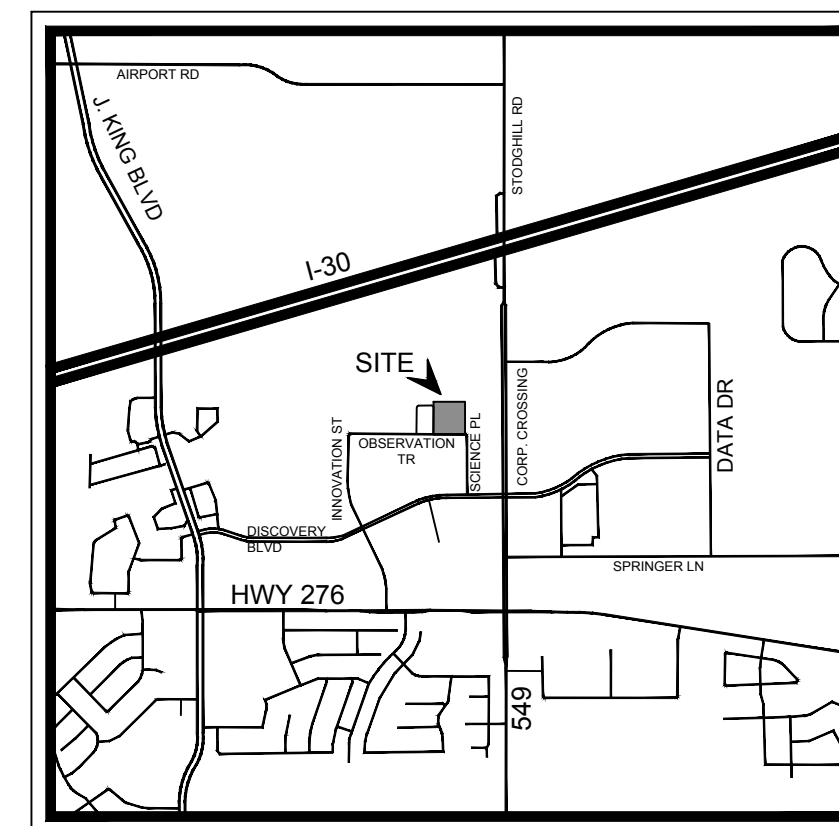


# CIVIL PLANS

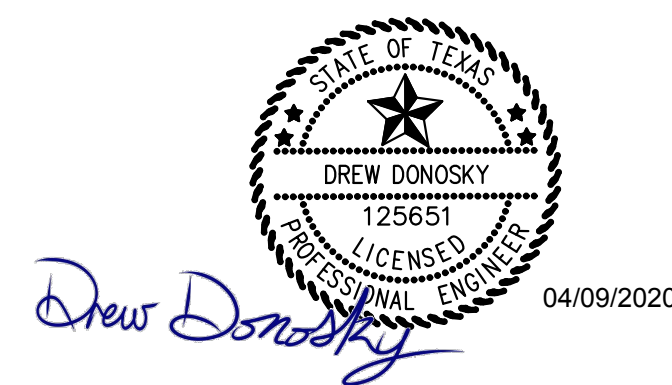
# LIME MEDIA TECHNOLOGY PARK

3.63 ACRES

2700 OBSERVATION TRAIL  
ROCKWALL, TEXAS 75087



VICINITY MAP  
N.T.S.



**MAY 2020**

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
By: *Drew Donosky* Date: 04/09/2020

SHEET LIST TABLE		
Sheet Number	Sheet Title	REVISION DATE
C-0	COVER	4/9/2020
	PLAT	7/16/2019
SP-1	SITE PLAN	4/9/2020
C-1	GENERAL NOTES	4/9/2020
C-2	EROSION CONTROL PLAN	4/9/2020
C-3	EROSION CONTROL DETAILS	4/9/2020
C-4	DIMENSIONAL CONTROL AND PAVING PLAN	4/9/2020
C-5	GRADING PLAN	4/9/2020
C-6	EXISTING DRAINAGE AREA MAP	4/9/2020
C-7	PROPOSED DRAINAGE AREA MAP	4/9/2020
C-8	STORM DRAIN PLAN	4/9/2020
C-9	STORM DRAIN PROFILES	4/9/2020
C-10	UTILITY PLAN	4/9/2020
C-11	CONSTRUCTION DETAILS	4/9/2020
L-1	LANDSCAPE PLAN	6/5/2019
L-2	LANDSCAPE SPECIFICATION DETAILS	6/5/2019
IR-1	IRRIGATION PLAN	6/5/2019
IR-2	IRRIGATION DETAILS	6/5/2019

PLAN SUBMITTAL LOG	
DESCRIPTION	SUBMITTAL DATE
CITY SUBMITTAL #1	01/04/2019
CITY SUBMITTAL #2	02/06/2019
CITY SUBMITTAL #3	03/08/2019
CITY SUBMITTAL #4	05/08/2019
SEALED SET	07/16/2019
AS BUILTS	04/09/2020

ENGINEER



TEXAS REGISTRATION #14199

1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TEXAS 76021  
PH. 817.281.0572  
FAX. 817.281.0574  
CONTACT: DREW DONOSKY, PE  
EMAIL: DREW@CLAYMOOREENG.COM

ARCHITECT

KILLIAN STUDIO OF ARCHITECTURE  
10670 N. CENTRAL EXPRESSWAY  
STUDIO 600  
DALLAS, TX 75231  
TEL: 214.561.6042  
CONTACT: KEN KILLIAN

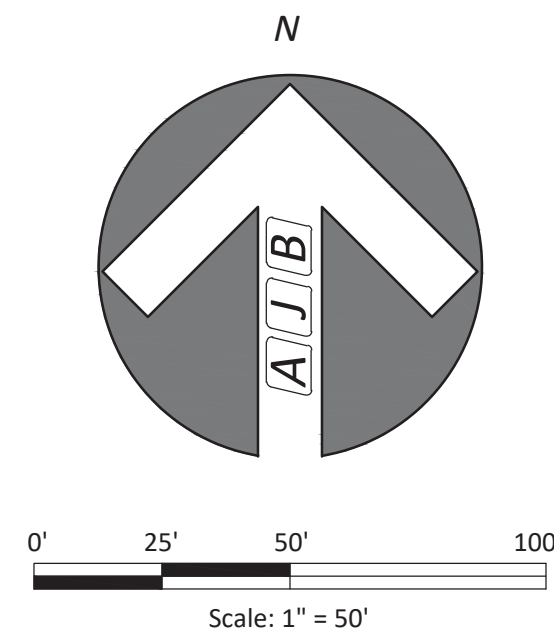
DEVELOPER

ROCKWALL ECONOMIC DEVELOPMENT  
P.O. BOX 968  
ROCKWALL, TX 75087  
PH: 972-772-0025

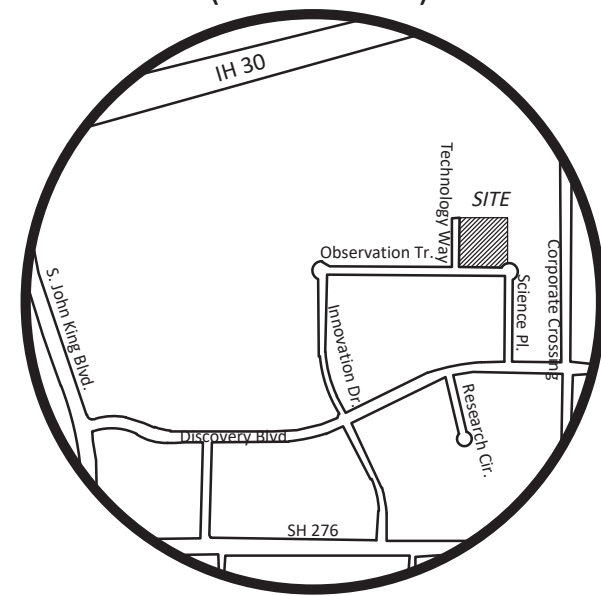
**STOP!**  
**CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(@ least 72 hours prior to digging)

C-0

LIME MEDIA - 2700 OBSERVATION TRAIL - ROCKWALL, TEXAS



Vicinity Map  
(Not to Scale)



GENERAL NOTES:

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basin of Bearings: Bearings are based on those cited on plat of Rockwall Technology Park Addition recorded in Cabinet G, Slide 377, Map/Plat Records Rockwall County, Texas.

FLOOD STATEMENT: According to Community Panel No. 48397C0045L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

Property owner shall be responsible for all maintenance, repair and reconstruction of drainage and detention easements.

LEGEND

IRF	Iron Rod Found
IRS	Iron Rod Set
DRRCT	Deed Records Rockwall County, Texas
PRRCT	Plat Records Rockwall County, Texas
RPRRCT	Real Property Records Rockwall County, Texas
OPRRCT	Official Public Records Rockwall County, Texas

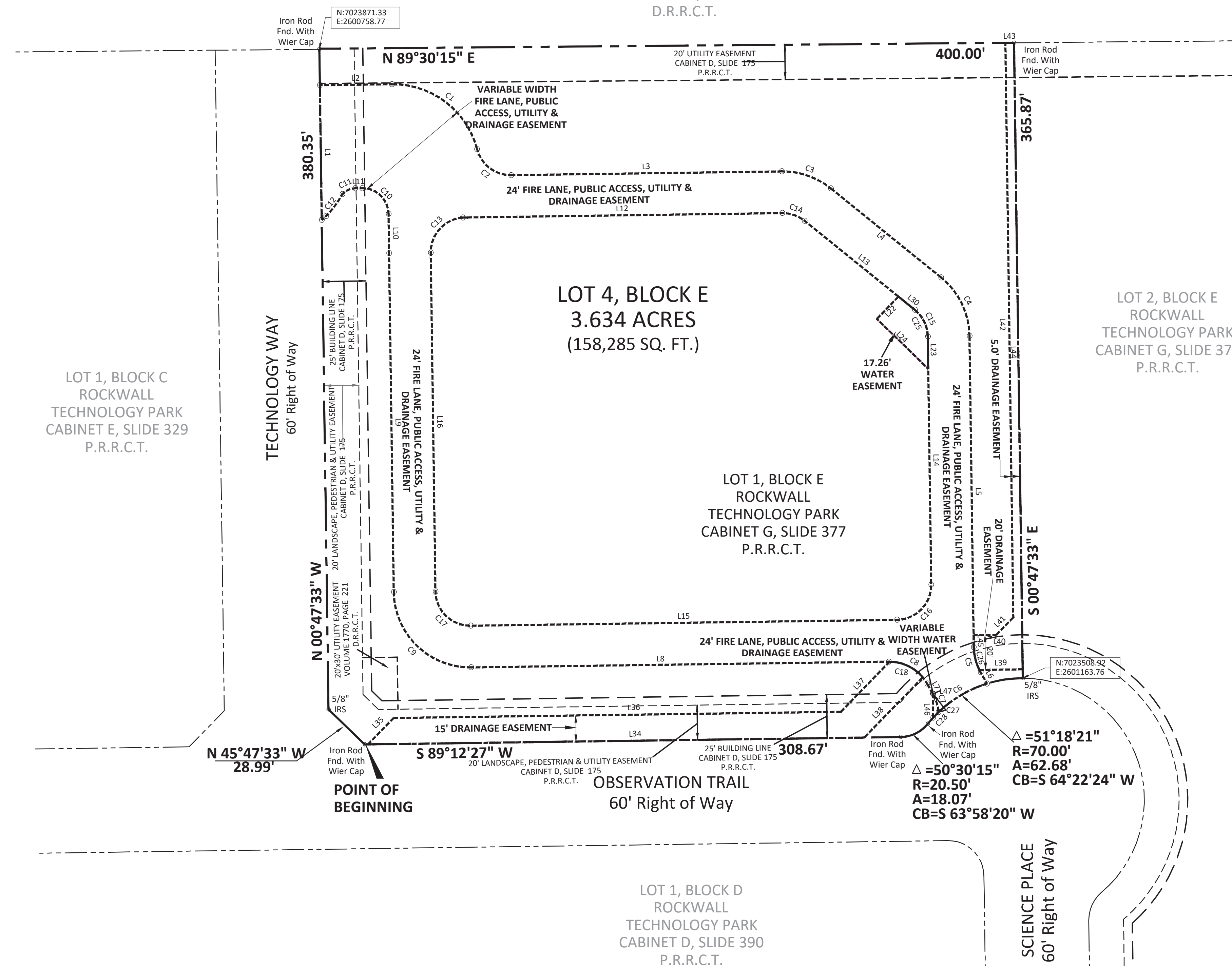
HITT FAMILY  
LIMITED PARTNERSHIP  
VOLUME 1875, PAGE 238  
D.R.R.C.T.

EASEMENTS LINE & CURVE TABLE

LINE	BEARING	DISTANCE	CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING
L1	N 00°47'33" W	77.56'	C1	76°11'13"	50.00'	66.49'	S 52°41'57" E
L2	N 89°12'27" E	41.43'	C2	76°11'13"	20.00'	26.59'	S 52°41'57" E
L3	N 89°12'27" E	155.80'	C3	39°42'36"	44.00'	30.50'	S 70°56'15" E
L4	S 51°04'57" E	81.62'	C4	50°17'24"	44.00'	38.62'	S 25°56'15" E
L5	S 00°47'33" E	179.30'	C5	28°42'49"	30.00'	15.03'	S 15°08'59" E
L6	S 29°30'22" E	7.54'	C6	26°43'11"	70.00'	32.64'	S 59°30'39" W
L7	N 29°30'22" W	6.90'	C7	25°00'43"	25.00'	10.91'	N 17°00'00" W
L8	S 89°12'27" W	240.45'	C8	61°17'11"	25.00'	26.74'	N 60°08'57" W
L9	N 00°47'33" W	195.11'	C9	90°00'00"	44.00'	69.12'	N 45°47'33" W
L10	N 00°47'33" W	22.66'	C10	90°00'00"	15.00'	23.56'	N 45°47'33" W
L11	S 89°12'27" W	4.01'	C11	47°42'38"	10.00'	8.33'	S 65°21'08" W
L12	S 89°12'27" W	184.12'	C12	21°55'40"	50.00'	19.16'	S 38°35'35" W
L13	N 51°04'57" W	81.62'	C13	84°01'50"	20.00'	32.82'	S 46°19'22" W
L14	N 00°47'33" W	142.91'	C14	39°42'36"	20.00'	13.86'	N 70°56'15" W
L15	N 89°12'27" E	245.50'	C15	50°17'24"	20.00'	17.55'	N 25°56'15" W
L16	S 00°47'33" E	195.11'	C16	90°00'00"	20.00'	31.42'	N 44°12'27" E
			C17	90°00'00"	20.00'	31.42'	S 45°47'33" E

L21	N 51°04'57" W	81.62'	C25	48°47'39"	20.00'	17.03'	N 26°41'08" W
L23	S 00°48'46" E	19.20'	C27	25°00'43"	25.00'	10.91'	S 17°00'00" E
L24	N 45°47'33" W	41.29'	C28	3°42'35"	70.00'	4.53'	S 44°17'46" W

L34	S 89°12'27" W	285.81'	C18	17°23'29"	44.00'	13.36'	S 82°05'49" E
L35	N 44°12'27" E	21.21'	C26	25°55'04"	30.00'	13.57'	S 13°45'05" E
L36	N 89°12'27" E	257.52'					
L37	N 44°12'27" E	40.30'					
L38	S 44°12'27" W	48.35'					
L39	N 89°12'27" E	24.98'					
L40	S 89°12'27" W	13.00'					
L41	S 44°12'27" W	14.14'					
L42	S 00°47'33" E	330.80'					
L43	S 89°30'15" W	5.00'					
L44	N 00°47'33" W	360.77'					
L45	S 00°47'33" E	6.89'					



Case No.: P2019-015

**FINAL PLAT**  
**ROCKWALL TECHNOLOGY PARK ADDITION**  
**LOT 4, BLOCK E**

1 LOT TOTALING 3.634 ACRES  
BEING A REPLAT OF A LOT 1, BLOCK E OF ROCKWALL TECHNOLOGY PARK  
ADDITION 3.634 ACRES (158,285 SQUARE FEET)  
J.M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner: Rockwall Economic Development 697 East Interstate 30, PO Box 968 Rockwall, Texas 75087	Engineer: ClayMoore Engineering 1903 Central Drive, Suite 406 Bedford, Texas 76021
--	---

Scale: 1" = 50'	Checked By: A.J. Bedford
Date: March 5, 2019	P.C.: Cryer/Spradling
Technician: Bedford	File: LOT 4 BLOCK E ULTIME MEDIA PLAT
Drawn By: Bedford	Job No. 552-172
	GF No.

301 N. Alamo Rd., Rockwall, Texas 75087  
(972) 722-0225, www.ajbedfordgroup.com, ajb@ajbedfordgroup.com

Sheet: 1  
Of: 2

**AJ Bedford Group, Inc.**  
Registered Professional Land Surveyors

TBPLS REG#10118200

\\NAVALFILES\52-CLAYMOORE ENGINEERING\ROCKWALL\ROCKWALL TECHNOLOGY PARK\LOT 1 BLOCK E ULTIME MEDIA PLAT 2019-09-12.dwg, FINAL PLAT, 9/12/2019 10:40:59 AM

N:\ALL FILES\1552-CLAYMOORE ENGINEERING\ROCKWALL\ROCKWALL TECHNOLOGY PARK\LOT 1 BLOCK E\TIME MEDIA\PLAT.dwg, FINAL PLAT, 02/25/2019 00:11 AM

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

WHEREAS ROCKWALL ECONOMIC DEVELOPMENT, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, said tract being described as follows:

**BEING** a 3.634 acre tract of land situated in the J.M Allen Survey, Abstract Number 2, in the City of Rockwall, Rockwall County, Texas and being Lot 1, Block E of Rockwall Technology Park according to the plat recorded in Cabinet G, Slide 377 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:

**BEGINNING** at an iron rod with cap found for the southerly southwest corner of said Lot 1 and being the southerly corner of a corner cut-off line for the northerly line of Observation Trail (60' wide) with the easterly line of Technology Way (60' wide);

**THENCE** with easterly line of said Technology Way, **NORTH 45°47'33" WEST** a distance of **28.99** feet to a 5/8 inch iron rod set for corner;

**THENCE** continuing with the east line of said Technology Way, **NORTH 00°47'33" WEST** a distance of **380.35** feet to an iron rod with cap found for the northwest corner of said Lot 1;

**THENCE** departing the east line of said Technology Way, **NORTH 89°30'15" EAST** a distance of **400.00** feet to an iron rod with cap found for the northeast corner of said Lot 1;

**THENCE SOUTH 00°47'33" EAST** a distance of **365.87** feet to a 5/8 inch iron rod set in the north line of said Observation Trail and being in a non-tangent curve to the left having a radius of 70.00 feet and a chord bearing of South 64°22'24" West;

**THENCE** along the north line of said Observation Trail with said non-tangent curve to the left through a central angle of **51°18'21"** for an arc length of **62.68** feet to an iron rod with cap found for the beginning of a reverse curve to the right to having a radius 20.50 feet a chord bearing of South 63°58'20" West;

**THENCE** continuing with the north line of said Observation Trail with said reverse curve to the right through a central angle of **50°30'15"** for an arc length of **18.07** feet to an iron with cap found for corner;

**THENCE** continuing with the north line of said Observation Trail, **SOUTH 89°12'27" WEST** a distance of **308.67** feet to the **POINT OF BEGINNING**;

**CONTAINING** within these metes and bounds **3.634** or 158,285 square feet of land more or less.

RECOMMENDED FOR FINAL APPROVAL

\_\_\_\_\_  
Planning and Zoning Commission      Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor, City of Rockwall                      City Secretary                      City Engineer

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS §  
COUNTY OF ROCKWALL §

We, **ROCKWALL ECONOMIC DEVELOPMENT**, the undersigned owner of the land shown on this plat, and designated herein as the **ROCKWALL TECHNOLOGY PARK** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL TECHNOLOGY PARK** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Property owner shall be responsible for all maintenance, repair, and replacement of all drainage and detention easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

**ROCKWALL ECONOMIC DEVELOPMENT**

Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2019

\_\_\_\_\_  
Notary Public in and for the State of Texas

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Austin J. Bedford, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Austin J. Bedford  
Registered Professional Land Surveyor No. 4132  
A.J. Bedford Group, Inc.  
301 North Alamo Road  
Rockwall, Texas 75087

Case No.: P2019-015

**FINAL PLAT  
ROCKWALL TECHNOLOGY PARK ADDITION  
LOT 4, BLOCK E**

1 LOT TOTALING 3.634 ACRES  
BEING A REPLAT OF A LOT 1, BLOCK E OF ROCKWALL TECHNOLOGY PARK  
ADDITION 3.634 ACRES (158,285 SQUARE FEET)  
J.M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner: Rockwall Economic Development 697 East Interstate 30, PO Box 968 Rockwall, Texas 75087	Engineer: ClayMoore Engineering 1903 Central Drive, Suite 406 Bedford, Texas 76021
--	---

Scale: 1" = 50'	Checked By: A.J. Bedford
Date: March 5, 2019	P.C.: Cryer/Spradling
Technician: Bedford	File: LOT 1 BLOCK E\TIME MEDIA PLAT
Drawn By: Bedford	Job No. 552-172
	GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087  
(972) 722-0225, www.ajbedfordgroup.com, ajb@ajbedfordgroup.com

Sheet:  
2  
Of: 2

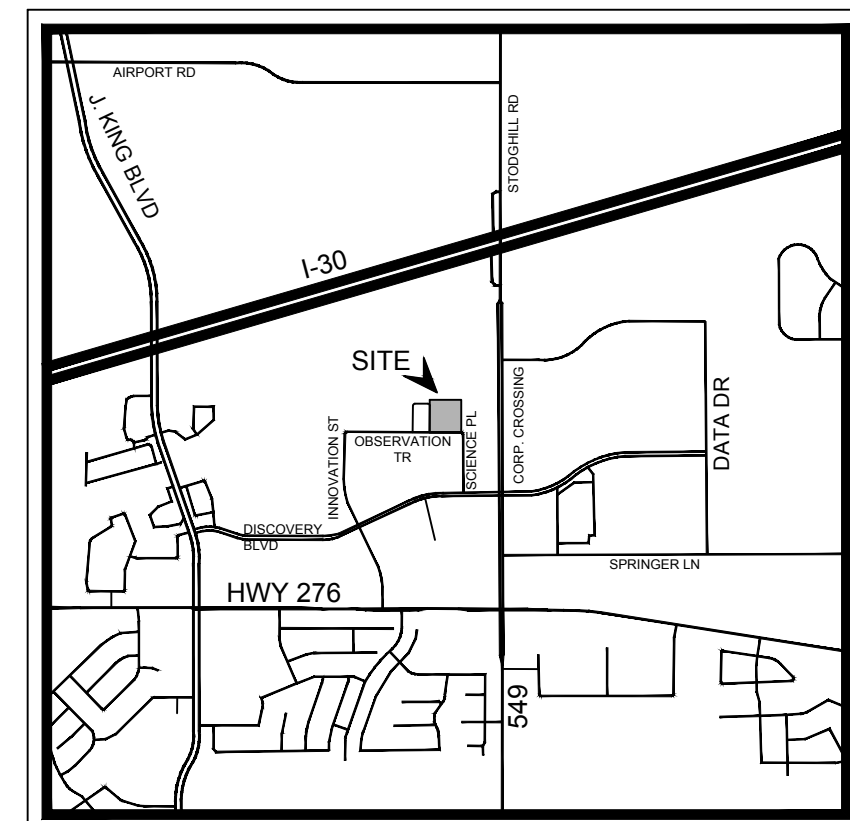
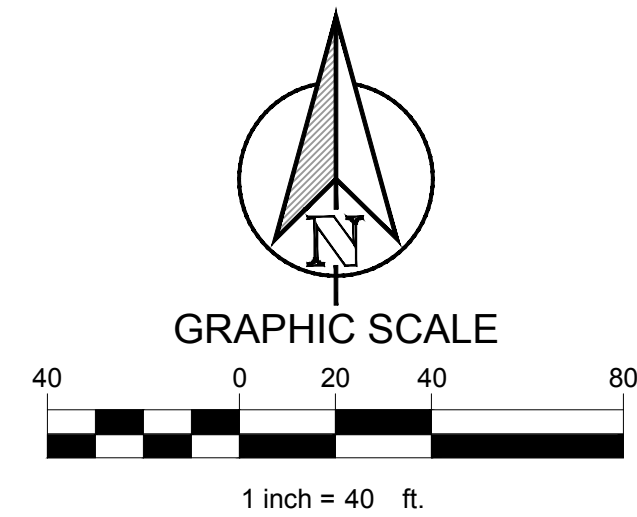


TBPLS REG#10118200

PARKING TABLE	
PARKING REQUIREMENTS	1 PER 500 SF OR .75 PER EMPLOYEE (50 EMPLOYEES)
PARKING REQUIRED	72 SPACES
PARKING PROVIDED	99 SPACES (5 ADA)
TRUCK PARKING	5 SPACES

SITE DATA TABLE	
SITE AREA	3.634 ACRES 158,286 SF
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	INDUSTRIAL
BUILDING SIZE	35,525 SF
LOT COVERAGE	82.4 %
FLOOR TO AREA RATIO	0.22 : 1
BUILDING HEIGHT	1 STORY

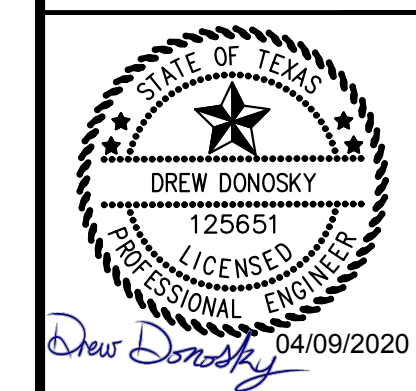
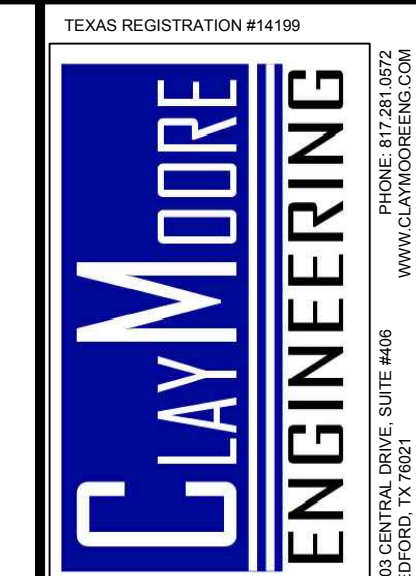
- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - WHERE SECURITY GATES ARE INSTALLED ACROSS FIRE LANE, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION.
  - THE SECURITY GATES AND THE EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.



VICINITY MAP  
N.T.S.

