

SITE PLAN APPLICATION

Date: 26 MAR 87

NAME OF PROPOSED DEVELOPMENT _____

NAME OF PROPERTY OWNER/DEVELOPER ROCKWALL ASSOCIATES

ADDRESS 11325 PEGASUS, DALLAS, TEXAS 75238 PHONE 341.9920

NAME OF LAND PLANNER/ENGINEER DALLAS DESIGN ASSOCIATES

ADDRESS 11325 PEGASUS, DALLAS, TEXAS 75238 PHONE 341.9920

TOTAL ACREAGE 3.5 CURRENT ZONING COMMERCIAL

NUMBER OF LOTS/UNITS _____

Signed Wayne Mershaw

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal.

<u>Provided or Shown on Site Plan</u>	<u>Not Applicable</u>	
_____	_____	1. Location of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
_____	_____	2. Landscaping, lighting, fencing and/or screening of yards and set-back areas
_____	_____	3. Design and location of ingress and egress
_____	_____	4. Off-street parking and loading facilities
_____	_____	5. Height of all structures
_____	_____	6. Proposed Uses
_____	_____	7. Location and types of all signs, including lighting and heights
_____	_____	8. Elevation drawings citing proposed exterior finish materials

Provided or Shown
on Site Plan

Not
Applicable

9. Street names on proposed streets

10. The following additional information:

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.

Taken by: _____

File No. 84-59

Date: 3/26/84

Fee: \$ 105.00

CITY OF ROCKWALL
OFFICIAL RECEIPT

DATE 3/26/04

NAME [Redacted]

ADDRESS _____

Cash Check Other

GARBAGE		
LAND FILL PERMIT		
GARAGE SALES		
SOLICATORS PERMIT		
RENT		
MISCELLANEOUS WATER SALES		
<u>Site Plan</u>	<u>105.00</u>	

Received By _____

2450

FORM G-1

SITE PLAN/PRELIMINARY PLAT/~~XXXXXXXXXX~~

FACT SHEET

Applicant: Rockwall Associates

Name of Proposed Development: _____

Acreage: 3.5

Number of Lots: 2

Current Zoning: C

Surrounding Zoning: C

Description: One lot office complex facing FM-740 just south of First Modern Savings with a second lot in the rear reserved for future development. Two 2-story office buildings with one entrance off FM-740 and two off proposed Elena Drive.

Staff Comments: Meets City landscaping, parking, and setback requirements. Recommended owner meet with adjoining property owners (Haywood Eason and Tommy Singleton) to prepare Concept Plan for area to determine access to future expansion of Lakeside Village, through land between FM-740 and the railroad, and where safest to locate an intersection with FM-740.

Planning and Zoning Commission Recommendations:

4/12/84 - Approve with 25 ft. ROW on Elena Dr. and subject to Concept Plan

City Council Decision:

