

City of Rockwall, Texas

Date: 3-10-84

APPLICATION AND PRELIMINARY PLAT CHECKLIST

Name of Proposed Subdivision ROCKWALL VILLAGE ADDITION NUMBER 1

Name of Subdivider Safeway Stores, Inc., a Maryland Corporation and Carlisle Property Company Retail, a Texas Corporation

Address Safeway: 11325 Pegasus, Suite W-141 Dallas, Tx. 75238 Phone 340-4922  
Carlisle: P.O. Box 802636, Dallas, Tx., 75380-2636 233-5555

Owner of Record SAME AS ABOVE

Address \_\_\_\_\_ Phone \_\_\_\_\_

Name of Land Planner/Surveyor/Engineer ASSOCIATED ENGINEERS COMPANY

Address 3149 Highway 67, Suite F, Mesquite, Texas 75150 Phone 321-9258

Total Acreage 21.1237 Current Zoning Commercial

No. of Lots/Units 5 Signed Jim Cervine (Jim Cervine)

F. Daniel Highley (F. Daniel Highley)

The following Preliminary Plat Checklist is a summary of the requirements listed under Section VII of the Rockwall Subdivision Ordinance. Section VII should be reviewed and followed when preparing a Preliminary Plat. The following checklist is intended only as a reminder and a guide for those requirements. Use the space at the left to verify the completeness of the information you are submitting. If an item is not applicable to your plan, indicate by placing a check mark.

INFORMATION

Provided or Shown on Plat      Not Applicable

I. General Information

\_\_\_\_\_

A. Vicinity map

\_\_\_\_\_

B. Subdivision Name

\_\_\_\_\_

C. Name of record owner, subdivider, land planner/engineer

\_\_\_\_\_

D. Date of plat preparation, scale and north point

II. Subject Property

\_\_\_\_\_

A. Subdivision boundary lines

\_\_\_\_\_

B. Identification of each lot and block by number or letter

\_\_\_\_\_

C. Dimensions, names and description of all public rights-of-way, improvements, easements, parks and open spaces -- both existing and proposed. Locate and identify existing and/or proposed median openings and left turn channelization

\_\_\_\_\_

D. Proposed land uses, and existing and proposed zoning categories

\_\_\_\_\_

E. Approximate acreage

\_\_\_\_\_

F. Typical lot size; lot layout; smallest lot area; number of lots

\_\_\_\_\_

G. Building set-back lines adjacent to street

\_\_\_\_\_

H. Topographical information and physical features to include contours at 2' intervals, outlines of wooded areas, drainage areas and 50 and 100 year flood limit lines, if applicable

I. Location of City limit lines, contiguous or within plat area

\_\_\_\_\_

J. Location and sizes of existing utilities

\_\_\_\_\_

K. Intended water source and sewage disposal method whether inside city limits or in extraterritorial jurisdiction

III. Surrounding Area

\_\_\_\_\_

A. The record owners of contiguous parcels of unsubdivided land; names and lot patterns of contiguous subdivisions; approved concept plans or preliminary plats.

\_\_\_\_\_

B. The approximate location, dimension and description of all existing or proposed lots and blocks, public rights-of-way and easements, parks and open spaces. Specifically indicate how the proposed improvements would relate to those in the surrounding area.

Taken by: \_\_\_\_\_

File No. \_\_\_\_\_

Date: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt: \_\_\_\_\_

City of Rockwall, Texas

Date: March 19, 1984

APPLICATION AND  
PRELIMINARY PLAT CHECKLIST

Name of Proposed Subdivision ROCKWALL VILLAGE

Name of Subdivider CARLISLE PROPERTY CO.

Address 12340 Inwood Rd., Dallas, Texas 75380-2636 Phone 233-5555

Owner of Record CARLISLE PROPERTY CO.

Address 12340 Inwood Rd., Dallas, Texas 75380-2636 Phone 233-5555

Name of Land Planner/Surveyor/Engineer HAROLD L. EVANS, Consulting Engineer

Address P. O. Box 28355, Dallas, Texas 75228 Phone 328-8133

Total Acreage 17.257 Current Zoning Commercial

No. of Lots/Units \_\_\_\_\_ Signed [Signature]

The following Preliminary Plat Checklist is a summary of the requirements listed under Section VII of the Rockwall Subdivision Ordinance. Section VII should be reviewed and followed when preparing a Preliminary Plat. The following checklist is intended only as a reminder and a guide for those requirements. Use the space at the left to verify the completeness of the information you are submitting. If an item is not applicable to your plan, indicate by placing a check mark.

INFORMATION

Provided or                      Not  
Shown on Plat              Applicable

I. General Information

✓                      \_\_\_\_\_  
✓                      \_\_\_\_\_

- A. Vicinity map
- B. Subdivision Name

✓                      \_\_\_\_\_  
✓                      \_\_\_\_\_

- C. Name of record owner, subdivider, land planner/engineer
- D. Date of plat preparation, scale and north point

II. Subject Property

✓                      \_\_\_\_\_  
\_\_\_\_\_                      ✓

- A. Subdivision boundary lines
- B. Identification of each lot and block by number or letter

\_\_\_\_\_

C. Dimensions, names and description of all public rights-of-way, improvements, easements, parks and open spaces -- both existing and proposed. Locate and identify existing and/or proposed median openings and left turn channelization

\_\_\_\_\_

D. Proposed land uses, and existing and proposed zoning categories

\_\_\_\_\_

E. Approximate acreage

\_\_\_\_\_

F. Typical lot size; lot layout; smallest lot area; number of lots

\_\_\_\_\_

G. Building set-back lines adjacent to street

\_\_\_\_\_

H. Topographical information and physical features to include contours at 2' intervals, outlines of wooded areas, drainage areas and 50 and 100 year flood limit lines, if applicable

\_\_\_\_\_

I. Location of City limit lines, contiguous or within plat area

\_\_\_\_\_

J. Location and sizes of existing utilities

\_\_\_\_\_

K. Intended water source and sewage disposal method whether inside city limits or in extraterritorial jurisdiction

III. Surrounding Area

\_\_\_\_\_

A. The record owners of contiguous parcels of unsubdivided land; names and lot patterns of contiguous subdivisions; approved concept plans or preliminary plats.

\_\_\_\_\_

B. The approximate location, dimension and description of all existing or proposed lots and blocks, public rights-of-way and easements, parks and open spaces. Specifically indicate how the proposed improvements would relate to those in the surrounding area.

Taken by: \_\_\_\_\_

File No. \_\_\_\_\_

Date: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt: \_\_\_\_\_

SITE PLAN APPLICATION

Date: 3-6-84

NAME OF PROPOSED DEVELOPMENT ROCKWALL VILLAGE SHOPPING CENTER

NAME OF PROPERTY OWNER/DEVELOPER CARLISLE PROPERTY COMPANY RETAIL

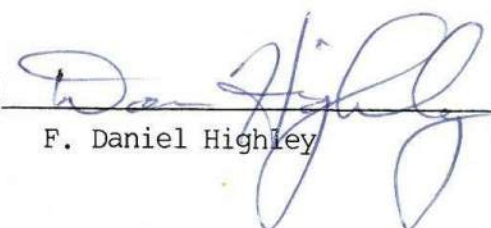
ADDRESS P.O. Box 802636, Dallas, Texas 75380-2636 PHONE 233-5555

NAME OF LAND PLANNER/ENGINEER ASSOCIATED ENGINEERS COMPANY

ADDRESS 3149 Highway 67, Suite F, Mesquite, Texas 75150 PHONE 321-9258

TOTAL ACREAGE 15.0964 CURRENT ZONING Commercial

NUMBER OF LOTS/UNITS 3

Signed   
F. Daniel Highley

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal.

<u>Provided or Shown on Site Plan</u>	<u>Not Applicable</u>	
_____	_____	1. Location of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
_____	_____	2. Landscaping, lighting, fencing and/or screening of yards and set-back areas
_____	_____	3. Design and location of ingress and egress
_____	_____	4. Off-street parking and loading facilities
_____	_____	5. Height of all structures
_____	_____	6. Proposed Uses
_____	_____	7. Location and types of all signs, including lighting and heights
_____	_____	8. Elevation drawings citing proposed exterior finish materials

Provided or Shown  
on Site Plan

Not  
Applicable

\_\_\_\_\_

\_\_\_\_\_

9. Street names on proposed streets

\_\_\_\_\_

\_\_\_\_\_

10. The following additional information:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.

Taken by: \_\_\_\_\_

File No. \_\_\_\_\_

Date: \_\_\_\_\_

Fee: \_\_\_\_\_

SITE PLAN APPLICATION

Date: \_\_\_\_\_

NAME OF PROPOSED DEVELOPMENT ROCKWALL VILLAGE SHOPPING CENTER

NAME OF PROPERTY OWNER/DEVELOPER SAFEWAY STORES, INC., a Maryland Corporation

ADDRESS 11325 Pegasus, Suite W-141, Dallas, Texas 75238 PHONE 340-4922

NAME OF LAND PLANNER/ENGINEER Associated Engineers Company

ADDRESS 3149 Highway 67, Suite F, Mesquite, Texas 75150 PHONE 321-9258

TOTAL ACREAGE 6.0273 CURRENT ZONING Commercial

NUMBER OF LOTS/UNITS 2

Signed James L. Cervine  
James L. Cervine

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal.