CONSTRUCTION SCHEDULE	
[Symbol]	5" STANDARD DUTY CONCRETE
[Symbol]	HEAVY DUTY (6" CONCRETE)
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PUBLIC PAVEMENT PER ROCKWALL STD.
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE
[Symbol]	PARKING COUNT

CONSTRUCTION SCHEDULE	
①	HANDICAP SYMBOL
②	PAVEMENT STRIPING
③	HANDICAP SIGN
④	PARKING STALL STRIPING, 4" WIDE
⑤	SIDEWALK, 5FT MIN. WIDTH
⑥	HANDICAP RAMPS
⑦	CURB STOP
⑧	SCREENING WALL



**LIME MEDIA  
TECHNOLOGY PARK  
2700 OBSERVATION TRL  
ROCKWALL, TX**

NO.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

**CITY SITE PLAN**

**LIME MEDIA  
ROCKWALL, TX 75087**

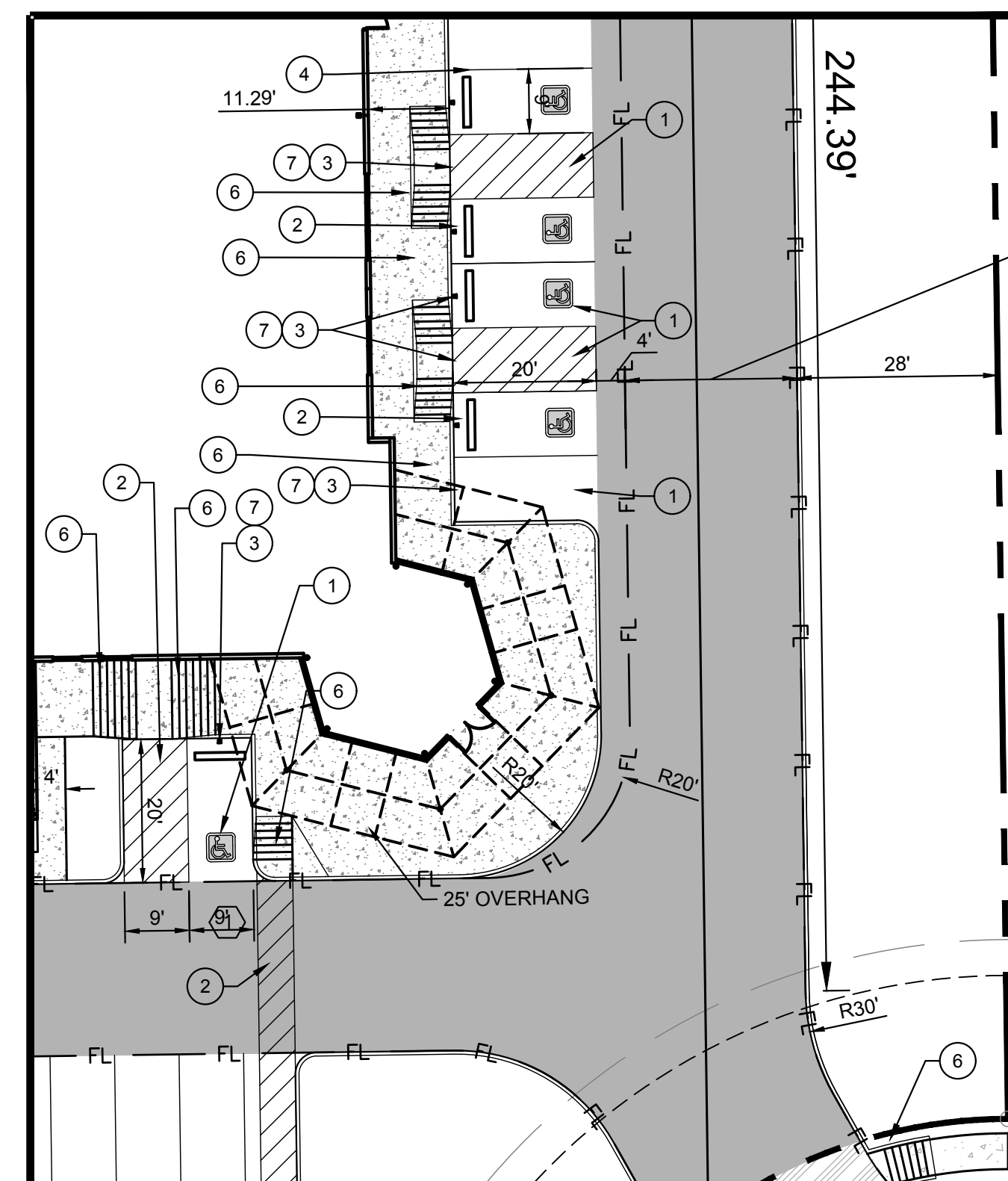
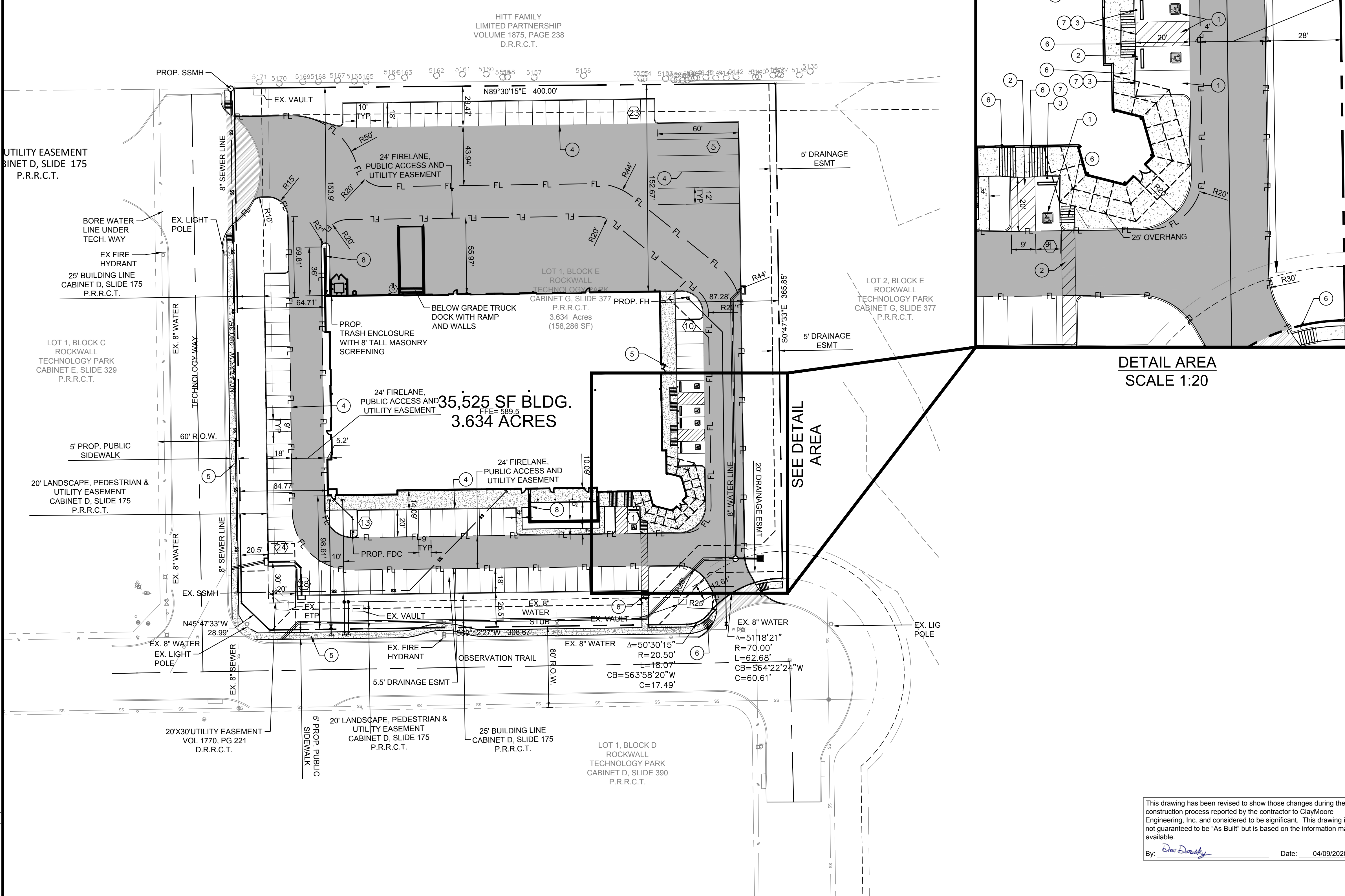
LEGAL DESCRIPTION AND OR ADDRESS:  
**ROCKWALL TECHNOLOGY PARK,  
BLOCK E, LOT 1,  
3.634 ACRES (REPLAT 2010)**

OWNER:  
ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

APPLICANT:  
CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
PH: 817.281.0572

CASE NUMBER  
SP2018-039

This drawing has been revised to show those changes during the construction process reported by the contractor to Clay Moore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
By: *Drew Donosky* Date: 04/09/2020



DETAIL AREA  
SCALE 1:20

PLOTTED BY: LYNN ROWLAND  
PLOT DATE: 4/9/2020 11:47 AM  
LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG  
LAST SAVED: 4/9/2020 11:15 AM

GENERAL NOTES

- 1. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN STANDARDS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS... 3. THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION... 4. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT... 5. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES... 6. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE... 7. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY... 8. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA... 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION... 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS... 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK... 12. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR, OWNER, AND CITY INSPECTOR DIRECTLY FROM THE TESTING AGENCY... 13. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES... 14. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS... 15. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION... 16. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS... 17. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION... 18. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER PER CITY CITY STANDARDS... 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION... 20. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS... 21. CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS... 22. ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET... 23. CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE...

- 2. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER... 3. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH... 4. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS... 5. CONSTRUCTION ENTRANCE: STONE: 4-6 INCH DIAMETER (NO CRUSHED CONCRETE ALLOWED)... 6. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS... 7. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS... 8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION... 9. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION... 10. 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM OF 1" STAND OF GRASS PRIOR TO CITY ACCEPTANCE... 11. ALL RIGHT-OF-WAYS TO BE SODDED... 12. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY... 13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH... 14. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS... 15. CONSTRUCTION ENTRANCE: STONE: 4-6 INCH DIAMETER (NO CRUSHED CONCRETE ALLOWED)... 16. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS... 17. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS... 18. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION... 19. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION... 20. 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM OF 1" STAND OF GRASS PRIOR TO CITY ACCEPTANCE... 21. ALL RIGHT-OF-WAYS TO BE SODDED...

STORM SEWER NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION... 2. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, GRATE INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER... 3. THE END OF ALL STORM SEWER LATERALS THAT CONNECT TO WORK BY PLUMBER SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED 5.0 FEET OUTSIDE THE BUILDING UNTIL FINAL CONNECTIONS ARE MADE... 4. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER... 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS... 6. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION... 7. EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN... 8. ALL RCP SHALL BE CLASS 3 OR APPROVED EQUAL...

STORM SEWER DISCHARGE AUTHORIZATION

- 1. IF THE TOTAL DISTURBED AREA EXCEEDS ONE (1) ACRE A NOTICE OF INTENT (N.O.I.) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE TCEQ NO LESS THAN 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES... 2. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP... 3. A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY AND FILED WITH THE CONSTRUCTION PLANS... 4. A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE TCEQ BY THE CONTRACTOR WHEN THE SITE HAS 100% OF THE DISTURBED AREAS STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION...

TRAFFIC CONTROL NOTES

- 1. SIGNED AND SEALED TRAFFIC CONTROL PLANS MUST BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO THE INSTALLATION OF ANY TRAFFIC CONTROL DEVICES... 2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION... 3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC... 4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER... 5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS...

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES... 2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION...

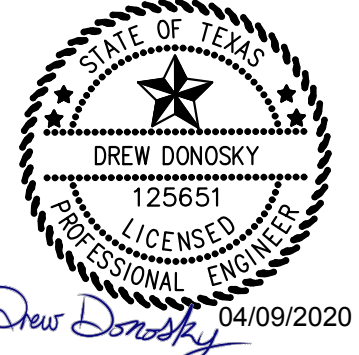
- 3. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH... 4. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS... 5. CONSTRUCTION ENTRANCE: STONE: 4-6 INCH DIAMETER (NO CRUSHED CONCRETE ALLOWED)... 6. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS... 7. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS... 8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION... 9. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION... 10. 75%-80% OF ALL DISTURBED AREA TO HAVE A MINIMUM OF 1" STAND OF GRASS PRIOR TO CITY ACCEPTANCE... 11. ALL RIGHT-OF-WAYS TO BE SODDED...

GRADING NOTES

- 1. A GRADING AND STORMWATER CONTROL PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION... 2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION... 3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE... 4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE EXISTING AND PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS... 5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION... 6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR... 7. ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE GEOTECHNICAL REPORT... 8. GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS... 9. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY... 10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. & T.A.S.) EXIST TO AND FROM EVERY DOOR... 11. THE DETENTION SYSTEM SHALL BE FULLY INSTALLED AND FUNCTIONING PER PLAN INCLUDING THE SIDES AND BOTTOM TO BE STABILIZED WITH ANCHORED SEED (BERMUDA MIX) CURLEX OR SOD PRIOR TO ANY PAVING INCLUDING SLAB...

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available. By: Drew Donosky Date: 04/09/2020

PLOTTED BY: LYNN BOWLAND 4/9/2020 11:47 AM PLOT DATE: 4/9/2020 11:47 AM LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-1 GENERAL NOTES.DWG LAST SAVED: 4/9/2020 11:17 AM



LIME MEDIA TECHNOLOGY PARK 2700 OBSERVATION TRL ROCKWALL, TX

Table with 3 columns: No., DATE, REVISION. Row 1: 3, 12/04/2019, REVISION 3 ASD. Row 2: 2, 08/28/2019, REVISION 2 ASD. Row 3: 1, 06/05/2019, REVISION 1 ASD.

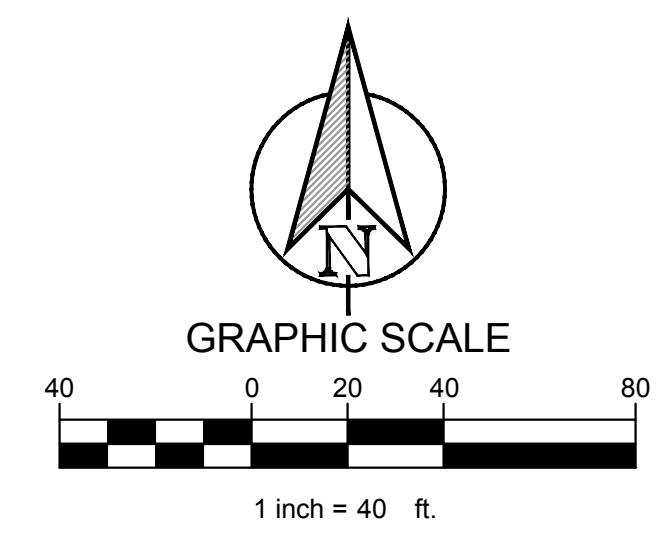
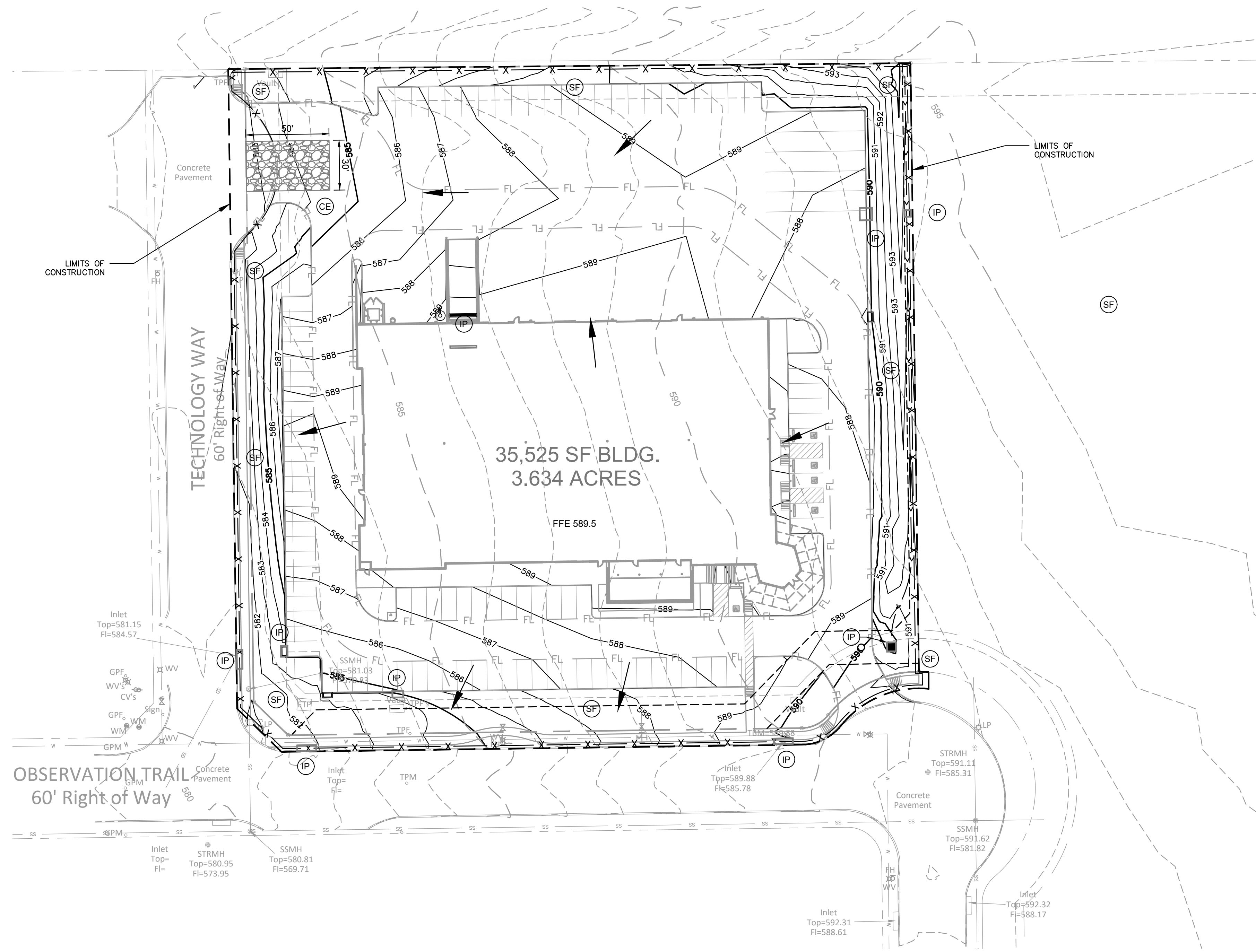
GENERAL NOTES

Project information block including: LIME MEDIA ROCKWALL, TX 75087; LEGAL DESCRIPTION AND/OR ADDRESS: ROCKWALL TECHNOLY PARK, BLOCK E, LOT 1, 3.634 ACRES (REPLAT 2010); OWNER: ROCKWALL ECONOMIC DEVELOPMENT; APPLICANT: CLAYMOORE ENGINEERING, INC.; CASE NUMBER: SP2018-039

Table with 2 columns: DESIGN, DRAWN, CHECKED, DATE. Values: LRR, LRR, ASD, 04/09/2020

SHEET C-1

PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 4/9/2020 11:48 AM  
 LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-2 EROSION CONTROL PLAN.DWG  
 LAST SAVED: 4/9/2020 11:20 AM



LEGEND	
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION
	SILT FENCE
	CONSTRUCTION ENTRANCE
	INLET PROTECTION

ACREAGE SUMMARY	
ONSITE DISTURBED AREA	3.63 AC
OFFSITE DISTURBED AREA	0.15 AC
TOTAL DISTURBED AREA	3.78 AC

TEXAS REGISTRATION #14199  
**CLAY MOORE**  
**ENGINEERING**  
 1803 CENTRAL DRIVE, SUITE 400B  
 ROCKWALL, TX 75087  
 PHONE: 972.781.0077  
 WWW.CLAYMOORE.COM

STATE OF TEXAS  
 DREW DONOSKY  
 123651  
 LICENSED PROFESSIONAL ENGINEER  
 04/09/2020  
*Drew Donosky*

**LIME MEDIA**  
**TECHNOLOGY PARK**  
**2700 OBSERVATION TRL**  
**ROCKWALL, TX**

No.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

**EROSION CONTROL PLAN**  
**C-2**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020

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 By: *Drew Donosky* Date: 04/09/2020

**STANDARD EROSION CONTROL GENERAL NOTES**

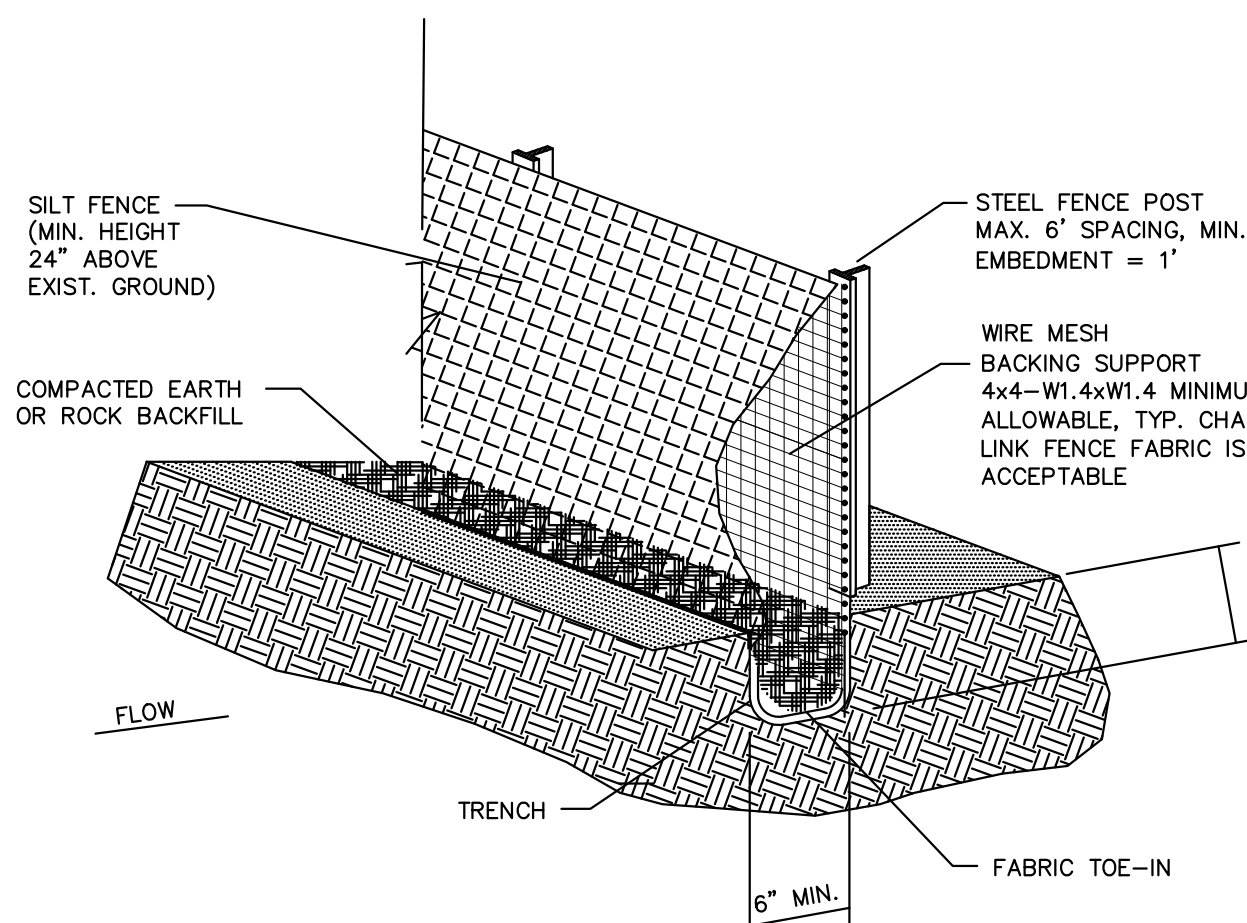
1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ROCKWALL.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
6. CONTRACTOR SHALL HAVE A COPY THE SWPPP ON SITE AT ALL TIMES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. STORM WATER POLLUTION PREVENTION REQUIREMENTS.

**EROSION CONTROL SCHEDULE AND PHASING**

- THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:
- PHASE 1 – DEMOLITION/GRADING**
- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON GRADING AND EROSION CONTROL PLAN, NOTES, AND DETAIL SHEETS.
  - B. BEGIN CLEARING AND GRADING OF SITE.
  - C. SEED AND REVEGETATE SLOPES WHERE SHOWN.
- PHASE 2 – UTILITIES**
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
  - B. INSTALL STORM DRAINS AS SPECIFIED ON PLAN SHEETS.
  - C. INSTALL INLET PROTECTION.
- PHASE 3 – PAVING**
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
  - B. STABILIZE SUBGRADE.
  - C. PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
  - D. REMOVE TEMPORARY CONSTRUCTION ENTRANCE.
  - E. MAINTAIN INLET PROTECTION.
- PHASE 4 – LANDSCAPING AND SOIL STABILIZATION**
- A. REVEGETATE LOT AND PARKWAYS
  - B. LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
  - C. REMOVE EROSION CONTROL DEVICES WHEN GROUND COVER ESTABLISHED.

**B.M.P. MAINTENANCE SCHEDULE**

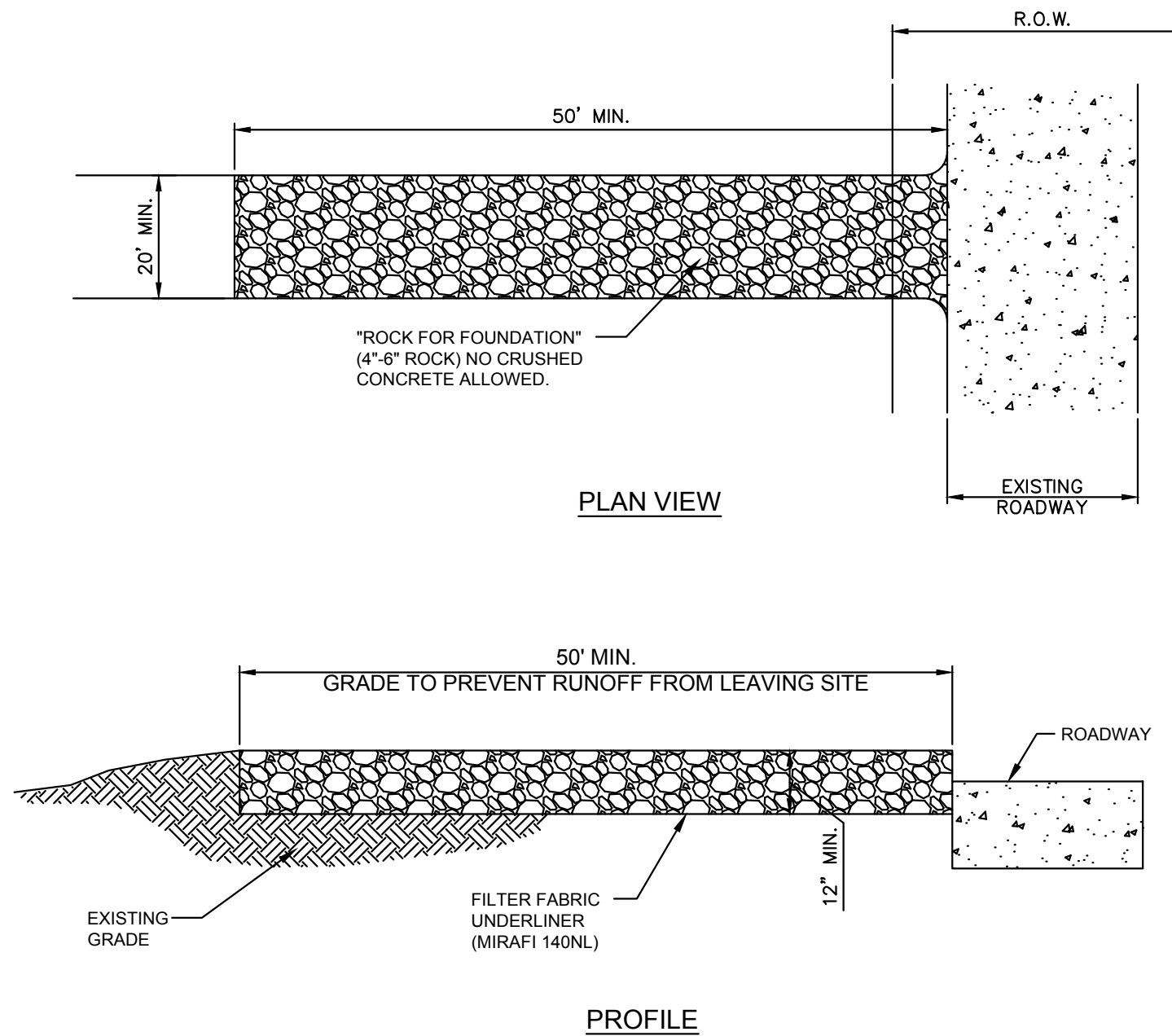
- TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASH DOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.
- SILT FENCE:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.
- INLET PROTECTION:**
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE DESIGN DEPTH. IF DE-WATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE SURROUNDING THE INLET. CLEAN THE STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.



**SILT FENCE GENERAL NOTES**

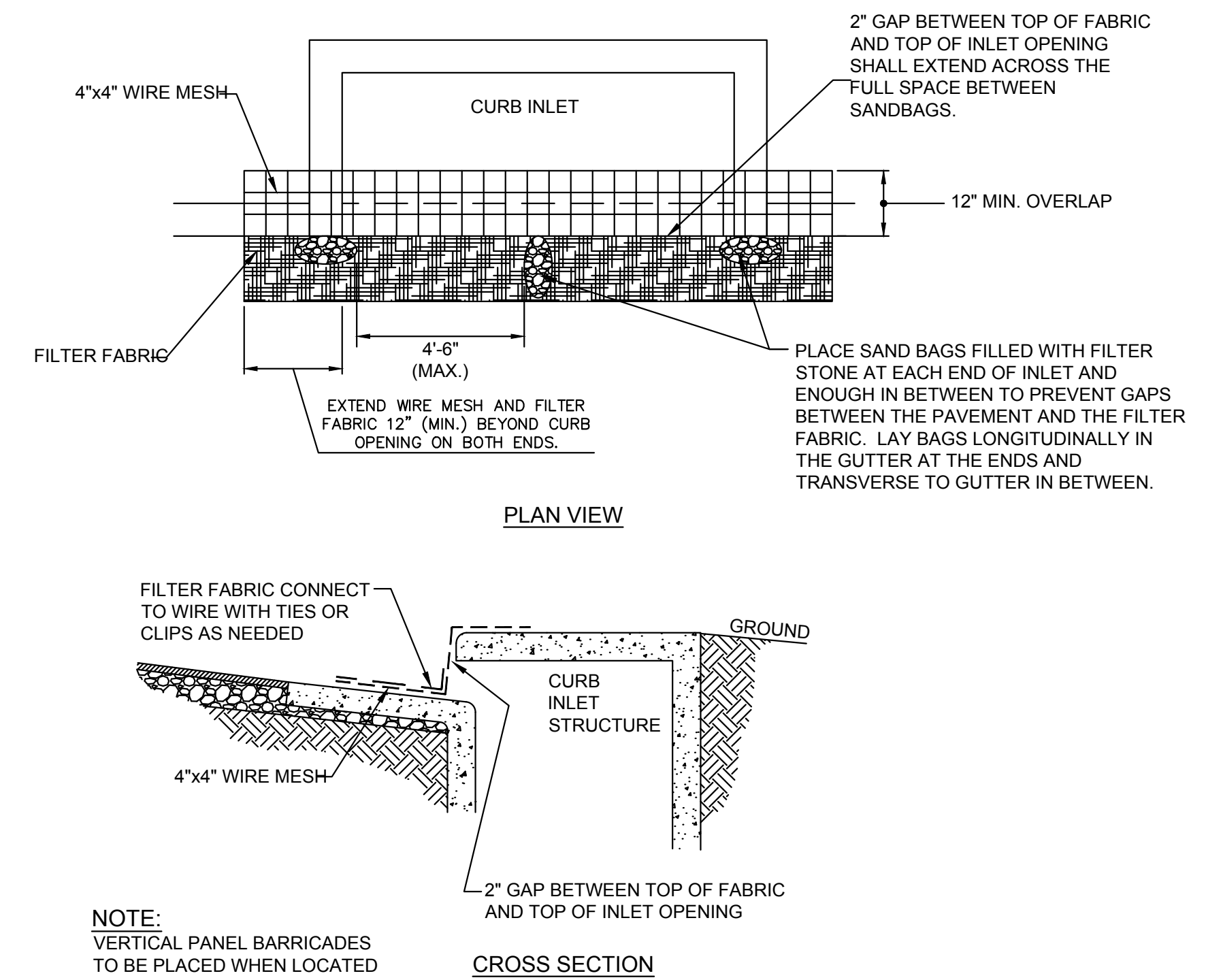
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY WEEK AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

**CONSTRUCTION OF A FILTER BARRIER**



**CONSTRUCTION ENTRANCE DETAIL**

N.T.S.



