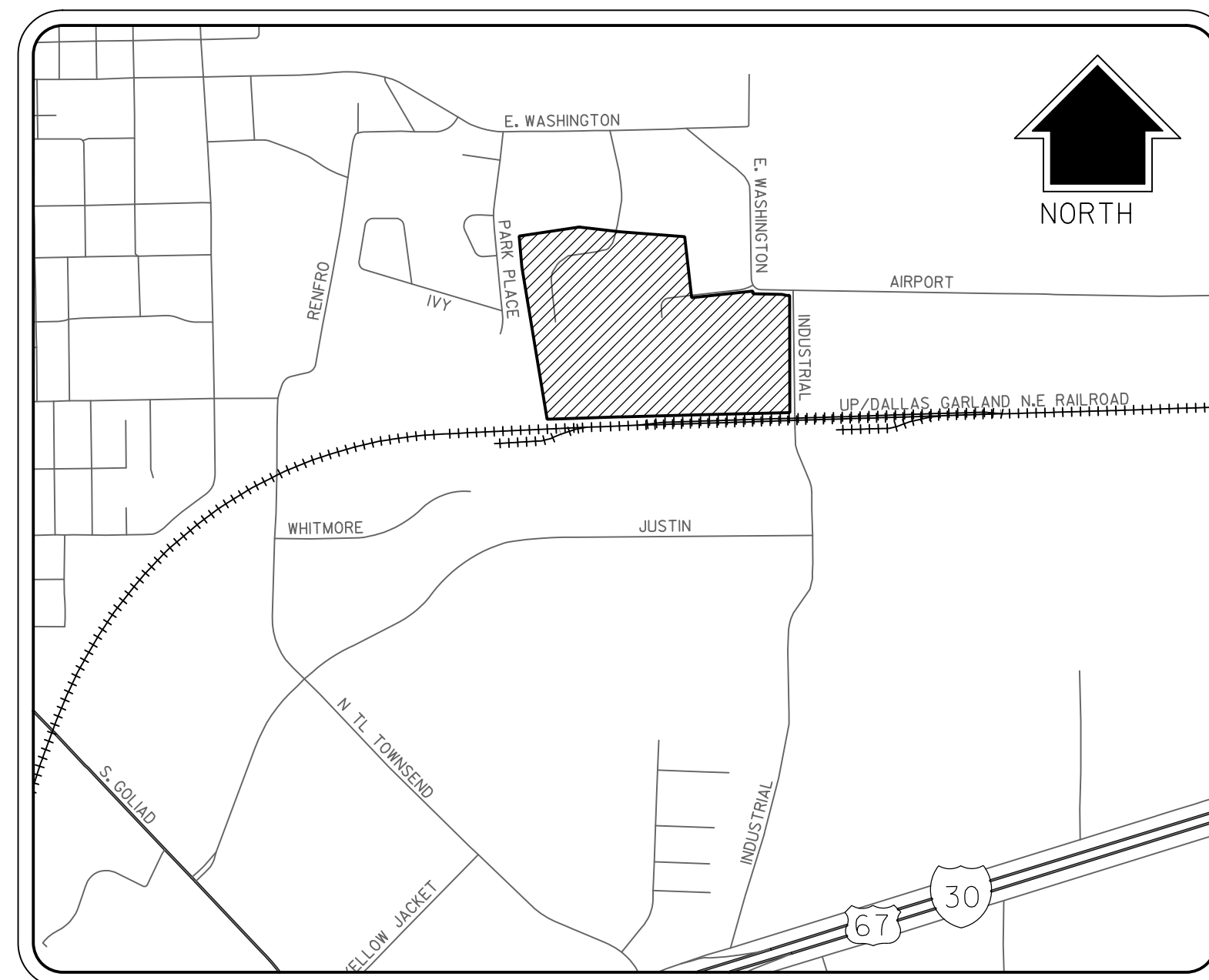


# CIVIL SITE ENGINEERING FOR SPR NORTH PHASE I

## ROCKWALL, TEXAS



LOCATION MAP  
SCALE/NOT TO SCALE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



### DEVELOPER/OWNER

ALVAPLAST US DEVELOPMENT LLC  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

### ENGINEER

HALFF ASSOCIATES, INC.  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX. 75081  
CONTACT: MATTHEW J. GARDNER  
EMAIL: MGARDNER@HALFF.COM  
TEL: (214) 346-6308  
TBPE FIRM# F-312



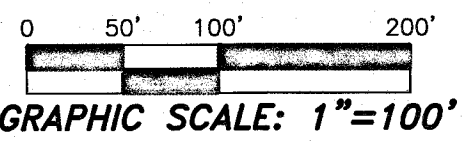
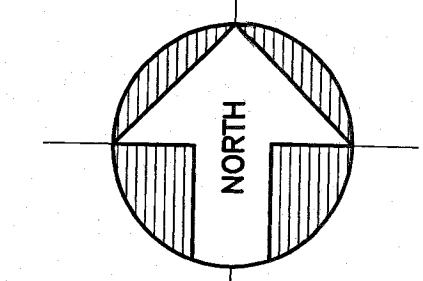
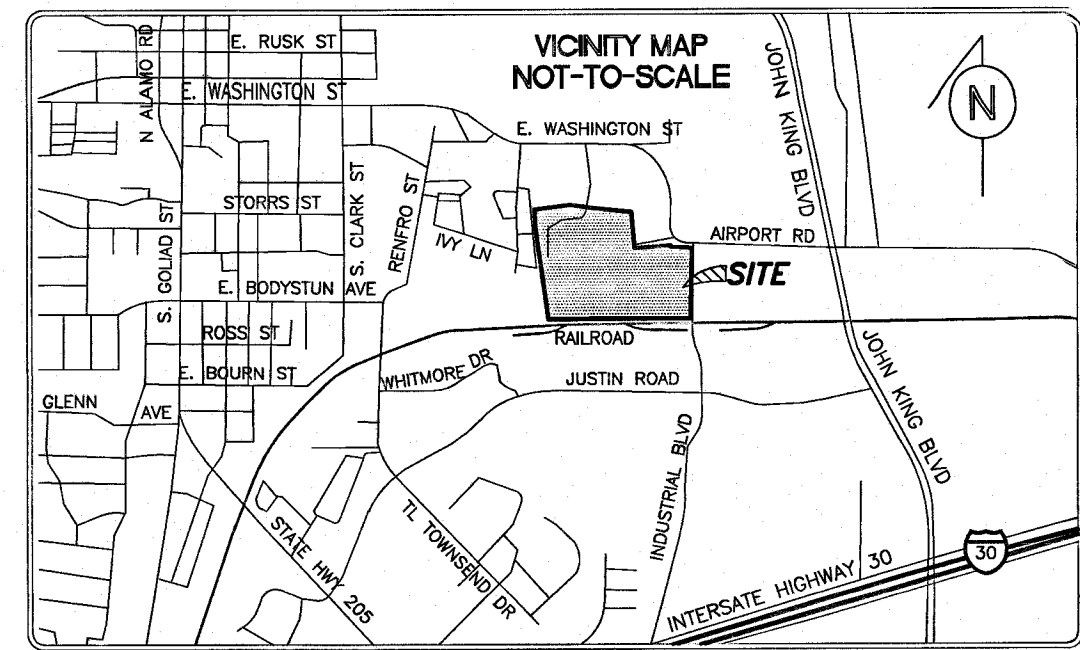
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
TEL (214) 346-6200  
FAX (214) 739-0095

RECORD DRAWING SUBMITTAL  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

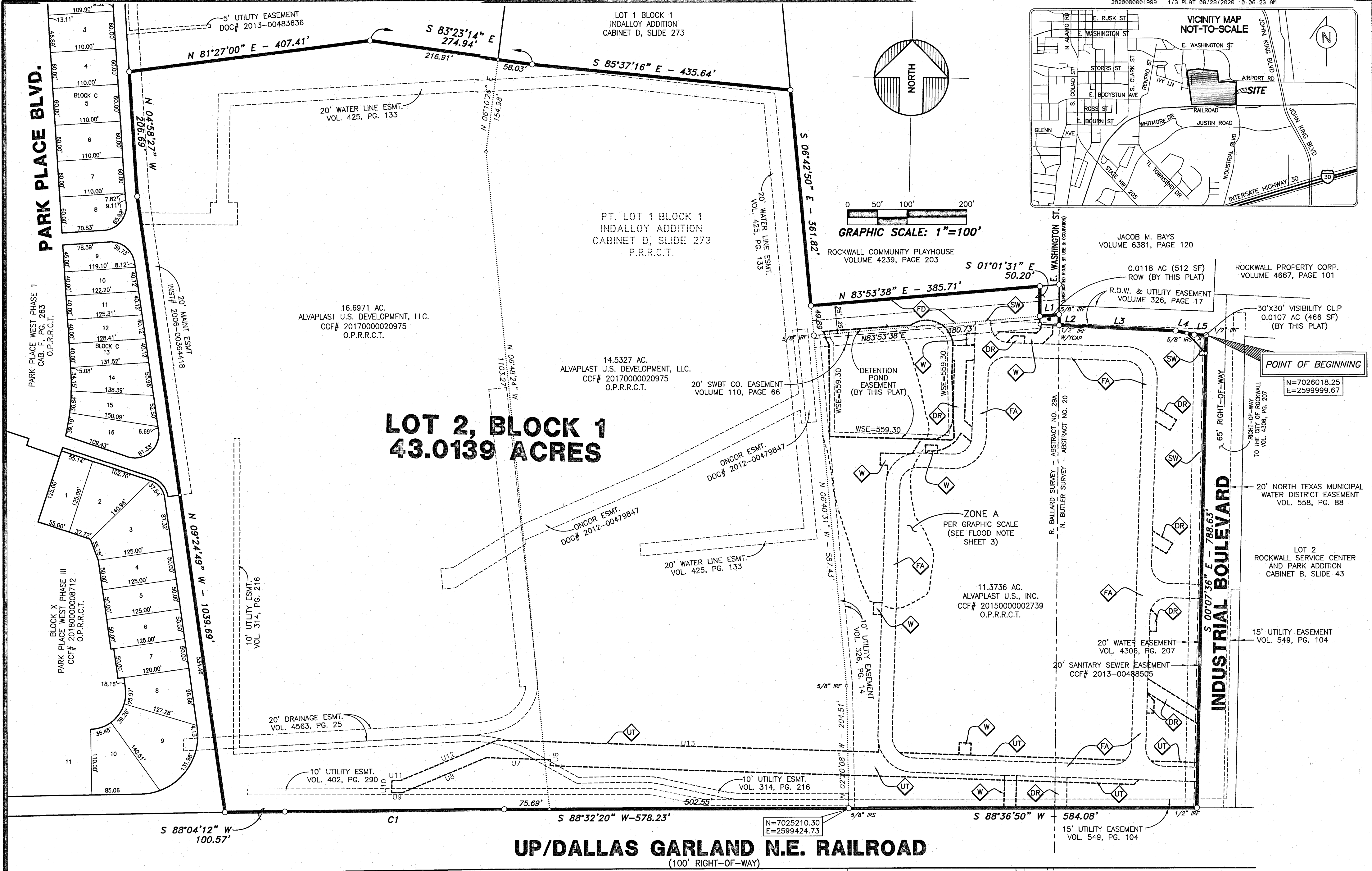
MATTHEW J. GARDNER 130786  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FIRM# F-312

SHEET INDEX	
SHEET NO.	SHEET TITLE
	COVER SHEET
	PRELIMINARY PLAT
C0.01-C0.02	SITE PLAN PACKAGE *
L1.00-L2.04	
L3.01-L3.03	IRRIGATION PLANS
C0.03	GENERAL NOTES
C0.04	SURVEY CONTROL PLAN
C0.05	DEMOLITION PLAN
C1.01	PAVING PLAN
C1.02-C1.04	PAVING DETAILS
C2.01	GRADING PLAN
C2.02	DETAILED GRADING PLAN
C3.01	EXISTING DRAINAGE AREA MAP
C3.02	PROPOSED DRAINAGE AREA MAP (ULTIMATE)
C3.03	PROPOSED DRAINAGE AREA MAP (PHASE 1)
C3.04	STORM DRAINAGE PLAN
C3.05-C3.07	STORM DRAINAGE PROFILE
C3.08	HYDRAULIC CALCULATIONS ULTIMATE
C3.09	HYDRAULIC CALCULATIONS PHASE 1
C3.10	DETENTION POND OUTFALL STRUCTURE
C4.01	WATER AND WASTEWATER PLAN
C4.02	WASTEWATER PROFILE
C4.03	WATER PROFILE
C5.01	EROSION CONTROL PLAN
C5.02	EROSION CONTROL NOTES & DETAILS

\* FOR REFERENCE ONLY



# LOT 2, BLOCK 1 43.0139 ACRES



**NOTE:**  
THE PURPOSE OF THIS PLAT IS TO CREATE 1 NEW LOT.

**NOTE:**  
SEE PAGE 2 FOR DETAILS  
SEE PAGE 3 FOR LEGEND

LOT 3 BLOCK A  
WHITMORE MANUFACTURING ADDITION  
CABINET H, SLIDE 239

15' UTILITY EASEMENT  
VOL. 507, PG. 196

LOT 2 BLOCK A  
SPR PACKAGING ADDITION  
CABINET H, SLIDE 155

10' UTILITY EASEMENT  
VOL. 305, PG. 112

**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**  
**BEING A REPLAT OF PART OF LOT 1, BLOCK 1**

BEING A 43.0139-ACRE PARCEL  
N. BUTLER SURVEY - ABSTRACT NO. 20  
R. BALLARD SURVEY - ABSTRACT NO. 29A  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

AUGUST 10, 2020

CASE NO. P2019-028

SHEET 1 OF 3



BLUE SKY SURVEYING  
& MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4600  
DRPETREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION No. 10105700

**OWNER:**  
ALVAPLAST U.S. DEVELOPMENT, LLC.  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

**OWNER:**  
ALVAPLAST U.S., INC.  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

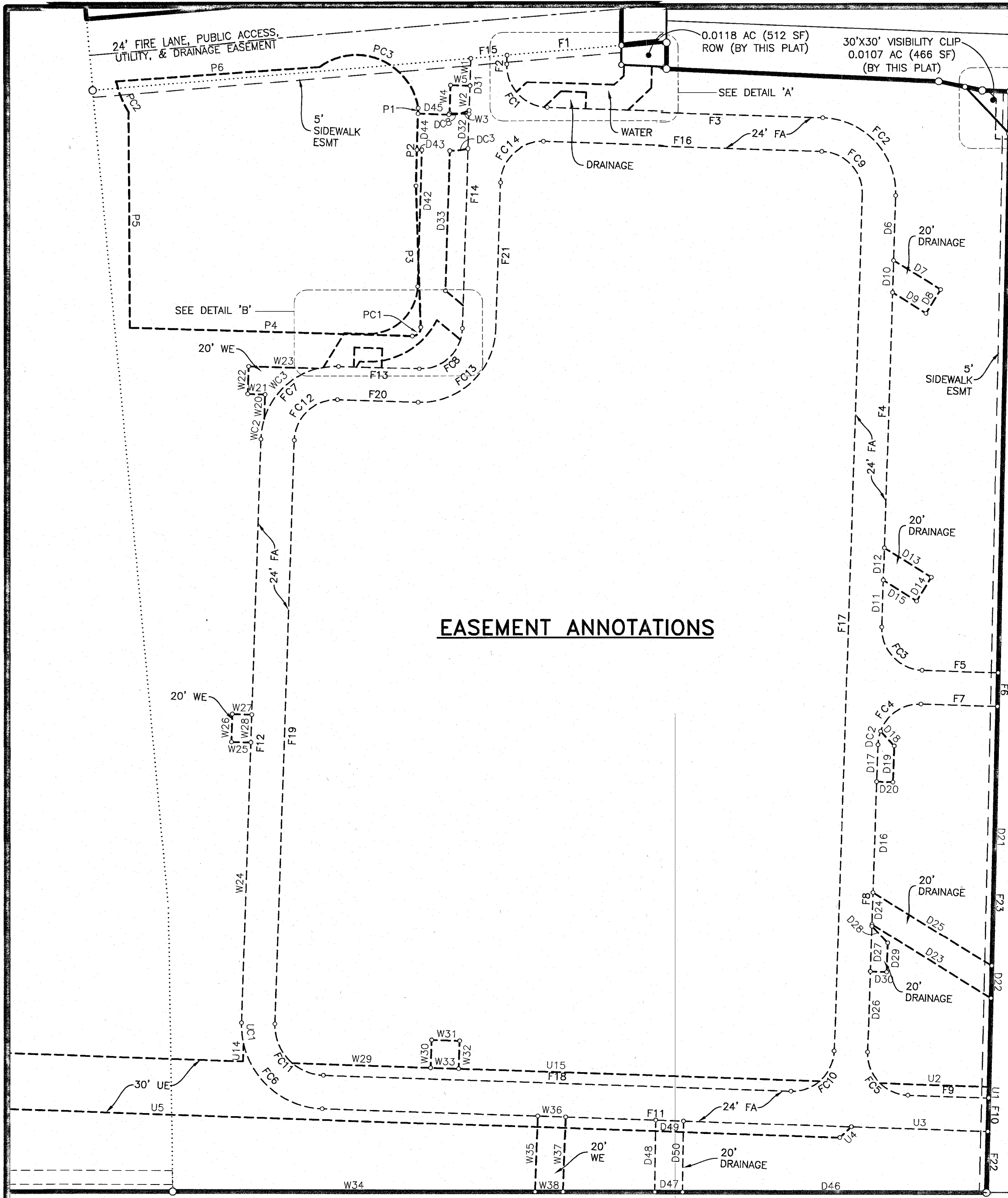
~ LINE TABLE ~

NO.	BEARING	DISTANCE
L1	N83°53'38"E	32.63'
L2	S01°01'31"E	17.89'
L3	S88°37'46"E	195.72'
L4	S79°05'55"E	32.05'
L5	S88°51'14"E	20.02'

~ CURVE TABLE ~

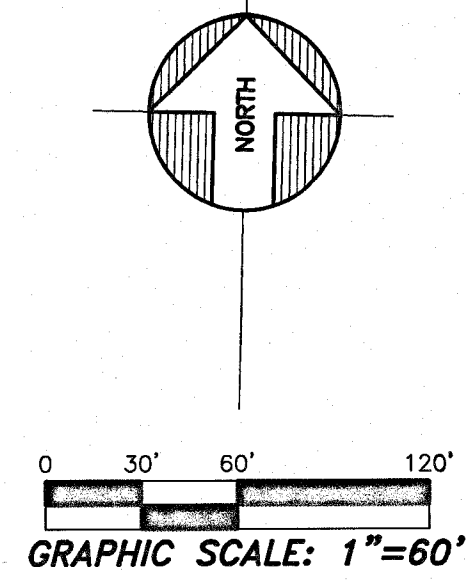
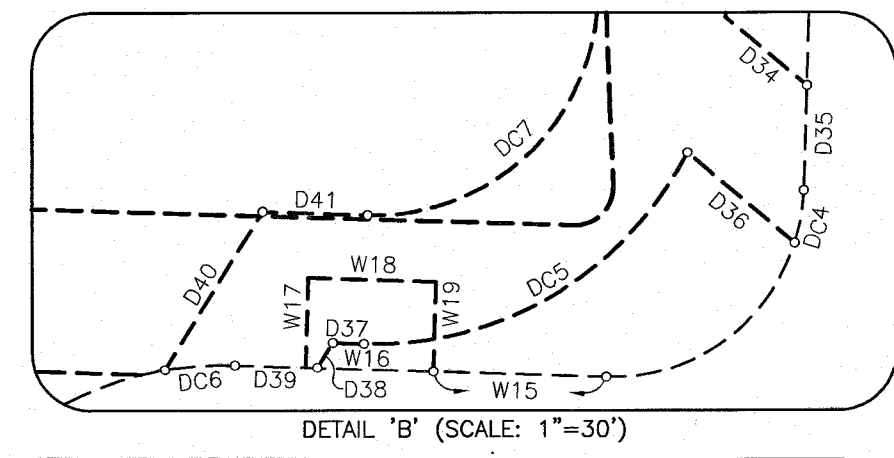
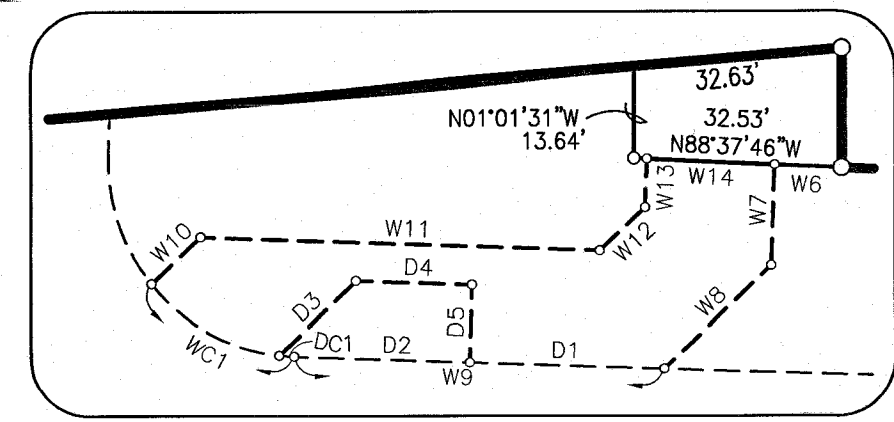
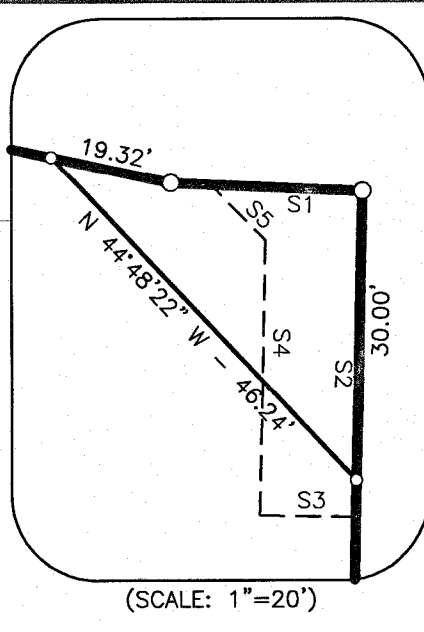
NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	21774.77'	0°58'11"	368.53'	S88°05'13"W	368.51'