<u>Provided or Shown on Site Plan</u>	<u>Not Applicable</u>	
_____	_____	1. Location of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
_____	_____	2. Landscaping, lighting, fencing and/or screening of yards and set-back areas
_____	_____	3. Design and location of ingress and egress
_____	_____	4. Off-street parking and loading facilities
_____	_____	5. Height of all structures
_____	_____	6. Proposed Uses
_____	_____	7. Location and types of all signs, including lighting and heights
_____	_____	8. Elevation drawings citing proposed exterior finish materials

Provided or Shown  
on Site Plan

Not  
Applicable

\_\_\_\_\_

\_\_\_\_\_

9. Street names on proposed streets

\_\_\_\_\_

\_\_\_\_\_

10. The following additional information:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.

Taken by: \_\_\_\_\_

File No. \_\_\_\_\_

Date: \_\_\_\_\_

Fee: \_\_\_\_\_



SITE PLAN/PRELIMINARY PLAT/~~FINAL PLAT~~

FACT SHEET

Applicant: Safeway/Carlisle Property

Name of Proposed Development: Rockwall Village

Acreage: 17.257

Number of Lots: 5

Current Zoning: Commercial

Surrounding Zoning: Commercial and Agricultural

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Description: Dividing triangle on southwest corner of FM-740 and I-30 into 5 lots for Safeway, two restaurants, Carlisle's shopping center, and a future expansion area. The service drives would be behind each building. The restaurants would each provide their own parking. Access for each area is from FM-740 and I-30. Has revised entrances as staff requested. Appears to meet landscape and parking requirements.

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Staff Comments:

Plat needs any existing easements. FM-740 needs either 20 ft. ROW or 10 ft. ROW plus 10 ft. easement. Traffic consultant making recommendation on paving and ROW width for gravel road behind site. Safeway has agreed to dedicate 30 ft. of ROW plus put money in escrow to cover cost of half of paving. Ed Heath is making a cost estimate. At work session, P&Z suggested requiring one entrance to FM-740 be in place before any store could open.

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Planning and Zoning Commission Recommendations:

4/12/84 - Approval with one entrance moved, access easement arranged with Chamber, put up to \$125,000 in escrow for paving when ready to develop.

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City Council Decision:

5/7/84 - Approve with 10 ft. ROW and 10 ft. easement on FM-740, the option of placing cost of one-half a road in escrow or building road based on City approved proposal, and an entrance to FM-740 open when first store opens.



**CITY OF ROCKWALL  
PUBLIC WORKS DEPARTMENT  
OFFICIAL RECEIPT**

DATE 6/29/83

NAME Sewer Addition

ADDRESS 3149 Hwy 67

Cash  Check  Other Msquito

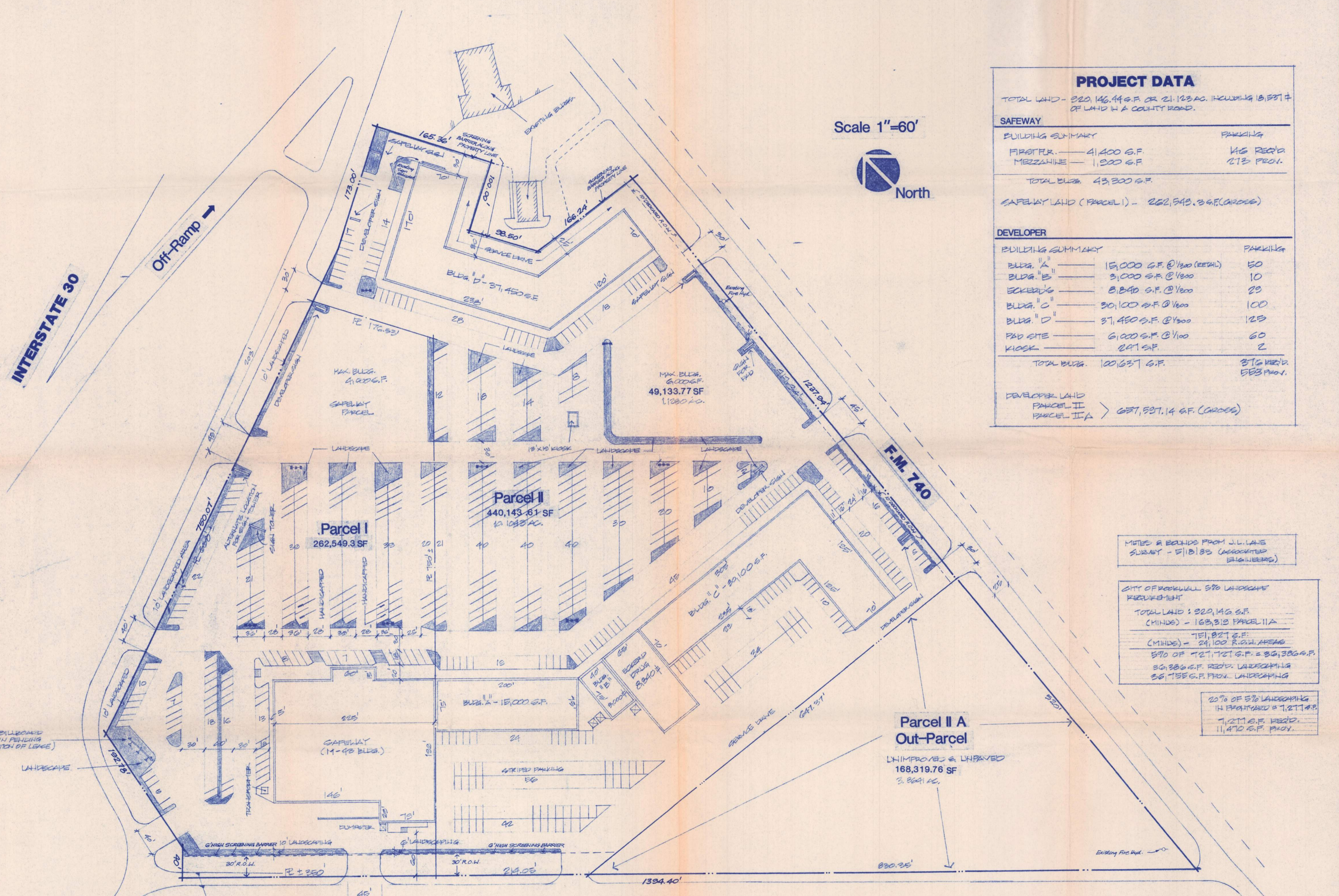
BUILDING PERMIT	
PLUMBING PERMIT	
MECHANICAL PERMIT	
ELECTRICAL PERMIT	
HEALTH PERMIT	
WATER TAP	
WATER AVAILABILITY	
SEWER TAP	
SEWER AVAILABILITY	
METER DEPOSIT	

<u>Filing Fee for Prelim</u>	<u>130 60</u>
<u>Plat</u>	<u>291 20</u>
<u>Concept</u>	<u>411 80</u>
<b>TOTAL</b>	<b>833 60</b>

Received By

FORM I-1

**J 5507**



Scale 1"=60'



**PROJECT DATA**

TOTAL LAND - 320,146.44 S.F. OR 21.123 AC. INCLUDING 13,531.4 OF LAND IN A COUNTY ROAD.

SAFELAY		PARKING	
BUILDING SUMMARY			
FIRST FL.	41,400 S.F.	1/8 REQ'D	
MEZZANINE	1,200 S.F.	2/3 PROJ.	
TOTAL BLDG.		43,300 S.F.	

SAFELAY LAND (PARCEL I) - 262,549.39 S.F. (GROSS)

DEVELOPER		PARKING	
BUILDING SUMMARY			
BLDG. "A"	15,000 S.F. @ 1/200 (RETAIL)	50	
BLDG. "B"	3,000 S.F. @ 1/200	10	
ECKERLING	8,840 S.F. @ 1/200	23	
BLDG. "C"	30,100 S.F. @ 1/200	100	
BLDG. "D"	37,450 S.F. @ 1/200	123	
PAD SITE	6,000 S.F. @ 1/100	60	
KIOSK	241 S.F.	2	
TOTAL BLDG.		100,637 S.F.	376 PROJ. 583 PROJ.

DEVELOPER LAND PARCEL II PARCEL II A > 637,531.14 S.F. (GROSS)

METES & BOUNDS FROM J.L. LANE SURVEY - 5/18/85 (ASSOCIATED ENGINEERS)

CITY OF ROCKWALL 5% LANDSCAPE REQUIREMENT  
 TOTAL LAND: 320,146 S.F.  
 (MINUS) - 168,310 PARCEL IIA  
 (MINUS) - 24,100 R.O.W. AREAS  
 570 OF 727,107 S.F. = 36,386 S.F.  
 36,386 S.F. REQ'D. LANDSCAPING  
 36,155 S.F. PROJ. LANDSCAPING

20% OF 5% LANDSCAPING IN FRONTYARD @ 7,271 S.F.  
 1,211 S.F. REQ'D.  
 11,470 S.F. PROJ.

