

SITE PLAN APPLICATION

Date: 3/6/1984

NAME OF PROPOSED DEVELOPMENT N/A

NAME OF PROPERTY OWNER/DEVELOPER Cameron Company

ADDRESS 1101 Ridge Road PHONE 722-3878

NAME OF LAND PLANNER/ENGINEER Harold L. Evans

ADDRESS 2331 Gus Thomasson Rd, Suite 102 PHONE 328-8133

TOTAL ACREAGE 30.9 CURRENT ZONING C, A, & L1

NUMBER OF LOTS/UNITS 39

Signed J. Rex Cameron

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal.

<u>Provided or Shown on Site Plan</u>	<u>Not Applicable</u>	
<u>*</u>	<u>      </u>	1. Location of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
<u>      </u>	<u>*</u>	2. Landscaping, lighting, fencing and/or screening of yards and set-back areas
<u>*</u>	<u>      </u>	3. Design and location of ingress and egress
<u>      </u>	<u>*</u>	4. Off-street parking and loading facilities
<u>      </u>	<u>*</u>	5. Height of all structures
<u>      </u>	<u>      </u>	6. Proposed Uses
<u>      </u>	<u>*</u>	7. Location and types of all signs, including lighting and heights
<u>      </u>	<u>*</u>	8. Elevation drawings citing proposed exterior finish materials

Provided or Shown  
on Site Plan

Not  
Applicable

N/A

\_\_\_\_\_

9. Street names on proposed streets

\_\_\_\_\_

\_\_\_\_\_

10. The following additional information:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.

Taken by: \_\_\_\_\_

File No. \_\_\_\_\_

Date: \_\_\_\_\_

Fee: \_\_\_\_\_

SITE PLAN/PRELIMINARY PLAT/~~FINAL PLAT~~  
FACT SHEET

Applicant: Bill Cameron

Name of Proposed Development: \_\_\_\_\_

Acreage 30.9

Number of Lots: 2

Current Zoning: Commercial & Agricultural (changing to Commercial)

Surrounding Zoning: Commercial & PD Residential

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Description: Commercial park on I-30 east of Church on the Rock. Frontage on I-30, backs up to Windmill Ridge and the HUD duplexes. The proposed thoroughfare plan shows a 120 ft. ROW for a 6-lane divided highway all on Cmeron's property on the south side. We have already obtained 120 ft. of ROW on the adjacent Church on the Rock property.

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Staff Comments: Study storm drainage on east side on final plat. Dedicate ROW along rear property line for 6-lane divided. The City Council has not adopted the thoroughfare plan, nor has it adopted a policy on the requirements for ROW versus dedication of easements to reduce the amount of land which property owners must give up and increase the amount they can sell. We suggested the applicant only plat the north half of the property pending a decision on the thoroughfare plan. You could approve with no ROW, 120 ft., or 100 ft. with 10 ft. easements on each side. Suggest Julian Circle connect back into Rock Creek Drive or extend south to proposed 6-lane (would no longer be a Circle).

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Planning and Zoning Commission Recommendations:

4/12/84 - Denial

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City Council Decision:

Date: 3/6/84

APPLICATION AND  
PRELIMINARY PLAT CHECKLIST

Name of Proposed Subdivision N/A

Name of Subdivider \_\_\_\_\_

Address \_\_\_\_\_ Phone \_\_\_\_\_

Owner of Record Cameron Company

Address 1101 Ridge Road Phone 722-3878

Name of Land Planner/Surveyor/Engineer Harold L. Evans

Address 2331 Gus Thomasson Rd. Suite 102 Phone 328-8133

Total Acreage 30.9 acres Current Zoning C.A. & LI

No. of Lots/Units 39 Signed Bill R. Cameron

The following Preliminary Plat Checklist is a summary of the requirements listed under Section VII of the Rockwall Subdivision Ordinance. Section VII should be reviewed and followed when preparing a Preliminary Plat. The following checklist is intended only as a reminder and a guide for those requirements. Use the space at the left to verify the completeness of the information you are submitting. If an item is not applicable to your plan, indicate by placing a check mark.