**CURB INLET PROTECTION DETAIL**

N.T.S.

**NOTE:**  
VERTICAL PANEL BARRICADES TO BE PLACED WHEN LOCATED ON AN ACTIVE STREET.

PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 4/9/2020 11:48 AM  
 LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-3 EROSION CONTROL DETAILS.DWG  
 LAST SAVED: 4/9/2020 11:25 AM

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

STATE OF TEXAS  
 DREW DONOSKY  
 122651  
 LICENSED PROFESSIONAL ENGINEER  
 04/09/2020

**LIME MEDIA  
 TECHNOLOGY PARK  
 2700 OBSERVATION TRL  
 ROCKWALL, TX**

No.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	06/05/2019	REVISION 1	ASD

**EROSION CONTROL DETAILS**

**LIME MEDIA  
 ROCKWALL, TX 75087**

LEGAL DESCRIPTION AND OR ADDRESS:  
**ROCKWALL TECHNOLOGY PARK,  
 BLOCK E, LOT 1,  
 3.634 ACRES (REPLAT 2010)**

OWNER:  
 ROCKWALL ECONOMIC DEVELOPMENT  
 PO BOX 968  
 ROCKWALL, TX 75087

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PH: 817.281.0572

CASE NUMBER  
**SP2018-039**

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 By: *Drew Donosky* Date: 04/09/2020

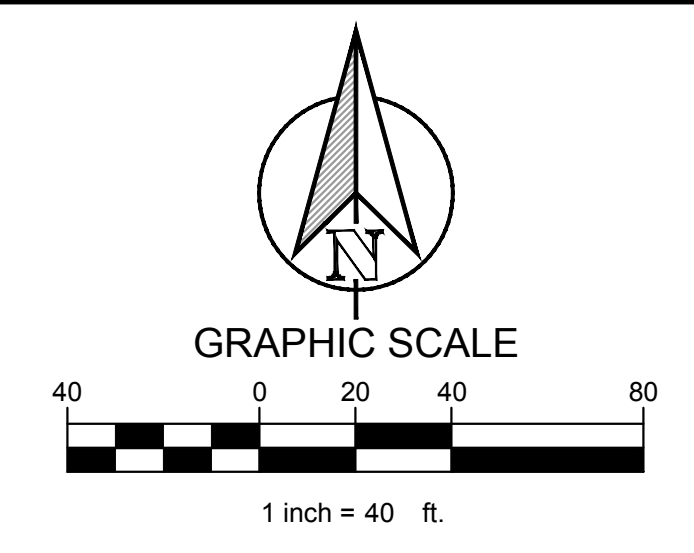
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: ASD  
 DATE: 04/09/2020

SHEET  
**C-3**

File No. 2018-143

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
  3. JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING. CONTRACTOR TO PROVIDE JOINT LAYOUT TO ENGINEER PRIOR TO POURING PAVEMENT.

PARKING TABLE	
PARKING REQUIREMENTS	1 PER 500 SF OR .75 PER EMPLOYEE (50 EMPLOYEES)
PARKING REQUIRED	72 SPACES
PARKING PROVIDED	99 SPACES (5 ADA)
TRUCK PARKING	5 SPACES



TEXAS REGISTRATION #14199

**CLAY MOORE ENGINEERING**

1903 CENTRAL DRIVE, SUITE 4000  
ROCKWALL, TX 75087  
PHONE: 972.972.0077  
WWW.CLAYMOORE.COM

STATE OF TEXAS

DREW DONOSKY  
123651  
LICENSED PROFESSIONAL ENGINEER  
04/09/2020

**LIME MEDIA TECHNOLOGY PARK  
2700 OBSERVATION TRL  
ROCKWALL, TX**

NO.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

**DIMENSIONAL CONTROL AND PAVING PLAN**

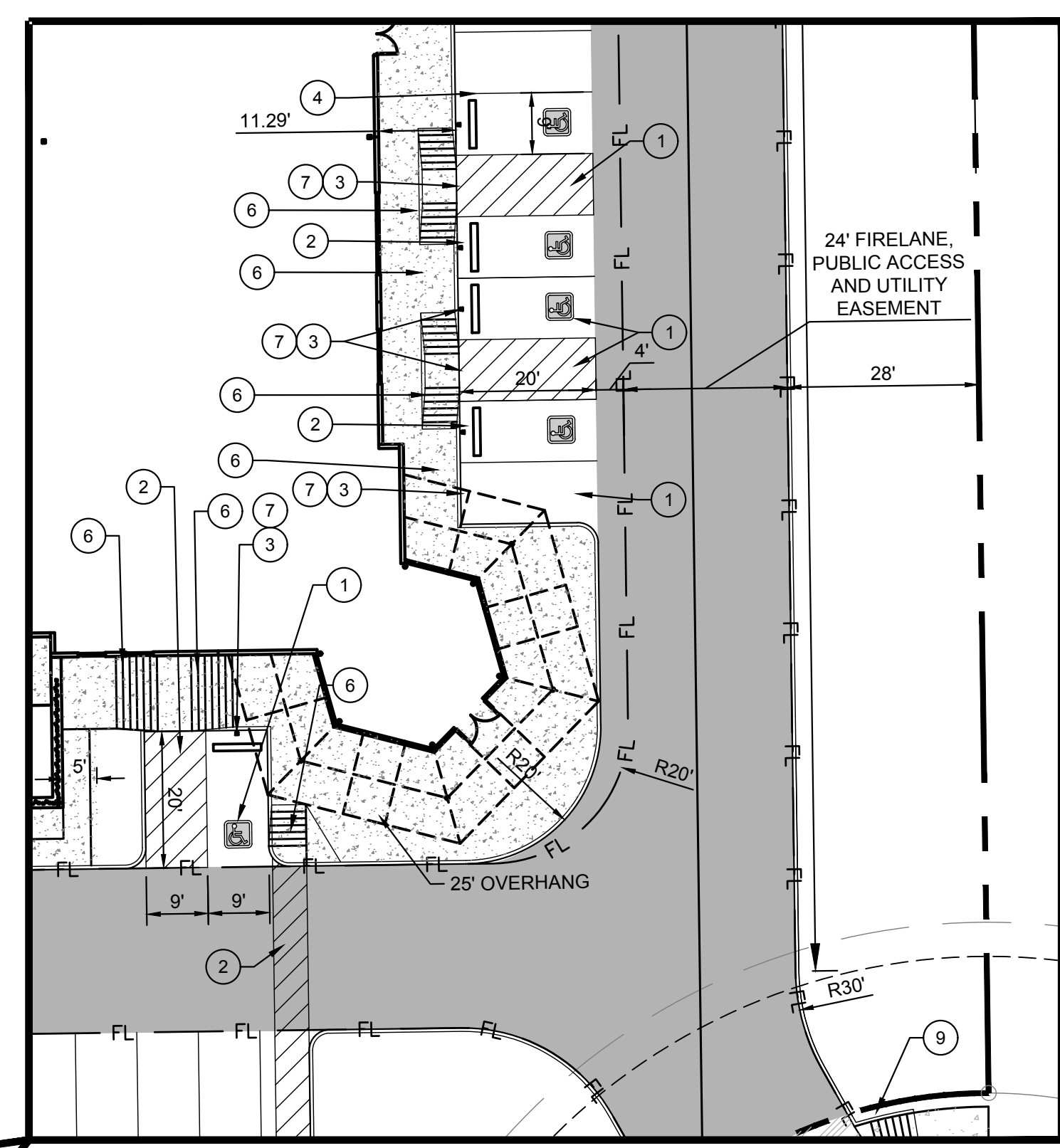
DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET	
<b>C-4</b>	
File No. 2018-143	

**CONSTRUCTION SCHEDULE**

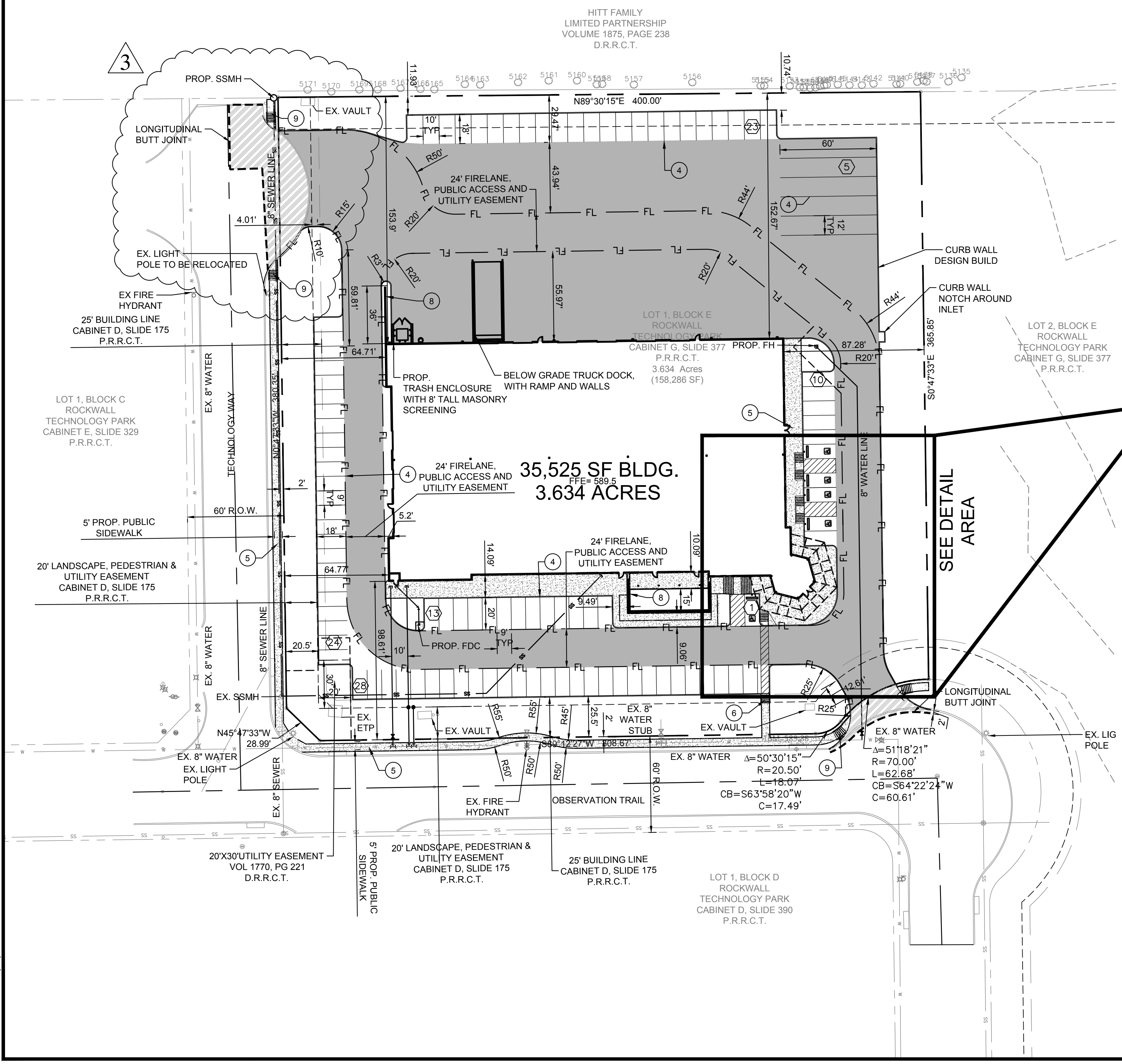
5" STANDARD DUTY CONCRETE. SEE C-11 FOR DETAILS.
HEAVY DUTY (6" CONCRETE) SEE C-11 FOR DETAILS.
PROPOSED CONCRETE SIDEWALK. SEE C-11 FOR DETAILS.
PUBLIC PAVEMENT PER ROCKWALL STD. SEE C-11 FOR DETAILS.
PROPOSED CONCRETE CURB AND GUTTER
FL PROPOSED FIRE LANE
④ PARKING COUNT

**CONSTRUCTION SCHEDULE**

①	HANDICAP SYMBOL
②	PAVEMENT STRIPING
③	HANDICAP SIGN PER DETAIL SHEET C-11
④	PARKING STALL STRIPING, 4" WIDE
⑤	SIDEWALK, 5FT MIN. WIDTH
⑥	HANDICAP RAMPS PER DETAIL SHEET C-11
⑦	CURB STOP PER DETAIL SHEET C-11
⑧	SCREENING WALL
⑨	PUBLIC HANDICAP RAMP. PER CITY STANDARDS



**DETAIL AREA  
SCALE 1:20**



SEE DETAIL AREA

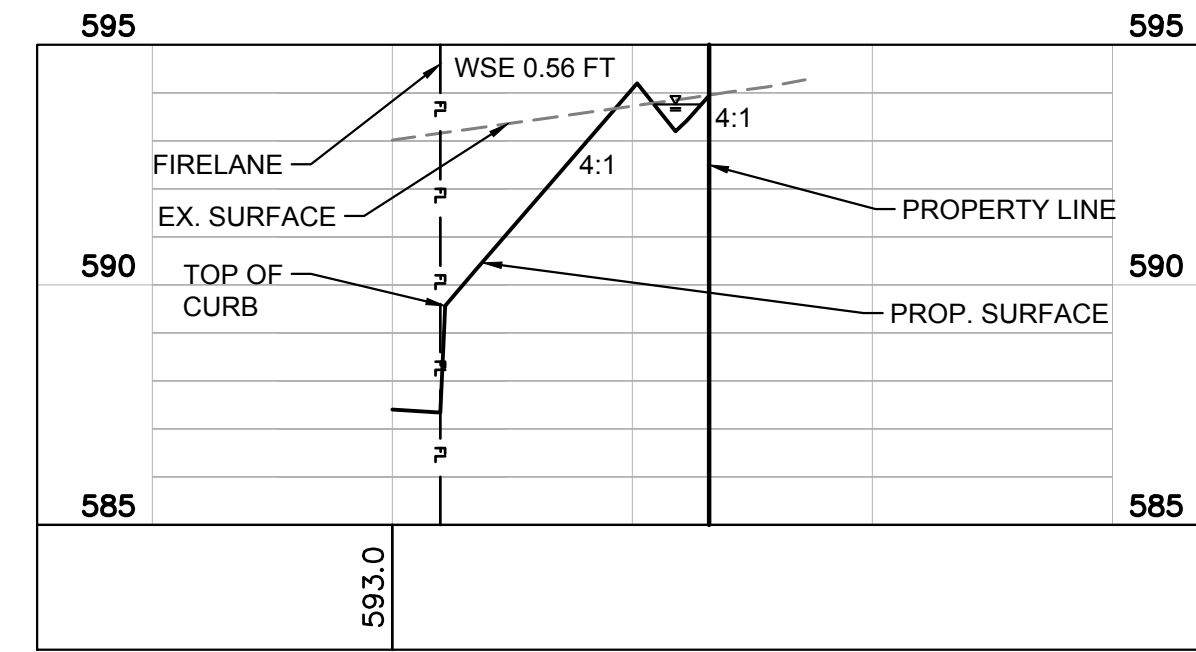
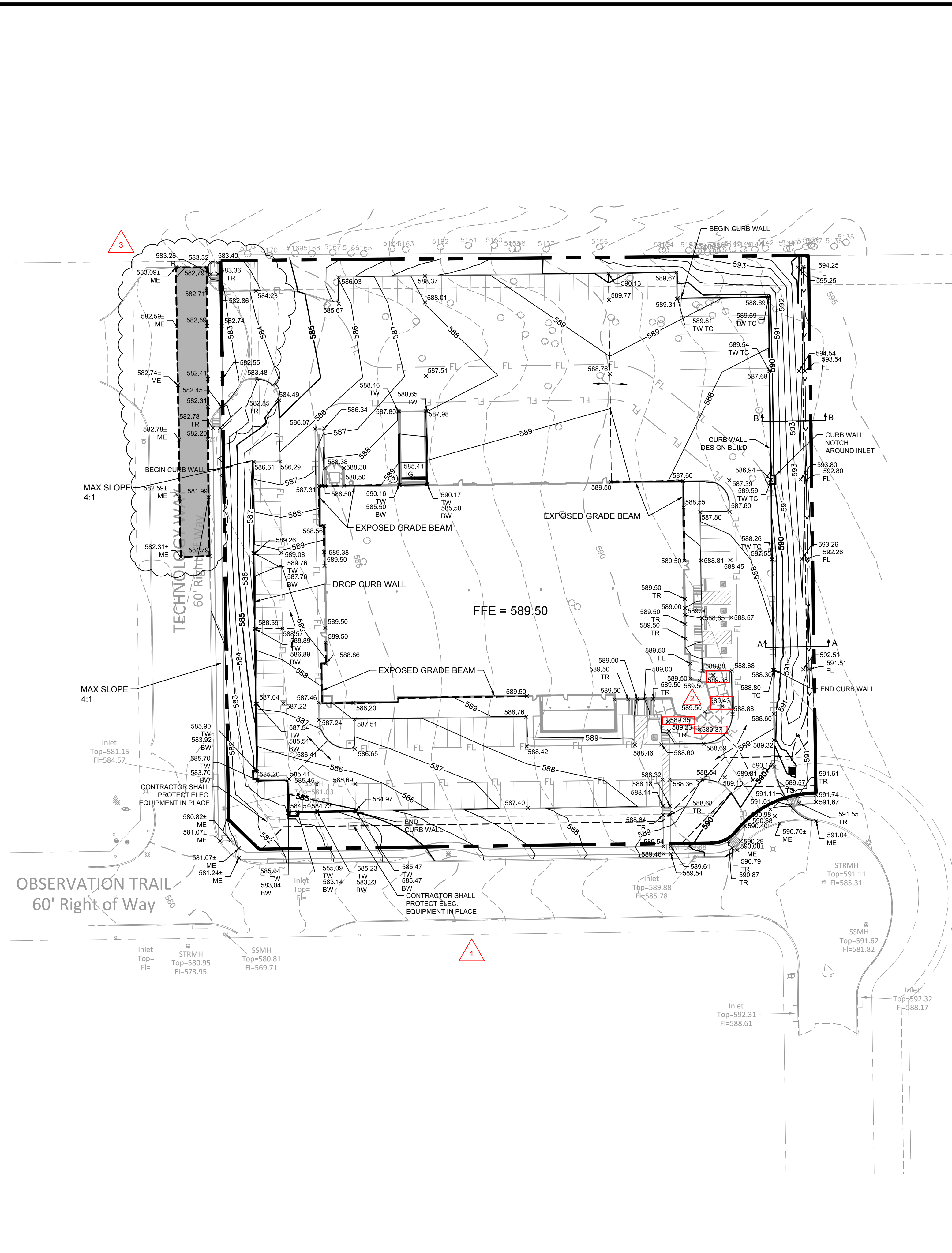
This drawing has been revised to show those changes during the construction process reported by the contractor to Clay Moore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Drew Donosky* Date: 04/09/2020

PLOTTED BY: LYNN ROWLAND  
PLOT DATE: 4/9/2020 11:14 AM  
LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-4 DIMENSIONAL CONTROL AND PAVING PLAN.DWG  
LAST SAVED: 4/9/2020 11:28 AM

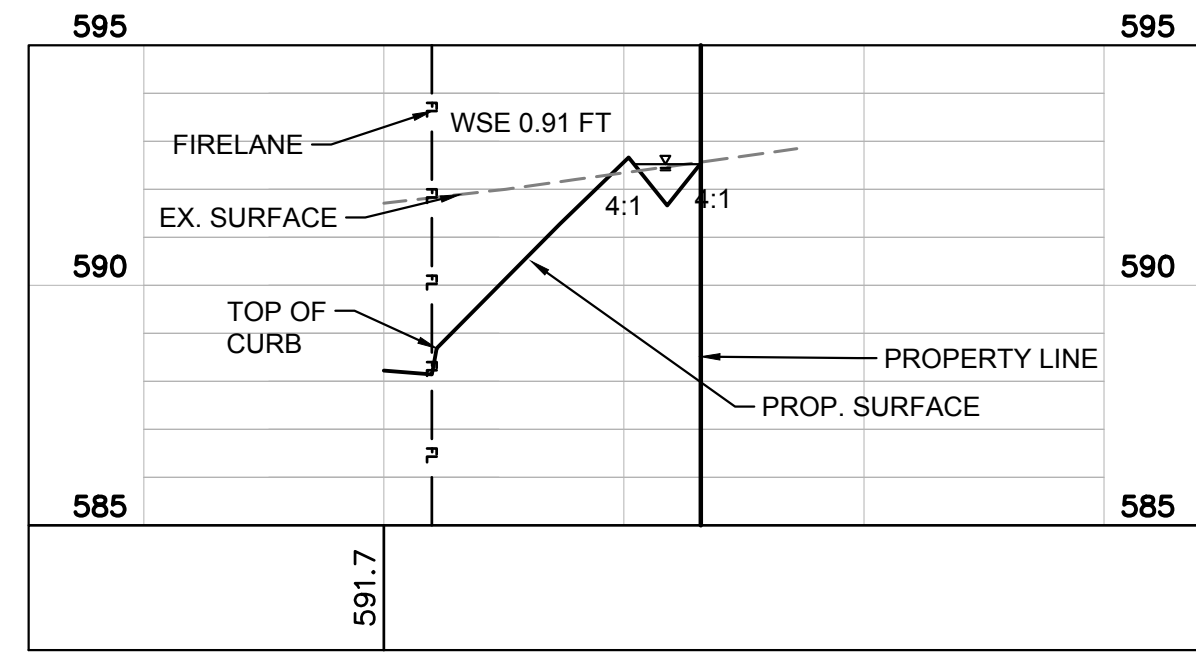


PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 4/9/2020 11:50 AM  
 LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-5 GRADING PLAN.DWG  
 LAST SAVED: 12/5/2019 5:50 PM



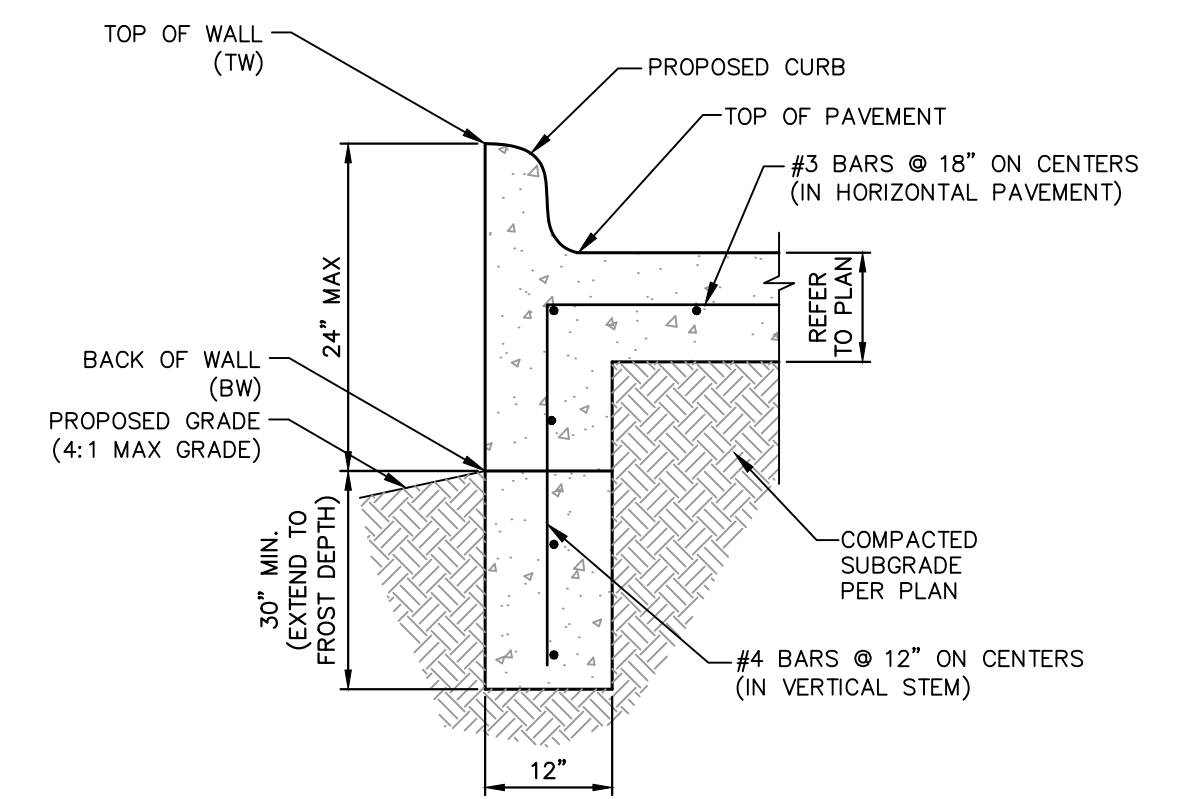
**CROSS SECTION BB**  
 H SCALE: 1" = 20'  
 V SCALE: 1" = 4'

Q100: 2.56 CFS  
 V100: 2.07  
 Dn: 0.56 FT  
 DEPTH OF CHANNEL: 0.75 FT



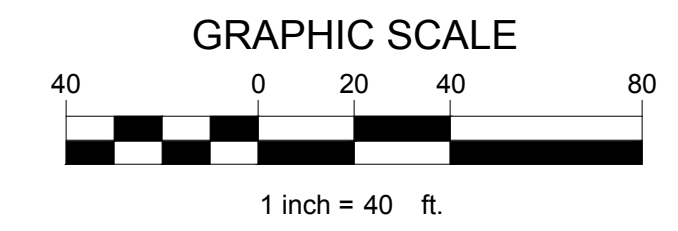
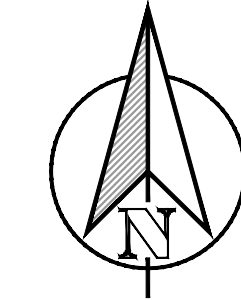
**CROSS SECTION AA**  
 H SCALE: 1" = 20'  
 V SCALE: 1" = 4'

Q100: 9.60 CFS  
 V100: 2.88  
 Dn: 0.91 FT  
 DEPTH OF CHANNEL: 1 FT



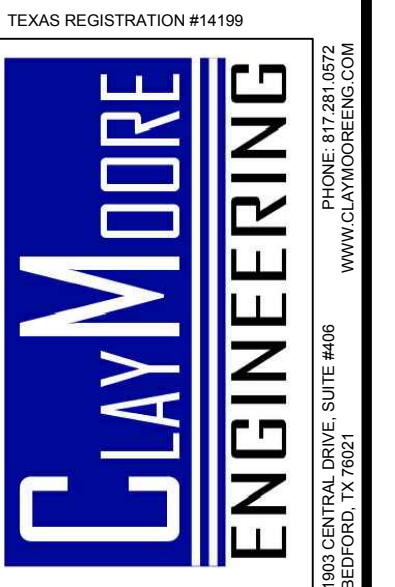
**CURB WITH WALL DETAIL**  
 N.T.S.

- NOTES:**
- ALL WALLS OF 3' TO BE DESIGNED (SIGNED/SEALED PLANS) BY A PROFESSIONAL ENGINEER. SAME ENGINEER TO SUBMIT A SIGNED AND SEALED LETTER OF CONCURRENCE/APPROVAL OF THE CONSTRUCTION OF THE WALL PRIOR TO CITY ACCEPTANCE. CITY INSPECTOR DOES NOT ALLOWED. WALLS MUST BE ROCK, STONE, OR FORM LINED.