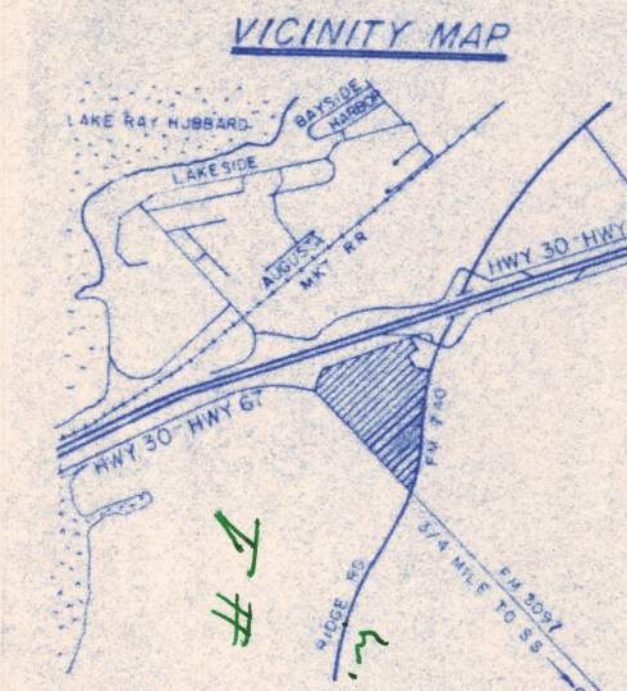
DATE	REVISIONS
3/18/82	LAND SURVEY FOR LATE SUMMER
4/14/82	ALL FUTURE SURVEYS & BLDGS BY 201
4/18/82	ALL CHANGES PER SAFELAY

PROJECT: **ROCKWALL VILLAGE**  
 S.H.C. I-30 AND F.M. 740  
 ROCKWALL - TEXAS

**CARLISLE PROPERTY CO.**  
 12340 INWOOD RD. DALLAS, TEXAS 75380-2636  
 Retail Division  
 214-233-5555



Date: 6/11/82  
 Drawn by: C.V.  
 Prop. No: 4200  
 Sheet: of



Need to topographic check  
 information to Exit on a  
 site distance this could be dangerous and average speeds.  
 2 entrances/exits and  
 have 3 off this frontage.  
 should probably eliminate  
 Drive is to close  
 to offramps  
 from - should  
 be  
 eliminated.  
 15 there on existing  
 drive here?

Should probably put Parcel #1  
 on a separate sheet of parking  
 and landscaping detail out

State road - will  
 the City be responsible  
 for maintenance

SHOW APPROXIMATE  
 LOCATIONS  
 OF ADJACENT  
 BUILDINGS  
 AND  
 DRIVEWAYS

Dimension existing and future R.O.W.  
 Scale 1"=60'

Show dimensions  
 - height  
 - size

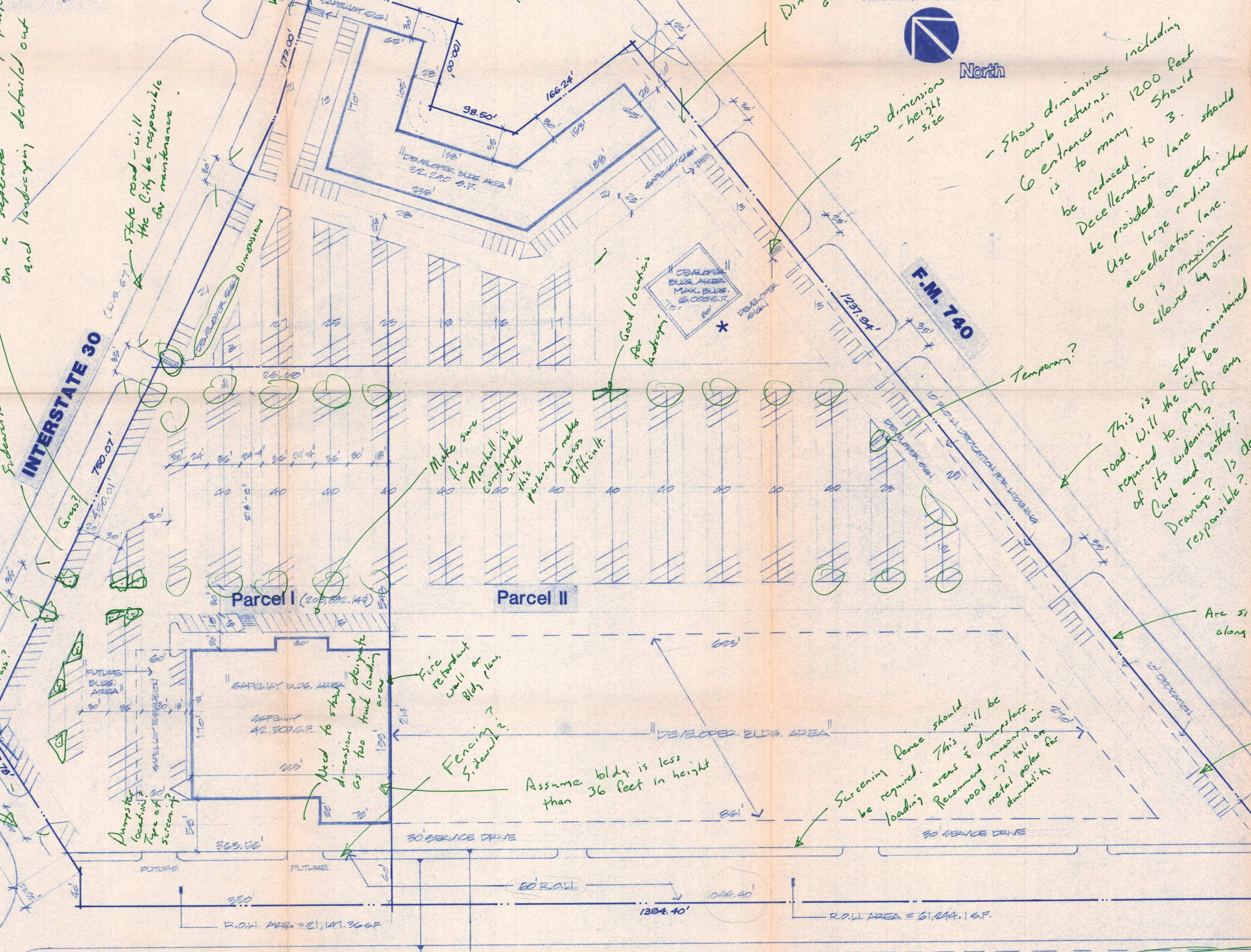
Show dimensions including  
 curb returns.  
 6 entrances is to many.  
 Deceleration lane should  
 be provided to 3.  
 Use large radius rather  
 acceleration lane  
 G is maximum  
 allowed by ord.

This is a state maintained  
 road. Will the city be  
 required to pay for any  
 of its widening?  
 Curb and gutter?  
 Drainage? Is developer  
 responsible?

Are sidewalks required  
 along 740?

Will parking be up  
 against ROW?  
 Will there  
 be any  
 landscaping?

Make sure that you are approving Phase I only.  
 Phase II might be approved conceptually, but is not  
 in final form.



- Need to designate building materials to  
 be 100% fire resistant & 90% masonry.  
 - Need to note amount of landscaping  
 5% of 203,882 sq ft = 10,194 sq ft of  
 on-site landscaping  
 areas w/in Phase I.  
 Do not count R.O.W.  
 - 20% of area between bldg + street to be  
 landscaped.

PROPOSED PLOT PLAN - S.W.C. I-30 AND F.M. 740  
 ROCKWALL, TEXAS

TOTAL LAND - 920,312 S.F. OR 21.123 AC. INCLUDING  
 10,537 S.F. OF LAND IN A COUNTY ROAD.

MEETS & BOUNDS FROM J.L. LAKE SURVEY | 5/10/83  
 (ASSOCIATED ENGINEER)

- Need to calculate building  
 coverage and FAR and  
 indicate.

Appears to  
 be more than  
 adequate for  
 Phase I

Project Data		Rockwall, Texas	
SAFETYWAY			
BUILDING SUMMARY			
FIRST FLOOR	41,400 S.F.	146	PROV.
MEZZANINE	1,800 S.F.	232	PROV.
	43,200 S.F.		SEE NOTE
			RE: BILLBOARD
SAFETYWAY LAND (PARCEL I)			
203,882.14 S.F.			
+ 21,147.36 S.F. (STREET R.O.W. TO BE DEDICATED AS REQUIRED BY CITY)			
225,029.5 S.F. TOTAL			
OR 5.165 AC.			
			1 per lot, 145 sq ft
DEVELOPER			
BUILDING SUMMARY			
(PARCEL II BLDG. AREA NOT TO EXCEED 3:1 RATIO OF ECR AGREEMENT.)			
DEVELOPER LAND (PARCEL II)			
697,101.7 S.F. GROSS			
- 61,244.1 S.F. (STREET R.O.W. TO BE DEDICATED AS REQUIRED BY CITY)			
635,857.6 S.F. TOTAL			
OR 14.55 AC.			



6/8/83  
 6/15/83 drawings  
 6/21/83 Revision - 60' ROW  
 6/21/83 Revision - 60' ROW

Detail intersection

1"=60'

