

APPLICATION AND
FINAL PLAT CHECKLIST

Date: April 23, 1984

Name of Proposed Subdivision HARLAN PARK PHASE ONE

Name of Subdivider JIMMY HUDSON

Address 4200 EDMONDSON, DALLAS, TEXAS 75205 Phone 528-3450
~~521-1666~~

Owner of Record SAME

Address _____ Phone _____

Name of Land Planner/Surveyor/Engineer HAROLD L. EVANS, Consulting Engineer

Address P. O. Box 28355, Dallas, Texas 75228 Phone 328-8133

Total Acreage 23.2825 Current Zoning SF-10

Number of Lots/Units 65 Signed James Hudson

The final Plat shall generally conform to the Preliminary Plat, as approved by the City Council and shall be drawn to legibly show all data into a satisfactory scale, usually not smaller than one inch equals 100 feet.

The following Final Plat Checklist is a summary of the requirements listed under Section VIII of the Rockwall Subdivision Ordinance. Section VIII should be reviewed and followed when preparing a Final Plat. The following checklist is intended only as a reminder and a guide for those requirements.

INFORMATION

Provided or Not
Shown on Plat Applicable

- | | | |
|----------|-------|--|
| <u>✓</u> | _____ | 1. Title or name of subdivision, written and graphic scale, north point, date of plat, and a key map |
| <u>✓</u> | _____ | 2. Location of the subdivision by City, County and State |
| _____ | _____ | 3. Location of subdivision tied to a USGS monument, Texas highway monument, or other approved benchmark |
| <u>✓</u> | _____ | 4. Accurate boundary survey and property description with tract boundary lines indicated by heavy lines. |
| <u>✓</u> | _____ | 5. Accurate plat dimensions with all engineering information necessary to reproduce plat on the ground |

APPLICATION AND
FINAL PLAT CHECKLIST

- | | | | |
|-------------------------------------|-------|-------|--|
| <input checked="" type="checkbox"/> | _____ | _____ | 6. Approved name and right-of-way width of each street, both within and adjacent to the subdivision |
| <input checked="" type="checkbox"/> | _____ | _____ | 7. Locations, dimensions and purposes of any easements or other rights-of-way |
| <input checked="" type="checkbox"/> | _____ | _____ | 8. Identification of each lot or site and block by letter or number and building lines of residential lots |
| <input checked="" type="checkbox"/> | _____ | _____ | 9. The record owners of contiguous parcels of unsubdivided land; names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats or adjoining platted land by record name, and deed record volume and page |
| <input checked="" type="checkbox"/> | _____ | _____ | 10. Boundary lines, dimensions and descriptions of open spaces to be dedicated for public use of the inhabitants of the subdivision |
| <input type="checkbox"/> | _____ | _____ | 11. Contours at a minimum of 2 ft. intervals |
| <input checked="" type="checkbox"/> | _____ | _____ | 12. A certificate of dedication of all streets, alleys, parks and other public uses, signed by the owner or owners |
| <input checked="" type="checkbox"/> | _____ | _____ | 13. The designation of the entity responsible for the operation and maintenance of any commonly held property, and a waiver releasing the City of such responsibility; a waiver releasing the City for damages in establishment or alteration of grades |
| <input checked="" type="checkbox"/> | _____ | _____ | 14. An instrument of dedication or adoption signed by the owner or owners |
| <input checked="" type="checkbox"/> | _____ | _____ | 15. Space for signatures attesting approval of the plat |
| <input checked="" type="checkbox"/> | _____ | _____ | 16. The seal and signature of the surveyor and/or engineer responsible for surveying the subdivision and/or the preparation of the plat |
| <input checked="" type="checkbox"/> | _____ | _____ | 17. Complies with all special requirements developed in preliminary plat review |

✓ _____

18. Plan profiles for streets and
utilities

Taken by _____

File No. 84-62-FP

Date 5/3/8A

Fee \$ 425.00

Receipt _____

CITY OF ROCKWALL
OFFICIAL RECEIPT

NAME Mrs. Hudson DATE 5-3-84
ADDRESS _____

Cash Check Other

GARBAGE	
LAND FILL PERMIT	
GARAGE SALES	
SOLICITORS PERMIT	
RENT	
MISCELLANEOUS WATER SALES	
<u>Plot</u>	<u>425.00</u>
	<u>425.00</u>