LEGEND	
— 100 —	EXISTING CONTOUR
— 100 —	PROPOSED CONTOUR
x699.50	PROPOSED GRADE (TOP OF PAVEMENT)
ME	MATCH EXISTING
TC	TOP OF CURB
---	RIDGE LINE

**NOTES:**  
 1. NO SLOPE SHALL BE GRADED TO A SLOPE GREATER THAN 4:1



**LIME MEDIA  
 TECHNOLOGY PARK  
 2700 OBSERVATION TRAIL  
 ROCKWALL, TX**

NO.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

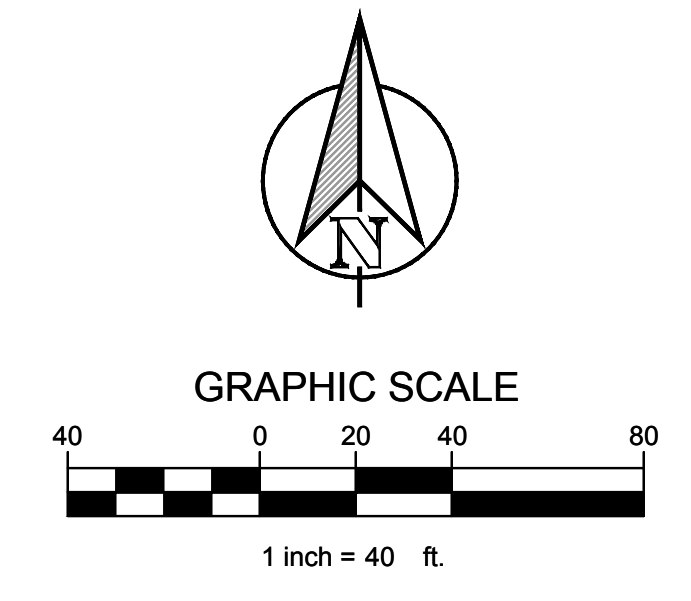
**GRADING PLAN**

This drawing has been revised to show those changes during the construction process reported by the contractor to Clay Moore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
 By: *Drew Donosky* Date: 04/09/2020

<b>LIME MEDIA        ROCKWALL, TX 75087</b>	
LEGAL DESCRIPTION AND OR ADDRESS: ROCKWALL TECHNOLOGY PARK, BLOCK E, LOT 1, 3.634 ACRES (REPLAT 2010)	
OWNER: ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER: SP2018-039	

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET <b>C-5</b>	
File No. 2018-143	

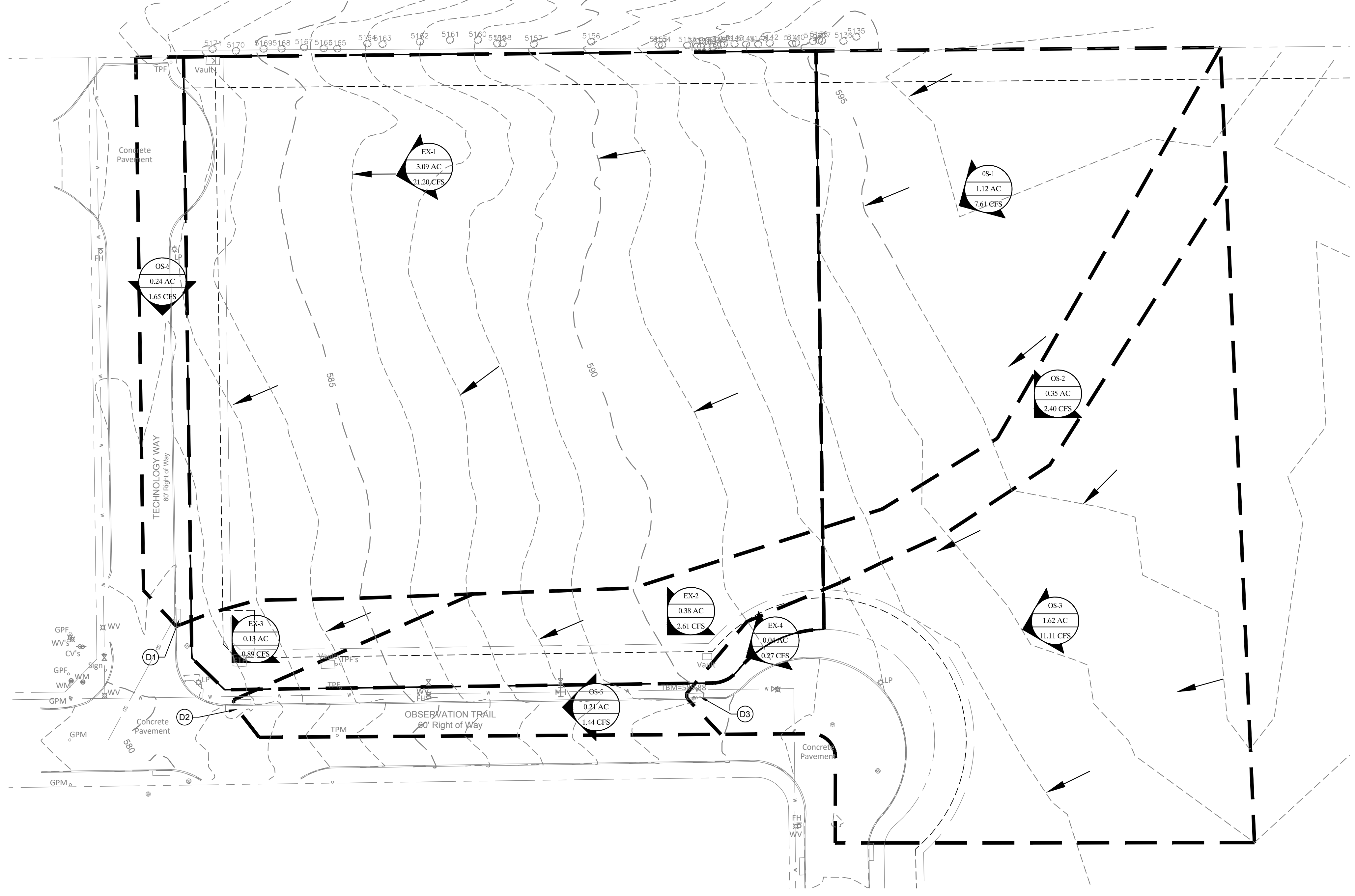
HYDROLOGIC CALCULATIONS - PRE DEVELOPED CONDITIONS										
DRAINAGE AREA	AREA (AC.)	C	Tc (min)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	I <sub>25</sub> (IN/HR)	Q <sub>25</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	REMARKS
EX-1	3.09	0.70	10.0	7.40	16.01	8.40	18.17	9.80	21.20	DRAINS TO DRAIN INLET D1
EX-2	0.38	0.70	10.0	7.40	1.97	8.40	2.23	9.80	2.61	DRAINS TO DRAIN INLET D2
EX-3	0.13	0.70	10.0	7.40	0.67	8.40	0.76	9.80	0.89	DRAINS TO OBSERVATION TRAIL
EX-4	0.04	0.70	10.0	7.40	0.21	8.40	0.24	9.80	0.27	DRAINS TO DRAIN INLET D3
ON SITE	3.64				18.86		21.40		24.97	
OS-1	1.12	0.70	10.0	7.40	5.80	8.40	6.59	9.80	7.68	DRAINS TO DRAIN INLET D1
OS-2	0.35	0.70	10.0	7.40	1.81	8.40	2.06	9.80	2.40	DRAINS TO DRAIN INLET D2
OS-3	1.62	0.70	10.0	7.40	8.39	8.40	9.53	9.80	11.11	DRAINS TO DRAIN INLET D3
OS-4	0.21	0.70	10.0	7.40	1.09	8.40	1.23	9.80	1.44	DRAINS TO DRAIN INLET D2
OS-5	0.24	0.70	10.0	7.40	1.24	8.40	1.41	9.80	1.65	DRAINS TO DRAIN INLET D1
OFF SITE	3.54				18.34		20.82		24.28	
<b>TOTAL DRAINAGE</b>	<b>7.18</b>				<b>37.19</b>		<b>42.22</b>		<b>49.25</b>	



LEGEND	
	- DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

**FLOODPLAIN NOTE**

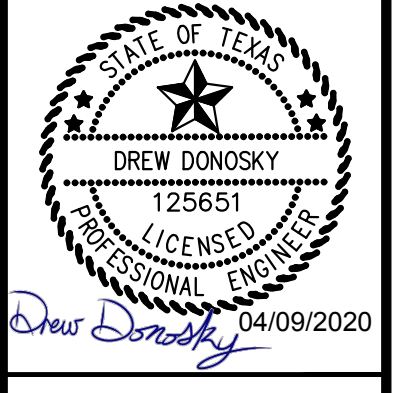
ACCORDING TO MAP NO. 483970045L, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



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By: *Drew Donosky* Date: 04/09/2020

<b>LIME MEDIA ROCKWALL, TX 75087</b>	
LEGAL DESCRIPTION AND OR ADDRESS: <b>ROCKWALL TECHNOLOGY PARK, BLOCK E, LOT 1, 3.634 ACRES (REPLAT 2010)</b>	
OWNER: ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2018-039	



**LIME MEDIA  
TECHNOLOGY PARK  
2700 OBSERVATION TRL  
ROCKWALL, TX**

No.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

**EXISTING DRAINAGE AREA  
MAP**

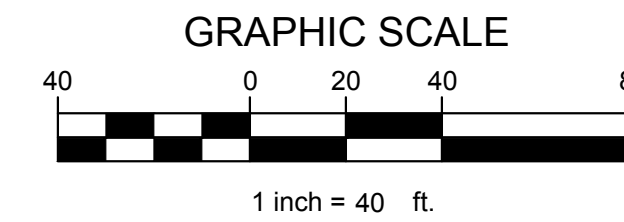
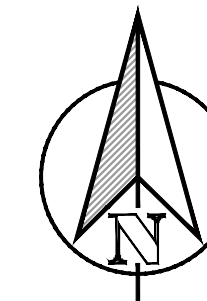
DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET	
<b>C-6</b>	
File No. 2018-143	

PLOTTED BY: LYNN BOWLAND  
 PLOT DATE: 4/9/2020 11:50 AM  
 LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-6 EXISTING DRAINAGE AREA MAP.DWG  
 LAST SAVED: 4/9/2020 11:31 AM

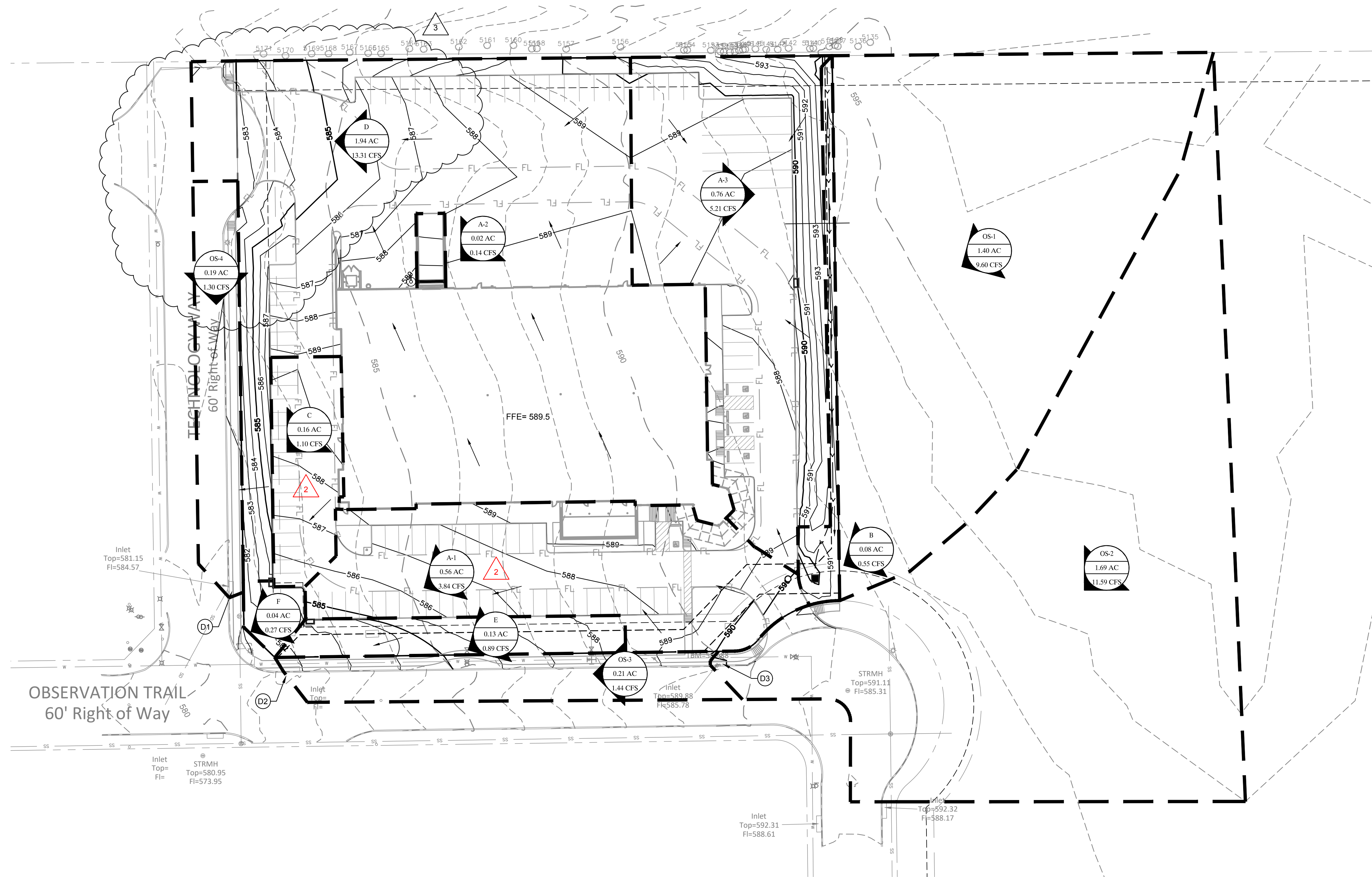
HYDROLOGIC CALCULATIONS - POST DEVELOPED CONDITIONS										
DRAINAGE AREA	AREA (AC.)	C	Tc (min)	$I_{10}$ (IN/HR)	$Q_{10}$ (CFS)	$I_{25}$ (IN/HR)	$Q_{25}$ (CFS)	$I_{100}$ (IN/HR)	$Q_{100}$ (CFS)	REMARKS
A-1	0.56	0.70	10.0	7.10	2.78	8.30	3.25	9.80	3.84	DRAINS TO STORMLINE B
A-2	0.02	0.70	10.0	7.10	0.10	8.30	0.12	9.80	0.14	SUMP PUMP TO AREA D
A-3	0.76	0.70	10.0	7.10	3.78	8.30	4.42	9.80	5.21	DRAINS TO STORMLINE A
B	0.08	0.70	10.0	7.10	0.40	8.30	0.46	9.80	0.55	DRAINS TO STORMLINE A
C	0.16	0.70	10.0	7.10	0.80	8.30	0.93	9.80	1.10	DRAINS TO STORMLINE B
D	1.94	0.70	10.0	7.10	9.64	8.30	11.27	9.80	13.31	SHEET FLOWS ONTO TECHNOLOGY WAY
E	0.13	0.70	10.0	7.10	0.65	8.30	0.76	9.80	0.89	SHEET FLOWS ONTO OBSERVATION TRAIL
F	0.04	0.70	10.0	7.10	0.20	8.30	0.23	9.80	0.27	SHEET FLOWS ONTO TECHNOLOGY WAY
OS-1	1.40	0.70	15.0	7.10	6.96	8.30	8.13	9.80	9.60	DRAINS TO STORMLINE A
OS-2	1.69	0.70	15.0	7.10	8.40	8.30	9.82	9.80	11.59	SHEET FLOWS ONTO OBSERVATION TRAIL
OS-3	0.21	0.70	15.0	7.10	1.04	8.30	1.22	9.80	1.44	SHEET FLOWS ONTO OBSERVATION TRAIL
OS-4	0.19	0.70	15.0	7.10	0.94	8.30	1.10	9.80	1.30	SHEET FLOWS ONTO TECHNOLOGY WAY
<b>TOTAL DRAINAGE</b>	<b>7.18</b>				<b>35.68</b>		<b>41.72</b>		<b>49.25</b>	

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 48397C0045L, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



LEGEND	
	- DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY



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 By: *Drew Donosky* Date: 04/09/2020

<b>LIME MEDIA ROCKWALL, TX 75087</b>	
LEGAL DESCRIPTION AND OR ADDRESS: <b>ROCKWALL TECHNOLY PARK, BLOCK E, LOT 1, 3.634 ACRES (REPLAT 2010)</b>	
OWNER: ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2018-039	

TEXAS REGISTRATION #14199  
  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 WWW.CLAYMOORE.COM

STATE OF TEXAS  
  
 DREW DONOSKY  
 LICENSED PROFESSIONAL ENGINEER  
 04/09/2020

**LIME MEDIA  
TECHNOLOGY PARK  
2700 OBSERVATION TRL  
ROCKWALL, TX**

NO.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

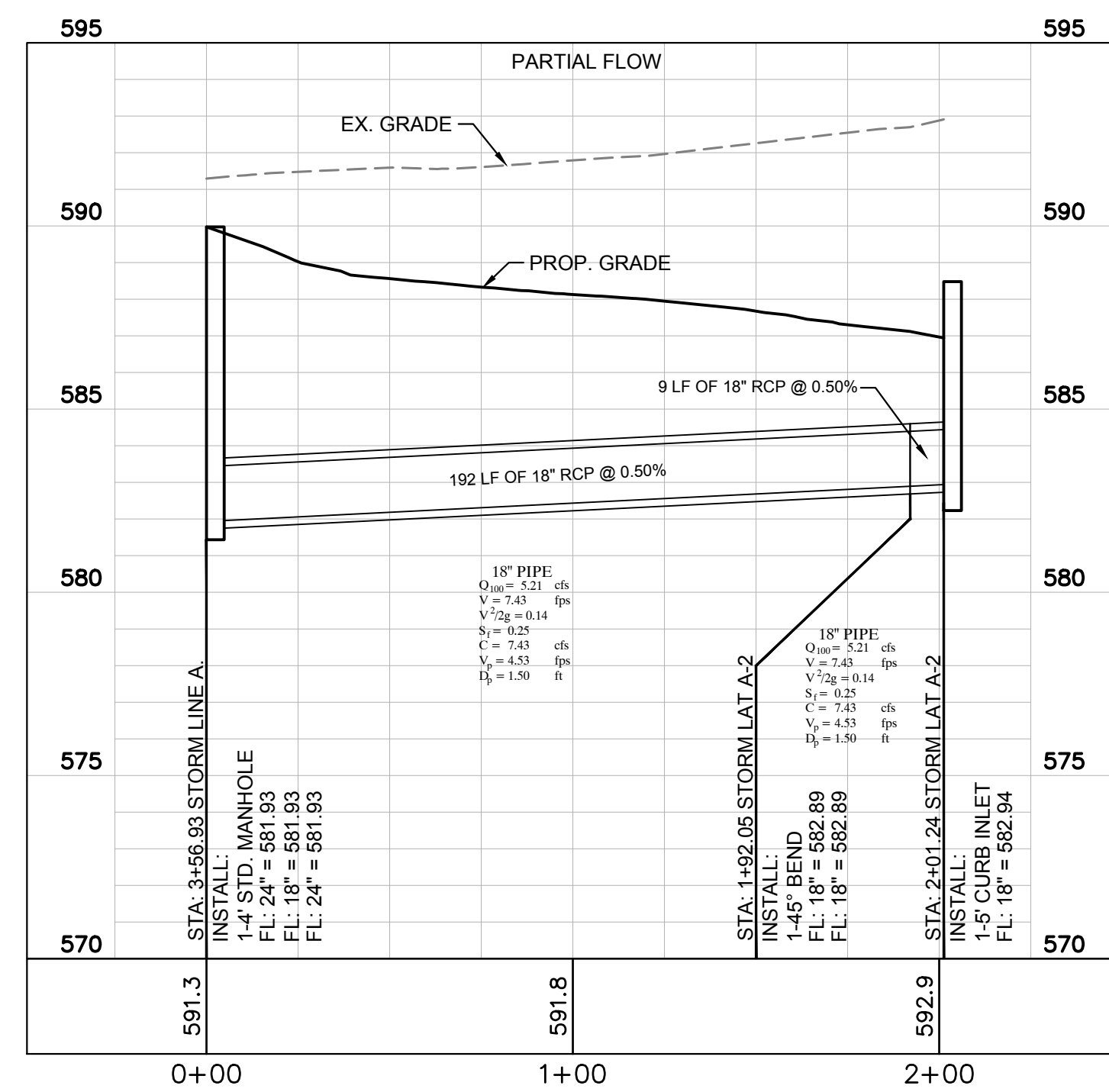
**PROPOSED DRAINAGE AREA  
MAP**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET <b>C-7</b>	
File No. 2018-143	

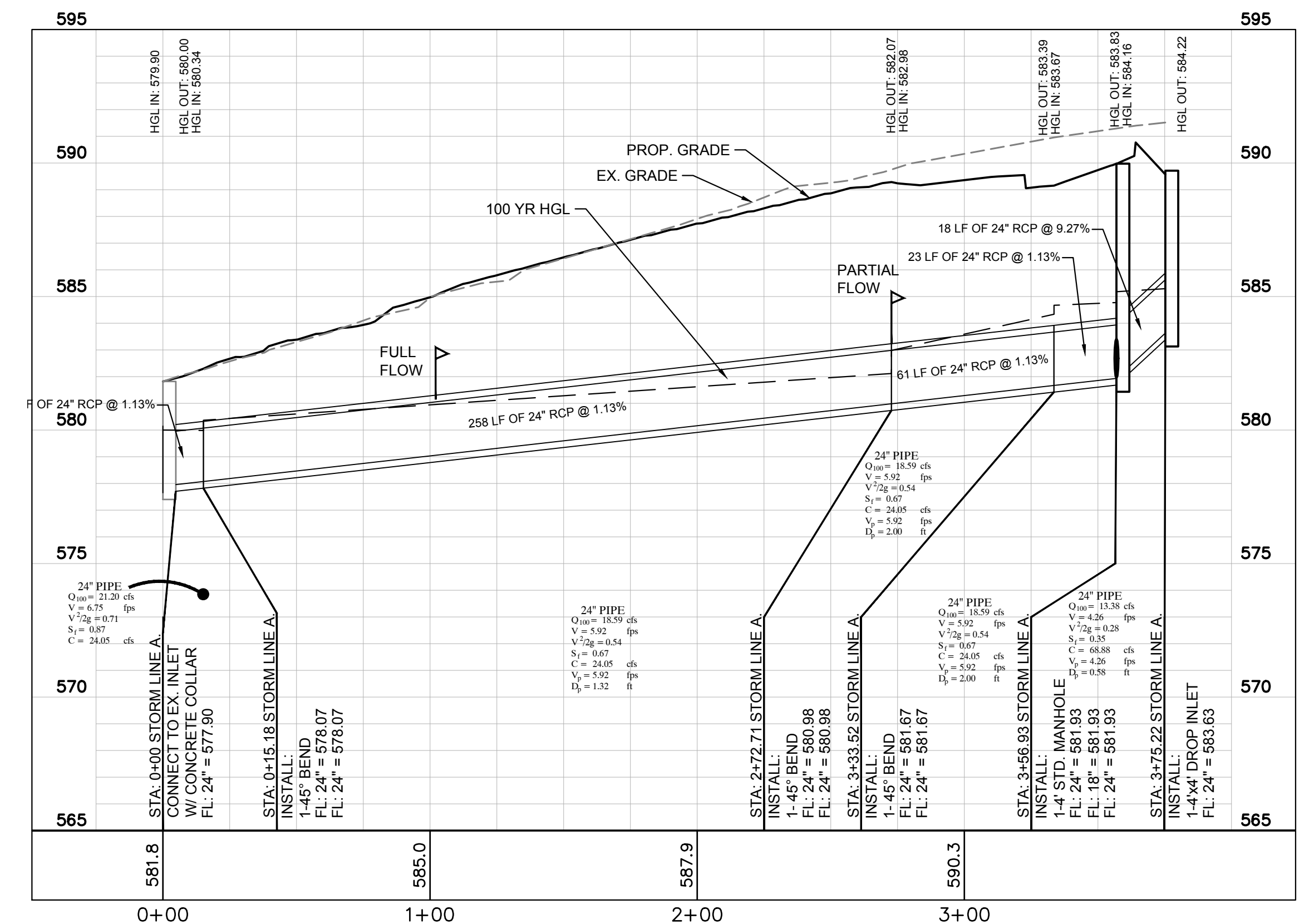
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 LAST SAVED: 4/9/2020 11:33 AM



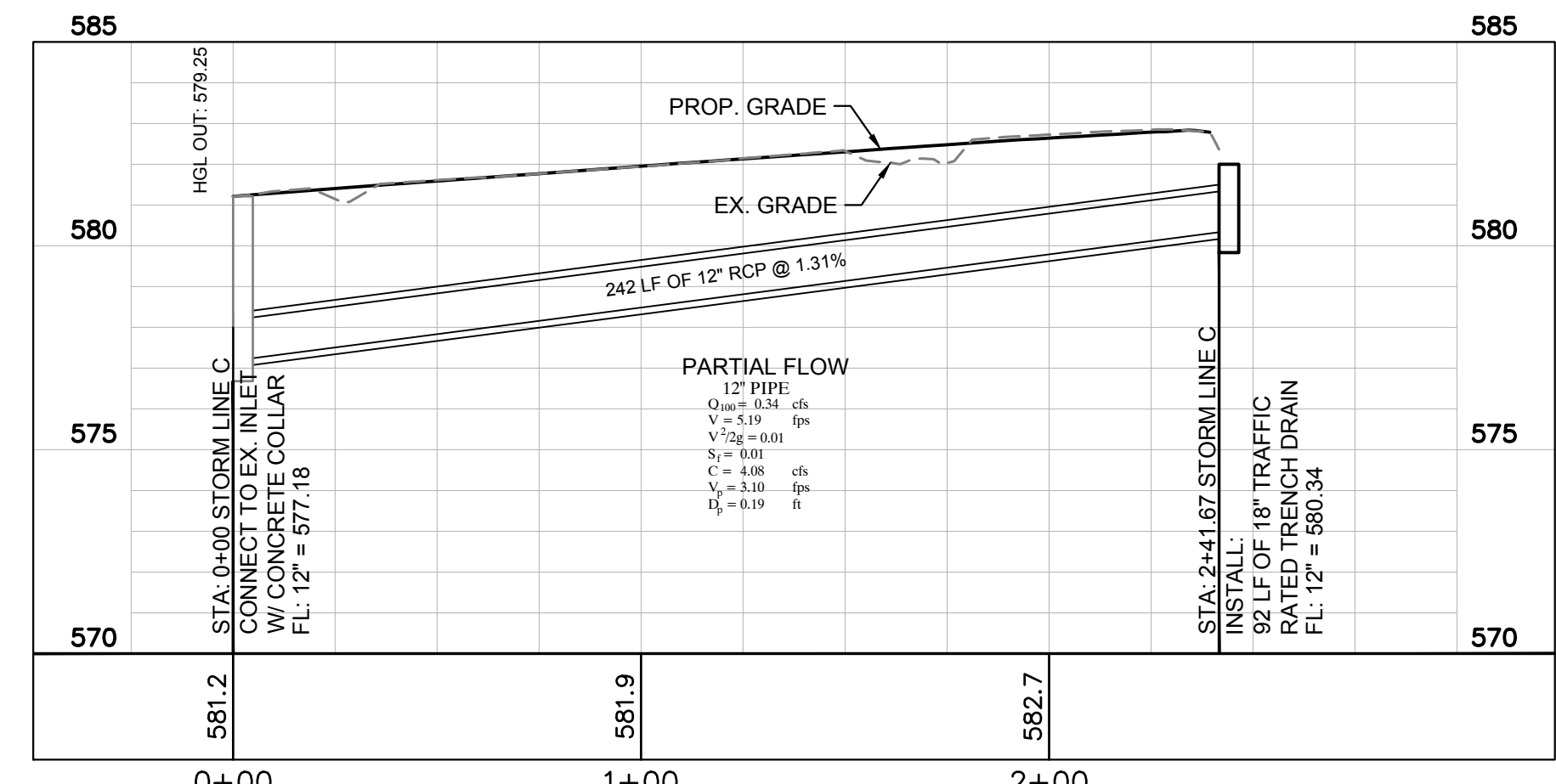
PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 4/9/2020 11:52 AM  
 LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-9 STORM DRAIN PROFILE.DWG  
 LAST SAVED: 4/9/2020 11:37 AM



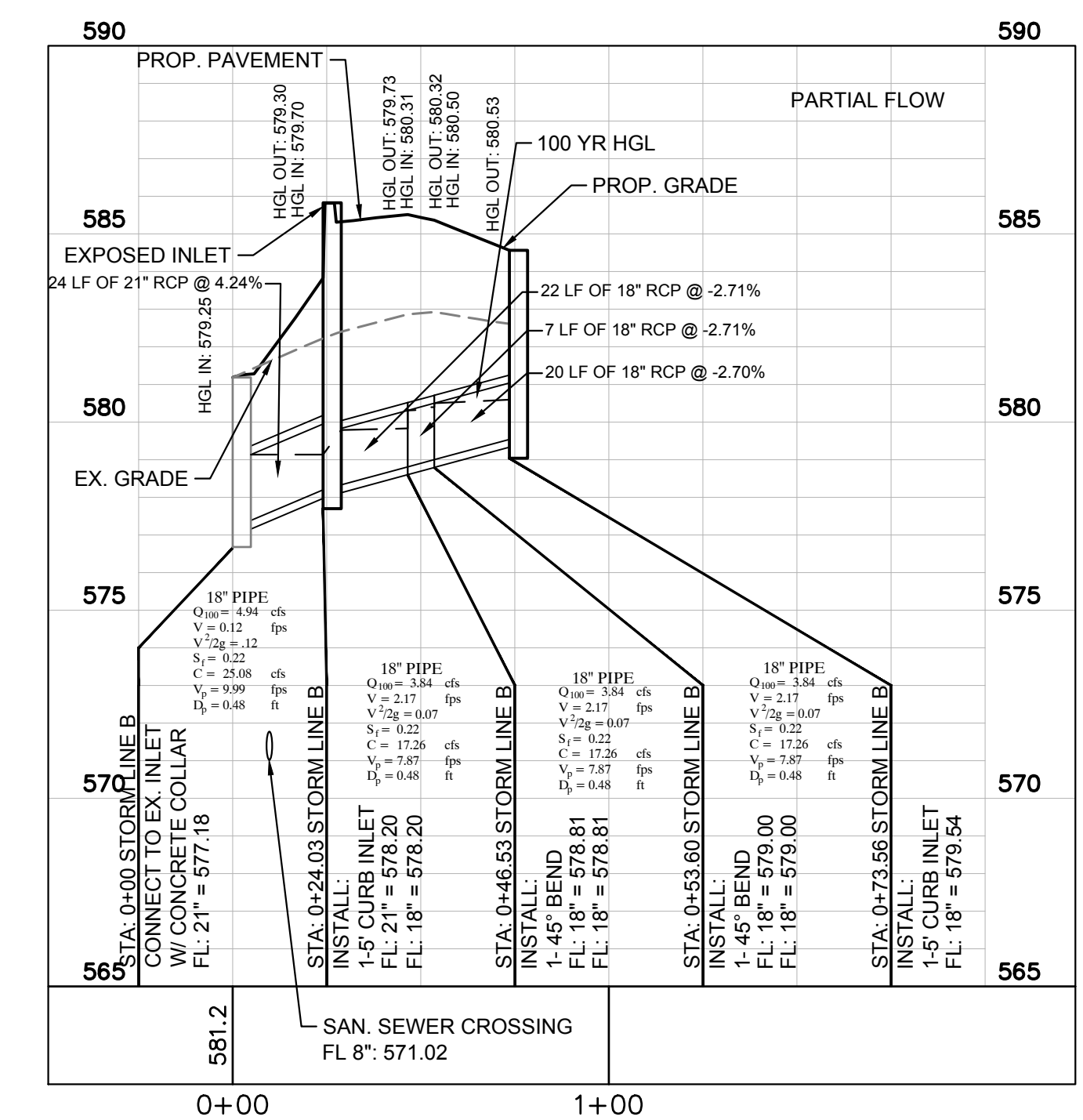
**STORM LAT A-2**  
 SCALE H: 1" = 40'  
 SCALE V: 1" = 4'  
 PRIVATE