**EASEMENT ANNOTATIONS**

**INDUSTRIAL BOULEVARD**  
65' RIGHT-OF-WAY



~ LINE TABLE ~

NO.	BEARING	DISTANCE
F1	S83°53'38"W	82.30'
F2	S00°30'52"W	6.28'
F3	S89°29'08"E	198.00'
F4	S00°30'52"W	309.00'
F5	S89°29'08"E	54.54'
F6	S00°07'36"E	24.00'
F7	N89°29'08"W	54.81'
F8	S00°30'52"W	221.00'
F9	S89°29'08"E	57.95'
F10	S00°07'36"E	24.00'
F11	N89°29'08"W	478.22'
F12	N00°30'52"E	419.00'
F13	S89°29'08"E	58.00'
F14	N00°30'52"E	192.27'
F15	N83°53'38"E	26.17'
F16	S89°29'08"E	200.00'
F17	S00°30'52"W	614.00'
F18	N89°29'08"W	336.00'
F19	N00°30'52"E	419.00'
F20	S89°29'08"E	58.00'
F21	N00°30'52"E	105.00'
F22	N00°07'36"W	43.86'
F23	N00°07'36"W	281.02'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
FC1	30.00'	90°00'00"	47.12'	S44°29'08"E	42.43'
FC2	54.00'	90°00'00"	84.82'	N44°29'08"W	76.37'
FC3	30.00'	90°00'00"	47.12'	S44°29'08"E	42.43'
FC4	30.00'	90°00'00"	47.12'	S45°30'52"W	42.43'
FC5	30.00'	90°00'00"	47.12'	S44°29'08"E	42.43'
FC6	60.00'	90°00'00"	94.25'	S44°29'08"E	84.85'
FC7	54.00'	90°00'00"	84.82'	S45°30'52"W	76.37'
FC8	30.00'	90°00'00"	47.12'	N45°30'52"E	42.43'
FC9	30.00'	90°00'00"	47.12'	N44°29'08"W	42.43'
FC10	30.00'	90°00'00"	47.12'	N45°30'52"E	42.43'
FC11	36.00'	90°00'00"	56.55'	S44°29'08"E	50.91'
FC12	30.00'	90°00'00"	47.12'	S45°30'52"W	42.43'
FC13	54.00'	90°00'00"	84.82'	N45°30'52"E	76.37'
FC14	30.00'	90°00'00"	47.12'	S45°30'52"W	42.43'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
WC1	30.00'	48°46'36"	25.54'	S65°05'50"E	24.78'
WC2	54.00'	18°38'34"	14.74'	S08°20'09"W	14.70'
WC3	54.00'	58°42'54"	55.34'	S45°30'52"W	52.95'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
W1	S00°31'14"W	19.58'
W2	S00°30'30"W	20.00'
W3	N89°29'08"W	14.00'
W4	N00°30'52"E	20.00'
W5	S89°29'08"E	14.00'
W6	N88°37'46"W	10.48'
W7	S00°30'52"E	15.56'
W8	S45°30'52"W	22.98'
W9	N89°29'08"W	57.91'
W10	N45°30'52"E	10.50'
W11	S89°29'08"E	62.42'
W12	N45°30'52"E	9.73'
W13	N00°30'52"E	7.58'
W14	S88°37'46"E	20.00'
W15	N89°29'08"W	27.00'
W16	N89°29'08"W	20.00'
W17	N00°30'52"E	14.00'
W18	S89°29'08"E	20.00'
W19	S00°30'52"W	14.00'
W20	N00°30'52"E	17.44'
W21	N89°29'08"W	12.50'
W22	N00°30'52"E	20.00'
W23	S89°29'08"E	49.94'
W24	N00°30'52"E	201.50'
W25	N89°29'08"W	14.00'
W26	N00°30'52"E	20.00'
W27	S89°29'08"E	14.00'
W28	S00°30'52"W	20.00'
W29	S89°29'08"E	99.51'
W30	N00°30'52"E	20.00'
W31	S89°29'08"E	20.00'
W32	S00°30'52"W	20.00'
W33	N89°29'08"W	20.00'
W34	N88°36'50"E	260.10'
W35	N00°30'52"E	54.60'
W36	S89°29'08"E	20.00'
W37	S00°30'52"W	53.94'
W38	S88°36'50"W	20.01'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
DC1	30.00'	4°28'41"	2.34'	S87°14'48"E	2.34'
DC2	30.00'	18°40'57"	9.78'	S09°51'20"W	9.74'
DC3	57.50'	13°06'41"	13.16'	N82°27'31"E	13.13'
DC4	30.00'	15°49'01"	8.28'	N08°25'23"E	8.26'
DC5	55.00'	64°31'05"	61.93'	N58°15'20"E	58.71'
DC6	54.00'	11°40'16"	11.00'	S84°40'44"W	10.98'
DC7	35.00'	90°00'00"	54.98'	N45°30'52"E	49.50'
DC8	32.50'	26°30'27"	15.04'	N77°15'39"E	14.90'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
PC1	6.00'	9°33'46"	9.80'	N43°33'07"E	8.74'
PC2	70.00'	19°35'53"	23.94'	S23°41'41"E	23.83'
PC3	45.00'	116°49'39"	91.76'	N68°48'02"W	76.67'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
U1	N00°07'36"W	8.00'
U2	N89°29'08"W	78.26'
U3	N89°29'08"W	98.08'
U4	S45°30'52"W	11.31'
U5	N89°29'08"W	980.39'
U6	N00°30'52"E	10.00'
U7	N89°29'08"W	107.54'
U8	S66°07'29"W	152.92'
U9	S88°37'29"W	17.79'
U10	N00°30'52"E	20.01'
U11	N88°37'29"E	13.15'
U12	N66°07'29"E	177.48'
U13	N89°29'08"E	640.06'
U14	N00°30'52"E	12.64'
U15	N89°29'08"W	379.02'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
D1	N89°29'08"W	30.41'
D2	N89°29'08"W	27.50'
D3	N45°30'52"E	16.49'
D4	S89°29'08"E	18.18'
D5	S00°30'52"W	11.75'
D6	S00°30'52"W	46.12'
D7	S89°29'08"E	39.79'
D8	S30°30'52"W	20.00'
D9	N59°29'08"W	28.25'
D10	N00°30'52"E	23.09'
D11	N00°30'52"E	33.54'
D12	N00°30'52"E	23.09'
D13	S89°29'08"E	39.79'
D14	S30°30'52"W	20.00'
D15	N59°29'08"W	28.25'
D16	N00°30'52"E	79.39'
D17	N00°30'52"E	26.58'
D18	S44°29'08"E	14.38'
D19	S00°30'52"W	26.02'
D20	N89°29'08"W	11.75'
D21	S00°07'36"E	186.15'
D22	S00°07'36"E	23.25'
D23	N59°29'08"W	100.63'
D24	N00°30'52"E	23.09'
D25	S89°29'08"E	100.33'
D26	N00°30'52"E	57.87'
D27	N00°30'52"E	32.77'
D28	S44°29'08"E	16.62'
D29	S00°30'52"W	21.02'
D30	N89°29'08"W	11.75'
D31	S00°30'52"W	37.09'
D32	S00°30'52"W	26.56'
D33	S00°30'52"W	100.21'
D34	S51°21'04"E	16.53'
D35	S00°30'52"W	16.36'
D36	N51°21'04"W	21.89'
D37	N89°29'08"W	4.88'
D38	S30°30'52"W	4.62'
D39	N89°29'08"W	12.81'
D40	N30°30'52"E	29.00'
D41	S89°29'08"E	16.42'
D42	N00°30'52"E	97.76'
D43	N89°29'08"W	3.54'
D44	N00°26'49"E	25.00'
D45	S89°29'08"E	22.06'
D46	S88°36'50"W	218.14'
D47	S88°36'50"W	20.00'
D48	N00°46'11"W	51.77'
D49	S89°29'08"E	20.01'
D50	S00°46'11"E	51.10'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
P1	S00°26'49"W	3.92'
P2	S00°26'49"W	50.98'
P3	S03°13'45"E	101.15'
P4	N89°40'00"W	202.79'
P5	N01°36'22"W	153.52'
P6	N84°42'53"E	146.56'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
S1	S88°51'14"E	15.88'
S2	S00°07'36"E	33.81'
S3	S89°52'24"W	10.00'
S4	N00°07'36"W	28.50'
S5	N46°11'12"W	8.16'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
UC1	60.00'	14°50'08"	15.54'	S06°54'12"E	15.49'

**FINAL PLAT**  
**LOT 2, BLOCK 1**  
**INDALLOY ADDITION**  
BEING A REPLAT OF PART OF LOT 1, BLOCK 1  
BEING A 43.0139-ACRE PARCEL  
N. BUTLER SURVEY - ABSTRACT NO. 20  
R. BALLARD SURVEY - ABSTRACT NO. 29A  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**BLUE SKY**  
SURVEYING & MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4600  
DRPETREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION No. 10105700

**OWNER:**  
**ALVAPLAST U.S. DEVELOPMENT, LLC.**  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

**OWNER:**  
**ALVAPLAST U.S., INC.**  
1480 JUSTIN RD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

AUGUST 10, 2020

CASE NO. P2019-028



OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ALVAPLAST U.S., INC., A DELAWARE CORPORATION, AND ALVAPLAST U.S. DEVELOPMENT, LLC., ARE THE OWNERS OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1, BLOCK 1, INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID TRACT BEING THE SAME 11.3736 ACRE TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 215000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING THE SAME 14.53 ACRE TRACT OF LAND DESCRIBED AS TRACT 1 AND 16.69 ACRE TRACT OF LAND DESCRIBED AS TRACT 2 IN GENERAL WARRANTY DEED TO ALVAPLAST U.S. DEVELOPMENT, LLC., IN INSTRUMENT NUMBER 2017000020975 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD WITH "POGUE ENG & DEV" CAP FOUND AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF ALUMINUM PLANT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD FOR A DISTANCE OF 788.63 FEET TO A 1/2" IRON ROD WITH "POGUE ENG & DEV" CAP FOUND FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

THENCE SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 584.08 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE SOUTHEAST CORNER OF SAID LOT 1 IN BLOCK 1;

THENCE SOUTH 88° 32' 20" WEST AND ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1, PASSING AT A DISTANCE OF 502.55, THE SOUTHWEST CORNER OF SAID LOT 1 IN BLOCK 1, SAID POINT ALSO BEING THE COMMON CORNER FOR SAID 14.53 ACRE AND 16.69 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 578.23' TO A POINT FOR CORNER, SAID POINT ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00° 58' 11" WITH A RADIUS OF 21,774.77 FEET AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET;

THENCE SOUTHWESTERLY AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT, AND ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 368.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET;

THENCE SOUTH 88° 04' 12" WEST AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT FOR A DISTANCE OF 100.57 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE SOUTHWEST CORNER OF SAID 16.69 ACRE TRACT, AND BEING THE SOUTHEAST CORNER OF PARK PLACE WEST PHASE III ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN COUNTY CLERK'S FILE NUMBER 2018000008712 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 09° 24' 49" WEST AND ALONG THE WEST LINE OF SAID 16.69 ACRE TRACT AND ALONG THE EAST LINE OF SAID PARK PLACE WEST PHASE III ADDITION, PASSING AT A DISTANCE OF 534.46 FEET A NORTHEAST CORNER OF SAID PARK PLACE WEST PHASE III ADDITION, SAME BEING A SOUTHEAST CORNER OF PARK PLACE WEST PHASE II ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN CABINET F, PAGE 263 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, AND CONTINUING FOR A TOTAL DISTANCE OF 1,039.69 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE NORTH 04° 58' 27" WEST FOR A DISTANCE OF 206.69 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE NORTHWEST CORNER OF SAID 16.69 ACRE TRACT;

THENCE NORTH 81° 27' 00" EAST FOR A DISTANCE OF 407.41 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE NORTHERN-MOST CORNER OF SAID 16.69 ACRE TRACT;

THENCE SOUTH 83° 23' 14" EAST AND CONTINUING ALONG THE NORTH LINE OF SAID 16.69 ACRE TRACT, PASSING AT A DISTANCE OF 216.91 FEET THE COMMON CORNER OF SAID 16.69 ACRE AND 14.53 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 274.94' TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 85° 37' 16" EAST AND FOLLOWING ALONG THE NORTH LINE OF SAID 14.53 ACRE TRACT FOR A DISTANCE OF 435.64' TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE NORTHEAST CORNER OF SAID 14.53 ACRE TRACT;

THENCE SOUTH 06° 42' 50" EAST FOR A DISTANCE OF 361.82 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE NORTH 83° 53' 38" EAST FOR A DISTANCE OF 385.71 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 50.20 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 83° 53' 38" EAST FOR A DISTANCE OF 32.63 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A 1/2" IRON ROD WITH YELLOW CAP FOUND FOR CORNER;

THENCE SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 43.0139 ACRES (1,873,684 SQUARE FEET) OF LAND, MORE OR LESS.

LEGEND

O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
IRS 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET
IRF IRON ROD FOUND

OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2, BLOCK 1, INDALLOY ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN INDALLOY ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING:

(1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

(7) PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RECONSTRUCTION OF ALL SYSTEMS IN DRAINAGE AND DETENTION EASEMENTS.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREOF ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE \_\_\_ DAY OF \_\_\_ 2020.

ALVAPLAST U.S. DEVELOPMENT, LLC.

ALVAPLAST U.S. INC.

BY: [Signature]

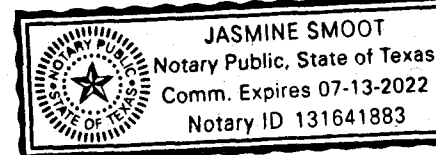
BY: [Signature]

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 25 DAY OF August, 2020.

Jasmine Smoot
Notary Public, State of Texas
Comm. Expires 07-13-2022
Notary ID 131641883

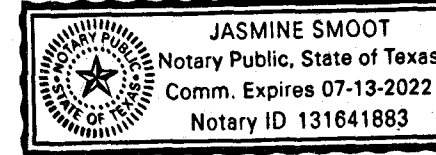


STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 25 DAY OF August, 2020.

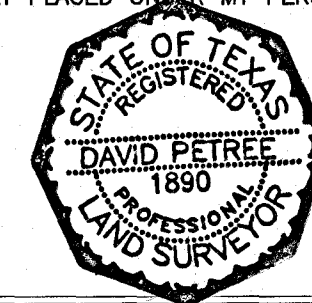
Jasmine Smoot
Notary Public, State of Texas
Comm. Expires 07-13-2022
Notary ID 131641883



SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890



FLOOD NOTE

THE SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE DATE: SEPTEMBER 26, 2008. ALL OF THE SUBJECT PROPERTY IS INDICATED TO BE IN ZONE "X" AND ZONE "A" ON SAID MAP. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:

ZONE "X" - OTHER AREAS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

ZONE "A" - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD: NO BASE FLOOD ELEVATIONS DETERMINED.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

APPROVED

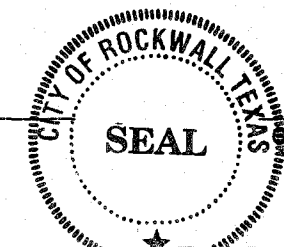
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_ 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS 26th DAY OF August, 2020.

[Signature]
MAYOR, CITY OF ROCKWALL

[Signature]
CITY SECRETARY



[Signature]
CITY ENGINEER

PROPOSED EASEMENTS BY THIS PLAT

- FD FIRE LANE, PUBLIC ACCESS, UTILITY, & DRAINAGE EASEMENT
FA 24' FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
UT UTILITY EASEMENT
W WATER EASEMENT
DR DRAINAGE EASEMENT
SW SIDEWALK EASEMENT

Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
08/28/2020 10:06:23 AM
\$150.00
2020000019991



[Signature]

FINAL PLAT
LOT 2, BLOCK 1
INDALLOY ADDITION
BEING A REPLAT OF PART OF LOT 1, BLOCK 1
BEING A 43.0139-ACRE PARCEL
N. BUTLER SURVEY - ABSTRACT NO. 20
R. BALLARD SURVEY - ABSTRACT NO. 29A
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

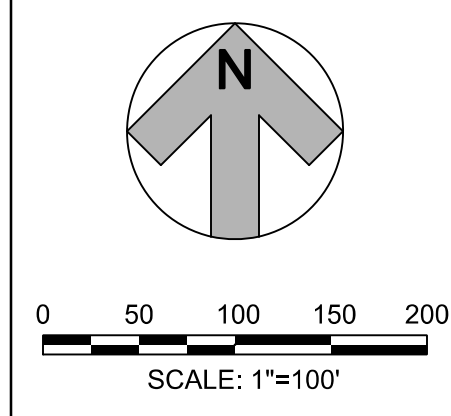
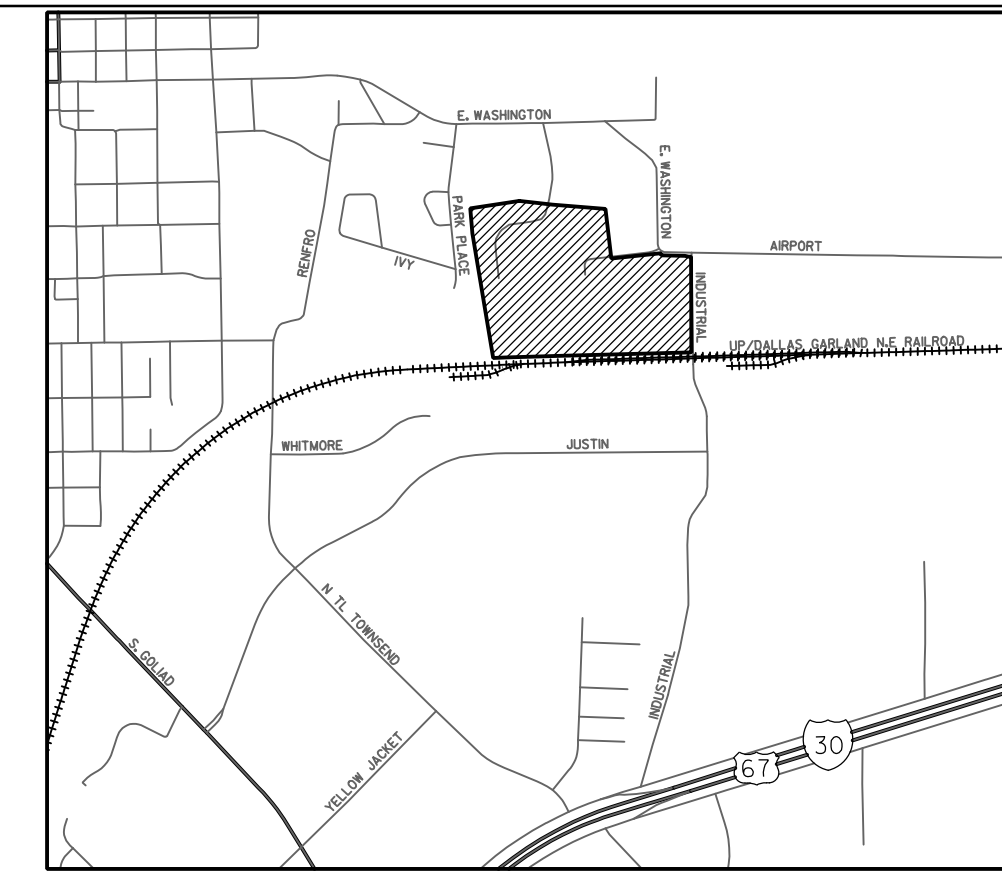
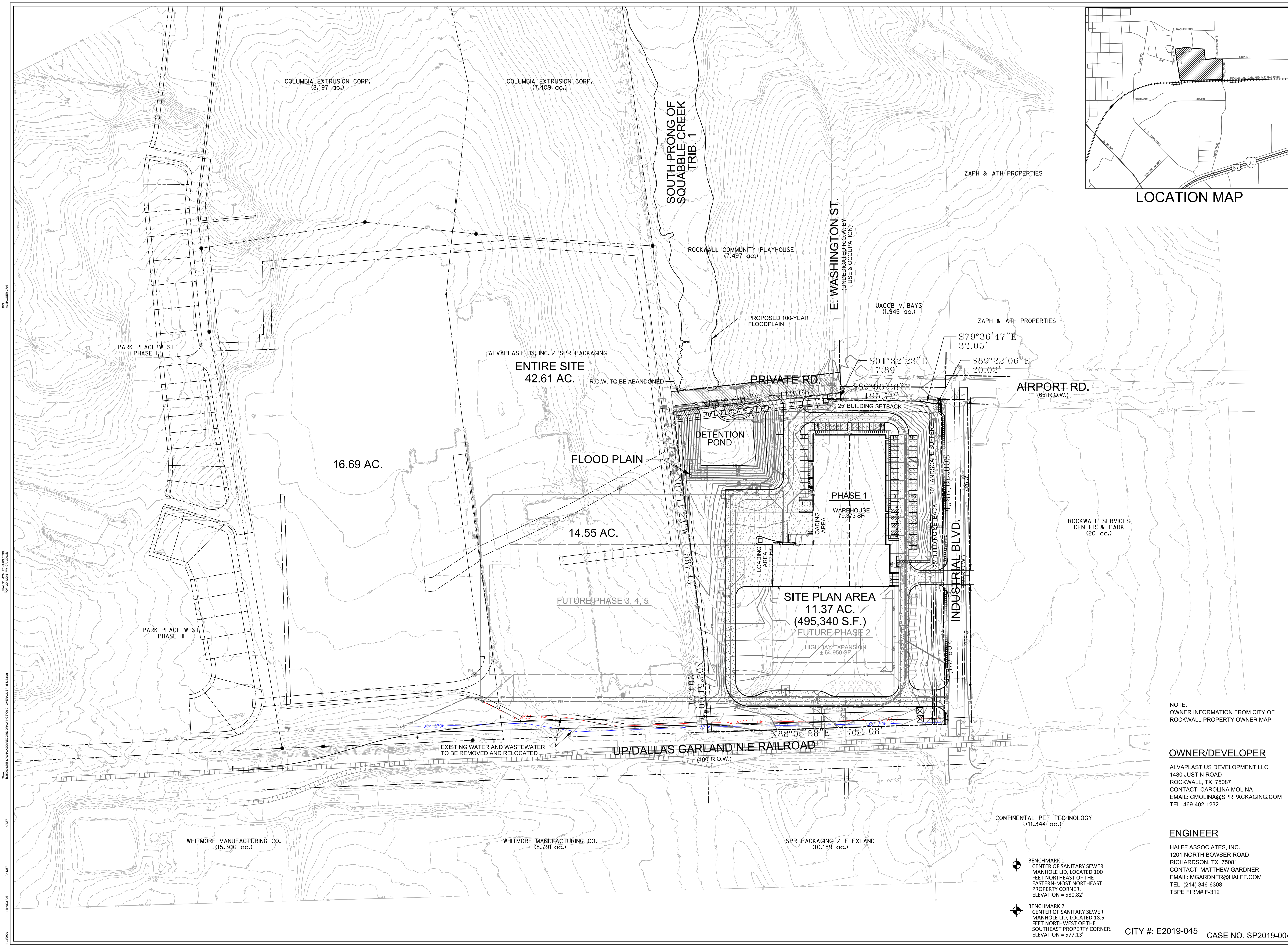
AUGUST 10, 2020

CASE NO. P2019-028



BLUE SKY SURVEYING & MAPPING CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700





**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

NOTE:  
OWNER INFORMATION FROM CITY OF ROCKWALL PROPERTY OWNER MAP

**OWNER/DEVELOPER**  
ALVAPLAST US DEVELOPMENT LLC  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

**ENGINEER**  
HALFF ASSOCIATES, INC.  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081  
CONTACT: MATTHEW GARDNER  
EMAIL: MGARDNER@HALFF.COM  
TEL: (214) 346-6308  
TBPE FIRM# F-312

- BENCHMARK 1  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
ELEVATION = 580.82'
- BENCHMARK 2  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

CITY #: E2019-045 CASE NO. SP2019-004

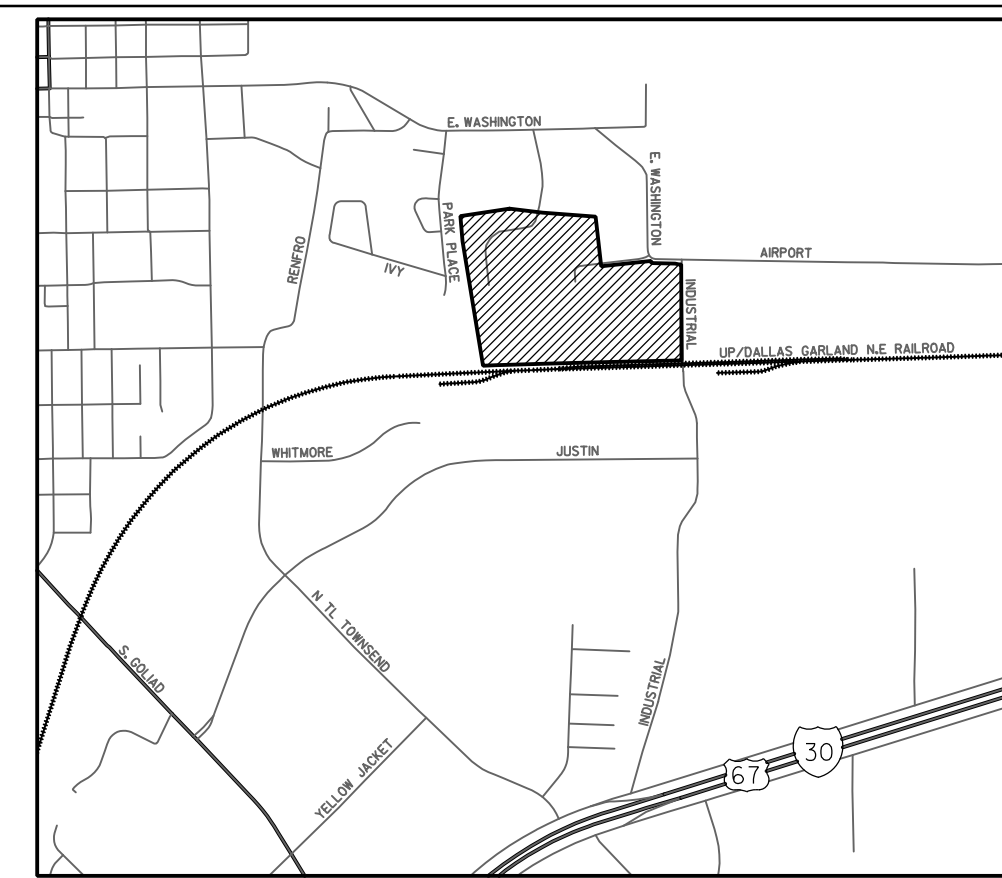
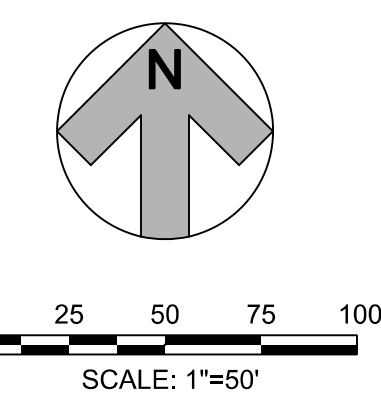
MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FIRM# F-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN

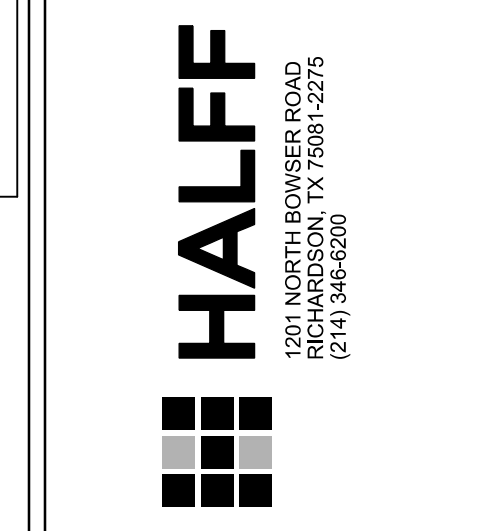
Sheet Title  
**OVERALL SITE PLAN**

**C0.01**  
Sheet Number





**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS



Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FIRM# 312

**OWNER/DEVELOPER**  
ALVAPLAST US, INC. / SPR PACKAGING  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087  
CONTACT: CAROLINA MOLINA  
EMAIL: CMOLINA@SPRPACKAGING.COM  
TEL: 469-402-1232

**ENGINEER**  
HALFF ASSOCIATES, INC.  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX. 75081  
CONTACT: MATTHEW GARDNER  
EMAIL: MGARDNER@HALFF.COM  
TEL: (214) 346-6308  
TBPE FIRM# F-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

**DETAILED SITE PLAN**

**C0.02**  
Sheet Number

**SITE DATA:**

<b>CURRENT ZONING:</b>	(L) LIGHT INDUSTRIAL
<b>PROPOSED LAND USE:</b>	OFFICE, WAREHOUSE, MANUFACTURING
<b>TOTAL SITE AREA:</b>	11.37 AC. (495,340 SF)
<b>BUILDING:</b>	
WAREHOUSE:	79,373 SF
FUTURE PHASES:	64,950 SF
<b>TOTAL:</b>	143,565 SF
<b>PARKING:</b>	
REQUIRED: 1 SPACE/1000 SF (SEE PARKING LETTER FROM OWNER)	
WAREHOUSE:	79 SPACES
FUTURE PHASES:	65 SPACES
<b>TOTAL REQUIRED:</b>	144 SPACES
PROVIDED:	
FUTURE PROVIDED:	79 SPACES
<b>TOTAL PROVIDED:</b>	167 SPACES
ACCESSIBLE SPACES PROVIDED:	5 SPACES
*SPACES ARE INCLUDED IN TOTAL ABOVE	

**LEGEND**

	4" THICK, 3,000 PSI CONCRETE (5.5 SACK MIX) WITH #3 BARS @ 24" O.C.E.W.
	5" THICK, 3,600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	6" THICK, 3,600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	7" THICK, 3,600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	8" THICK, 4,200 PSI CONCRETE PAVEMENT (7.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER 6" THICK 6% LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	9" THICK, 4,200 PSI CONCRETE PAVEMENT (7.5 SACK MIX) WITH #3 BARS AT 24" O.C.E.W. OVER 6" THICK 6% LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS

NOTE: SIDEWALK DIRECTLY NEXT TO CURB MUST BE 6" DOWELED INTO CURB PER DETAIL ON SHEET C1.02

**EXISTING LEGEND**

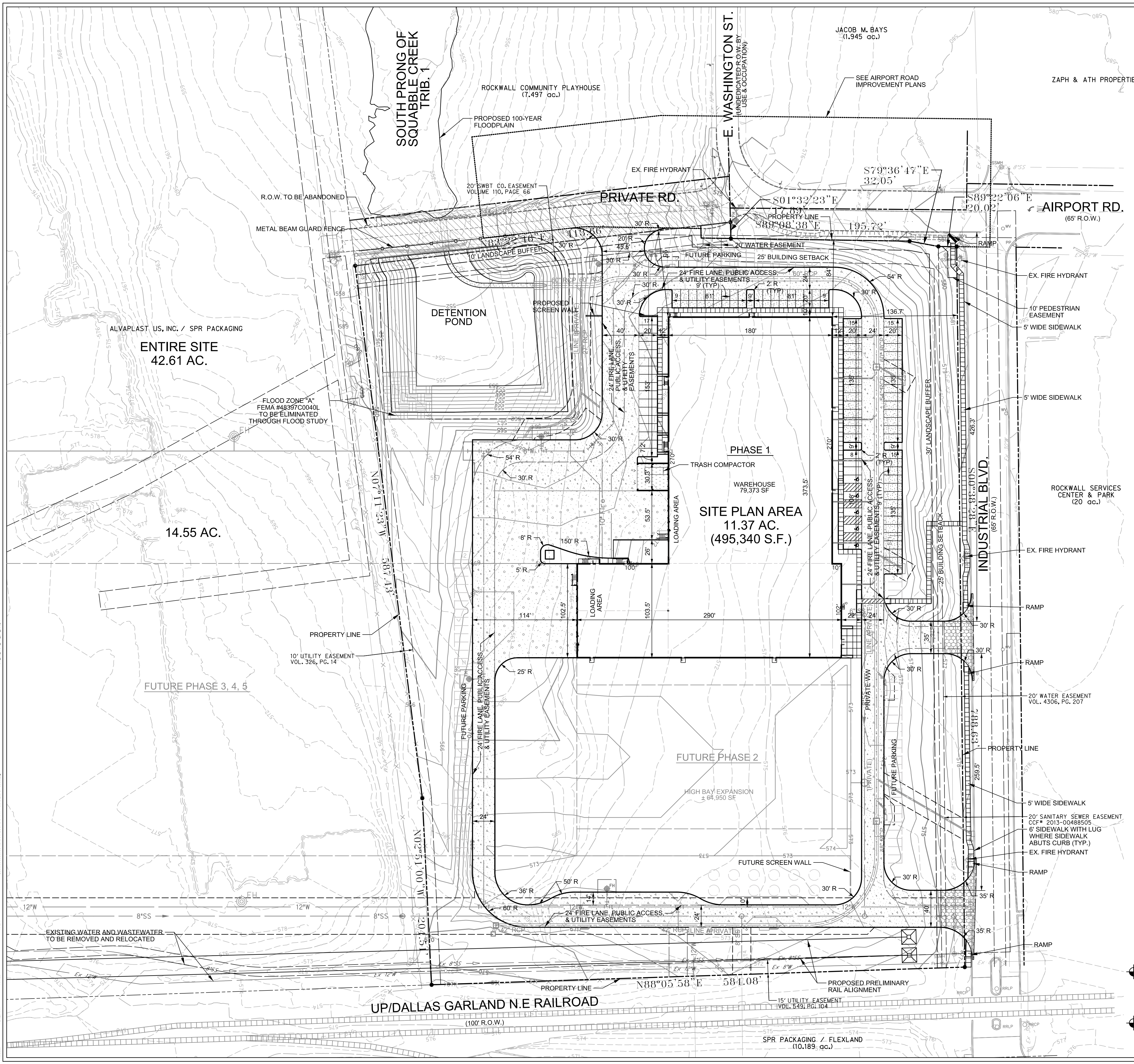
	FENCE
	FIRE HYDRANT
	WATER VALVE
	SANITARY SEWER MANHOLE
	POWER POLE
	GUY WIRE

NOTE: ALL EXISTING UTILITIES LOCATED WITHIN THE PROPOSED IMPROVEMENTS OF AIRPORT ROAD WILL BE COORDINATED AND RELOCATED IF NECESSARY.

BENCHMARK 1  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
ELEVATION = 580.82'

BENCHMARK 2  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

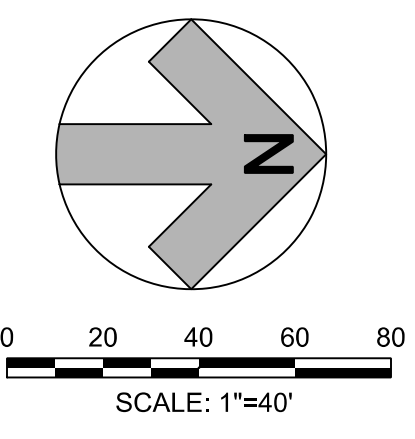
CITY #: E2019-045 CASE NO. SP2019-004



DRAWN BY: M.J.G. / DATE: 11/02/2020  
 CHECKED BY: M.J.G. / DATE: 11/02/2020  
 PROJECT NO.: 35533  
 SHEET NO.: C0.02  
 SCALE: AS SHOWN  
 SHEET TITLE: DETAILED SITE PLAN  
 SHEET NUMBER: C0.02







**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FRMMF-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

SURVEY CONTROL PLAN

**C0.04**  
Sheet Number



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

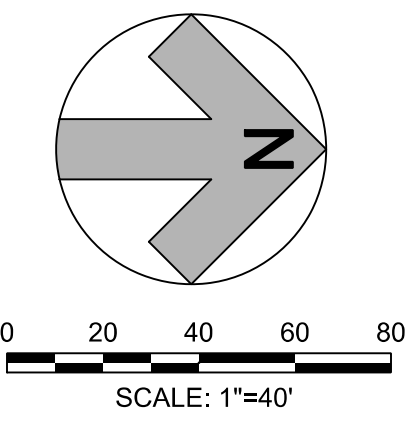
BENCHMARK 1  
CENTER OF SANITARY SEWER  
MANHOLE LID, LOCATED 100  
FEET NORTHEAST OF THE  
EASTERN-MOST NORTHEAST  
PROPERTY CORNER.  
ELEVATION = 580.82'  
 BENCHMARK 2  
CENTER OF SANITARY SEWER  
MANHOLE LID, LOCATED 18.5  
FEET NORTHEAST OF THE  
SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

- EXISTING LEGEND**
- PROPERTY LINE
  - LOT LINE
  - EASEMENT LINE
  - EXISTING CONTOUR
  - EXISTING FENCE
  - EXISTING WATER LINE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER VALVE
  - EXISTING WASTEWATER LINE
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING STORM SEWER
  - EXISTING FIBER OPTIC
  - EXISTING OVERHEAD ELECTRIC
  - EXISTING POWER POLE
  - EXISTING GUY WIRE

CITY #: E2019-045      SEE SHEET C0.03 FOR GENERAL NOTES



MATCH LINE



**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS



1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 946-6300

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

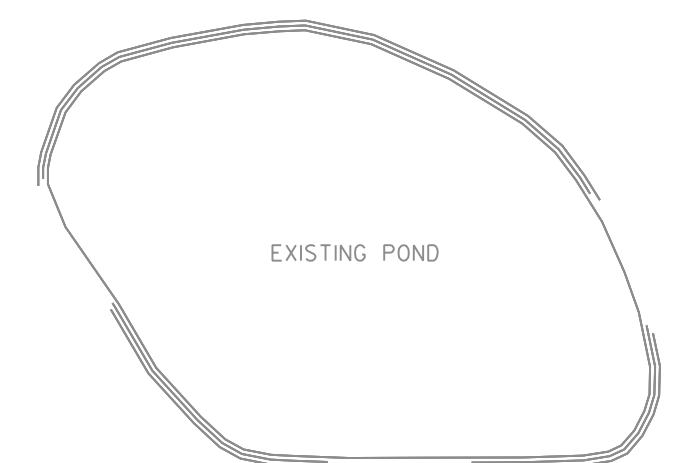
MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FRMMF-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN

Sheet Title  
DEMOLITION PLAN

C0.05  
Sheet Number

UP/DALLAS GARLAND N E RAILROAD  
(100' R.O.W.)



EXISTING 100-YEAR FLOODPLAIN

EXISTING HEADWALL TO BE REMOVED  
EXISTING CULVERT AND HEADWALL TO REMAIN

PRIVATE RD.

EXISTING WATER AND WASTEWATER TO BE REMOVED (SEE SHEET C4.01)

EXISTING WATER AND WASTEWATER TO BE REMOVED (SEE SHEET C4.01)

REMOVE EXISTING FENCE

REMOVE EXISTING FENCE

E. WASHINGTON ST.  
(UNDEDICATED R.O.W. BY USE & OCCUPATION)

SEE PRESERVATION PLAN L1.01 - L1.06 FOR TREE REMOVAL  
CONTRACTOR TO COORDINATE WITH CITY TO SEE IF TRAFFIC SIGNS CAN BE REUSED.

REMOVE EXISTING FIRE HYDRANT AND RETURN TO CITY. (SEE SHEET C4.01)

**EXISTING LEGEND**

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- 449 --- EXISTING CONTOUR
- X- EXISTING FENCE
- 12"W --- EXISTING WATER LINE
- F.H. EXISTING FIRE HYDRANT
- WV EXISTING WATER VALVE
- EX. 10" WW --- EXISTING WASTEWATER LINE
- SSMH EXISTING SANITARY SEWER MANHOLE
- 18" RCP EXISTING STORM SEWER
- FIB OPT- EXISTING FIBER OPTIC
- OHE- EXISTING OVERHEAD ELECTRIC
- PP EXISTING POWER POLE
- EXISTING GUY WIRE

BENCHMARK 1  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
ELEVATION = 580.82'

BENCHMARK 2  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

CITY #: E2019-045

SEE SHEET C0.03 FOR GENERAL NOTES

INDUSTRIAL BLVD.  
(65' R.O.W.)

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

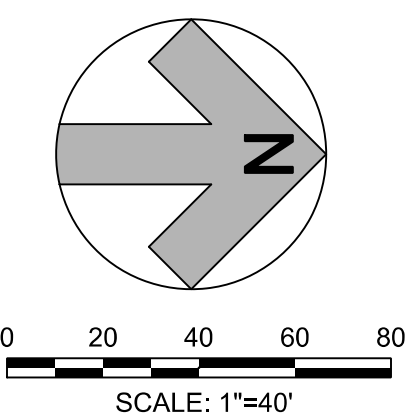
REMOVE EXISTING FLUME  
CAUTION!!!  
PROTECT EXISTING UTILITIES TO REMAIN

FULL DEPTH SAWCUT & REMOVE EXISTING CURB AND GUTTER. (SEE SHEET C1.01)

FULL DEPTH SAWCUT & REMOVE EXISTING CURB AND GUTTER. (SEE SHEET C1.01)

11/02/2020 11:00:00 AM H:\P\2019\2019-045\INDUSTRIAL BLVD\INDUSTRIAL BLVD.DWG





**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6500

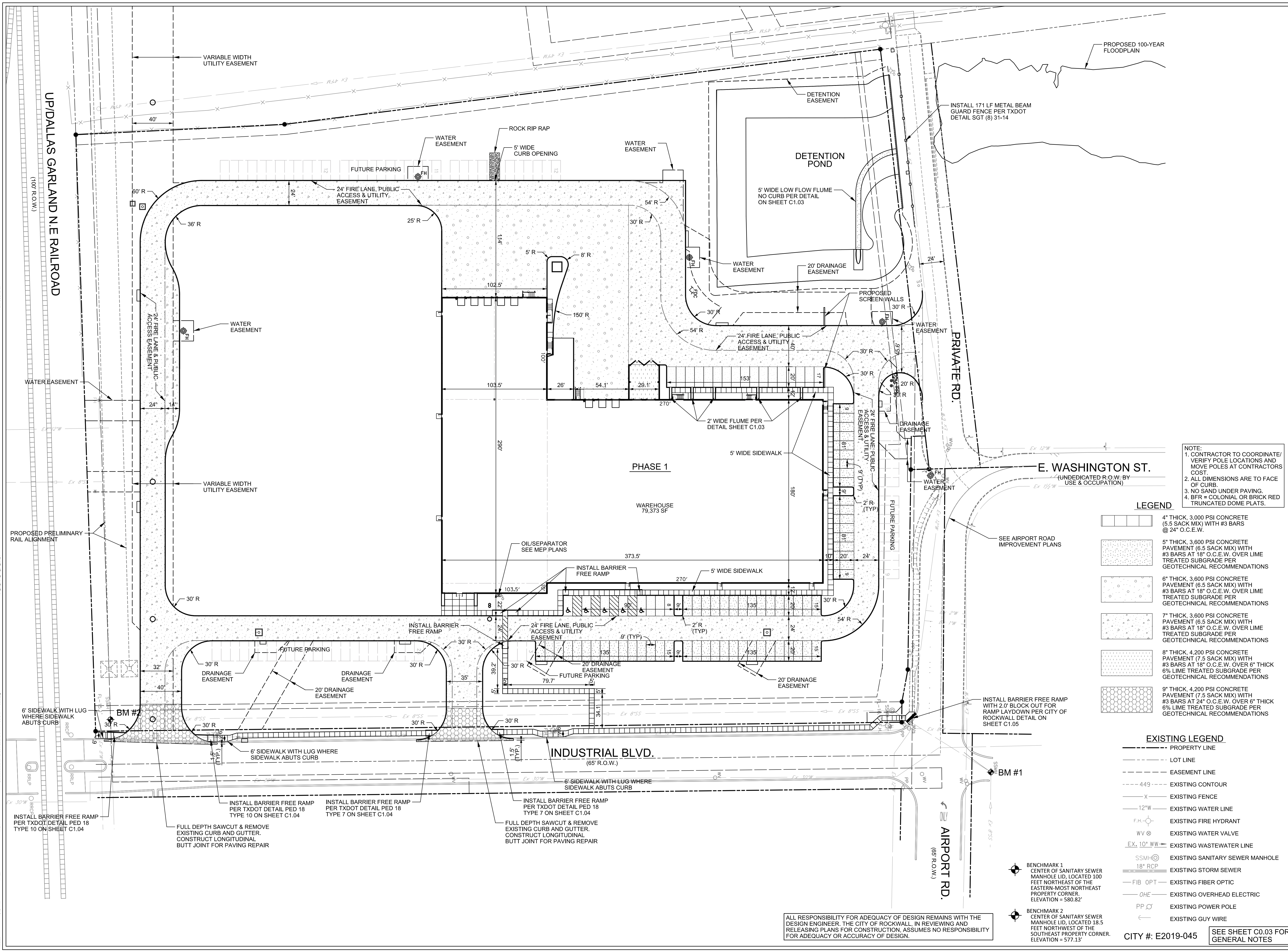
Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FIRM#-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

PAVING PLAN  
**C1.01**  
Sheet Number



**NOTE:**  
1. CONTRACTOR TO COORDINATE/ VERIFY POLE LOCATIONS AND MOVE POLES AT CONTRACTORS COST.  
2. ALL DIMENSIONS ARE TO FACE OF CURB.  
3. NO SAND UNDER PAVING.  
4. BFR = COLONIAL OR BRICK RED TRUNCATED DOME PLATS.

**LEGEND**

- 4" THICK, 3,000 PSI CONCRETE (5.5 SACK MIX) WITH #3 BARS @ 24" O.C.E.W.
- 5" THICK, 3,600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- 6" THICK, 3,600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- 7" THICK, 3,600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- 8" THICK, 4,200 PSI CONCRETE PAVEMENT (7.5 SACK MIX) WITH #3 BARS AT 24" O.C.E.W. OVER 6" THICK 6% LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- 9" THICK, 4,200 PSI CONCRETE PAVEMENT (7.5 SACK MIX) WITH #3 BARS AT 24" O.C.E.W. OVER 6" THICK 6% LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS

**EXISTING LEGEND**

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WASTEWATER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- EXISTING GUY WIRE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**BENCHMARK 1**  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER. ELEVATION = 580.82'

**BENCHMARK 2**  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER. ELEVATION = 577.13'

CITY #: E2019-045 SEE SHEET C0.03 FOR GENERAL NOTES



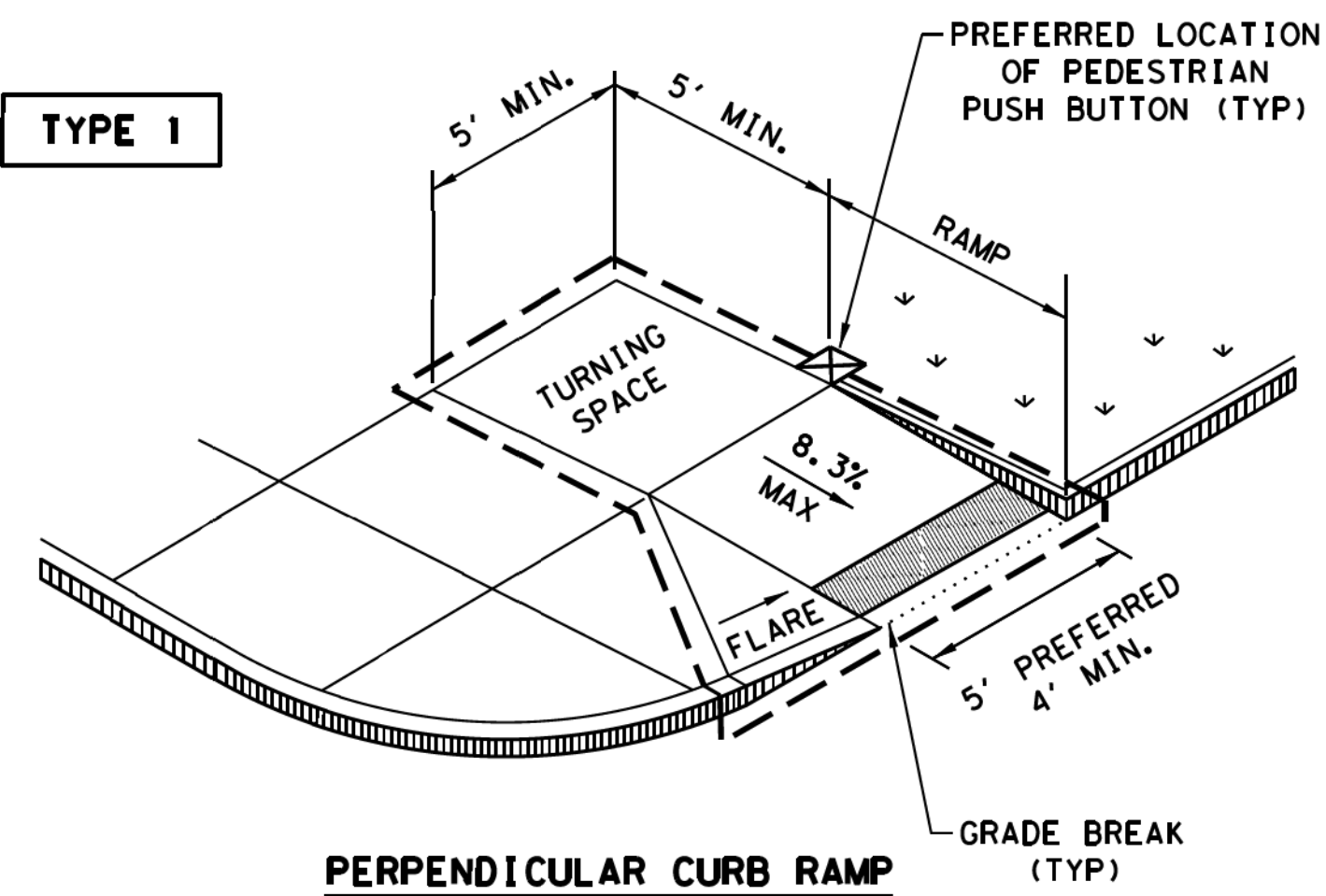




DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

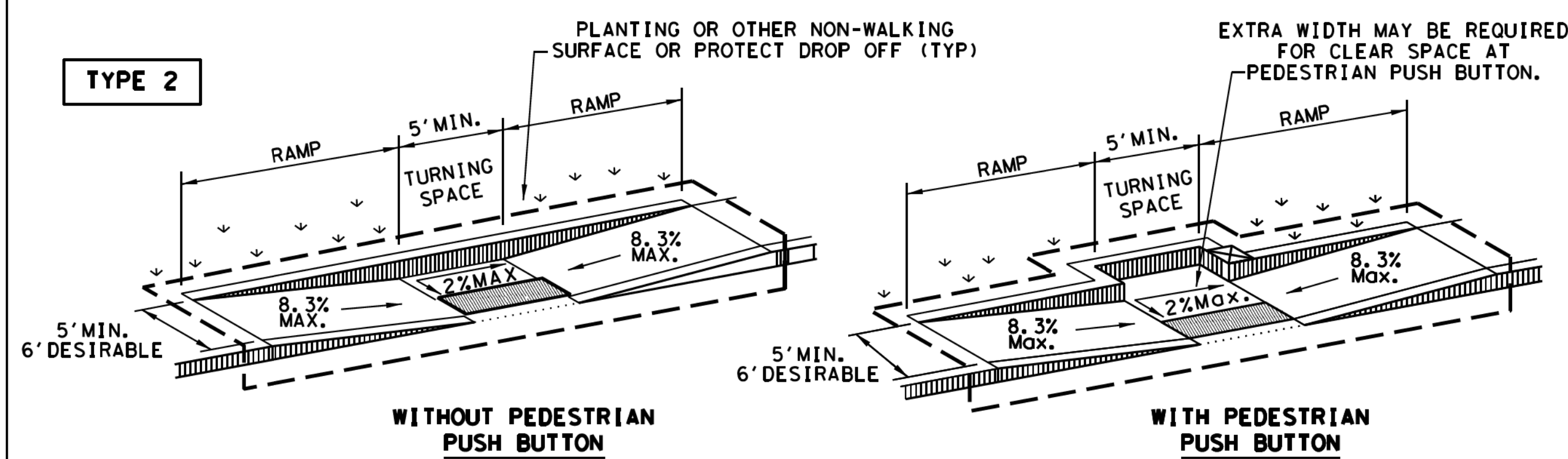
DATE: FILE:

