

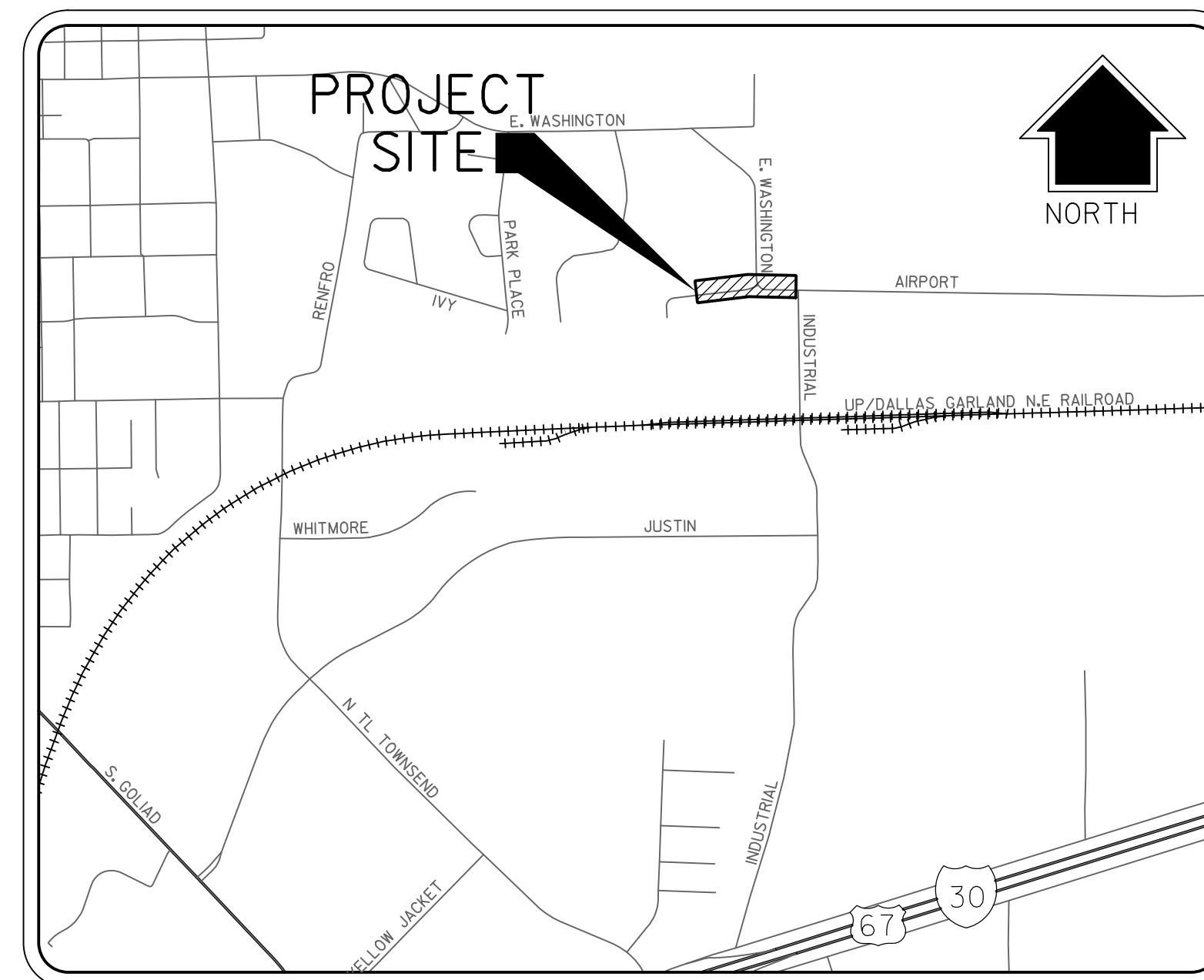
CIVIL SITE ENGINEERING

FOR

SPR NORTH PHASE I

AIRPORT ROAD IMPROVEMENTS

ROCKWALL, TEXAS



LOCATION MAP
SCALE/NOT TO SCALE

| SHEET INDEX | |
|-------------|--------------------------------|
| SHEET NO. | SHEET TITLE |
| | COVER SHEET |
| | FINAL PLAT |
| C0.01 | GENERAL NOTES |
| C0.02 | SURVEY CONTROL PLAN |
| C0.03 | DEMOLITION PLAN |
| C1.01 | PAVING PLAN & PROFILE |
| C1.02 | PAVING DETAILS |
| C1.03 | PAVING DETAILS |
| C2.01 | GRADING PLAN |
| C3.01 | DRAINAGE AREA MAP |
| C4.01 | EROSION CONTROL PLAN & DETAILS |
| C5.01 | TRAFFIC CONTROL PLAN |

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



DEVELOPER/OWNER

ALVAPLAST US DEVELOPMENT LLC
1480 JUSTIN ROAD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

ENGINEER

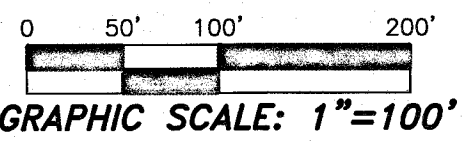
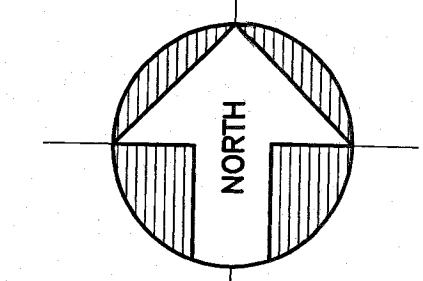
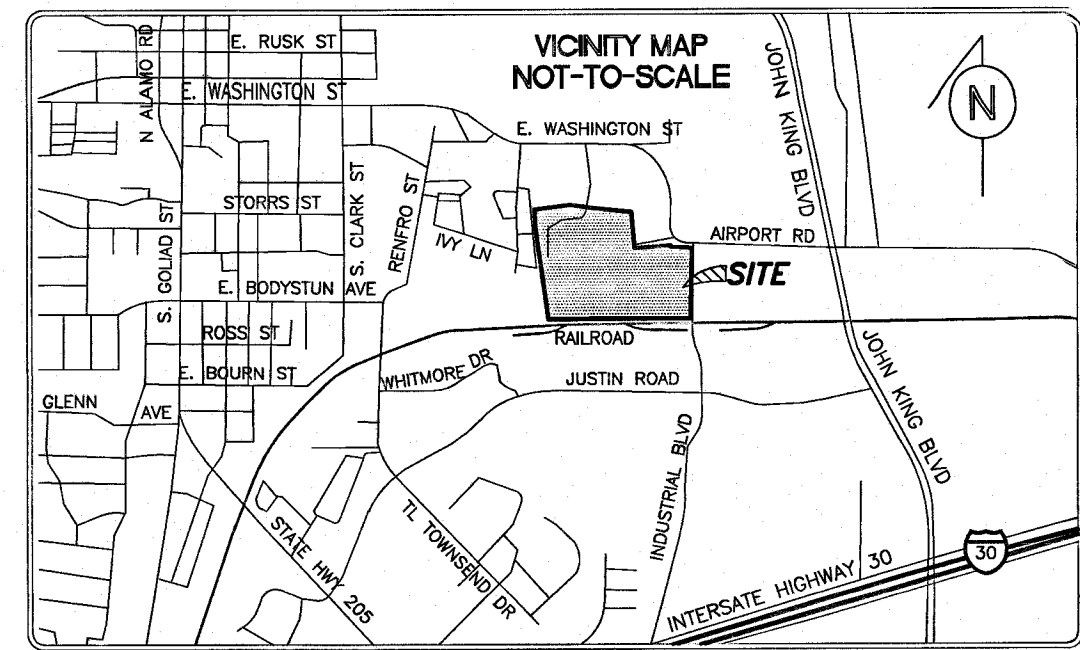
HALFF ASSOCIATES, INC.
1201 NORTH BOWSER ROAD
RICHARDSON, TX. 75081
CONTACT: MATTHEW J. GARDNER
EMAIL: MGARDNER@HALFF.COM
TEL: (214) 346-6308
TBPE FIRM# F-312



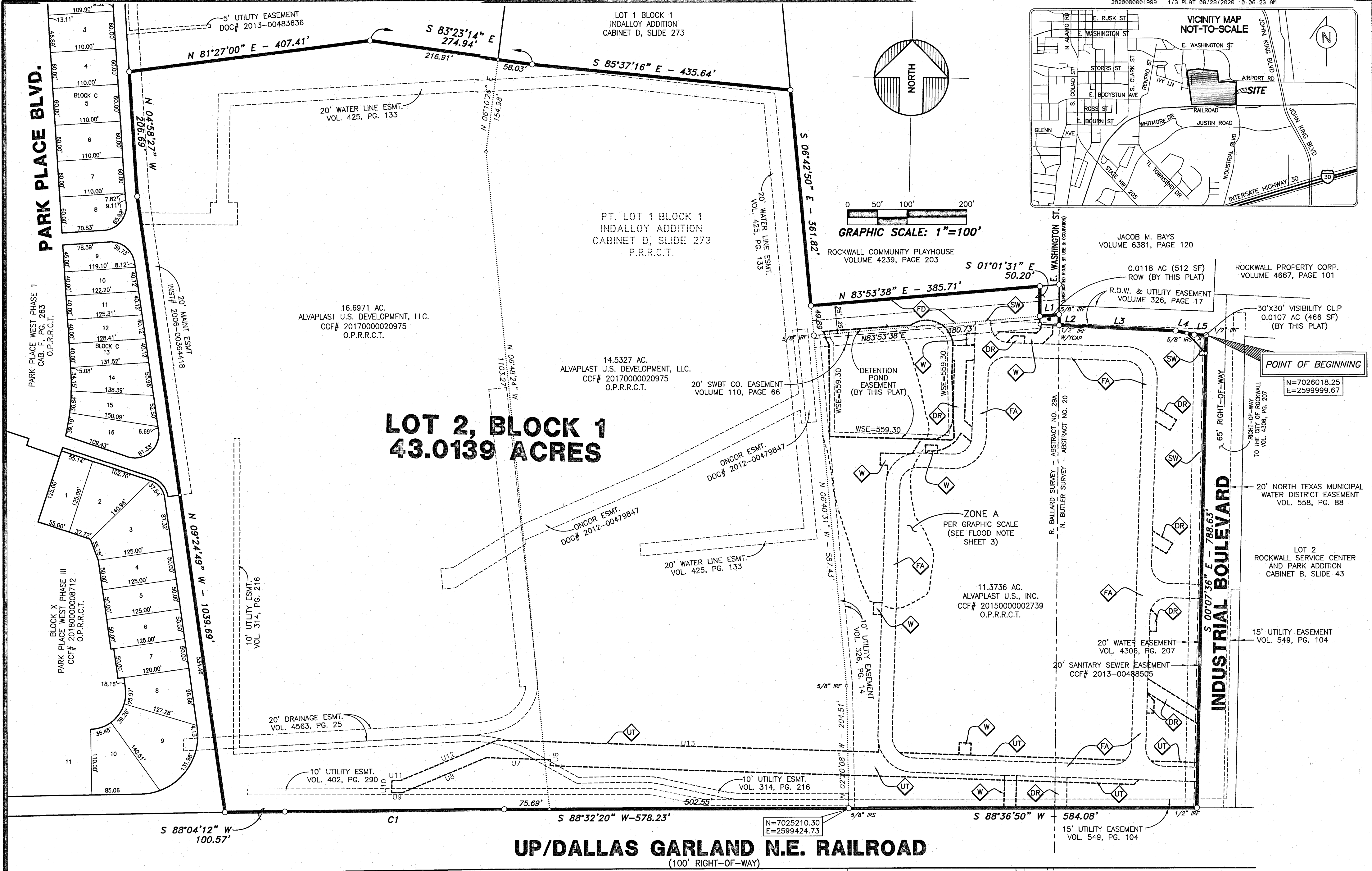
1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081-2275
TEL (214) 346-6200
FAX (214) 739-0095

RECORD DRAWING SUBMITTAL
THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPER, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130786
NAME Tx P.E. NO.
DATE 11-02-2020
TBPE FIRM# F-312



LOT 2, BLOCK 1 43.0139 ACRES



NOTE:
THE PURPOSE OF THIS PLAT IS TO CREATE 1 NEW LOT.

NOTE:
SEE PAGE 2 FOR DETAILS
SEE PAGE 3 FOR LEGEND

LOT 3 BLOCK A
WHITMORE MANUFACTURING ADDITION
CABINET H, SLIDE 239

15' UTILITY EASEMENT
VOL. 507, PG. 196

LOT 2 BLOCK A
SPR PACKAGING ADDITION
CABINET H, SLIDE 155

10' UTILITY EASEMENT
VOL. 305, PG. 112

FINAL PLAT
LOT 2, BLOCK 1
INDALLOY ADDITION
BEING A REPLAT OF PART OF LOT 1, BLOCK 1

BEING A 43.0139-ACRE PARCEL
N. BUTLER SURVEY - ABSTRACT NO. 20
R. BALLARD SURVEY - ABSTRACT NO. 29A
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

