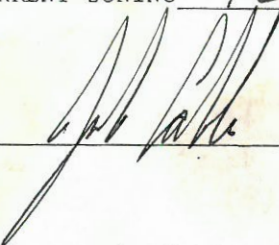


SITE PLAN APPLICATION

Date: 2.24.86

NAME OF PROPOSED DEVELOPMENT KALPERMAN & GOLIAK
 NAME OF PROPERTY OWNER/DEVELOPER THE SOUTHLAND CORPORATION
 ADDRESS 12200 PARK CENTRAL 500 PHONE 980.8055
 NAME OF LAND PLANNER/ENGINEER ORDANIAN GROUP A/E
 ADDRESS 2950 WALNUT HILL LN. 2ND PHONE 350.2306
DALLAS
 TOTAL ACREAGE 1 CURRENT ZONING RETAIL
 NUMBER OF LOTS/UNITS 1

Signed 

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal.

<u>Provided or Shown on Site Plan</u>	<u>Not Applicable</u>	
<u>✓</u>	<u>_____</u>	1. Location of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
<u>✓</u>	<u>_____</u>	2. Landscaping, lighting, fencing and/or screening of yards and set-back areas
<u>✓</u>	<u>_____</u>	3. Design and location of ingress and egress
<u>✓</u>	<u>_____</u>	4. Off-street parking and loading facilities
<u>✓</u>	<u>_____</u>	5. Height of all structures
<u>✓</u>	<u>_____</u>	6. Proposed Uses
<u>✓</u>	<u>_____</u>	7. Location and types of all signs, including lighting and heights
<u>✓</u>	<u>_____</u>	8. Elevation drawings citing proposed exterior finish materials

Provided or Shown
on Site Plan

Not
Applicable

✓

9. Street names on proposed streets

10. The following additional information:

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.

Taken by: _____

File No. _____

Date: _____

Fee: _____

SITE PLAN REVIEW

Date Submitted _____

Scheduled for P&Z _____

Scheduled for Council _____

Applicant/Owner 7-11 Soursland Corp

Name of Proposed Development 7-11

Location Kaufman & Schrad

Total Acreage 1

Number Lots/Units N/A

Current Zoning GR

Special Restrictions None

Surrounding Zoning CBD, GR

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
<u>Planning</u>			
1. Is the site zoned properly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Does the use conform to the Land Use Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Is this project in compliance with the provisions of a Concept Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Is the property platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. If not, is this site plan serving as a preliminary plat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Does the plan conform to the Comprehensive Zoning Ordinance or PD Ordinance			
a. Lot size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Building line <i>need to move rear Bldg. 80' further back.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Buffering	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Landscaping <i>need to define better</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Parking <i>need to verify sq footage in Bldg</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Building height	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h. Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
7. Does the site plan contain all required information from the application checklist?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Is there adequate access and circulation?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Are street names acceptable?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Was the plan reviewed by a consultant? (If so, attach copy of review.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Does the plan conform to the Master Park Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

Building Codes

1. Do buildings meet setback requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Do buildings meet fire codes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Do signs conform to Sign Ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Engineering

1. Does plan conform to Thoroughfare Plan? <i>need to move Bldg back from Interarkam</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Do points of access align with adjacent ROW?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Are the points of access properly spaced?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Does plan conform with Flood Plain Regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Will escrowing of funds or construction of substandard roads be required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Time Spent on Review

<u>Name</u>	<u>Date</u>	<u>Time Spent (hours)</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