**TYPE 1**



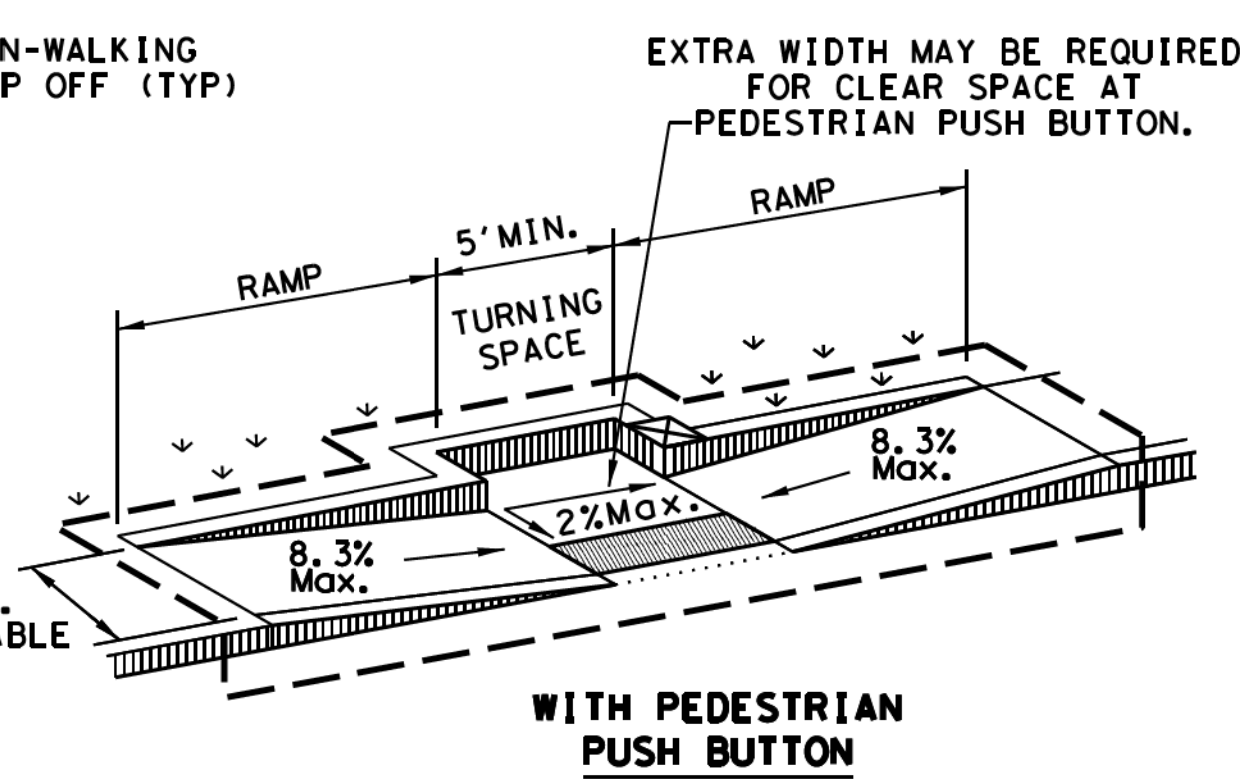
**PERPENDICULAR CURB RAMP**

**TYPE 2**



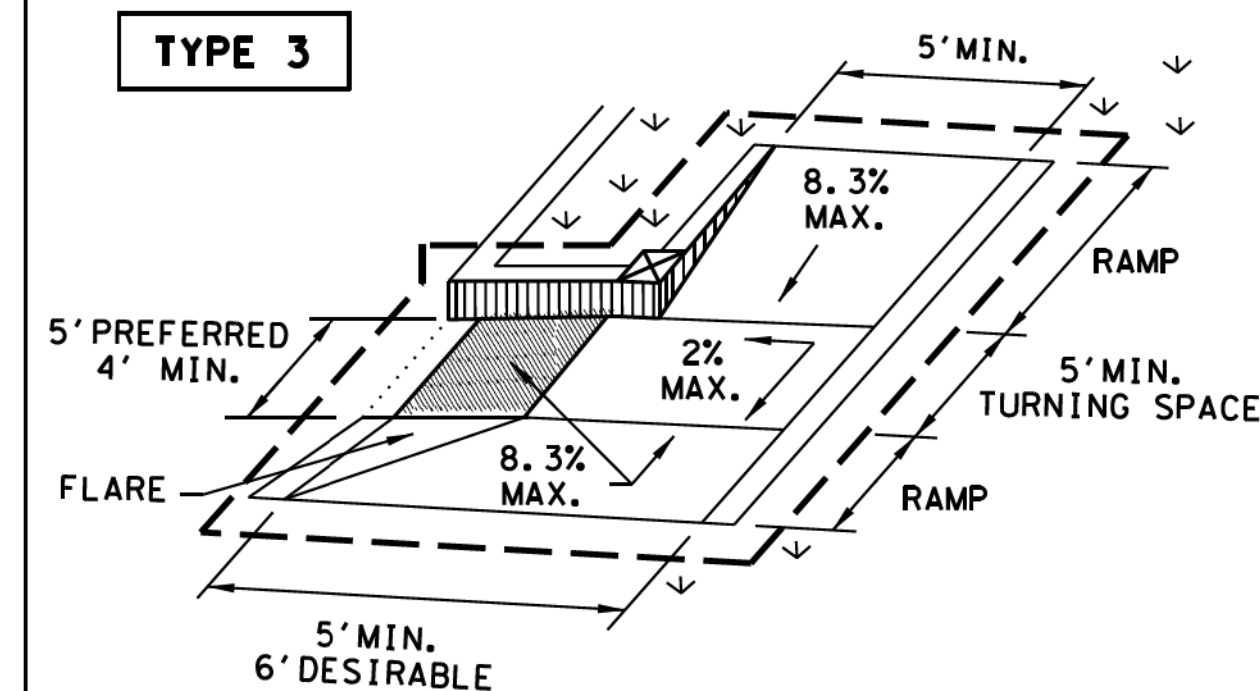
**WITHOUT PEDESTRIAN PUSH BUTTON**

**PARALLEL CURB RAMP**



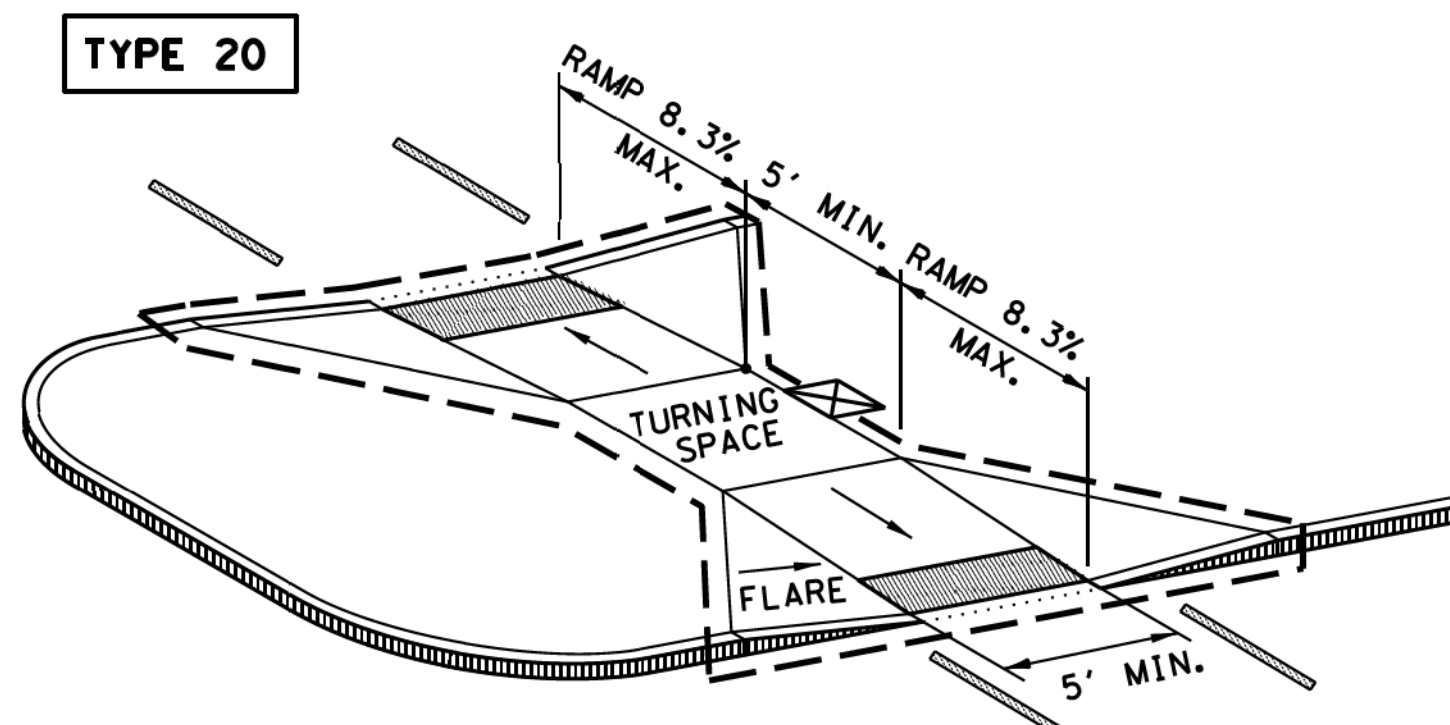
**WITH PEDESTRIAN PUSH BUTTON**

**TYPE 3**



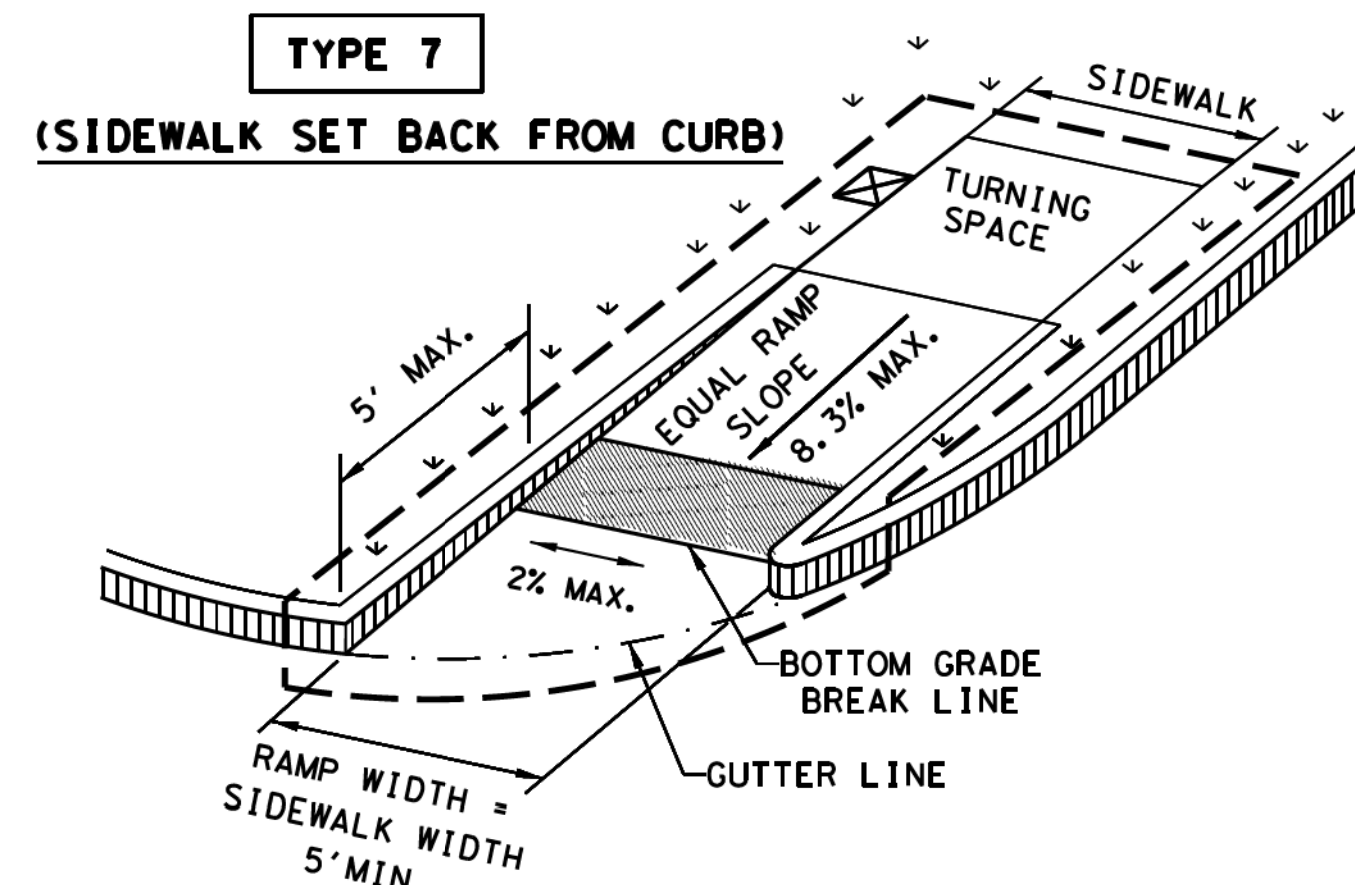
**COMBINATION CURB RAMP**

**TYPE 20**

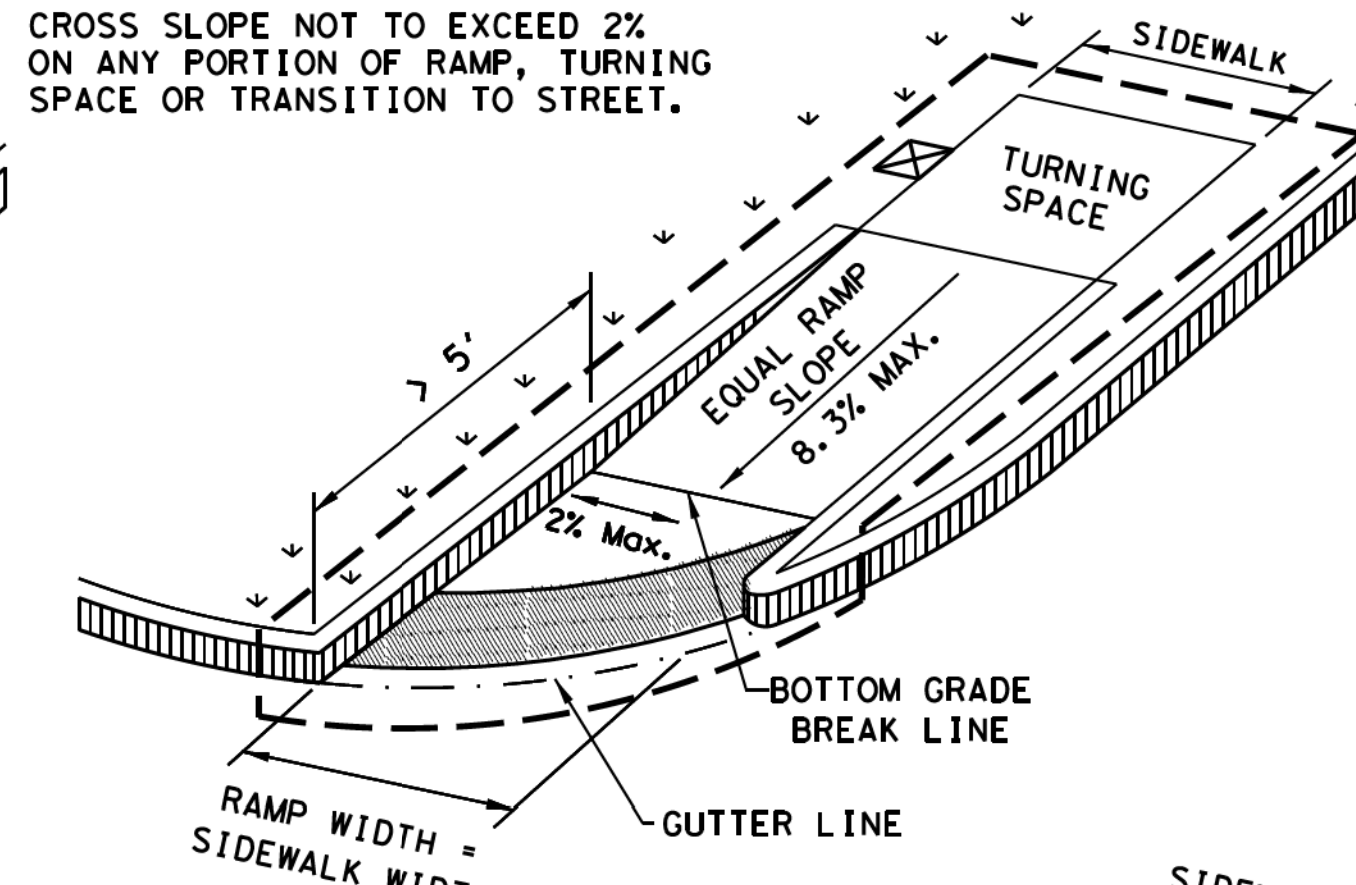


**CURB RAMP AT MEDIAN ISLANDS**

**TYPE 7**



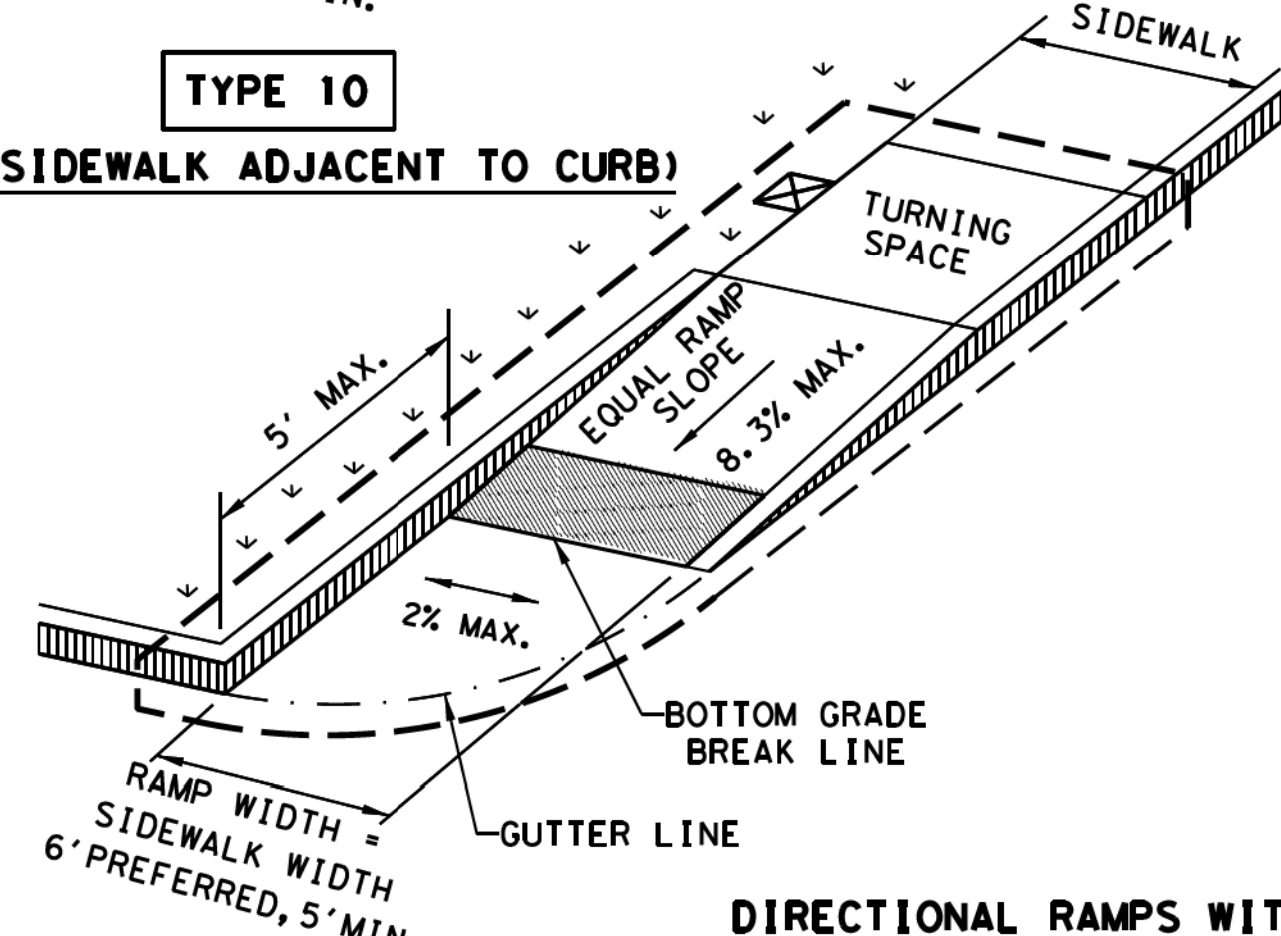
**(SIDEWALK SET BACK FROM CURB)**



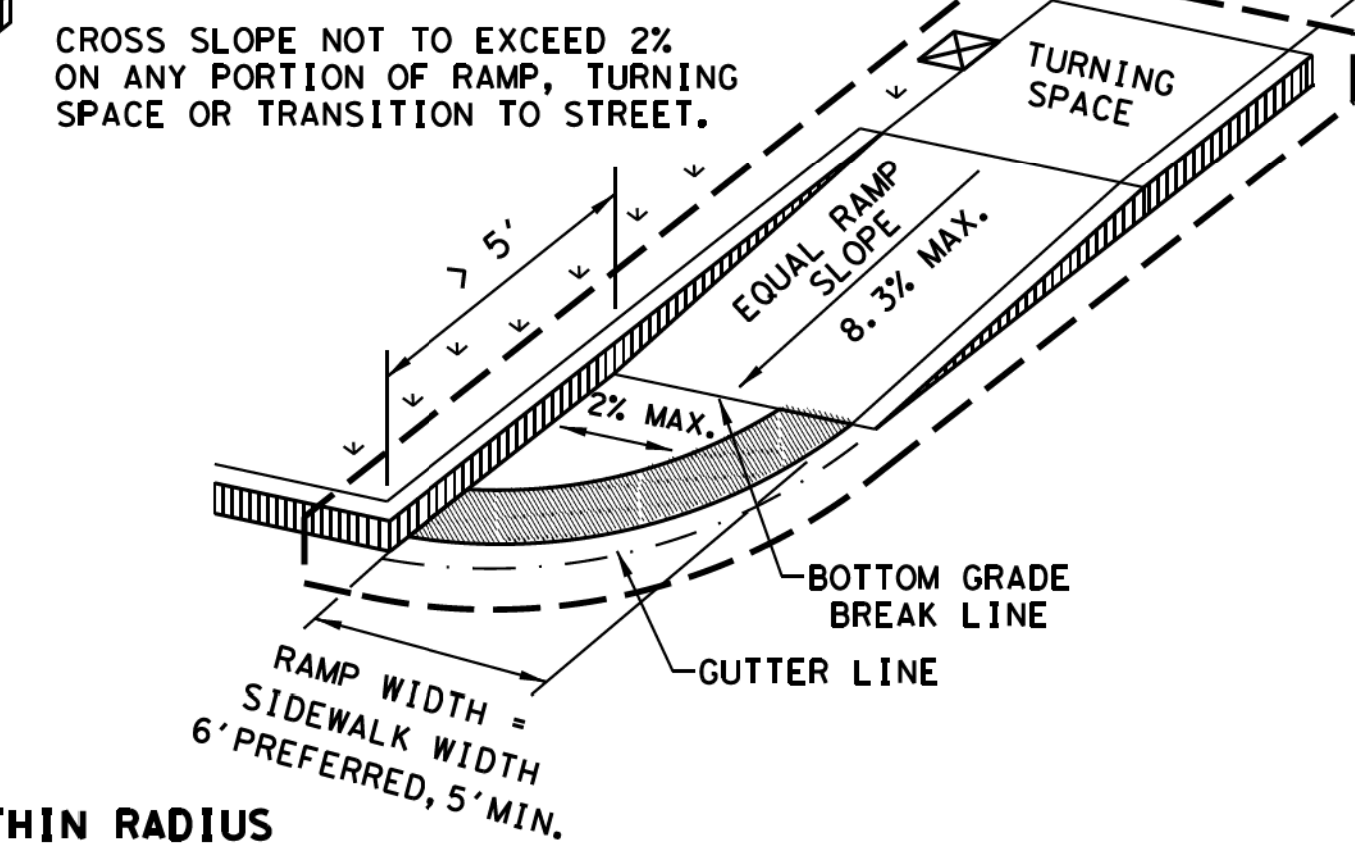
**(SIDEWALK ADJACENT TO CURB)**

**DIRECTIONAL RAMPS WITHIN RADIUS**

**TYPE 10**

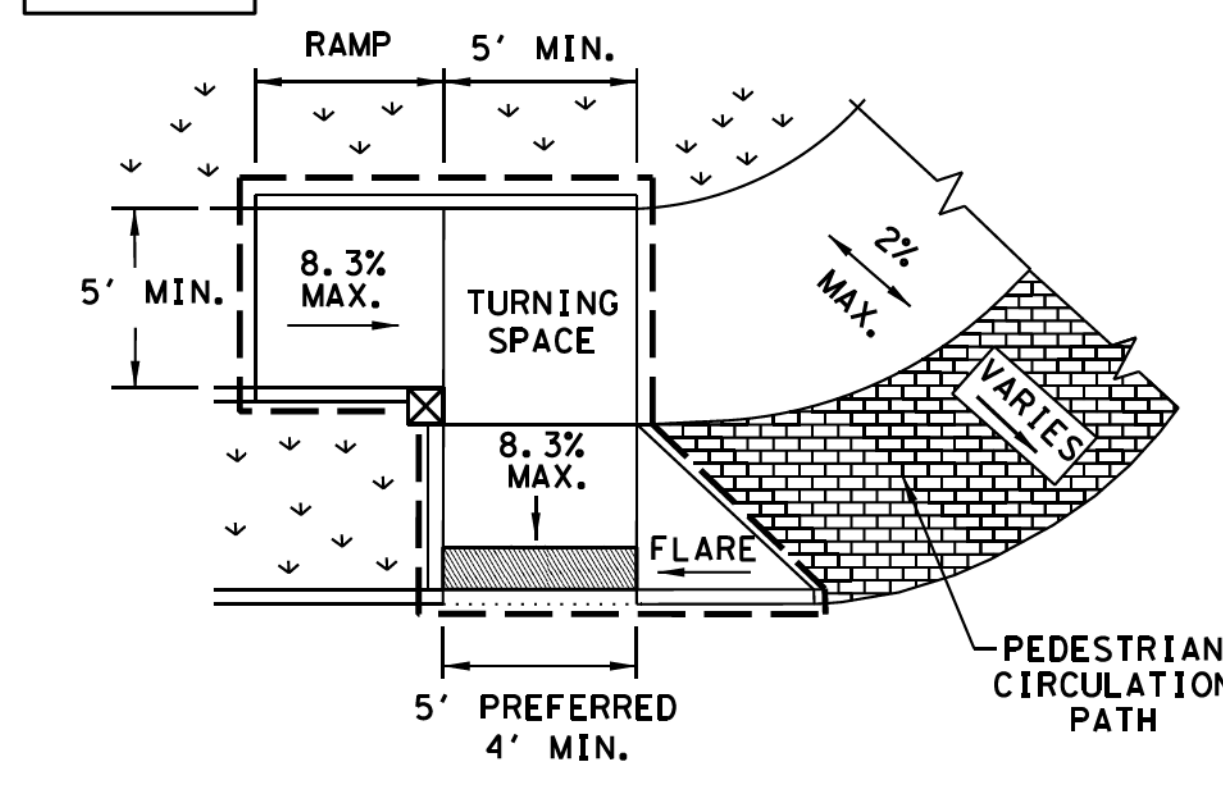


**(SIDEWALK ADJACENT TO CURB)**



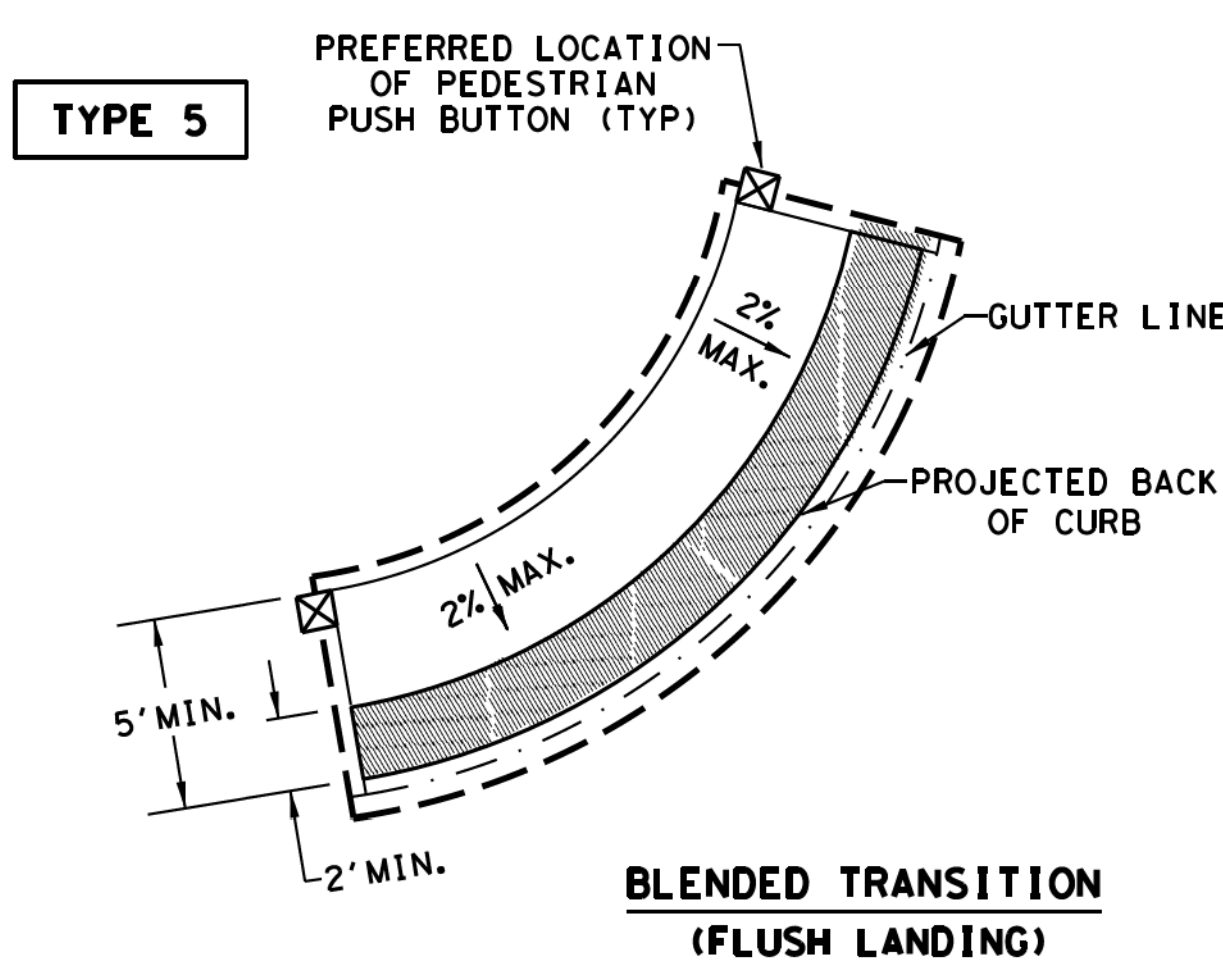
**(SIDEWALK ADJACENT TO CURB)**

**TYPE 6**



**COMBINATION CURB RAMP**

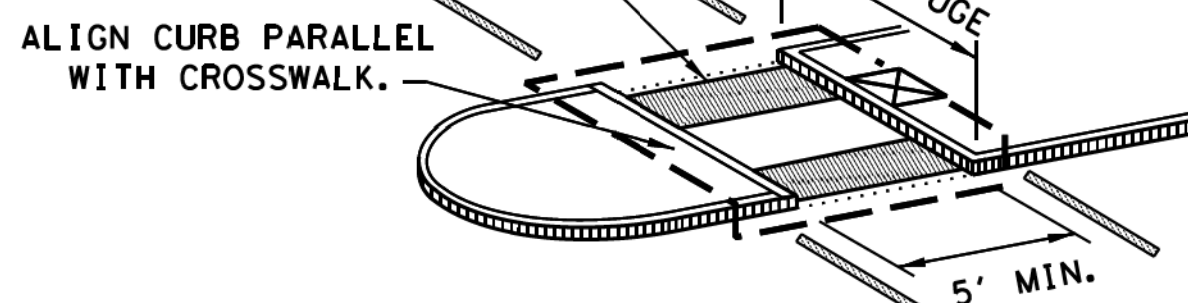
**TYPE 5**



**BLENDED TRANSITION (FLUSH LANDING)**

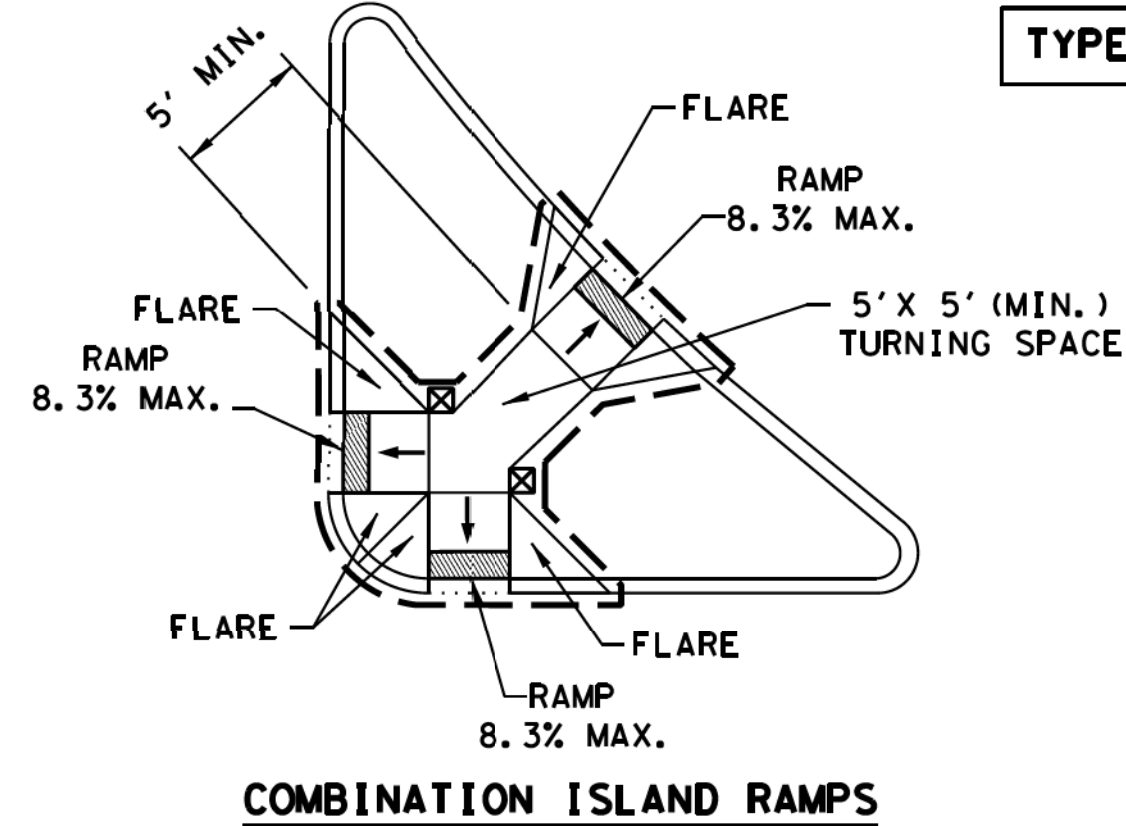
INSTALL DETECTABLE WARNING SURFACE AT EACH END OF THE CUT-THROUGH RAMP WITH A MINIMUM 2' USUAL SIDEWALK SURFACE BETWEEN. IF MEDIAN IS LESS THAN 6' WIDE, ELIMINATE DETECTABLE WARNING SURFACES.

**TYPE 21**



NOTE: CURB DETAILS ARE SHOWN ELSEWHERE IN THE PLANS.

**TYPE 22**



**COMBINATION ISLAND RAMPS**

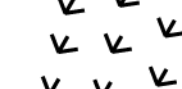