AUGUST 10, 2020

CASE NO. P2019-028

SHEET 1 OF 3



BLUE SKY SURVEYING
& MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

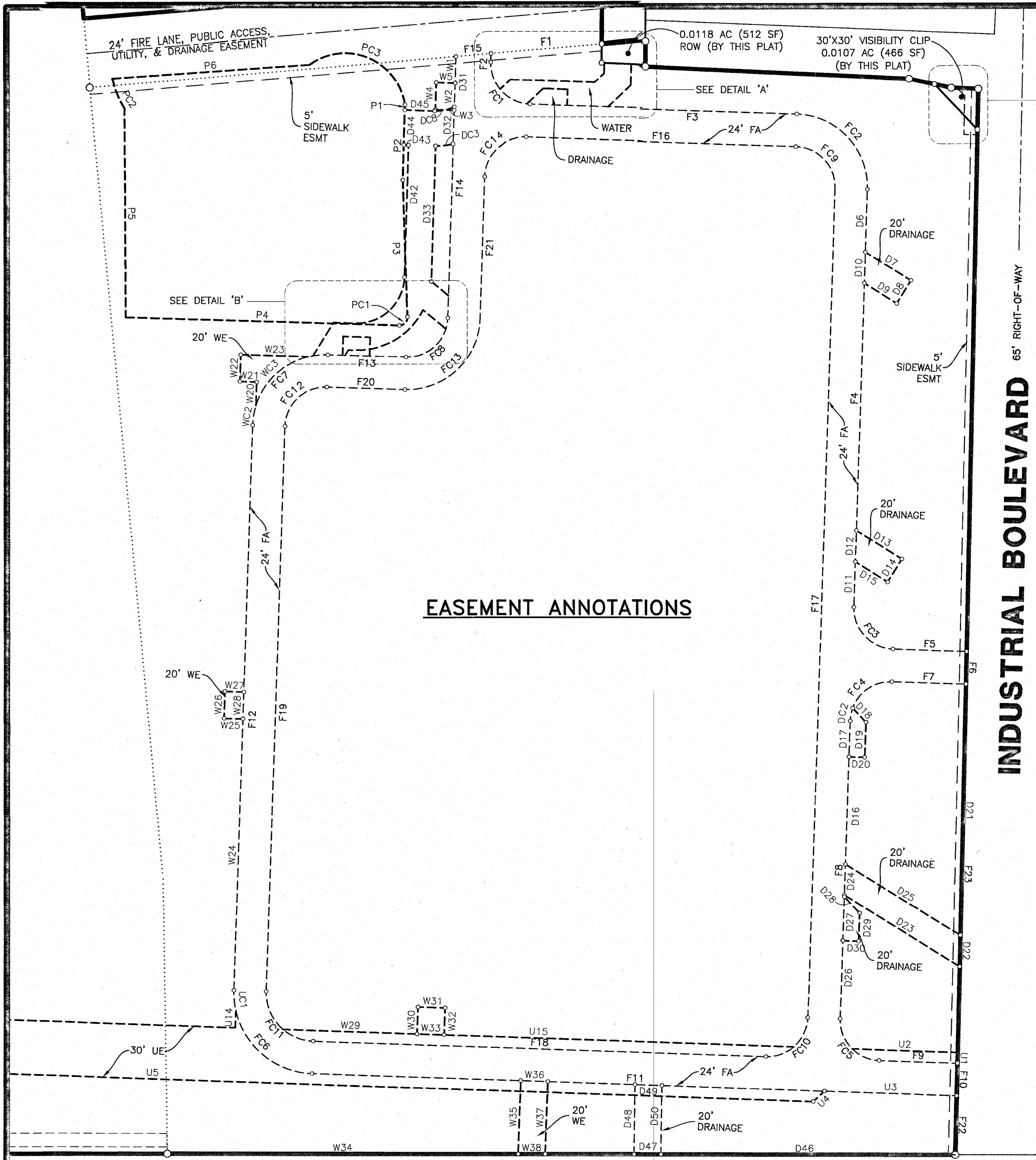
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~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| L1 | N83°53'38"E | 32.63' |
| L2 | S01°01'31"E | 17.89' |
| L3 | S88°37'46"E | 195.72' |
| L4 | S79°05'55"E | 32.05' |
| L5 | S88°51'14"E | 20.02' |

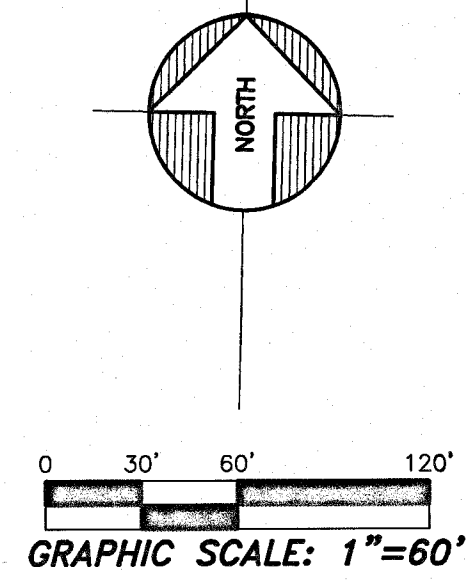
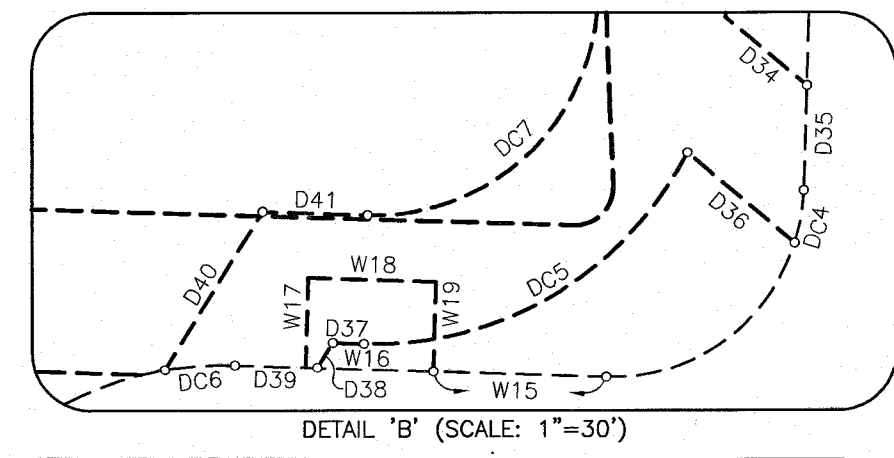
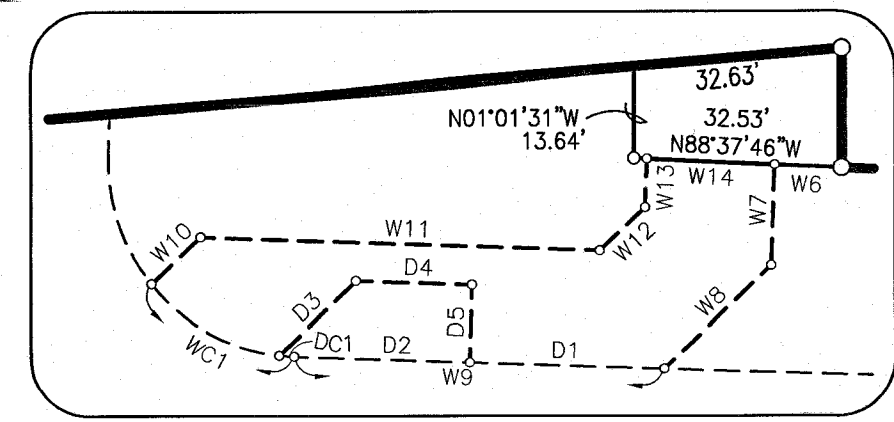
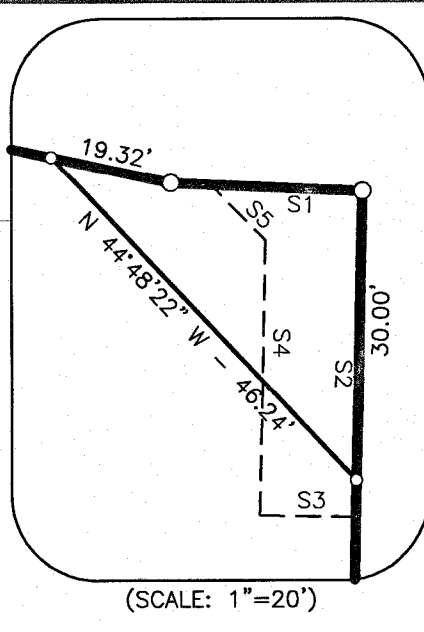
~ CURVE TABLE ~

| NO. | RADIUS | DELTA | ARC | CH. BEARING | CHORD |
|-----|-----------|----------|---------|-------------|---------|
| C1 | 21774.77' | 0°58'11" | 368.53' | S88°05'13"W | 368.51' |



EASEMENT ANNOTATIONS

INDUSTRIAL BOULEVARD
65' RIGHT-OF-WAY



~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| F1 | S83°53'38"W | 82.30' |
| F2 | S00°30'52"W | 6.28' |
| F3 | S89°29'08"E | 198.00' |
| F4 | S00°30'52"W | 309.00' |
| F5 | S89°29'08"E | 54.54' |
| F6 | S00°07'36"E | 24.00' |
| F7 | N89°29'08"W | 54.81' |
| F8 | S00°30'52"W | 221.00' |
| F9 | S89°29'08"E | 57.95' |
| F10 | S00°07'36"E | 24.00' |
| F11 | N89°29'08"W | 478.22' |
| F12 | N00°30'52"E | 419.00' |
| F13 | S89°29'08"E | 58.00' |
| F14 | N00°30'52"E | 192.27' |
| F15 | N83°53'38"E | 26.17' |
| F16 | S89°29'08"E | 200.00' |
| F17 | S00°30'52"W | 614.00' |
| F18 | N89°29'08"W | 336.00' |
| F19 | N00°30'52"E | 419.00' |
| F20 | S89°29'08"E | 58.00' |
| F21 | N00°30'52"E | 105.00' |
| F22 | N00°07'36"W | 43.86' |
| F23 | N00°07'36"W | 281.02' |

~ CURVE TABLE ~

| NO. | RADIUS | DELTA | ARC | CH. BEARING | CHORD |
|------|--------|-----------|--------|-------------|--------|
| FC1 | 30.00' | 90°00'00" | 47.12' | S44°29'08"E | 42.43' |
| FC2 | 54.00' | 90°00'00" | 84.82' | N44°29'08"W | 76.37' |
| FC3 | 30.00' | 90°00'00" | 47.12' | S44°29'08"E | 42.43' |
| FC4 | 30.00' | 90°00'00" | 47.12' | S45°30'52"W | 42.43' |
| FC5 | 30.00' | 90°00'00" | 47.12' | S44°29'08"E | 42.43' |
| FC6 | 60.00' | 90°00'00" | 94.25' | S44°29'08"E | 84.85' |
| FC7 | 54.00' | 90°00'00" | 84.82' | S45°30'52"W | 76.37' |
| FC8 | 30.00' | 90°00'00" | 47.12' | N45°30'52"E | 42.43' |
| FC9 | 30.00' | 90°00'00" | 47.12' | N44°29'08"W | 42.43' |
| FC10 | 30.00' | 90°00'00" | 47.12' | N45°30'52"E | 42.43' |
| FC11 | 36.00' | 90°00'00" | 56.55' | S44°29'08"E | 50.91' |
| FC12 | 30.00' | 90°00'00" | 47.12' | S45°30'52"W | 42.43' |
| FC13 | 54.00' | 90°00'00" | 84.82' | N45°30'52"E | 76.37' |
| FC14 | 30.00' | 90°00'00" | 47.12' | S45°30'52"W | 42.43' |

~ CURVE TABLE ~

| NO. | RADIUS | DELTA | ARC | CH. BEARING | CHORD |
|-----|--------|-----------|--------|-------------|--------|
| WC1 | 30.00' | 48°46'36" | 25.54' | S65°05'50"E | 24.78' |
| WC2 | 54.00' | 18°38'34" | 14.74' | S08°20'09"W | 14.70' |
| WC3 | 54.00' | 58°42'54" | 55.34' | S45°30'52"W | 52.95' |

~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| W1 | S00°31'14"W | 19.58' |
| W2 | S00°30'30"W | 20.00' |
| W3 | N89°29'08"W | 14.00' |
| W4 | N00°30'52"E | 20.00' |
| W5 | S89°29'08"E | 14.00' |
| W6 | N88°37'46"W | 10.48' |
| W7 | S00°30'52"E | 15.56' |
| W8 | S45°30'52"W | 22.98' |
| W9 | N89°29'08"W | 57.91' |
| W10 | N45°30'52"E | 10.50' |
| W11 | S89°29'08"E | 62.42' |
| W12 | N45°30'52"E | 9.73' |
| W13 | N00°30'52"E | 7.58' |
| W14 | S88°37'46"E | 20.00' |
| W15 | N89°29'08"W | 27.00' |
| W16 | N89°29'08"W | 20.00' |
| W17 | N00°30'52"E | 14.00' |
| W18 | S89°29'08"E | 20.00' |
| W19 | S00°30'52"W | 14.00' |
| W20 | N00°30'52"E | 17.44' |
| W21 | N89°29'08"W | 12.50' |
| W22 | N00°30'52"E | 20.00' |
| W23 | S89°29'08"E | 49.94' |
| W24 | N00°30'52"E | 201.50' |
| W25 | N89°29'08"W | 14.00' |
| W26 | N00°30'52"E | 20.00' |
| W27 | S89°29'08"E | 14.00' |
| W28 | S00°30'52"W | 20.00' |
| W29 | S89°29'08"E | 99.51' |
| W30 | N00°30'52"E | 20.00' |
| W31 | S89°29'08"E | 20.00' |
| W32 | S00°30'52"W | 20.00' |
| W33 | N89°29'08"W | 20.00' |
| W34 | N88°36'50"E | 260.10' |
| W35 | N00°30'52"E | 54.60' |
| W36 | S89°29'08"E | 20.00' |
| W37 | S00°30'52"W | 53.94' |
| W38 | S88°36'50"W | 20.01' |

~ CURVE TABLE ~

| NO. | RADIUS | DELTA | ARC | CH. BEARING | CHORD |
|-----|--------|-----------|--------|-------------|--------|
| DC1 | 30.00' | 4°28'41" | 2.34' | S87°14'48"E | 2.34' |
| DC2 | 30.00' | 18°40'57" | 9.78' | S09°51'20"W | 9.74' |
| DC3 | 57.50' | 13°06'41" | 13.16' | N82°27'31"E | 13.13' |
| DC4 | 30.00' | 15°49'01" | 8.28' | N08°25'23"E | 8.26' |
| DC5 | 55.00' | 64°31'05" | 61.93' | N58°15'20"E | 58.71' |
| DC6 | 54.00' | 11°40'16" | 11.00' | S84°40'44"W | 10.98' |
| DC7 | 35.00' | 90°00'00" | 54.98' | N45°30'52"E | 49.50' |
| DC8 | 32.50' | 26°30'27" | 15.04' | N77°15'39"E | 14.90' |

~ CURVE TABLE ~

| NO. | RADIUS | DELTA | ARC | CH. BEARING | CHORD |
|-----|--------|------------|--------|-------------|--------|
| PC1 | 6.00' | 9°33'46" | 9.80' | N43°33'07"E | 8.74' |
| PC2 | 70.00' | 19°35'53" | 23.94' | S23°41'41"E | 23.83' |
| PC3 | 45.00' | 116°49'39" | 91.76' | N68°48'02"W | 76.67' |

~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| U1 | N00°07'36"W | 8.00' |
| U2 | N89°29'08"W | 78.26' |
| U3 | N89°29'08"W | 98.08' |
| U4 | S45°30'52"W | 11.31' |
| U5 | N89°29'08"W | 980.39' |
| U6 | N00°30'52"E | 10.00' |
| U7 | N89°29'08"W | 107.54' |
| U8 | S66°07'29"W | 152.92' |
| U9 | S88°37'29"W | 17.79' |
| U10 | N00°30'52"E | 20.01' |
| U11 | N88°37'29"E | 13.15' |
| U12 | N66°07'29"E | 177.48' |
| U13 | N89°29'08"E | 640.06' |
| U14 | N00°30'52"E | 12.64' |
| U15 | N89°29'08"W | 379.02' |

