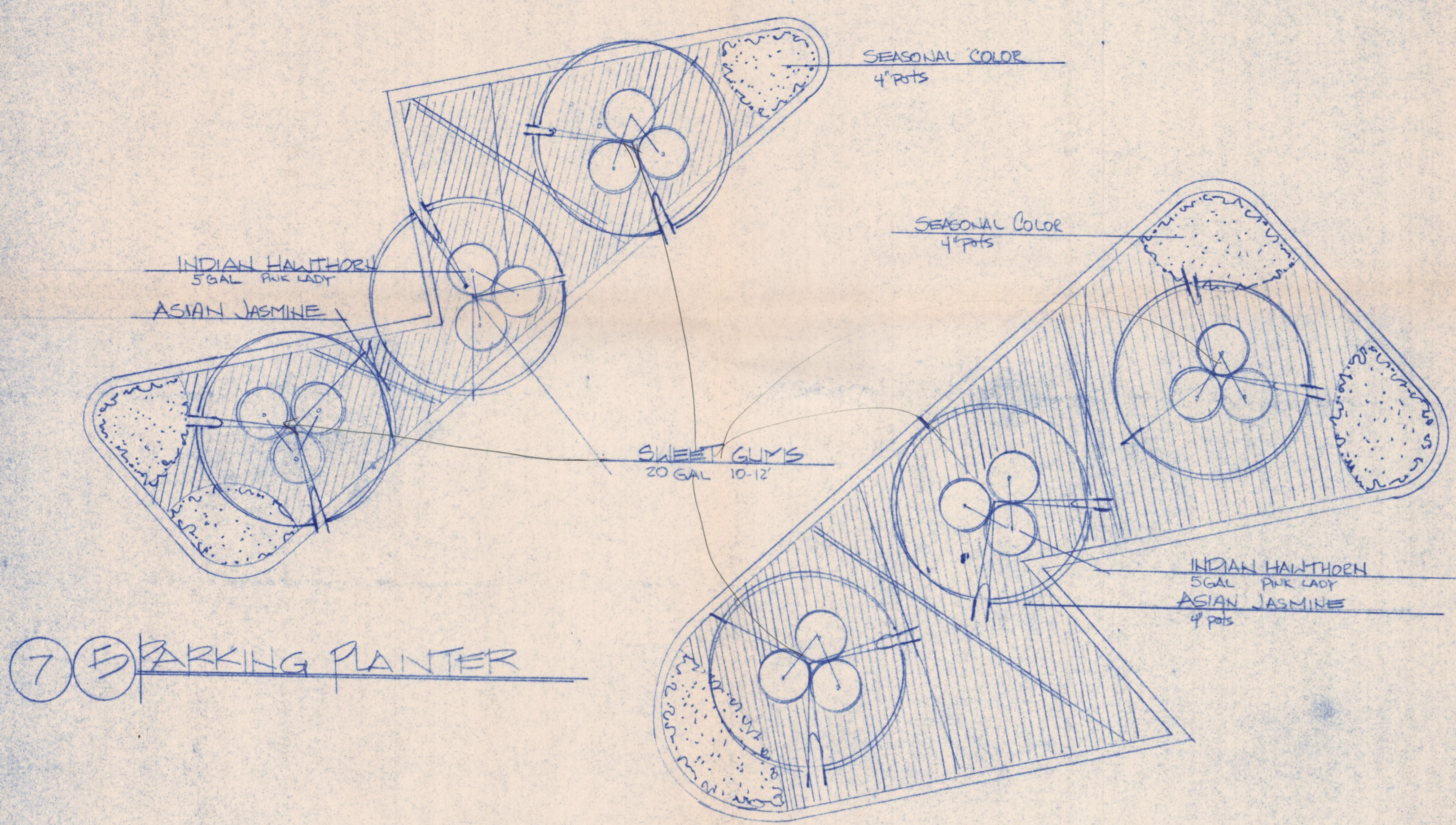
LANDSCAPE PLANTING PLAN

A NEW STORE BUILDING
LOCATED AT
S.W.C. HWY. I-30 AND
ROCKWALL, TEXAS

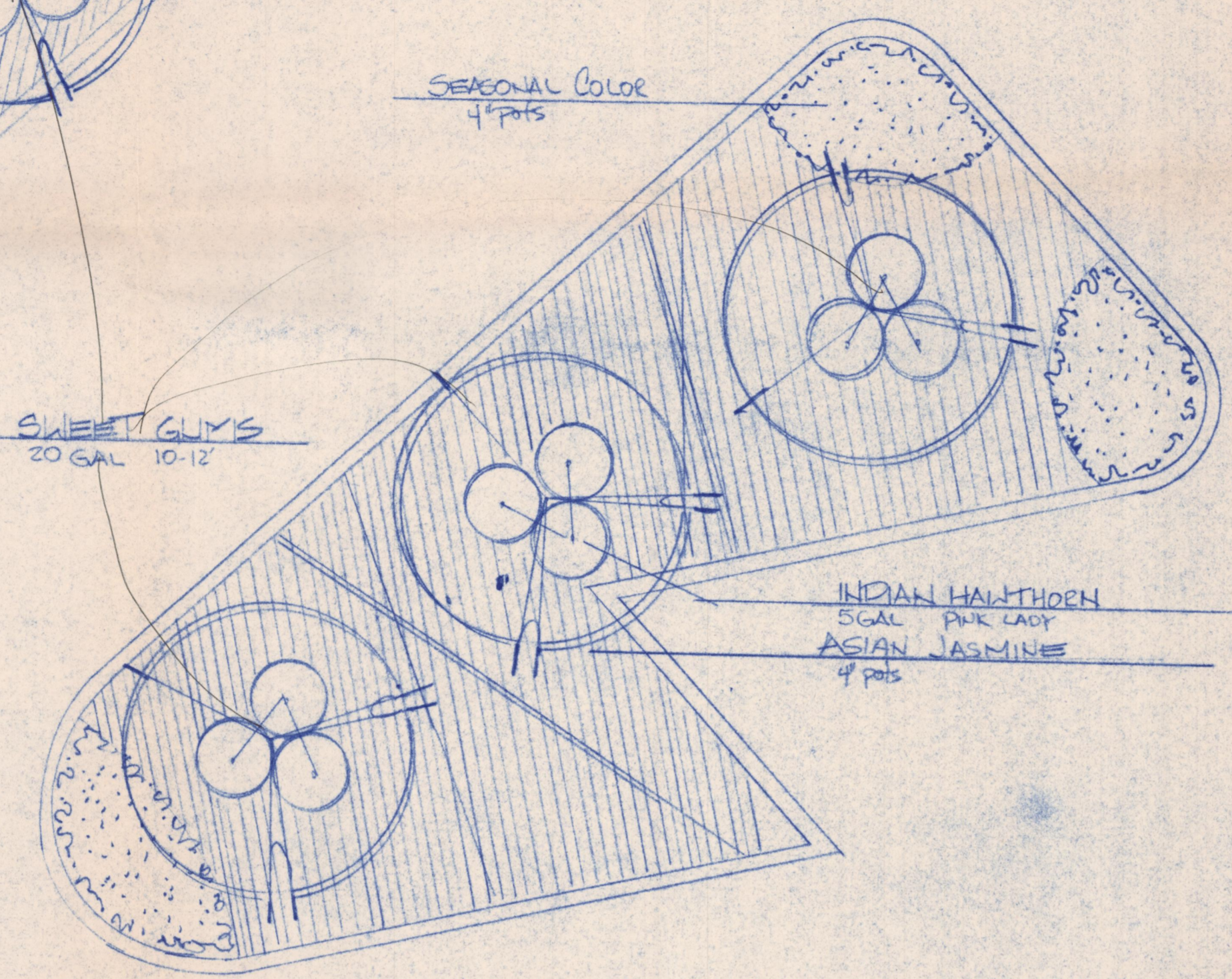
FOR
SAFeway STORES, INCORPORATED