**STORM LINE A**  
 SCALE H: 1" = 40'  
 SCALE V: 1" = 4'



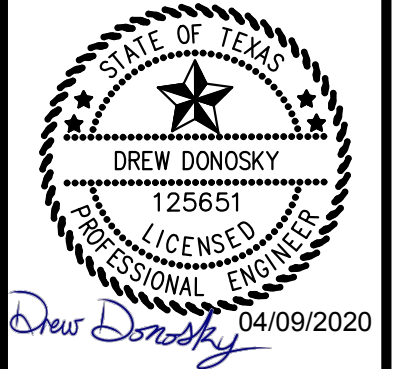
**STORM LAT A-2**  
 SCALE H: 1" = 40'  
 SCALE V: 1" = 4'  
 PRIVATE



**STORM LINE B**  
 SCALE H: 1" = 40'  
 SCALE V: 1" = 4'  
 PRIVATE

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<b>LIME MEDIA</b> ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND/OR ADDRESS: <b>ROCKWALL TECHNOLY PARK,</b> BLOCK E, LOT 1, 3.634 ACRES (REPLAT 2010)	
OWNER: ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2018-039	



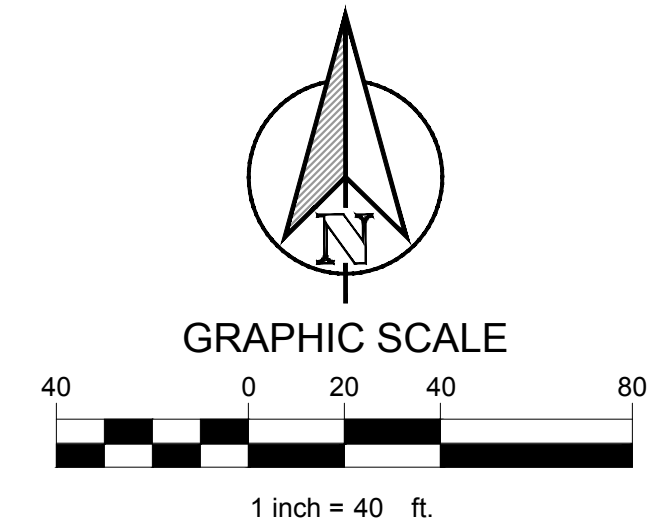
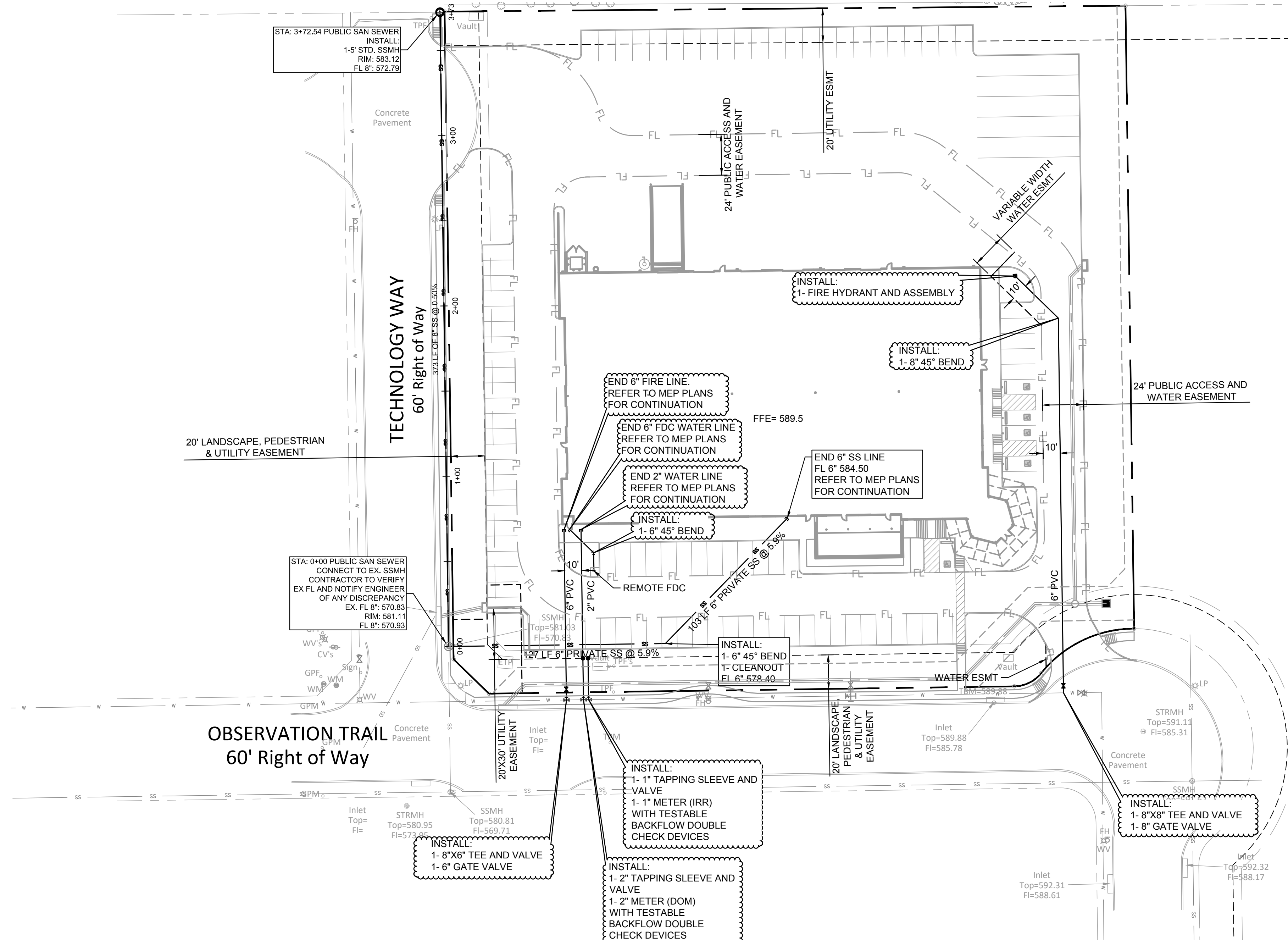
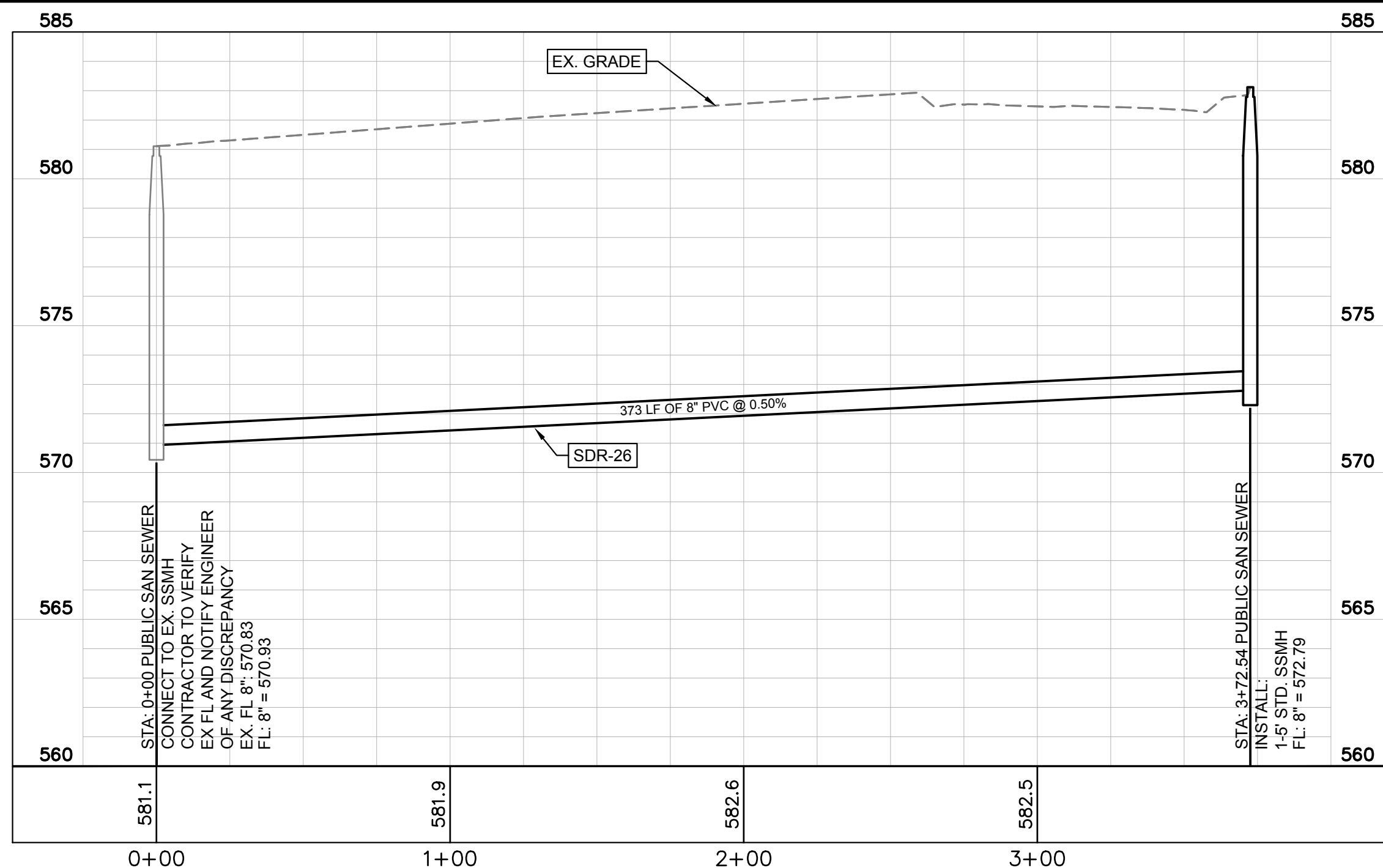
**LIME MEDIA**  
**TECHNOLOGY PARK**  
**2700 OBSERVATION TRL**  
**ROCKWALL, TX**

No.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

**STORM DRAIN PROFILE**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET	
<b>C-9</b>	
File No. 2018-143	

PLOTTED BY: LYNN ROWLAND  
 PLOT DATE: 4/9/2020 11:53 AM  
 LOCATION: Z:\PROJECTS\2018-143 LIME MEDIA GROUP\CADD\SHEETS\C-10 UTILITY PLAN.DWG  
 LAST SAVED: 4/9/2020 11:40 AM

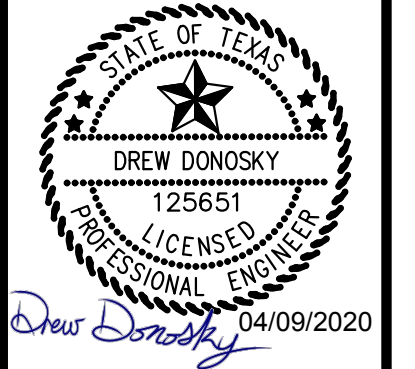


LEGEND	
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE AND CLEAN OUT
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND COMMUNICATION LINE
	PROPOSED UNDERGROUND GAS LINE

- NOTES:
- ALL MANHOLES TO BE RAVEN LINED, OR APPROVED EQUAL, INCLUDING EXISTING MANHOLES THAT ARE BEING CONNECTED TO.
  - WATER LINES TO BE C900 DR-14
  - CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE EVERY CHANGE IN DIRECTION, VALVE, SERVICE CONNECTION AND EVERY 250 FEET
  - CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE PUBLIC SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT AND SERVICE CONNECTION.

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 By: *Drew Donosky* Date: 04/09/2020

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APPLICANT: <b>CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572</b>	
CASE NUMBER: <b>SP2018-039</b>	



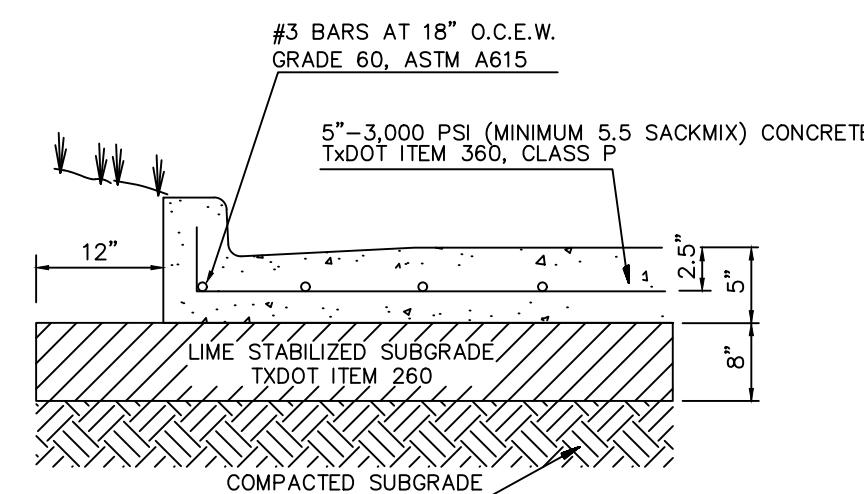
**LIME MEDIA  
TECHNOLOGY PARK  
2700 OBSERVATION TRL  
ROCKWALL, TX**

No.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

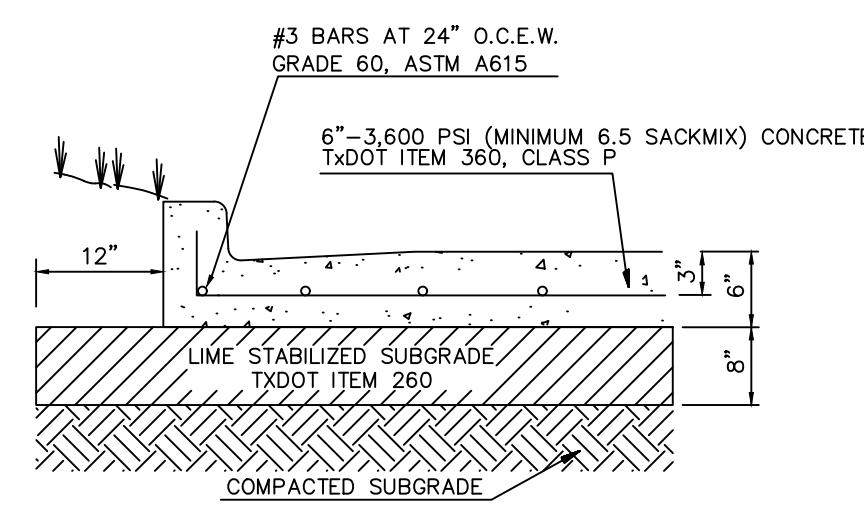
**UTILITY PLAN**

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DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET	
<b>C-10</b>	
File No. 2018-143	

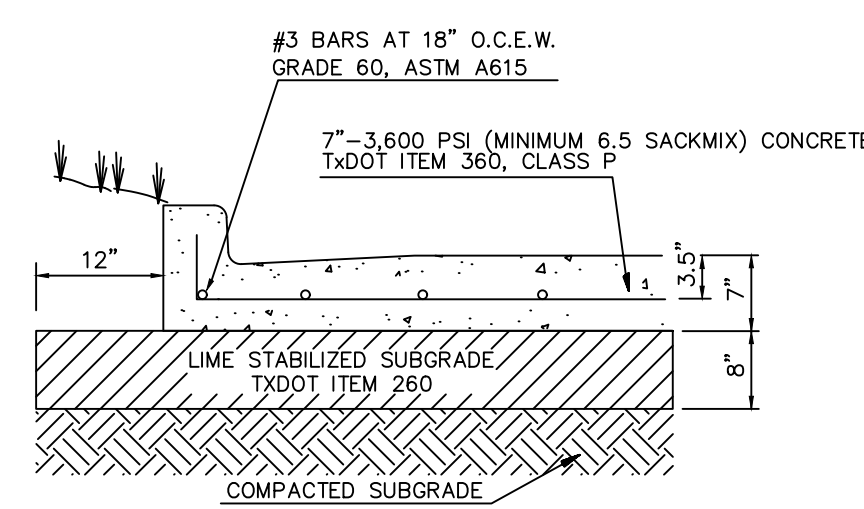
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 PLOT DATE: 4/9/2020 11:54 AM  
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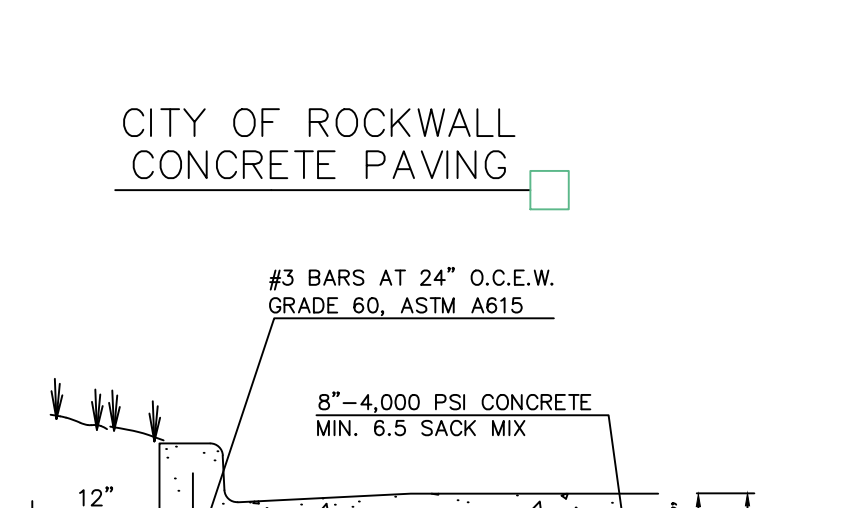
**STANDARD DUTY CONCRETE PAVING**



**HEAVY DUTY CONCRETE PAVING**



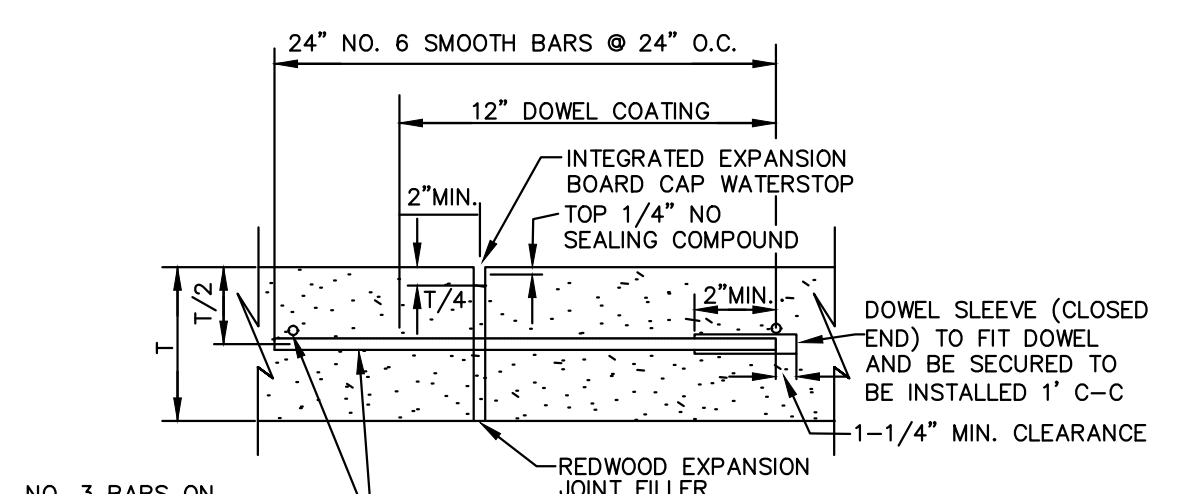
**DUMPSTER AREA CONCRETE PAVING**



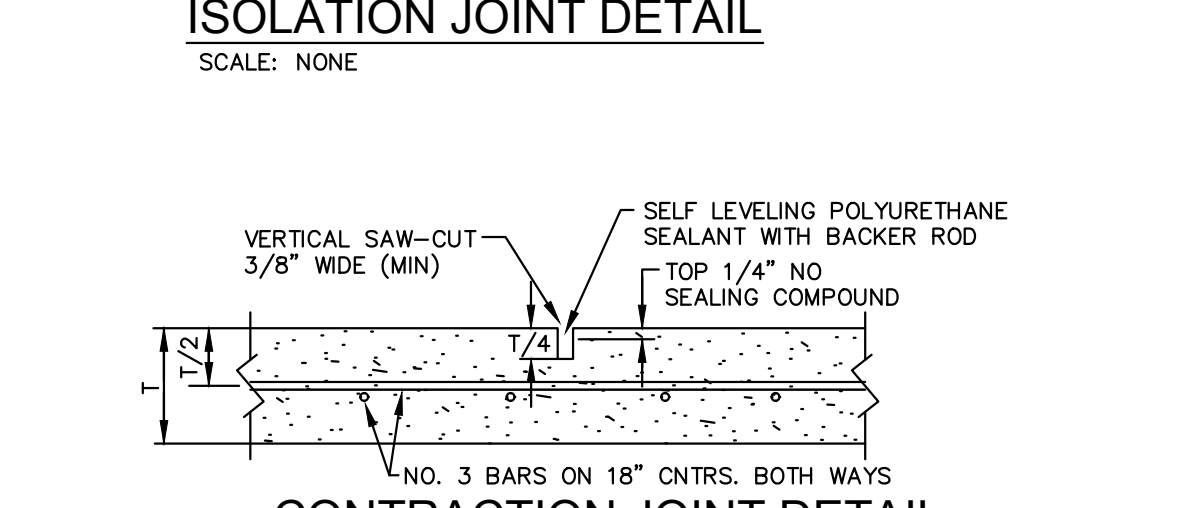
**CITY OF ROCKWALL CONCRETE PAVING**

- GENERAL PAVING NOTES**
- LIME STABILIZATION: APPLY AND MIX HYDRATED LIME AT A MINIMUM RATE OF 8% FOR AN 8" STABILIZATION DEPTH AND SHALL BE COMPACTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698).
  - NON-FIRELANE CONCRETE PAVING SHALL HAVE A MINIMUM 3,000 PSI COMPRESSIVE STRENGTH. ALL FIRELANE CONCRETE PAVING SHALL HAVE A MINIMUM 3,600 PSI COMPRESSIVE STRENGTH. JOINTS IN CONCRETE PAVING SHALL BE FORMED AT A MAXIMUM OF 15 FEET. CONCRETE SHALL INCLUDE AIR ENTRAINMENT OF 4.5+1.5 PERCENT. ALL OTHER JOINT SPACING SHALL BE INSTALLED PER PROJECT SPECIFICATIONS.
  - JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING.
  - FOR COMPLETE PAVEMENT AND SUBGRADE RECOMMENDATIONS, REFER TO GEOTECH REPORT 95155152 BY TERRACON CONSULTANTS, INC. DATED JANUARY 19, 2016.
  - NO SAND ALLOWED UNDER PAVING.

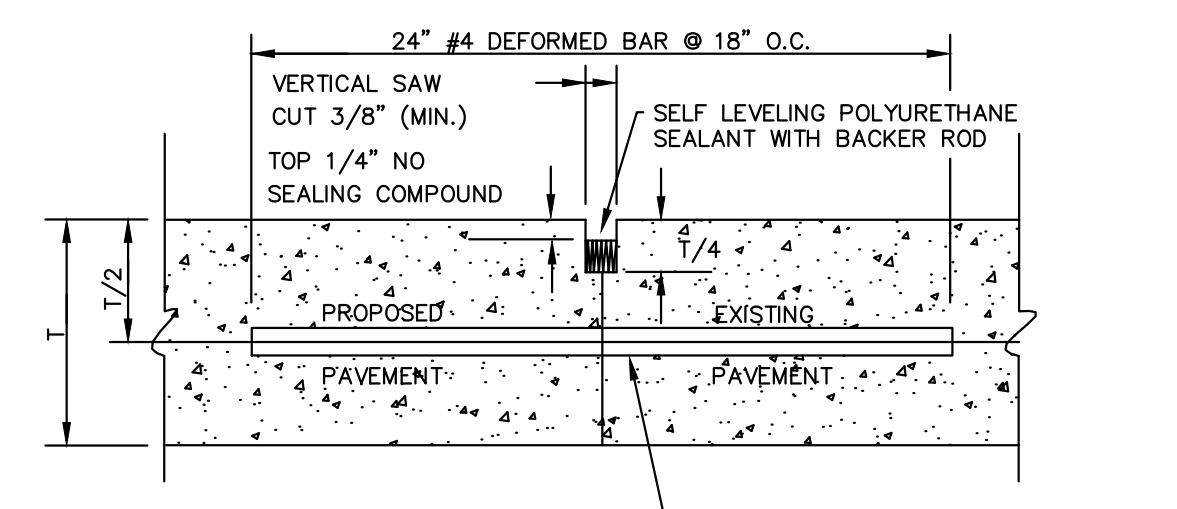
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SCALE: NONE



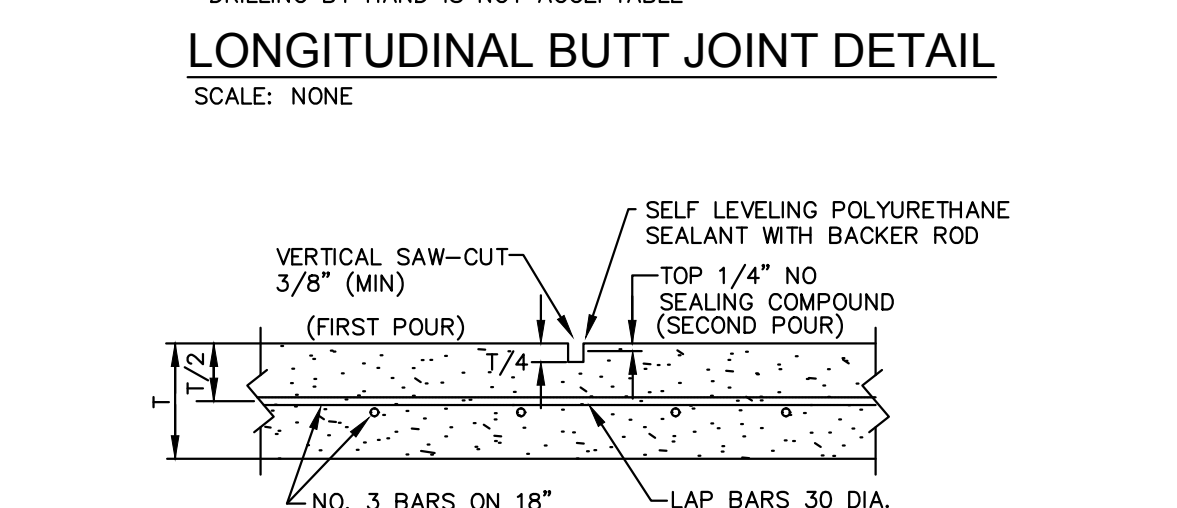
**TRANSVERSE EXPANSION/ ISOLATION JOINT DETAIL**