~ CURVE TABLE ~

| NO. | RADIUS | DELTA | ARC | CH. BEARING | CHORD |
|-----|--------|-----------|--------|-------------|--------|
| UC1 | 60.00' | 14°50'08" | 15.54' | S06°54'12"E | 15.49' |

~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| D1 | N89°29'08"W | 30.41' |
| D2 | N89°29'08"W | 27.50' |
| D3 | N45°30'52"E | 16.49' |
| D4 | S89°29'08"E | 18.18' |
| D5 | S00°30'52"W | 11.75' |
| D6 | S00°30'52"W | 46.12' |
| D7 | S59°29'08"E | 39.79' |
| D8 | S30°30'52"W | 20.00' |
| D9 | N59°29'08"W | 28.25' |
| D10 | N00°30'52"E | 23.09' |
| D11 | N00°30'52"E | 33.54' |
| D12 | N00°30'52"E | 23.09' |
| D13 | S59°29'08"E | 39.79' |
| D14 | S30°30'52"W | 20.00' |
| D15 | N59°29'08"W | 28.25' |
| D16 | N00°30'52"E | 79.39' |
| D17 | N00°30'52"E | 26.58' |
| D18 | S44°29'08"E | 50.91' |
| D19 | S00°30'52"W | 26.02' |
| D20 | N89°29'08"W | 11.75' |
| D21 | S00°07'36"E | 186.15' |
| D22 | S00°07'36"E | 23.25' |
| D23 | N59°29'08"W | 100.63' |
| D24 | N00°30'52"E | 23.09' |
| D25 | S59°29'08"E | 100.33' |
| D26 | N00°30'52"E | 57.87' |
| D27 | N00°30'52"E | 32.77' |
| D28 | S44°29'08"E | 16.62' |
| D29 | S00°30'52"W | 21.02' |
| D30 | N89°29'08"W | 11.75' |
| D31 | S00°30'52"W | 37.09' |
| D32 | S00°30'52"W | 26.56' |
| D33 | S00°30'52"W | 100.21' |
| D34 | S51°21'04"E | 16.53' |
| D35 | S00°30'52"W | 16.36' |
| D36 | N51°21'04"W | 21.89' |
| D37 | N89°29'08"W | 4.88' |
| D38 | S30°30'52"W | 4.62' |
| D39 | N89°29'08"W | 12.81' |
| D40 | N30°30'52"E | 29.00' |
| D41 | S89°29'08"E | 16.42' |
| D42 | N00°30'52"E | 97.76' |
| D43 | N89°29'08"W | 3.54' |
| D44 | N00°26'49"E | 25.00' |
| D45 | S89°29'08"E | 22.06' |
| D46 | S88°36'50"W | 218.14' |
| D47 | S88°36'50"W | 20.00' |
| D48 | N00°46'11"W | 51.77' |
| D49 | S89°29'08"E | 20.01' |
| D50 | S00°46'11"E | 51.10' |

~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| P1 | S00°26'49"W | 3.92' |
| P2 | S00°26'49"W | 50.98' |
| P3 | S03°13'45"E | 101.15' |
| P4 | N89°40'00"W | 202.79' |
| P5 | N01°36'22"W | 153.52' |
| P6 | N84°42'53"E | 146.56' |

~ LINE TABLE ~

| NO. | BEARING | DISTANCE |
|-----|-------------|----------|
| S1 | S88°51'14"E | 15.88' |
| S2 | S00°07'36"E | 33.81' |
| S3 | S89°52'24"W | 10.00' |
| S4 | N00°07'36"W | 28.50' |
| S5 | N46°11'12"W | 8.16' |

FINAL PLAT
LOT 2, BLOCK 1
INDALLOY ADDITION
BEING A REPLAT OF PART OF LOT 1, BLOCK 1
BEING A 43.0139-ACRE PARCEL
N. BUTLER SURVEY - ABSTRACT NO. 20
R. BALLARD SURVEY - ABSTRACT NO. 29A
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



BLUE SKY
SURVEYING & MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
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TEL: 469-402-1232

AUGUST 10, 2020

CASE NO. P2019-028

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ALVAPLAST U.S., INC., A DELAWARE CORPORATION, AND ALVAPLAST U.S. DEVELOPMENT, LLC., ARE THE OWNERS OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1, BLOCK 1, INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID TRACT BEING THE SAME 11.3736 ACRE TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 215000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING THE SAME 14.53 ACRE TRACT OF LAND DESCRIBED AS TRACT 1 AND 16.69 ACRE TRACT OF LAND DESCRIBED AS TRACT 2 IN GENERAL WARRANTY DEED TO ALVAPLAST U.S. DEVELOPMENT, LLC., IN INSTRUMENT NUMBER 2017000020975 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD WITH "POGUE ENG & DEV" CAP FOUND AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF ALUMINUM PLANT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD FOR A DISTANCE OF 788.63 FEET TO A 1/2" IRON ROD WITH "POGUE ENG & DEV" CAP FOUND FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

THENCE SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 584.08 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE SOUTHEAST CORNER OF SAID LOT 1 IN BLOCK 1;

THENCE SOUTH 88° 32' 20" WEST AND ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1, PASSING AT A DISTANCE OF 502.55, THE SOUTHWEST CORNER OF SAID LOT 1 IN BLOCK 1, SAID POINT ALSO BEING THE COMMON CORNER FOR SAID 14.53 ACRE AND 16.69 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 578.23' TO A POINT FOR CORNER, SAID POINT ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00° 58' 11" WITH A RADIUS OF 21,774.77 FEET AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET;

THENCE SOUTHWESTERLY AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT, AND ALONG SAID CURVE TO THE RIGHT FOR AN ARC DISTANCE OF 368.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET;

THENCE SOUTH 88° 04' 12" WEST AND CONTINUING ALONG THE SOUTH LINE OF SAID 16.69 ACRE TRACT FOR A DISTANCE OF 100.57 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE SOUTHWEST CORNER OF SAID 16.69 ACRE TRACT, AND BEING THE SOUTHEAST CORNER OF PARK PLACE WEST PHASE III ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN COUNTY CLERK'S FILE NUMBER 2018000008712 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 09° 24' 49" WEST AND ALONG THE WEST LINE OF SAID 16.69 ACRE TRACT AND ALONG THE EAST LINE OF SAID PARK PLACE WEST PHASE III ADDITION, PASSING AT A DISTANCE OF 534.46 FEET A NORTHEAST CORNER OF SAID PARK PLACE WEST PHASE III ADDITION, SAME BEING A SOUTHEAST CORNER OF PARK PLACE WEST PHASE II ADDITION, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT THEREOF, RECORDED IN CABINET F, PAGE 263 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, AND CONTINUING FOR A TOTAL DISTANCE OF 1,039.69 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE NORTH 04° 58' 27" WEST FOR A DISTANCE OF 206.69 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE NORTHWEST CORNER OF SAID 16.69 ACRE TRACT;

THENCE NORTH 81° 27' 00" EAST FOR A DISTANCE OF 407.41 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE NORTHERN-MOST CORNER OF SAID 16.69 ACRE TRACT;

THENCE SOUTH 83° 23' 14" EAST AND CONTINUING ALONG THE NORTH LINE OF SAID 16.69 ACRE TRACT, PASSING AT A DISTANCE OF 216.91 FEET THE COMMON CORNER OF SAID 16.69 ACRE AND 14.53 ACRE TRACTS, AND CONTINUING FOR A TOTAL DISTANCE OF 274.94' TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 85° 37' 16" EAST AND FOLLOWING ALONG THE NORTH LINE OF SAID 14.53 ACRE TRACT FOR A DISTANCE OF 435.64' TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR THE NORTHEAST CORNER OF SAID 14.53 ACRE TRACT;

THENCE SOUTH 06° 42' 50" EAST FOR A DISTANCE OF 361.82 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE NORTH 83° 53' 38" EAST FOR A DISTANCE OF 385.71 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 50.20 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 83° 53' 38" EAST FOR A DISTANCE OF 32.63 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A 1/2" IRON ROD WITH YELLOW CAP FOUND FOR CORNER;

THENCE SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 43.0139 ACRES (1,873,684 SQUARE FEET) OF LAND, MORE OR LESS.

LEGEND

O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
IRS 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET
IRF IRON ROD FOUND

OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC.
1480 JUSTIN RD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 2, BLOCK 1, INDALLOY ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN INDALLOY ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING;

(1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

(7) PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RECONSTRUCTION OF ALL SYSTEMS IN DRAINAGE AND DETENTION EASEMENTS.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREOF ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE ___ DAY OF ___ 2020.

ALVAPLAST U.S. DEVELOPMENT, LLC.

ALVAPLAST U.S. INC.

BY: [Signature]

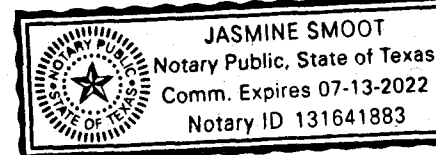
BY: [Signature]

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Signature], KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 25 DAY OF August, 2020.

Jasmine Smoot
Notary Public, State of Texas
Comm. Expires 07-13-2022
Notary ID 131641883

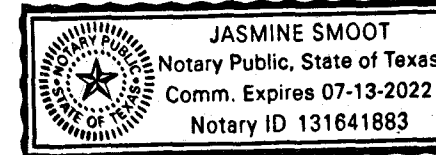


STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Signature], KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 25 DAY OF August, 2020.

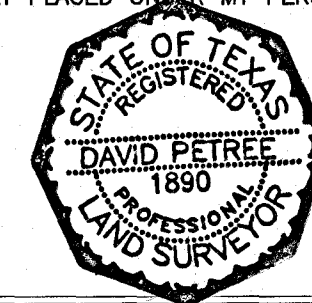
Jasmine Smoot
Notary Public, State of Texas
Comm. Expires 07-13-2022
Notary ID 131641883



SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890



FLOOD NOTE

THE SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE DATE: SEPTEMBER 26, 2008. ALL OF THE SUBJECT PROPERTY IS INDICATED TO BE IN ZONE "X" AND ZONE "A" ON SAID MAP. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:

ZONE "X" - OTHER AREAS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

ZONE "A" - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD: NO BASE FLOOD ELEVATIONS DETERMINED.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

APPROVED

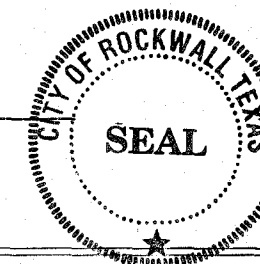
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___ 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS 26th DAY OF August, 2020.

[Signature]
MAYOR, CITY OF ROCKWALL

[Signature]
CITY SECRETARY



[Signature]
CITY ENGINEER

PROPOSED EASEMENTS BY THIS PLAT

- FD FIRE LANE, PUBLIC ACCESS, UTILITY, & DRAINAGE EASEMENT
FA 24' FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
UT UTILITY EASEMENT
W WATER EASEMENT
DR DRAINAGE EASEMENT
SW SIDEWALK EASEMENT

Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
08/28/2020 10:06:23 AM
\$150.00
2020000019991



[Signature]

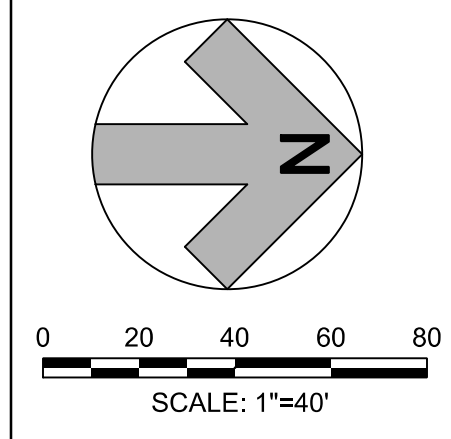
FINAL PLAT
LOT 2, BLOCK 1
INDALLOY ADDITION
BEING A REPLAT OF PART OF LOT 1, BLOCK 1
BEING A 43.0139-ACRE PARCEL
N. BUTLER SURVEY - ABSTRACT NO. 20
R. BALLARD SURVEY - ABSTRACT NO. 29A
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

AUGUST 10, 2020

CASE NO. P2019-028



BLUE SKY SURVEYING & MAPPING CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700



SPR PACKAGING
 SPR NORTH PHASE I
 AIRPORT ROAD IMPROVEMENTS
 ROCKWALL, TEXAS

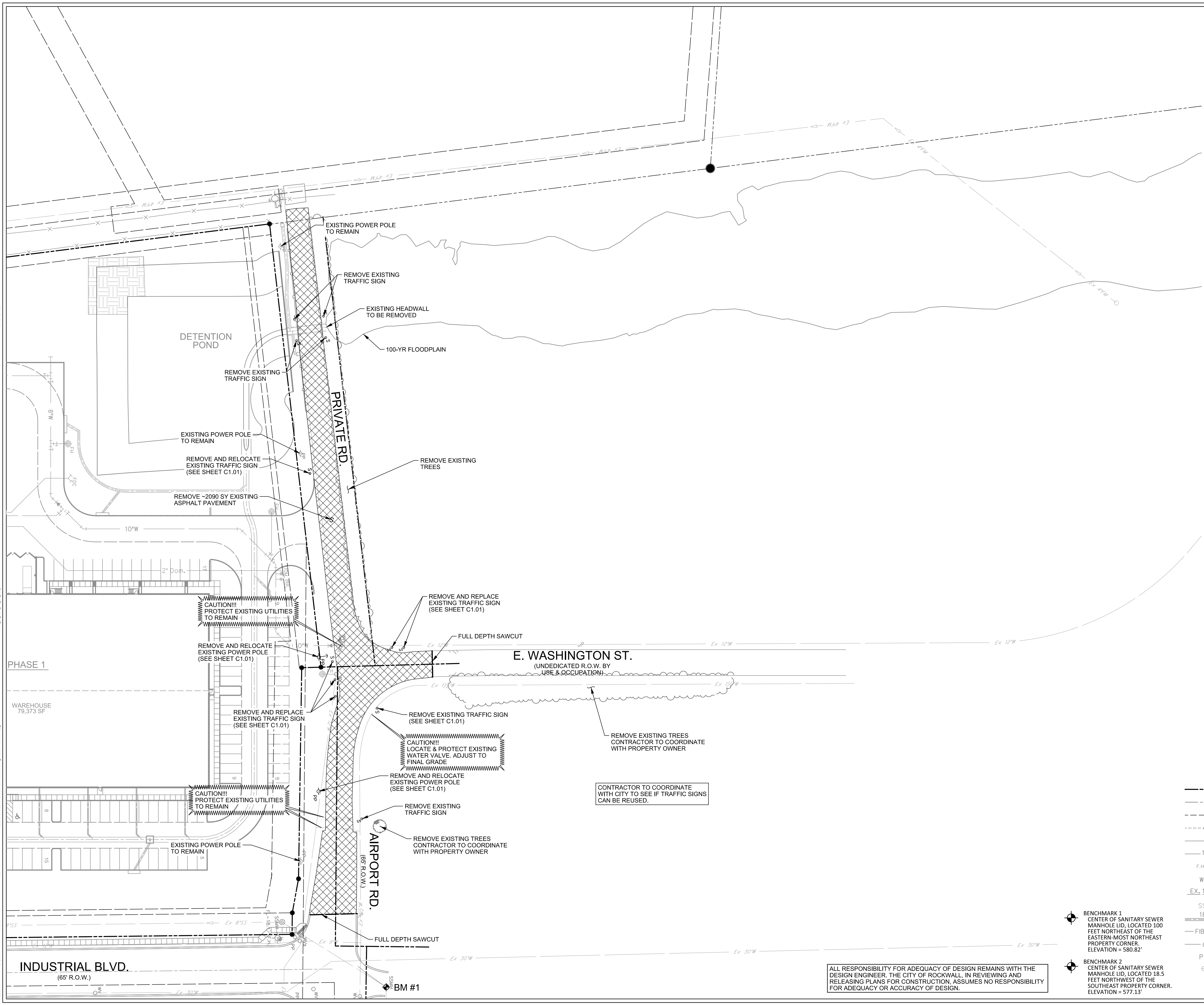
HALFF
 1201 NORTH BOWSER ROAD
 RICHARDSON, TX 75081-2275
 (214) 346-6500

| Revision No. | Date | Description |
|--------------|------|-------------|
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| | | |
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| | | |