5/7/84 - Deny subject to concept plan

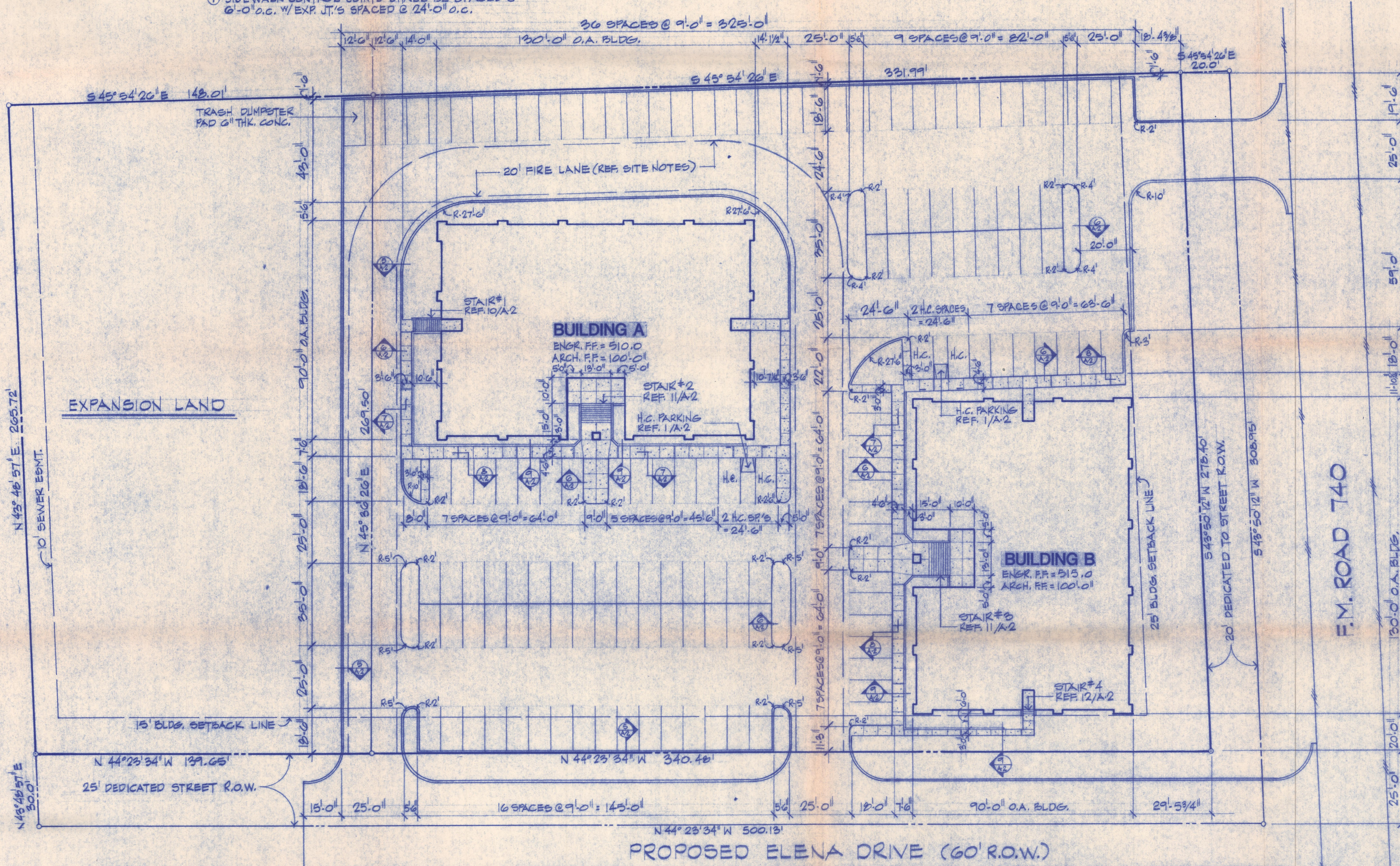
5/21/84 - Approved with 60 ft. ROW & 36 ft. road built when developed at Elena Dr. location with attention to drainage.

SITE NOTES

- ① ALL PAVING DIMENSIONS ARE TAKEN FROM BACK TO BACK OF CURBS INCLUDING WALKS & RADI
- ② ALL APPROACHES, CURB CUTS, RADII, & FIRE LANES SHALL BE IN ACCORDANCE W/CITY OF ROCKWALL STANDARDS & SPECIFICATIONS.
- ③ ALL PARKING SPACES SHALL BE 9'-0" WIDE X 18'-0" LONG UNLESS NOTED OTHERWISE
- ④ ALL PARKING & DRIVE AREAS SHALL BE 5" THK REINFORCED CONC.
- ⑤ PAVING CONTROL JOINTS SHALL BE SPACED @ 20'-0" O.C. EACH WAY REF. 3/A.2
- ⑥ PAVING EXPANSION JOINTS SHALL BE SPACED @ 60'-0" O.C. EACH WAY REF. 4/A.2
- ⑦ SIDEWALK CONTROL JOINTS SHALL BE SPACED @ 6'-0" O.C. W/ EXP. JT.'S SPACED @ 24'-0" O.C.

PROJECT DATA

PROJECT LAND — 2.114 ACRES
 EXPANSION LAND — .888 ACRES
 BUILDING A — 19,799.6 SF
 BUILDING B — 19,799.6 SF
 TOTAL BUILDING — 39,599.3 SF
 PARKING SPACES — 138 SPACES
 BUILDING TYPE — II-N
 OCCUPANCY — B-2
 ZONING — COMMERCIAL
 BUILDING USE — OFFICE



1 SITE PLAN
 1" = 20'-0"



These plans and specifications are subject to municipal and state review and approval. Any additional requirements resulting from these reviews are not included.

DATE		REVISIONS							
seal:									

Ballas Design associates

11325 Pegasus St. Suite 5-208 Tel. 341-4920 Dallas, Tx. 75238

projects

OFFICE COMPLEX

IN

ROCKWALL, TEXAS

SHEET NO.