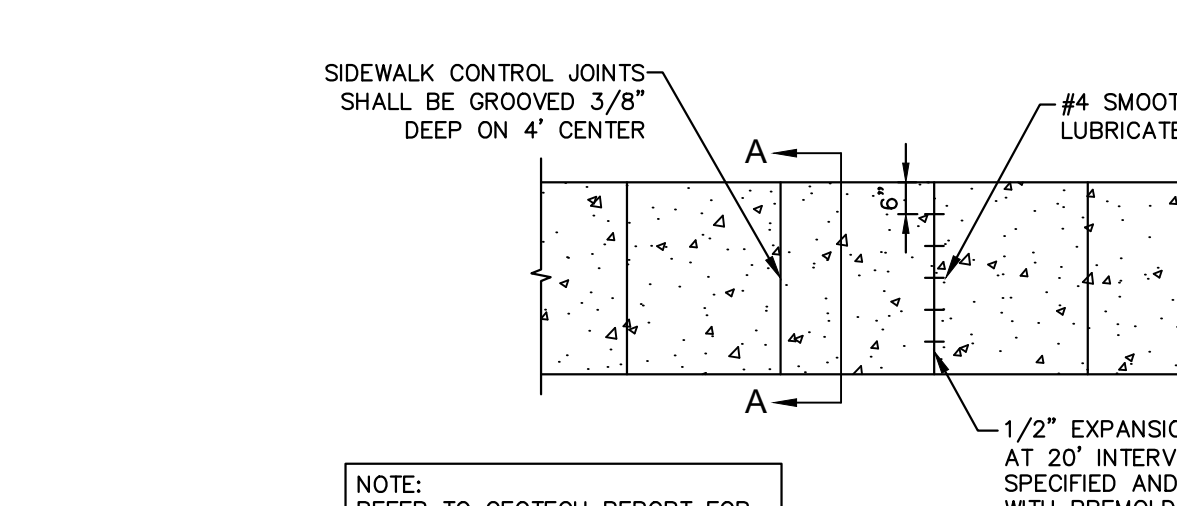
**CONTRACTION JOINT DETAIL**



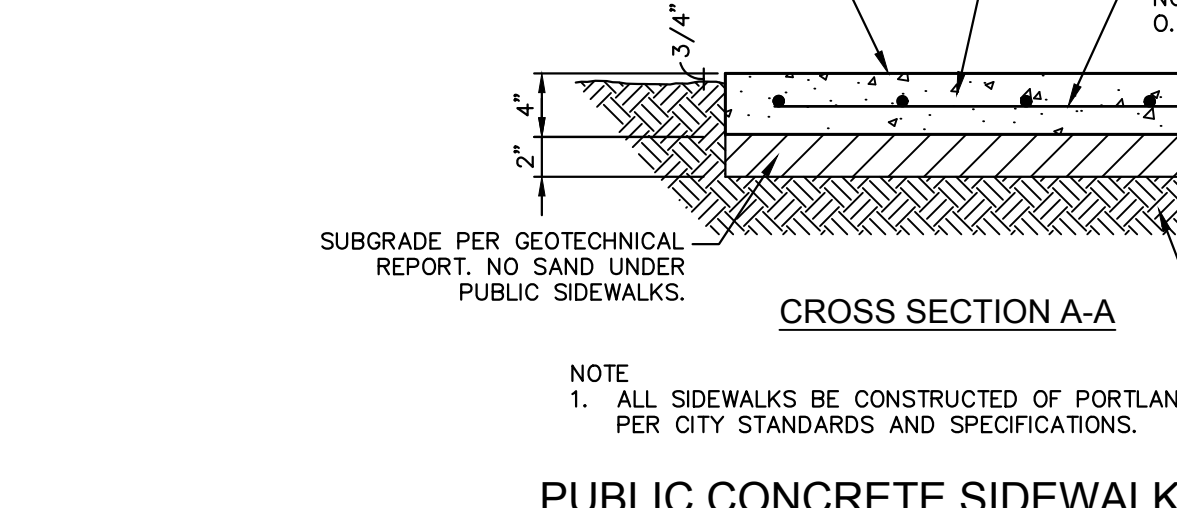
**LONGITUDINAL BUTT JOINT DETAIL**



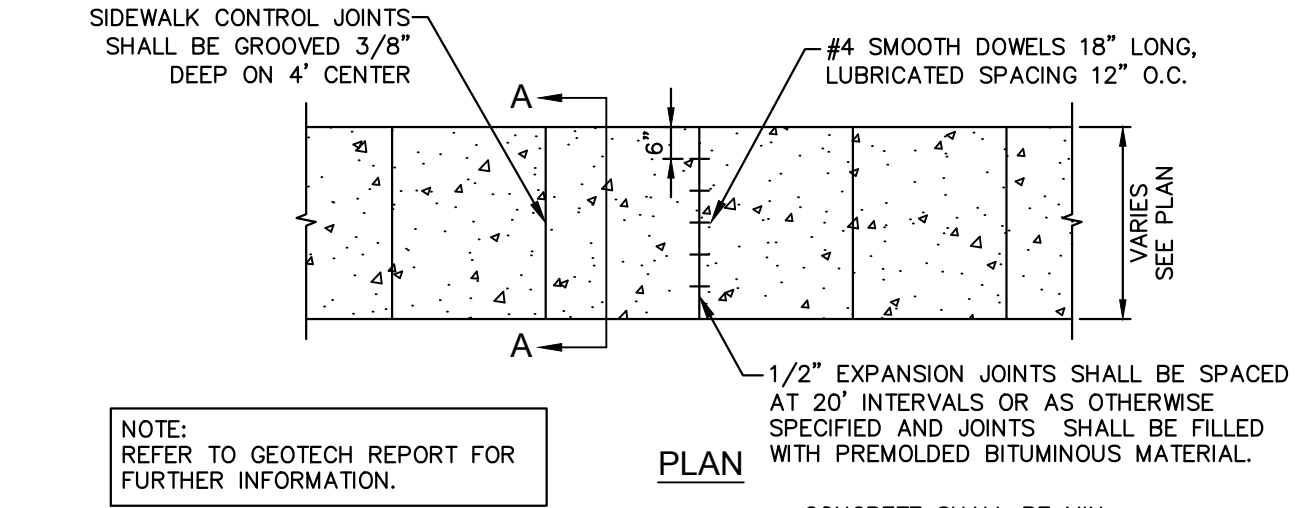
**CONSTRUCTION JOINT DETAIL**



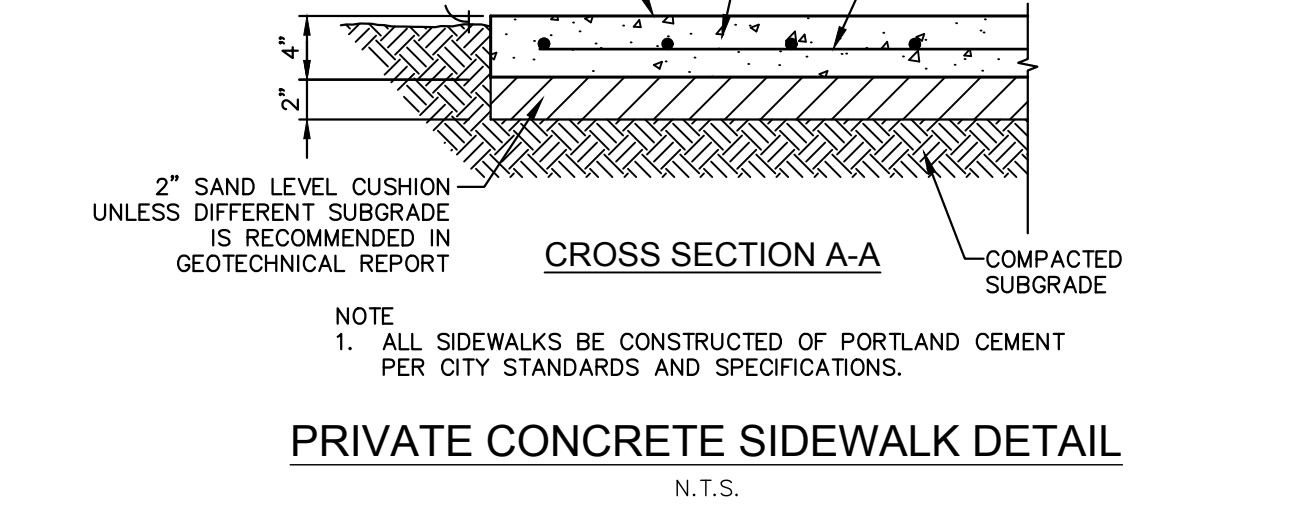
**PRIVATE CONCRETE SIDEWALK DETAIL**



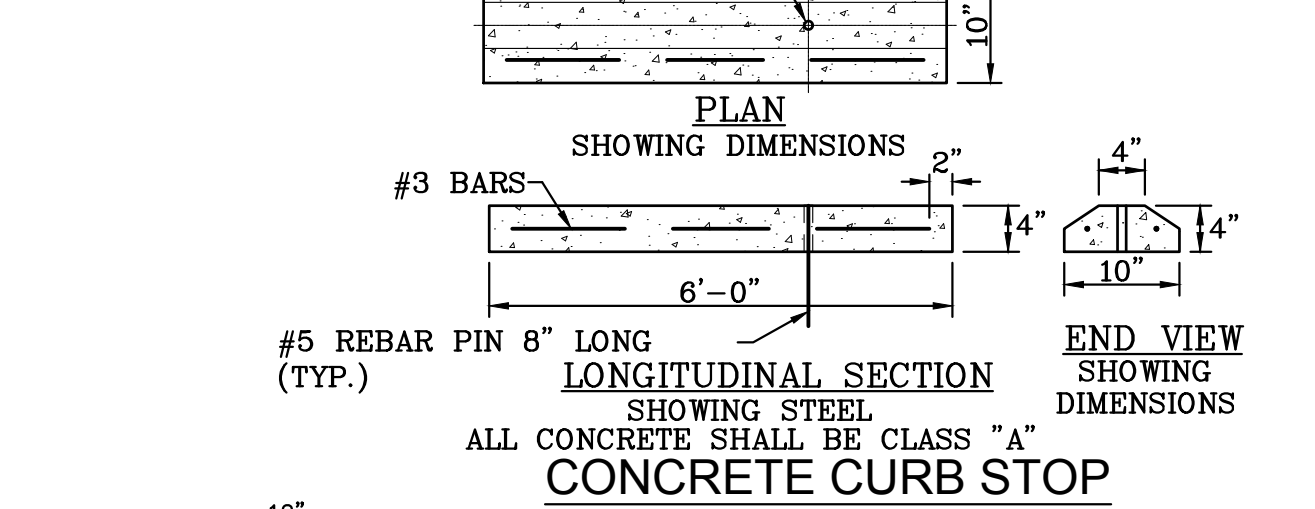
**CROSS SECTION A-A**



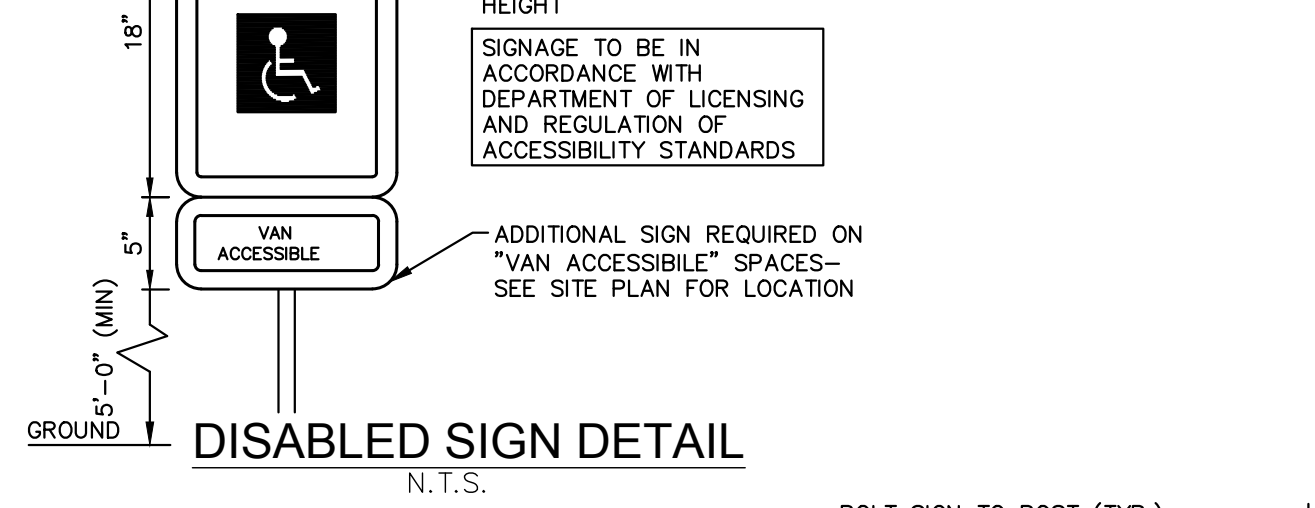
**PLAN**



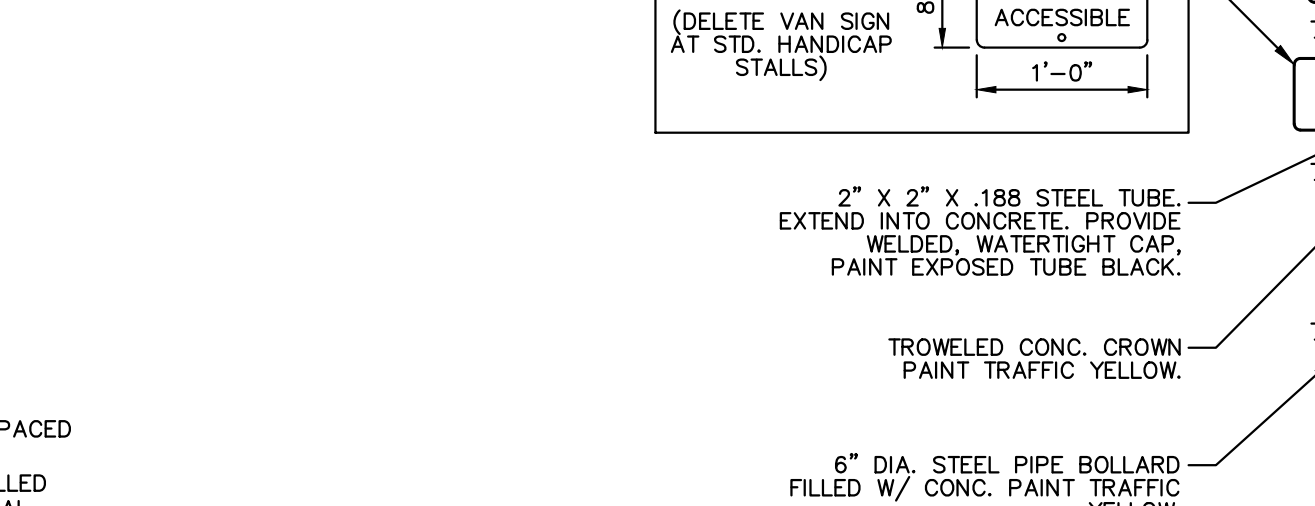
**CROSS SECTION A-A**



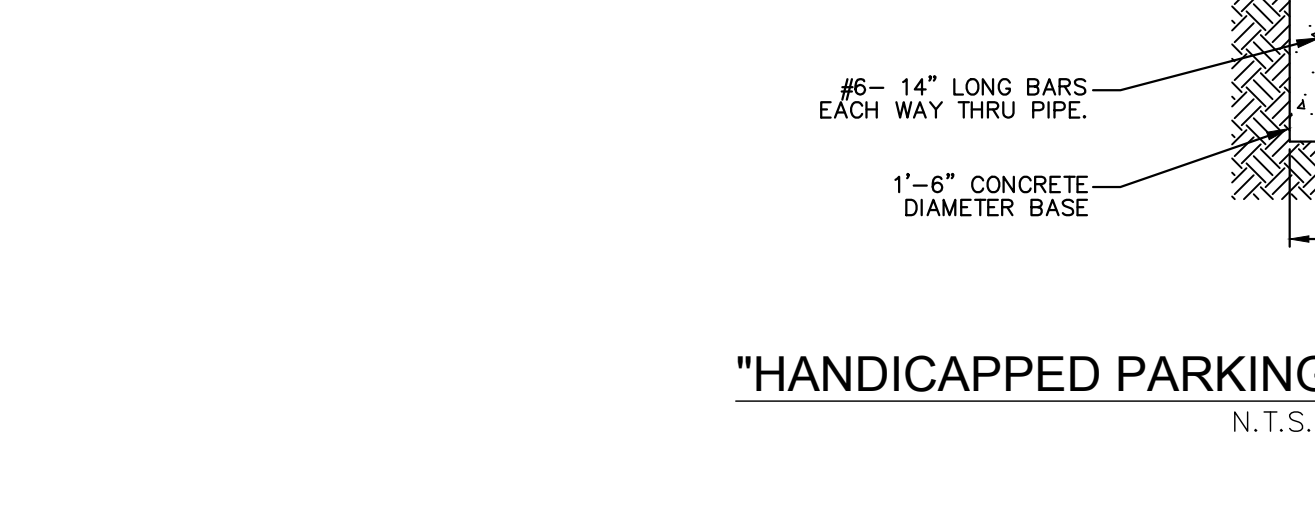
**LONGITUDINAL SECTION**



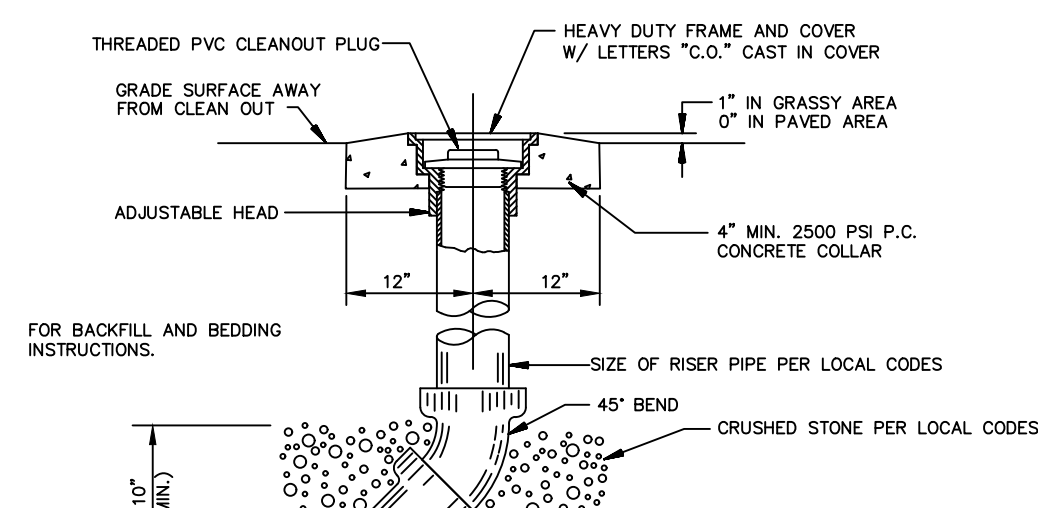
**DISABLED SIGN DETAIL**



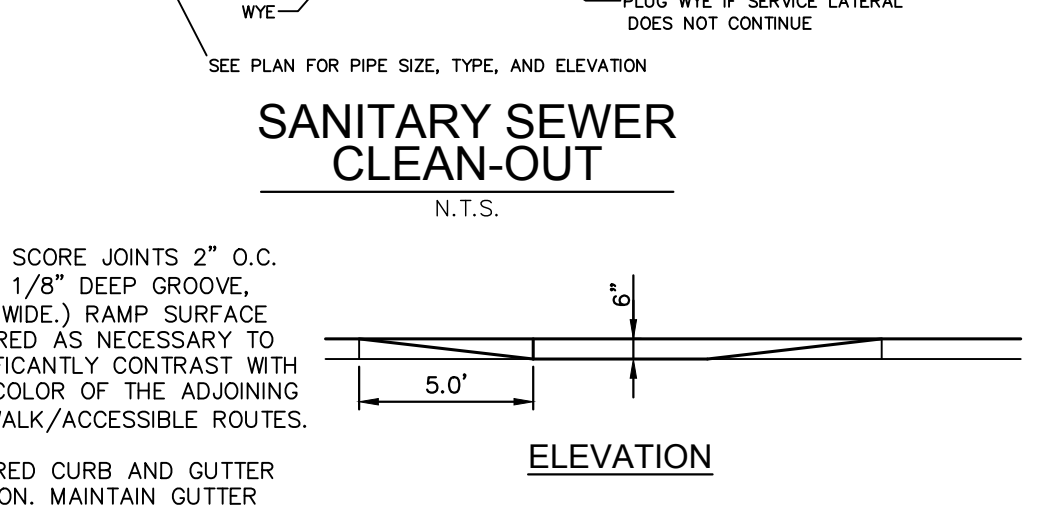
**PLAN**



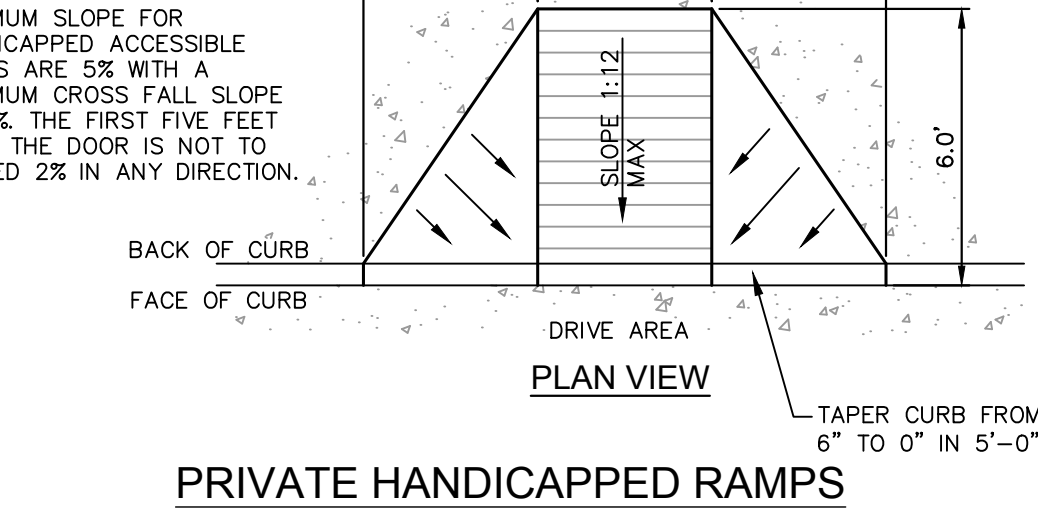
**CROSS SECTION A-A**



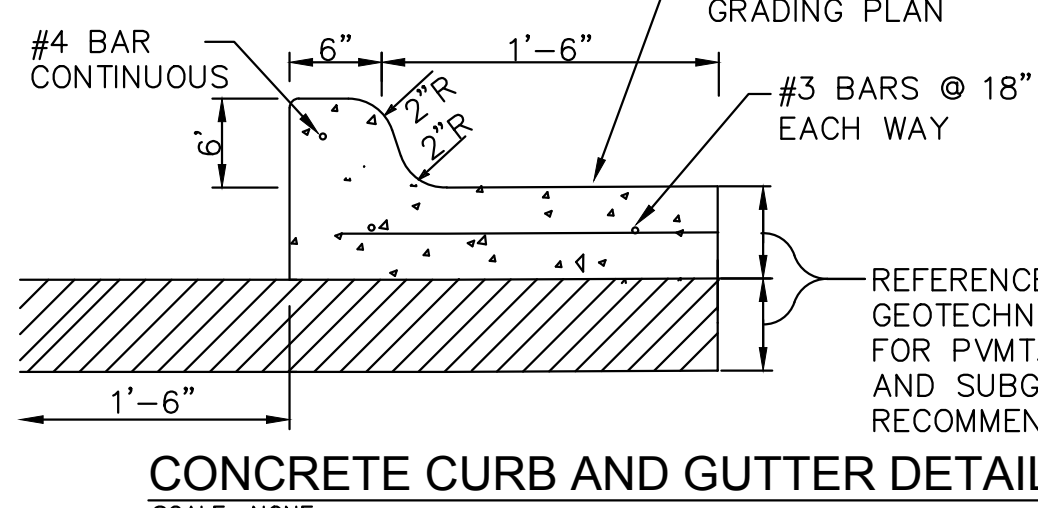
**SANITARY SEWER CLEAN-OUT**



**ELEVATION**



**PRIVATE HANDICAPPED RAMPS**



**CONCRETE CURB AND GUTTER DETAIL**

- NOTES:**
- SIGN COLORS
    - BACKGROUND: WHITE
    - SYMBOL: BLUE
  - PROVIDE SIGNAGE AT END OF STALL AT LOCATIONS W/ ACCESSIBLE DESIGNATION TO ACT AS BUMPER STOP.
  - 1'-0" x 1'-6" x .080" ALUM. HANDICAPPED PARKING SIGN, SIGN TO READ "RESERVED PARKING W/ IDENTIFICATION SYMBOL". BOLT TO STEEL TUBE W/ 3/8" CADMIUM PLATED BOLTS, NUTS & WASHERS.
  - HANDICAP SIGNAGE TO BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION TEXAS ACCESSIBILITY STANDARDS (TAS) PER 4.6.4

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
 By: *Drew Donosky* Date: 04/09/2020

<b>LIME MEDIA</b>	
ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND/OR ADDRESS:	
ROCKWALL TECHNOLOGY PARK, BLOCK E, LOT 1, 3.634 ACRES (REPLAT 2010)	
OWNER:	
ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087	
APPLICANT:	
CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER	
SP2018-039	

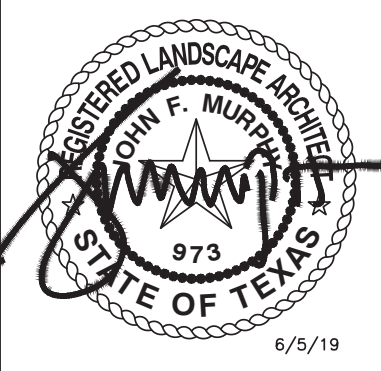


**LIME MEDIA**  
**TECHNOLOGY PARK**  
**2700 OBSERVATION TRL**  
**ROCKWALL, TX**

NO.	DATE	REVISION	BY
3	12/04/2019	REVISION 3	ASD
2	08/28/2019	REVISION 2	ASD
1	08/05/2019	REVISION 1	ASD

**CONSTRUCTION DETAILS**

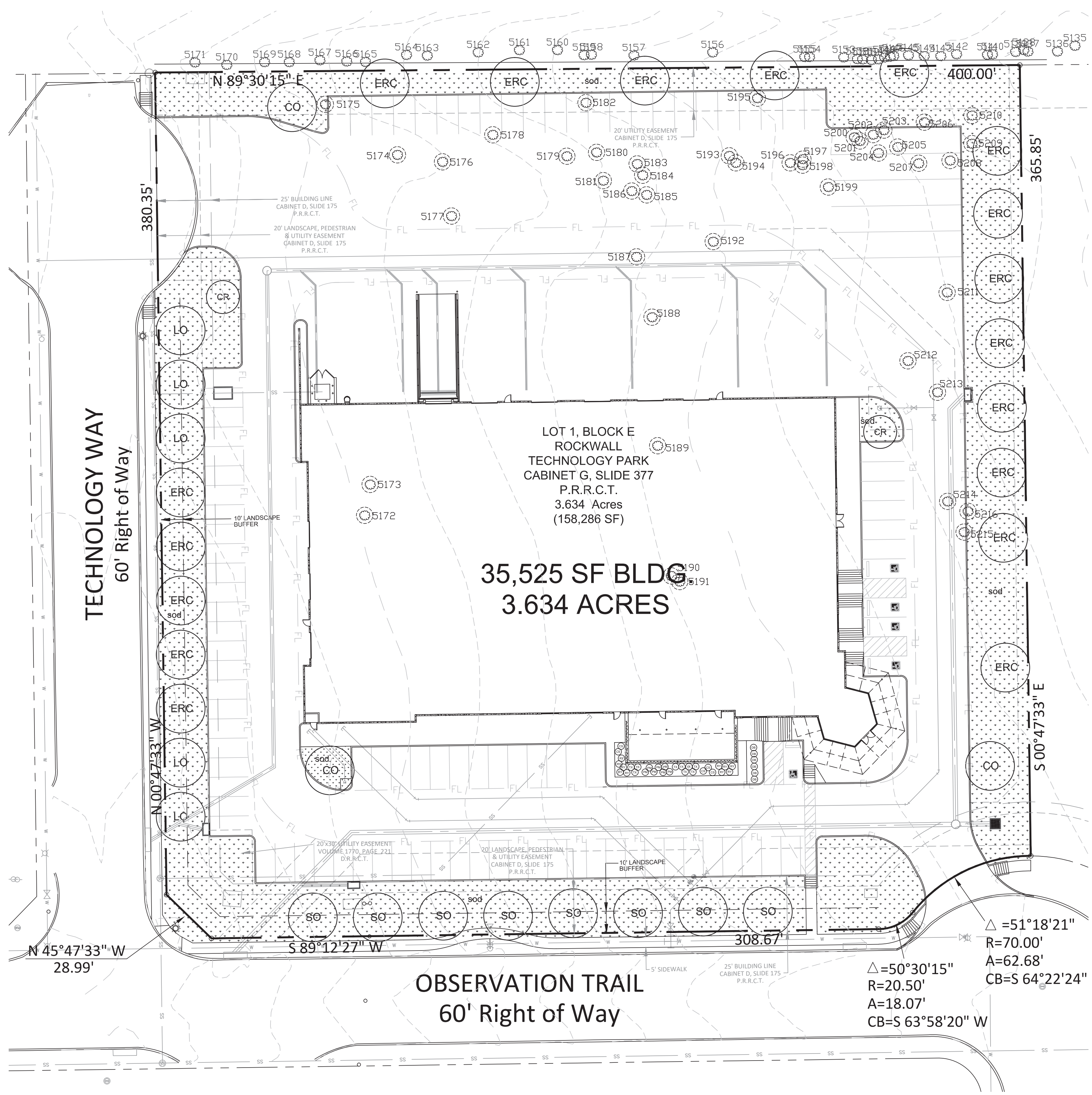
DESIGN:	LRR
DRAWN:	LRR
CHECKED:	ASD
DATE:	04/09/2020
SHEET	
<b>C-11</b>	
File No. 2018-143	



**LIME MEDIA  
 ROCKWALL  
 TECHNOLOGY PARK  
 ROCKWALL, TX**

NO.	DATE	REVISION	BY

**LANDSCAPE PLAN**

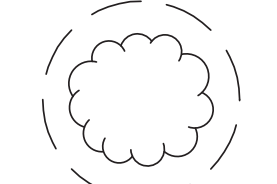


**TREE LEGEND**

- Canopy Trees**
- LO Live Oak
  - ERC Eastern Red Cedar
  - SO Shumard Oak
  - CO Chinquapin Oak

- Ornamental Trees**
- CR Pink Crapemyrtle

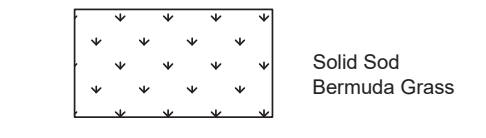
**Removed Trees**



**SHRUB LEGEND**

- DB Dwarf Burford Holly
- TX Texas Sage
- PM Pink Muhly
- CS Cherry Sage
- RY Red Yucca

**HATCH LEGEND**

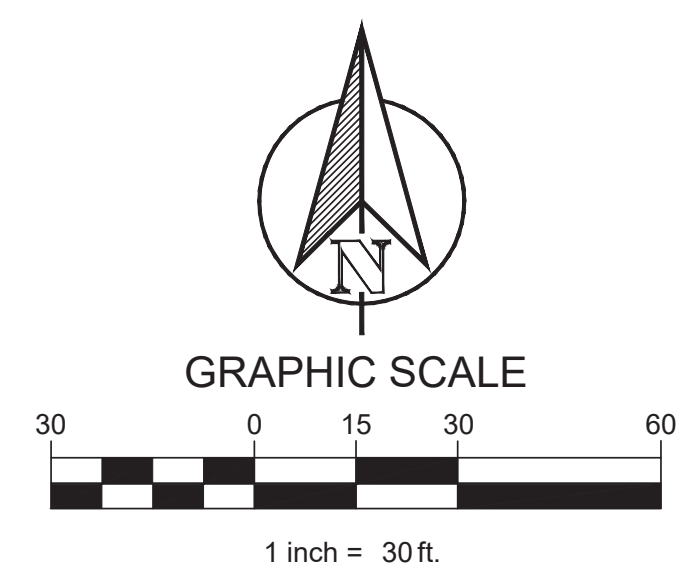


**LANDSCAPE NOTES**

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" Benda Board edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities as shown on plan and to extend completely to property lines and curb / R.O.W.
- No trees to be planted within 5' of utilities.
- All right of ways to be sodded prior to acceptance or certificate of occupancy.