LOCATION
KAUFMAN ST. & GOLIAD
CITY
ROCKWALL, TX.
DATE
JANUARY 27, 1988
MARCH 13, 1988



STORE
7-ELEVEN
NORTH TEXAS DIVISION
THE SOUTHLAND CORPORATION #500
12200 PARK CENTRAL #500
DALLAS, TEXAS 75251



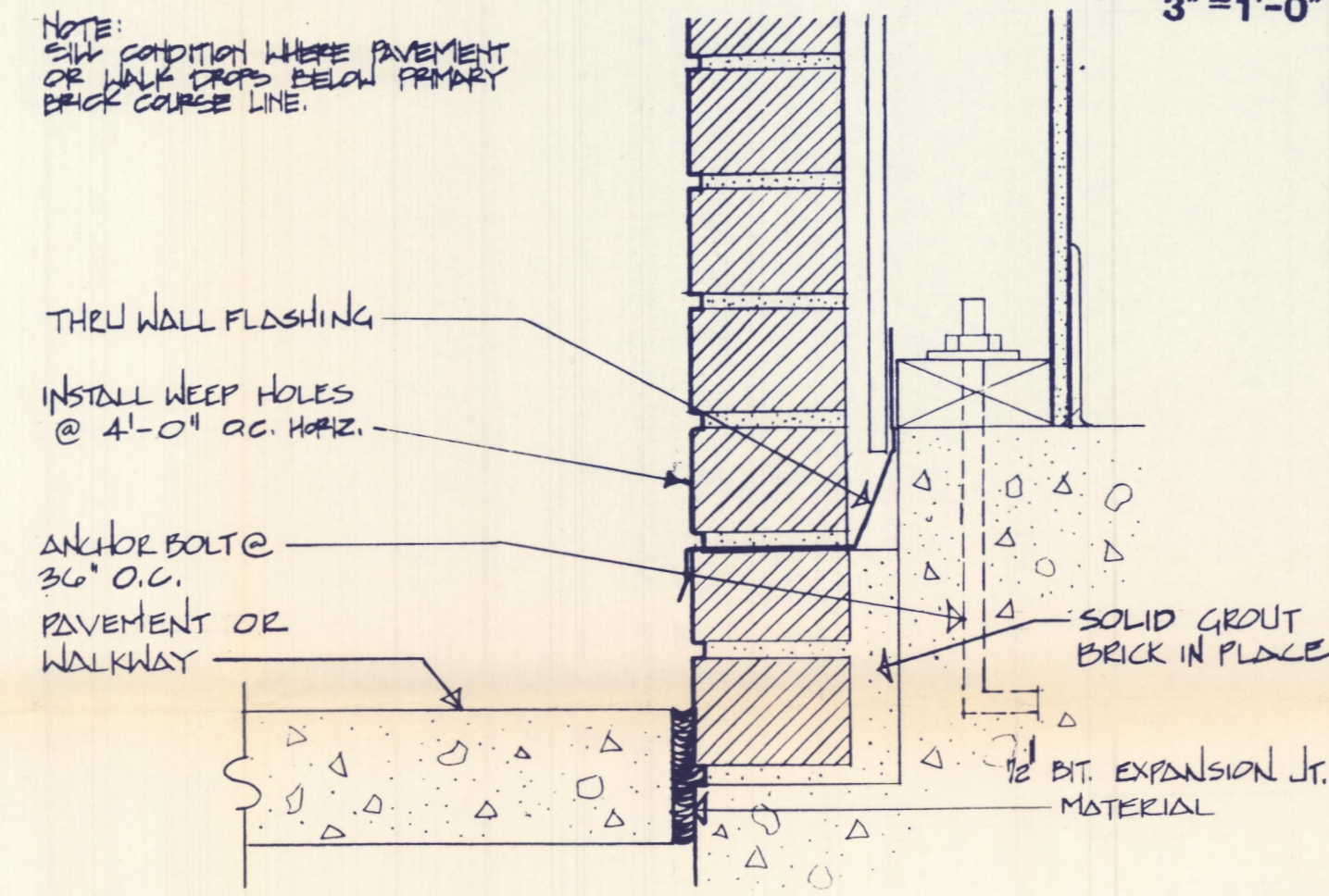
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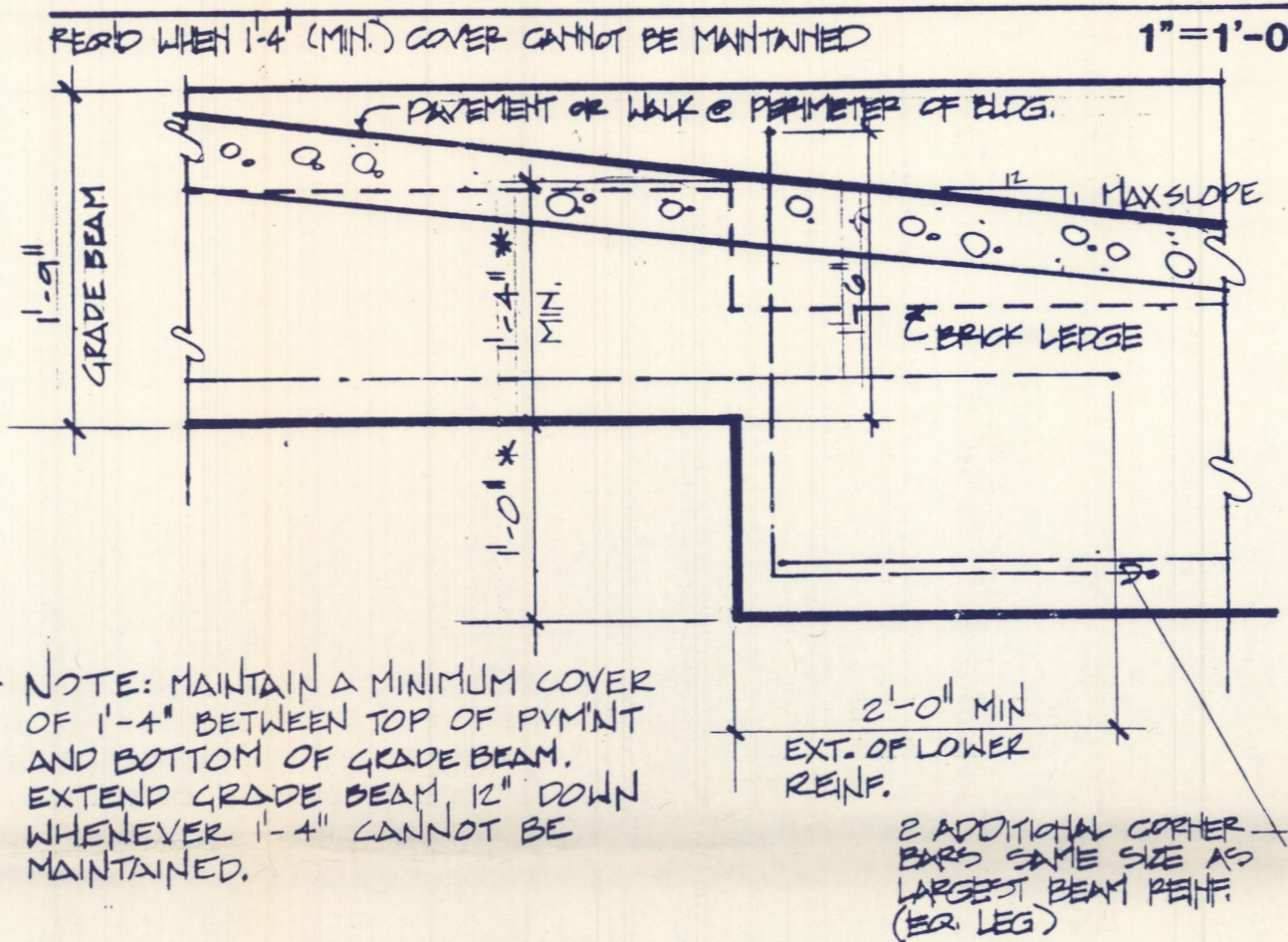
QUANTUM GROUP
ARCHITECTS-ENGINEERS
2550 Walnut Hill Lane, Suite 250, Dallas, Texas 75229
(214) 350-2308

INTERURBAN (20'-0" R.O.W.)