**INTERSTATE 30**  
Off-Ramp

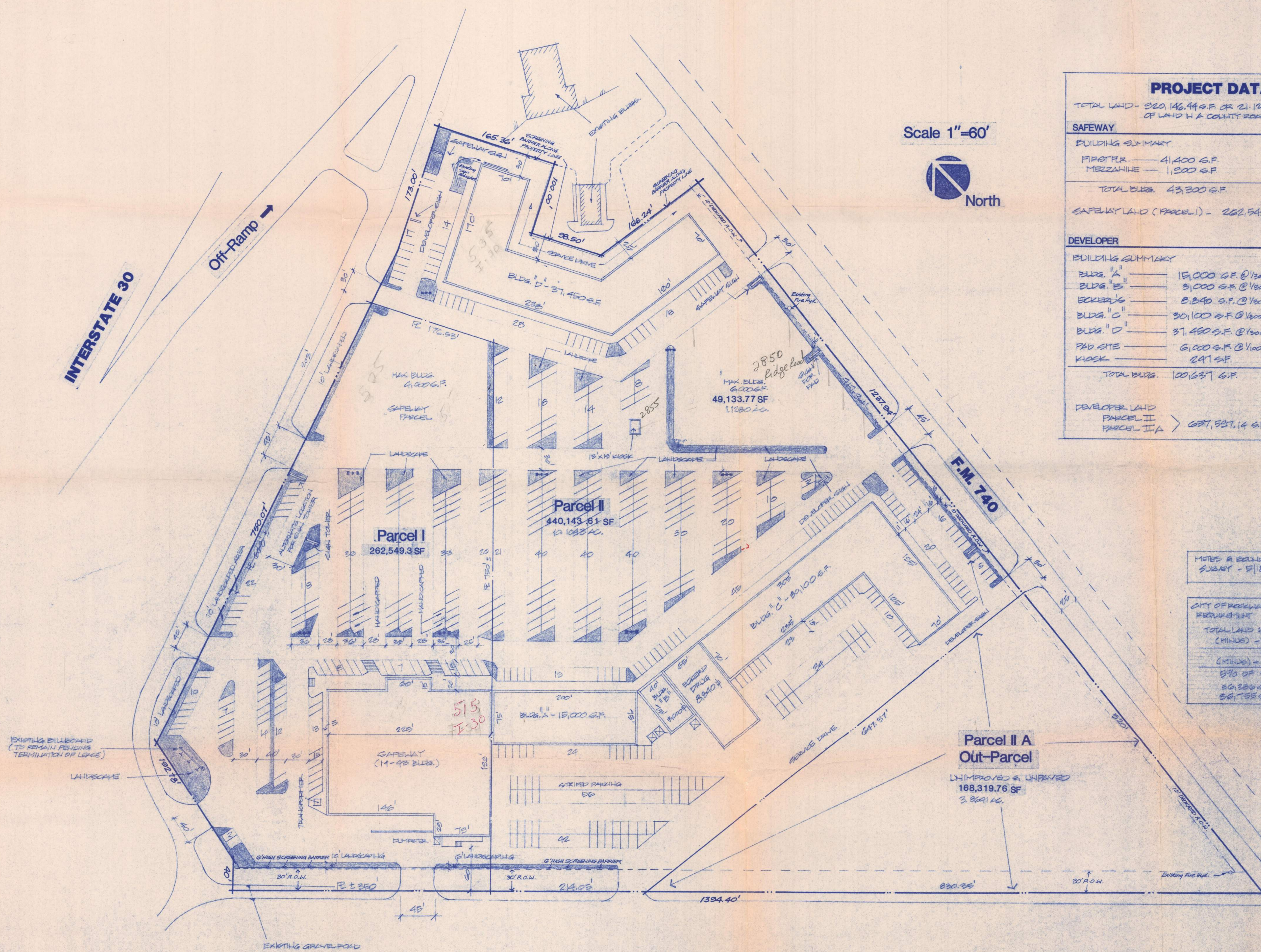
Scale 1"=60'



### PROJECT DATA

TOTAL LAND - 320,146.44 S.F. OR 21.123 AC. INCLUDING 18,537 S.F. OF LAND IN A COUNTY ROAD.

SAFeway		PARKING	
BUILDING SUMMARY			
FIRST FLR.	41,400 S.F.	1/8 REQR	
MEZZA WINE	1,300 S.F.	264 PROJ.	
TOTAL BLDG. 43,300 S.F.			
SAFeway LAND (PARCEL I) - 262,549.3 S.F. (GROSS)			
DEVELOPER		PARKING	
BUILDING SUMMARY			
BLDG. "A"	15,000 S.F. @ 1/200 (RETAIL)	50	
BLDG. "B"	9,100 S.F. @ 1/200	10	
ECKERLING	8,840 S.F. @ 1/200	29	
BLDG. "C"	30,100 S.F. @ 1/200	100	
BLDG. "D"	37,450 S.F. @ 1/200	123	
P&D SITE	6,000 S.F. @ 1/100	60	
KIOSK	241 S.F.	2	
TOTAL BLDG. 100,637 S.F.		376 REQR	553 PROJ.
DEVELOPER LAND PARCEL I & PARCEL IIA > 637,537.14 S.F. (GROSS)			



NOTES & RECORDS FROM J.L. LANG SURVEY - 5/18/83 (ASSOCIATED ENGINEERS)

CITY OF ROCKWALL 5% LANDSCAPE REQUIREMENT  
 TOTAL LAND: 320,146 S.F.  
 (MINUS) - 168,318 PARCEL IIA  
 151,828 S.F.  
 (MINUS) - 29,100 R.O.W. AREA  
 5% OF 122,728 S.F. = 61,364 S.F.  
 29,226 S.F. REQR. LANDSCAPING  
 61,364 S.F. PROJ. LANDSCAPING

20% OF 5% LANDSCAPING IN FRONTYARD = 12,273 S.F.  
 11,470 S.F. PROJ.

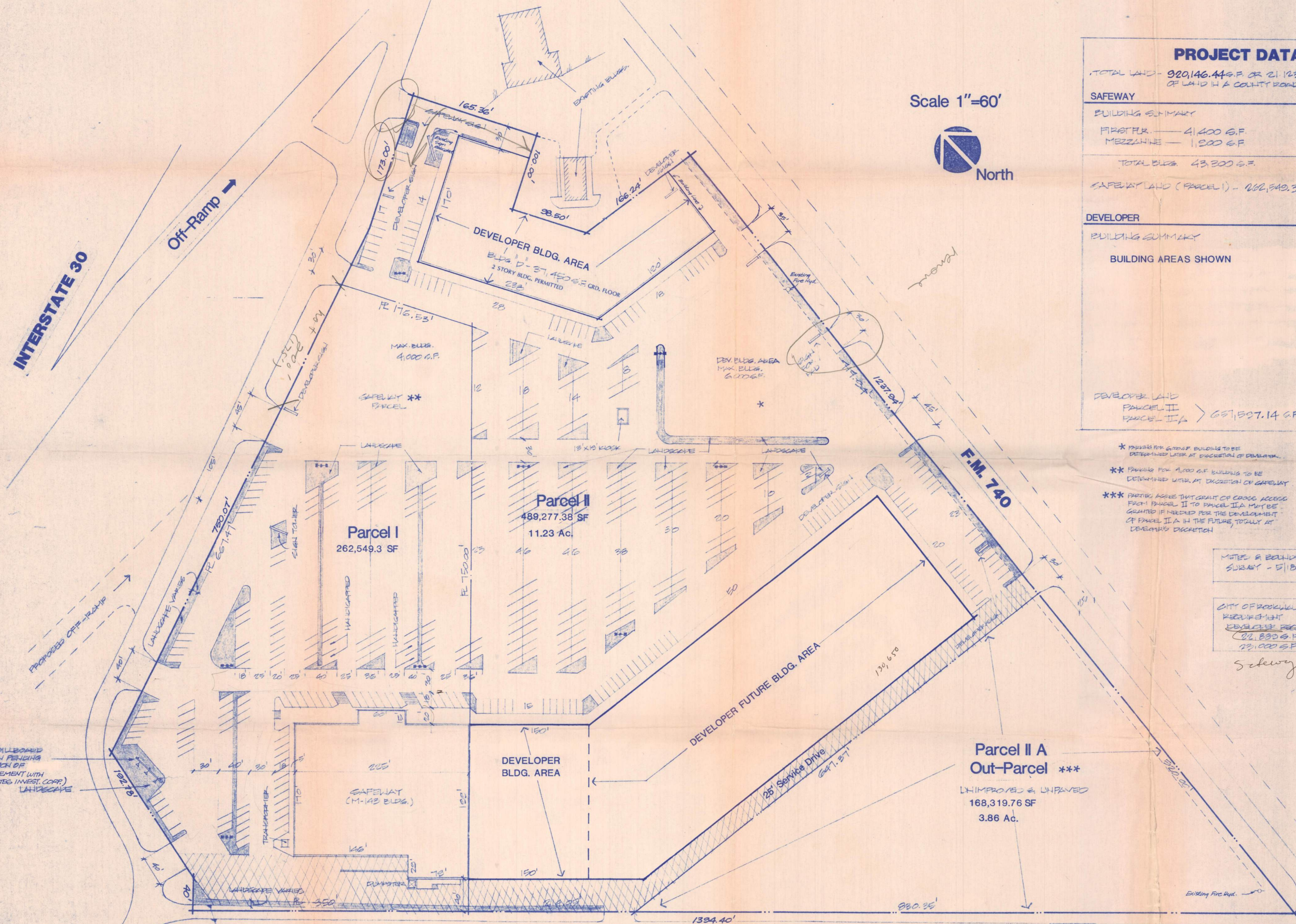
DATE: 10/11/83  
 REVISIONS: 1. LANDSCAPE PER SCALE 1"=60' 10/11/83  
 2. 1/8 REQR & 264 PROJ. 11/18/83  
 3. 5% LANDSCAPE PER SCALE 11/18/83  
 4. 20% OF 5% LANDSCAPING 11/18/83  
 5. 29,226 S.F. REQR. LANDSCAPING 11/18/83  
 6. 61,364 S.F. PROJ. LANDSCAPING 11/18/83

PROJECT: ROCKWALL VILLAGE  
 S.H.C. I-30 AND F.M. 740  
 ROCKWALL, TEXAS

**CARLISLE PROPERTY CO.**  
 12340 INWOOD RD. DALLAS, TEXAS 75380-2636  
 Retail Division 214-233-5555

Date: 10/11/83  
 Drawn by: C.L.  
 Prop. No. 4400 Sheet of

*Approved*



Scale 1"=60'



**PROJECT DATA**

TOTAL LAND - 920,146.44 S.F. OR 21.123 AC. INCLUDING 18,537 S.F. OF LAND IN A COUNTY ROAD.

SAFeway		PARKING	
BUILDING SUMMARY		45 REQ'D	
FIRST FLR.	4,400 S.F.		
MEZZANINE	1,200 S.F.	292	
TOTAL BLDG.		43,300 S.F.	