INFORMATION

Provided or                      Not  
Shown on Plat              Applicable

I. General Information

\*                      \_\_\_\_\_

A. Vicinity map

N/A                      \_\_\_\_\_

B. Subdivision Name

\*                      \_\_\_\_\_

C. Name of record owner, subdivider, land planner/engineer

\*                      \_\_\_\_\_

D. Date of plat preparation, scale and north point

II. Subject Property

\*                      \_\_\_\_\_

A. Subdivision boundary lines

\*                      \_\_\_\_\_

B. Identification of each lot and block by number or letter

\_\_\_\_\_ \* \_\_\_\_\_

C. Dimensions, names and description of all public rights-of-way, improvements, easements, parks and open spaces -- both existing and proposed. Locate and identify existing and/or proposed median openings and left turn channelization.

\* \_\_\_\_\_

D. Proposed land uses, and existing and proposed zoning categories

\* \_\_\_\_\_

E. Approximate acreage

\* \_\_\_\_\_

F. Typical lot size; lot layout; smallest lot area; number of lots

\_\_\_\_\_ \* \_\_\_\_\_

G. Building set-back lines adjacent to street

\* \_\_\_\_\_

H. Topographical information and physical features to include contours at 2' intervals, outlines of wooded areas, drainage areas and 50 and 100 year flood limit lines, if applicable

\*

I. Location of City limit lines, contiguous or within plat area

\* \_\_\_\_\_

J. Location and sizes of existing utilities

\* \_\_\_\_\_

K. Intended water source and sewage disposal method whether inside city limits or in extraterritorial jurisdiction

III. Surrounding Area

\* \_\_\_\_\_

A. The record owners of contiguous parcels of unsubdivided land; names and lot patterns of contiguous subdivisions; approved concept plans or preliminary plats.

\* \_\_\_\_\_

B. The approximate location, dimension and description of all existing or proposed lots and blocks, public rights-of-way and easements, parks and open spaces. Specifically indicate how the proposed improvements would relate to those in the surrounding area.