SILL DETAIL

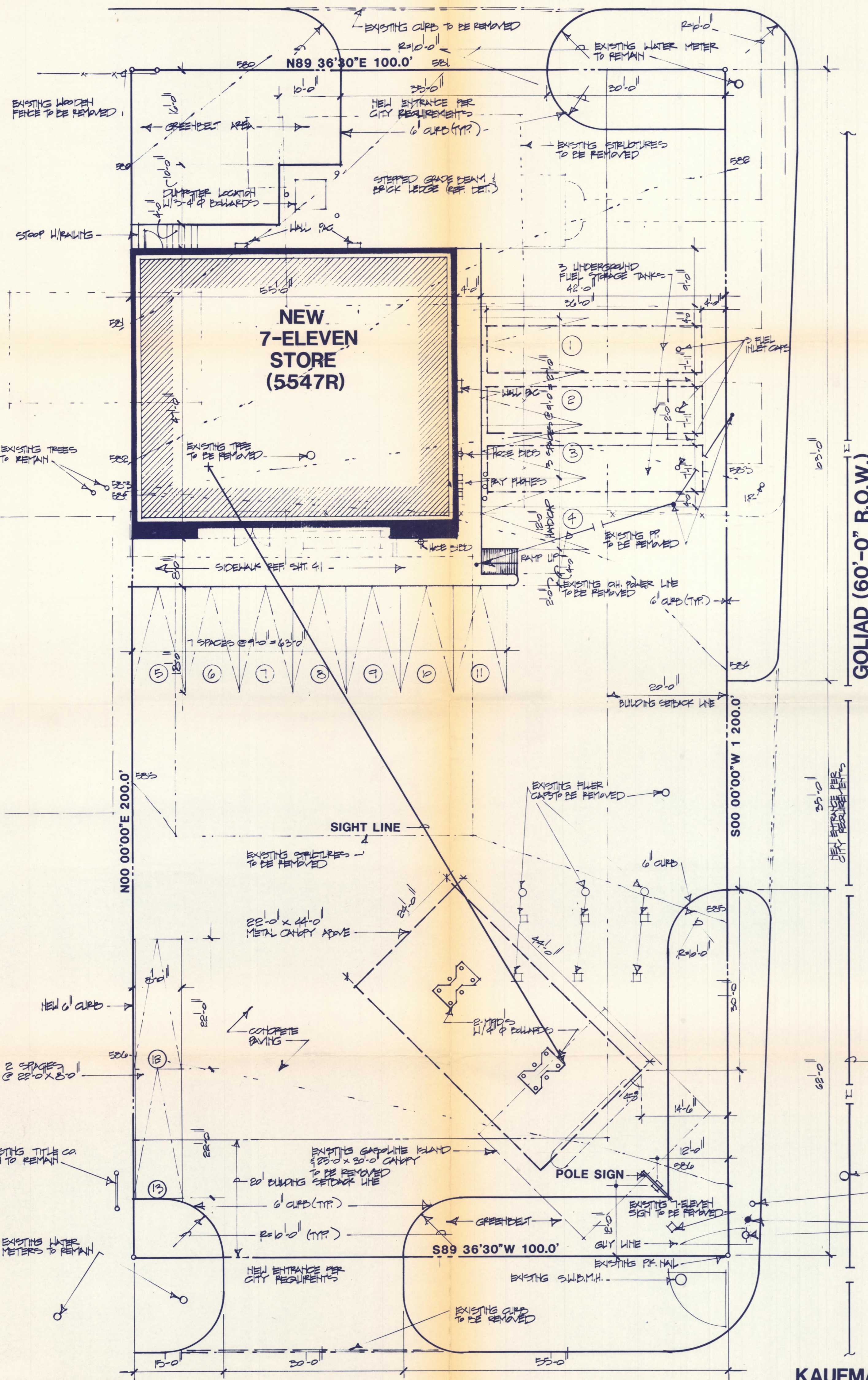


GRADE BEAM STEP DETAIL



* NOTE: MAINTAIN A MINIMUM COVER OF 1-4" BETWEEN TOP OF PYLON AND BOTTOM OF GRADE BEAM. EXTEND GRADE BEAM 12" DOWN WHENEVER 1-4" CANNOT BE MAINTAINED.

NOTE:
- VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES IN FIELD.
- EXISTING 6" SANITARY SEWER ON KAUFMAN. VERIFY LOCATION IN FIELD.



SITE PLAN

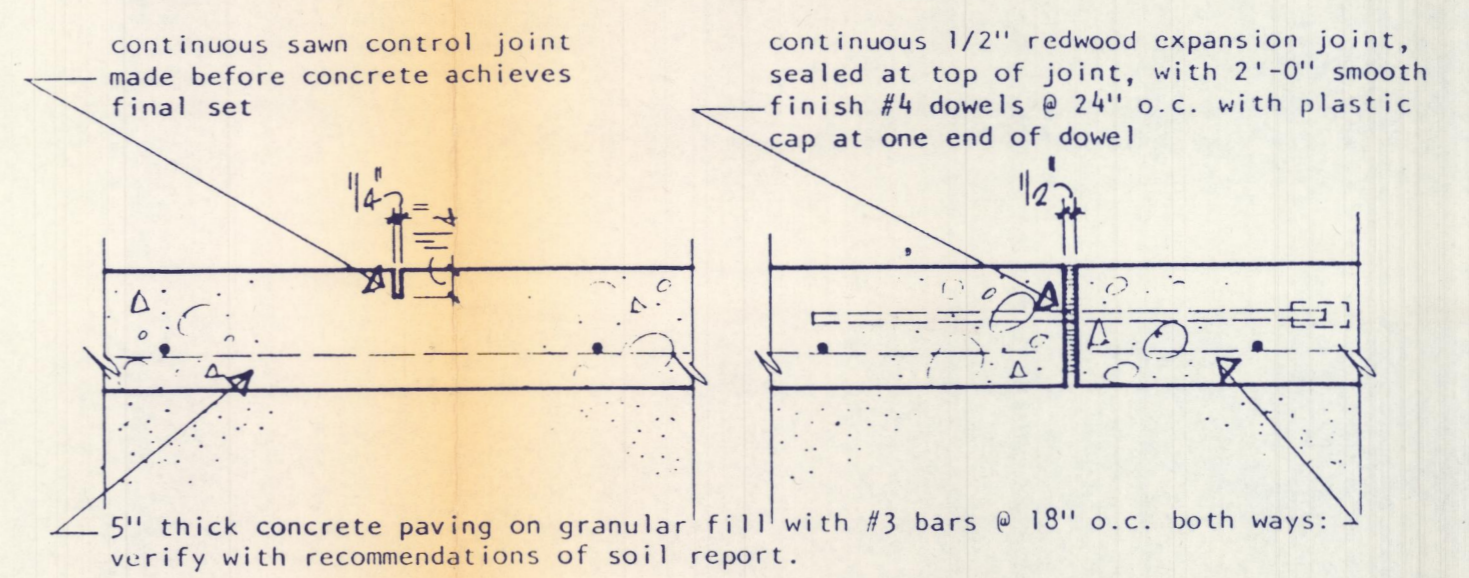
1" = 10'-0"