**NOTES / LEGEND:**

SEE GENERAL NOTES ON SHEET 2 OF 4 FOR MORE INFORMATION.

NOTES: DENOTES PLANTING OR NON-WALKING SURFACE NOT PART OF PEDESTRIAN CIRCULATION PATH.

NOTES: DENOTES DETECTABLE WARNING SURFACE.

NOTES: DENOTES PREFERRED LOCATION OF PEDESTRIAN PUSH BUTTON IF APPLICABLE.



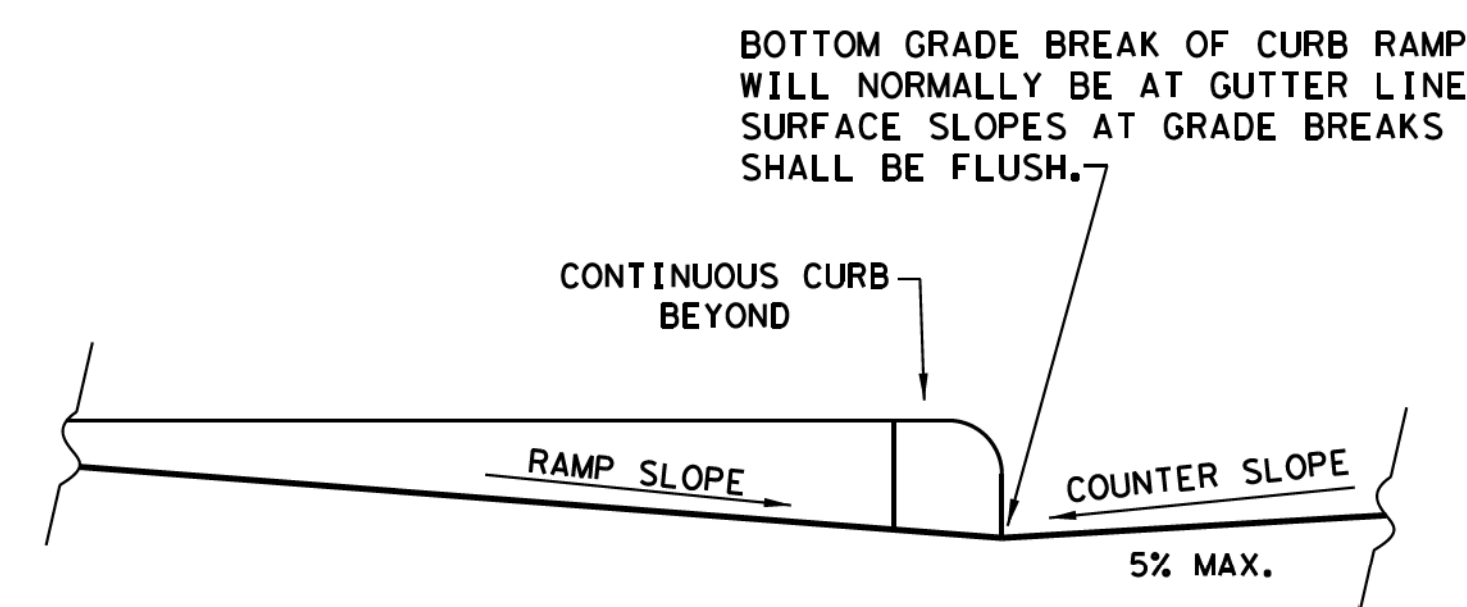
GUTTER LINE



GRADE BREAK



RAMP LIMITS OF PAYMENT



**TYPICAL SECTION OF PERPENDICULAR CURB RAMP AT CONNECTION TO ROADWAY**

BOTTOM GRADE BREAK OF CURB RAMP WILL NORMALLY BE AT GUTTER LINE. SURFACE SLOPES AT GRADE BREAKS SHALL BE FLUSH.

**TEXAS DEPARTMENT OF TRANSPORTATION**  
**Design Division Standard**

**PEDESTRIAN FACILITIES CURB RAMPS**

**PED-18**

FILES: ped18	DW: TxDOT	DW: VP	CK: KM	CK: PK & JG
© TxDOT: MARCH, 2002	CONT	SECT	JOB	HIGHWAY
REVISED 08, 2005	REVISIONS			
REVISED 06, 2012	DIST	COUNTY	SHEET NO.	
REVISED 01, 2018				

**SPR PACKAGING**  
 SPR NORTH PHASE I  
 ROCKWALL, TEXAS

**HALFF**  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX 75081-2275  
 (214) 346-6500

Revision No.	Date	Description

RECORD DRAWING SUBMITTAL  
 THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
 NAME TX, P.E. NO.  
 DATE 11-02-2020  
 TYPE FRMRF-312

Project No.: 35533  
 Issued: NOVEMBER, 2020  
 Drawn By: CAD  
 Checked By: MJG  
 Scale: AS SHOWN  
 Sheet Title