2528

Received By _____

~~SITE PLAN/PRELIMINARY/PLAT~~ FINAL PLAT
FACT SHEET

Applicant: James Hudson
Name of Proposed Development: Harlan Park, Phase One
Acreage: 23.2825
Number of Lots: 65
Current Zoning: SF-10
Surrounding Zoning: SF-10 and Agricultural

Description: First phase of Harlan Park on SH-205 and Dalton Road.
Single Family lots with alleys. Minimum 10,000 sq. ft.
lots. Some lots on cul-de-sacs meet our frontage requirement at the
building line.

Staff Comments:

1. Dalton Road not FM-552
2. Need street access to Lot 13, Block C and Lot 13.
Block D
3. Need access to alley behind Harlan Drive
4. Consider easement across Lot 13, Block F
5. Consider reverse Ellington Ct. to access off
Harlan Drive

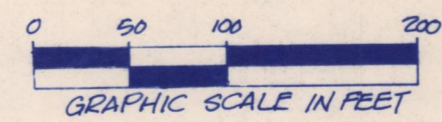
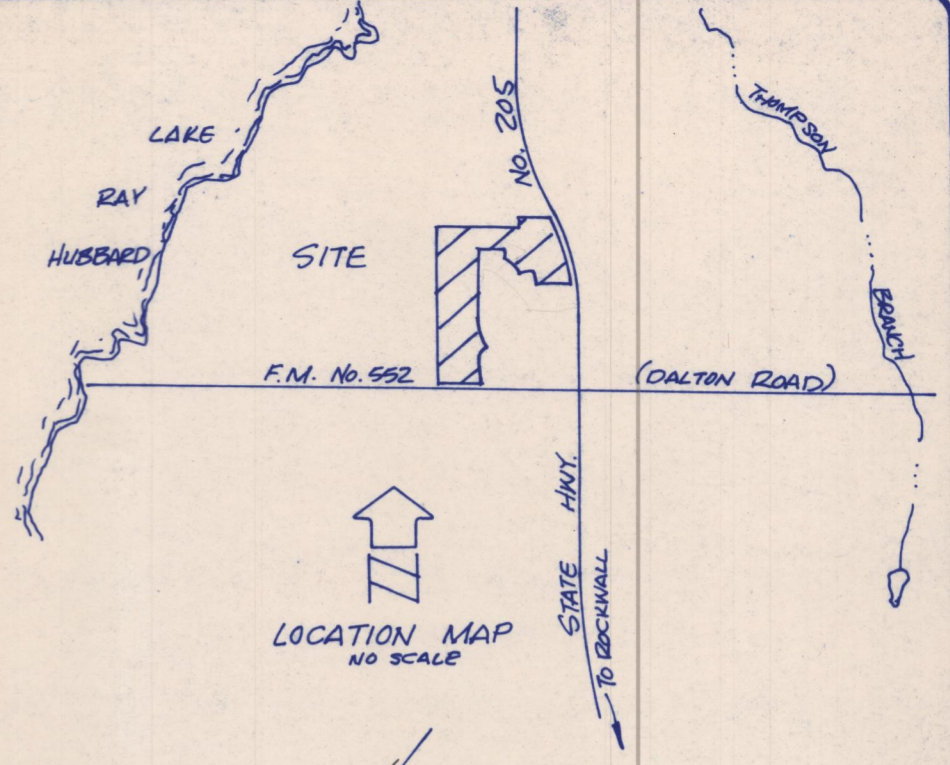
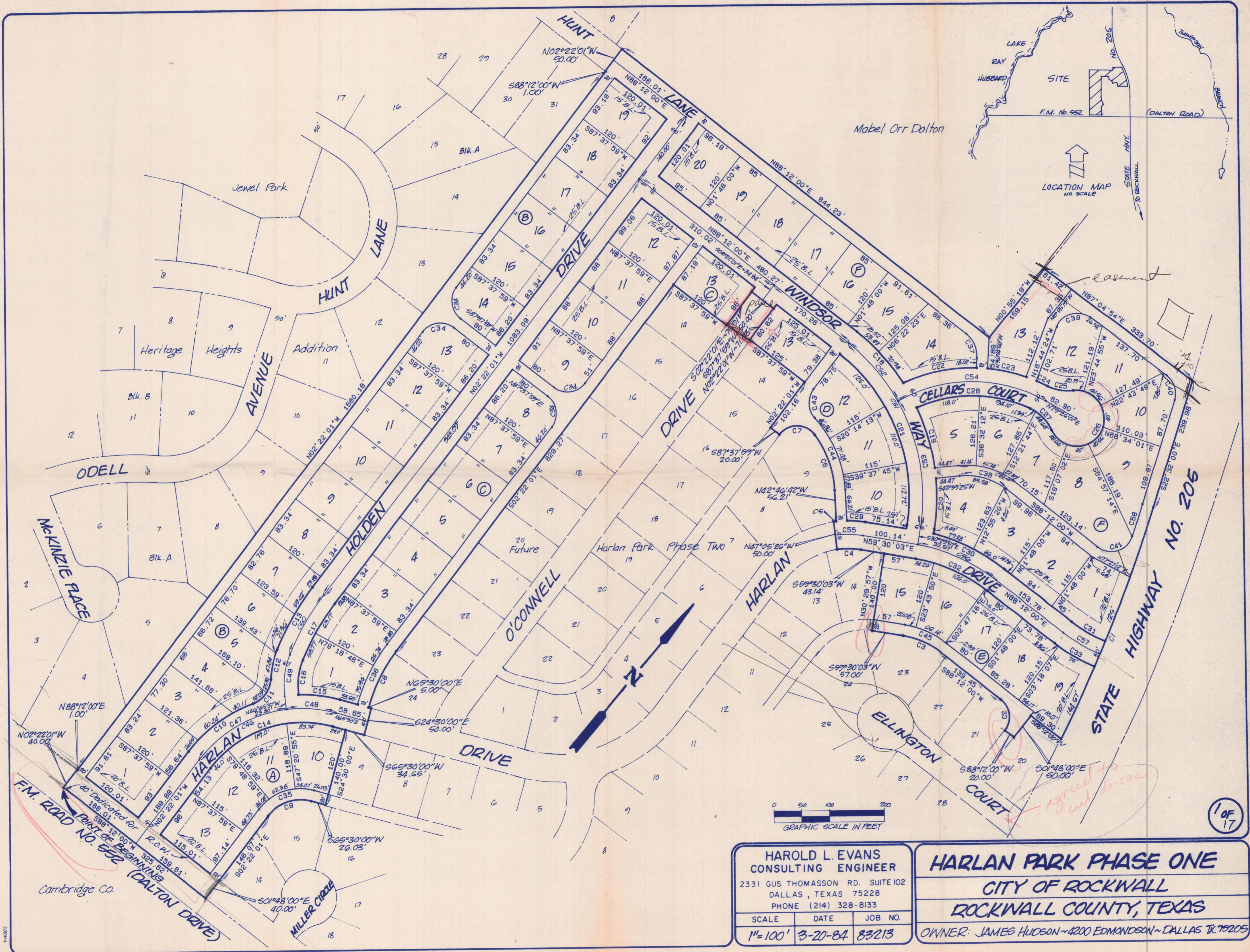
Planning and Zoning Commission Recommendations:

5/10/84 - Approval subject to staff and engineering comments.

City Council Decision:

6/4/84 - Remove from Agenda pending engineering approval.

6/11/84 - Approve subject to engineering.



