

PLAT REVIEW

X Site Plan  
Preliminary Plat  
         Final Plat

Name of Proposed Subdivision Unknown

Location of Proposed Subdivision F.M. 740 & F.M. 3097

Name of Subdivider Bobby Holt

Date Submitted 3-23-84 Date of Review         

Total Acreage 0.843 Number of Lots 1

Review Checklist

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
1. Was the proper application submitted and checked? (attach copy)	<u>        </u>	<u>        </u>	<u>        </u>
2. Were the proper number of copies submitted?	<u>        </u>	<u>        </u>	<u>        </u>
3. Is scale 1" = 100' (Specify scale if different <u>1"=20'</u> )	<u>        </u>	<u>        </u>	<u>        </u>
4. Comments			

Planning and Zoning

1. What is the proposed land use?
2. What is the proposed density?
3. What is existing zoning? P.D. 16
4. Is the plan zoned properly?
5. Is this project subject to the provisions of the Concept Plan Ordinance?
6. Has a Concept Plan been provided and approved?



Yes      No      N/A

- f. Do proposed streets and alleys align with adjacent right-of-way? \_\_\_\_\_
- g. Do the streets and alleys conform to City regulations and specifications? \_\_\_\_\_
- h. Comments: \_\_\_\_\_

2. Utilities

- a. Does the Plan conform to the Master Utility Plan? \_\_\_\_\_
- b. Are all lines sized adequately to handle development?
  - 1. Water \_\_\_\_\_
  - 2. Sewer \_\_\_\_\_
- c. Is additional line size needed to handle future development?
  - 1. Water \_\_\_\_\_
  - 2. Sewer \_\_\_\_\_
- d. Is there adequate capacity in sewer outfall mains, treatment plants and water transmission lines to handle the proposed development? \_\_\_\_\_
- e. Are all necessary easements provided? \_\_\_\_\_
- f. Do all easements have adequate access? \_\_\_\_\_
- g. Are any offsite easements required? \_\_\_\_\_
- h. Have all appropriate agencies reviewed and approved plans?
  - 1. Electric \_\_\_\_\_
  - 2. Gas \_\_\_\_\_
  - 3. Telephone \_\_\_\_\_
- i. Does the drainage conform to City regulations and specifications? \_\_\_\_\_
- j. Do the water and sewer plans conform to City regulations and specifications? \_\_\_\_\_

Yes      No      N/A

k. Comments:

General Requirements

1. Has the City Engineer reviewed and approved the plan?
2. Does the final plat conform to the City's Flood Plain Regulations?
3. Does the final plat conform to the preliminary plat as approved?
4. Staff Comments:

_____	_____	_____
_____	_____	_____
_____	_____	_____

SITE PLAN/PRELIMINARY PLAT/~~FINAL PLAT~~  
FACT SHEET

Applicant: Rockwall Bank

Name of Proposed Development: -----

Acreage: 0.843

Number of Lots: 1

Current Zoning: PD-16 (General Retail)

Surrounding Zoning: GR, C and A

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Description: Southwest corner of FM-740 and gravel road across from FM-3097. Plan drive-in bank facing FM-740 with later second access off gravel road when improved.

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Staff Comments: Meets our technical requirements. Traffic engineers will recommend right-of-way and paving requirements for gravel road.

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Planning and Zoning Commission Recommendations:

4/12/84 - Approval with \$9,000 in escrow for paving when ready to develop.

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City Council Decision:

5/7/84 - Approve with cost of one-half in escrow when ready to develop.

ISAAC BROWNS LAND PARTITION TO HIS HEIRS  
VOL. 1, PG. 57 M. & P.R.C.T.