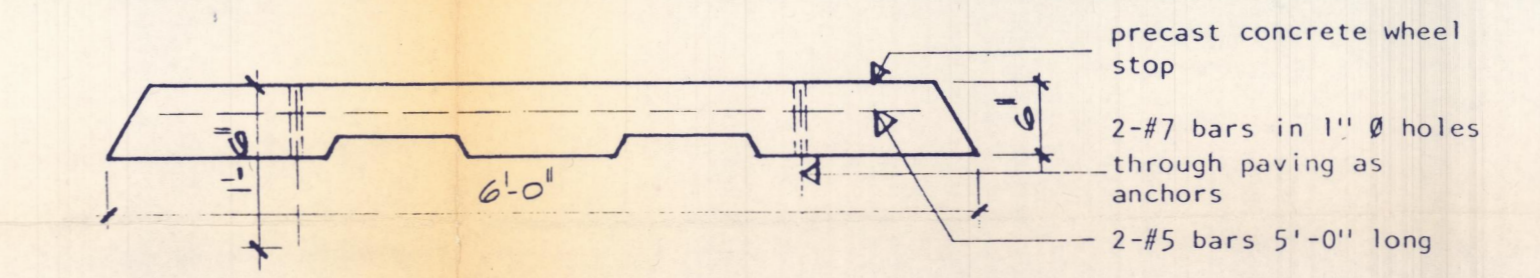
GENERAL NOTES

- Sidewalks to slope 2" from building and to have minimum 6" curb for wheel stop.
- Handicap ramp to have maximum slope of 10% and scored concrete surface as indicated.
- General contractor to protect gutters, curbs etc. as required during construction.
- Pole sign furnished by 7-Eleven. Rough and final connections by subcontractor. Provide underground conduit and wire for panel. Paving contractor to leave 2'-6" x 2'-6" minimum opening in pavement for installation of pole sign and patch after sign is installed.
- General contractor to verify connections of all utilities and the exact locations of all connections. All utility costs, including assessments, shall be included in the contractor's base bid.
- 4" building sewer to be connected to existing sewer lines. Verify location with appropriate local governing agencies prior to excavation.
- 3/4" water service with meter, meter pit, cover, etc. to be installed in accordance with local water department requirements and connected to existing service. Verify location with appropriate local governing agencies prior to excavation.
- 3 underground fuel storage tanks with 6" concrete with #3's @ 18" o.c. both ways on 3" pea gravel. Provide a 1/2" expansion joint @ perimeter. Concrete pad over underground fuel storage tanks by others. Fuel pumps, islands, and underground fuel storage tanks to be installed in accordance with all local codes and Rules and Regulations for the Safe Storage, Handling, and Use of Flammable Liquids at Retail Service Stations, published by the State Fire Marshal's Office, State of Texas. Fuel pumps and islands installed by others. Contractor to coordinate fuel installation as required.
- All parking spaces to be 9'-0" x 18'-0" with 4" wide painted strip. Handicapped stall to be 12'-0" x 18'-0" typically.
- Paving to consist of 5" thick concrete reinforced with #3's @ 18" o.c. both ways on granular fill as recommended by soil report. 1-1/4" deep control joints to be cut in slab @ 20'-0" o.c. both ways, maximum (ref. detail #1). Install 1/2" redwood expansion joints where indicated on drawings (ref. detail #2).
- DO NOT SCALE THIS DRAWING.
- Remove existing structures in their entirety as indicated on drawing, including slabs, walks, and miscellaneous foundation work and remove debris from site. Remove existing underground fuel storage tanks and remove from site.
- Bench Mark:
U.S.G.S. Brass cap top of church stairs on Northeast corner of Goliad and Kaufman. ELEV. 588.296'

TYPICAL DETAILS



1 control joint 2 expansion joint



3 concrete wheel stop Note: Concrete wheel stops may not be used on all sites.

LEGEND

---000---	Existing grade	---000---	Finish grade
• 000	Existing spot elevation	• 000	Finish spot elevation
▭	Existing pavement, curbs	▭ 000	Top of new slab elevation
----	Limits of demolition	Limits of new pavement, curbs, etc.
—G—	Gas line	—W—	Water Line
—SS—	Sanitary sewer	—T—	Telephone Line
—E—	Electrical line		

LOCATION
KAUFMAN ST. & GOLIAD ST.
CITY
ROCKWALL, TEXAS
DATE
JANUARY 27, 1986
REV. 2/18/86
REV. 3/10/86



STORE
7-ELEVEN
NORTH TEXAS DIVISION
THE SOUTHLAND CORPORATION
12200 PARK CENTRAL
DALLAS, TEXAS 75251



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ARCHITECTS-ENGINEERS
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(214) 350-2306