RECORD DRAWING SUBMITTAL
 THIS RECORD DRAWING IS BASED UPON INFORMATION PROVIDED BY CONTRACTORS, DEVELOPERS, SURVEY AND FIELD OBSERVATIONS. THIS INFORMATION MAY INCLUDE MODIFICATIONS RESULTING FROM ADDENDA AND CHANGE ORDERS. THIS RECORD DRAWING SUBMITTAL IS DIFFERENT FROM THE ORIGINAL SEALED CONSTRUCTION DRAWINGS WHICH ARE ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC.

MATTHEW J. GARDNER 130788
 NAME Tx. P.E. NO.
 DATE 11-02-2020
 TBPE FRMMF-312

| | |
|--------------|-----------------|
| Project No.: | 35533 |
| Issued: | NOVEMBER, 2020 |
| Drawn By: | CAD |
| Checked By: | MJG |
| Scale: | AS SHOWN |
| Sheet Title | DEMOLITION PLAN |
| Sheet Number | C0.03 |



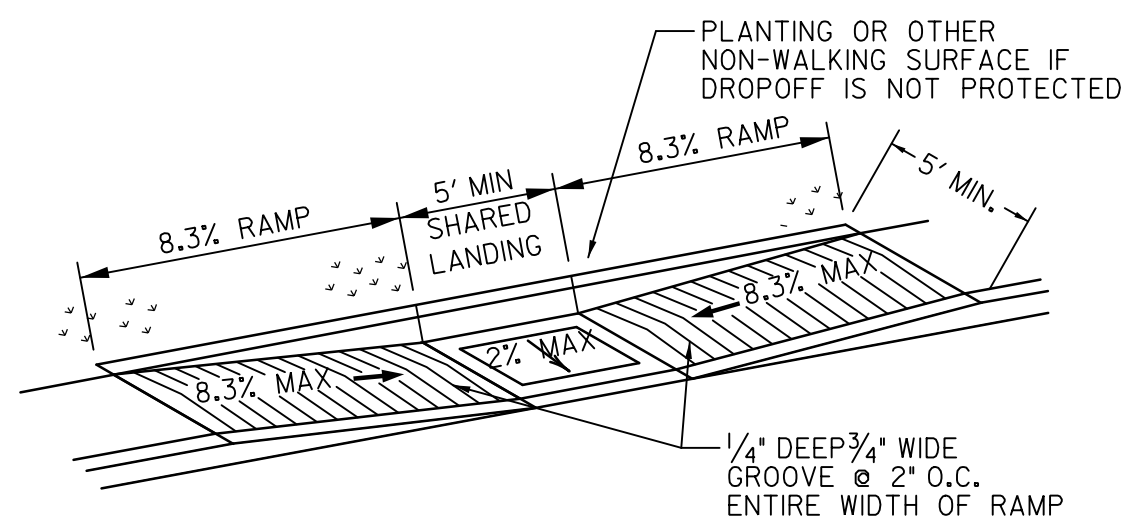
- EXISTING LEGEND**
- PROPERTY LINE
 - LOT LINE
 - EASEMENT LINE
 - 449 --- EXISTING CONTOUR
 - X --- EXISTING FENCE
 - 12"W --- EXISTING WATER LINE
 - F.H. --- EXISTING FIRE HYDRANT
 - WV --- EXISTING WATER VALVE
 - EX. 10" WW --- EXISTING WASTEWATER LINE
 - SSMH --- EXISTING SANITARY SEWER MANHOLE
 - 18" RCP --- EXISTING STORM SEWER
 - FIB OPT --- EXISTING FIBER OPTIC
 - OHE --- EXISTING OVERHEAD ELECTRIC
 - PP --- EXISTING POWER POLE
 - EXISTING GUY WIRE

● BENCHMARK 1
 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 100
 FEET NORTHEAST OF THE
 EASTERN-MOST NORTHEAST
 PROPERTY CORNER.
 ELEVATION = 580.82'

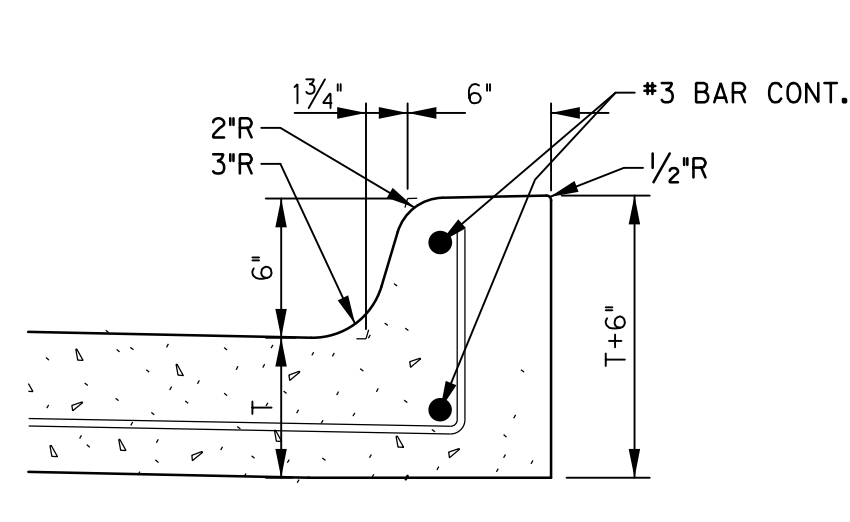
● BENCHMARK 2
 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 18.5
 FEET NORTHWEST OF THE
 SOUTHEAST PROPERTY CORNER.
 ELEVATION = 577.13'

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

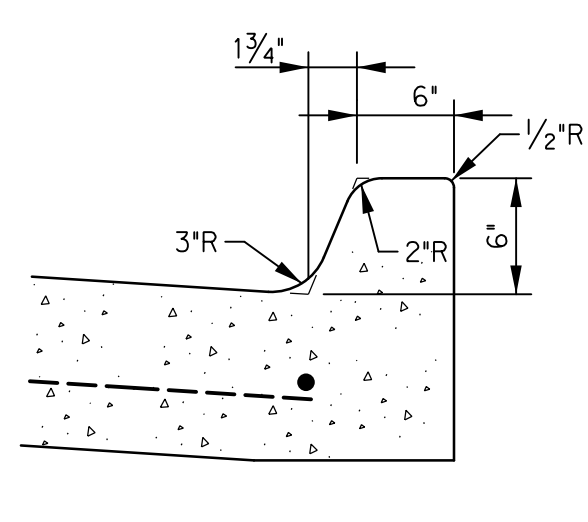
SEE SHEET C0.01 FOR
 GENERAL NOTES



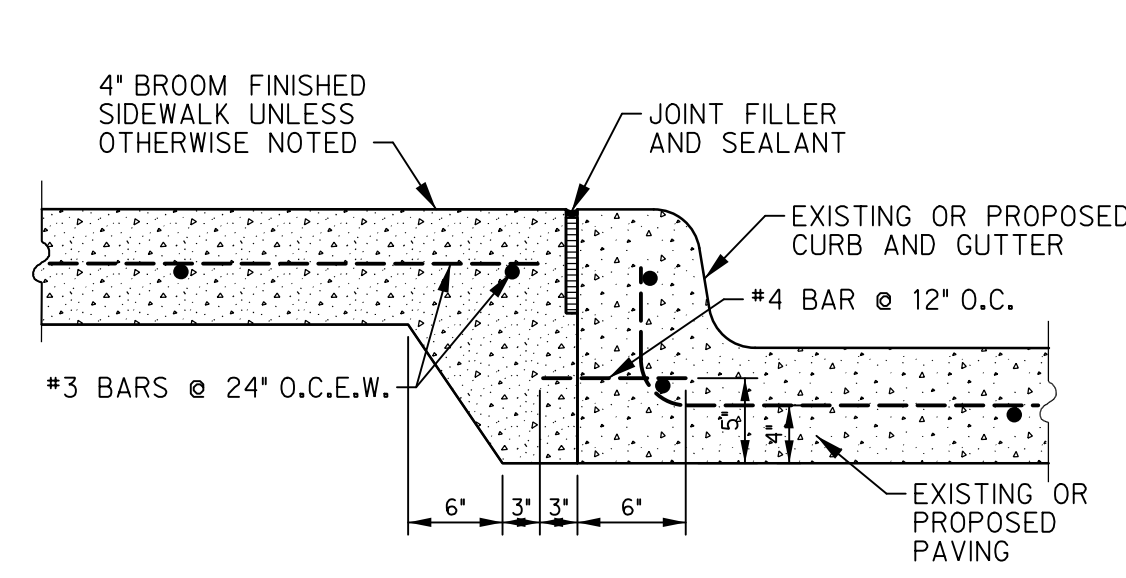
01 PARALLEL CURB RAMP W/CURB
N.T.S.



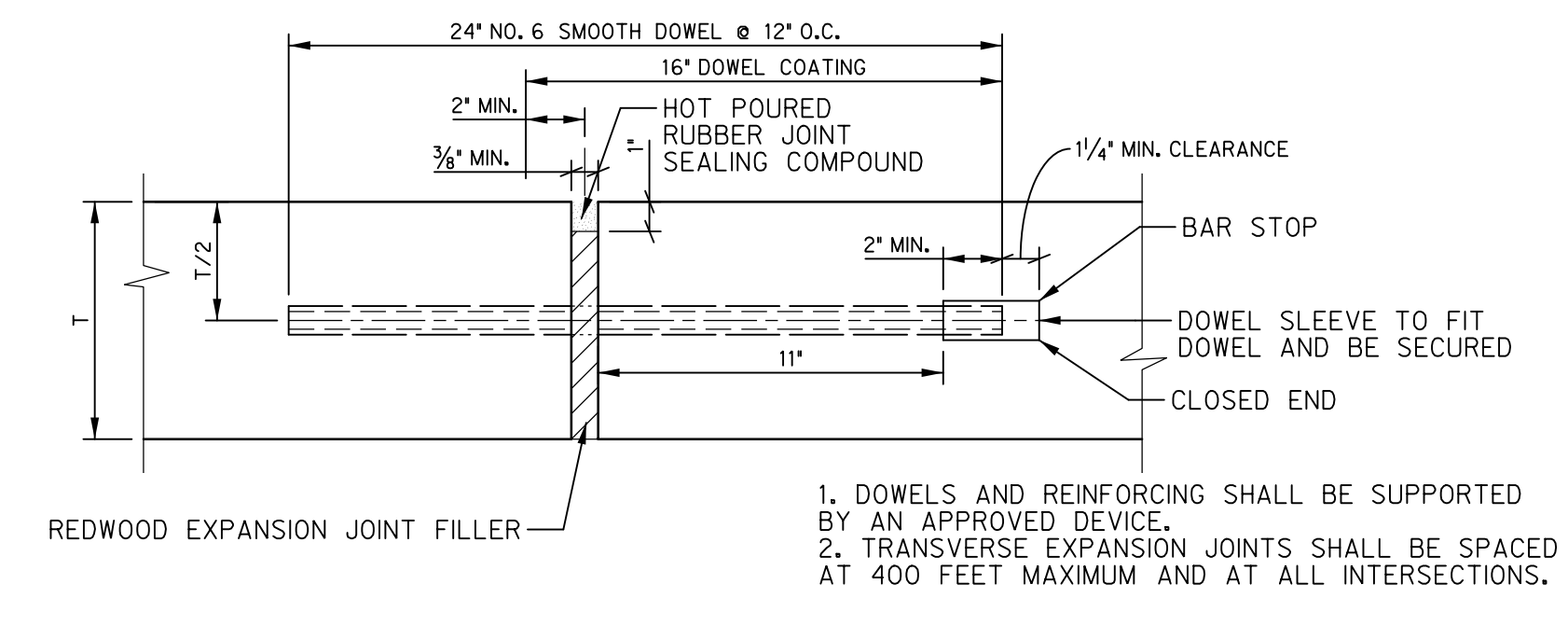
02 INTEGRAL CURB DETAIL
N.T.S.