HAROLD L. EVANS
 CONSULTING ENGINEER
 2331 GUS THOMASSON RD. SUITE 102
 DALLAS, TEXAS 75228
 PHONE (214) 328-8133

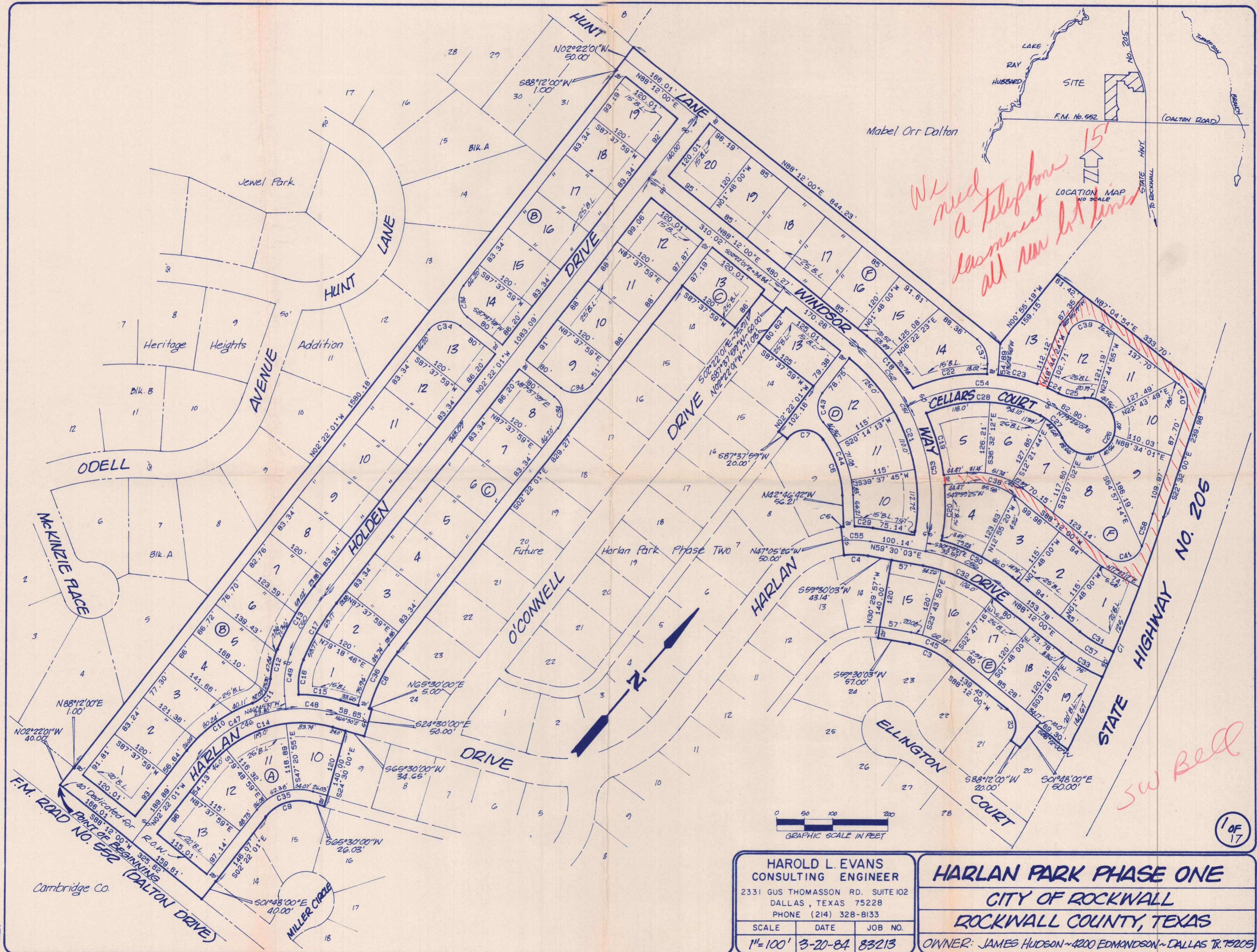
SCALE	DATE	JOB NO.
1"=100'	3-20-84	83213

HARLAN PARK PHASE ONE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNER: JAMES HUDSON ~ 4200 EDMONDSON ~ DALLAS TX. 75205

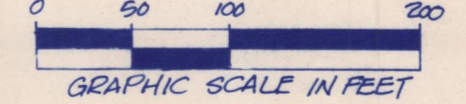
1 OF 17

N46873



We need a telephone easement all new hot lines

sw Bell



HAROLD L. EVANS
 CONSULTING ENGINEER
 2331 GUS THOMASSON RD. SUITE 102
 DALLAS, TEXAS 75228
 PHONE (214) 328-8133

SCALE	DATE	JOB NO.
1"=100'	3-20-84	83213

HARLAN PARK PHASE ONE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

OWNER: JAMES HUDSON ~ 4200 EDMONDSON ~ DALLAS TX 75205

Hold! *EH*

FREESE AND NICHOLS, INC.