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
 By: *John F. Murphy* Date: 04/09/2020

<b>LIME MEDIA          ROCKWALL, TX 75087</b>	
LEGAL DESCRIPTION AND OR ADDRESS: ROCKWALL TECHNOLOGY PARK, BLOCK 3, LOT 1. 3.634 ACRES (REPLAT 2010)	
OWNER: ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2018-	



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**PLANT LIST**

CANOPY TREES				
3	CO	Chinquapin Oak	Quercus muhlenbergia	3" cal. B&B 12' ht. 5' spread
5	LO	Live Oak	Quercus virginiana	3" cal. B&B 12' ht. 5' spread
18	ERC	Eastern Red Cedar	Juniperus virginiana	3" cal. B&B 12' ht. 5' spread
8	SO	Shumard Oak	Quercus shumardii	3" cal. B&B 12' ht. 5' spread
ORNAMENTAL TREES				
2	CR	Pink Crapemyrtle	Lagerstroemia indica 'Basham Pink'	30 gal. 8' ht. 3 trunk 3" cal. min.
SHRUBS & GROUNDCOVERS				
6	DB	Dwarf Burford Holly	Ilex cornuta 'Burfordii'	5 gal. 36" oc
9	TX	Texas Sage	Leucophyllum frutescens 'Silverado'	5 gal. 36" oc
7	PM	Pink Muhly	Muhlenbergia capillaris	5 gal. 36" oc
5	CS	Cherry Sage	Salvia greggii	3 gal. 30" oc
10	RY	Red Yucca	Hesperaloe parviflora	5 gal. 36" oc

**City of Rockwall, Texas  
LANDSCAPE CALCULATIONS**

Total Lot Area	158,297 SF	Required	Provided
Landscape Area 10%		15,830 SF	24,454 SF (15%)
Street Buffer Trees	1 Shade tree 3" cal. per 50 LF of frontage	Required	Provided
Technology Way	380.35 LF	8	10
Observation Trail	389.42 LF	8	8
Parking Lot Landscape		Required	Provided
Parking Spaces	110	11	15
	1 tree per 10 spaces		

**TREE MITIGATION**

Tree #	Size	Type
5175	11"	Cedar
5188	14"	Cedar
5189	14"	Cedar
5191	15"	Cedar
5199	15"	Cedar
5204	12"	Cedar
5210	12"	Cedar
5211	14"	Cedar
5212	14"	Cedar
5213	14"	Cedar

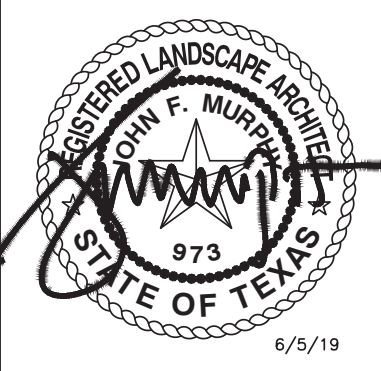
Total protected inches removed - 135"  
Mitigation required (135 / 2) - 67.5"  
New tree inches provided - 87"

**TREE INVENTORY** R = Removed tree

Tree No.	Size	Type	Tree No.	Size	Type
5135	15"	Hackberry	5176	R 12"	Bois d arc
5136	8"	Hackberry	5177	R 7" 7" 8"	Bois d arc
5137	8"	Hackberry	5178	R 14"	Bois d arc
5138	10"	Hackberry	5179	R 6" 8"	Bois d arc
5139	16"	Hackberry	5180	R 6" 6" 8" 8"	Bois d arc
5140	16"	Hackberry	5181	R 14"	Bois d arc
5141	8"	Hackberry	5182	R 8"	Hackberry
5142	9"	Hackberry	5183	R 10"	Bois d arc
5143	10"	Hackberry	5184	R 6" 6"	Cedar
5144	12"	Hackberry	5185	R 6"	Cedar
5145	8" 8"	Hackberry	5186	R 8"	Cedar
5146	10"	Hackberry	5187	R 12"	Bois d arc
5147	7"	Hackberry	5188	R 14"	Cedar
5148	9"	Hackberry	5189	R 14"	Cedar
5149	9"	Hackberry	5190	R 8"	Cedar
5150	7" 11"	Hackberry	5191	R 15"	Cedar
5151	10"	Hackberry	5192	R 10"	Cedar
5152	9"	Hackberry	5193	R 10"	Hackberry
5153	8" 10"	Hackberry	5194	R 8"	Cedar
5154	8"	Hackberry	5195	R 6"	Cedar
5155	8"	Hackberry	5196	R 8"	Cedar
5156	36"	Hackberry	5197	R 10"	Cedar
5157	7"	Hackberry	5198	R 10"	Cedar
5158	8"	Hackberry	5199	R 10" 10"	Cedar
5159	8"	Hackberry	5200	R 6"	Cedar
5160	8"	Hackberry	5201	R 7"	Cedar
5161	9"	Hackberry	5202	R 7"	Cedar
5162	8" 9"	Hackberry	5203	R 7"	Cedar
5163	8" 10"	Hackberry	5204	R 12"	Cedar
5164	11"	Hackberry	5205	R 8"	Cedar
5165	7" 10"	Hackberry	5206	R 10"	Cedar
5166	10"	Hackberry	5207	R 8"	Cedar
5167	9"	Hackberry	5208	R 8"	Cedar
5168	9"	Hackberry	5209	R 8"	Cedar
5169	12"	Hackberry	5210	R 8" 8"	Cedar
5170	11"	Hackberry	5211	R 14"	Cedar
5171	8"	Hackberry	5212	R 14"	Cedar
5172	R 6"	Cedar	5213	R 14"	Cedar
5173	R 8"	Cedar	5214	R 10"	Cedar
5174	R 8"	Cedar	5215	R 10"	Cedar
5175	R 6" 8"	Cedar	5216	R 10"	Cedar

**site integration studio**  
Landscape Architecture - Sustainable Site Planning - Natural Resource Design  
**John F. Murphy, ASLA**  
7529 Cross Gate Way  
Tyler, TX 75703  
John@stint.com  
scott@stint.com  
912.632.3822 - Tyler  
912.389.9584 - Austin  
www.siteint.com

TEXAS REGISTRATION #14199  
**CLAY MOORE ENGINEERING**  
PHONE: 817.281.9272  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
WWW.CLAYMOOREENGINEERING.COM



**LIME MEDIA  
ROCKWALL  
TECHNOLOGY PARK  
ROCKWALL, TX**

No.	DATE	REVISION	BY

**Tree Stake Solutions**  
TREE STAKE SOLUTIONS LLC  
9973 FM 521 ROAD  
ROSHARON, TX 77583  
PHONE: (281) 778-1400  
FAX: (281) 778-1425  
www.treestakesolutions.com

**1 CANOPY TREE PLANTING**  
SCALE: NONE

ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)	ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)
5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95-100 GALLON OR 36" ROOTBALL	#5 X 48"
15 BG	10-15 GALLON OR 17" ROOTBALL	#4 X 30"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"
30 BG	20-30 GALLON OR 22" ROOTBALL	#4 X 36"	300 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"
45 BG	45-65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"

**2 MULTI-TRUNK PLANTING**  
SCALE: NONE

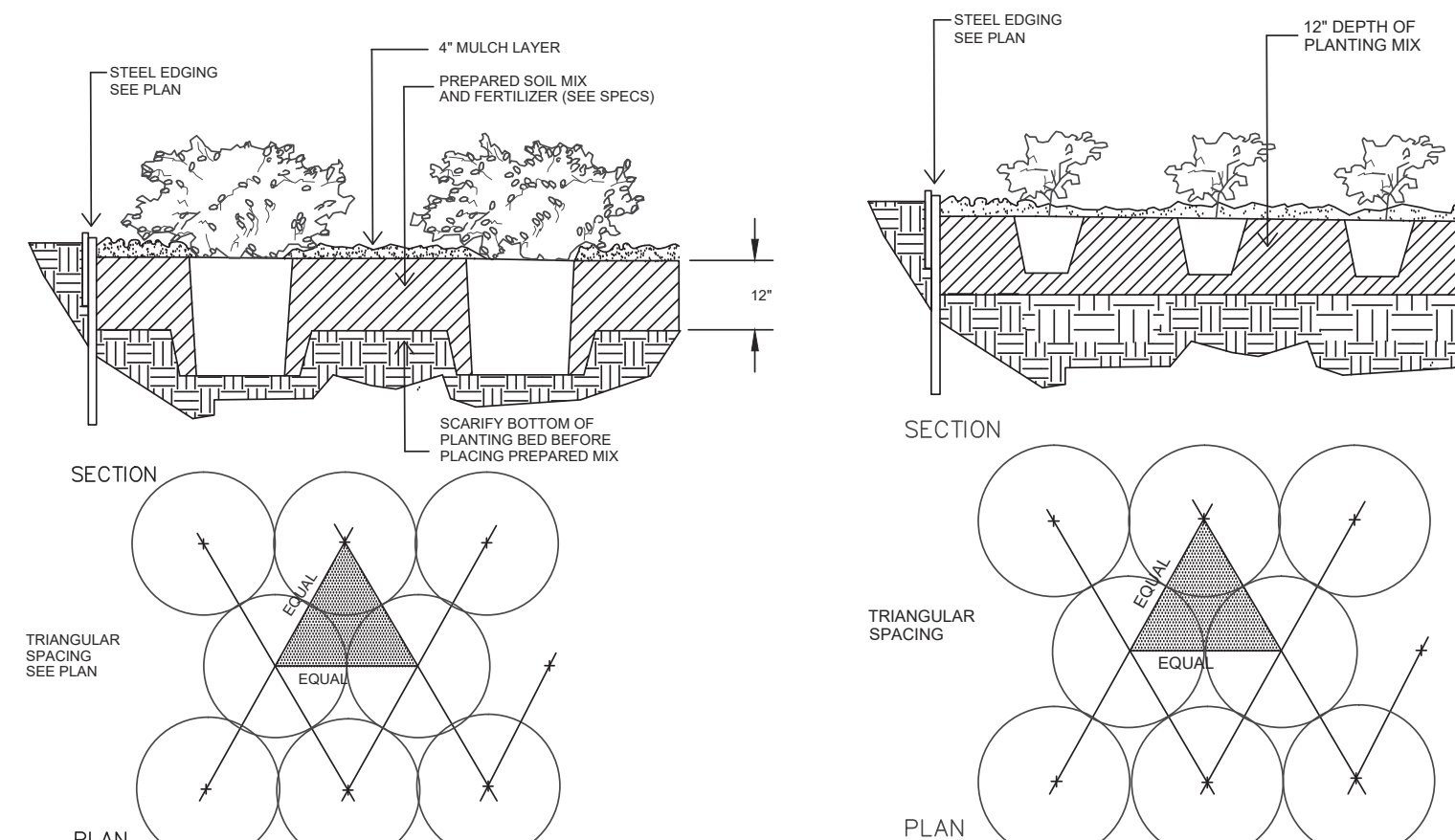
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5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95-100 GALLON OR 36" ROOTBALL	#5 X 48"
15 BG	10-15 GALLON OR 17" ROOTBALL	#4 X 30"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"
30 BG	20-30 GALLON OR 22" ROOTBALL	#4 X 36"	300 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"
45 BG	45-65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"

**3 SHRUB PLANTING**  
SCALE: NONE

ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)	ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)
5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95-100 GALLON OR 36" ROOTBALL	#5 X 48"
15 BG	10-15 GALLON OR 17" ROOTBALL	#4 X 30"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"
30 BG	20-30 GALLON OR 22" ROOTBALL	#4 X 36"	300 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"
45 BG	45-65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"

**4 GROUNDCOVER PLANTING**  
SCALE: NONE

ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)	ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)
5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95-100 GALLON OR 36" ROOTBALL	#5 X 48"
15 BG	10-15 GALLON OR 17" ROOTBALL	#4 X 30"	150 BG	150 GALLON OR 42" ROOTBALL	#5 X 60"
30 BG	20-30 GALLON OR 22" ROOTBALL	#4 X 36"	300 BG	200 GALLON OR 48" ROOTBALL	#5 X 72"
45 BG	45-65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72"



This drawing has been revised to show those changes during the construction process reported by the contractor to Clay Moore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
By: *Dan Dandy* Date: 04/09/2020

**LIME MEDIA  
ROCKWALL, TX 75087**  
LEGAL DESCRIPTION AND OR ADDRESS:  
**ROCKWALL TECHNOLY PARK,  
BLOCK 3, LOT 1.  
3.634 ACRES (REPLAT 2010)**

OWNER:  
ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 988  
ROCKWALL, TX 75087

APPLICANT:  
CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
PH: 817.281.0572

CASE NUMBER  
**SP2018-**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: ASD  
DATE: 06/05/2019

SHEET  
**L-2**

File No. 2018-143

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 LAST SAVED: 6/5/2019 4:42 PM



LIME MEDIA  
ROCKWALL  
TECHNOLOGY PARK  
ROCKWALL, TX

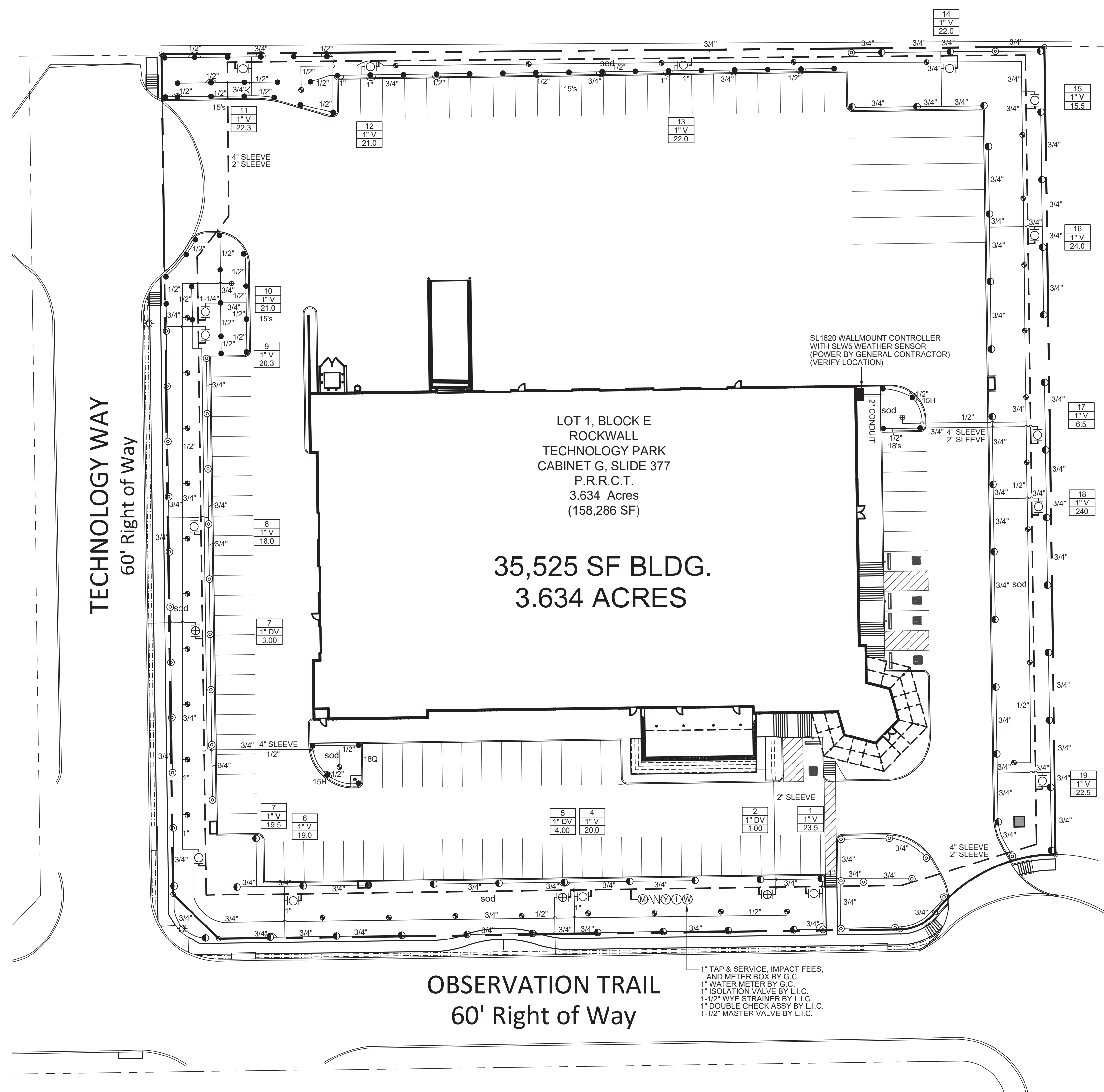
No.	DATE	REVISION	BY

IRRIGATION PLAN

DESIGN:	SAH
DRAWN:	SAH
CHECKED:	SAH
DATE:	06/05/2019

SHEET

IR-1



IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
●	LAWN SPRAY HEAD	RAINBIRD (30 PSI)	1804 W/ MPR PLASTIC NOZZLES ON SPX SWING PIPE UNLESS NOTED OTHERWISE
⊕	BUBBLER HEAD	RAINBIRD (30 PSI)	#1402 NOZZLE ON SPX 1/2" SWING PIPE UNLESS OTHERWISE NOTED
⊙	BUBBLER HEAD	RAINBIRD (30 PSI)	#1404 NOZZLE ON SPX 1/2" SWING PIPE UNLESS OTHERWISE NOTED
⊗	ROTARY HEAD PART-CIRCLE	RAINBIRD (40 PSI)	3504 W/ #1.5 NOZZLE ON 1/2" SWING JOINT UNLESS OTHERWISE NOTED
⊘	ROTARY HEAD PART-CIRCLE	RAINBIRD (40 PSI)	5004 W/ #1.5 NOZZLE ON 3/4" SWING JOINT UNLESS OTHERWISE NOTED
⊖	REMOTE CONTROL VALVE	RAINBIRD	PEB W/ PRS-D PRESSURE REGULATOR, REFER TO PLANS FOR SIZE
■	CONTROLLER	WEATHERMATIC	SL1620 WALLMOUNT WITH SLW5 WIRELESS ET WEATHER SENSOR
—	MAINLINE PIPING	REFER TO SPEC.	1-1/2" CLASS 200 PVC
—	LATERAL PIPING	REFER TO SPEC.	3/4" & LARGER - CLASS 200 PVC 1/2" - CLASS 315 PVC
⊕	REMOTE CONTROL DRIP VALVE	RAINBIRD	XCZ-100-PRB-COM CONTROL ZONE KIT VALVE, REFER TO PLAN FOR SIZE
—	DRIP HEADER PIPING	REFER TO SPEC.	1-INCH CLASS 200 PVC UNLESS NOTED OTHERWISE
⊖	PLANTING BED DRIPLINE TUBING	RAINBIRD	XFS-06-18 AT 18" O.C. WITH XF INSERT FITTINGS, TDS-050 GALVANIZED STAKES, QF HEADERS AND OPERATION INDICATOR
⊖	TURF SOD DRIPLINE TUBING	RAINBIRD	XFS-06-18 AT 18" O.C. WITH XF INSERT FITTINGS, TDS-050 GALVANIZED STAKES, QF HEADERS AND OPERATION INDICATOR
⊖	WATER METER	REFER TO SPEC.	PER LOCAL BUILDING CODE
⊖	ISOLATION VALVE	NIBCO	#T-29, REFER TO PLAN FOR SIZE
⊖	WYE STRAINER	FEBCO	#650, REFER TO PLAN FOR SIZE
⊖	BACKFLOW PREVENTER	FEBCO	#850BV, REFER TO PLAN FOR SIZE
⊖	MASTER VALVE	RAINBIRD	PEB, REFER TO PLAN FOR SIZE
⊖	STATION NUMBER		
⊖	VALVE SIZE		
⊖	GPM (APPROX.)		

FLOW CHART

SPRAY HEADS:

NOZZLE	RADIUS	GPM
18F	18'	6.5
18F	18'	4.5
18Q	18'	2.5
15F	15'	4.1
15E	15'	3.1
15C	15'	2.7
15H	15'	2.0
15B	15'	1.4
15Q	15'	1.0
12F	12'	2.9
12E	12'	2.2
12C	12'	1.9
12H	12'	1.4
12B	12'	1.0
12Q	12'	.7
10F	10'	1.7
10H	10'	.9
10B	10'	.6
10Q	10'	.4
8F	8'	1.7
8H	8'	.9
8B	8'	.6
8Q	8'	.4
6V	6'	.5

FLOW CHART

ROTARY HEADS:

22' PART-CIRCLE	1.0
22' FULL-CIRCLE	2.0
30' PART-CIRCLE	1.5
30' FULL-CIRCLE	3.0

PIPE SIZE CHART

FLOW/GPM:	PIPE SIZE:
0 - 4.0	1/2"
4.1 - 9.5	3/4"
9.6 - 14.5	1"
14.6 - 27.0	1-1/4"
27.1 - 35.0	1-1/2"
35.1 - 55.0	2"

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.  
By: *Dino D'Amico* Date: 04/09/2020