03 MONOLITHIC CURB
N.T.S.

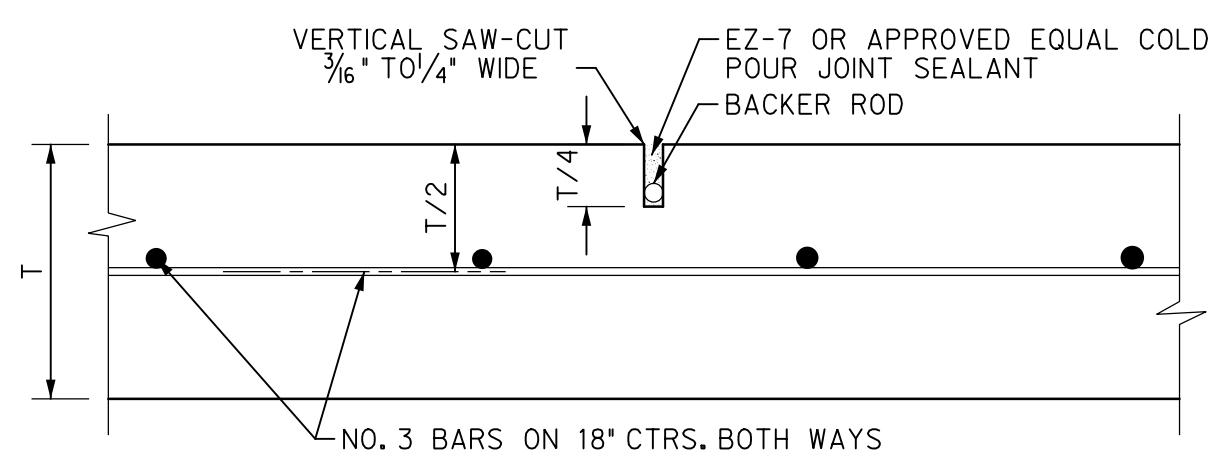


04 TYPICAL CURB JOINT
N.T.S.

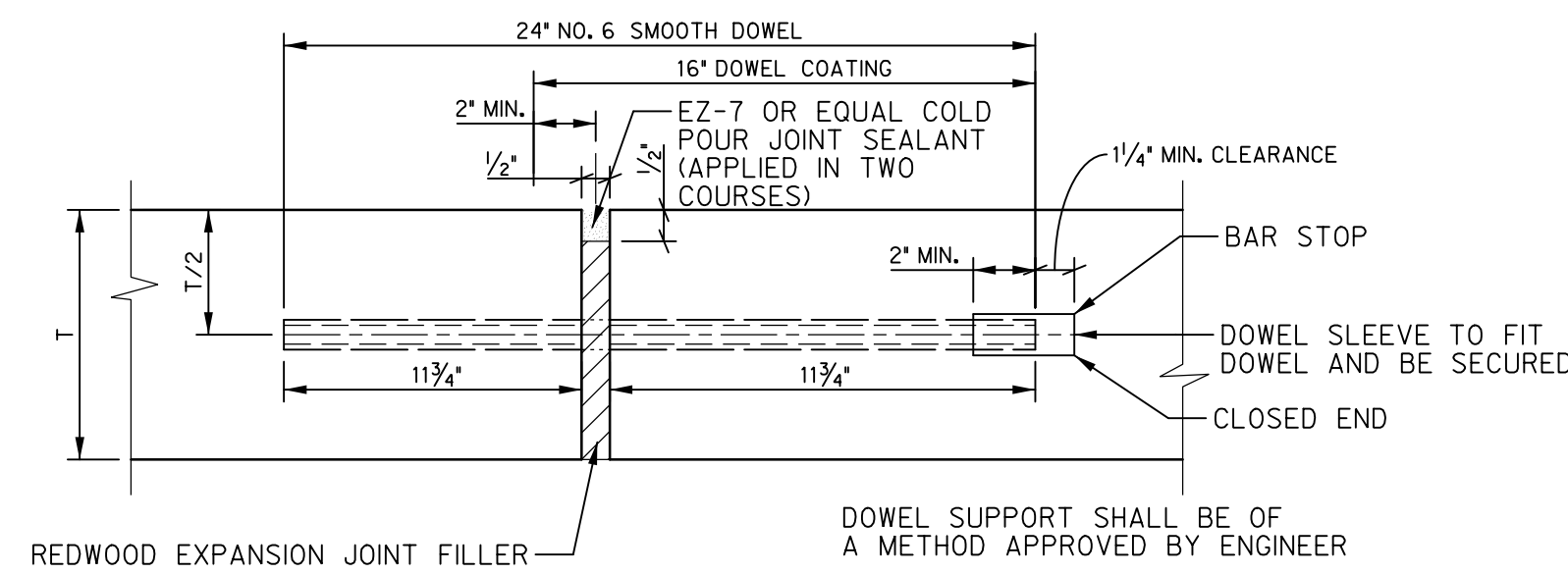


05 TRANSVERSE EXPANSION JOINT
N.T.S.

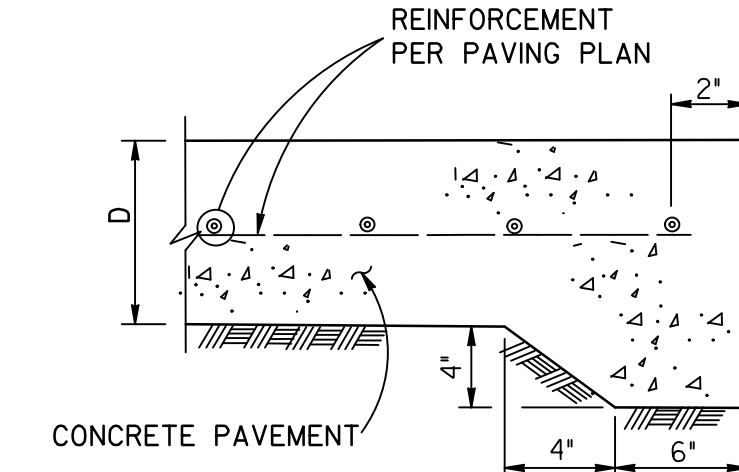
1. DOWELS AND REINFORCING SHALL BE SUPPORTED BY AN APPROVED DEVICE.
2. TRANSVERSE EXPANSION JOINTS SHALL BE SPACED AT 400 FEET MAXIMUM AND AT ALL INTERSECTIONS.



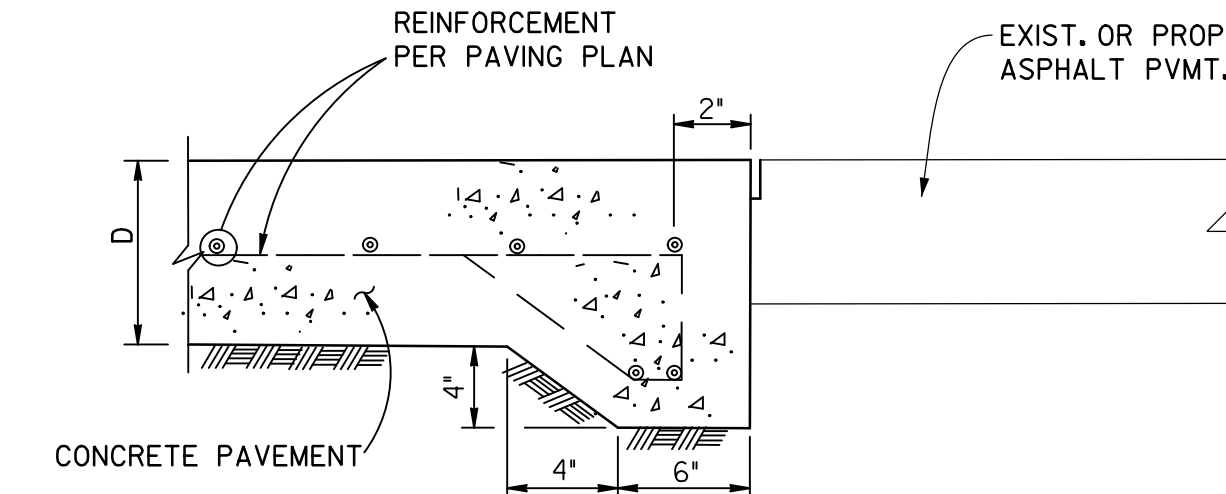
06 SAWED DUMMY JOINT AT ALL EXTERIOR PAVING
N.T.S.



07 EXPANSION JOINT
N.T.S.

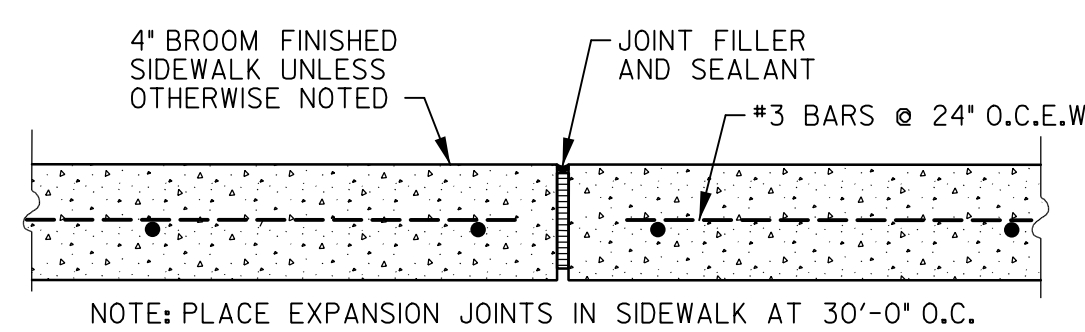


08 STANDARD CONCRETE PAVING HEADER
N.T.S.

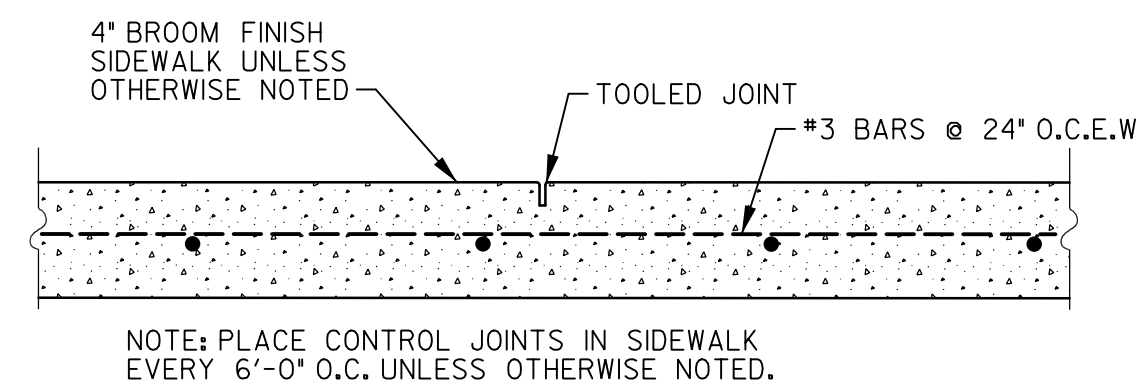


09 CONCRETE TO ASPHALT TRANSITION
N.T.S.

NOTE:
SAWCUT EXIST. ASPHALT PVMT. (1') AND VERIFY THAT HEADER IS DEEPER THAN ASPHALT SECTION. PLACE PROP. CONC. AGAINST CLEAN SAWN EDGE.
NO EXPANSION MATERIAL.