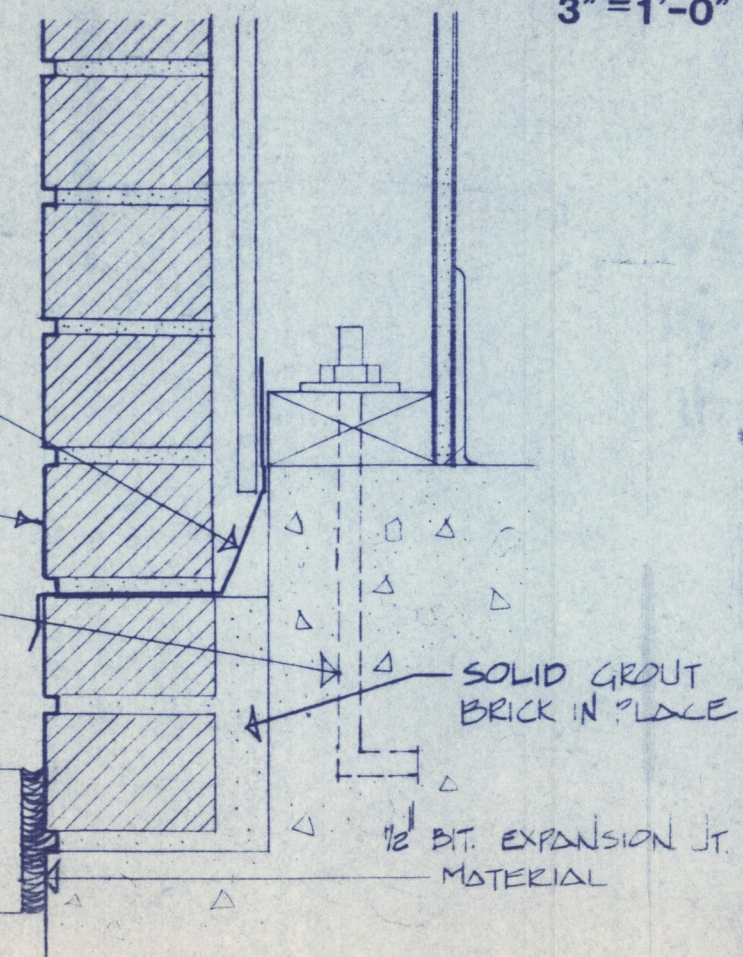
SHEET **1**
OF **1**

INTERURBAN (20'-0" R.O.W.)