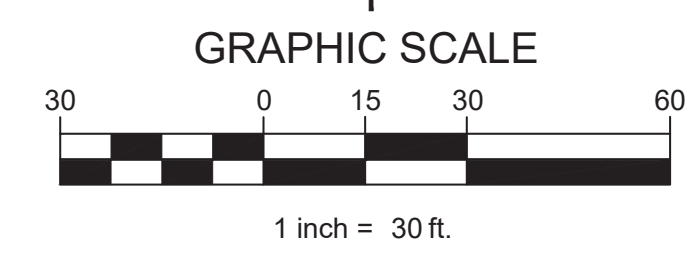
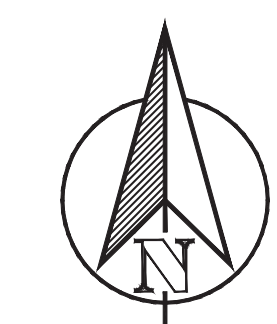
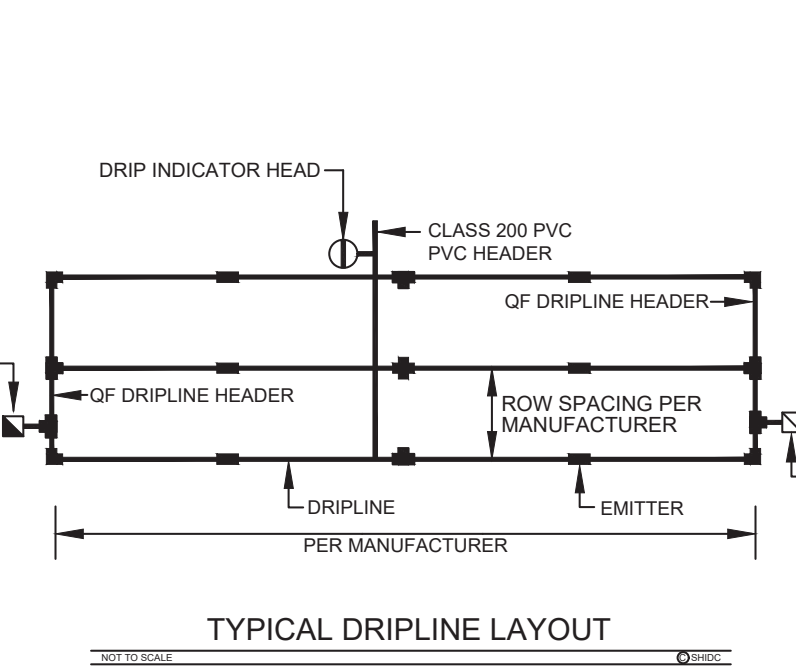
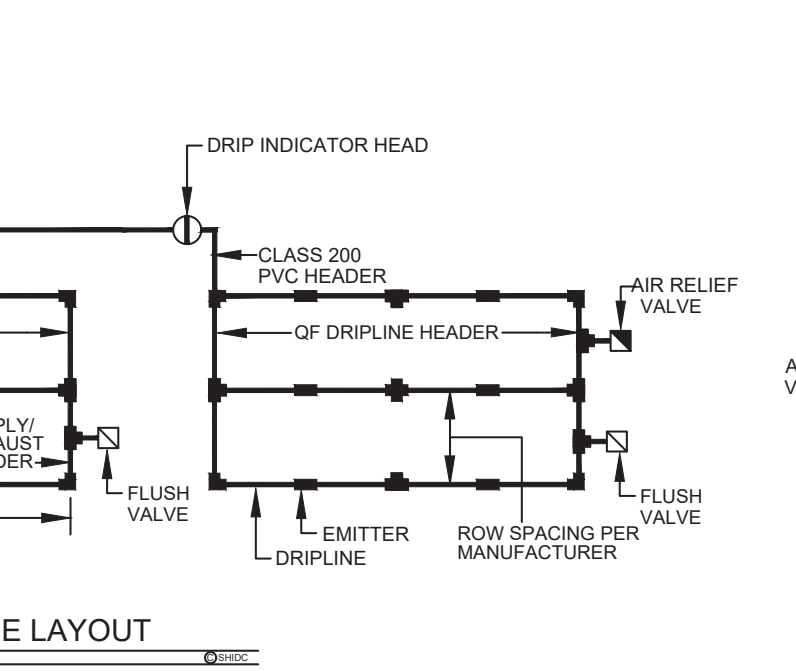
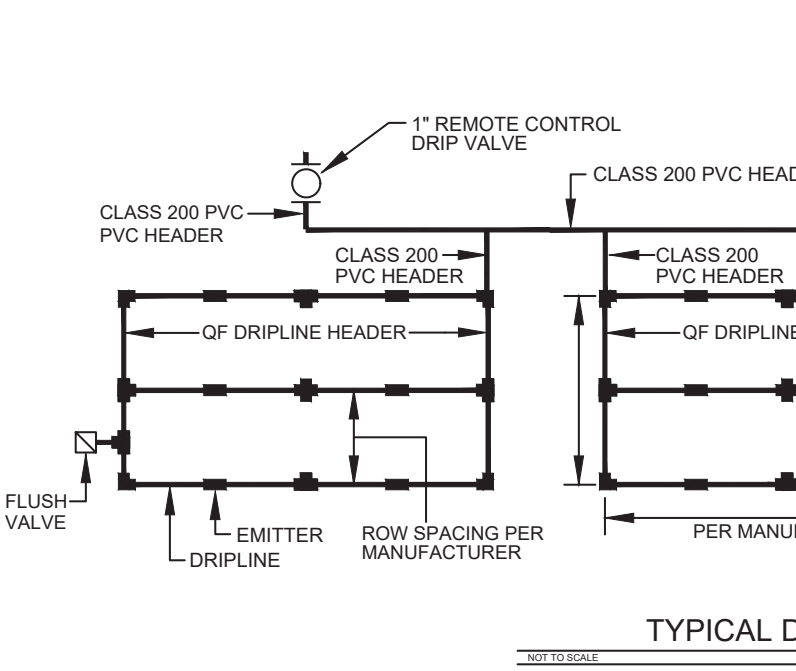
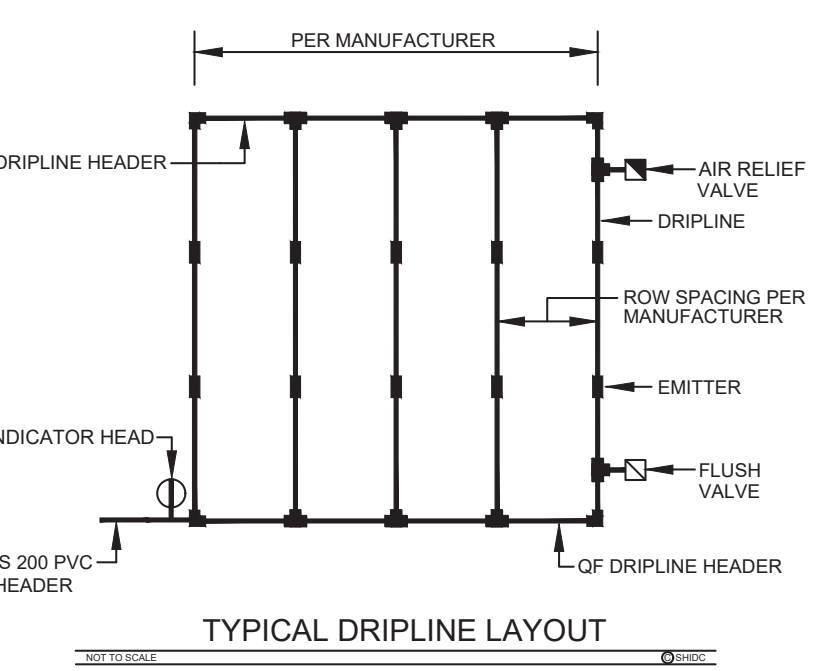
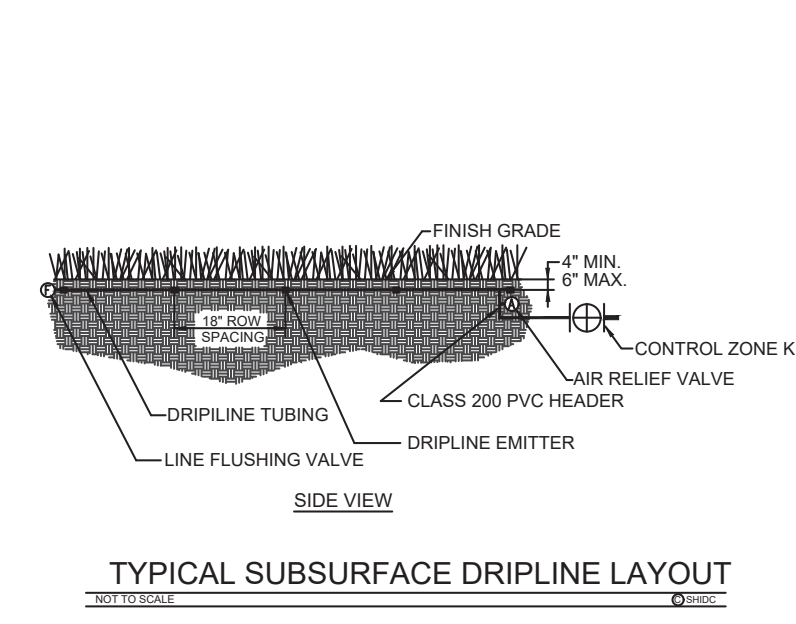
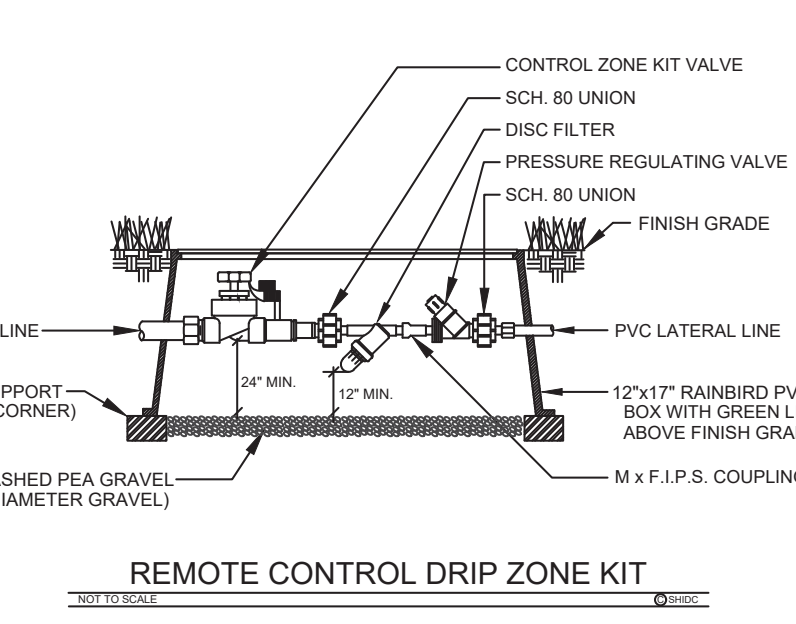
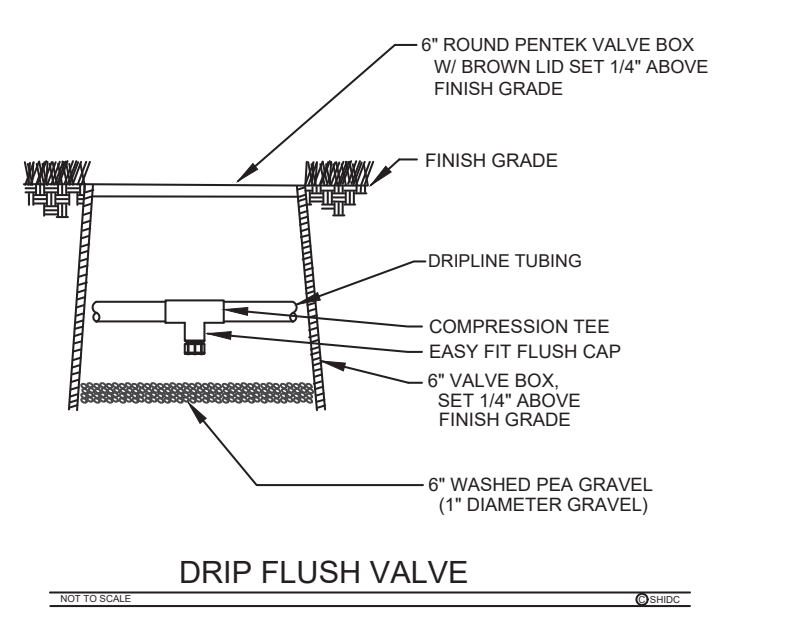
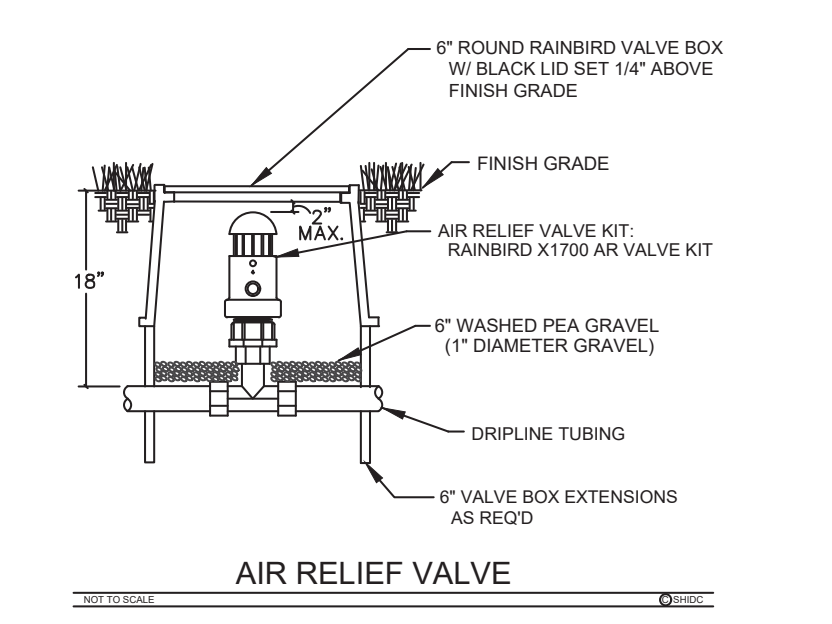
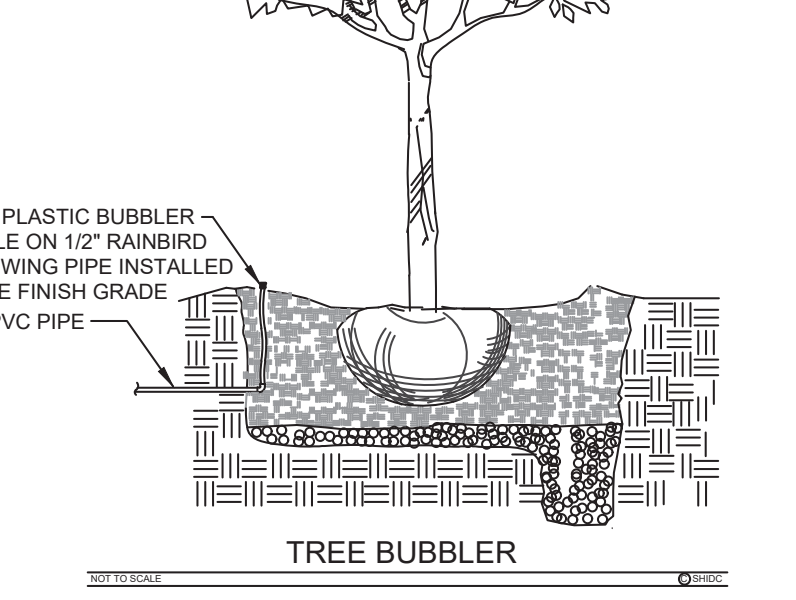
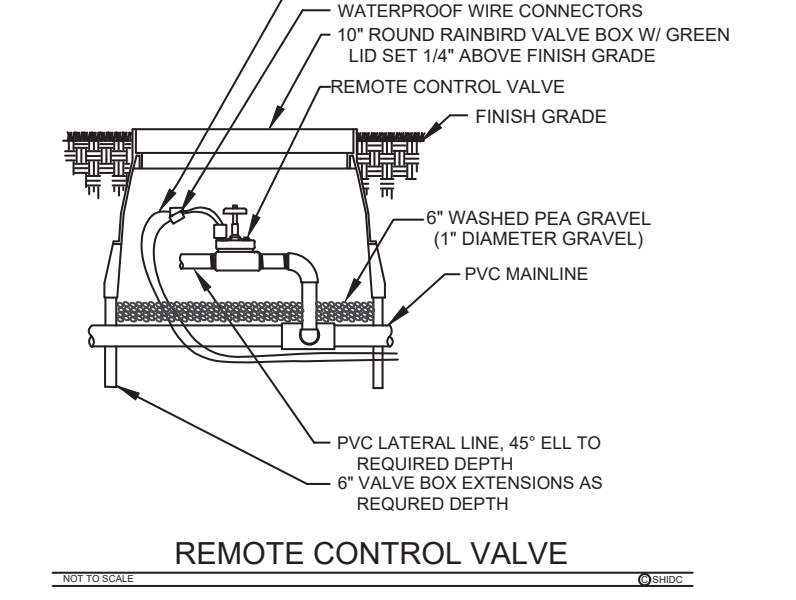
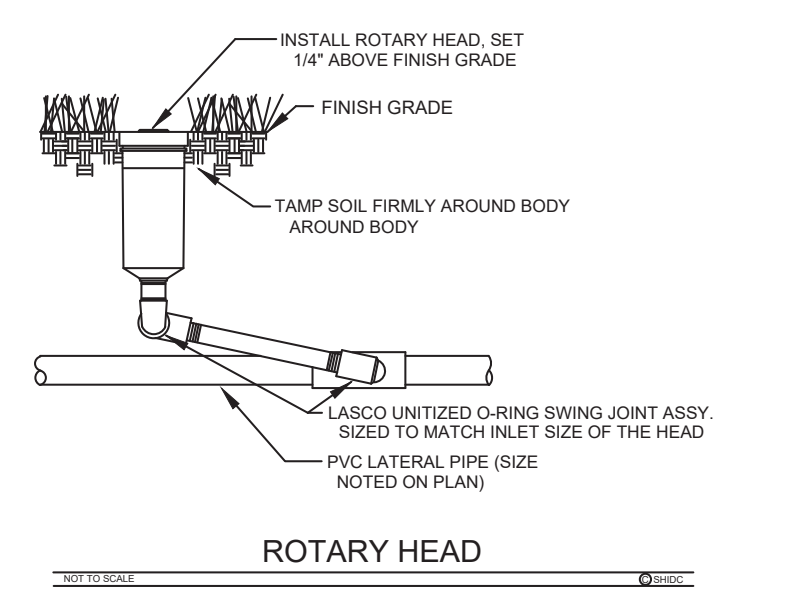
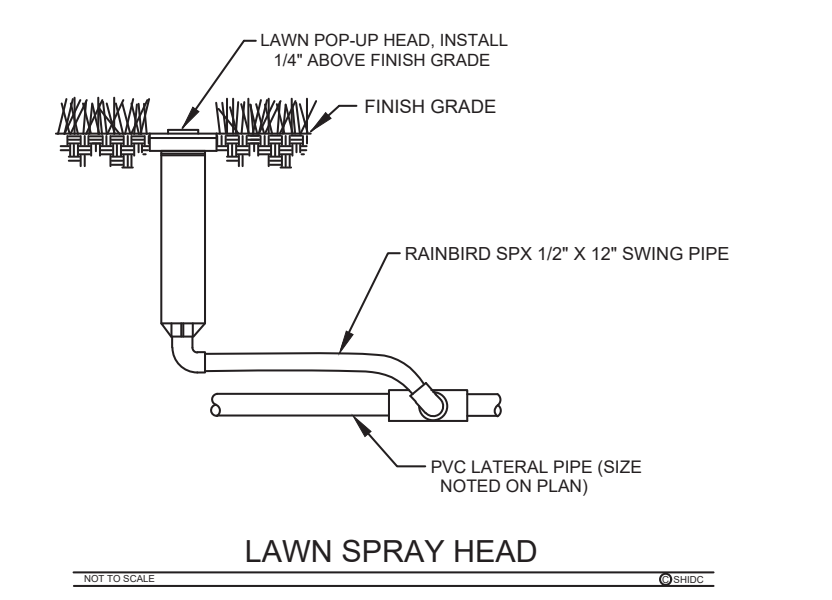
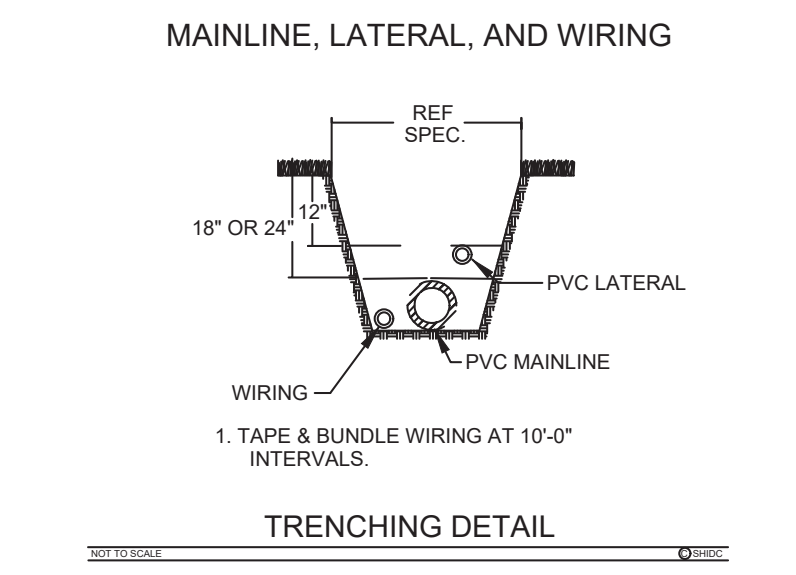
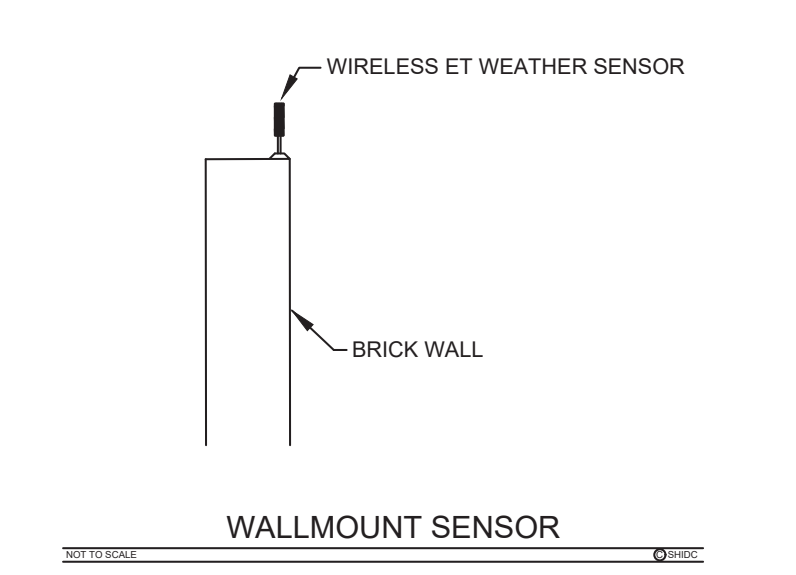
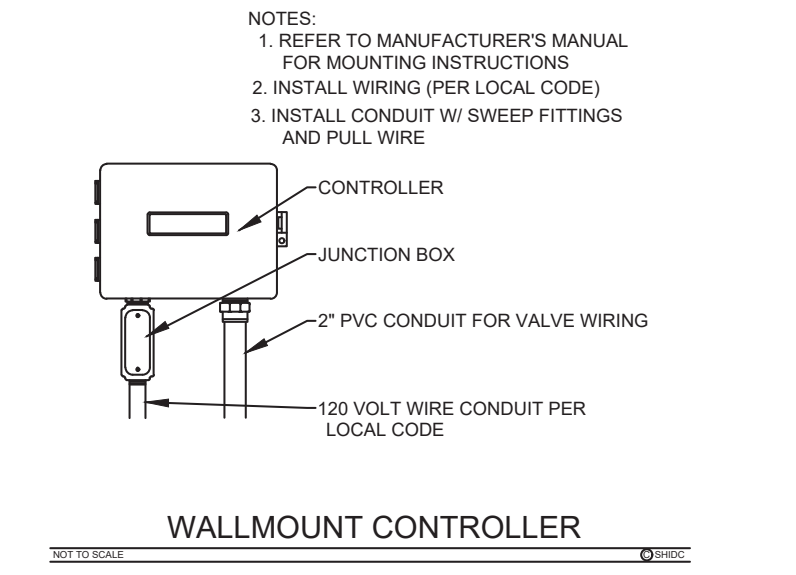
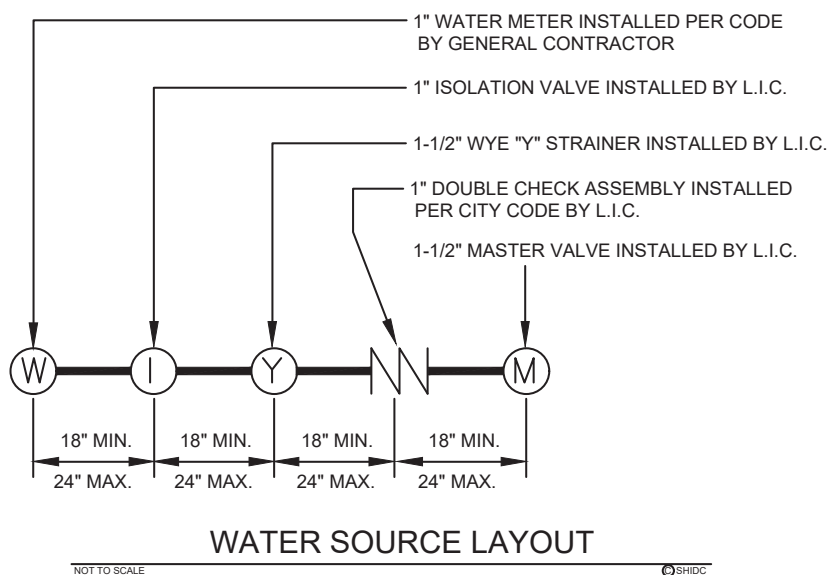
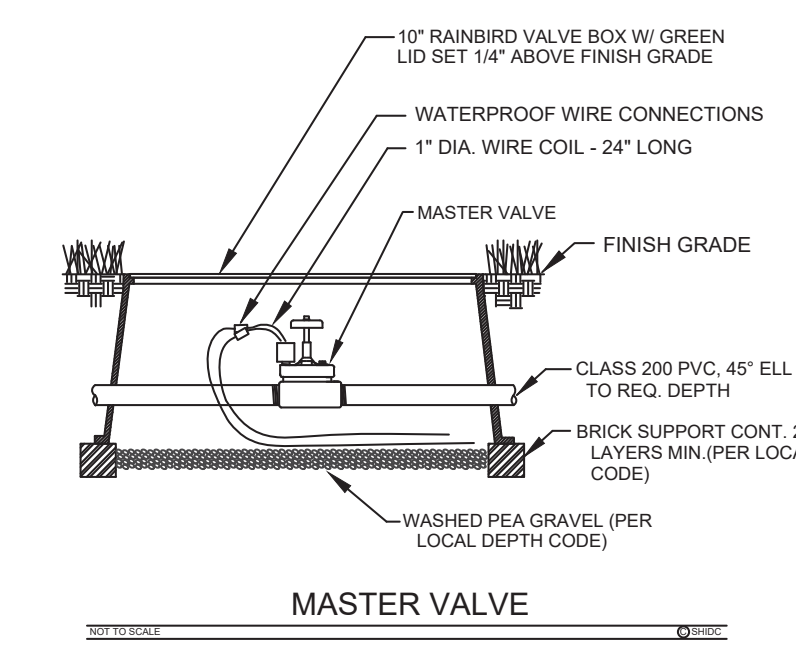
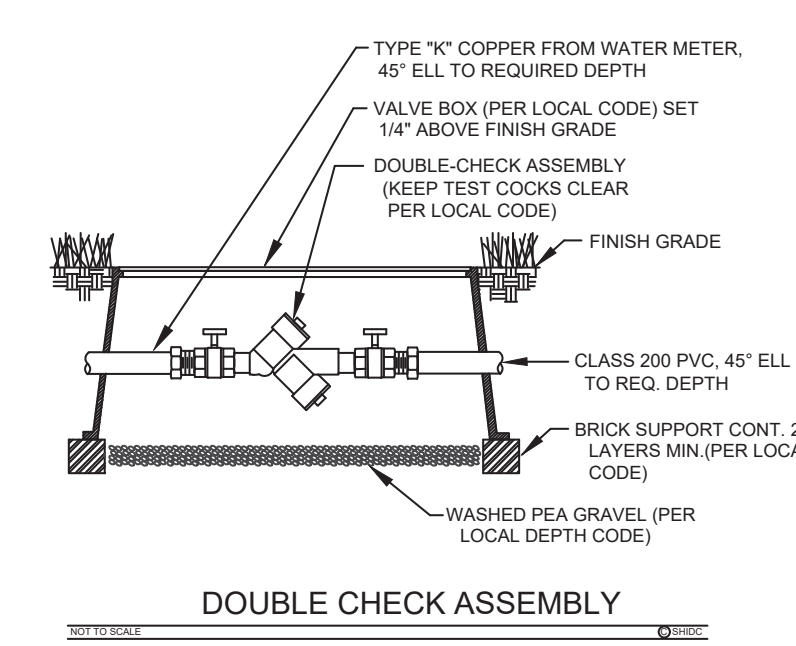
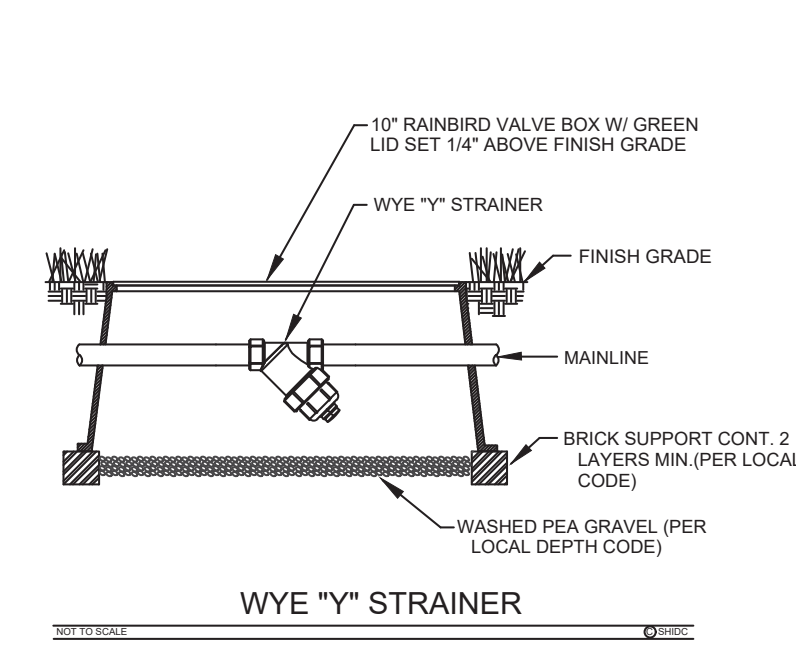
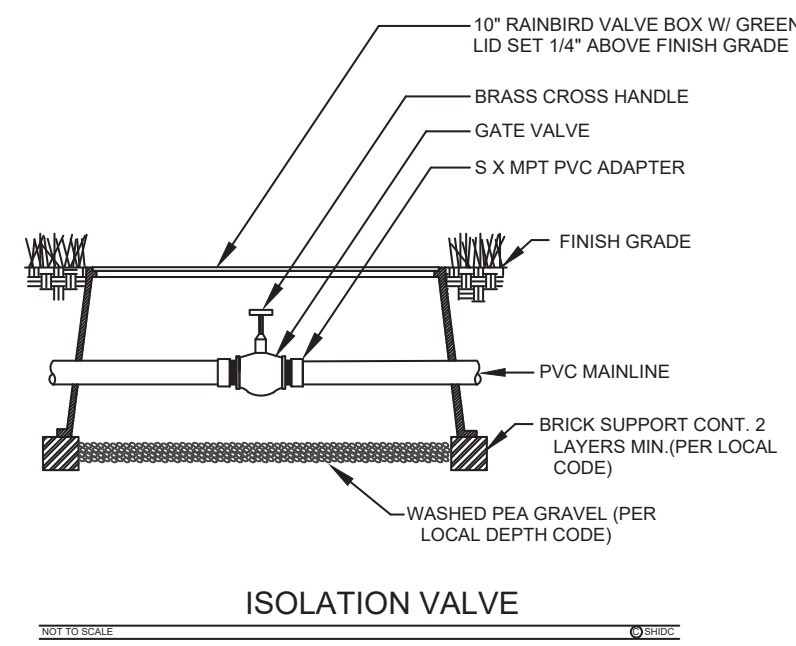


Table with columns: No., Date, Revision, BY.

NOTES:

- 1. ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE 3M-DBY PERMANENT AND WATERPROOF PER THE SPECIFICATIONS.
2. COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
3. PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
4. LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. ALL FITTINGS TO BE SCHEDULE 40 PVC. USE WELD-ON #705 SOLVENT AND #P-68 PRIMER FOR PVC CONNECTIONS PER THE SPECIFICATIONS.
5. SIZE PIPING PER MANUFACTURER'S RECOMMENDATIONS OF NOT EXCEEDING 5 FPS. REFERENCE CHART.
6. CONNECT LAWN AND DRIP INDICATOR HEADS TO LATERAL PIPING WITH RAINBIRD 1/2" SPX SWING PIPE. CONNECT ROTARY HEADS TO LATERAL PIPE WITH LASCO #T722 SERIES "UNITIZED", O-RING SWING JOINTS.
7. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX AND HARDWIRED WITHIN FIVE (5) FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR.
8. INSTALL REMOTE CONTROL VALVES AND WIRE SPLICES IN TEN (10") INCH ROUND RAINBIRD PVB VALVE BOXES.
9. INSTALL SLEEVES UNDER ALL HARDSCAPE SURFACES SUCH AS ROADS, DRIVES, WALKS, ETC. WHETHER SHOWN OR NOT. SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY IRRIGATION CONTRACTOR.
10. ADJUST NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90° DEGREE RADIUS SPRAY. NO OVERSPRAY ALLOWED ON ANY HARDSCAPE SURFACES.
11. DESIGN PRESSURE IS 61.0 PSI. STATIC PRESSURE IS 70 PSI. TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN STATED DO NOT START WORK UNTIL NOTIFIED TO PROCEED BY OWNER.
12. MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE EIGHTEEN (18") INCHES AND MINIMUM HORIZONTAL DISTANCE OF TWENTY-FOUR (24") INCHES BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
13. INSTALL REMOTE CONTROL DRIP ZONE KITS IN TWELVE BY SEVENTEEN (12"x17") INCH RAINBIRD PVB VALVE BOX.
14. INSTALL DRIPLINE MINIMUM OF 2" AND A MAXIMUM OF 4" FROM HARDSCAPE SURFACES. STAKE DRIPLINE AND RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE INSTALLATION. DO NOT EXCEED MANUFACTURER'S RECOMMENDATIONS OF 5'-0" PER SECOND IN DRIPLINE.
15. PROVIDE AND INSTALL DISTRIBUTION TUBING, STAKES, EMITTERS, TRANSFER FITTINGS, DIFFUSER BUG CAP, QF DRIPLINE HEADERS, CONTROL ZONE KITS, ETC. NECESSARY FOR PROPER INSTALLATION OF THE DRIP SYSTEM. ALL PVC HEADER PIPING TO BE CLASS 200 PVC SOLVENT WELD PIPE. INSERT XF BARBED INSERT FITTINGS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL RAINBIRD OPERATION INDICATOR FOR EACH DRIP ZONE.
16. AIR RELIEF VALVE TO BE RAINBIRD AR VALVE KIT INSTALLED IN A SIX-INCH (6") RAINBIRD PVB ROUND VALVE BOX WITH 6" OF GRAVEL SUMP. FLUSH VALVES TO BE AUTOMATIC FLUSH VALVE INSTALLED IN A SIX-INCH (6") RAINBIRD PVB ROUND VALVE BOX WITH 6" OF GRAVEL SUMP.
17. ALL XFS CV DRIPLINE AND DISTRIBUTION TUBING TO BE INSTALLED BELOW FINISH GRADE APPROXIMATELY 4" TO 6" PER MANUFACTURER'S RECOMMENDATIONS. ALL DRIPLINE TO BE INSTALLED MIN. OF 14" AND MAX. OF 20" ROW SPACING UNLESS INSTRUCTED OTHERWISE. VERIFY THE EXACT EMITTER FLOW, EMITTER SPACING, AND ROW SPACING WITH MANUFACTURER PRIOR TO INSTALLING TO PROVIDE PROPER PRECIPITATION RATE BASED ON PLANT MATERIAL AND SOIL TYPE. TUBING TO BE STAKED WITH RAINBIRD 12 GA. GALVANIZED TIE DOWNS. INSTALL STAKES EVERY 3'-0" ALONG ENTIRE LENGTH OF TUBING AND A MINIMUM OF 24" FROM ANY FITTINGS.
18. INCLUDE THE FOLLOWING ALLOWANCES FOR PROVIDING AND INSTALLING AIR RELIEF VALVES AND FLUSH VALVES FOR THE DRIP SYSTEM. EXACT QUANTITY AND LOCATION OF THESE DEVICES WILL BE DETERMINED AT THE TIME OF INSTALLATION. IN GENERAL, ALL AIR RELIEF VALVES WILL BE INSTALLED AT THE HIGH POINTS AND FLUSH VALVES WILL BE INSTALLED AT THE LOW POINTS OF EXHAUST HEADER. ALLOW FOR APPROXIMATELY ONE (1) AIR RELIEF VALVE AND APPROXIMATELY ONE (1) FLUSH VALVE FOR EACH DRIP ZONE KIT.
19. DO NOT INSTALL ANY MAINLINES, VALVES, OR CONTROL WIRES WITHIN THE R.O.W. UNLESS CITY APPROVED.
20. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO HAND DIG WITHIN ALL EXISTING TREE ROOT ZONES. CONTRACTOR MUST STAKE DITCHES AND RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING OR DIGGING.
21. ALL STATE OF TEXAS LAWS/RULES AND ALL LOCAL CODES/ORDINANCES ARE MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. CONTRACTOR IS CAUTIONED THAT HE IS TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF TEXAS OR LOCAL CODES CONCERNING LANDSCAPE IRRIGATION. A LICENSED IRRIGATOR OR LICENSED IRRIGATION TECHNICIAN SHALL BE ON-SITE AT ALL TIMES WHILE THE LANDSCAPE IRRIGATION SYSTEM IS BEING INSTALLED PER CITY OF ROCKWALL REQUIREMENTS.



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Project information block including: LIME MEDIA ROCKWALL, TX 75087; LEGAL DESCRIPTION AND OR ADDRESS: ROCKWALL TECHNOLOGY PARK, BLOCK 3, LOT 1, 3.634 ACRES (REPLAT 2010); OWNER: ROCKWALL ECONOMIC DEVELOPMENT; APPLICANT: CLAYMOORE ENGINEERING, INC.; CASE NUMBER: SP2018-