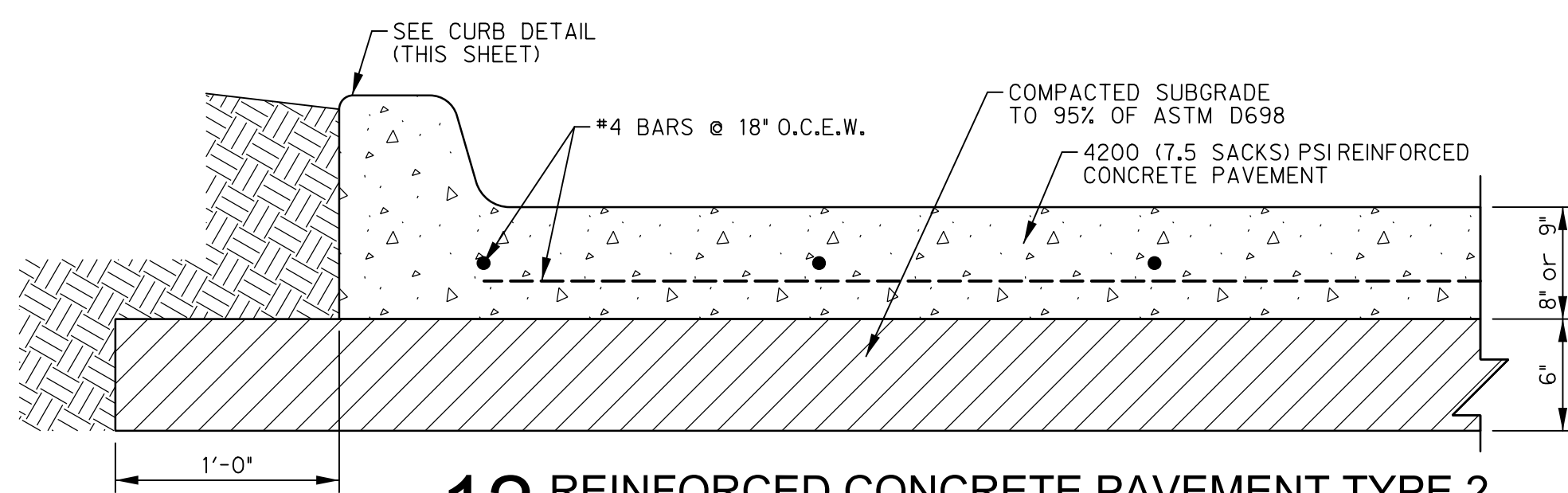


10 SIDEWALK EXPANSION JOINT
N.T.S.

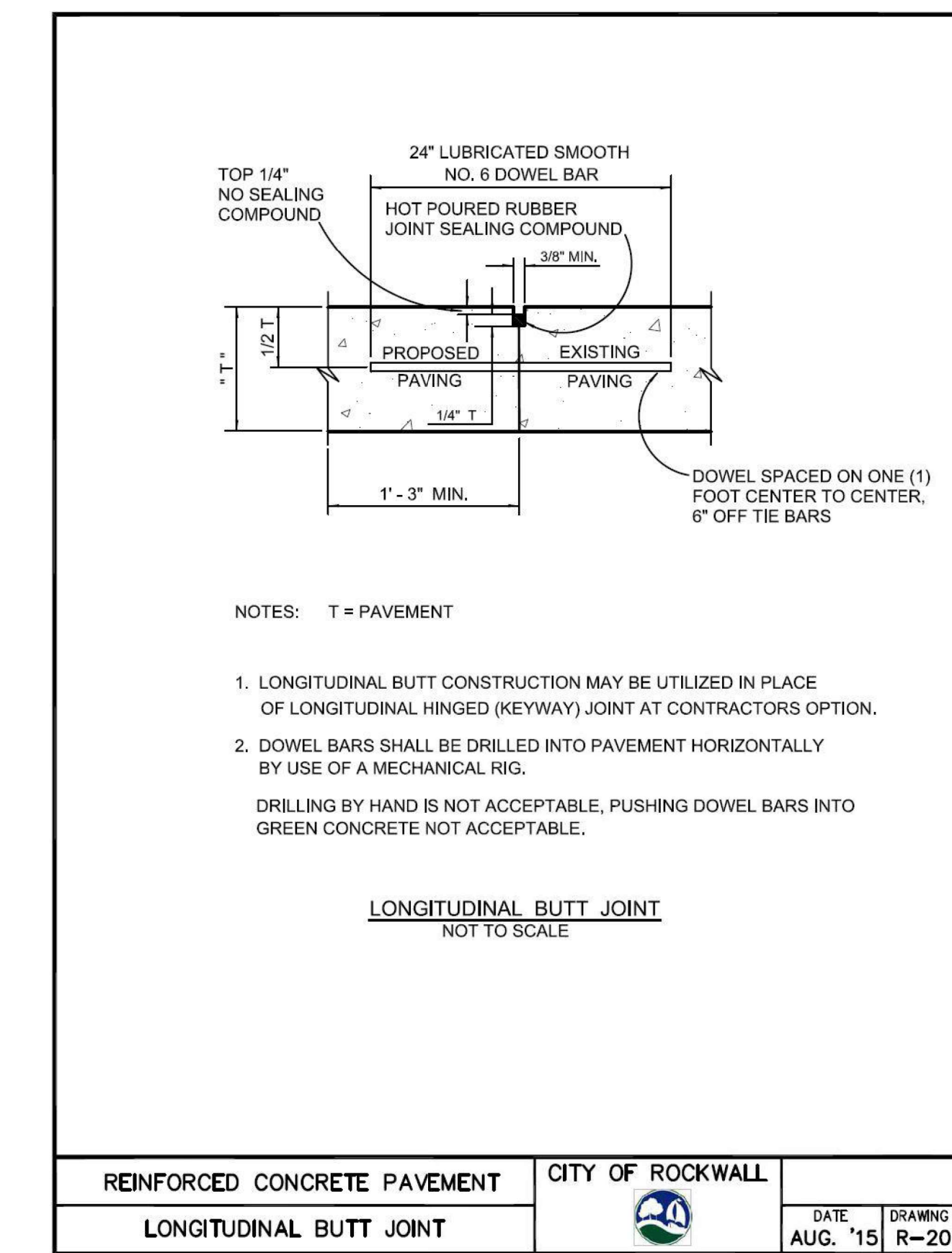


11 SIDEWALK CONTROL JOINT
N.T.S.

NOTE: PLACE CONTROL JOINTS IN SIDEWALK EVERY 6'-0\"/>



12 REINFORCED CONCRETE PAVEMENT TYPE 2
N.T.S.



13 LONGITUDINAL BUTT JOINT
N.T.S.

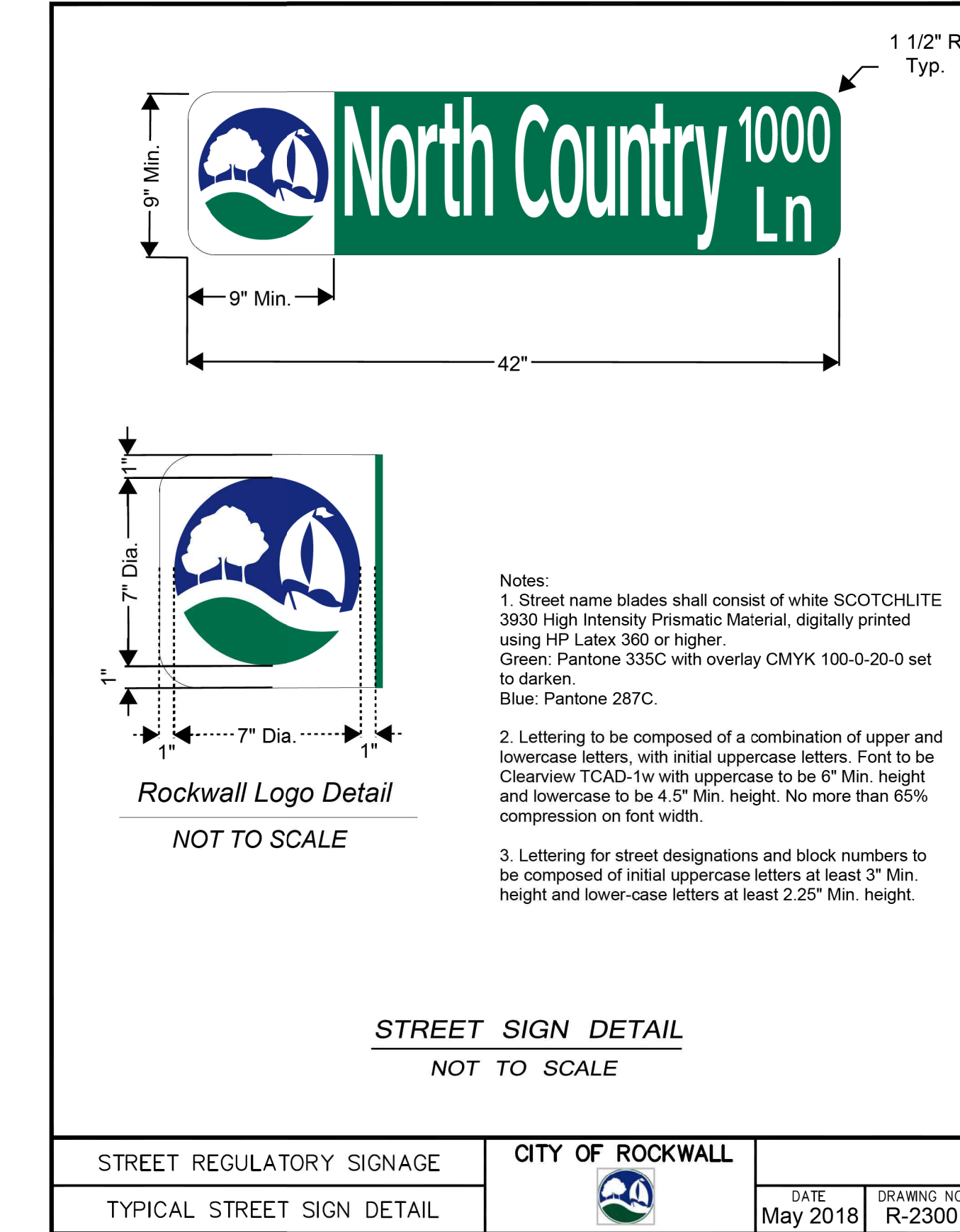
NOTES: T = PAVEMENT

1. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
2. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.

DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.

LONGITUDINAL BUTT JOINT
NOT TO SCALE

| | | | |
|------------------------------|------------------|----------|-------------|
| REINFORCED CONCRETE PAVEMENT | CITY OF ROCKWALL | DATE | DRAWING NO. |
| LONGITUDINAL BUTT JOINT | | AUG. '15 | R-2051 |



- Notes:
1. Street name blades shall consist of white SCOTCHLITE 3930 High Intensity Prismatic Material, digitally printed using HP Latex 360 or higher.
Green: Pantone 335C with overlay CMYK 100-0-20-0 set to darken.
Blue: Pantone 287C.
 2. Lettering to be composed of a combination of upper and lowercase letters, with initial uppercase letters. Font to be Clearview TCAD-1w with uppercase to be 6" Min. height and lowercase to be 4.5" Min. height. No more than 65% compression on font width.
 3. Lettering for street designations and block numbers to be composed of initial uppercase letters at least 3" Min. height and lower-case letters at least 2.25" Min. height.

STREET SIGN DETAIL
NOT TO SCALE

| | | | |
|----------------------------|------------------|----------|-------------|
| STREET REGULATORY SIGNAGE | CITY OF ROCKWALL | DATE | DRAWING NO. |
| TYPICAL STREET SIGN DETAIL | | May 2018 | R-2300 |

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SEE SHEET C0.01 FOR GENERAL NOTES

SPR PACKAGING
SPR NORTH PHASE I
AIRPORT ROAD IMPROVEMENTS
ROCKWALL, TEXAS

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081-2275
(214) 346-6500

| Revision No. | Date | Description |
|--------------|------|-------------|
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RECORD DRAWING SUBMITTAL
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| | |
|--------------------|--------------|
| MATTHEW J. GARDNER | 130788 |
| NAME | Tx. P.E. NO. |
| DATE | 11-02-2020 |
| TYPE | FRM/RMF-312 |

| | |
|--------------|----------------|
| Project No.: | 35533 |
| Issued: | NOVEMBER, 2020 |
| Drawn By: | CAD |
| Checked By: | MJG |
| Scale: | AS SHOWN |
| Sheet Title | |

PAVING DETAILS

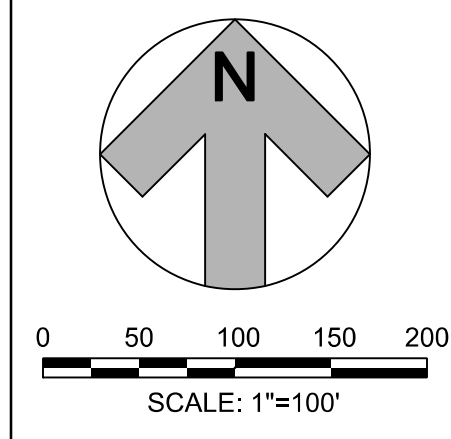
C1.02

Sheet Number



| DRAINAGE AREAS | | | | | | COMMENTS |
|----------------|-------|-------|---------|-------|-------|--|
| AREA | C | Tc | I100 | Q100 | | |
| (acres) | | (min) | (in/hr) | (cfs) | | |
| A-1 | 0.41 | 0.90 | 10 | 9.80 | 3.62 | DRAINS TO CURB INLET A-1 |
| A-2 | 0.59 | 0.90 | 10 | 9.80 | 5.20 | DRAINS TO CURB INLET A-2 |
| A-3 | 0.60 | 0.90 | 10 | 9.80 | 5.29 | DRAINS TO CURB INLET A-3 |
| A-4 | 0.75 | 0.90 | 10 | 9.80 | 6.62 | DRAINS TO CURB INLET A-4 |
| A-5 | 0.48 | 0.90 | 10 | 9.80 | 4.23 | DRAINS TO CURB INLET A-5 |
| A-6 | 0.37 | 0.90 | 10 | 9.80 | 3.26 | DRAINS TO CURB INLET A-6 |
| A-7 | 1.07 | 0.90 | 10 | 9.80 | 9.44 | DRAINS TO CURB INLET A-7 |
| A-8 | 1.10 | 0.90 | 10 | 9.80 | 9.70 | DRAINS TO CURB INLET A-8 |
| A-9 | 2.62 | 0.90 | 10 | 9.80 | 23.11 | DRAINS TO Y-INLET A-9 |
| A-10 | 1.23 | 0.90 | 10 | 9.80 | 10.85 | DRAINS TO FUTURE CURB INLET A-10 |
| A-11 | 1.39 | 0.90 | 10 | 9.80 | 12.26 | DRAINS TO FUTURE CURB INLET A-11 |
| TOTAL | 10.61 | | | | 93.58 | DRAINS TO PROPOSED DETENTION POND |
| B-1 | 0.22 | 0.90 | 10 | 9.80 | 1.94 | DRAINS TO CURB INLET B-1 |
| B-2 | 2.58 | 0.90 | 10 | 9.80 | 22.76 | DRAINS TO CURB INLET B-2 |
| TOTAL | 2.80 | | | | 24.70 | DRAINS TO PROPOSED LINE A |
| C-1 | 1.53 | 0.90 | 10 | 9.80 | 13.49 | DRAINS TO FUTURE CURB INLET C-1 |
| C-2 | 1.83 | 0.90 | 10 | 9.80 | 16.14 | DRAINS TO FUTURE CURB INLET C-2 |
| TOTAL | 3.36 | | | | 29.64 | DRAINS TO PROPOSED DETENTION POND |
| RD-1 | 0.09 | 0.90 | 10 | 9.80 | 0.79 | ROOF DRAIN CONNECT TO LINE A |
| RD-2 | 0.09 | 0.90 | 10 | 9.80 | 0.79 | ROOF DRAIN CONNECT TO LINE A |
| RD-3 | 0.09 | 0.90 | 10 | 9.80 | 0.79 | ROOF DRAIN CONNECT TO LINE A |
| RD-4 | 0.09 | 0.90 | 10 | 9.80 | 0.79 | ROOF DRAIN CONNECT TO LINE A |
| RD-5 | 0.09 | 0.90 | 10 | 9.80 | 0.79 | ROOF DRAIN CONNECT TO LINE A |
| RD-6 | 0.09 | 0.90 | 10 | 9.80 | 0.79 | ROOF DRAIN CONNECT TO LINE A |
| RD-7 | 0.23 | 0.90 | 10 | 9.80 | 2.03 | ROOF DRAIN CONNECT TO LINE A |
| TOTAL | 0.77 | | | | 6.79 | ROOF FLOW ADDED TO LINE A |
| P-0 | 1.78 | 0.90 | 10 | 9.80 | 15.70 | DETENTION POND |
| P-1 | 0.06 | 0.90 | 10 | 9.80 | 0.53 | DRAINS TO Y-INLET P-1 |
| P-2 | 0.58 | 0.90 | 10 | 9.80 | 5.12 | DRAINS TO Y-INLET P-2 |
| P-3 | 7.04 | 0.90 | 10 | 9.80 | 62.09 | DRAINS OFFSITE TO SOUTH PRONG OF SQUABBLE TRIB 1 |
| OS-1 | 0.42 | 0.35 | 20 | 9.80 | 1.45 | DRAINS OFFSITE TO SOUTH PRONG OF SQUABBLE TRIB 1 |
| R-1 | 0.31 | 0.90 | 10 | 9.80 | 2.73 | DRAINS OFFSITE TO SOUTH PRONG OF SQUABBLE TRIB 1 |
| R-2 | 0.21 | 0.90 | 10 | 9.80 | 1.85 | DRAINS OFFSITE TO SWALE ALONG E. WASHINGTON ST. |

NOTE:
 1. FLOOD STUDY BY HALFF DATED 08-13-2020.
 2. SEE SPR NORTH PHASE 1 PLANS (CITY #2019-045) FOR ADDITIONAL INFORMATION.