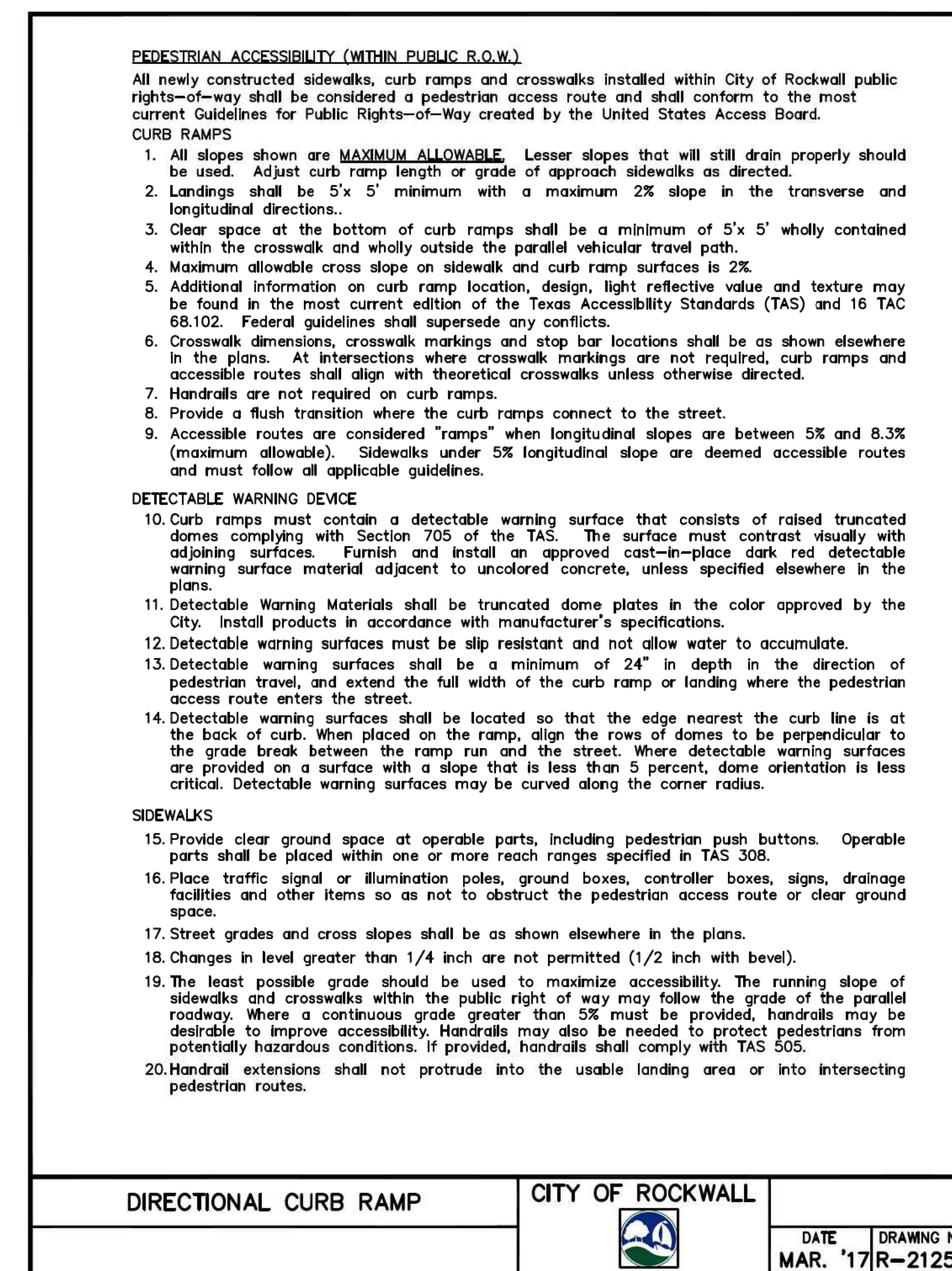
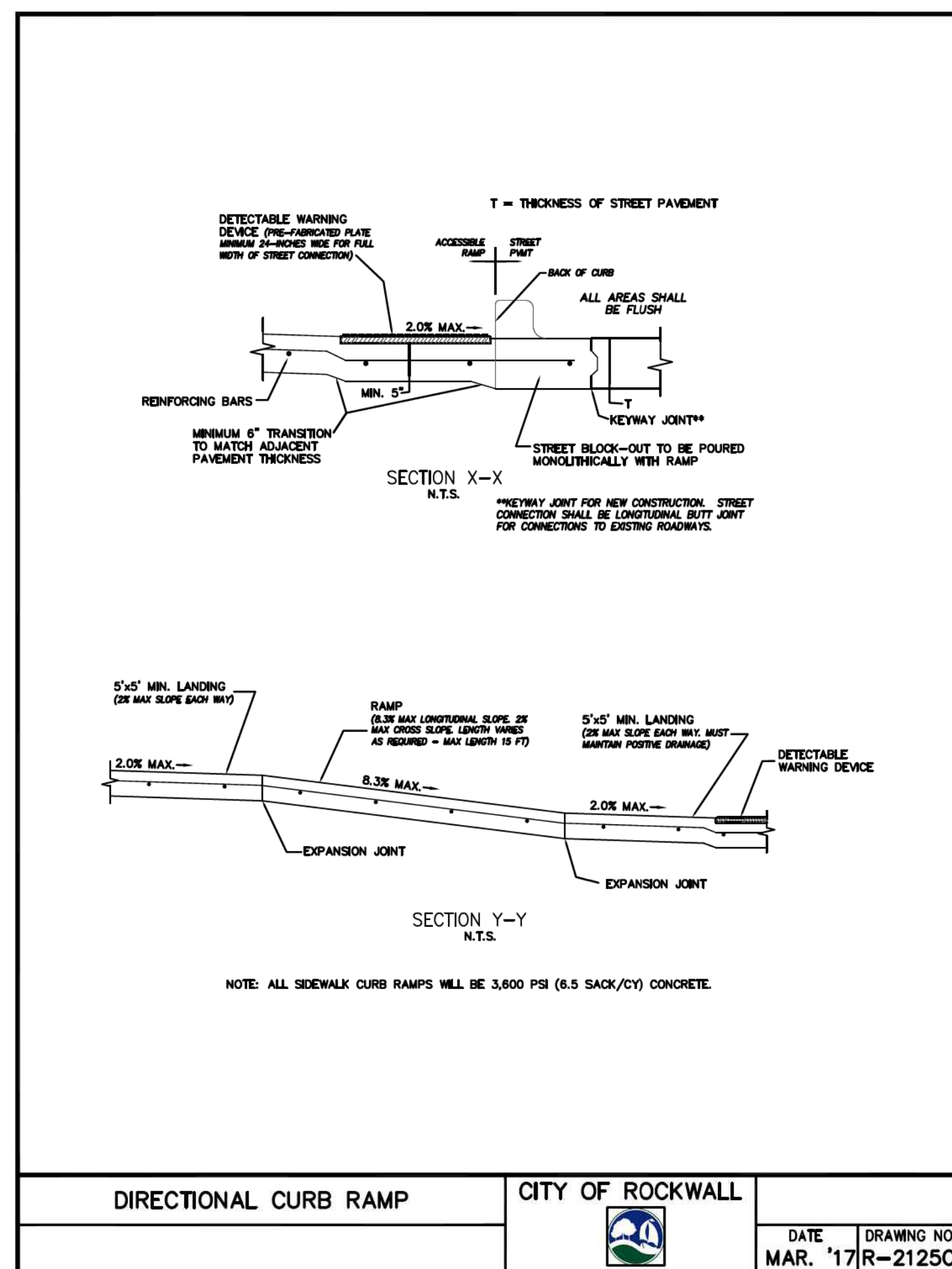
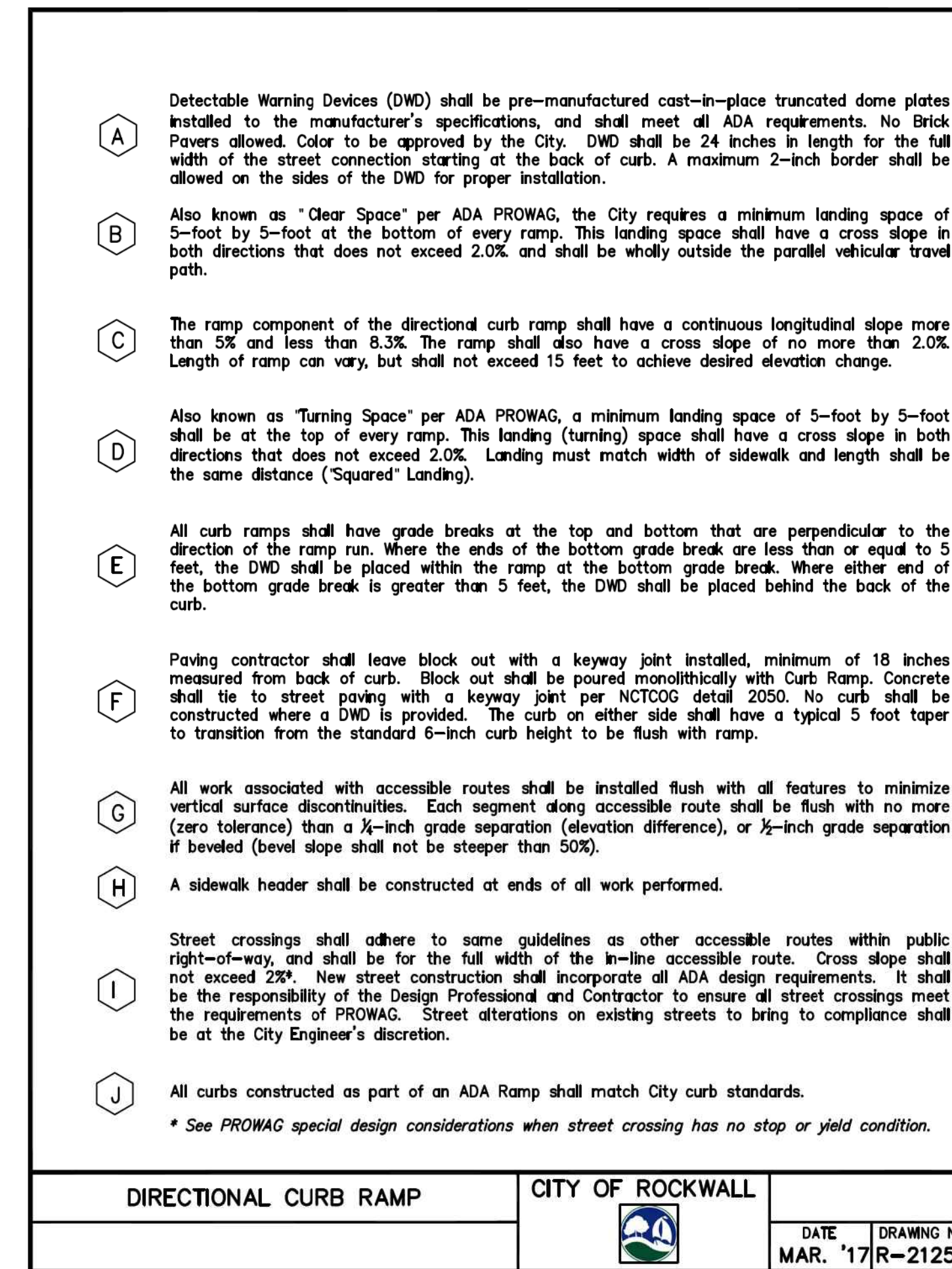
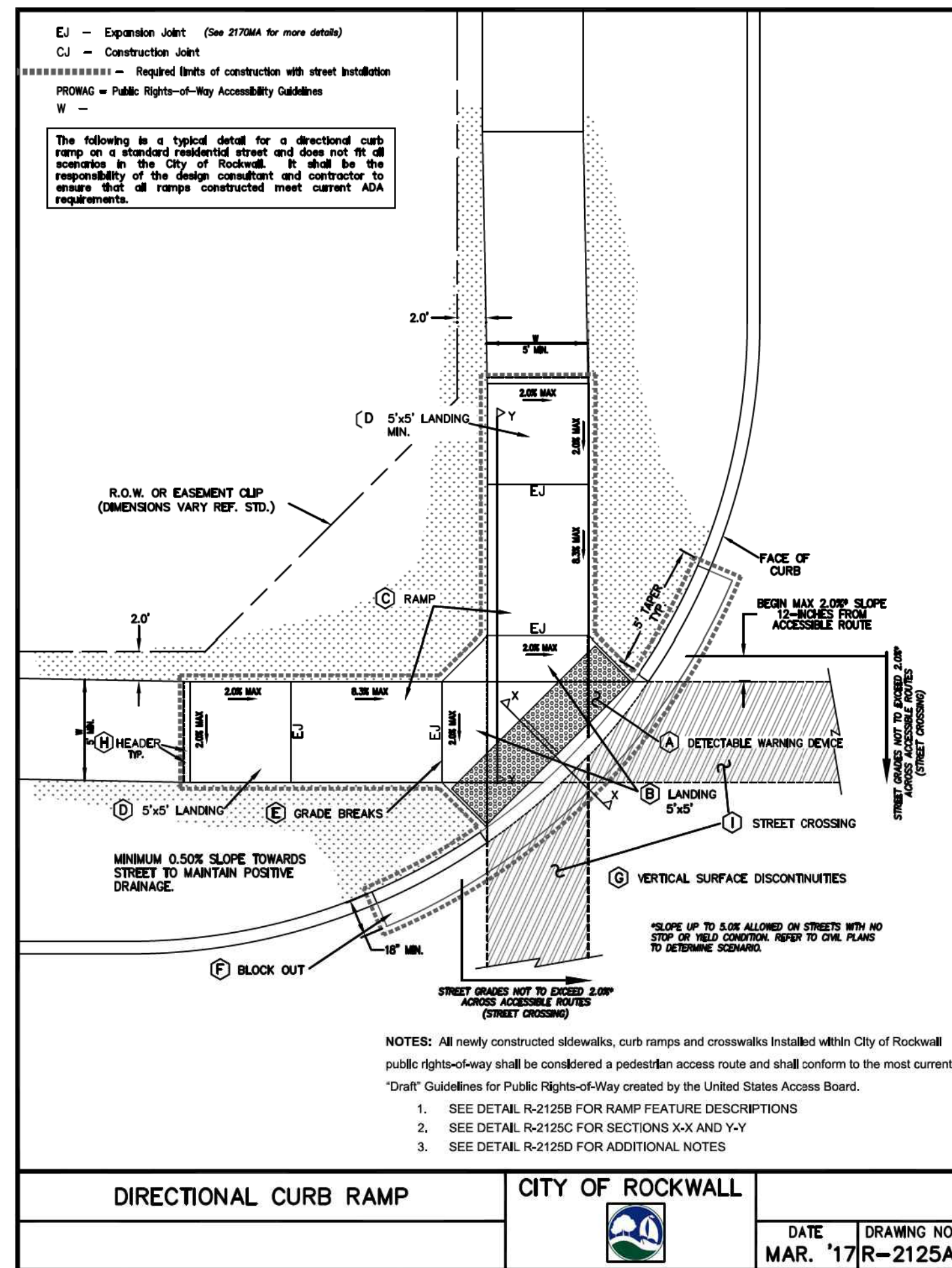
PAVING DETAILS

**C1.03**  
 Sheet Number

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045  
 SEE SHEET C0.03 FOR GENERAL NOTES





ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**SPR**  
 PACKAGING  
 SPR NORTH PHASE I  
 ROCKWALL, TEXAS

**HALFF**  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX 75081-2275  
 (214) 346-6500

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
 THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
 NAME Tx. P.E. NO.  
 DATE 11-02-2020  
 TYPE FRMMF-312

Project No.: 35533  
 Issued: NOVEMBER, 2020  
 Drawn By: CAD  
 Checked By: MJG  
 Scale: AS SHOWN  
 Sheet Title

PAVING DETAILS

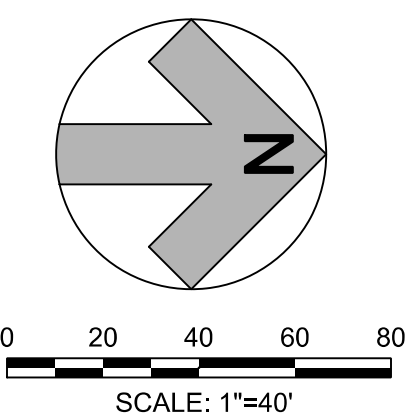
C1.04

Sheet Number

CITY #: E2019-045

SEE SHEET C0.03 FOR GENERAL NOTES





**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

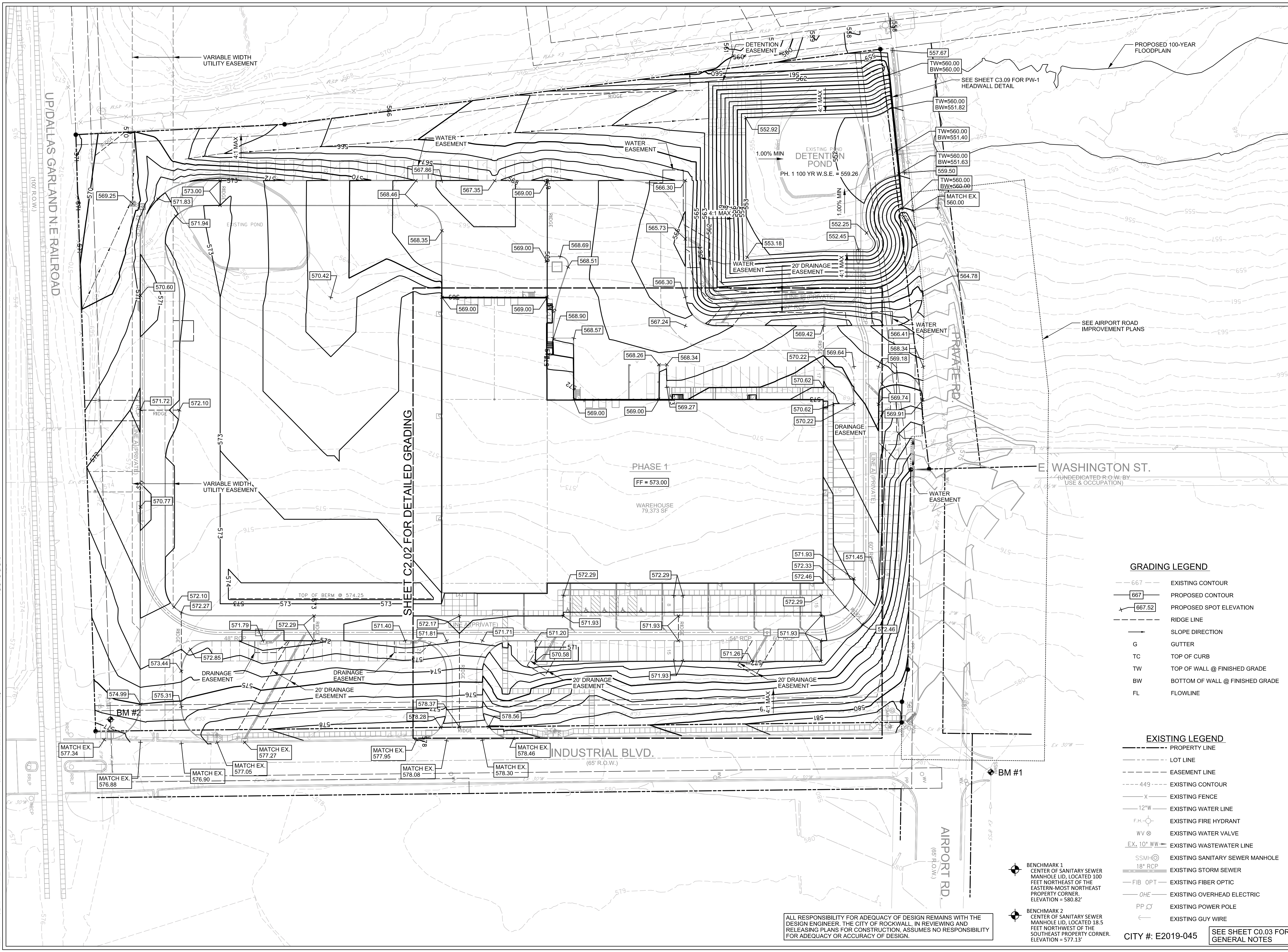
Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FIRM#-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

GRADING PLAN  
**C2.01**  
Sheet Number



SHEET C2.02 FOR DETAILED GRADING

- GRADING LEGEND**
- 667 --- EXISTING CONTOUR
  - 667 --- PROPOSED CONTOUR
  - ▲ 667.52 PROPOSED SPOT ELEVATION
  - RIDGE LINE
  - SLOPE DIRECTION
  - G GUTTER
  - TC TOP OF CURB
  - TW TOP OF WALL @ FINISHED GRADE
  - BW BOTTOM OF WALL @ FINISHED GRADE
  - FL FLOWLINE

- EXISTING LEGEND**
- PROPERTY LINE
  - LOT LINE
  - EASEMENT LINE
  - 449 --- EXISTING CONTOUR
  - X- EXISTING FENCE
  - 12"W --- EXISTING WATER LINE
  - F.H. EXISTING FIRE HYDRANT
  - WV EXISTING WATER VALVE
  - EX. 10" WW EXISTING SANITARY WATER LINE
  - SSMH EXISTING SANITARY SEWER MANHOLE
  - 18" RCP EXISTING STORM SEWER
  - FIB OPT- EXISTING FIBER OPTIC
  - OHE- EXISTING OVERHEAD ELECTRIC
  - PP EXISTING POWER POLE
  - ← EXISTING GUY WIRE

● BENCHMARK 1  
CENTER OF SANITARY SEWER  
MANHOLE LID, LOCATED 100  
FEET NORTHEAST OF THE  
EASTERN-MOST NORTHEAST  
PROPERTY CORNER.  
ELEVATION = 580.82'

● BENCHMARK 2  
CENTER OF SANITARY SEWER  
MANHOLE LID, LOCATED 18.5  
FEET NORTHWEST OF THE  
SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045 SEE SHEET C0.03 FOR GENERAL NOTES

11/02/2020 11:00:11 AM  
 H:\P\35533\35533-01\35533-01-001\35533-01-001-001.dwg  
 PLOT TO: 35533-01-001-001.dwg  
 PLOT BY: MJD  
 PLOT DATE: 11/02/2020 11:00:11 AM

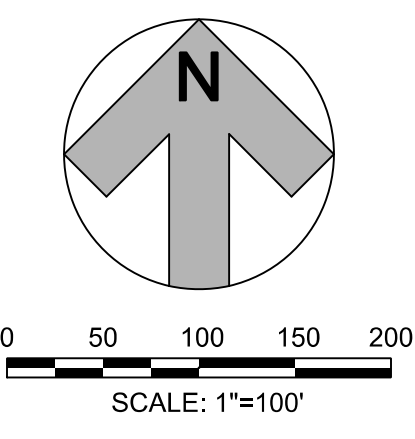
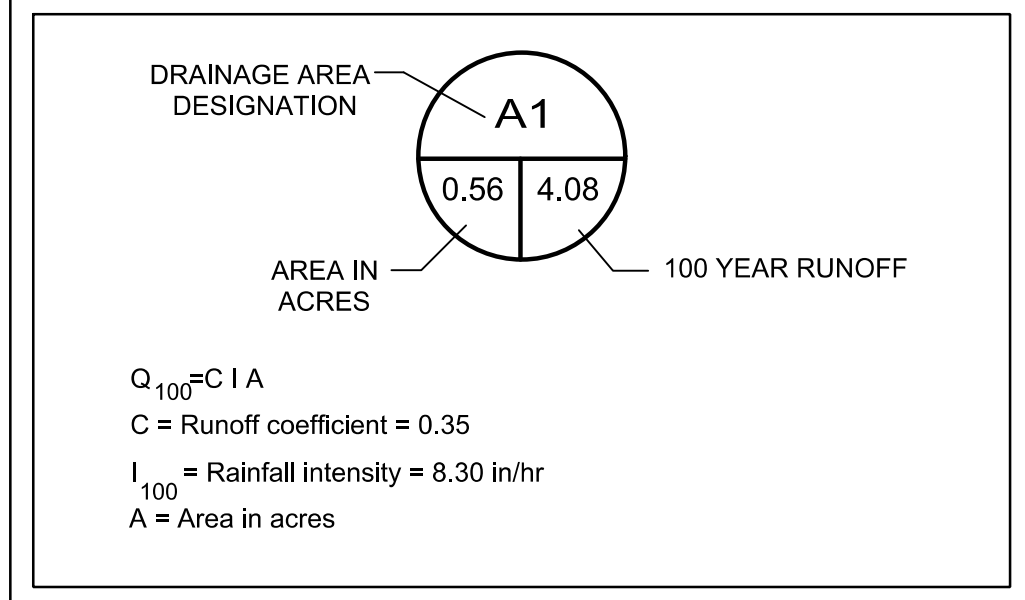








**DRAINAGE AREA DESIGN CRITERIA**



**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 946-6500

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FRMRF-312

EXISTING DRAINAGE AREAS						COMMENTS
AREA (acres)	C	Tc (min)	I100 (in/hr)	Q100 (cfs)		
EX-1	19.60	0.35	20	8.30	56.9	Drains to Existing Culvert to South Prong of Squabble Creek TRIB 1
EX-2	7.26	0.35	20	8.30	21.1	Sheet Flows to South Prong of Squabble Creek TRIB 1
EX-3	5.96	0.35	20	8.30	17.3	Drains to North West Corner of Property
EX-4	12.20	0.35	20	8.30	35.4	Drains to Southwest Corner of Property
<b>TOTAL</b>	<b>45.02</b>				<b>130.8</b>	

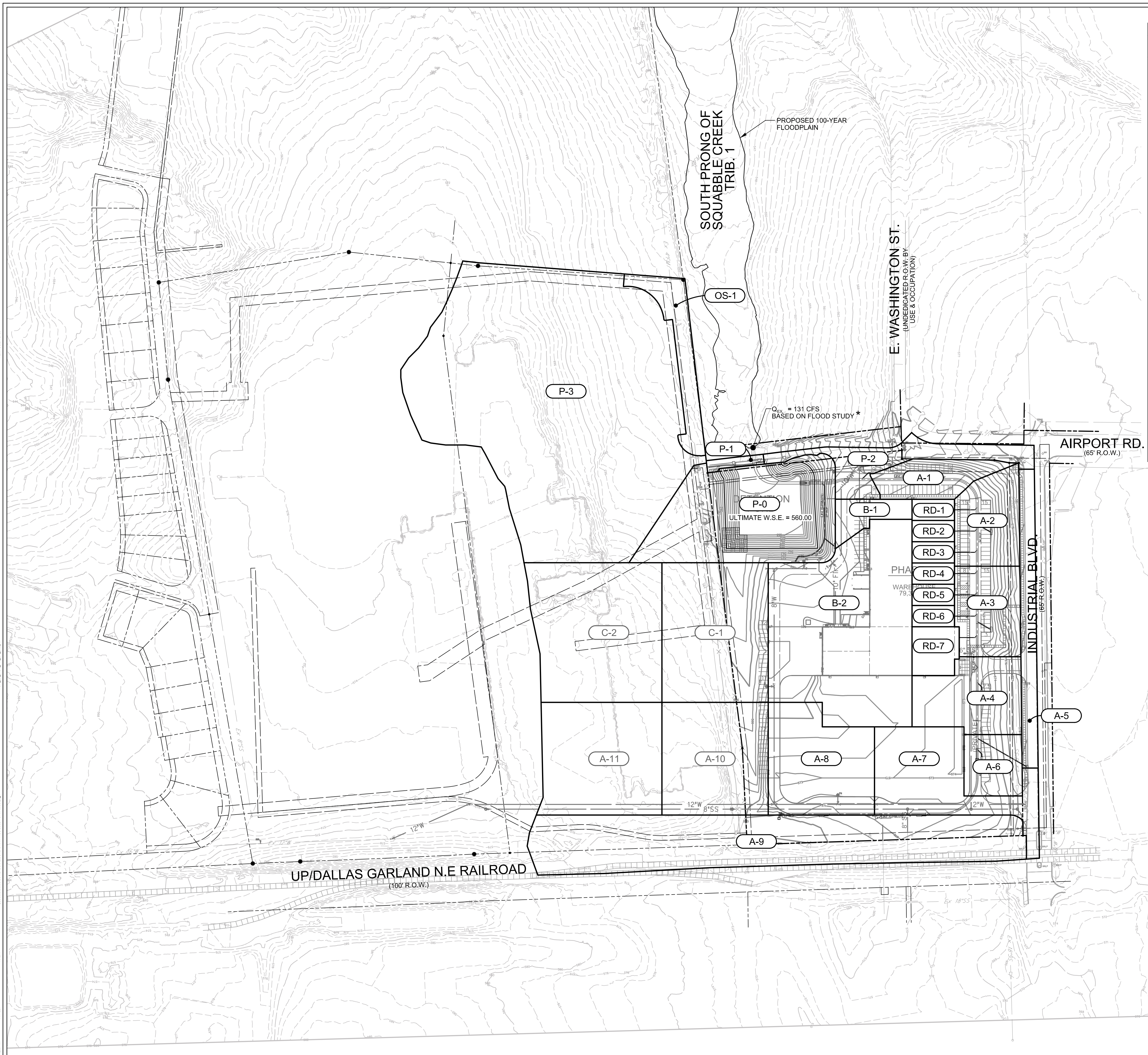
- BENCHMARK 1  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
ELEVATION = 580.82'
- BENCHMARK 2  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045 SEE SHEET C0.03 FOR GENERAL NOTES