CONSULTING ENGINEERS AND PLANNERS

SIMON W. FREESE, P.E.
JAMES R. NICHOLS, P.E.
ROBERT L. NICHOLS, P.E.
LEE B. FREESE, P.E.
ROBERT S. GOOCH, P.E.
JOE PAUL JONES, P.E.
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JOHN H. COOK, P.E.
T. ANTHONY REID P.E.

JOE B. MAPES, P.E.
OCIE C. ALLEN, P.E.
W. ERNEST CLEMENT, P.E.
ELVIN C. COPELAND, P.E.
GARY N. REEVES, P.E.

May 1, 1984

City of Rockwall
102 E. Washington
Rockwall, TX 75087

Attention: Mr. Jesse Gilbert, City Administrator
Mr. Ed Heath, Director of City Services

Re: Harlan Park, Phase I
ROK 84811

Gentlemen:

We have received the plans for the referenced project and offer the following comments regarding compliance with Rockwall's Standard of Design and good engineering practice.

GENERAL

1. The intersection of Holden Lane and Windsor Way is located 140-feet from the intersection of Hunt Lane and Holden Lane. It is suggested that street intersections at distances less than 150-feet be discouraged.
2. It is recommended that drainage easements be indicated on the file plat for storm sewer crossing lots in Blocks D, E, and F. These easements needs to be dimensioned.

PAVING

1. It is recommended that the vertical curve (sag) located at station 7+28.18 of Holden Drive be changed from 170-feet to 190-feet.
2. The sag vertical curve located on Harlan Drive at the intersection Harlan Drive and F.M. No. 552 does not meet the required curve length stated in the Standards for Design.
3. The change in grade at Station 5+00 on Windsor Way is greater than .5% in difference. The Standards for Design requires a vertical curve at grade changes greater than .5%.

STORM SEWER

1. It is recommended that the Drainage Area Map be revised to show all proposed and existing drainage structures, sizes, pipe locations and sizes, c.f.s. quantities, and direction of flow arrows.
2. The drainage system located in Blocks D, E, and F does not comply with the Standards for Design. The 36-inch pipe located between Station 0+60 and Station 1+88 appears to be undersized. Approximately 84 c.f.s. is shown to be carried by this pipe. It is recommended that the pipe size be increased to satisfy this flow.
3. The 42-inch pipe located in the same area also appears to be undersized. The flow in this portion of the system appears to be approximately 89 c.f.s. on a grade of 0.2%. It is recommended that the storm runoff be satisfied in accordance to the Standards for Design which allow flows in excess of a 48-inch pipe capacity to be carried in a concrete-lined ditch.
4. The storm sewer plans indicate that the storm runoff from drainage area 11 (between Holden Drive and O'Connell Drive) is not satisfied in this drainage system. It appears that the developer plans to satisfy a portion of drainage area 11 in the future adjacent development. However, if the next phase of this development is not built, then the inlet located in the alley will be undersized. It is recommended that storm inlets be provided to satisfy the storm runoff of drainage area 11.

WATER

1. It is recommended that flush valves be located at all locations where water lines dead-end.
2. Sheet 13 of 17 does not indicate where the construction of the proposed water along S.H. 205 south of F.M. 552 starts.
3. The 1983 Report on the Water Distribution System Study recommended the construction of a 16-inch pipeline in S.H. 205 south of F.M. 552.

SEWER

1. Sheet 15, as noted on the Utility Plans Sheet (No. 13 of 17), is not included in this set of plans. It is recommended that the off-site sewer plans be provided for review.

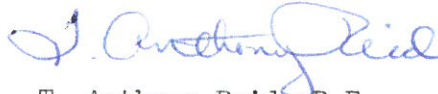
City of Rockwall
May 1, 1984
Page 3

GENERAL COMMENTS

Upon the City of Rockwall's review and acceptance of the comments offered herein, we would recommend the Developer provide corrections and additions to the plans as noted and two copies of revised plans be resubmitted for review. Our recommendations do not in any way relieve the Developer or his agent from responsibility and compliance with the City of Rockwall's design standards and good engineering practice. Please contact us if you have any questions or if we can be of further service.