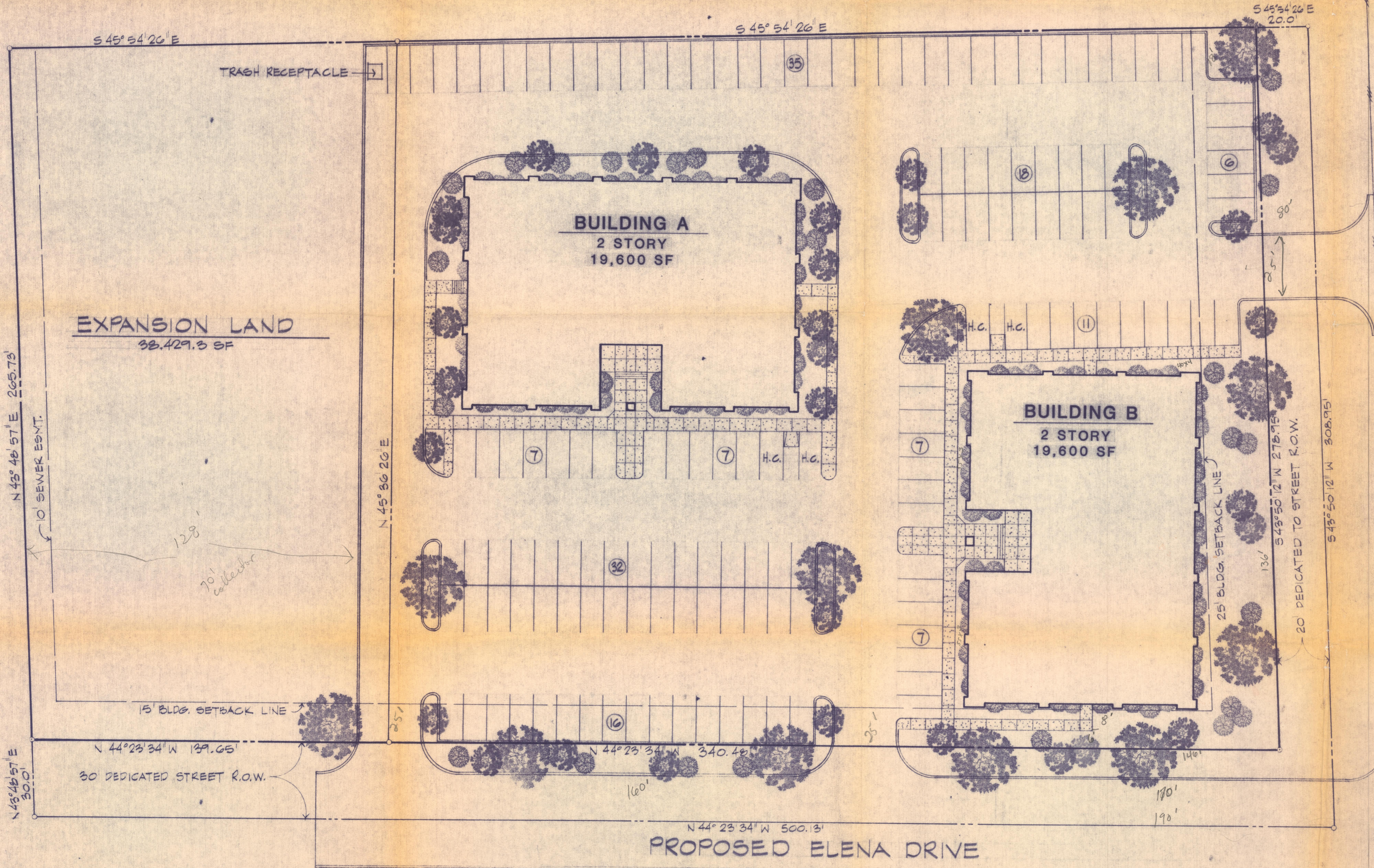
A-1

OF 10

SITE DATA

TOTAL LAND	51,153 SF
EXPANSION LAND	38,429.3 SF ±
STREET R.O.W.	15,793.4 SF
SITE LAND	96,930.3 SF ±
LANDSCAPE LAND	11,952 SF 12.3%
LANDSCAPE @ 740	5,220 SF
TOTAL BUILDING	39,200 SF
COVERAGE	40.4%
PARKING SHOWN	146 SPACES

*Does property line
run down middle
of existing road?
Check dedicated R.O.W.
& sewer for
sewer line*



*landscape
requires 4,846.515 sqft
@ yard 969.303
OK
133 spaces
required
84.59 OK*

SITE PLAN

BY DATE FOR NO. FILE	SHEET NO. A-1
OF 3	PROJECTS OFFICE COMPLEX IN ROCKWALL, TEXAS
seal:	Ballas Design associates
date	11325 Pegasus St. Suite 5-209 Tel. 341-4920 Dallas, Tx. 75238
revisions	