DALLAS RETAIL DIVISION
DESIGN AND CONSTRUCTION DEPARTMENTS
9111 GARLAND RD.
DALLAS, TEXAS

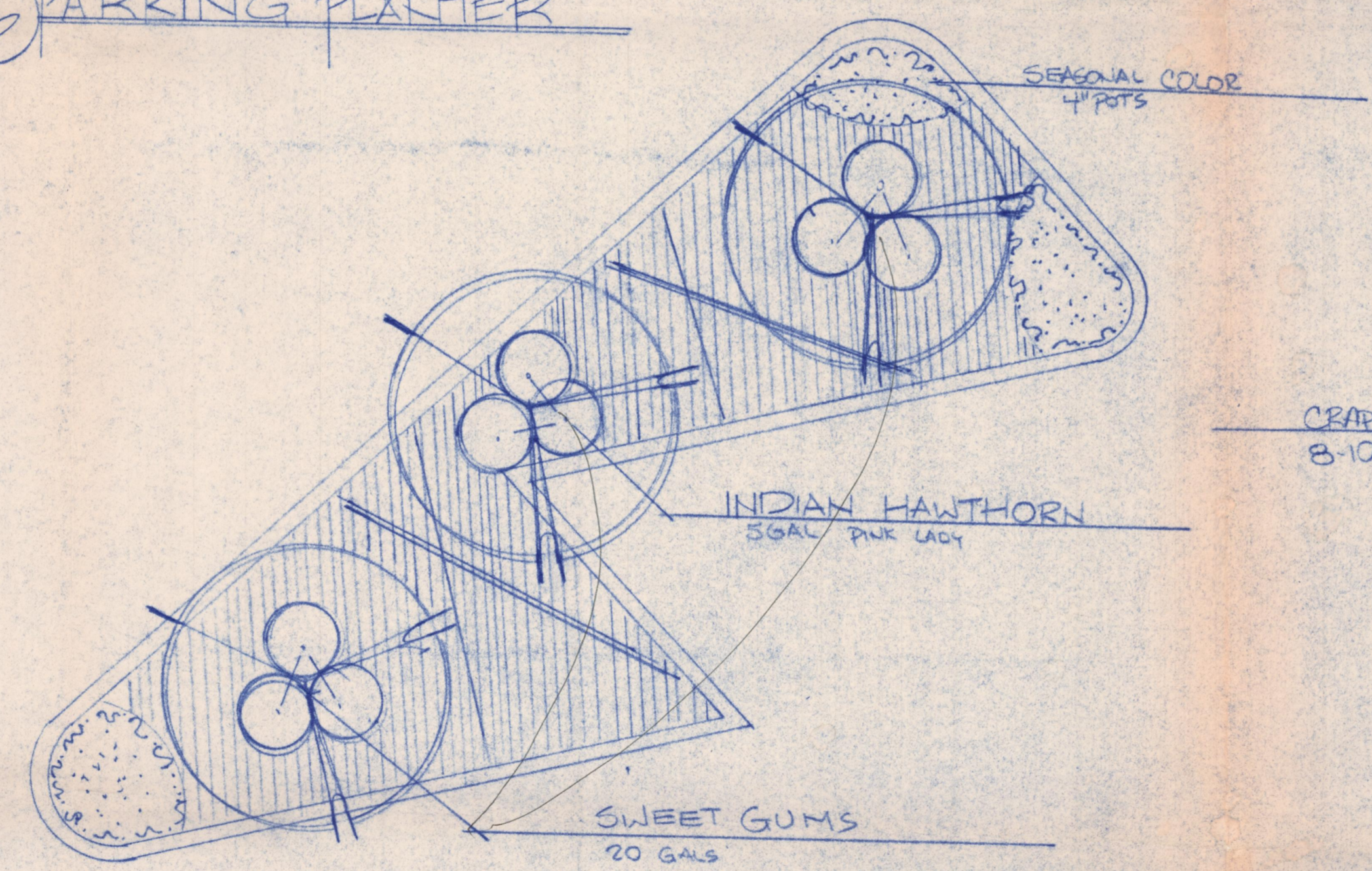
Handwritten note: 1/2" 100 mesh wire for island backfill.