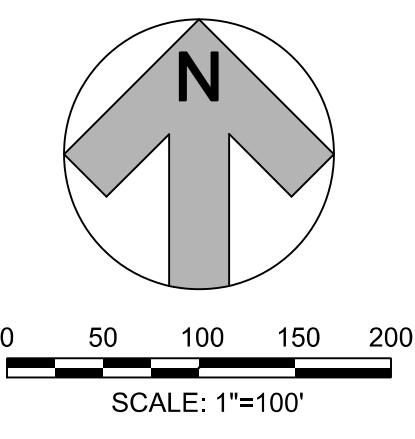
Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title  
**EXISTING DRAINAGE AREA MAP**  
**C3.01**  
Sheet Number





PROPOSED ULTIMATE DRAINAGE AREAS						COMMENTS
AREA (acres)	C	Tc (min)	I100 (in/hr)	Q100 (cfs)		
A-1	0.41	0.90	10	9.80	3.62	DRAINS TO CURB INLET A-1
A-2	0.59	0.90	10	9.80	5.20	DRAINS TO CURB INLET A-2
A-3	0.60	0.90	10	9.80	5.29	DRAINS TO CURB INLET A-3
A-4	0.75	0.90	10	9.80	6.62	DRAINS TO CURB INLET A-4
A-5	0.48	0.90	10	9.80	4.23	DRAINS TO CURB INLET A-5
A-6	0.37	0.90	10	9.80	3.26	DRAINS TO CURB INLET A-6
A-7	1.07	0.90	10	9.80	9.44	DRAINS TO CURB INLET A-7
A-8	1.10	0.90	10	9.80	9.70	DRAINS TO CURB INLET A-8
A-9	2.62	0.90	10	9.80	23.11	DRAINS TO Y-INLET A-9
A-10	1.23	0.90	10	9.80	10.85	DRAINS TO FUTURE CURB INLET A-10
A-11	1.39	0.90	10	9.80	12.26	DRAINS TO FUTURE CURB INLET A-11
<b>TOTAL</b>	<b>10.61</b>				<b>93.58</b>	<b>DRAINS TO PROPOSED DETENTION POND</b>
B-1	0.22	0.90	10	9.80	1.94	DRAINS TO CURB INLET B-1
B-2	2.58	0.90	10	9.80	22.76	DRAINS TO CURB INLET B-2
<b>TOTAL</b>	<b>2.80</b>				<b>24.70</b>	<b>DRAINS TO PROPOSED LINE A</b>
C-1	1.53	0.90	10	9.80	13.49	DRAINS TO FUTURE CURB INLET C-1
C-2	1.83	0.90	10	9.80	16.14	DRAINS TO FUTURE CURB INLET C-2
<b>TOTAL</b>	<b>3.36</b>				<b>29.64</b>	<b>DRAINS TO PROPOSED DETENTION POND</b>
RD-1	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-2	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-3	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-4	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-5	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-6	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-7	0.23	0.90	10	9.80	2.03	ROOF DRAIN CONNECT TO LINE A
<b>TOTAL</b>	<b>0.77</b>				<b>6.79</b>	<b>ROOF FLOW ADDED TO LINE A</b>
P-0	1.78	0.90	10	9.80	15.70	DETENTION POND
P-1	0.06	0.90	10	9.80	0.53	DRAINS TO Y-INLET P-1
P-2	0.58	0.90	10	9.80	5.12	DRAINS TO Y-INLET P-2
P-3	7.04	0.90	10	9.80	62.09	DRAINS OFFSITE TO SOUTH PRONG OF SQUABBLE TRIB 1
OS-1	0.42	0.35	20	9.80	1.45	DRAINS OFFSITE TO SOUTH PRONG OF SQUABBLE TRIB 1

NOTE:  
 1. THE ULTIMATE DRAINAGE AREA MAP IS USED ONLY TO CHECK STORM FOR ULTIMATE CONDITIONS. AN ASSUMED MAXIMUM WATER SURFACE OF 560.00 WAS USED. FOR STARTING HYDRAULIC GRADE SEE SHEET C3.08 FOR THE ULTIMATE 100 YEAR HYDRAULIC CALCULATIONS.  
 2. OS-1 AND P-3 ARE NOT DESIGNED TO DRAIN TO DETENTION POND. DETENTION FOR THESE AREAS WILL BE DETERMINED WITH THE DESIGN OF THE FUTURE PHASES.  
 \* 3. SEE SHEET C3.03 FOR DRAINAGE AREAS USED IN FLOOD STUDY BY HALFF DATED 11-02-2020.  
 4. THE FLOOD STUDY BY HALFF DATED 11-02-2020 WAS ONLY DESIGNED FOR PHASE 1 & 2. FUTURE PHASES WILL BE REQUIRED TO DETAIN FOR THE ULTIMATE "POST-PROJECT" CONDITION AT THAT TIME OF DEVELOPMENT.



**SPR**  
**PACKAGING**  
 SPR NORTH PHASE I  
 ROCKWALL, TEXAS

**HALFF**  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX 75081-2275  
 (214) 946-6500

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
 THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
 NAME Tx. P.E. NO.  
 DATE 11-02-2020  
 TBPE FIRM#-312

Project No.: 35533  
 Issued: NOVEMBER, 2020  
 Drawn By: CAD  
 Checked By: MJG  
 Scale: AS SHOWN

Sheet Title  
**PROPOSED DRAINAGE AREA MAP ULTIMATE**

**C3.02**  
 Sheet Number

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

● BENCHMARK 1  
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
 ELEVATION = 580.82'

● BENCHMARK 2  
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
 ELEVATION = 577.13'

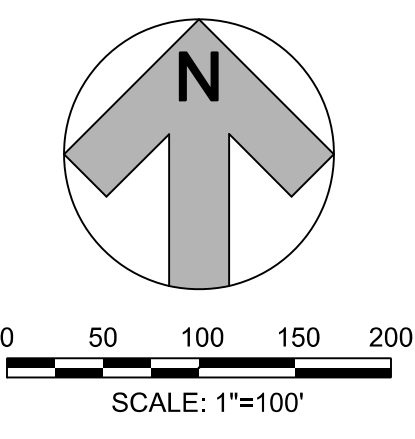
CITY #: E2019-045

SEE SHEET C0.03 FOR GENERAL NOTES





PROPOSED PHASE 1 DRAINAGE AREAS						COMMENTS
AREA (acres)	C	Tc (min)	I100 (in/hr)	Q100 (cfs)		
A-1	0.41	0.90	10	9.80	3.62	DRAINS TO CURB INLET A-1
A-2	0.59	0.90	10	9.80	5.20	DRAINS TO CURB INLET A-2
A-3	0.60	0.90	10	9.80	5.29	DRAINS TO CURB INLET A-3
A-4	0.49	0.90	10	9.80	4.32	DRAINS TO CURB INLET A-4
A-5	0.48	0.90	10	9.80	4.23	DRAINS TO CURB INLET A-5
A-6	0.37	0.90	10	9.80	3.26	DRAINS TO CURB INLET A-6
A-7	1.25	0.90	10	9.80	11.03	DRAINS TO CURB INLET A-7
A-8	0.39	0.90	10	9.80	3.44	DRAINS TO CURB INLET A-8
A-9	0.76	0.90	10	9.80	6.70	DRAINS TO Y-INLET A-9
<b>TOTAL</b>	<b>5.34</b>				<b>47.10</b>	<b>DRAINS TO PROPOSED DETENTION POND</b>
B-1	0.22	0.90	10	9.80	1.94	DRAINS TO CURB INLET B-1
B-2	1.68	0.90	10	9.80	14.82	DRAINS TO CURB INLET B-2
<b>TOTAL</b>	<b>1.90</b>				<b>16.76</b>	<b>DRAINS TO PROPOSED LINE A</b>
RD-1	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-2	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-3	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-4	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-5	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-6	0.09	0.90	10	9.80	0.79	ROOF DRAIN CONNECT TO LINE A
RD-7	0.23	0.90	10	9.80	2.03	ROOF DRAIN CONNECT TO LINE A
<b>TOTAL</b>	<b>0.77</b>				<b>6.79</b>	<b>ROOF FLOW ADDED TO LINE A</b>
P-0	1.15	0.90	10	9.80	10.14	DETENTION POND
P-0A	6.89	0.60	10	9.80	40.51	SHEET FLOWS TO DETENTION POND
P-1A	0.17	0.90	10	9.80	1.50	DRAINS TO Y-INLET P-1
P-1B	2.71	0.35	20	8.30	7.87	DRAINS TO Y-INLET P-1
P-1	2.88	0.38	10	9.80	10.79	TOTAL OF P-1A AND P-1B
P-2	0.58	0.90	10	9.80	5.12	DRAINS TO Y-INLET P-2
<b>EX-2</b>	<b>7.26</b>	0.35	20	8.30	<b>21.09</b>	<b>DRAINS OFFSITE TO SOUTH PRONG OF SQUABBLE CREEK TRIB 1</b>



**SPR**  
PACKAGING  
SPR NORTH PHASE I  
ROCKWALL, TEXAS



NOTE:  
 \* 1. OUTFALL RELEASE RATES BASED ON HALFF ASSOCIATES FLOODPLAIN DETERMINATION STUDY AND DETENTION ASSESSMENT FOR THE PROPOSED SPR PACKAGING, LLC SITE DEVELOPMENT DATED 11-02-2020.  
 2. EX-2, P-18, P-2 ARE NOT BEING DETAINED IN THIS PHASE.  
 3. THE FLOOD STUDY BY HALFF DATED 11-02-2020 WAS ONLY DESIGNED FOR PHASE 1 & 2. FUTURE PHASES WILL BE REQUIRED TO DETAIN FOR THE ULTIMATE "POST-PROJECT" CONDITION AT THAT TIME OF DEVELOPMENT.

Revision No.	Date	Description

RECORD DRAWING SUBMITTAL  
 THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
 NAME Tx. P.E. NO.  
 DATE 11-02-2020  
 TBPE FIRM#-312

Project No.: 35533  
 Issued: NOVEMBER, 2020  
 Drawn By: CAD  
 Checked By: MJG  
 Scale: AS SHOWN  
 Sheet Title  
**PROPOSED DRAINAGE AREA MAP PHASE 1**  
**C3.03**  
 Sheet Number

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

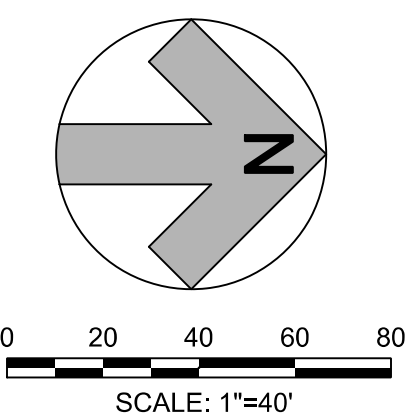
BENCHMARK 1  
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
 ELEVATION = 580.82'

BENCHMARK 2  
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
 ELEVATION = 577.13'

CITY #: E2019-045

SEE SHEET C0.03 FOR GENERAL NOTES





**SPR NORTH PHASE I**  
ROCKWALL, TEXAS



1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 946-6500

Revision No.	Date	Description

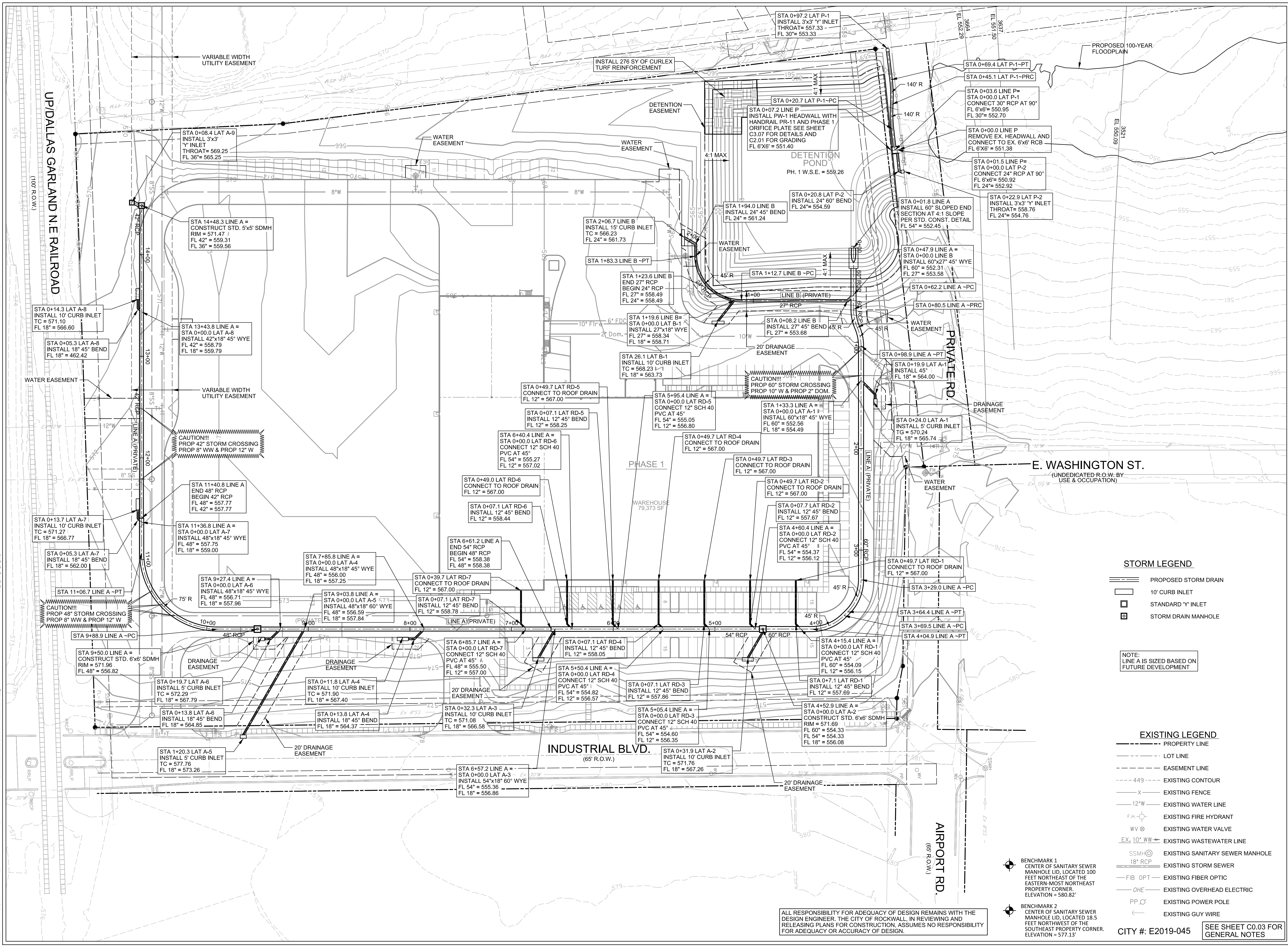
**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FIRM#-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

**STORM DRAINAGE PLAN**

**C3.04**  
Sheet Number



**STORM LEGEND**

	PROPOSED STORM DRAIN
	10' CURB INLET
	STANDARD 'Y' INLET
	STORM DRAIN MANHOLE

**NOTE:**  
LINE A IS SIZED BASED ON FUTURE DEVELOPMENT

**EXISTING LEGEND**

	PROPERTY LINE
	LOT LINE
	EASEMENT LINE
	EXISTING CONTOUR
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WASTEWATER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER
	EXISTING FIBER OPTIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING POWER POLE
	EXISTING GUY WIRE

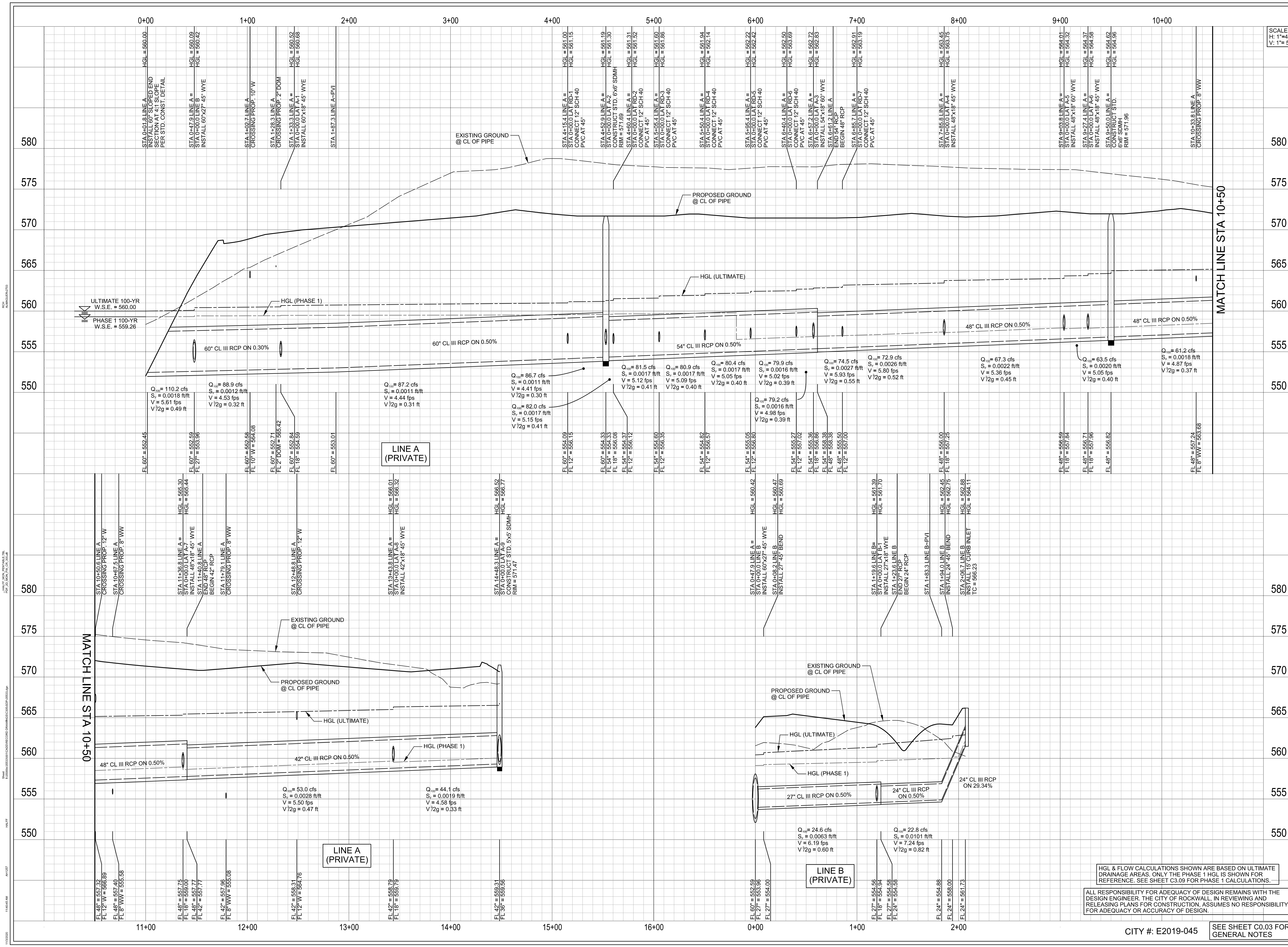
**BENCHMARK 1**  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.  
ELEVATION = 580.82'

**BENCHMARK 2**  
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045 SEE SHEET C0.03 FOR GENERAL NOTES





SCALE:  
H: 1" = 40'  
V: 1" = 5'

**SPR PACKAGING**  
**SPR NORTH PHASE I**  
**ROCKWALL, TEXAS**

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATION. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDRESS AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TYPE FRMMF-312

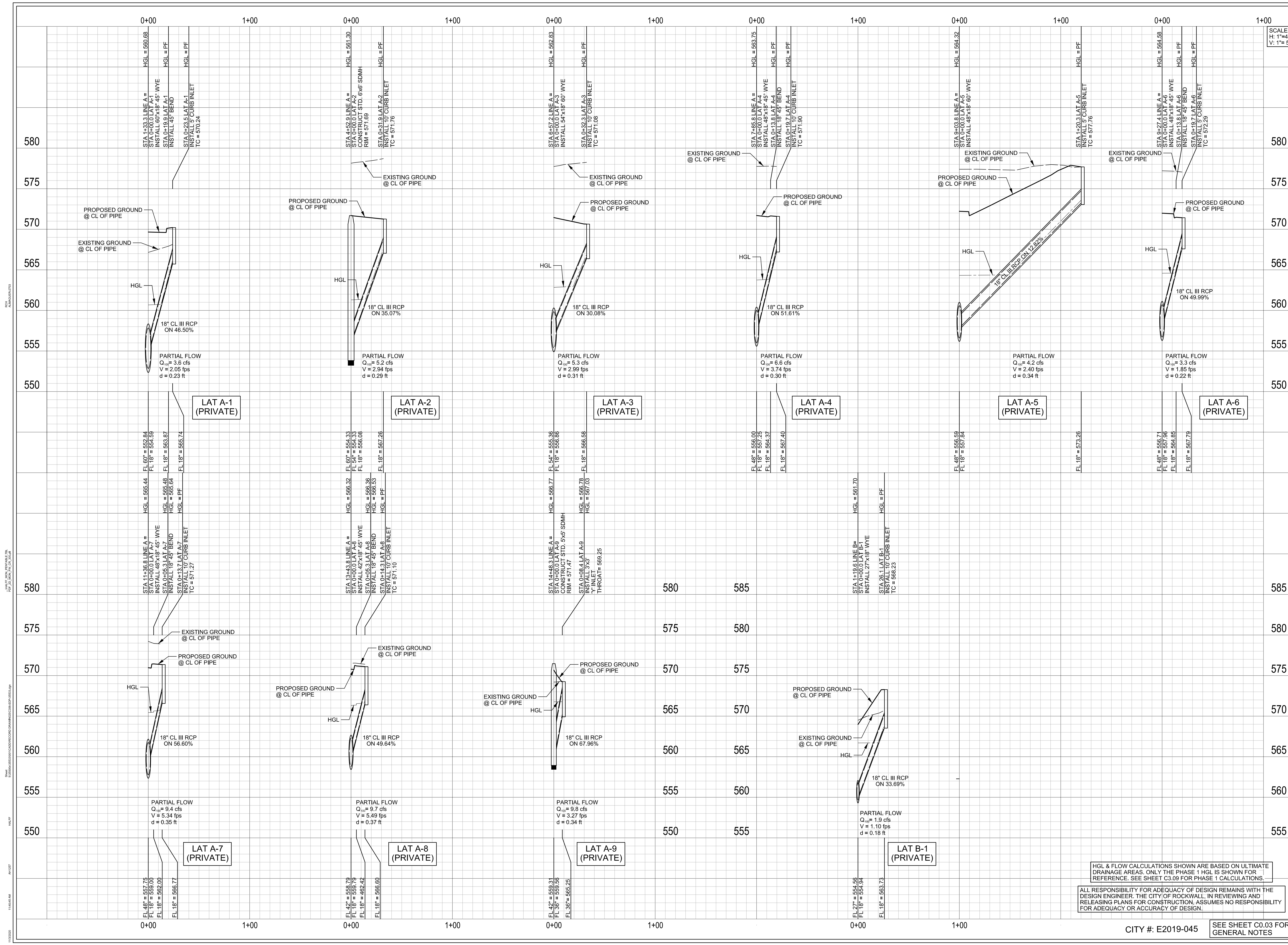
Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title  
**STORM DRAINAGE PROFILE**  
**C3.05**  
Sheet Number

HGL & FLOW CALCULATIONS SHOWN ARE BASED ON ULTIMATE DRAINAGE AREAS. ONLY THE PHASE 1 HGL IS SHOWN FOR REFERENCE. SEE SHEET C3.09 FOR PHASE 1 CALCULATIONS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045 SEE SHEET C0.03 FOR GENERAL NOTES





SCALE:  
H: 1"=40'  
V: 1"= 5'

**SPR NORTH PHASE I**  
ROCKWALL, TEXAS

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDRESS AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TYPE FRMMF-312

HGL & FLOW CALCULATIONS SHOWN ARE BASED ON ULTIMATE DRAINAGE AREAS. ONLY THE PHASE 1 HGL IS SHOWN FOR REFERENCE. SEE SHEET C3.09 FOR PHASE 1 CALCULATIONS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045  
SEE SHEET C0.03 FOR GENERAL NOTES

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

STORM DRAINAGE PROFILE

**C3.06**  
Sheet Number











NOTE:  
 1. INLET TOP ELEVATION REFERS TO GUTTER LINE FOR ALL INLETS  
 2. THESE HYDRAULIC CALCULATIONS ASSUME FULL FLOW. WHEN PIPE SHOWS TO BE PARTIAL, WE USE MANNING'S EQUATION TO DETERMINE THE DEPTH.