SAFeway LAND (PARCEL I) - 262,549.3 S.F. (GROSS)

**DEVELOPER**

BUILDING SUMMARY  
BUILDING AREAS SHOWN

DEVELOPER LAND  
PARCEL II  
PARCEL II A > 651,597.14 S.F. (GROSS)

- \* PARKING FOR GROSS BUILDING TO BE DETERMINED LATER AT DISCRETION OF DEVELOPER.
- \*\* PARKING FOR 1,000 S.F. BUILDING TO BE DETERMINED LATER AT DISCRETION OF SAFeway.
- \*\*\* PARTIES AGREE THAT GRANT OF CROSS ACCESS FROM PARCEL II TO PARCEL II A MUST BE GRANTED IF NEEDED FOR THE DEVELOPMENT OF PARCEL II A IN THE FUTURE, TOTALLY AT DEVELOPER'S DISCRETION.

NOTES & BOUNDS FROM J.L. LANE SURVEY - 5/18/82 (ASSOCIATED ENGINEERS)

CITY OF ROCKWELL 570 LANDSCAPE REQUIREMENT  
DEVELOPER RES. LANDSCAPING  
22,899 S.F. REQ'D.  
22,000 S.F. PROP.

Safeway

DATE	REVISIONS
11/12/82	EXHIBIT DRAWING FOR ECR
11/18/82	PER PRIVATE INVEST. SIGN
11/18/82	ADD 20' SAFEWAY DRIVE
11/18/82	TAKE CARE BLVD. UNDER SUBMITTALS, CHANGES
11/18/82	TAKE CARE SERVICE DRIVE, EXISTING DRIVE
11/18/82	LANDSCAPING PER LANE SURVEY

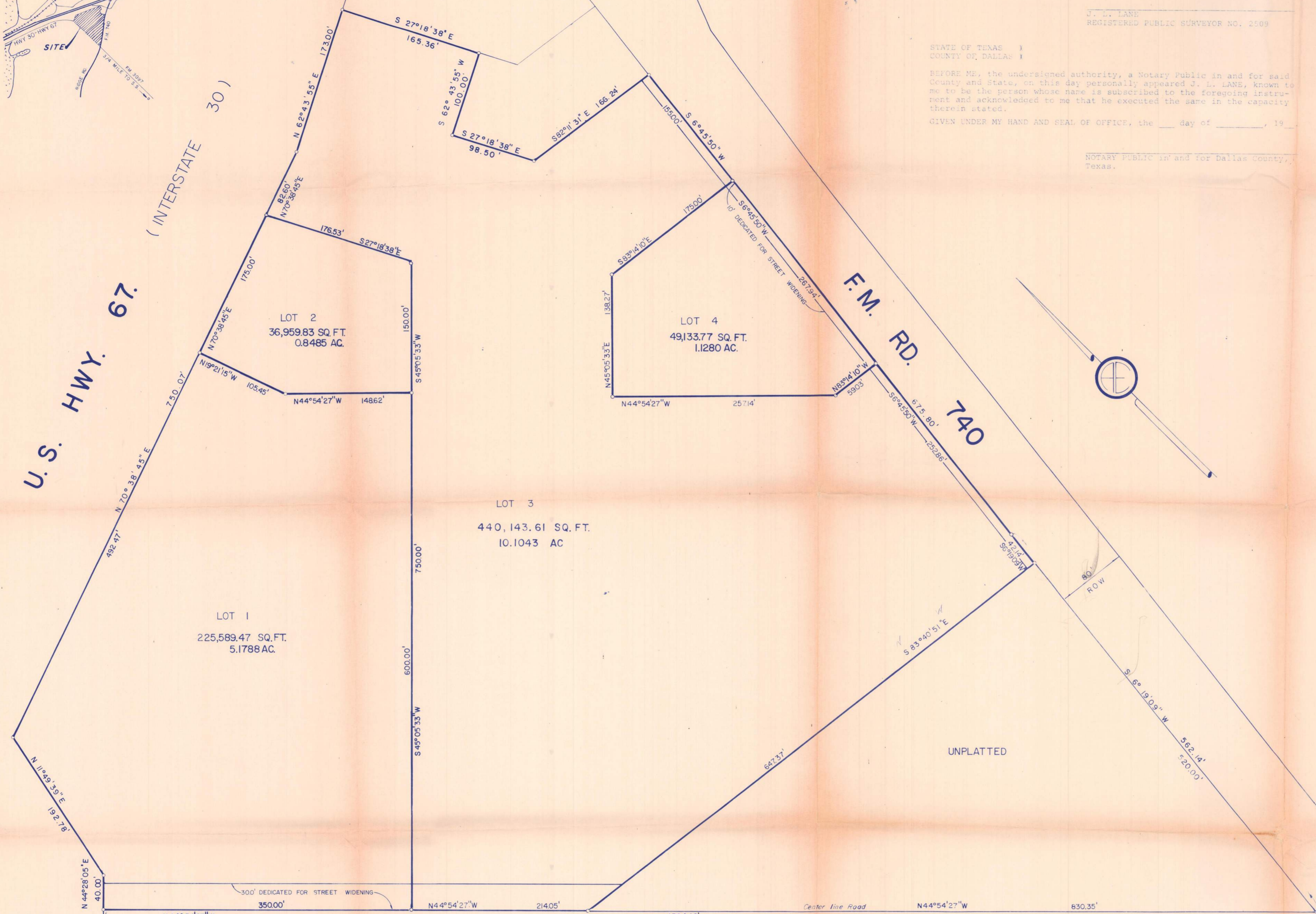
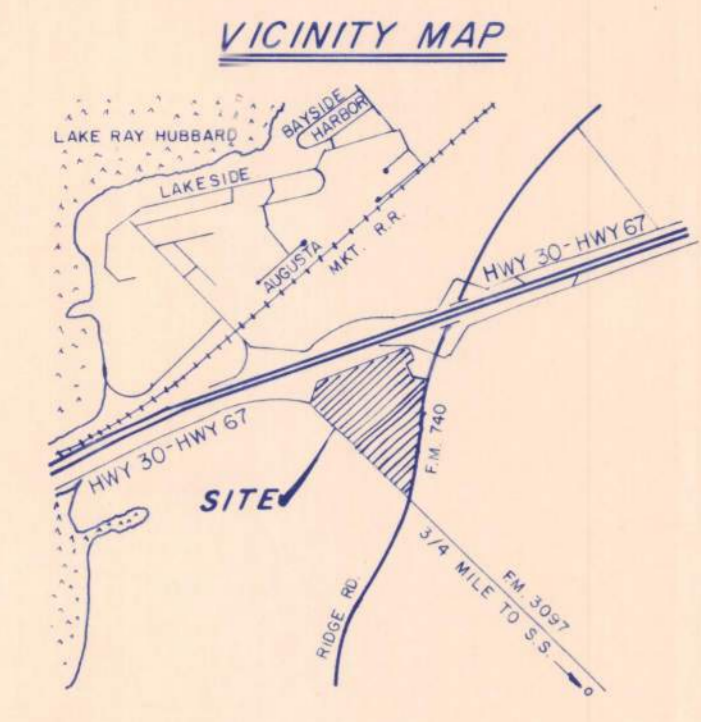
PROJECT: ROCKWALL VILLAGE  
S.W.C. I-30 AND F.M. 740  
ROCKWALL, TEXAS

**CARLISLE PROPERTY CO.**  
12340 INWOOD RD. DALLAS, TEXAS 75380-2636  
Retail Division 214-233-5555



Date	6/11/83
Drawn by	C.V.
Prop. No.	4000
Sheet	of

**Exhibit "A"**  
**To ECR**



SURVEYORS CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT I, J. L. LANE, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Rockwall, Texas.

J. L. LANE  
REGISTERED PUBLIC SURVEYOR NO. 2509

STATE OF TEXAS )  
COUNTY OF DALLAS )

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared J. L. LANE, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, the \_\_\_ day of \_\_\_\_\_, 19\_\_.

NOTARY PUBLIC in and for Dallas County,  
Texas.

OWNERS CERTIFICATION

STATE OF TEXAS )  
COUNTY OF ROCKWALL )

WHEREAS, SAFEWAY STORES, INCORPORATED, a Maryland corporation, and CARLISLE PROPERTY COMPANY, are the owners of tracts of land situated in the JAMES SMITH SURVEY, ABSTRACT NO. 200 and the WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9, Rockwall County, Texas, being the same land conveyed in two tracts to Argosy Development Company, Ltd., by deed from John L. Jones, recorded in Volume 97, Page 626, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod for a corner in the south line of said Smith Survey, in a county road situated S 45° 08' 30" E, 40.00 feet from the southeast corner of said Blevins Survey, said point being on the south ROW line of Interstate Highway no. 30;

THENCE: Along the south ROW line of Interstate Highway No. 30 as follows:  
N 44° 28' 05" E, 40.00 feet to a concrete highway marker for corner;  
N 11° 49' 39" E, 192.78 feet to an iron pin for corner;  
N 70° 38' 45" E, 750.07 feet to a wooden highway marker for corner;  
N 62° 43' 55" E, 173.00 feet to an iron pin for corner;

THENCE: S 27° 18' 38" E, 165.36 feet to an iron pin for corner;  
THENCE: S 62° 43' 55" W, 100.00 feet to an iron pin for corner;  
THENCE: S 27° 18' 38" E, 98.50 feet to an iron pin for corner;  
THENCE: S 82° 11' 31" E, 166.24 feet to an iron pin for corner on the west ROW line of F. M. Road No. 740;  
THENCE: S 6° 45' 50" W, along the west ROW line of F. M. Road No. 740, a distance 675.80 feet to an iron pin for angle;  
THENCE: S 6° 19' 09" W, continuing with the said ROW line, a distance of 42.14 feet to an iron pin for corner;  
THENCE: N 83° 40' 51" W, 647.37 feet to an iron pin in the centerline of a county road;  
THENCE: N 44° 54' 27" W, 564.05 feet along the centerline of said county road to the PLACE OF BEGINNING and containing 751,826.68 square feet or 17.2596 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, SAFEWAY STORES, INCORPORATED, a Maryland corporation, owners of Lots 1 & 2, and CARLISLE PROPERTY COMPANY, owners of Lots 3, 4 & 5, do hereby adopt this plat designating the hereinabove described property as ROCKWALL VILLAGE ADDITION NO. 1, an Addition in the City of Rockwall, Rockwall County, Texas, and do hereby dedicate to the public use forever the streets and alleys shown thereon, and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.