SILL DETAIL

NOTE: SEE CONDITION WHERE PAVEMENT OR WALK CROSS BELOW PRIMARY BRICK COURSE LINE

TRU WALL FLASHING
INSTALL WEEP HOLES @ 4'-0" O.C. HORIZ.
ANCHOR BOLT 3/4" O.C.
PAVEMENT OR WALKWAY

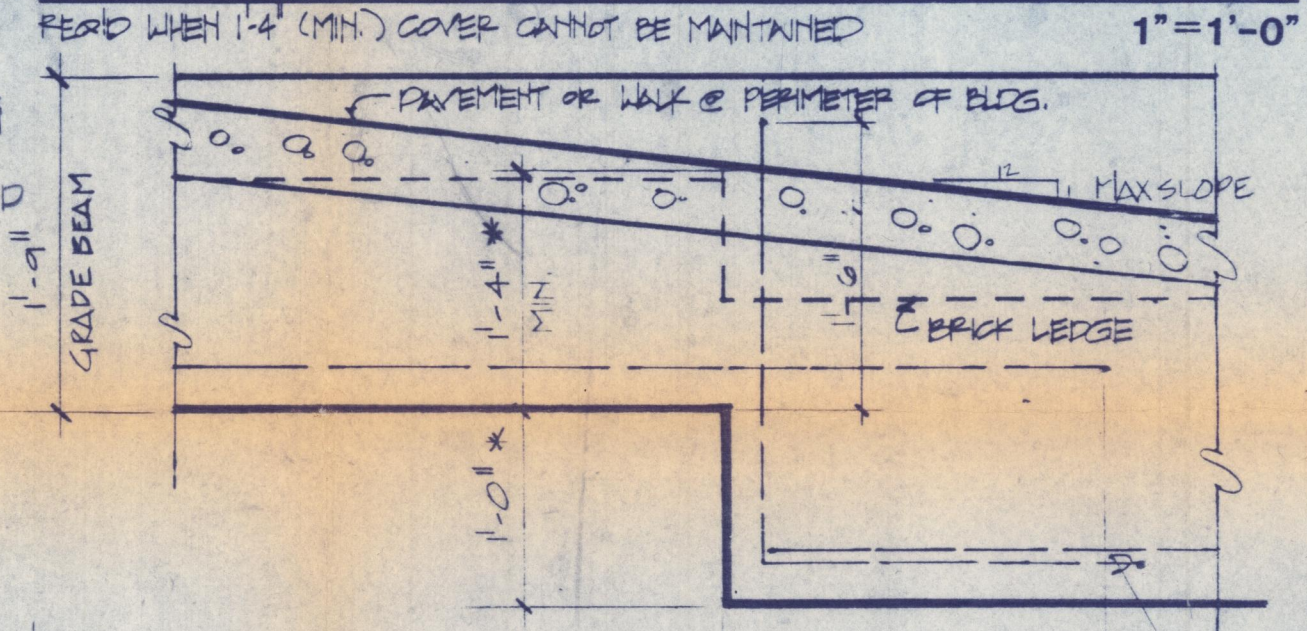


GENERAL NOTES

1. Sidewalks to slope 2" from building and to have minimum 6" curb for wheel stop.
2. Handicap ramp to have maximum slope of 10% and scored concrete surface as indicated.
3. General contractor to protect gutters, curbs etc. as required during construction.
4. Pole sign furnished by 7-Eleven. Rough and final connections by subcontractor. Provide underground conduit and wire for panel. Paving contractor to leave 2'-6"-2'-6" minimum opening in pavement for installation of pole sign and patch after sign is installed.
5. General contractor to verify connections of all utilities and the exact locations of all connections. All utility costs, including assessments, shall be included in the contractor's base bid.
6. 4" building sewer to be connected to existing sewer lines. Verify location with appropriate local governing agencies prior to excavation.
7. 3/4" water service with meter, meter pit, cover, etc. to be installed in accordance with local water department requirements and connected to existing service. Verify location with appropriate local governing agencies prior to excavation.
8. 3 underground fuel storage tanks with 6" concrete with #3's @ 18" o.c. both ways on 3" pea gravel. Provide a 1/2" expansion joint @ perimeter. Concrete pad over underground fuel storage tanks by others. Fuel pumps, islands, and underground fuel storage tanks to be installed in accordance with all local codes and Rules and Regulations for the Safe Storage, Handling, and Use of Flammable Liquids at Retail Service Stations, published by the State Fire Marshal's Office, State of Texas. Fuel pumps and islands installed by others. Contractor to coordinate fuel installation as required.
9. All parking spaces to be 9'-0" x 18'-0" with 4" wide painted stripes. Handicapped stall to be 12'-0" x 18'-0" typically.
10. All pipe bollards to be filled with concrete, primed and painted.
11. Paving to consist of 5" thick concrete reinforced with #3's @ 18" o.c. both ways on granular fill as recommended by soil report. 1-1/4" deep control joints to be cut in slab @ 20'-0" o.c. both ways, maximum (ref. detail #1). Install 1/2" redwood expansion joints where indicated on drawings (ref. detail #2).
12. DO NOT SCALE THIS DRAWING.
13. Remove existing structures in their entirety as indicated on drawing, including slabs, walks, and miscellaneous foundation work and remove debris from site. Remove existing underground fuel storage tanks and remove from site.
14. Bench Mark:
U.S.G.S. Brass cap top of church stairs on Northeast corner of Goliad and Kaufman. Elev. 588.296'

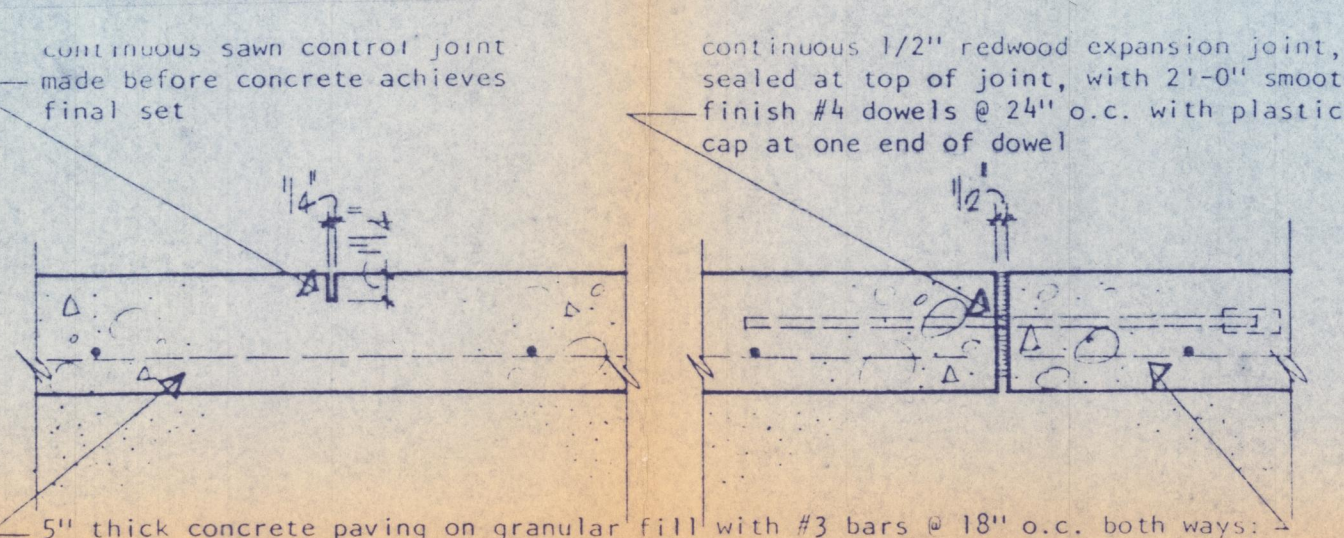
GOLIAD (60'-0" R.O.W.)

GRADE BEAM STEP DETAIL

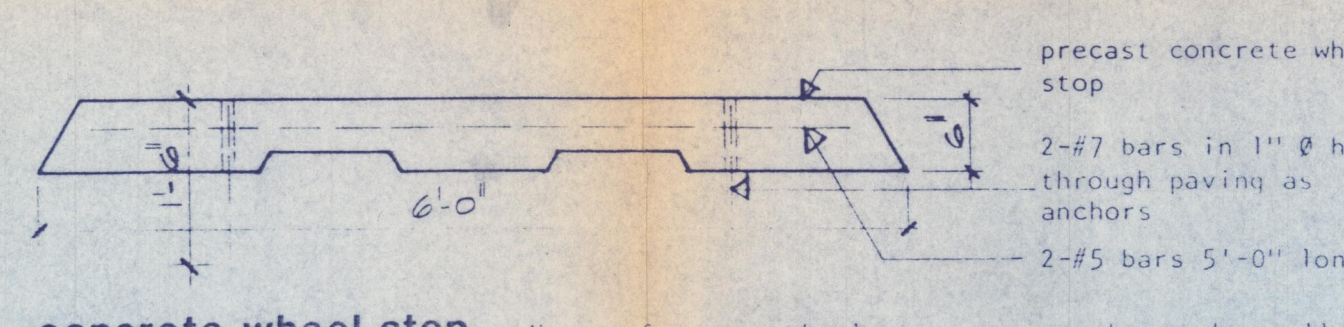


NOTE: MAINTAIN A MINIMUM COVER OF 1'-4" BETWEEN TOP OF FVMT AND BOTTOM OF GRADE BEAM. EXTEND GRADE BEAM 12" DOWN WHENEVER 1'-4" CANNOT BE MAINTAINED.
2 ADDITIONAL CORNER BARS SAME SIZE AS LARGEST BEAM REIN (SEE LEG)