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SITE PLAN

LOT 1 ISAAC BROWNS LAND  
PARTITION TO HIS HEIRS  
LOT 28 LAKE RIDGE ESTATES

SCALE 1" = 20'

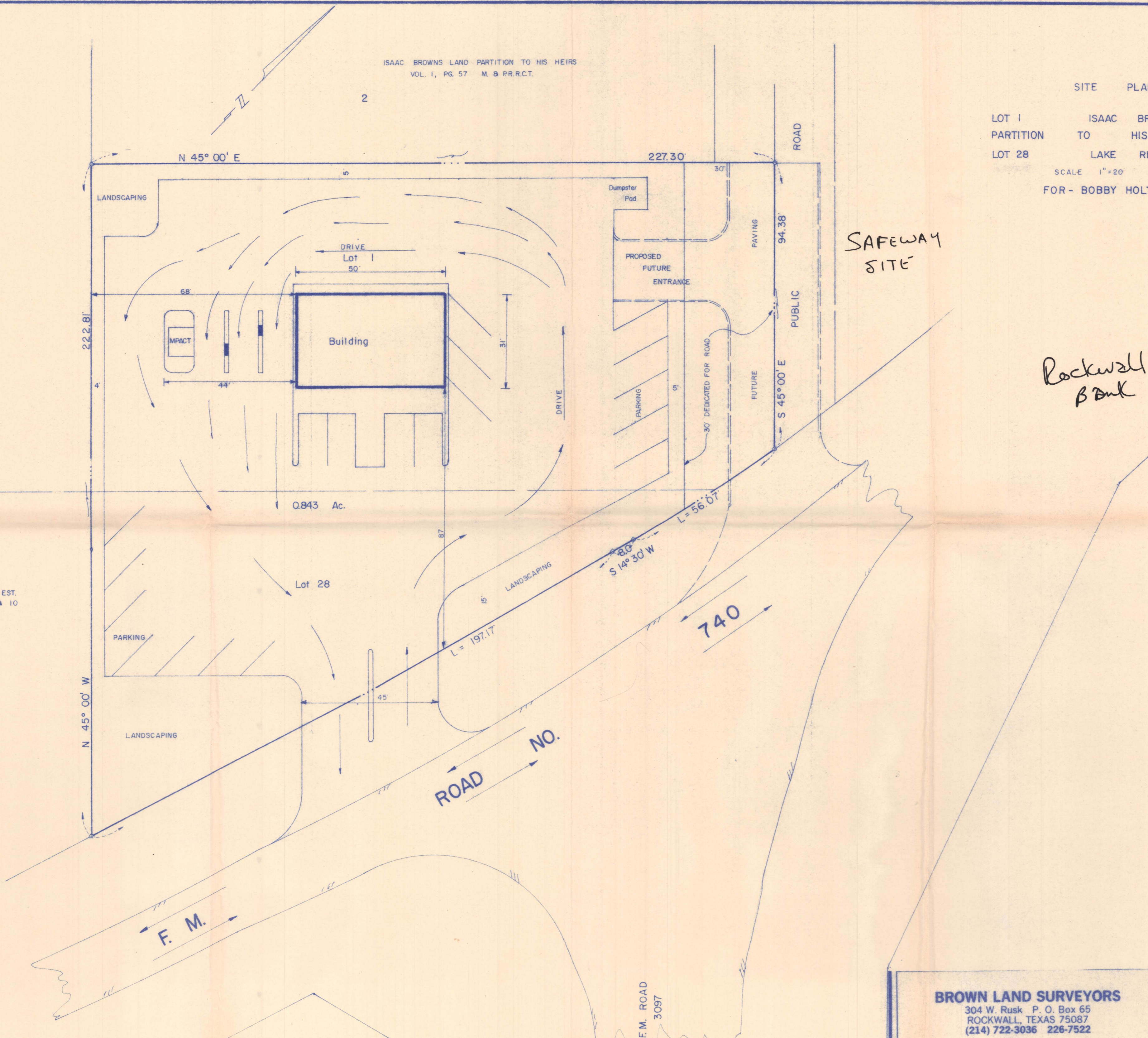
FOR - BOBBY HOLT

SAFEWAY  
SITE

Rockwell  
Bank

LAKE RIDGE EST.  
VOL. 1, PG. 9 & 10  
M. & P.R.C.T.

28



**BROWN LAND SURVEYORS**  
304 W. Rusk P. O. Box 65  
ROCKWALL, TEXAS 75087  
(214) 722-3036 226-7522

DRAWING NO.  
JOB NO  
7258

OF \_\_\_\_\_ SHEETS

F. M. ROAD  
3097

ISAAC BROWNS LAND PARTITION TO HIS HEIRS  
VOL. 1, PG. 57 M. & P.R.R.C.T.