SPR
PACKAGING
 SPR NORTH PHASE I
 AIRPORT ROAD IMPROVEMENTS
 ROCKWALL, TEXAS

HALFF
 1201 NORTH BOWSER ROAD
 RICHARDSON, TX 75081-2275
 (214) 346-6500

| Revision No. | Date | Description |
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DRAINAGE AREA MAP

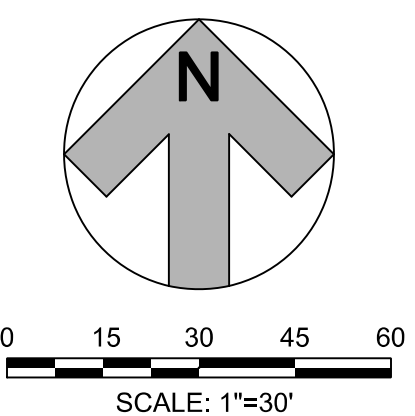
C3.01
 Sheet Number

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

● BENCHMARK 1
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.
 ELEVATION = 580.82'

● BENCHMARK 2
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.
 ELEVATION = 577.13'

SEE SHEET C0.01 FOR GENERAL NOTES



**SPR NORTH PHASE I
AIRPORT ROAD IMPROVEMENTS**

ROCKWALL, TEXAS

HALFF

1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081-2275
(214) 346-6500

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**EROSION CONTROL
PLAN & DETAILS**

C4.01

Sheet Number

- CONSTRUCTION PHASING**
- PHASE I INSTALL EROSION CONTROL DEVICES
 - PHASE II SITE CLEARING, DEMOLITION, & GRADING EXCAVATION
 - PHASE III STORM DRAIN CONSTRUCTION
 - PHASE IV GRADING & SITE UTILITIES
 - PHASE V SITE PAVING, LANDSCAPE & IRRIGATION
 - PHASE VI FINAL STABILIZATION

**PHASE I
INSTALL EROSION CONTROLS:
REINFORCED SILT FENCES, FILTER TUBE, INLET
PROTECTION STABILIZED CONSTRUCTION
ENTRANCE/ EXIT.**

**PHASE II, III & IV
MAINTAIN EXIST. EROSION CONTROLS, INSTALL
INLET PROTECTION, ADD ADDITIONAL EROSION
CONTROLS AS NEEDED, CONSTRUCT ROCK
CHECK DAMS IN CHANNEL.**

**PHASE V
MAINTAIN EXIST. EROSION CONTROLS, MODIFY
INLET PROTECTION TO METHOD COMPATIBLE
WITH PAVEMENT. ADD ADDITIONAL CONTROLS
AS NEEDED FOR CONSTRUCTION ACTIVITIES.**

**PHASE VI
REVEGETATE ALL DISTURBED AREAS NOT
COVERED IN THE LANDSCAPE PLAN.
ESTABLISH MIN. COVER OF 70% OF THE
NATIVE BACKGROUND COVER. REMOVE
EROSION CONTROLS WHEN 70% MIN. COVER
HAS BEEN ESTABLISHED.**

LEGEND:

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SILT FENCE
- 'Y' INLET PROTECTION
- CONSTRUCTION ENTRANCE / EXIT

GENERAL NOTES:

1. ALL EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTORS GUIDANCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND MATERIAL OF ALL UTILITIES AFFECTED BY CONSTRUCTION PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACTOR SHALL CONTACT ALL AFFECTED UTILITIES 48 HRS PRIOR TO CONSTRUCTION.

2. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).

3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

1. PURSUANT TO THE PROJECT REQUIREMENTS THE CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN.

2. THE DRAWINGS CONTAINED HEREIN ARE NOT, AND SHOULD NOT BE CONSIDERED TO BE A STORM WATER POLLUTION PREVENTION PLAN. SHOULD THE CONTRACTOR CHOOSE TO USE THE INFORMATION HEREIN, HE SHALL DO SO WITH THE PROVISION THAT HE AT A MINIMUM MEETS ALL OF THE PERMIT REQUIREMENTS FOR CONSTRUCTION ACTIVITIES UNDER THE TCEQ TPDES PERMIT NO. TXR150000 AND OTHER APPLICABLE PERMITS, RULES, REGULATIONS AND CODES.

3. CONTRACTOR SHALL ADD TO THE SITE MAP AT A MINIMUM, THE FOLLOWING AND SHALL ADD ADDITIONAL INFORMATION AS REQUIRED BY THE PERMIT:
 1. OFF-SITE MATERIAL, WASTE, BORROW, FILL OR EQUIPMENT.
 2. AREAS DISTURBED/AREAS UNDISTURBED NOT SHOWN.
 3. CONCRETE OR ASPHALT BATCH PLANTS
 4. EQUIPMENT STORAGE AREAS
 5. ON-SITE WASTE AND TRASH STORAGE
 6. SANITARY WASTE FACILITIES
 7. FUELING AREA WITH CONTAINMENT
 8. CONCRETE TRUCK WASHOUT LOCATION
 9. REVISE PHASES SHOWN ABOVE AS APPROPRIATE FOR HIS OPERATION.

4. THE TCEQ, TPDES PERMIT REQUIRES SEDIMENT BASINS WHERE FEASIBLE FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH TEN (10) OR MORE ACRES DISTURBED AT ONE TIME. SEE PART III.F.3.(a) OF THE TCEQ TPDES PERMIT FOR THE REQUIREMENTS.

5. THE CONTRACTOR MAY USE THE EROSION CONTROLS SHOWN ON THIS EROSION CONTROL PLAN WITH THE PROVISION THAT HE AS OPERATOR IS RESPONSIBLE FOR IMPLEMENTATION AND CONTINUING MAINTENANCE OF THE EROSION CONTROLS IN ACCORDANCE WITH THE TPDES PERMIT.

THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL RELEVANT DOCUMENTS INCLUDING HIS OPERATION SPECIFIC INFORMATION PER THE TCEQ TPDES PERMIT NO. TXR150000, INCLUDING ALL DOCUMENTATION & CERTIFICATIONS AS REQUIRED BY THE PERMIT.

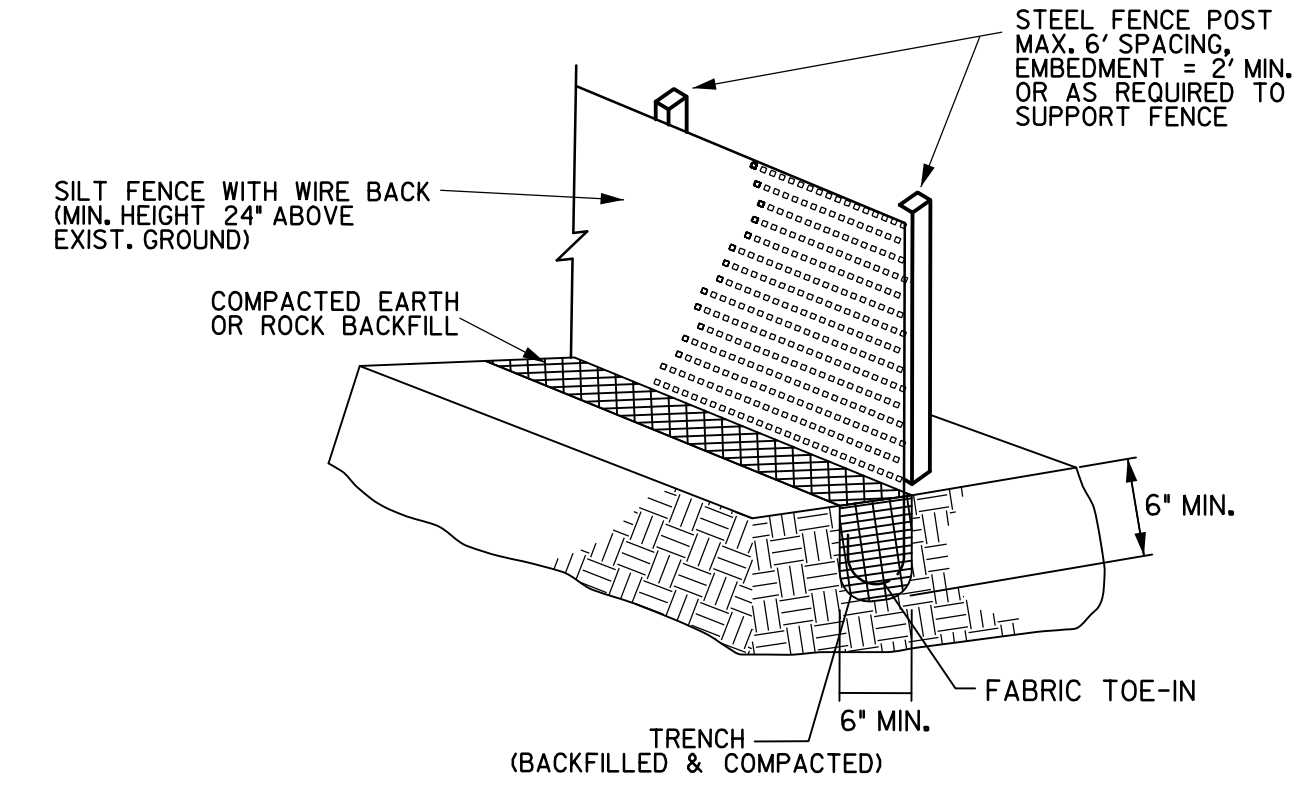
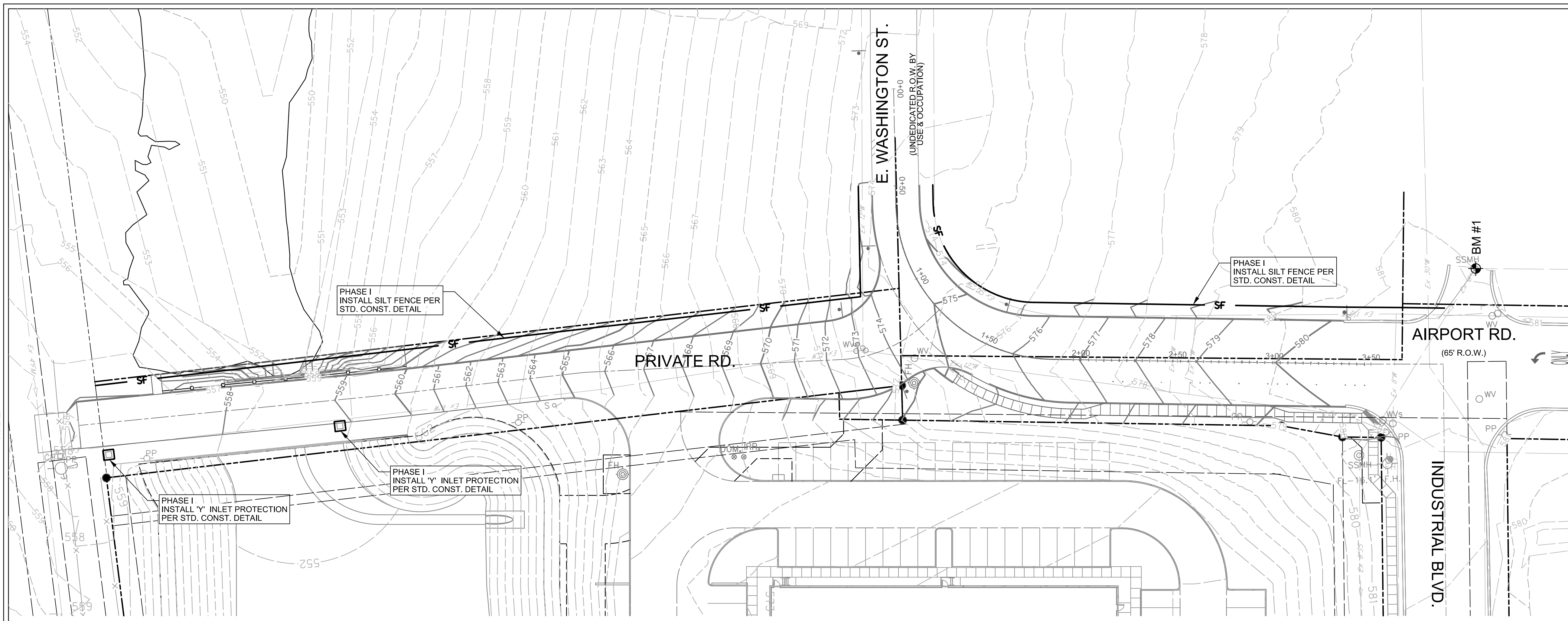
NOTE:

1. CONTRACTOR TO COORDINATE/ VERIFY POLE LOCATIONS AND MOVE POLES AT CONTRACTORS COST.
2. ALL DIMENSIONS ARE TO FACE OF CURB.
3. NO SAND UNDER PAVING.
4. BFR = CONIAL OR BRICK RED TRUNCATED DOME PLATS.

BENCHMARK 1
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER.
ELEVATION = 580.82'

BENCHMARK 2
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.
ELEVATION = 577.13'

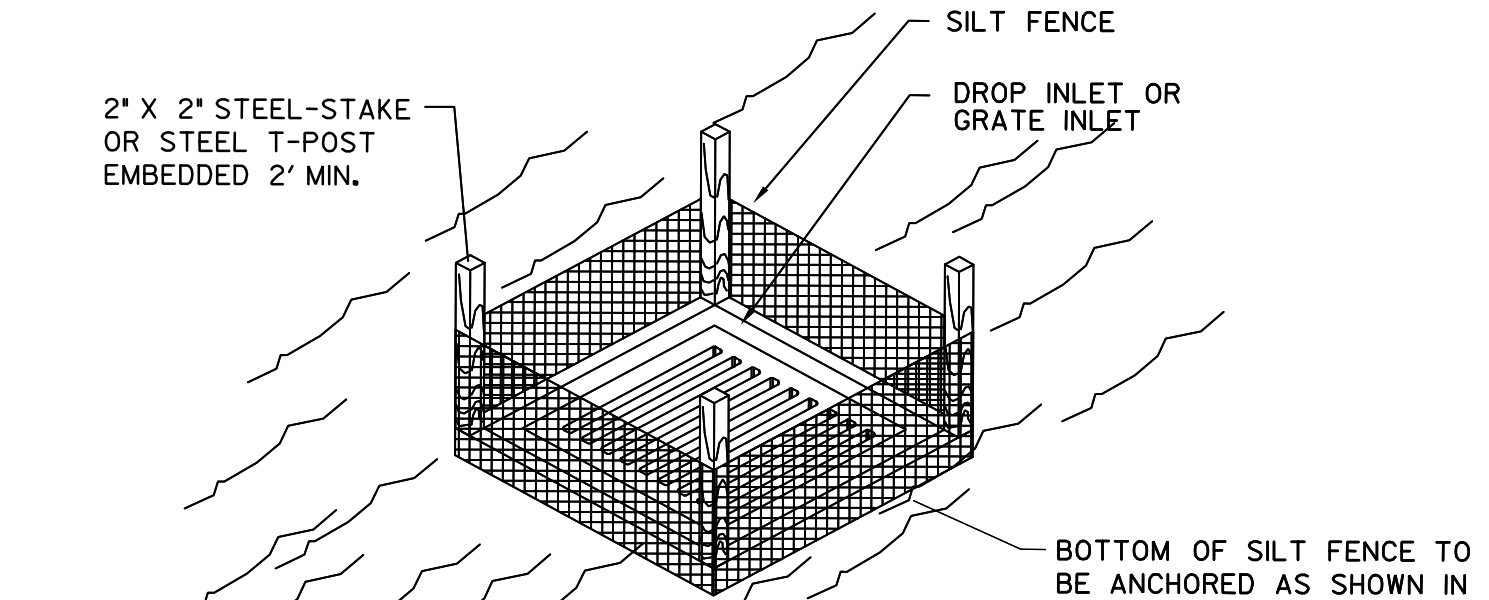
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SILT FENCE
N.T.S.