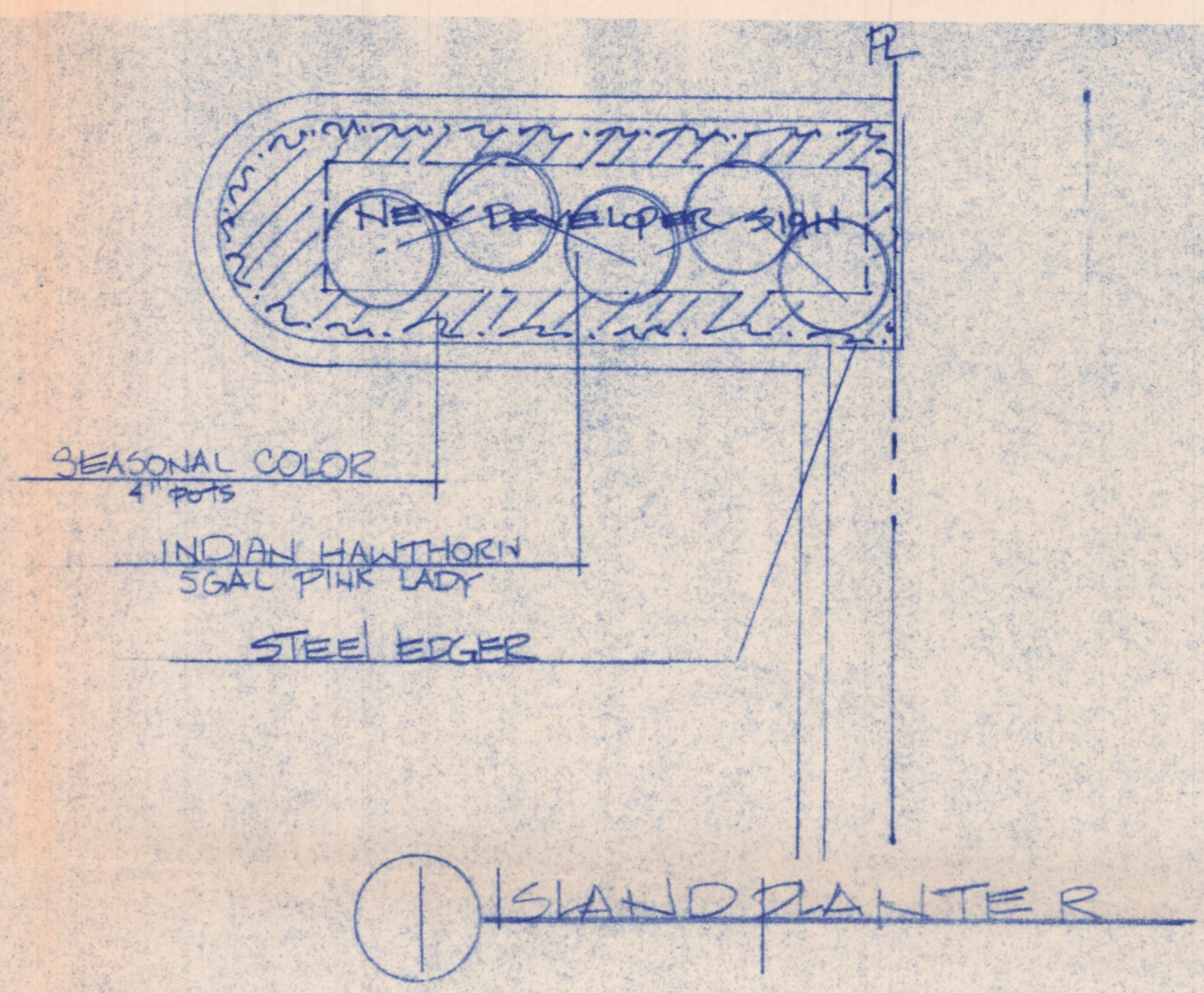
7 PARKING PLANTER



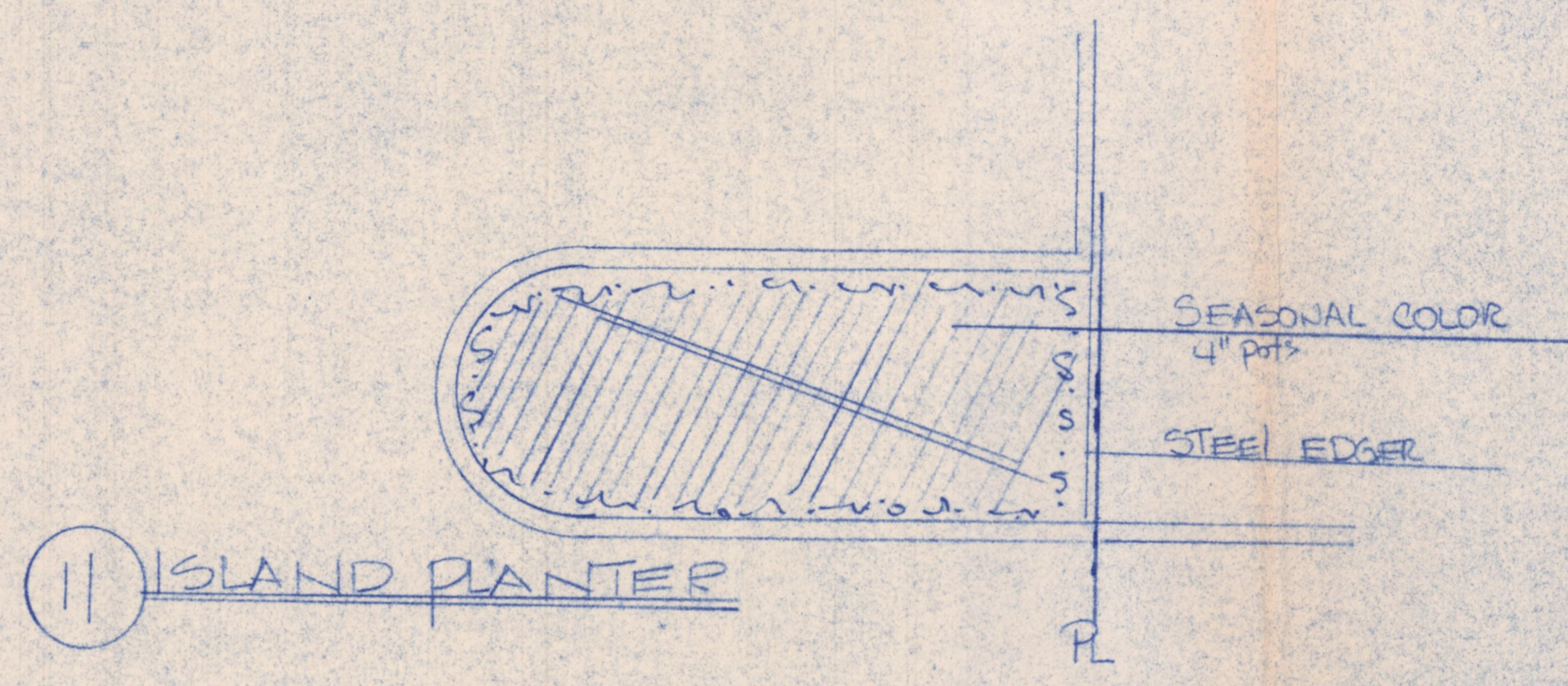
6 PARKING PLANTER



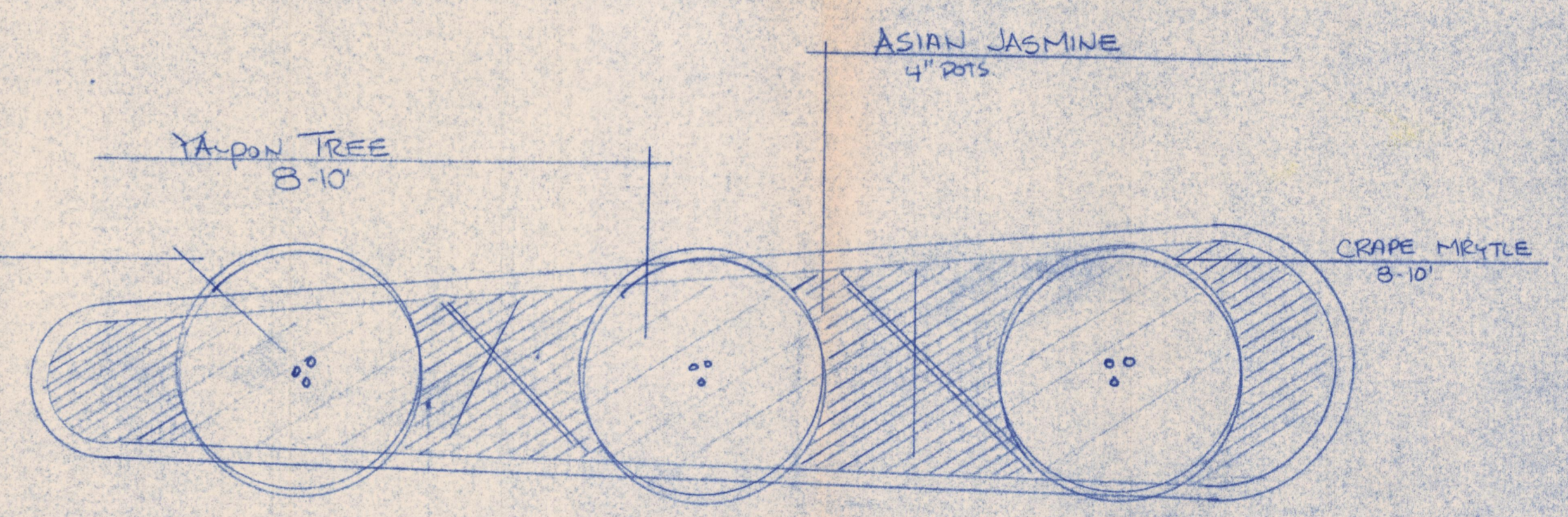
8 PARKING PLANTER



1 ISLAND PLANTER



11 ISLAND PLANTER



9 ISLAND PLANTER

*OK as changed
Julie Lind
6/5/87*

ISLAND PLANTER DETAILS
SCALE: 1/4" = 1'0"
6/5/87

CERTIFICATE OF CORRECTION OF ERROR

On the final plat of Carlisle Plaza Addition, an addition in the City of Rockwall, Texas, recorded in Slide B, Page 136, of the Map Records of Rockwall County, Texas:

This is to certify that the most Easterly 10' utility easement shown on Lot 3, adjacent to Lot 5, shows a tie of 310.00 feet the correct distance should be 295.80 feet, the distance shown as 78.92 feet should be 30.00 feet.

This certification is filed for the purpose of correcting said errors only, and does not change in any way the originally intended size and shape of the lots.

J. L. Lane

J. L. LANE, Registered Public Surveyor
No. 2509, State of Texas



STATE OF TEXAS

COUNTY OF DALLAS

Before me, the undersigned, a Notary Public in and for Dallas County, Texas, on this day personally appeared J. L. Lane, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 3rd day of December, 1985.