WITNESS OUR HANDS AT \_\_\_\_\_, this the \_\_\_ day of \_\_\_\_\_, 19\_\_.

ATTEST: SAFEWAY STORES, INCORPORATED, a Maryland corporation

ATTEST: CARLISLE PROPERTY COMPANY-RETAIL, a Texas Corporation

STATE OF TEXAS )  
COUNTY OF \_\_\_\_\_ )

BEFORE ME, the undersigned authority, a Notary Public in and for said State and County, on this day personally appeared \_\_\_\_\_ and \_\_\_\_\_ known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and considerations therein expressed and as the Act and Deed of said Corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, the \_\_\_ day of \_\_\_\_\_, 19\_\_.

NOTARY PUBLIC for the State of Texas

STATE OF TEXAS )  
COUNTY OF \_\_\_\_\_ )

BEFORE ME, the undersigned authority, a Notary Public in and for said State and County, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and as the Act and Deed of said Company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, the \_\_\_ day of \_\_\_\_\_, 19\_\_.

NOTARY PUBLIC for the State of Texas

**ROCKWALL VILLAGE ADDITION NO. 1**  
PART OF JAMES SMITH SURVEY, ABSTRACT  
NO. 200, AND THE WM. BLEVINS SURVEY, ABSTRACT  
NO. 9 ROCK WALL COUNTY, TEXAS  
by  
ASSOCIATED ENGINEERS CO.  
3149 HWY 67 SUITE F  
MESQUITE, TEXAS PH. 321-9258  
75150

OWNER: SAFEWAY STORES INC.  
11325 PEGASUS  
SUITE W 141  
DALLAS, TEXAS 75238

CARLISLE PROPERTY CO.  
12340 INWOOD ROAD  
DALLAS, TEXAS 75240

ATT. H. RHODES      ATT. DAN HIGHLEY

APPROVED ON THIS THE \_\_\_ DAY OF \_\_\_\_\_, 19\_\_.

\_\_\_\_\_  
VICE CHAIRMAN, Planning & Zoning Commission

\_\_\_\_\_  
MAYOR, City of Rockwall, Texas

ATTEST:  
\_\_\_\_\_  
HELEN JOHNSON, CITY SECRETARY

SCALE 1" = 60' , JUNE , 1983  
Revised - Aug 10, 1983    Revised JAN 19, 1984    Revised APRIL 4, 1984





Date	No.	Description
------	-----	-------------

1. All Construction shall be in compliance with the Uniform Building Code, 1982 Edition, and shall comply with all codes, ordinances and requirements set forth by the City of Rockwall, Texas. The Building shall be zoned as "Commercial".

2. All Buildings shall have a B-2 Occupancy. Interior Columns shall have a Two (2) Hour Minimum Fire Rating as Detailed.

3. All Property bearings and dimensions are from a survey prepared by Harold L. Evans, Civil Engineers, 2331 Gus Thomasson Road, Suite 102, Dallas, Texas, 75228, (214) 328-5133.

4. All Signage to be placed on this site is subject to approval by the Owner and City of Rockwall sign ordinance.

5. All paving shall be coordinated with the lawn sprinkler contractor to allow for installation of sleeves under drive.

6. All dimensions are to be field verified for correctness. If any variances occur, Architect shall be contacted for verification.

7. It is the responsibility of the General Contractor to become aware of the location of all underground utilities on the site before any drilling or excavation begins. Contractor shall be aware that an existing structure was removed and that existing utilities will be used if possible.

8. A utility package has been prepared by Harold L. Evans, Civil Engineers. General Contractor shall gain access to such utility package and include in the bid of this project.

9. Harold L. Evans, Civil Engineers has prepared a dimensioned layout for foundation and column locations for this project. A Registered Civil Engineer, with approval of Architect and Owner, shall carefully layout the slab and column locations. Any discrepancies shall be called to the attention of the Architect immediately for resolution.

10. General Contractor shall coordinate construction with landscape contractor (under separate contract) and provide rough grading in planting areas. Landscape contractor shall be responsible for proper drainage of landscape areas away from building.

11. Earthwork contractor shall not remove or destroy any trees without Owner's approval. The Owner's representative shall be at site to mark any and all trees to be removed and/or to remain. Trees to be saved shall be carefully barricaded per specifications so as not to be damaged during the construction process. Tree damage WILL NOT be tolerated.

12. All concrete paving and walks shall be reinforced with #3's at 24" O.C.E.W. All reinforcing shall be raised 1 1/2" above final graded surface with plastic chairs.

13. All light gauge metal studs shall be 20 gauge unless otherwise noted on Plans.

**MICHAEL F. TWICHELL**  
 Architect  
 Dallas, Texas 748-6461

A PROJECT FOR  
 CARLISLE PROPERTY CO. RETAIL  
 ROCKWALL VILLAGE SHOPPING CENTER  
 PHASE II  
 ROCKWALL, TEXAS

**SITE PLAN**

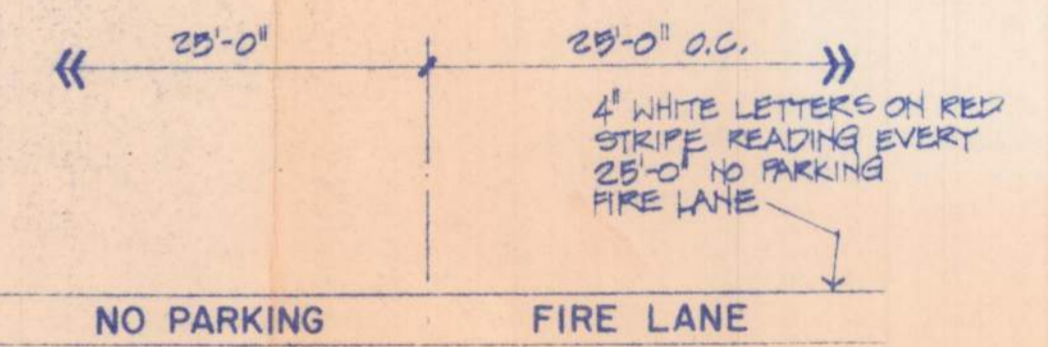
1" = 60'-0"

Revised 10/13/86

DATE	SHEET
2-28-86	SP-1
86202	

**GENERAL NOTES**

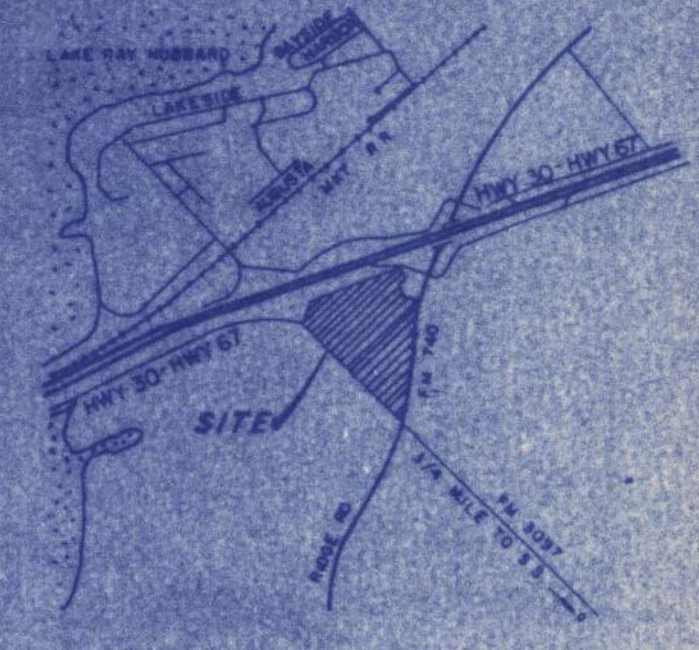
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- All concrete paving and walks shall be reinforced with #3's at 24" O.C.E.W. All reinforcing shall be raised 1 1/2" above final graded surface with plastic chairs.
- All light gauge metal studs shall be 20 gauge unless otherwise noted on Plans.