SILT FENCE GENERAL NOTES:

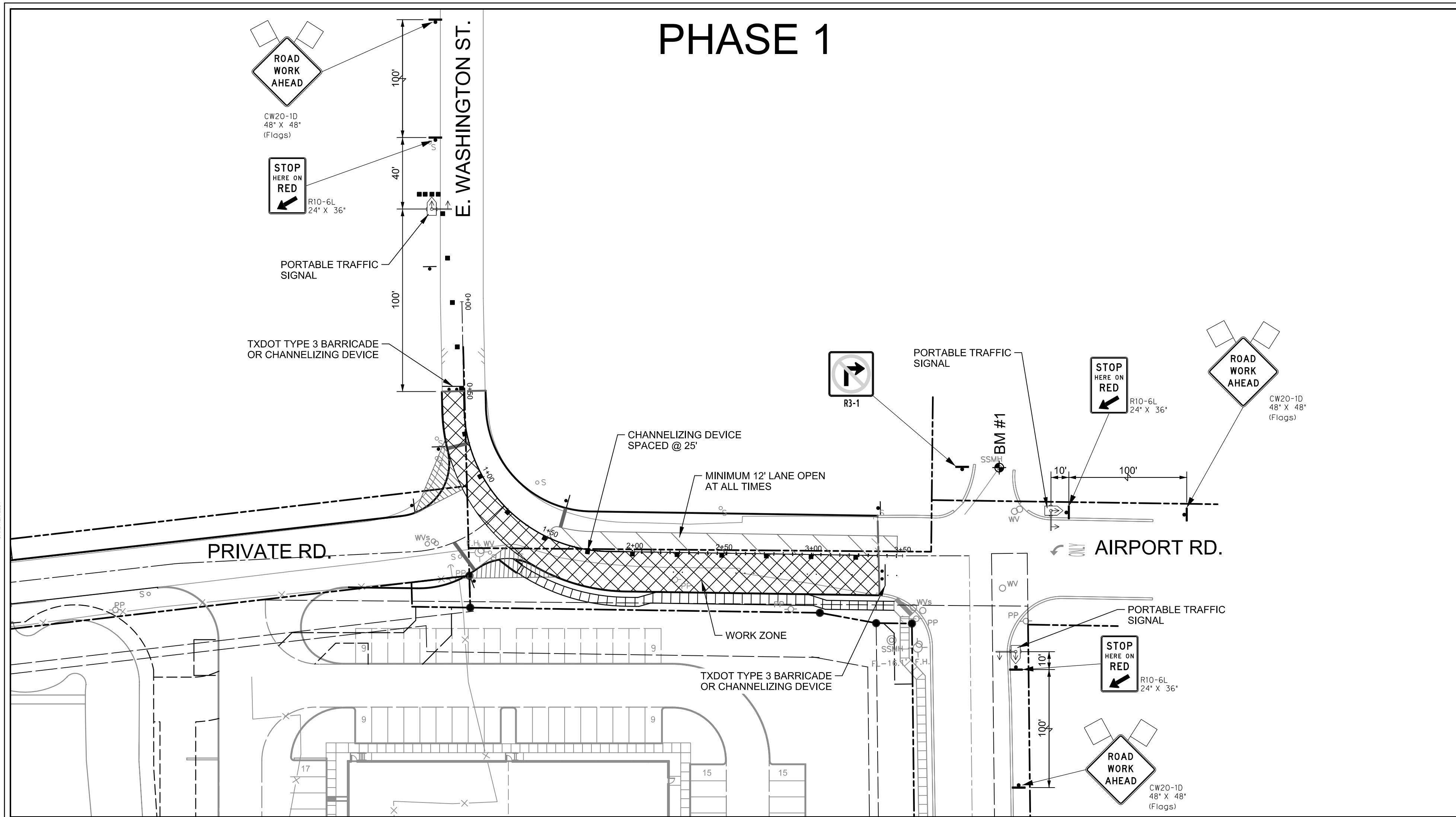
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED WITH A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 6" DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



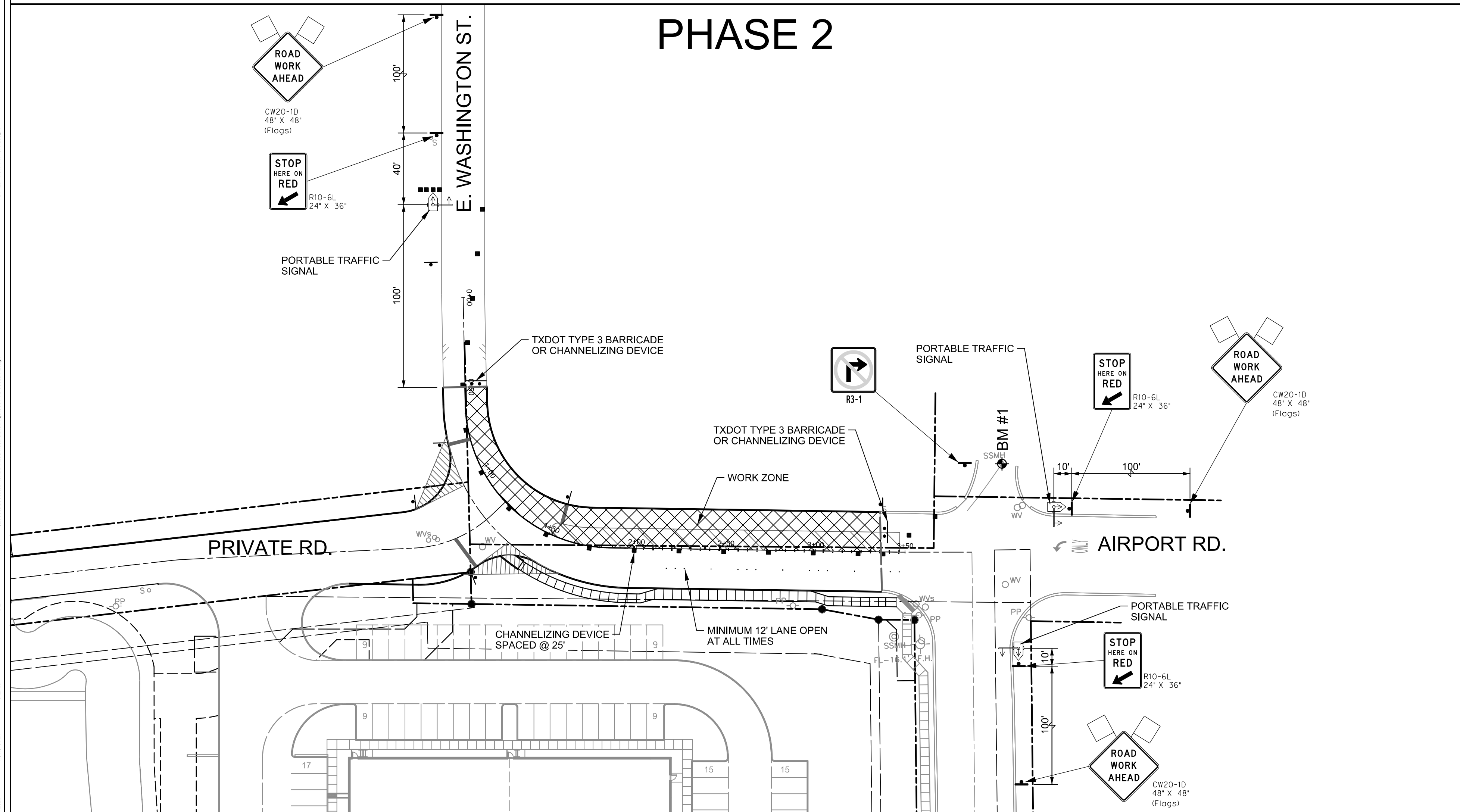
**SILT FENCE DROP
INLET PROTECTION**
N.T.S.

- Erosion Control Notes**
1. The Contractor is responsible for implementing a Storm Water Pollution Prevention Plan (SWP3) in accordance with TCEQ Texas Pollutant Discharge Elimination System (TPDES) Permit No. TXR150000 (PERMIT). The details shown on this sheet represent typical methods for controlling erosion during construction and are intended for the Contractor's guidance in the implementation of the Pollution Prevention Plan. The plan shall comply with the PERMIT and Federal, State and local requirements. The plan shall include, but not be limited to, preparation and submittal of a Notice of Intent (NOI) to the TCEQ, if the project is 5 acres or larger and preparation of all plans and documentation as required by the PERMIT.
 2. It is the intent of the information provided on these documents to be used as a general guideline for the Contractor. The SWP3 to be prepared shall meet the current requirements set forth in the TCEQ's TPDES general permit for storm water discharges from construction sites as well as any local requirements.
 3. The Contractor shall be responsible for maintaining erosion control during construction and for obtaining any required construction related drainage permits, or making any construction related notifications. An inspection report that summarizes inspection activities and implementation of the SWP3 shall be performed as required by the PERMIT and retained by the Contractor and made a part of the construction documents. The Contractor shall provide copies of all SWP3 documents including, but not limited to, inspection records, original plans, and modified plans to the Owner at contract close-out. During construction the contractor shall provide copies of the inspection reports to the Owner on a monthly basis.
 4. Temporary storm drainage and/or erosion control material shall be suitable for this application and shall be installed with the proper techniques by the Contractor as required by NCTCOG Standard Specifications for Public Works Construction. Temporary storm drainage and/or erosion control material shall be removed by the Contractor, in addition to any excavations backfilled by the Contractor, in accordance with NCTCOG Standard Specifications for Public Works Construction when temporary erosion control devices are no longer needed as specified in the PERMIT. Maintenance of the permanent erosion control measures at the site will be assumed by the Owner at contract close out and acceptance of the work.
 5. The Contractor shall maintain the SWP3 in accordance with the TCEQ Permit and make the SWP3 available, upon request, to the TCEQ and/or Owner.
 6. The Contractor must amend the SWP3 whenever there is a change in design, construction, operation, or maintenance of the SWP3, or when the existing SWP3 proves ineffective. Modifications shall not compromise the intent of the requirements of the PERMIT. Modifications including design and additional materials and work shall be accomplished by the Contractor at no additional expense to the Owner.
 7. The Contractor shall inspect his stabilization and erosion control measures at a minimum of once every 14 days, and within 24 hours after any storm event greater than 0.5 inches, or once every 7 days. The Contractor shall repair inadequacies revealed by the inspection before the next storm event and he shall modify his SWP3 within 7 days of the inspection.
 8. The Contractor shall adopt and implement appropriate construction site management practices to prevent the discharge of oils, grease, paints, gasoline, and other pollutants to storm water. Appropriate practices shall include, but not be limited to: designating areas for equipment maintenance and repairing collecting wastes periodically; maintaining conveniently located waste receptacles; and designating and controlling equipment washdown.
 9. Borrow areas, if excavated, shall be protected and stabilized by the Contractor in a manner acceptable to the Owner and in accordance with PERMIT requirements.
 10. All non-paved areas shall be seeded and mulched with erosion protection grass by the Contractor immediately upon completion of final grading. This includes all ditches and embankments. The Contractor shall maintain final grading, and keep seeded areas watered until fully established and accepted by Owner.
 11. The Contractor shall construct a silt fence at locations suggested on plans as appropriate or as modified in his SWP3 to fit site conditions at the time of placement, and all borrow and stock pile areas. The silt fence shall be constructed as detailed on this plan. The Contractor shall remove accumulated silt when it reaches a depth of 6 inches. The Contractor shall dispose of the removed silt in a location approved by the Owner and in such a manner as to not contribute to erosion and sedimentation. The Contractor shall remove the silt fence when the site is completely stabilized in accordance with the PERMIT.
 12. The Contractor shall designate material and equipment storage areas mutually agreed to by the Owner. The storage areas shall be graded for positive drainage, and the surface stabilized with a minimum of 2 inches of compacted flex base on 6 inches of scarified and recompact subgrade by the Contractor. A silt fence shall be installed by the Contractor around the storage areas to prevent eroded material from leaving the site.
 13. All inlets (onsite and offsite) receiving drainage water from disturbed areas shall be protected by the Contractor as per details shown or other Owner approved methods to prevent eroded material from being transported into inlets. The inlet protection shall be constructed as shown on these plans.
 14. The notes and details contained herein do not relieve the Contractor and Owner of meeting and implementing the requirements of the PERMIT.

PHASE 1



PHASE 2



- NOTES:**
- IF CONTRACTOR WANTS TO PROPOSE AN ALTERNATE TRAFFIC CONTROL PLAN IT MUST BE APPROVED BY THE CITY OF ROCKWALL BEFORE CONSTRUCTION.
 - 1-12' MIN LANE MUST BE MAINTAINED AT ALL TIMES.

LEGEND

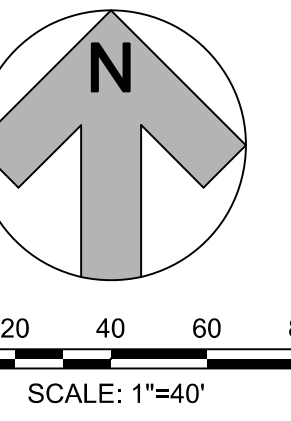
- SIGN
- FLAGS
- CHANNELIZING DEVICES
- TRAFFIC FLOW
- TEMPORARY / PORTABLE TRAFFIC SIGNAL

EXISTING LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- EXISTING CONTOUR
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WASTEWATER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER
- EXISTING FIBER OPTIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- EXISTING GUY WIRE

- BENCHMARK 1
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SEE SHEET C0.01 FOR GENERAL NOTES



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AIRPORT ROAD IMPROVEMENTS
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Sheet Title
TRAFFIC CONTROL PLAN

C5.01
Sheet Number