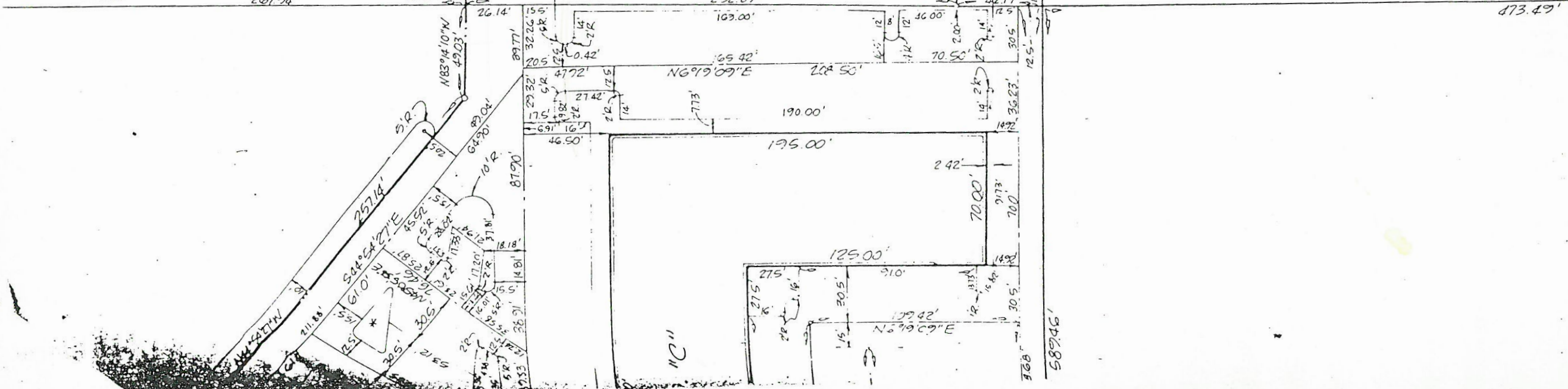
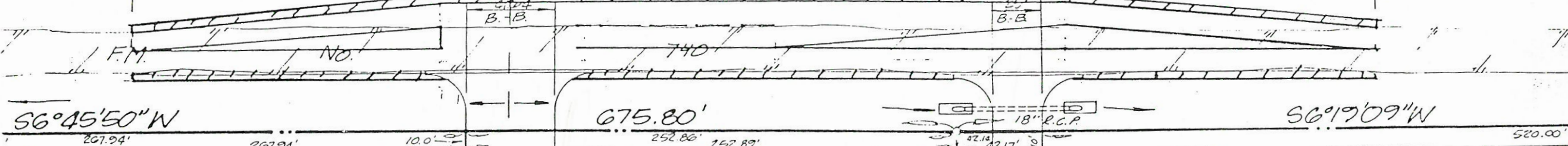
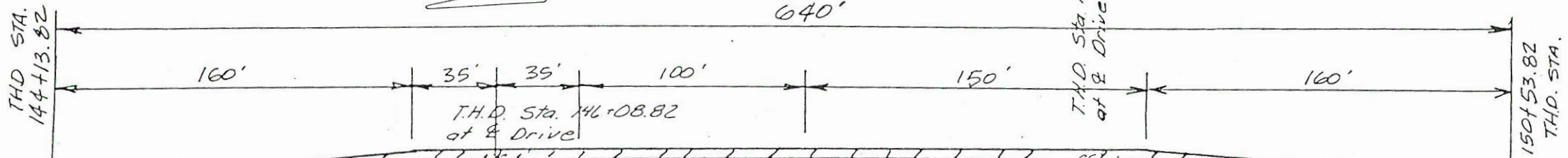
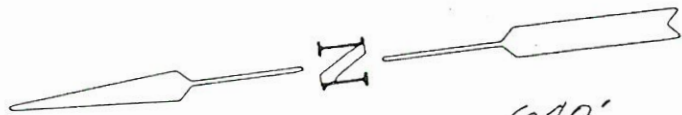
KATIE HOLT

Notary Public For State of Texas
Commission Expires May 5, 1988.

Katie Holt

Notary Public in and for Dallas
County, Texas







DEVELOPER:
CARLISLE PROPERTY CO. RETAIL
JAMES K. TONICK

ROCKWALL VILLAGE
ROCKWALL, TEXAS

Landscaping for Carlisle Plaza

Est. Required for Phase I work
Safeway and 2 unplanned
site pads 33,886 ±

Est of provided landscaping 33,399 ±

Est Required for Phase II 8,415

provided landscaping

Est Required for 2 pad sites 3,500

provided landscaping 4,546

$$\begin{array}{r} 225 \\ 15 \\ \hline 125 \\ 25 \\ \hline 375 \end{array}$$

$$\begin{array}{r} 20 \\ 20 \\ \hline 400 \end{array}$$

$$\begin{array}{r} 98 \\ 100 \\ \hline 198 \\ 200 \\ \hline 398 \\ 1488 \end{array}$$

$$\begin{array}{r} 450 \\ 8 \\ \hline 1200 \end{array}$$

$$\begin{array}{r} 257 \\ 10 \\ \hline 2570 \end{array}$$

$$\begin{array}{r} 218 \\ \hline 1350 \end{array}$$

$$\begin{array}{r} 155 \\ 2 \\ \hline 310 \end{array}$$

$$\begin{array}{r} 243 \\ 120 \\ \hline 194 \\ 2 \\ \hline 88 \end{array}$$

$$\begin{array}{r} 30,386 \\ 25,273 \\ \hline 11,113 \end{array}$$

$$\begin{array}{r} 111 \\ 1854 \\ 1329 \\ \hline 1263 \\ \hline 6546 \end{array}$$

$$\begin{array}{r} 0.150 \\ 10 \\ \hline 1500 \\ 125 \\ \hline 1875 \end{array}$$

$$\begin{array}{r} 424 \\ \hline 182 \end{array}$$

$$\begin{array}{r} 720 \\ 30 \\ \hline 23400 \end{array}$$

$$\begin{array}{r} 160 \\ 6 \\ \hline 960 \end{array}$$

$$\begin{array}{r} 221 \\ 88 \end{array}$$

$$\begin{array}{r} 33 \\ 90 \\ \hline 1230 \\ 96 \end{array}$$

$$\begin{array}{r} 1237.94 \\ 10 \\ \hline 12379.40 \end{array}$$

$$\begin{array}{r} 707,707 \\ 50,000 \\ \hline 677,707 \\ 5 \\ \hline 3388635 \end{array}$$

$$\begin{array}{r} 920,146 \\ 5 \\ \hline 46,007.30 \end{array}$$

$$\begin{array}{r} 12 \\ 15 \\ \hline 65 \\ 12 \\ \hline 175 \end{array}$$

Safeway -

Ray Palmer -
The Meadows

$$\begin{array}{r} 122 \\ 17,270 \\ 1200 \\ 1440 \\ 580 \\ 580 \\ 3600 \\ 115 \end{array}$$

$$\begin{array}{r} 21,1237 \\ 43,5600 \end{array}$$

$$\begin{array}{r} 920,146 \\ 12,379 \\ 18,537 \\ 23,400 \\ \hline 54,316 \end{array}$$

$$\begin{array}{r} 36,386 \\ 31,138 \\ \hline 5,248 \end{array}$$

$$\begin{array}{r} 23,785 \\ 960 \\ \hline 24745 \end{array}$$

$$\begin{array}{r} 27,658 \\ 400 \end{array}$$

$$\begin{array}{r} 920,146 \\ 54,316 \end{array}$$

$$\begin{array}{r} 221 \\ 262 \\ 440 \\ 49 \\ 168 \\ 920 \\ \hline 1221 \\ 549.3 \\ 143.61 \\ 133.77 \\ 319.76 \\ 146.44 \end{array}$$

$$\begin{array}{r} 2570 \\ 4.88 \\ \hline 27803 \\ 1200 \\ \hline 29,003 \\ 310 \\ \hline 29,313 \\ 375 \\ \hline 29,688 \end{array}$$

$$\begin{array}{r} 30,088 \\ 1050 \\ \hline 31,138 \\ 1270 \\ 257 \\ 100 \\ 195 \\ 90 \\ 182 \\ 88 \\ 700 \\ 270 \\ 46 \end{array}$$

$$\begin{array}{r} 920,146 \\ 54,316 \\ \hline 865,830 \\ 5 \\ \hline 43,291.50 \\ 5.33 \\ 36,386 \\ 33,399 \\ \hline 2587 \\ 4546 \\ 33,399 \\ \hline 5 \end{array}$$

$$33,399$$

Phase I

Safeway

237

Buildings

626

Subtotal

Phase II

Retail

cinema (1250 seats)

Office

Subtotal

233 - existing
28 - proposed

Pad sites

El Chico

35

World Savings
Rest-Post

31

25

Kiosks (3 added)

-

1215

Actual Parking (Shannon plan -
not field checked)

Required Parking (old
rates)

145

431 (assuming rest space on
11,000 sq ft)

81

417

38

54

11

24

9

1212

Current Requirement

217

554

81

417

38

54

11

24

9

107

580 seats would
require 194 spaces
can gain 99 by
eliminating Bldg E
can gain app 47 spaces
in place of Bldg E
Totals 166 spaces

		Building Area	Proposed Parking	Site Plan Approved Parking	Current Road Pads
	Safeway	<u>43,300</u>	<u>237</u> 264	264, 145 reqs	217
Phase I	Buddy				
	A	15,000	1190	50	
(no pad sites)	B	3,000		10	
	C	30,100		100	
	D	37,450		125	
	Eckards	8,840		29	
	Pad site <small>(would save rest)</small>	6,000 ⁵⁹⁰⁰ <small>(cal. as rest 11,100)</small>		60	
	Kiosk	<u>247</u>		<u>2</u>	
		100,637	624 - shown on site plan	376 - required plan	534

Phase II					
I		99,647	596	431 376 Some ass. →	554 534 479
II	cinema 1250 seats			417	assuming H. row of in rest
	retail - 16,175			119	Pizza, cafe, sub, child, checkouts
	office - 11,250			526	417 119
					<u>536</u>
			233 - existing 28 - proposed <u>261</u>		

pad site El Chico	5400	<u>35</u> 44		5X
Pad site Woodcamp Fastford	3264 2580	31 25		1 11 26
Kiosks - 3 total	510 625 625 <u>1760</u>	-		9 40

FREESE AND NICHOLS, INC.