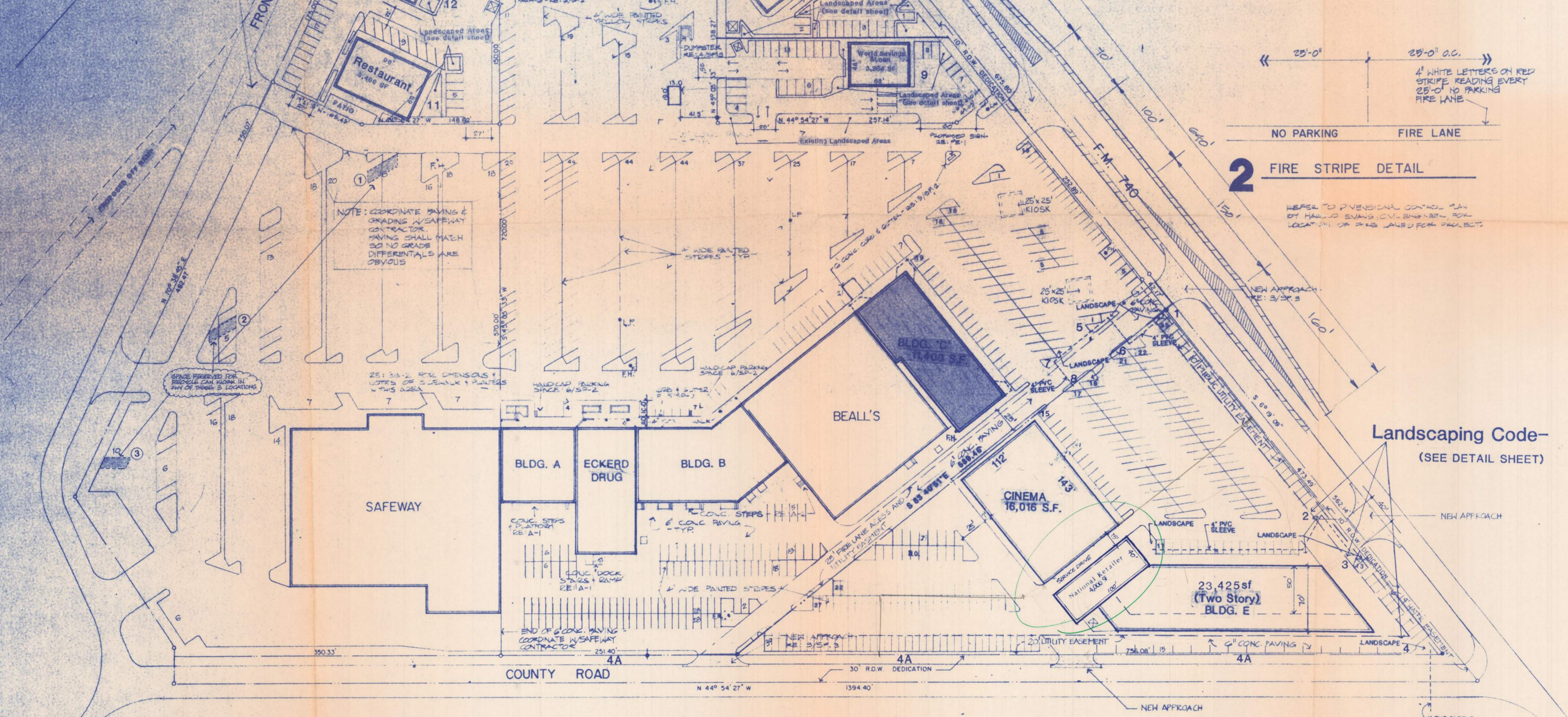
**2 FIRE STRIPE DETAIL**

REFER TO DIMENSIONAL CONTROL PLAN BY HAROLD EVANS, CIVIL ENGINEER, FOR LOCATION OF THE LANE FOR PROJECT.

**VICINITY MAP**



INTERSTATE HIGHWAY 30  
 FRONTAGE ROAD



NOTE: COORDINATE PAVING & GRADING W/SAFETYWAY CONTRACTOR. PAVING SHALL MATCH SO NO GRADE DIFFERENTIALS ARE OBVIOUS.

SPACE RESERVED FOR PEOPLE CAN WORK IN ANY OF THESE 3 LOCATIONS

2E: 24'-2" TOTAL DIMENSIONS + NOTES OF 3' LEAK + PLATES IN THIS AREA

**TABULATIONS**

TOTAL LAND AREA	842,243.61 SF	19.34 Acres
PARKING REQUIRED @ 1:300		
Safeway	48,300 SF	145 spaces
Bldg. A	5,400 SF	21 spaces
Bldg. B	11,800 SF	39 spaces
Eckerd	8,440 SF	29 spaces
Beall's	24,855 SF	83 spaces
Bldg. D	36,252 SF	122 spaces
Bldg. E (Second Floor)	17,250 SF	58 spaces
World Savings & Loan	3,264 SF	11 spaces
PARKING REQUIRED @ 1:200		
Bldg. C	11,400 SF	57 spaces*
Bldg. E	12,175 SF	61 spaces
Cinema (1,250 seats-1 parking space per 3 seats)	16,016 SF	416 spaces
Kiosks (4)	2,007 SF	8 spaces
PARKING REQUIRED @ 1:100		
5,400 SF Restaurant	5,400 SF	54 spaces
Fast Food Restaurant	2,580 SF	26 spaces
NATIONAL REQUIRE - 4,000 @ 1/200	4,000 SF	20
195,633 SF		
PARKING	1,730 required	1,154 provided

\*City of Rockwall changed code for retail 7/15/85 1:200

**NOTES:**

- REFER TO HAROLD EVANS, CIVIL ENGINEER, DIMENSIONAL CONTROL PLAN FOR DIMENSIONAL LAYOUT OF PARKING SPACES, BUILDINGS, ETC.
- GENERAL CONTRACTOR TO PROVIDE 4" PVC CONDUIT UNDER PAVEMENT, APPROACHES & WALKS SO RAINWATER SYSTEM CAN BE REACHED TO ALL PLANTER AREAS. COORDINATE WITH LANDSCAPE CONTRACTOR.

- LP - LIGHT POLE - RBPE-1
- FH - FIRE HYDRANT - RBPE-1 & CIVIL DRAWINGS.

*Revision that was approved Fall 86*



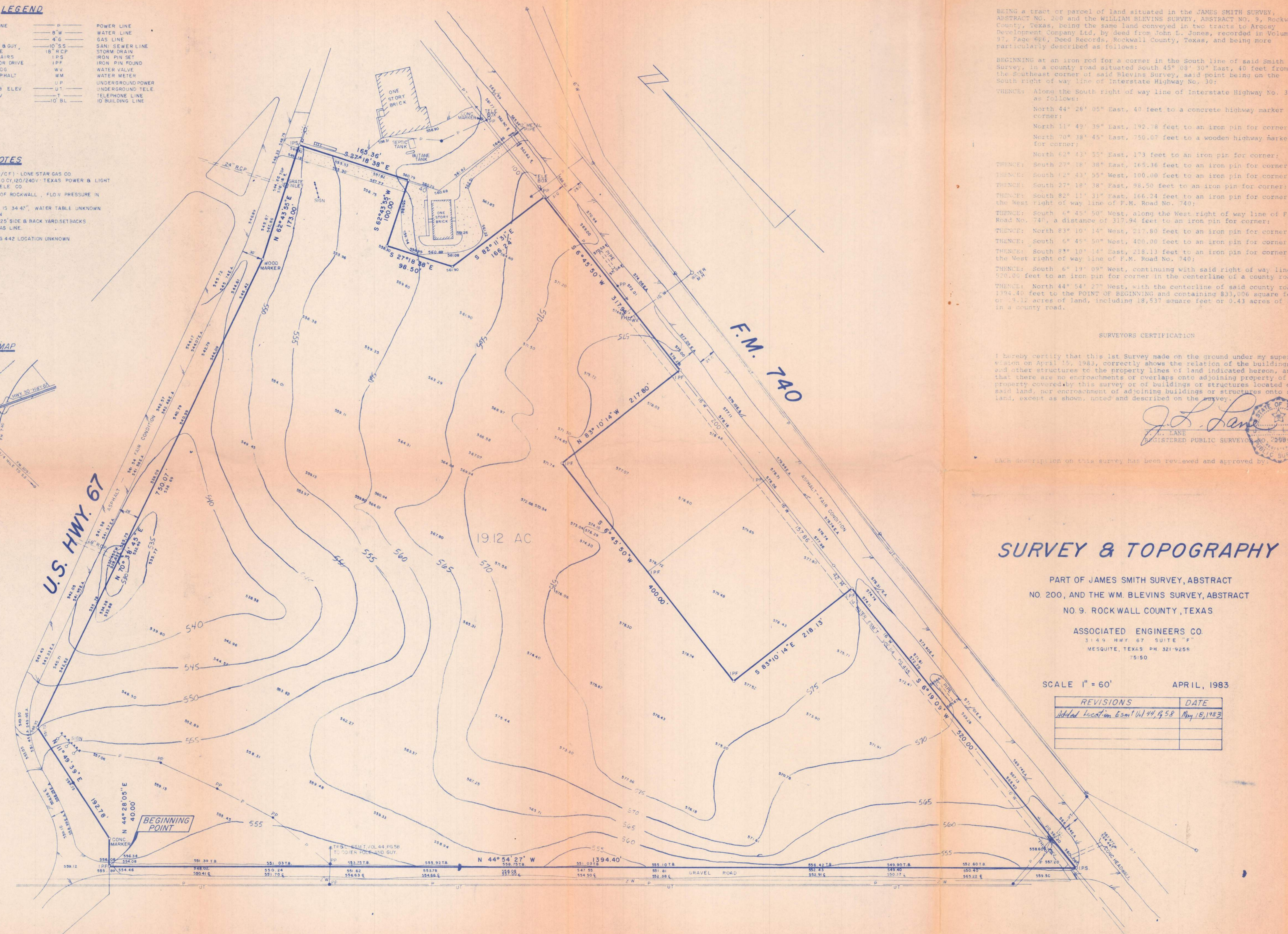
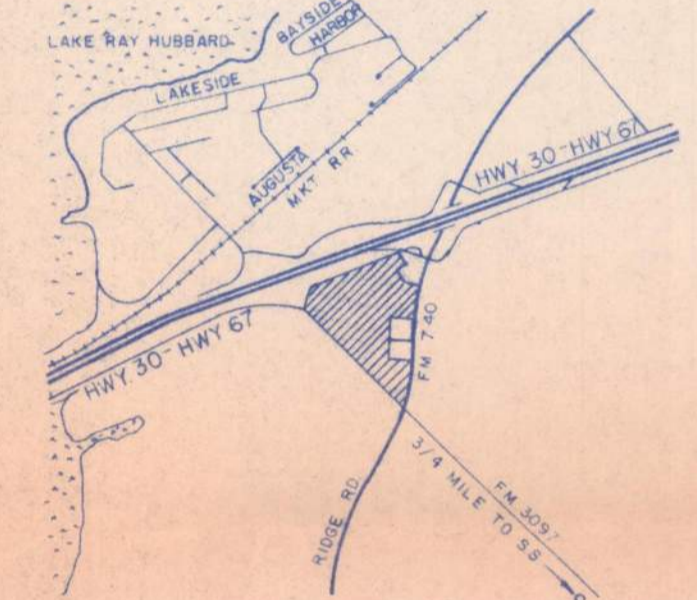
LEGEND

