

"LAND TITLE SURVEY"

LOT 1, BLOCK A  
RE-PLAT OF  
WAGGONER GARDENS, INC. ADDITION  
CABINET D, PAGE 68  
P.R.R.C.T.

FND 5/8" I.R. FOR REFERENCE  
AT N 44°50'09" W 1.30'

(DEED=N 89°29'00" E 701.86')  
N 88°43'37" E 702.00'

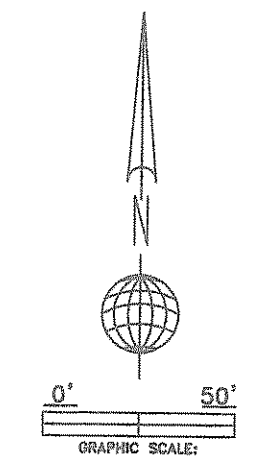
FND 1/2" I.P.

FND 1/2" I.P.

OLD BARB WIRE FENCE  
(GENERALLY ON PROPERTY LINE)

BEGIN

OLD BARB WIRE FENCE  
(GENERALLY ON PROPERTY LINE)



CALLED 2.94 ACRES  
SUSAN BERNAL  
VOLUME 1566, PAGE 228  
D.R.R.C.T.

(DEED=N 001°05' W 432.82')  
N 01°01'05" W 433.00'

7.054 ACRES  
(VACANT)

(NO PUBLIC ACCESS AVAILABLE TO SUBJECT TRACT)

REMAINDER OF A  
CALLED 28.38 ACRES  
ROCKWALL INDEPENDENT SCHOOL DISTRICT  
VOLUME 105, PAGE 163  
D.R.R.C.T.

APPROXIMATE LOCATION OF AN  
EXISTING GAS LINE PER "MARKERS"  
FOUND AT TIME OF SURVEY

REUBEN BALLARD SURVEY, A-29  
GEORGE W. REDLIN SURVEY, A-183

S 59°27'20" W  
25.17'

OAK CREEK ADDITION  
CABINET B, PAGE 201  
P.R.R.C.T.

150' T.P. & L. EASEMENT  
CABINET B, PAGE 201

APPROXIMATE CENTERLINE  
OF TRANSMISSION LINE

FND 5/8" I.R.

S 89°37'10" W 678.31'  
(REFERENCE BEARING PER DEED)  
(DEED=679.45')

LOT 1  
MUNICIPAL PARK ADDITION  
CABINET B, PAGE 49  
P.R.R.C.T.

SET 1/2" I.R.

FND 5/8" I.R.

LEGEND	
	POWER POLE
	GAS METER
	WATER METER
	POWERLINE
	OVERHEAD SERVICE LINE
	WOOD FENCE
	CHAIN LINK FENCE
	WIRE FENCE
	WROUGHT IRON FENCE
	BUILDING LINE
	EASEMENT LINE
	BRICK COLUMN
	TRANSFORMER AND PAD
	ASPHALT SURFACE
	CONCRETE

BEING A TRACT OF LAND SITUATED IN THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PART OF A CALLED 28.38 ACRE TRACT OF LAND DESCRIBED IN A DEED TO ROCKWALL INDEPENDENT SCHOOL DISTRICT OF RECORD IN VOLUME 105, PAGE 163, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON PIPE FOUND FOR CORNER AT THE SOUTHEAST CORNER OF LOT 1, BLOCK A, RE-PLAT OF WAGGONER GARDENS, INC. ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, PAGE 68, PLAT RECORDS, ROCKWALL COUNTY, TEXAS, FROM WHICH A 5/8" IRON ROD FOUND FOR REFERENCE BEARS NORTH 44°50'09" WEST, A DISTANCE OF 1.30 FEET;

THENCE SOUTH 00° 46' 36" EAST, A DISTANCE OF 431.27 FEET TO A 1/2" IRON ROD SET FOR CORNER IN THE NORTHWEST LINE OF OAK CREEK ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, PAGE 201, PLAT RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 59° 27' 20" WEST, ALONG THE NORTHWEST LINE OF SAID OAK CREEK ADDITION A DISTANCE OF 25.17 FEET TO A 5/8" IRON ROD FOUND FOR CORNER AT THE MOST WESTERN CORNER THEREOF IN THE NORTH LINE OF MUNICIPAL PARK ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, PAGE 49, PLAT RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 89° 37' 10" WEST, ALONG THE NORTH LINE OF SAID MUNICIPAL PARK ADDITION, A DISTANCE OF 678.31 FEET TO A 5/8" IRON ROD FOUND FOR CORNER AT THE SOUTHEAST CORNER OF A CALLED 2.94 ACRE TRACT OF LAND DESCRIBED IN A DEED TO SUSAN BERNAL OF RECORD IN VOLUME 1566, PAGE 228, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE NORTH 01° 01' 05" WEST, ALONG THE EAST LINE OF SAID 2.94 ACRE TRACT A DISTANCE OF 433.00 FEET TO A 1/2" IRON PIPE FOUND FOR CORNER AT THE SOUTHWEST CORNER OF SAID WAGGONER GARDENS INC. ADDITION;

THENCE NORTH 88° 43' 37" EAST, ALONG THE SOUTH LINE OF SAID LAST MENTIONED ADDITION A DISTANCE OF 702.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 7.054 ACRES OF LAND.

NOTES:

- ALL 1/2" IRON RODS SET FOR CORNER AS SHOWN HEREON HAVE A YELLOW PLASTIC CAP STAMPED R.P.L.S. NO. 3963.
- ALL "DEED" BEARINGS AND DISTANCES SHOWN HEREON ARE PER DEED RECORDED IN VOLUME 105, PAGE 163, DEED RECORDS, ROCKWALL COUNTY, TEXAS.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACTOR, THEREFORE, NO SEARCH OF RECORD EASEMENTS WAS PERFORMED ON SUBJECT PROPERTY.

THIS IS TO CERTIFY THAT NO PORTION OF THE ABOVE SHOWN PROPERTY IS WITHIN THE 100 YEAR FLOOD HAZARD AREA AS PUBLISHED IN COMMUNITY PANEL NO. 480171 0265J, ZONE "X", MAP DATED 08-23-01 OF THE FLOOD INSURANCE RATE MAP.

I, ROBERT C. MYERS, REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO CERTIFY THAT THE PLAT HEREON IS A TRUE, CORRECT AND ACCURATE REPRESENTATION OF THE PROPERTY SHOWN HEREON AS DETERMINED BY SURVEY ON THE GROUND UNDER MY SUPERVISION. THE LINES AND DIMENSIONS OF SAID PROPERTY BEING INDICATED BY THE PLAT. THE IMPROVEMENTS ARE WITHIN THE BOUNDARIES OF THE PROPERTY LINES AT THE DISTANCES INDICATED AND THERE ARE NO VISIBLE AND APPARENT EASEMENTS, ENCROACHMENTS, COMPLEMENTS OR PROTRUSIONS, EXCEPT AS SHOWN ON THE ABOVE PLAT.

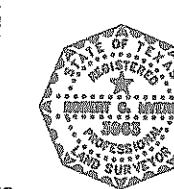
ROBERT C. MYERS R.P.L.S. NO. 3963

THIS SURVEY WAS PERFORMED FOR:

GLENN ENGINEERING

USE OF THIS SURVEY BY ANY OTHER PARTY SHALL BE AT THEIR OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.

NAME GLENN ENGINEERING  
JOB NO. 68617-02  
DATE 07-16-02  
GF# N/A  
DRN. BY JDT



ROBERT C. MYERS  
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