CONSULTING ENGINEERS AND PLANNERS

SIMON W. FREESE, P.E.
 JAMES R. NICHOLS, P.E.
 ROBERT L. NICHOLS, P.E.
 LEE B. FREESE, P.E.
 ROBERT S. GOOCH, P.E.
 JOE PAUL JONES, P.E.
 ROBERT A. THOMPSON III, P.E.
 JOHN H. COOK, P.E.
 T. ANTHONY REID, P.E.
 GARY N. REEVES, P.E.

JOE B. MAPES, P.E.
 W. ERNEST CLEMENT, P.E.
 ELVIN C. COPELAND, P.E.
 LEO A. DOTSON, P.E.
 JERRY L. FLEMING, P.E.
 DAVID R. GATTIS
 A. LEE HEAD, P.E.
 JOHN L. JONES, P.E.
 RONNIE M. LEMONS, P.E.
 MICHAEL G. MORRISON, P.E.
 C. DIANE PALMER, P.E.
 ROBERT F. PENCE, P.E.

June 12, 1986

Mr. William Eisen
 City Manager
 City of Rockwall
 205 West Rusk
 Rockwall, Texas 76087

RE: Lakeside Drive at
 Harbor Drive Flooding
 ROK86005

Dear Mr. Eisen:

We have reviewed the hydrology and hydraulic conditions at the referenced location. The location is drained by two 36-inch pipes under Lakeside Drive. These pipes enter a junction box on the north side of Lakeside Drive. The storm water exits from the box through 650 feet of 48-inch that discharges into Lake Ray Hubbard.

The drainage area above the site and the assumed existing and future "C" are listed below:

	<u>Drainage Area</u>	<u>Existing "C"</u>	<u>Future "C"</u>
Carlisle Plaza	18.6 ac.	0.9	0.9
Area I-30 to R.R.	38.0 ac.	0.3	0.9
R.R. Area	3.1 ac.	0.5	0.5
Lakeside Village	<u>14.3 ac.</u>	0.6	0.6
	74.0		

Assuming a 20-minute time of concentration based on the size of the watershed.

<u>Frequency</u>	<u>Intensity</u>
2-year	4.0 inches
5-year	4.9 inches
10-year	5.8 inches
25-year	6.6 inches
50-year	7.4 inches
100-year	8.3 inches

Using the above data and the Rational Method of computing the discharges, the following rates are computed:

Mr. William Eisen
June 12, 1986
Page 2

<u>Frequency</u>	<u>Existing Conditions</u>	<u>Future Conditions</u>
2-year	148 cfs	237 cfs
5-year	181 cfs	290 cfs
10-year	215 cfs	343 cfs
25-year	244 cfs	391 cfs
50-year	274 cfs	438 cfs
100-year	307 cfs	491 cfs

Based on the elevations indicated on the construction drawings, the capacity of the 48-inch is approximately 300 cfs when Lake Ray Hubbard is at normal water surface elevation and the capacity of the two 36-inch culverts under Lakeside Drive is approximately 120 cfs. These capacities are based on the friction loss in the pipe as well as entrance and exit losses.

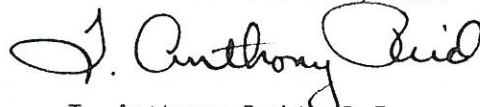
The capacity of the two 36-inch culverts is less than the 2-year frequency storm under existing conditions. The capacity of the 48-inch is essentially equal to the 100-year frequency storm under existing conditions. Replacing the two 36-inch culverts under Lakeside Drive with a box culvert at this time would significantly improve the flooding problems in this location in Lakeside Village. The improvement of the discharge capacity to Lake Ray Hubbard from the junction box can be undertaken when the development of the drainage area between I-30 and the railroad levels occurs.

A preliminary estimate of probable construction cost to remove the two 36-inch culverts and install an adequately size box culvert is \$40,000. This estimate includes the necessary rework of the area including earthwork, replacement of curb and gutter, replacement of pavement and head walls. A box culvert is proposed because of limited vertical height at the site.

If you need any additional information on these considerations, please do not hesitate to contact us.

Yours very truly,

FREESE AND NICHOLS, INC.



T. Anthony Reid, P.E.

TAR:sh

11

net figures from Plat

Safeway 215,083.53 - 4.9376 acres

Triangle 139,550.29 - 3.2036 "

Lot 3 (Marsel) 428,846.03 - 9.8367

4 46,454.43 1.0664

2 36,959.83 .8485

I	total acreage	Safeway percentage
	19.9252	.2478%

II	acreage less triangle	Safeway percentage
	16.7216	.2953%

total estimated cost 40,000

Prorate due from Safeway on I 9,912.00

Prorate due from Safeway on II 11,812.00

MASTERPLAN

June 10, 1986

Mr. Bill Eisen
City Administrator
City of Rockwall
205 West Rusk
Rockwall, Texas 75087

Dear Mr. Eisen:

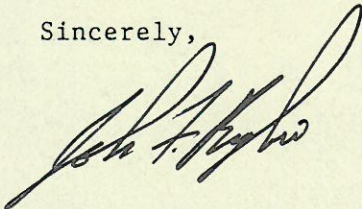
CARLISLE PROPERTIES - FM 740 ACCESS

Reference is made to the Carlisle Property Co. sketch supplied to me showing two proposed median openings along FM 740 south of I-30 (copy attached). The northerly opening is the main access driveway to the shopping center from FM 740, while the southerly proposed opening serves the cinema and the service drive along the back of the shopping center. The two driveways are separated by approximately 202 feet. Neither opening is proposed to have a left turn lane associated with it, but simply shows a taper having a length of 160 feet.

It is recommended that this request be denied based upon the following:

- The driveways are too close together to accommodate proper left turn lane design for each. Spacing should generally be not less than 300 feet between mid-block median openings.
- There are other means of access to the cinema from the south, specifically being the use of the street just west of the cinema or using the previously suggested median opening at the main shopping center access point along FM 740 and then circulating through the parking aisles to gain access to the cinema.

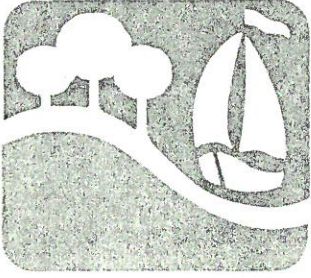
Sincerely,



John F. Reglin, P.E.

JFR/m

Attachment



CITY OF ROCKWALL
"THE NEW HORIZON"

June 13, 1986

Mr. Walter Carucci
Carlisle Investments
12340 Inwood Rd.
Dallas, Texas 75244

Re: P&Z Case No. 86-21-SP

Dear Mr. Carucci:

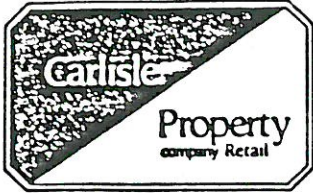
On 6-12-86 the Rockwall Planning and Zoning Commission recommended approval of your request for a site Plan on Rockwall Village Shopping Center, Phase II located at the intersection of I-30 & FM-740 with the condition that an agreement between the developer & the City regarding the drainage problem be met prior to the developer receiving a Certificate of Occupancy on any new structure.