Yours very truly,

FREESE AND NICHOLS, INC.



T. Anthony Reid, P.E.

TAR/DCB:dd

FREESE AND NICHOLS, INC.

CONSULTING ENGINEERS AND PLANNERS

SIMON W. FREESE, P.E.
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ELVIN C. COPELAND, P.E.
GARY N. REEVES, P.E.

June 11, 1984

City of Rockwall
205 West Rusk
Rockwall, TX 75047

Attention: Ms. Julie Couch, Acting City Administrator
Mr. Ed Heath, Director of Community Services

Re: Second Review
Harlan Park, Phase I
ROK 84811

We have received the plans for the referenced project and have completed the second review. We offer the following comments regarding compliance with Rockwall's Standards for Design and good engineering practice:

PAVING: No Comments

STORM DRAINAGE SYSTEM: The minimum grade for 42-inch storm sewer, concrete pipe is 0.0006. The proposed grade indicated on the plans is 0.0002.

WATER: No Comments

SANITARY SEWER: See comments on attached plans.

GENERAL COMMENTS:

Upon the City of Rockwall's review and acceptance of these comments offered herein, we would recommend that the Developer provide corrections and additions to the plans as noted. Our recommendations do not in any way relieve the Developer of his agent from responsibility and compliance with the City of Rockwall's design standards and good engineering practice.

Please contact us if you have any questions or if we can be of further assistance.

Yours very truly,

FREESE AND NICHOLS, INC.



T. Anthony, Reid, P.E.

TAR:dd
Attachment

FREESE AND NICHOLS, INC.

CONSULTING ENGINEERS AND PLANNERS

SIMON W. FREESE, P.E.
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LEO A. DOTSON, P.E.
JERRY L. FLEMING, P.E.
DAVID R. GATTIS
A. LEE HEAD, P.E.
JOHN L. JONES, P.E.
RONNIE M. LEMONS, P.E.
MICHAEL G. MORRISON, P.E.
C. DIANE PALMER, P.E.
ROBERT F. PENCE, P.E.

July 9, 1985

Mr. William R. Eisen
City Manager
City of Rockwall
205 West Rusk
Rockwall, TX 75087

RE: First Review
Harlan Park, Phase 1
Sanitary Sewer Improvements
ROK 84811

Dear Mr. Eisen:

We have received the plans for the referenced project and have completed the first review. We offer the following comments regarding compliance with the City of Rockwall's Standards for Design and good engineering practice.

GENERAL COMMENTS

1. Where water pipelines either cross or come within nine (9) feet of a sanitary sewer pipeline, then a special construction method should be applied to the sewer pipe so that the sewer pipeline will be a pressure pipeline at all locations where the water pipeline and sewer pipeline are less than nine (9) feet apart.
2. The maximum length between manholes should be 500 feet as indicated on Sheet 3.
3. The proposed sanitary sewer manhole at the intersection of S.H. 205 and F.M. 552 should have a station on the plan and profile view as indicated on Sheet 4.
4. The capacity of the proposed lift station on Quail Run Road should be clarified as noted on Sheet 1.
5. The pump criteria for the proposed lift station north of Dalton Drive should be provided.

Mr. William R. Eisen
July 9, 1985
Page 2

6. Both of the proposed dry wells should have a stairway provided as stated in the Texas Department of Health's design criteria for sewage systems.
7. Adequate ventilation should be provided for the pump stations, including both wet and dry wells as per the Texas Department of Health's design criteria for sewage systems.
8. The Developer should provide two (2) sets of plans to the City for review and comments. One of the sets will be retained in our file for reference.

Upon the City of Rockwall's review and acceptance of these comments offered herein, we would recommend that the Developer provide corrections and additions to the plans as noted. Our recommendations do not in any way relieve the Developer or his agent from responsibility and compliance with the City of Rockwall's Standards for Design and good engineering practice.

Please contact us if you have any questions or if we can be of further assistance.

Sincerely,

FREESE AND NICHOLS, INC.



W. L. Douphrate, II

WLD:dd

xc: Ed Heath
R. L. Nichols
T. A. Reid
C. D. Palmer