04100				HAND INPUTS										FORMULAE (ALWAYS DRAG BLUE COLUMNS DOWN FROM ROW 7 BEFORE FINAL DESIGN (S SET))										HYDRAULIC GRADE									
RUNOFF COLLECTION POINT (Mile of Manhole)				INCREMENTAL DRAINAGE AREA										INCREMENTAL DRAINAGE AREA										HYDRAULIC GRADE									
DRAINAGE AREA	UPSTREAM STATION	DOWNSTREAM STATION	Distance Between Collection Points	Drainage Area (Acres)	Contributing Area (Acres)	Incremental CA	Incoming CA from WVE or MH (LRA & Lateral's DS Accum. CA)	Accumulated CA	Time at Upstream Station (minutes)	Design Storm Frequency (1%)	Intensity 'I' (in/hr)	Storm Water Depth (in)	Slope of Hydraulic Gradient 'S' (ft/ft)	# BARRELS	Selected Sewer Size (Sewer Size) (inches)	RSE ONLY FOR RCB (ft)	Velocity in Sewer Between Collection Points 'V' (ft/sec)	Standard DS Junction Loss 'k'	Minor Loss Coeff. 'K'	Velocity (ft/sec)	Flow Time in Sewer (minutes)	DS Grade	Friction Losses	Hyd. Grade Friction Loss	Junction Losses	Minor Losses	Hyd. Grade After Hydr. Jctn	Man. Top Elevation	Starting Hydraulic Grade at DS End	PIPE SLOPE (FEET)	FF IF LRA THEN PIPE IS FULL		
				10										100										TABLE									
LINE A	INLET	A-9	0+00.00	8.37	0.76	0.90	0.68	0.68	10.00	100	9.80	6.7	0.0001	1	36	0.95	1.50	0.01	0.15	559.99	0.00	559.99	0.00	0.02	560.02	569.25	568.25	-8.23	PARTIAL				
	MH 60°	MH	14+49.30	13+43.76	154.54	0.00	0.68	0.68	10.15	100	9.78	6.7	0.0000	1	42	0.70	0.68	0.01	2.51	559.80	0.00	559.80	0.00	0.00	559.80	562.81	562.81	-2.82	PARTIAL				
	WVE 45°	LAT	12+48.76	12+48.76	26.00	0.00	0.35	1.04	12.65	100	9.38	9.7	0.0001	1	42	1.01	0.80	0.02	1.57	559.97	0.01	559.98	0.01	0.00	559.99	562.29	562.29	-2.29	PARTIAL				
	PIV	A-8	12+48.76	11+56.76	112.00	0.00	1.04	14.22	10.00	100	9.12	9.4	0.0001	1	42	0.98	0.01	1.90	0.00	559.98	0.01	559.97	0.00	0.00	559.97	561.81	561.81	-1.85	PARTIAL				
	WVE 45°	LAT	11+56.76	11+06.68	30.08	0.00	1.13	2.16	16.13	100	8.84	19.1	0.0002	1	48	1.52	0.50	0.04	0.33	559.62	0.01	559.63	0.03	0.00	559.66	561.75	561.75	-1.80	PARTIAL				
	PIV		11+06.68	9+48.87	117.81	0.00	2.16	16.46	10.00	100	8.60	19.0	0.0002	1	48	1.51	0.04	1.30	0.00	559.60	0.02	559.62	0.00	0.00	559.62	561.80	561.80	-1.80	PARTIAL				
	MH 2°	MH	9+50.00	8+27.38	22.84	0.00	2.16	18.19	10.00	100	8.55	18.5	0.0002	1	48	1.47	0.65	0.03	0.26	559.86	0.00	559.86	0.00	0.00	559.86	560.82	560.82	-0.82	PARTIAL				
	WVE 45°	LAT	8+27.38	8+27.38	23.59	0.00	0.33	2.49	18.45	100	8.52	21.2	0.0002	1	48	1.89	0.50	0.04	0.23	559.63	0.01	559.63	0.03	0.00	559.66	560.71	560.71	-0.85	PARTIAL				
	WVE 45°	LAT	8+27.38	7+45.02	117.56	0.00	0.43	2.93	18.68	100	8.48	24.9	0.0003	1	48	1.97	0.26	0.06	1.00	559.75	0.04	559.78	0.06	0.00	559.83	560.76	560.76	-0.76	PARTIAL				
	WVE 45°	LAT	7+45.02	6+45.02	100.14	0.00	0.44	3.37	19.88	100	8.35	26.1	0.0004	1	48	2.24	0.50	0.08	0.75	559.68	0.04	559.70	0.06	0.00	559.75	560.00	560.00	-0.25	PARTIAL				
	WVE 45°	LAT	6+45.02	6+45.02	28.52	0.00	0.21	3.57	20.42	100	8.24	29.4	0.0004	1	48	2.34	0.50	0.08	0.20	559.60	0.01	559.62	0.06	0.00	559.68	559.68	559.68	0.00	FULL				
	WVE 45°	LAT	6+45.02	6+45.02	16.81	0.00	0.54	4.11	20.83	100	8.21	33.8	0.0003	1	54	2.12	0.50	0.07	0.13	559.57	0.00	559.58	0.03	0.00	559.60	559.60	559.60	0.00	FULL				
	WVE 45°	LAT	6+45.02	5+45.02	45.00	0.00	0.38	4.44	21.76	100	8.18	34.4	0.0003	1	54	2.25	0.26	0.08	0.33	559.53	0.01	559.53	0.04	0.00	559.57	559.57	559.57	0.00	FULL				
	WVE 45°	LAT	5+45.02	5+45.02	44.98	0.00	0.38	4.28	21.10	100	8.15	34.8	0.0003	1	54	2.19	0.50	0.07	0.34	559.47	0.01	559.48	0.04	0.00	559.52	559.52	559.52	0.00	FULL				
	WVE 45°	LAT	5+45.02	5+45.02	45.02	0.00	0.38	4.36	21.45	100	8.10	35.3	0.0003	1	54	2.22	0.50	0.08	0.34	559.41	0.01	559.43	0.04	0.00	559.47	559.47	559.47	0.00	FULL				
	WVE 45°	LAT	5+45.02	4+45.02	45.00	0.00	0.38	4.44	21.76	100	8.08	35.7	0.0003	1	54	2.25	0.26	0.08	0.33	559.35	0.01	559.36	0.06	0.00	559.41	559.41	559.41	0.00	FULL				
	WVE 45°	LAT	4+45.02	4+45.02	7.46	0.00	0.38	4.52	22.12	100	8.00	36.2	0.0003	1	54	2.27	0.50	0.08	0.25	559.30	0.00	559.31	0.04	0.00	559.35	559.35	559.35	0.00	FULL				
	MH 60°	MH	4+15.35	4+15.35	37.54	0.00	0.53	5.05	22.17	100	8.00	40.4	0.0002	1	60	2.08	0.68	0.07	0.30	559.27	0.01	559.28	0.03	0.00	559.30	559.30	559.30	0.00	FULL				
	WVE 45°	LAT	4+15.35	4+15.35	10.50	0.00	0.53	5.13	22.48	100	7.98	40.8	0.0002	1	60	2.08	0.68	0.07	0.28	559.23	0.00	559.23	0.03	0.00	559.27	559.27	559.27	0.00	FULL				
	PIV	A-2	4+15.35	3+29.02	75.83	0.00	0.53	5.13	22.56	100	7.94	40.7	0.0002	1	60	2.07	0.61	0.07	0.21	559.21	0.00	559.23	0.00	0.00	559.23	559.23	559.23	0.00	FULL				
	PIV		3+29.02	1+33.03	195.09	0.00	0.53	5.13	23.17	100	7.86	40.3	0.0002	1	60	2.05	0.60	0.07	0.19	559.17	0.00	559.21	0.00	0.00	559.21	559.21	559.21	0.00	FULL				
	WVE 45°	LAT	1+33.03	0+49.89	34.15	0.00	0.37	5.50	24.76	100	7.80	42.0	0.0003	1	60	2.14	0.50	0.07	0.27	559.12	0.01	559.13	0.04	0.00	559.17	557.74	557.74	-1.43	FULL				
	PIV	A-1	0+49.89	0+49.89	18.37	0.00	0.50	5.50	25.03	100	7.75	41.8	0.0003	1	60	2.13	0.50	0.07	0.14	559.11	0.00	559.12	0.00	0.00	559.12	557.56	557.56	-1.56	FULL				
	PIV		0+49.89	0+42.15	18.36	0.00	0.50	5.50	25.17	100	7.76	41.7	0.0003	1	60	2.12	0.50	0.07	0.14	559.11	0.00	559.11	0.00	0.00	559.11	557.47	557.47	-1.64	FULL				
	WVE 45°	LAT	0+42.15	0+47.88	14.27	0.00	0.50	5.50	25.32	100	7.76	41.5	0.0003	1	60	2.12	0.50	0.07	0.11	559.11	0.00	559.11	0.00	0.00	559.11	557.38	557.38	-1.73	FULL				
	WVE 45°	LINE	0+47.88	0+00.00	47.88	0.00	1.71	7.21	29.43	100	7.54	54.4	0.0004	1	60	2.77	0.50	0.12	0.29	559.05	0.00	559.02	0.06	0.00	559.11	559.00	559.00	-0.21	FULL				
LINE B	INLET	B-2	2+06.69	1+43.99	12.70	1.88	0.90	1.51	10.00	100	9.80	4.03	0.0043	1	24	4.72	1.50	0.35	0.04	560.15	0.05	560.20	0.00	0.02	560.72	563.73	563.73	-3.07	PARTIAL				
	BEND 45°		1+43.99	1+43.34	10.65	0.00	1.51	10.04	10.00	100	9.79	4.03	0.0043	1	24	4.71	0.37	0.35	0.04	560.08	0.05	560.02	0.00	0.13	560.15	563.65	563.65	-3.00	FULL				
	PIV	B-1	1+43.34	1+19.36	63.78	0.00	1.51	10.08	10.00	100	9.79	4.03	0.0043	1	24	4.71	0.34	0.25	0.00	559.70	0.27	559.98	0.00	0.00	559.98	559.80	559.80	-3.38	FULL				
	WVE 60°	LAT	1+19.36	1+19.36	6.91	0.20	0.20	1.71	10.31	100	9.75	16.7	0.0009	1	27	4.19	0.35	0.27	0.05	559.51	0.00	559.52	0.15	0.00	559.71	559.16	559.16	-3.17	FULL				
	PIV		1+19.36	0+28.17	154.48	0.00	1.71	10.34	10.00	100	9.75	16.7	0.0009	1	27	4.19	0.27	0.42	0.00	559.23	0.30	559.53	0.00	0.00	559.53	556.50	556.50	-3.03	FULL				
	BEND 45°		0+28.17	0+00.00	8.17	0.00	1.71	10.75	10.00	100	9.68	16.8	0.0029	1	27	4.16	0.37	0.27	0.03	559.11	0.00	559.13	0.00	0.10	559.23	559.11	559.11	-0.89	FULL				
LINE A-1	INLET	A-1	0+19.84	0+19.84	4.03	0.41	0.90	0.37	10.00	100	9.80	3.6	0.0012	1	18	2.05	1.50	0.07	0.05	559.21	0.00	559.22	0.00	0.10	559.32	569.74	569.74	-2.02	PARTIAL				
	BEND 45°		0+19.84	0+00.00	19.84	0.00	0.37	0.37	10.00	100	9.79	3.6	0.0012	1	18	2.05	0.37	0.07	0.16	559.17	0.00	559.19	0.00	0.02	559.21	559.17	559.17	-0.18	PARTIAL				
LINE A-2	INLET	A-2	0+31.87	0+00.00	31.87	0.59	0.90	0.53	10.00	100	9.80	5.2	0.0025	1	18	2.94	1.50	0.13	0.16	559.30	0.08	559.38	0.00	0.20	559.58	571.28	569.30	666.76	-6.18	PARTIAL			
LINE A-3	INLET	A-3	0+32.33	0+00.00	32.33	0.60	0.90	0.54	10.00	100	9.80	5.3	0.0025	1	18	2.99	1.50	0.14	0.16	559.60	0.08	559.69	0.00	0.21	559.89	570.58	559.80	568.08	-6.10	PARTIAL			
LINE A-4	INLET	A-4	0+19.87	0+13.79	5.88	0.49	0.90	0.44	10.00	100	9.80	4.3	0.0017	1	18	2.45	1.50	0.09	0.04	559.81	0.01	559.82	0.00	0.14	559.95	571.40	569.40	665.80	-6.85	PARTIAL			
	BEND 45°		0+13.79	0+00.00																													



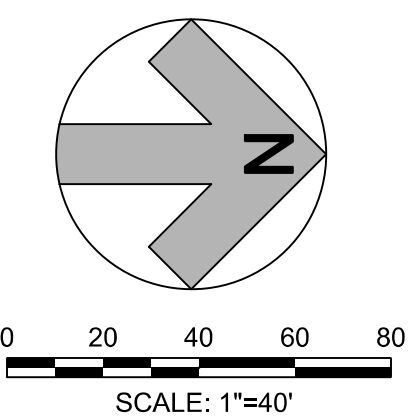




MATCH LINE

S.W. CORNER OF PROPERTY

WATER LOWERING



SPR NORTH PHASE I  
ROCKWALL, TEXAS

HALFF  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

Table with 2 columns: Revision No., Date. Includes a 'Description' column header.

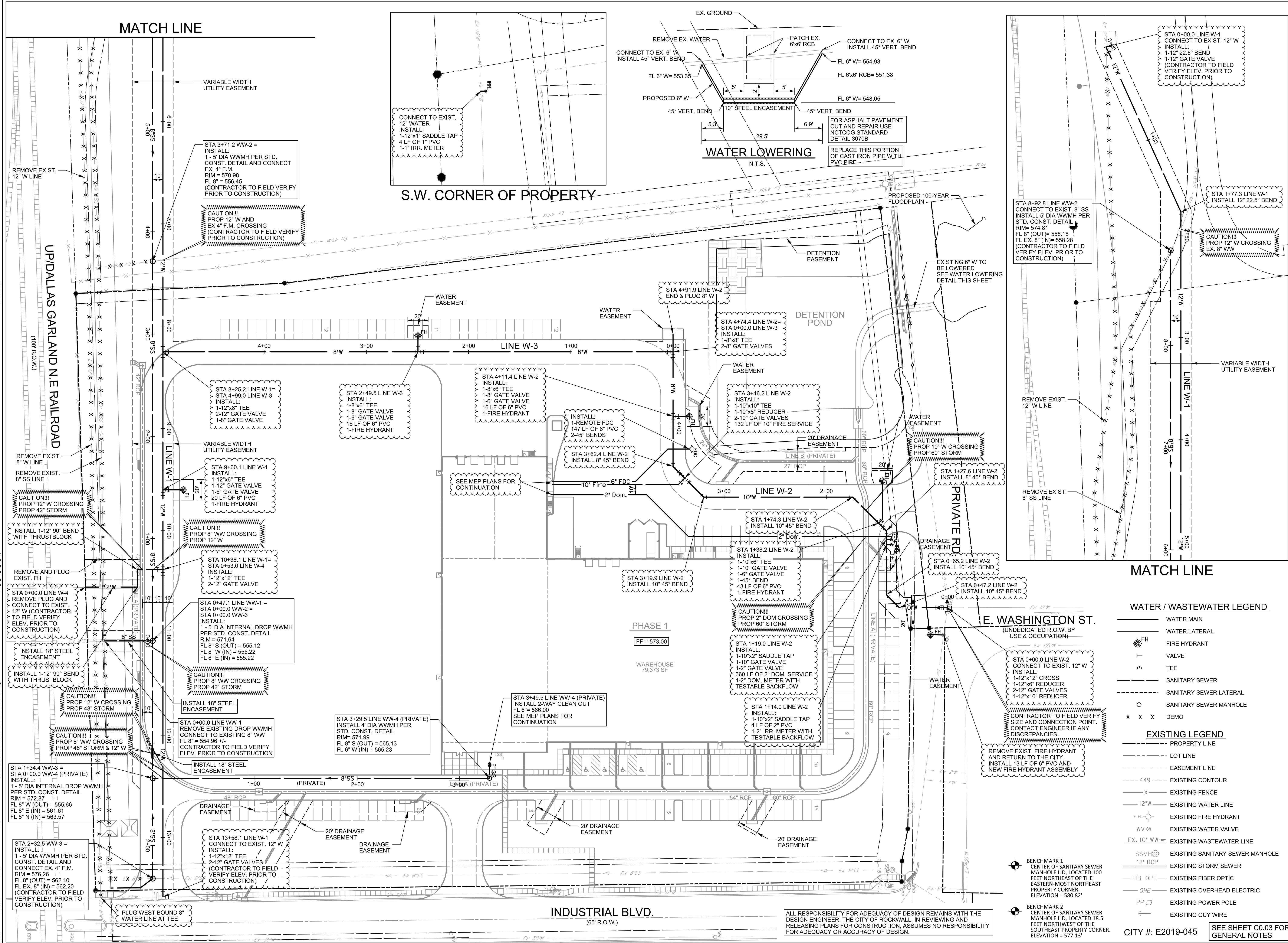
RECORD DRAWING SUBMITTAL  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TRPE FRMRF-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

WATER AND WASTEWATER PLAN

C4.01  
Sheet Number



MATCH LINE

WATER / WASTEWATER LEGEND

- WATER MAIN
- WATER LATERAL
- FIRE HYDRANT
- VALVE
- TEE
- SANITARY SEWER
- SANITARY SEWER LATERAL
- SANITARY SEWER MANHOLE
- DEMO

EXISTING LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- EXISTING CONTOUR
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WASTEWATER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- EXISTING GUY WIRE

BENCHMARK 1  
CENTER OF SANITARY SEWER  
MANHOLE LID, LOCATED 100  
FEET NORTHWEST OF THE  
EASTERN-MOST NORTHEAST  
PROPERTY CORNER.  
ELEVATION = 580.82'

BENCHMARK 2  
CENTER OF SANITARY SEWER  
MANHOLE LID, LOCATED 18.5  
FEET NORTHWEST OF THE  
SOUTHEAST PROPERTY CORNER.  
ELEVATION = 577.13'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

INDUSTRIAL BLVD.  
(65' R.O.W.)

PHASE 1  
FF = 573.00

WAREHOUSE  
79,373 SF

UP/DALLAS GARLAND N E RAILROAD  
(100' R.O.W.)

E. WASHINGTON ST.  
(UNDEDICATED R.O.W. BY  
USE & OCCUPATION)

PRIVATE RD.

DETENTION POND

DETENTION EASEMENT

WATER EASEMENT

DRAINAGE EASEMENT

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE

REMOVE EXIST. 12" W LINE

REMOVE EXIST. 8" W LINE

REMOVE EXIST. 8" SS LINE







NOV 14 2020 10:03 AM

HALFF

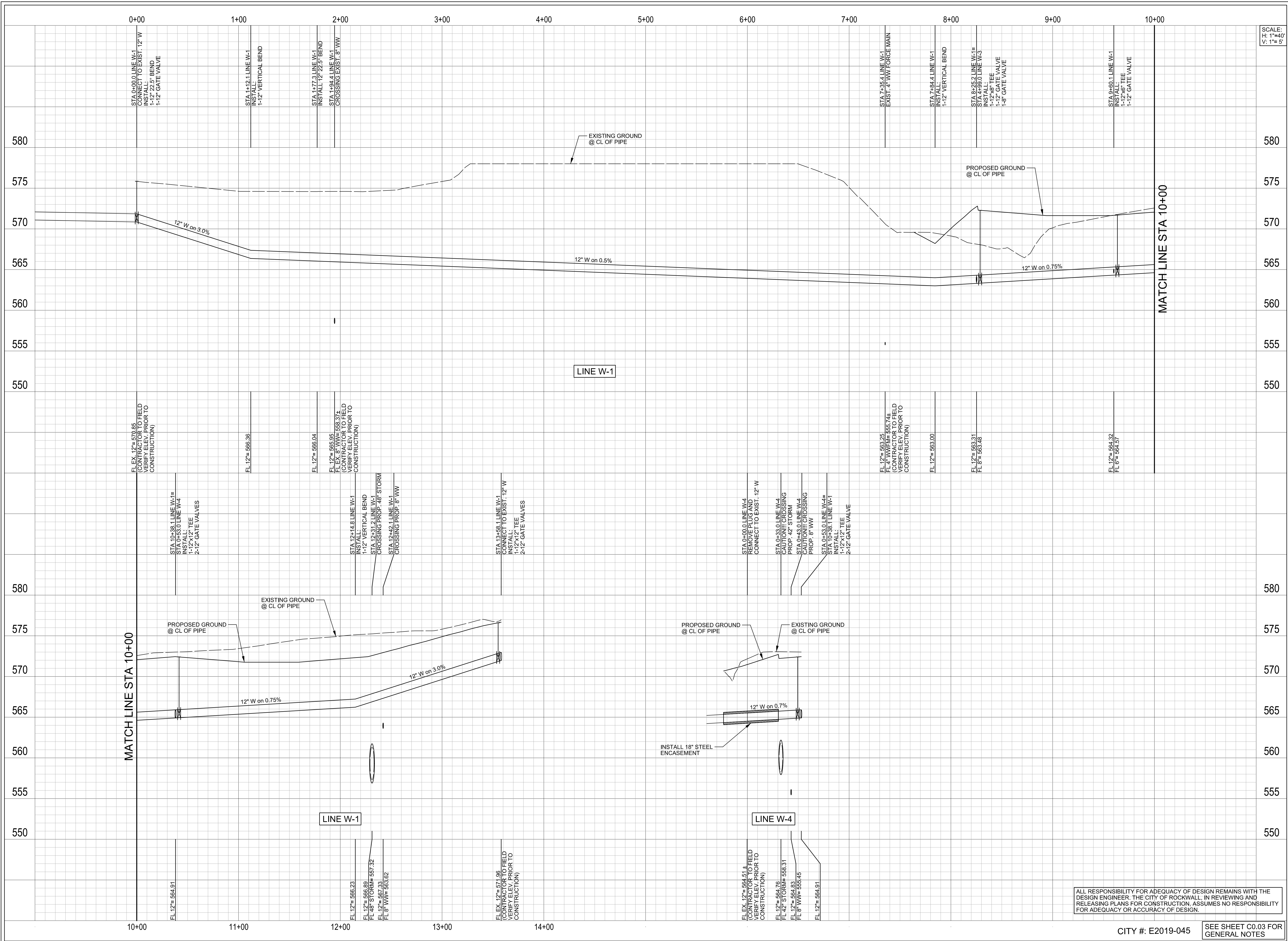
11/12/2020 10:03 AM

11/12/2020 10:03 AM

11/12/2020 10:03 AM

11/12/2020 10:03 AM

11/12/2020 10:03 AM



SCALE:  
H: 1"=40'  
V: 1"= 5'

**SPR**  
PACKAGING

SPR NORTH PHASE I  
ROCKWALL, TEXAS

**HALFF**

1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6300

Revision No.	Date	Description

**RECORD DRAWING SUBMITTAL**  
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788  
NAME Tx. P.E. NO.  
DATE 11-02-2020  
TBPE FRMMF-312

Project No.: 35533  
Issued: NOVEMBER, 2020  
Drawn By: CAD  
Checked By: MJG  
Scale: AS SHOWN  
Sheet Title

WATER PROFILE

C4.03  
Sheet Number

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY #: E2019-045

SEE SHEET C0.03 FOR GENERAL NOTES