The Rockwall City Council will consider approval of your request on 6-16-86 beginning at 7:30 P.M. at the City Hall, 205 West Rusk.

If you should have any questions regarding this matter or the meeting schedule, please do not hesitate to call.

Sincerely,

Jennifer Jarrett
Administrative Aide



LETTER OF TRANSMITTAL

(214) 233-5555

DATE 5/14/86	JOB NO.
ATTENTION	
RE:	
ROCKWALL VILLAGE - PHASE II	

TO Julie Couch
 Assistant City Manager
 City of Rockwall

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
			1. Eight copies of "Site Plan" on which the turn lane has been incorporated
			2. Eight copies of the Landscape Plan for Phase II
			Will you please let me know if the Commission will consider these items at its workshop meeting on 5/22/86.
			Thanks.

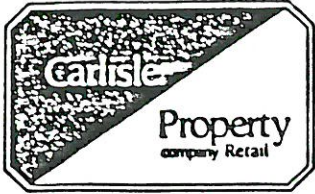
THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ 19 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

Ora Lee Bartolo



(214) 233-5555

LETTER OF TRANSMITTAL

TO Julie Couch
Assistant City Manager
City of Rockwall

DATE	5/15/86	JOB NO.
ATTENTION		
RE:	ROCKWALL VILLAGE - PHASE II	

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
			Enclosed are eight copies of the site plan for Rockwall Village Phase II on which are number codes for the landscaping plan I sent on 5/14/86. When you have comments on the submittals, will let me know so I can have a copy picked up. Thanks.

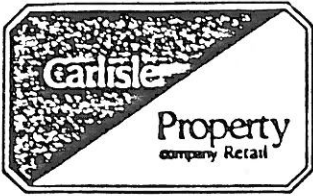
THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
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 For review and comment _____
 FOR BIDS DUE _____ 19 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

Ora Lee Bartolo



LETTER OF TRANSMITTAL

(214) 233-5555

DATE	5/23/86	JOB NO.
ATTENTION		
RE:	ROCKWALL VILLAGE	

TO Julie Couch
City of Rockwall

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
- Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
			Attached are eight copies of the site plan that we would like to submit for approval on June 12, 1986. Please note the inclusion of the two story 35,475 SF building at the SE corner of the site and the World Savings & Loan.
			Please destroy all previous transmittals on site plans for Phase II. Thanks.

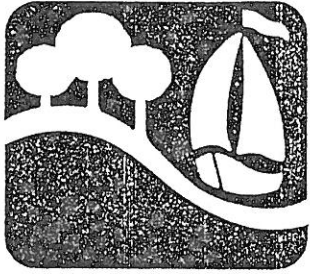
THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
- For your use Approved as noted Submit _____ copies for distribution
- As requested Returned for corrections Return _____ corrected prints
- For review and comment _____
- FOR BIDS DUE _____ 19 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

Ora Lee



*Mary - put in
Carlisle Plaza site
plan file*

CITY OF ROCKWALL
"THE NEW HORIZON"

4 February, 1987

Mr. Richard J. Fiscina
World Savings and Loan
1901 Harrison Street
Oakland, California 94612

Dear Mr. Fiscina:

As we discussed today, your company's property was site planned as part of the Rockwall Village development. One of the requirements attached to approval of the site plan was that a left turn lane be constructed on FM-740. This lane must be built prior to issuance of a Certificate of Occupancy for any building in the portion of the center that contains the World Savings and Loan site.

For a period of several months after the site plan's approval the City Staff was involved in discussions with the Texas Department of Highways and Public Transportation regarding improvements to the section of FM-740 in question. The purpose of these discussions was to develop an agreement with the State to utilize cash from Carlisle, in lieu of the construction of the turn lane, to "match" State funds. These combined funds would have been used to construct a four-lane divided highway in the vicinity of the project. However, now it appears that such an agreement will not be forthcoming. The result of these discussions has been that Carlisle was "on hold" at the City's request for some time and, as of today, has not begun work on the turn lane.

It appears that sufficient time exists for the turn lane to be completed prior to your facility being ready for occupancy. However, I understand your concerns and those of Carlisle Development Company. Because work has not started due to a City-requested delay, I have indicated to Carlisle that we will work with them to minimize problems in opening facilities on their site. Consequently, if your facility is completed and ready for a Certificate of Occupancy prior to the turn lane being completed, I will recommend to the City Council that you be allowed to occupy your building. This recommendation is contingent upon the following:

1. Carlisle works diligently to complete the turn lane as quickly as possible.

2. Carlisle agrees to post a bond or escrow funds in an amount sufficient to insure completion of the turn lane. The details of this must be worked out prior to the recommendation being submitted to the City Council.

I am pleased to welcome your firm to the City of Rockwall. Please call if you have any further questions regarding this matter.

Sincerely,



Bill Eisen
City Manager

CC: Ora Lee Bartolo, Carlisle Dev. Co.
Larry Bennett, Chief Bldg. Insp.

BE/mmp



V. D. P&Z 86-21-SP - Consider Approval of a Request from Carlisle Investments for a Site Plan for Rockwall Village, Phase II Located at the Intersection of I-30 and FM-740

The developers of Rockwall Village where Safeway and Bealls are located have submitted a site plan for completion of Phase II of the project which will provide for the complete development of their site. They are proposing to build the second phase to include Building C and the Cinema as indicated on the proposed site plan. The future building area designated as Building E will be built at some future date. They do plan to construct Building C, the Cinema and all of the property improvements with the exception of the actual Building E itself and the driving lane around it along with the parking in front of it. The last approach on FM-740 will be constructed. The plan as submitted meets all of the City's minimum requirements, including setbacks, parking, building height, building materials, drive separations. There are, however, several comments concerning the proposed site plan as follows:

1. Parking - The proposed site plan does meet the minimum parking requirements overall. For the entire development the total number of parking spaces required for both Phases I and II would be 855 based on the square footage of buildings, either existing or proposed. They are proposing to provide 862 spaces. You will notice that they have a substantial number of parking spaces located directly behind the cinema, having frontage on Horizon Road. One concern was the useability of this parking by customers. It is not reasonable to assume that all of this parking would be required for employees of all of these facilities. The cinema will have its main access from the front of the building facing FM-740. They are proposing to have an exit located at the south side of the building facing the future Building E. There will be a sidewalk along this side of the building to provide access to the front parking lot and to the rear parking lot. In addition, there will be a sidewalk along the north side of the building along the access lane to provide additional access to the rear parking lot. They are proposing to light the rear parking lot, just as they have the front area.
2. Turn lane - One of the concerns that we have had since this development has been constructed is the lack of turn lanes off of FM-740 to provide for southbound traffic into the project without completely stopping traffic on FM-740. With the additional square footage being proposed in retail, as well as the additional load factor of the cinema, we feel that it would be appropriate to discuss the construction of a turn lane at the main entrance into the project. We currently have our Traffic Planner reviewing the site plan and he will have some specific recommendations as to the proposed length and location of the turn lane. I will have those for you at the meeting tomorrow night. Carlisle Properties is aware that we are discussing the possibility of turn lane at this location.
3. Landscaping and/or Screening Along the Rear of the Property on Horizon Road - A possible item for discussion might be the treatment of the frontage along Horizon Road behind the new parking lot, cinema, and future Building E area. The Safeway development and the property

along Horizon Road constructed in Phase I have planted screening bushes which will ultimately screen these areas from Horizon Road to a certain degree. The developer has indicated they have no problem with extending the same sort of planting all along this back property line.

4. Landscaping - They did not provide specific calculations on the landscaping in this second phase, nor indicate specifically what is proposed to be landscaped. They are currently reviewing their overall landscaping plan for both Phases I and II to determine how much additional landscaping they must provide and where it will be provided. They should have that information tomorrow night for the P&Z meeting.

5. Appearance of the rear of Building E - There have been some comments about the appearance of the rear of these buildings from FM-740 when you are going north toward I-30 and from Horizon Road. They are proposing to finish out the rear of Building E just as they have the rest of their buildings. By constructing the cinema and Building C, they will screen the rear of the buildings from all views except those along Horizon Road, and right at the intersection of FM-740 and Horizon Road. They have indicated that they might be willing to continue the brick along the side and to a certain depth along the rear of Building E when it is constructed.