TYPICAL DETAILS



1 control joint
2 expansion joint



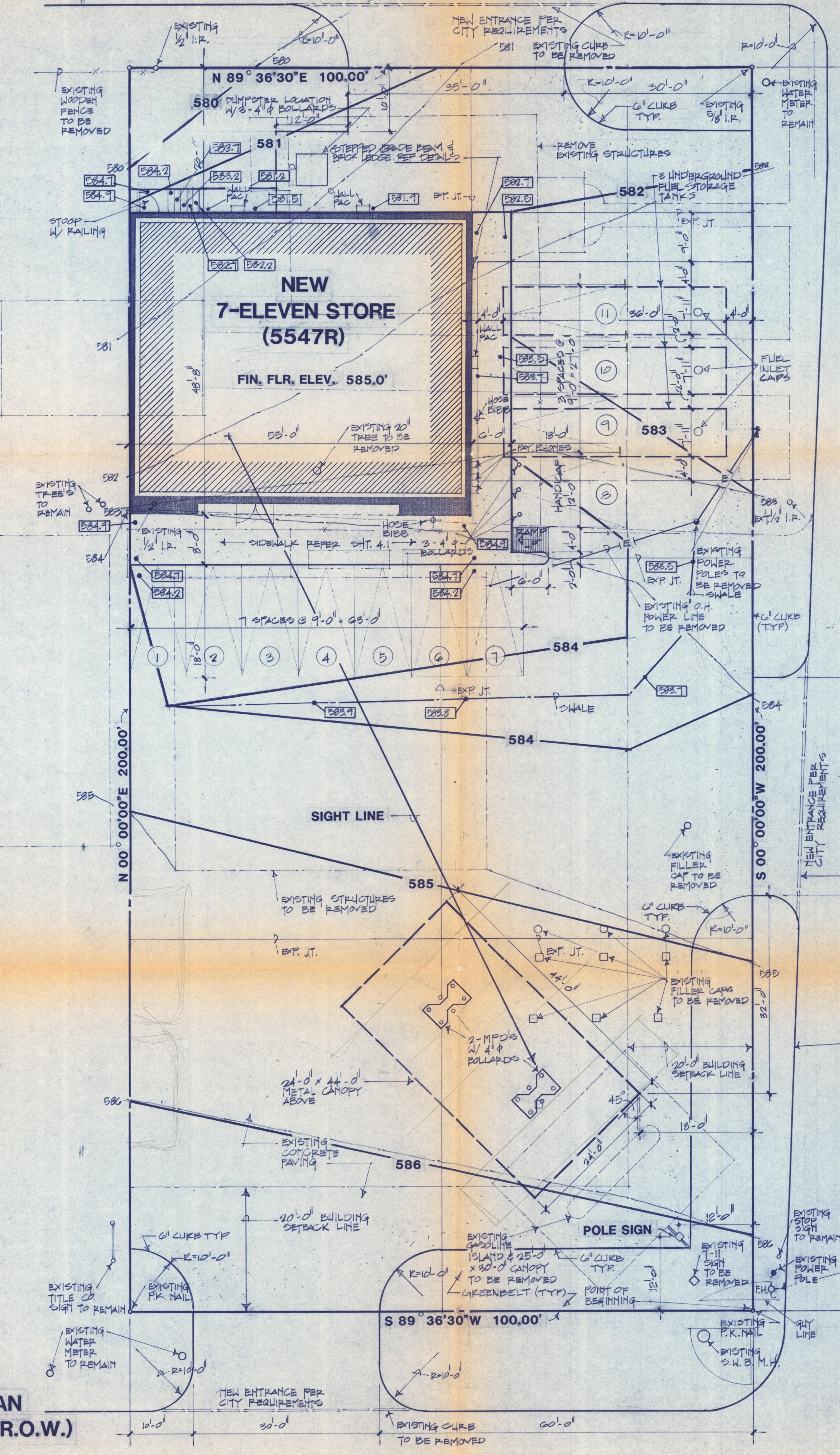
3 concrete wheel stop
Note: Concrete wheel stops may not be used on all sites.

LEGEND

- Existing grade
- Finish grade
- Existing spot elevation
- Finish spot elevation
- Existing pavement, curbs
- Top of new slab elevation
- Limits of demolition
- Limits of new pavement, curbs, etc.
- G— Gas line
- W— Water line
- SS— Sanitary sewer
- T— Telephone line
- E— Electrical line

SITE PLAN

1"=10'-0" NORTH



KAUFMAN (60'-0" R.O.W.)