Taken by: \_\_\_\_\_

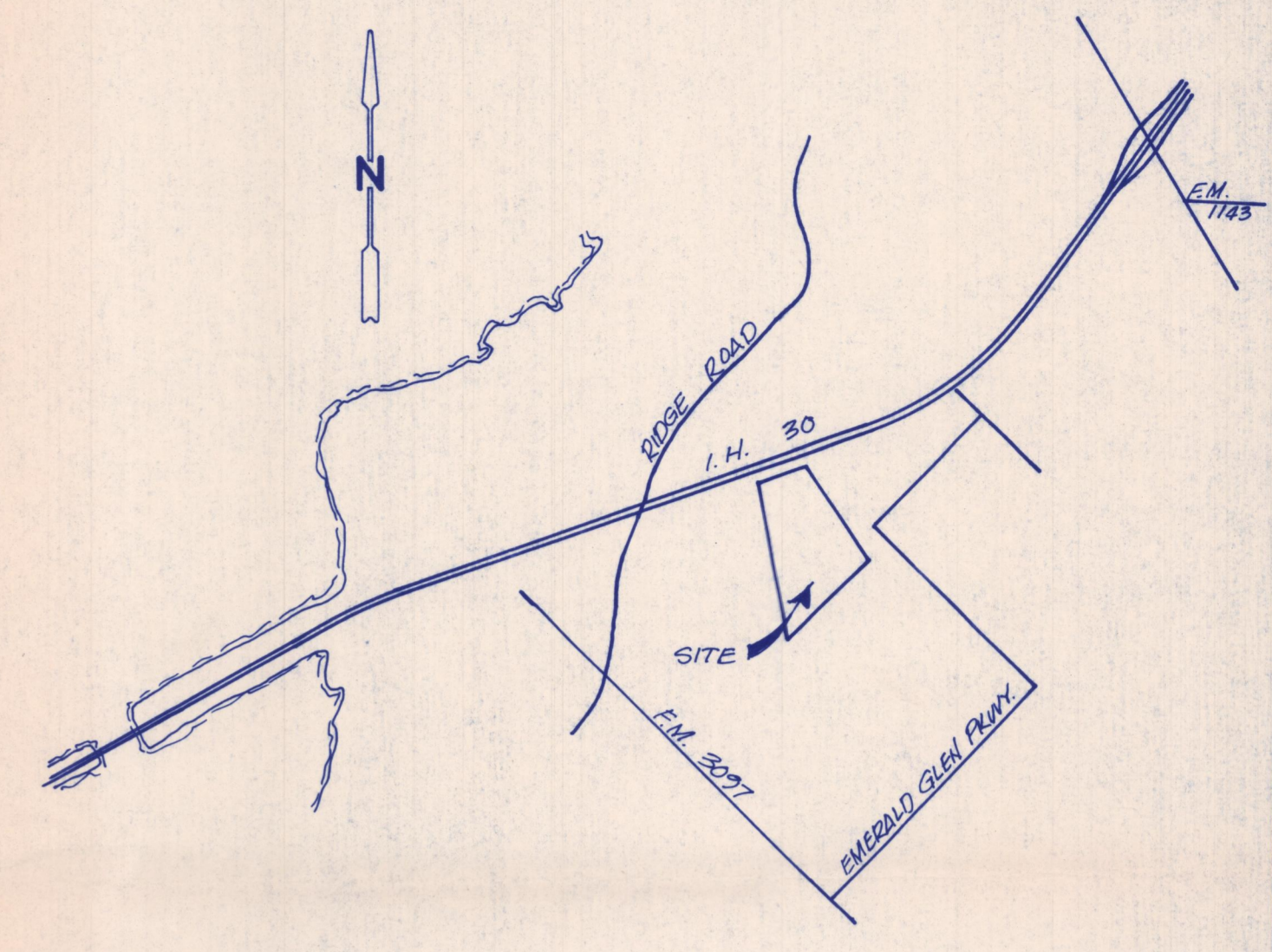
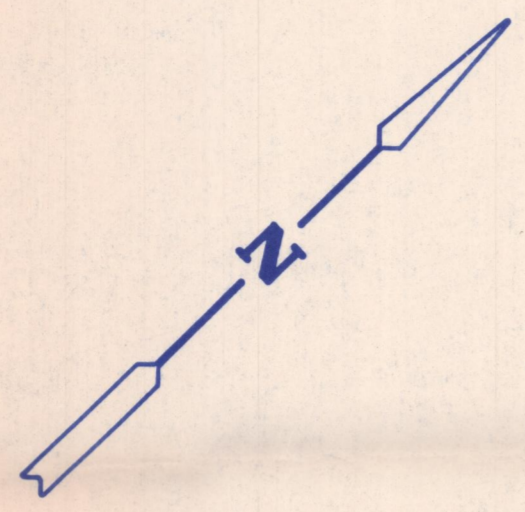
File No. \_\_\_\_\_