6. The Kiosk Location - They are proposing two future kiosk locations in front of the proposed Building C. Each of these kiosk sites are somewhat larger than the kiosk that houses Fletchers Corny Dogs. One concern is that there is adequate circulation around these two kiosks with the adjacent parking as shown on the site plan. They are not proposing to construct these at this time and it might be appropriate to require that each of these locations be submitted for either Staff or P&Z review to insure adequate circulation around these locations when they are ready to build them.

7. Dumpster Location for Cinema and Building E - They don't indicate on the plan where the dumpster location would be for servicing of these two facilities. There was some concern about a trash truck having to maneuver the rear drive around Building E and coming back out on FM-740 and making a sharp turn. They do plan to put a dumpster to service both of these buildings in one of the seven slots indicated adjacent to the cinema. That dumpster location should be screened as it will have direct visibility from Horizon Road.

Agenda Notes
P&Z - 4/10/86

- IV. C. Consider Approval of a Request from Carlisle Investments for a Site Plan for Rockwall Village, Phase II, Located at the Intersection of I-30 and FM-740

As you will recall, at the last meeting the Planning and Zoning Commission tabled consideration of the second phase for Rockwall Village until they could submit a landscaping plan and road plan. We were to have had a meeting with the applicant Monday morning, but they cancelled. We do not know at this time if we will meet with them prior to the meeting Thursday night. They are on the Agenda if they do submit the information. If they do, we can discuss this with the Commission at the meeting Thursday night.

MINUTES OF THE PLANNING AND ZONING COMMISSION

March 13, 1986

The meeting was called to order at approximately 7:30 P.M. by Chairman Tom Quinn. Other members present were J. D. Jacobs, Don Smith, Teddy Carlaw, Norm Seligman, and Hank Crumbley. Leigh Plagens was absent from this meeting.

As the first order of business, the Commission took nominations to appoint a new Chairman as Mr. Quinn was resigning from this position. Seligman made a motion to appoint Don Smith as Chairman. Carlaw seconded the motion. With no other nominations being presented, the same was voted on and passed unanimously.

A motion was then made by Carlaw to appoint Seligman as the Vice Chairman, with Jacobs seconding the motion. With no other nominations, the same was voted on and passed unanimously.

Newly elected Chairman Don Smith presided over the rest of the meeting.

Next the Commission considered approval of the Consent Agenda consisting of the following items:

1. Minutes of Febuary 13, 1986
2. A request from Ken Hunt for a final plat for KHD, Inc., Subdivision, a 1.5 acres tract of land located on South I-30 Service Road west of FM-549
3. A request from Lindy Barton for a final plat on the ELB Subdivision, a one lot subdivision located on Boydstun Street
4. A request from Bill Way for a final plat on a right-of-way dedication of Commerce Street.

A motion was made by Quinn to approve the Consent Agenda as presented, with Seligman seconding the motion. The same was voted on and passed unanimously.

Next, the Commission held a public hearing and considered approval of a request from Shores 205 Joint Venture for a change in the preliminary plan for "PD-3" The Shores, to increase the minimum lot and house sizes on Tract 3 of "PD-3". Staff presented background information regarding this case. The public hearing was then opened. Mr. Joe Holt, representing the Shores 205 Joint Venture, then approached the Commission, giving details of his request. The Commission discussed with Mr. Holt the park site and the second row of houses that he proposes. Mr. Bob Cunningham, President of The Shores Homeowner's Association, then approached the Commission, stating that the Homeowner's Association was in favor of Mr. Holt's proposal. With no others wishing to discuss this matter, the public hearing was closed. The Commission then discussed the notices that had been sent to property owners within

200 ft. of the area in question, with Staff indicating that 29 were returned, 10 being opposed and 19 being in favor. A motion was then made by Seligman to approve the preliminary plan for Tract 3 to increase the lot sizes on the first two rows of houses along the southern boundary to 8,400 sq. ft., with the house sizes being 1,800 sq. ft. that are adjacent to the existing Phase 1 and the remainder of the house sizes being 1,500 sq. ft. Carlaw seconded the motion. With no further discussion, the same was voted on and passed unanimously.

Next, the Commission held a public hearing and considered approval of a request for a church on 1.621 acres of land located on Renfro Street in a "SF-7" Residential District (401 Renfro). At this time Staff gave background information regarding this case. The public hearing was then opened. Mr. Bill Wright, Pastor of the church, then approached the Commission, outlining his request. The Commission then questioned Mr. Wright in regard to fire safety and fire vehicle access to the building and the days on which the church would be used. Mr. Mel Scarth then approached the Commission opposed to the request and indicating that the legal description was incorrect. Mr. Scarth was opposed to the request due to the following reasons: 1) the driveway being 22 ft. from his home; 2) the sewer lines being inadequate; 3) no restrooms in the church; 4) the building being inadequate; 5) the parking area not being in the proper location; 6) the noise level; and 7) the traffic, with the streets being inadequate. Mr. Bill Standley, a resident one block up from the proposed site, approached the Commission with his opposition, stating that 1) parking at the church was in the front yard, 2) it was a fire hazard, 3) the streets were inadequate, and 4) traffic. With no others wishing to discuss this item, the public hearing was closed. The Commission then discussed with the applicant 1) sewer, 2) traffic, 3) building codes, 4) services, 5) driveways, 6) fire, 7) parking in the driveways, 8) street encroaching, and 9) building requirements. Staff indicated at this time that 11 notices were sent out, with 5 being returned, 3 against and 2 in favor. At this time Quinn made a motion to deny the request, with Jacobs seconding the motion. Further discussion was held by the Commission regarding whether or not the City could deny this request. Quinn clarified that the City has a right to designate any land use. With no more discussion, the motion was voted on and passed five to one, with five voting in favor and Crumbley voting against.

Next, the Commission held a public hearing and considered approval of a request from Lakeside Village Homeowner's Association for a change in the preliminary plan for "PD-2" Lakeside Village Planned Development, to provide for a private club as an accessory to a restaurant, meeting the City's regulations for a private club. Staff made no presentation, however indicating that the club would be meeting City ordinances. The public hearing was opened. Mrs. Bernice Lee, President of the Lakeside Village Homeowner's Association, then approached the Commission outlining the request. With no one else wishing to discuss this issue, the public hearing was closed. Seligman made a motion to approve the request for a private club as an accessory to a restaurant meeting the City's regulations for private clubs, with Carlaw seconding the motion. The same was voted on and passed unanimously.

The Commission then held a public hearing and considered approval of a request from Perry Bodin for a zone change from "MF-15" Multifamily to "C" Commercial classification on a 2.1461 acres tract of land located on Yellowjacket Lane off of FM-740. Staff presented information on this request to the Commission. The public hearing was then opened. The applicant was not at this meeting. Mr. Van Hall, representing the applicant, offered to answer any questions that the Commission or others might have. Mrs. Knott then approached the Commission, questioning if her property was affected by this zone change request. The Commission indicated no. Mrs. Knott also questioned as to what commercial uses would be allowed if this zone change request was approved. The Commission indicated that they do not know at this time. With no others wishing to speak, the public hearing was closed. A Mr. Eddie Kelly, representing Perry Bodin, now entered the meeting. The Commission then questioned Mr. Kelly and Staff as to the following: 1) Is the Planning and Zoning Commission going to view one piece of the proposed area at a time, with the applicant indicating yes. 2) Why did they want to change the zoning, with the applicant indicating for a medical facility. 3) Is the entire area owned by one person, with the Staff indicating no. 4) Will screening from residential be available, with Staff indicating yes, as that is a condition of the zone change. Seligman then made a motion to approve the request for a zone change from "MF-15" Multifamily to "C" Commercial with Crumbley seconding the motion. The same was voted on and passed unanimously.