JOB NO.
88-107
LOCATION
KAUFMAN AND GOLLIAD
CITY
ROCKWALL, TX,
DATE
MARCH 21, 1988



7-ELEVEN
NORTH TEXAS DIVISION
THE SOUTHLAND CORPORATION
12200 PARK CENTRAL
DALLAS, TEXAS 75251

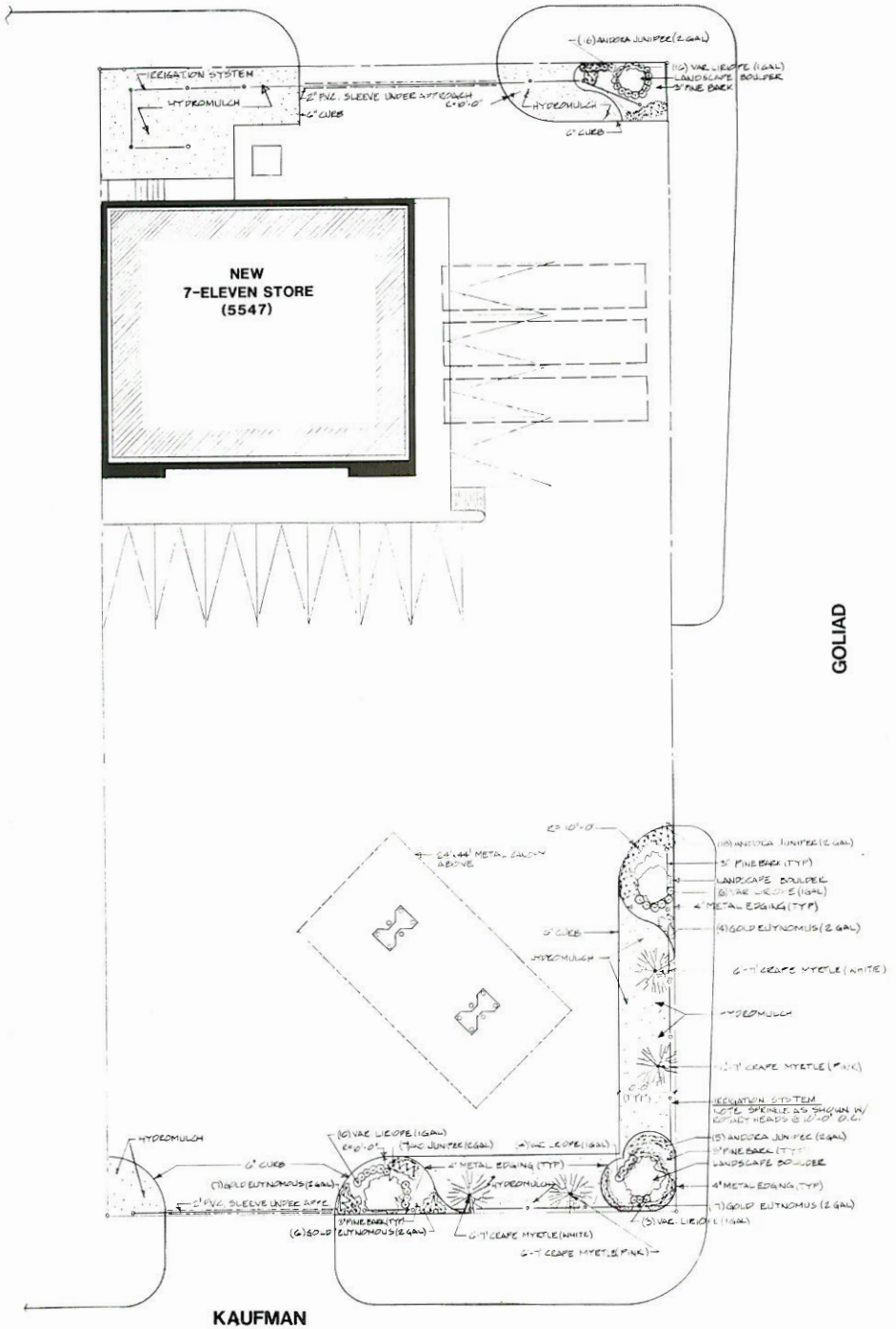


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(214) 295-2308

SHEET **2**
OF **2**



SCHEDULE

QTY	ITEM	SIZE
8	CAPE MYRTLE (WHITE)	2"
2	CAPE MYRTLE (PINK)	2"
40	ANDREA JUNIPER	2 GAL
24	EUTYMIUS (GROUP)	2 GAL
2	LANDSCAPE BOLLERS	2"
55	HYDROMULCH	
4	HYDROMULCH	
	SPRINKLER SYSTEM	

LANDSCAPING PLAN

1" = 10'-0"



QUANTUM GROUP
ARCHITECTS · ENGINEERS

March 11, 1986

Ms. Jude Couch
City of Rockwall
205 W. Rusk
Rockwall, Texas

RE: 7-Eleven at Kaufman & Goliad

JUNE, please find nine copies of the revised site plan per our conversation 3/7/86.

The following comments have been addressed for revision as follows:

- Remove most northerly entrance on Goliad
- Provide 10% landscaping
- Provide 6" curb at all greenbelts & property lines
- Move entrance on Interurban 10' west to provide 30' clearance from corner.

Please contact me immediately regarding any further coordination.

Sincerely,
QUANTUM GROUP Architects-Engineers



Joseph Cable

BEFORE THE ZONING BOARD OF ADJUSTMENTS
CITY OF ROCKWALL, TEXAS

The Zoning Board of Adjustments will hold a public hearing at 7:30
o'clock P .M. on the 8th day of April, 1986,
in the Rockwall City Hall, Rockwall, Texas, at the request of Southland Corporation
for a variance from setback requirements
of the Comprehensive Zoning Ordinance
on the following described property:

See Legal Description attached

for the purpose of Constructing a 7-11 Store at the northwest corner
of Goliad & Kaufman that would not meet certain required setbacks.

As an interested property owner, it is important that you attend this hearing or notify the Board of your feeling in regard to the matter by returning the form below. In replying, please refer to Case No. BOA-86-8-V

Jennifer L. Garrett
City of Rockwall

The following form may be filled out and mailed to the Zoning Board of Adjustments, 205 West Rusk, Rockwall, Texas 75087.

Case No. BOA 86-8-V

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- 1.
- 2.
- 3.

(Check one item PLEASE and return the notice to this office IMMEDIATELY.)

Signature

Address

Charles O. Pinney
704 Alexander Lane
Rockwall, Texas 75087

BEFORE THE ZONING BOARD OF ADJUSTMENTS
CITY OF ROCKWALL, TEXAS

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Jennifer L. Jarrett
City of Rockwall

The following form may be filled out and mailed to the Zoning Board of Adjustments, 205 West Rusk, Rockwall, Texas 75087.

Case No. BOA 86-8-V

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

1. No other property on Interurban St meets setback requirements
2. Interurban may never be widened
- 3.

(Check one item PLEASE and return the notice to this office IMMEDIATELY.)

Signature Tom B Rhodes

Address Goliad & Kaufman
Rockwall

BEFORE THE ZONING BOARD OF ADJUSTMENTS
CITY OF ROCKWALL, TEXAS

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clock P .M. on the 8th day of April, 1986

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Jennifer L. Garrett
City of Rockwall

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I am opposed to the request for the reasons listed below.

- 1.
- 2.
- 3.

(Check one item PLEASE and return the notice to this office IMMEDIATELY.)

Signature J. Winger
Address 302 W. Kaufman
City