- PROPERTY LINE
- LOT LINE
- FENCE LINE
- POWER POLE & GUY
- CONTOUR LINE
- STEPS OR STAIRS
- COND. WALK OR DRIVE
- EDGE OF BLDG
- EDGE OF ASPHALT
- TREE
- 66.3 30 TC
- 662 80 G
- 661 56
- MH

NOTES

1. GAS IS NATURAL (1000 BTU/C.F.) - LONE STAR GAS CO
2. POWER 4 W. 3 PH. 12 KV. 60 CY. 20/240V - TEXAS POWER & LIGHT
3. TELEPHONE - GENERAL TELE. CO
4. WATER SYSTEM IS CITY OF ROCKWALL. FLOW PRESSURE IN EXCESS OF 75.0 G.P.M.
5. MEAN ANNUAL RAINFALL IS 34.47". WATER TABLE UNKNOWN
6. SOIL CONDITION UNKNOWN
7. ZONING IS COMMERCIAL 25' SIDE & BACK YARD SETBACKS
8. 2 MILES TO AVAILABLE GAS LINE
9. TP&L ESM T, VOL. 33, PG. 442 LOCATION UNKNOWN

VICINITY MAP



BEING a tract or parcel of land situated in the JAMES SMITH SURVEY, ABSTRACT NO. 200 and the WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9, Rockwall County, Texas, being the same land conveyed in two tracts to Argosy Development Company Ltd, by deed from John L. Jones, recorded in Volume 97, Page 696, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod for a corner in the South line of said Smith Survey, in a county road situated South 45° 08' 30" East, 40 feet from the Southeast corner of said Blevins Survey, said point being on the South right of way line of Interstate Highway No. 30;

THENCE: Along the South right of way line of Interstate Highway No. 30 as follows:

- North 44° 28' 05" East, 40 feet to a concrete highway marker for corner;
- North 11° 49' 39" East, 192.78 feet to an iron pin for corner;
- North 70° 38' 45" East, 750.07 feet to a wooden highway marker for corner;
- North 62° 43' 55" East, 173 feet to an iron pin for corner;

THENCE: South 27° 18' 38" East, 165.36 feet to an iron pin for corner;

THENCE: South 2° 43' 55" West, 100.00 feet to an iron pin for corner;

THENCE: South 27° 18' 38" East, 98.50 feet to an iron pin for corner;

THENCE: South 82° 11' 31" East, 166.24 feet to an iron pin for corner on the West right of way line of F.M. Road No. 740;

THENCE: South 6° 45' 50" West, along the West right of way line of F.M. Road No. 740, a distance of 317.94 feet to an iron pin for corner;

THENCE: North 83° 10' 14" West, 217.80 feet to an iron pin for corner;

THENCE: South 6° 45' 50" West, 400.00 feet to an iron pin for corner;

THENCE: South 83° 10' 14" East, 218.13 feet to an iron pin for corner on the West right of way line of F.M. Road No. 740;

THENCE: South 6° 19' 09" West, continuing with said right of way line, 520.00 feet to an iron pin for corner in the centerline of a county road;

THENCE: North 44° 54' 27" West, with the centerline of said county road, 1394.40 feet to the POINT OF BEGINNING and containing 833,006 square feet or 19.12 acres of land, including 18,537 square feet or 0.43 acres of land in a county road.

SURVEYORS CERTIFICATION

I hereby certify that this 1st Survey made on the ground under my supervision on April 15, 1983, correctly shows the relation of the buildings and other structures to the property lines of land indicated hereon, and that there are no encroachments or overlaps onto adjoining property of property covered by this survey or of buildings or structures located on said land, nor encroachment of adjoining buildings or structures onto said land, except as shown, noted and described on the survey.

*J. L. Lane*  
 J. L. LANE  
 REGISTERED PUBLIC SURVEYOR NO. 2989

EACH description on this survey has been reviewed and approved by:

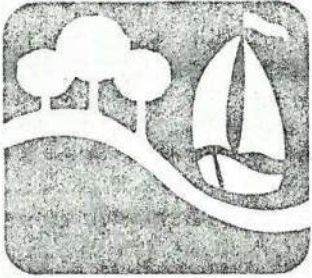
SURVEY & TOPOGRAPHY

PART OF JAMES SMITH SURVEY, ABSTRACT NO. 200, AND THE WM. BLEVINS SURVEY, ABSTRACT NO. 9, ROCK WALL COUNTY, TEXAS

ASSOCIATED ENGINEERS CO.  
 3149 HWY 67 SUITE "F"  
 MESQUITE, TEXAS PH. 321-9256  
 75150

SCALE 1" = 60' APRIL, 1983

REVISIONS	DATE
Added Location Esmt Vol 44, 1958	May 18, 1983



**CITY OF ROCKWALL**  
"THE NEW HORIZON"

October 8, 1986

Mr. Larry Walker, P.E.  
Engineering Coordinator  
Realvest, Inc.  
1717 South Boulder  
Tulsa, Oklahoma 75119-4817

Re: Chandlers Landing, Phase 19  
Escrow for FM-740 Street Improvements

Dear Mr. Walker:

We have revised our original escrow cost estimates to reflect current bid prices and a revised estimate of the deceleration lane. A construction cost estimate for the escrow requirements and deduction are listed below. These figures also include engineering cost.

Escrow requirements for 1,453 feet of concrete pavement 12 feet wide, with lime stabilized subgrade, curb and gutter, storm sewer, and sidewalks \$112,144.00

Escrow deduction for 300 feet asphaltic concrete pavement 15 feet wide deceleration lane 39,188.00

Total Escrow Required \$ 72,956.00

Should any questions arise or if I may be of further assistance in this matter, please call.

Sincerely,

W. L. Douphrate, P.E.  
City Engineer

WLD/mmp

F.M. 740 Escrow By Request Phase 19 Final Plat

TOTAL FRONTAGE 1400 L.F.  
(24' x 100')

1. EARTHWORK	Allow	\$ 5000
2. SUBGRADE STAB.	3787 S.F.	\$ 11,273
3. PAVING	3733 S.F.	\$ 59,733
4. STORM SEWER	Allow	\$ 25,000
5. SIDEWALK	5600 S.F.	\$ 14,000
6. ENGINEERING		\$ 11,000
7. CONTINGENCY		\$ 16,000
	Total	\$ 142,011

DEDUCTION 50% PAVING \$ 29,867

DEDUCTION TURN LANE (BIO) 34,688  
ENGINEERING \$ 500

TOTAL DEDUCTION \$ 69,055

Total Due to F.M. 740 Escrow \$ 72,956



**PAWA-Winkelmann  
& Associates, Inc.**

CIVIL / TRANSPORTATION ENGINEERS • PLANNERS • SURVEYORS

September 15, 1983

Mr. Jess Gilbert  
City Administrator  
City of Rockwall  
102 E. Washington  
Rockwall, TX 75087

Dear Mr. Gilbert:

This letter is to confirm our earlier discussions relative to the Safeway site and the adjacent street network.

During our development of the Thoroughfare Plan alignments, specific emphasis was placed on the needs of the major street network in the vicinity of the Safeway site including FM-740, Lakeside Drive and the east-bound service road of Interstate Highway 30.

In previous discussions with the Safeway site people, you had identified a potential solution which included a better tie between Lakeside Drive and FM-740 than presently exists.

The results of our efforts indicate a need for a tie between Lakeside Drive across Interstate 30 to be used as the major access route for the development. The two-way service road presently serving the development is proposed to become one-way west bound; therefore, the Lakeside Drive tie becomes imperative. Because of its importance for access and because of a proposed IH-30 ramp addition west of the crossing point, the roadway should be considered as a major collector street (4 lane undivided on a 70' R.O.W.).

Various alignment alternatives for Lakeside Drive were developed and reviewed with respect to the Safeway site. It was concluded that Lakeside Drive should generally be aligned as it presently exists except for a better eventual intersection tie with FM-740.

Access points as shown on the preliminary site plan for the Safeway site were found to be generally acceptable.

One potential problem, which was identified as the short street which connects at or very near, the intersection of the east-bound service road and Lakeside Drive. Although no in-depth design analysis was made of this problem, the situation will require some consideration when the tie across IH-30 is made.

In conclusion, we concur with your previous discussions with the Safeway site developers and see no major problem in the preliminary site plan as presented to us. One should remember, however, that the thoroughfare plan calls for the IH-30 service roads on both sides to be one-way.

I trust that this provides you with the information which you need.

Sincerely,

Ronald T. Perry  
Planner



28-00-00 3982

August 21, 1986

Ms. Julie Couch  
City of Rockwall  
205 West Rusk Street  
Rockwall, Texas 75087-3793

Re: Rockwall Village - Developer's Contract

Dear Julie:

To comply with the terms of the Developer's Contract between the City of Rockwall and Carlisle Property Company dated June 27, 1986, attached is our Check No. 045934 in the amount of \$22,500.00. As provided in Section 3, will you please prepare an instrument in recordable form acknowledging receipt of this payment.

Sincerely,

A handwritten signature in cursive script that reads "Ora Lee Bartolo".

Ora Lee Bartolo

84-44

olb  
Attach.