SITE PLAN

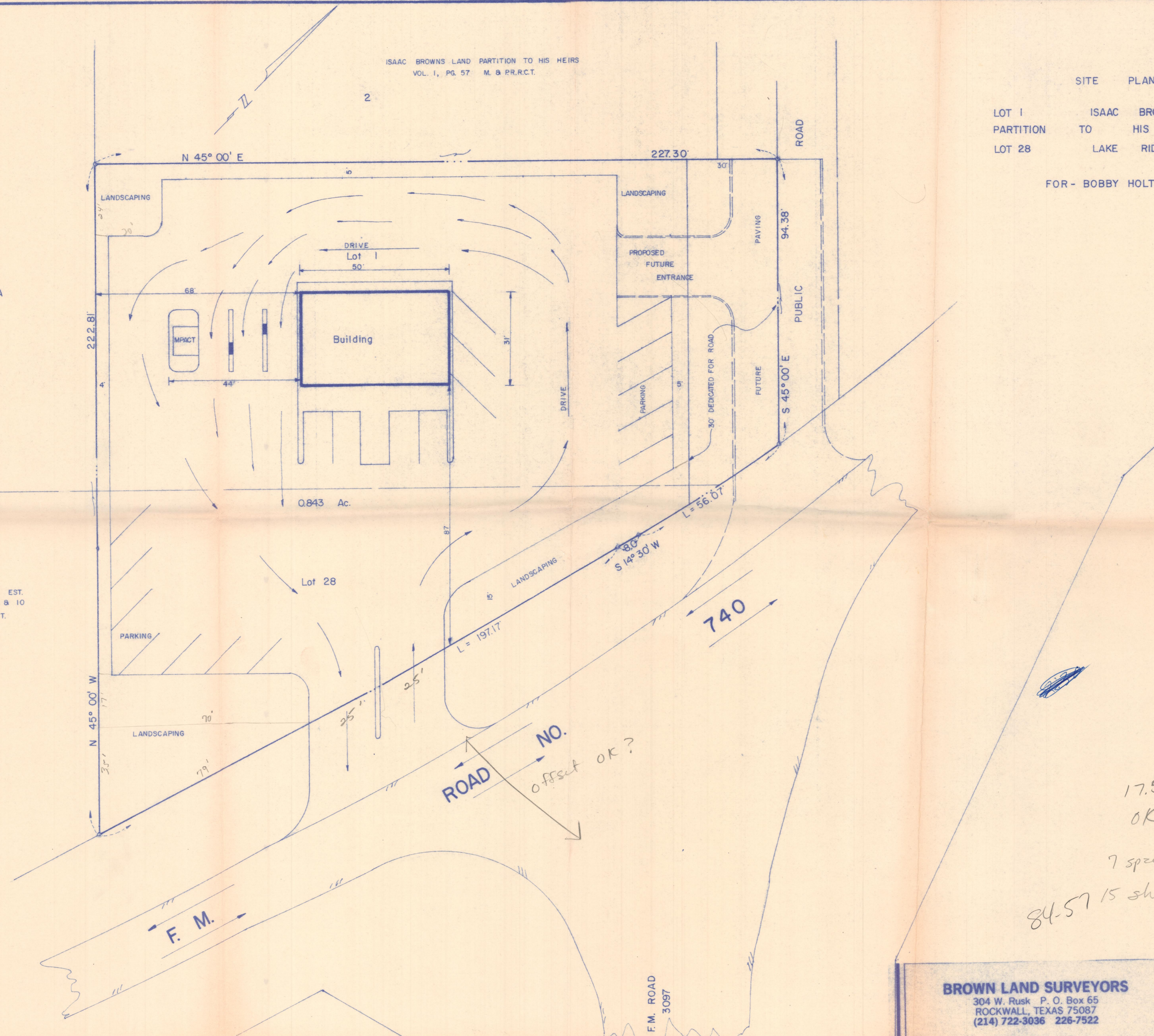
LOT 1 ISAAC BROWNS LAND  
PARTITION TO HIS HEIRS  
LOT 28 LAKE RIDGE ESTATES

FOR - BOBBY HOLT

I-A

LAKE RIDGE EST.  
VOL. 1, PG. 9 & 10  
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ROAD NO. offset OK?

17.5% landscaping  
OK  
7 spaces required  
84.57 15 shown

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PAVING NO.  
OF SHTS

F.M. ROAD  
3097