The Commission then held a public hearing and considered approval of a request from Whittle Development for a change in the preliminary plan for "PD-9" Planned Development to include "Office/Warehouse" as a land use on 39.592 acres of land, and approval of area requirements. A brief recess was called at approximately 8:40 P.M. and was resumed at 8:50 P.M. Staff presented information to the Commission regarding this case. The public hearing was then opened. Mr. Van Hall, the engineer and representing Whittle Development, then approached the Commission, briefly outlining the request. With no one other wishing to discuss this item, the public hearing was closed. Quinn made a motion to approve the request for a change in the preliminary plan for "PD-9" to include Office/Warehouse as a land use on the 39.592 acres and approval of the area requirements as presented. Seligman seconded the motion. The same was voted on and passed unanimously.

Next, the Commission held a public hearing and considered approval of a request from Johnnie Ray for a zone change from "MF-15" Multifamily to "C" Commercial classification on an 8.762 acre tract of land located on Kyle Drive, north of I-30, south of Yellowjacket Lane, and west of SH-205. Staff presented information to the Commission regarding this case. The public hearing was then opened. Mr. Mike Belt, representing the applicant Johnnie W. Ray, approached the Commission and briefly outlined the request before them. With no one else wishing to discuss this item, the public hearing was closed. A brief discussion was held by the Commission with the Staff regarding the other parts of this land owned by others and how it would be reviewed. The Land Use Plan was also discussed at this time. Seligman made a motion to approve the zone change from "MF-15"

Multifamily to "C" Commercial on the 8.762 acre tract of land, with Quinn seconding. The same was voted on and passed unanimously.

The Commission then held a public hearing and considered approval of a request from Johnnie W. Ray for a zone change from "A" Agricultural to "C" Commercial classification on a 23.313 acres tract of land located at the intersection of FM-549 and North I-30 Service Road. Staff then made a presentation, outlining the request and also indicating that 48 notices were sent out, with 7 being returned, 4 in favor and 3 against; Staff stated that everyone within this survey received notification. The public hearing was then opened. Mr. Mike Belt, representing Johnnie W. Ray, approached the Commission and explained the request and stated that he would answer any questions that they or others may have. Mr. Bill Stephenson, a property owner south of this tract, approached the Commission in regard as to what uses would be allowed in this "C" classification if approved. Staff then explained the "C" classification and its land uses. Mr. Chuck Dutton, owner of two acres along FM-549, approached the Commission, stating he holds a deed restriction on part of the land in question. He also indicated his opposition to this request until the applicant could show what uses he planned for this "C" classification if approved. Staff then explained that the two acre tract owned by Mr. Dutton was not included in this zone change request and the total area in question equals 23.313 acres. The Commission questioned the deed restrictions. The applicant indicated that if the request was, in fact, approved, they would have to comply with the deed restrictions as they stand. Smith then explained the process of a zone change, the land use application, and deed restrictions with the Duttons. Mr. Dutton then questioned the utilities. Staff indicated that this is a zoning question and not a development question. Staff also stated that when the owner is ready to develop this land, they will have to either tie onto the City's utilities or be requested to extend to the City's utilities. Smith then indicated that no matter who owns the land, that this condition would lie with the land. The Commission then discussed the annexation of this land that is now being considered for approval by the Council, and the sewer lift station. With no other comments, the public hearing was closed. The Commission briefly discussed the location of the sewer lift station. Seligman then made a motion to approve the request subject to annexation of the property, but the motion died for the lack of a second. The Commission then briefly discussed the annexation of the property, with Smith stating that the Commission is only to consider the zone change request, and not the annexation of this property. Carlaw then made a motion to deny this request until the Council has approved the annexation of this property. Quinn seconded the motion. The same was voted on and passed unanimously.

The Commission then held a public hearing and considered approval of amending the Comprehensive Zoning Ordinance to eliminate the "MF-20" Multifamily zoning classification. Staff then explained to the Commission the reason for this request. The public hearing was opened. With no one wishing to discuss this item, the public hearing was closed. With no discussion from the Commission, Seligman made a motion to approve the request, with Carlaw seconding. The same was voted on and passed unanimously.

The Commission then held a public hearing and considered approval of a zone change from "MF-20" Multifamily to "MF-15" Multifamily classification on a .8484 acre tract of land located on SH-205 and Lake Meadows Drive (Reese Manor). Staff presented information regarding this request. The public hearing was then opened. With no one wishing to discuss, the public hearing was closed. With no discussion by the Commission, Seligman made a motion to approve the request, with Crumbley seconding. The same was voted on and passed unanimously.

The Commission then held a public hearing and considered approval for amending the Comprehensive Zoning Ordinance to provide for the regulation of exterior materials for accessory structures within the "SF-16", "SF-10", "SF-17", "ZLL-5", and "2-F" District classifications. Staff then presented information regarding this item and handed out several alternatives for the Commission to consider. The public hearing was then opened. With no one wishing to discuss, the public hearing was then closed. In order for the Commission to review the alternative handout recommended by Staff, the Commission tabled this item until the next scheduled Planning and Zoning meeting to take any action.

Next the Commission considered approval of a request from Ed-Rich Development for a revised site plan/preliminary plat for the Chenault Retail Center located at the north corner of Storrs Street and SH-205. At this time Staff presented background information on this case. Staff also indicated that the plan meets City requirements. Mr. Richard Slaughter, the applicant, then approached the Commission briefly stating his request and indicating that he would answer any questions. The Commission discussed at length with Mr. Slaughter items regarding 1) gasoline tanker - location and accessibility to the gas tanks, 2) lease space contracts for the retail section, 3) gas pumps and islands, 4) traffic, and 5) landscaping. After discussion, Jacobs made a motion to approve this revised site plan/preliminary plat for the Chenault Retail Center as submitted. Crumbley seconded the motion. The same was voted on and passed unanimously.

The Commission then considered approval of a request from Chevron USA to revise the site plan for the 740 Gulf Station, a .8592 acre tract of land located at the northwest corner of FM-740 and I-30 Service Road. Staff presented to the Commission a brief outline of this request. Mr. Frank Munster, representing the applicant, then approached the Commission stating that one site plan had already been approved by the Commission, but changes were made internally; therefore, they were requesting a revised site plan approval. After a brief discussion and review of the site plan as presented, Quinn made a motion to approve the revised site plan for the 740 Gulf station, with Seligman seconding. The same was voted on and passed unanimously.

The Commission then considered approval of a request from the Southland Corporation for a site plan for a 7-11 store located at the intersection of Goliad and Kaufman Streets. At this time Chairman Smith abstained from this item and leaves the Chambers. Vice-Chairman Seligman now presided over this request. Staff then presented the background information regarding this case. Mr. Marvin Joyce, a representative of the Southland Corporation, then

approached the Commission with this request. The Commission then discussed with Mr. Joyce items regarding 1) sidewalks, 2) landscaping, 3) the location of the tank facilities, 4) off-street parking, 5) entrances, and 6) a request from the Southland Corporation for a variance in setback requirements to the Board of Adjustments. After the discussion, Quinn made a motion to approve the site plan for the 7-11 store with the following conditions:

1. It would be subject to the Board of Adjustments decision on the City setback requirements.
2. That the applicant resubmits to the Planning and Zoning Commission for consideration the detailed landscaping plan.

Carlaw seconded the motion. The same was voted on and passed unanimously.

At this time Chairman Smith re-enters the Chambers and presides over the rest of the meeting.

The Commission then considered approval of a request from Carlisle Investments for a site plan for Rockwall Village, Phase II, located at the intersection of I-30 and FM-740. At this time Staff approached the Commission with background information regarding this case. One of the developers, Mr. Walter Curruchie, approached the Commission indicating that he would answer any questions that the Commission or others may have. Considerable discussion was held by the Commission with the developer regarding 1) the brick on the north side of the cinema building, 2) turn lanes, 3) landscaping, 4) the FM-740 traffic problems as they are now, 5) deceleration lane, 6) parking spaces, and 7) City requirements for landscaping and irrigation. At this time Quinn made a motion to table this requires for consideration until such time that the applicant is ready to present detailed landscaping and turn lane plans. The motion was seconded by Carlaw. The same was voted on and passed unanimously.

With no other items coming before the Commission for consideration, the meeting was then adjourned.

APPROVAL:

Chairman

ATTEST:

BY: _____