Date: \_\_\_\_\_

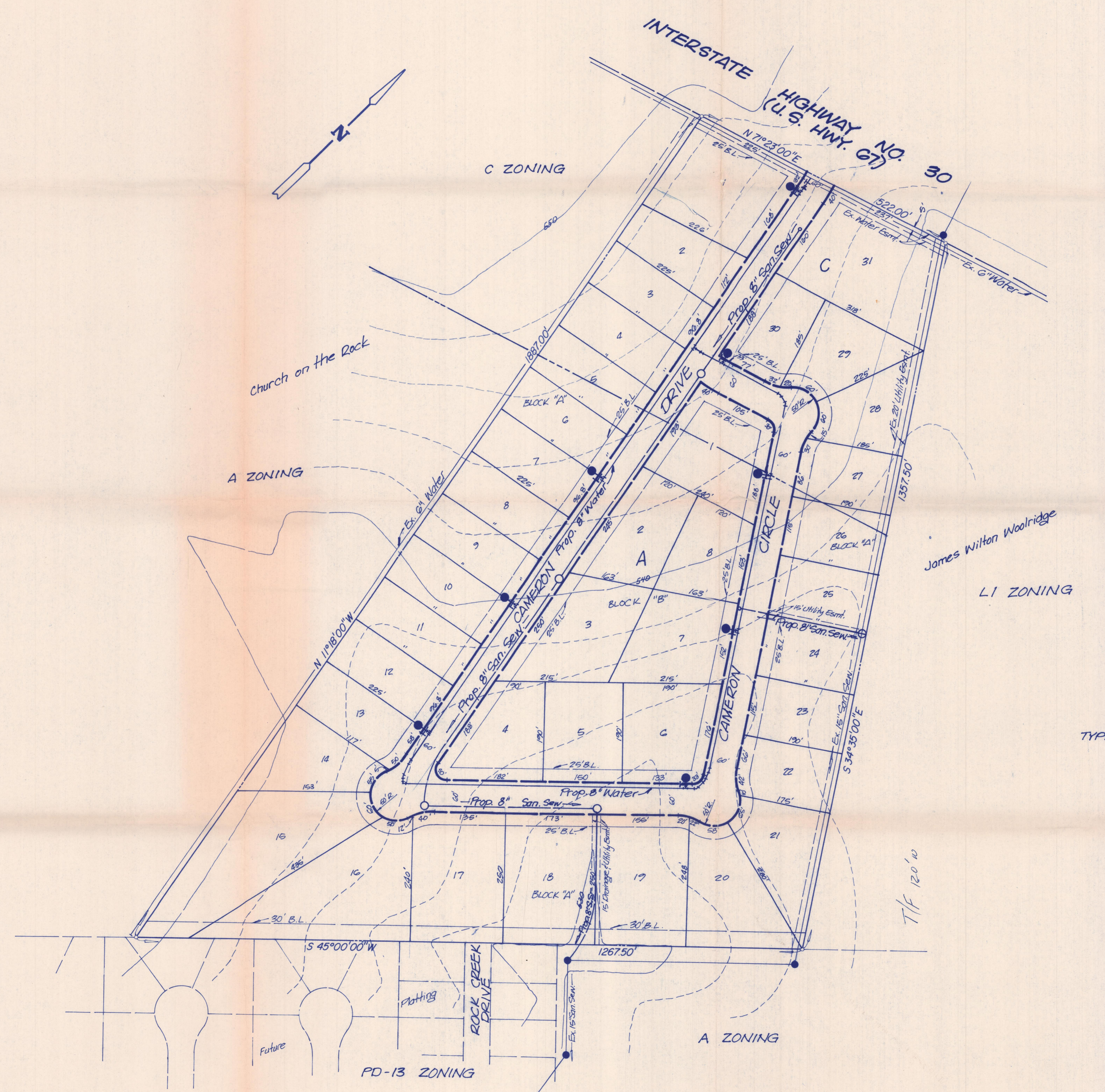
Fee: \_\_\_\_\_

Receipt: \_\_\_\_\_





VICINITY MAP  
1/8" = 1' SCALE



TYPICAL LOT IS 0.5000 ACRE

30.9 ACRES ±

OWNER: BILL CAMERON  
CAMERON BUILDING  
1101 RIDGE ROAD  
ROCKWALL, TEXAS 76087  
PHONE (214) 226-1930

HAROLD L. EVANS  
CONSULTING ENGINEER  
2331 GUS THOMASSON RD. SUITE 102  
DALLAS, TEXAS 75228  
PHONE (214) 328-8133

SCALE	DATE	JOB NO.
1"=100'	3-2-84	83250

**PRELIMINARY PLAT**  
**CAMERON ADDITION**  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS