

CONSTRUCTION PLANS

WOODHILL DENTAL SPECIALTIES

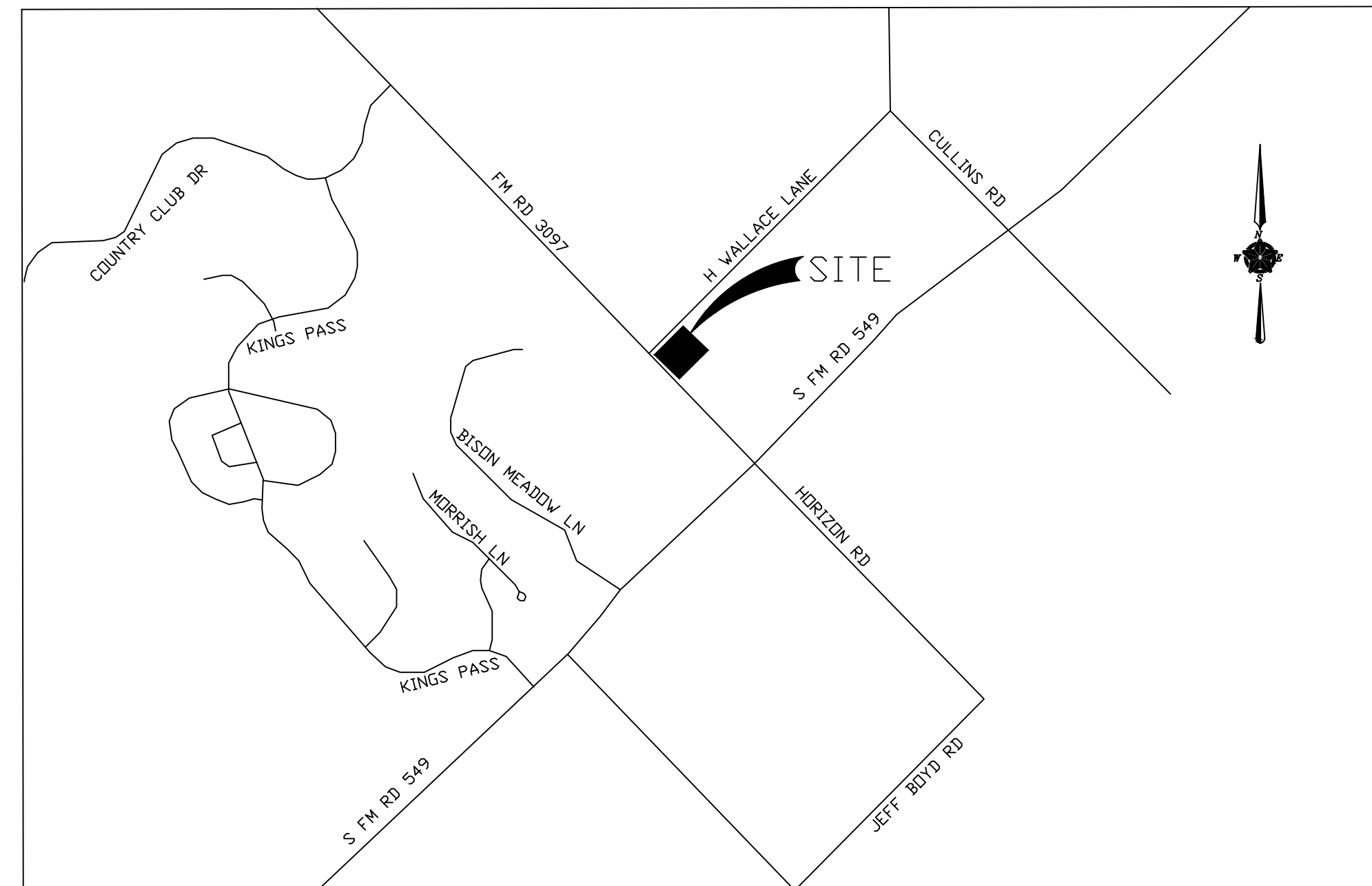
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

GENERAL NOTES (All Disciplines)

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS AND PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC.
3. ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION AND ANY WORK WITHIN TXDOT RIGHT OF WAY SHALL CONFORM TO TXDOT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE INDICATED ON APPROVED PLANS.
4. IF AN ITEM IS NOT COVERED IN THE CITY OF ROCKWALL SUBDIVISION REGULATIONS, THE CITY ENGINEER'S DECISION SHALL APPLY. IN CASE OF CONFLICT WITH THE CITY OF ROCKWALL SPECIFICATIONS, THE DESIGN ENGINEER SHALL BE NOTIFIED TO PROVIDE CLARIFICATION.
5. CONSTRUCTION INSPECTION MAY BE PERFORMED BY REPRESENTATIVES OF THE OWNER, ENGINEER, GEOTECHNICAL ENGINEER, AND REVIEWING AUTHORITIES AND AGENCIES. UNRESTRICTED ACCESS SHALL BE PROVIDED TO THEM AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND SCHEDULING REQUIRED INSPECTIONS.
6. CERTAIN CONSTRUCTION STAKING MAY BE PERFORMED BY THE OWNER'S ENGINEER. SEE THE CONTRACT DOCUMENTS FOR DETAILS OF THIS SERVICE.
7. IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES. CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITIES TO FINAL GRADE.
9. THE CONTRACTOR MUST CONFINE HIS ACTIVITY TO THE WORK AREA. NO ENCROACHMENTS ONTO ADJACENT PROPERTIES WILL BE ALLOWED UNLESS SPECIFIED IN THE PLANS AND HAVE AGREEMENT LETTERS FROM ADJACENT PROPERTY OWNERS. ANY DAMAGE RESULTING THEREFROM SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
10. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE TO ADJUST ANY EXISTING OR PROPOSED UTILITIES TO FINISHED GRADE.
11. ALL TRAFFIC CONTROL NECESSARY FOR THE WORK SHALL BE PROVIDED BY THE AFFECTED CONTRACTOR. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE INSTALLATIONS SHOWN IN THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, TEXAS DEPARTMENT OF TRANSPORTATION.

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L1	LANDSCAPE PLAN



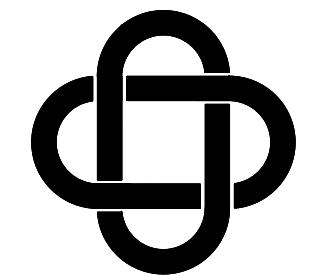
1	02/27/19	ADJUSTED GRADES AND ADDED RAMP FOR NEW ACCESS POINT
2	10/28/19	SITE PLAN REVISED BY ARCHITECT
3	06/26/20	MONUMENT SIGN ADDED, PARKING SHIFTED
4	07/22/20	SIDEWALK SECTION REMOVED
5	08/03/20	GRADES ADJUSTED, DIMENSION ADDED

AS-BUILT

OWNER / DEVELOPER
WOODHILL DENTAL SPECIALTIES
 8355 WALNUT HILL LANE #100
 DALLAS, TX
 (972)771-5258

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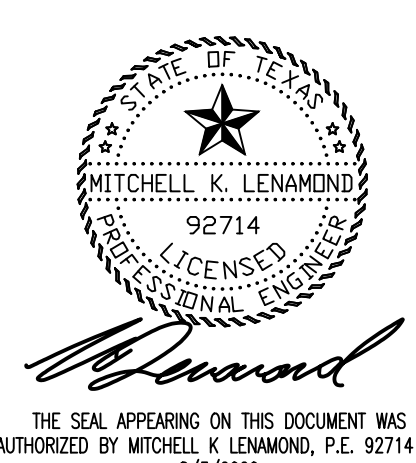
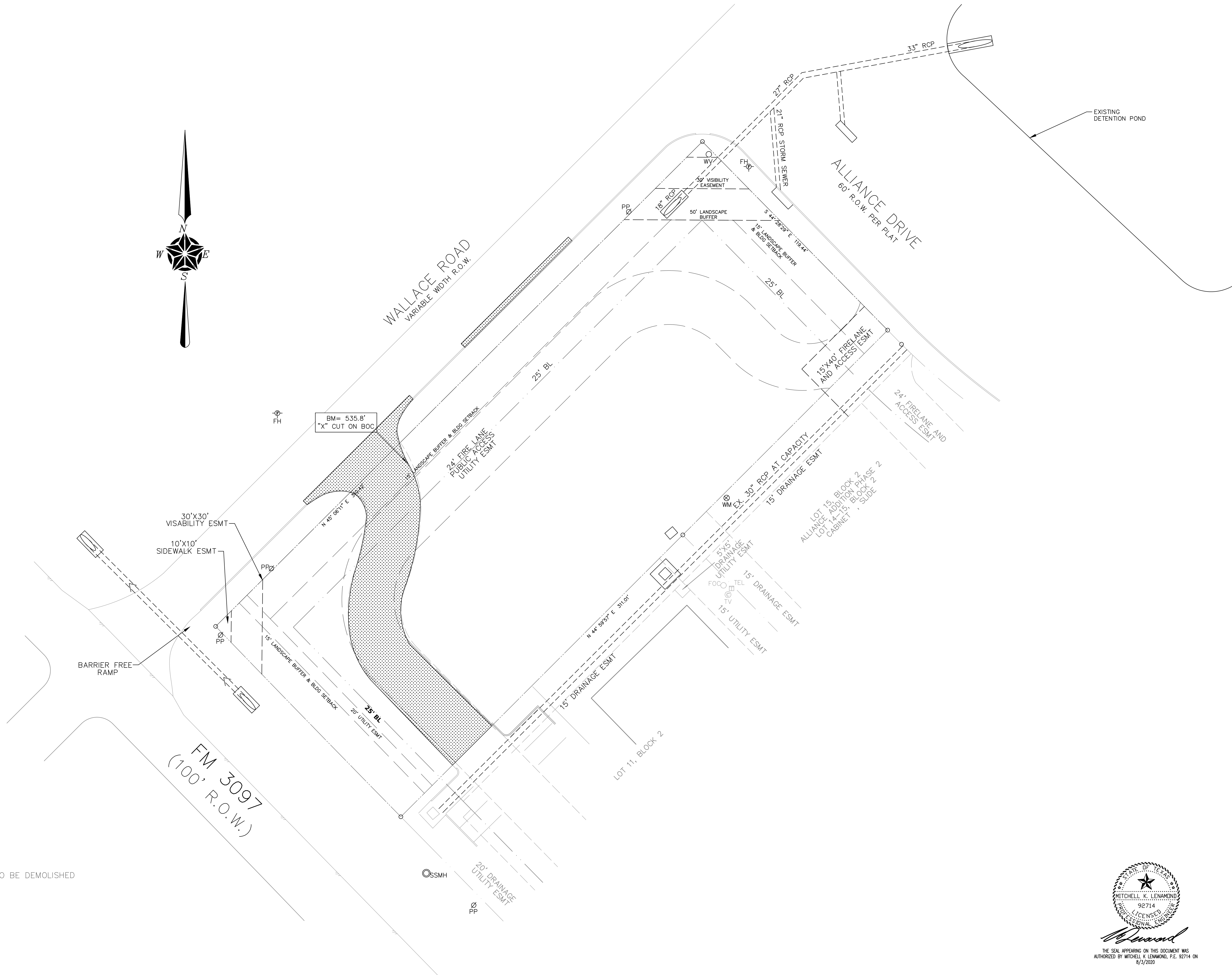
DEMOLITION PLAN
ENGINEERED FOR:

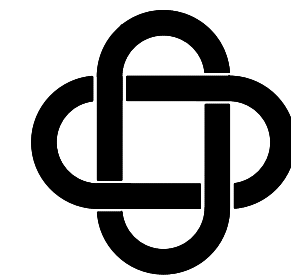
WOODHILL DENTAL
SPECIALTIES

BUILDER: WOODHILL DENTAL SPECIALTIES	PLAN: DEMOLITION
ADDITION: ALLIANCE ADDITION PH. 2	ELD JOB NO.: 2031
ADDRESS: WALLACE RD AT HORIZON RD	DRAWN BY: JL
LOT: 12 BLOCK: 2	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=20'

SHEET 03





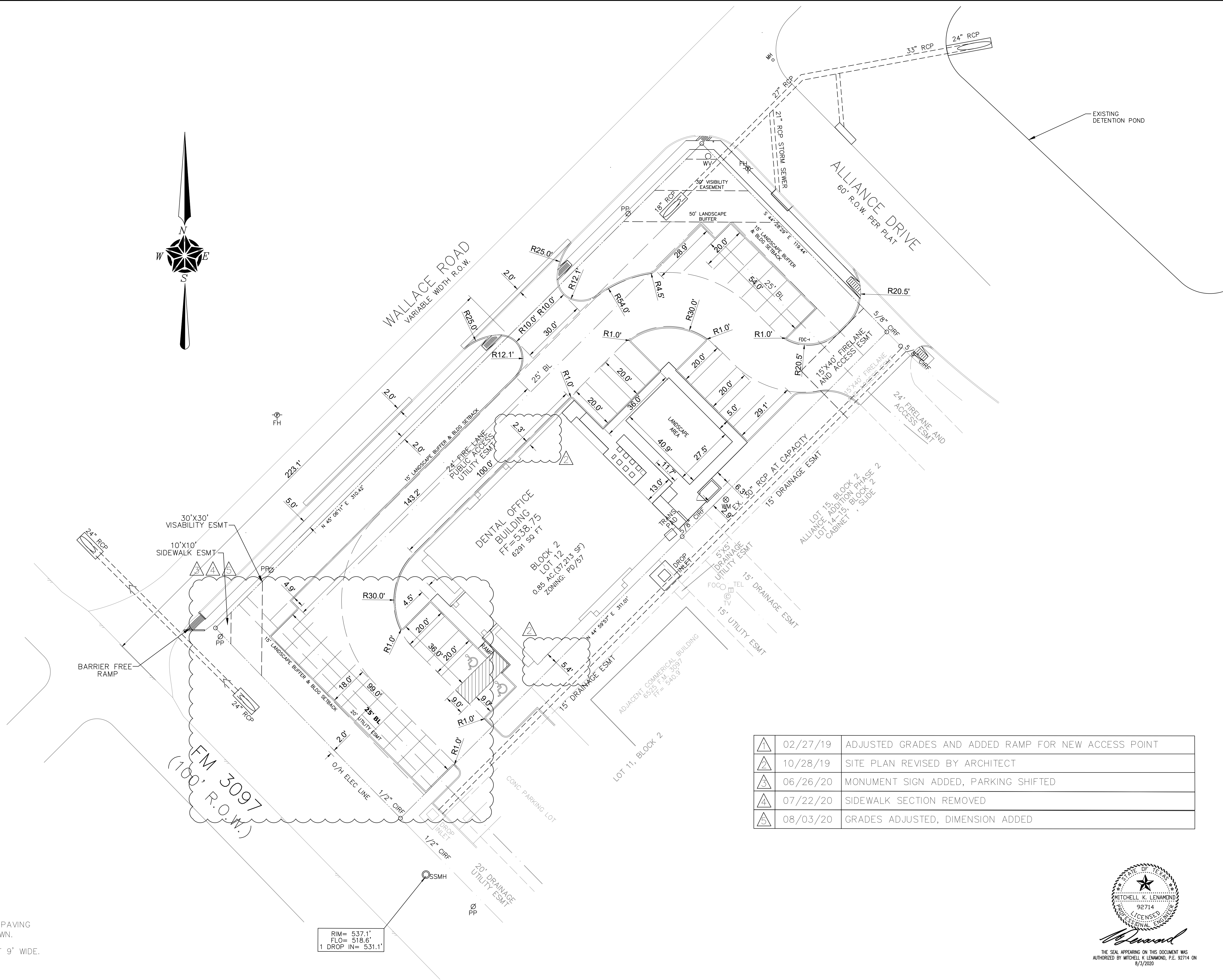
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DIMENSIONAL CONTROL
 ENGINEERED FOR:
**WOODHILL DENTAL
 SPECIALTIES**

BUILDER: WOODHILL DENTAL SPECIALTIES
 ADDITION: ALLIANCE ADDITION PH. 2
 ADDRESS: WALLACE RD AT HORIZON RD
 LOT: 12 BLOCK: 2
 CITY: ROCKWALL, TX

SCALE: 1"=20'

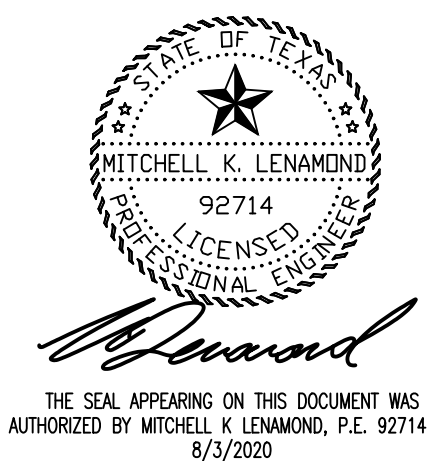
SHEET 04

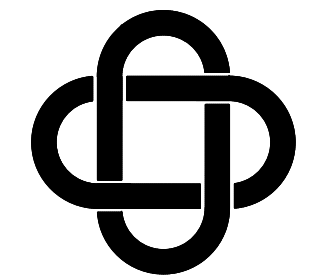


NOTE: ALL DIMENSIONS ARE TO EDGE OF PAVING AND FACE OF CURB WHERE CURB IS SHOWN.
 NOTE: ALL PARKING TO BE A MINIMUM OF 9' WIDE.

RIM= 537.1'
 FLO= 518.6'
 1 DROP IN= 531.1'

▲	02/27/19	ADJUSTED GRADES AND ADDED RAMP FOR NEW ACCESS POINT
▲	10/28/19	SITE PLAN REVISED BY ARCHITECT
▲	06/26/20	MONUMENT SIGN ADDED, PARKING SHIFTED
▲	07/22/20	SIDEWALK SECTION REMOVED
▲	08/03/20	GRADES ADJUSTED, DIMENSION ADDED





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GRADING PLAN
 ENGINEERED FOR:

**WOODHILL DENTAL
 SPECIALTIES**

BUILDER: WOODHILL DENTAL SPECIALTIES

PLAN: GRADING

ADDITION: ALLIANCE ADDITION PH. 2

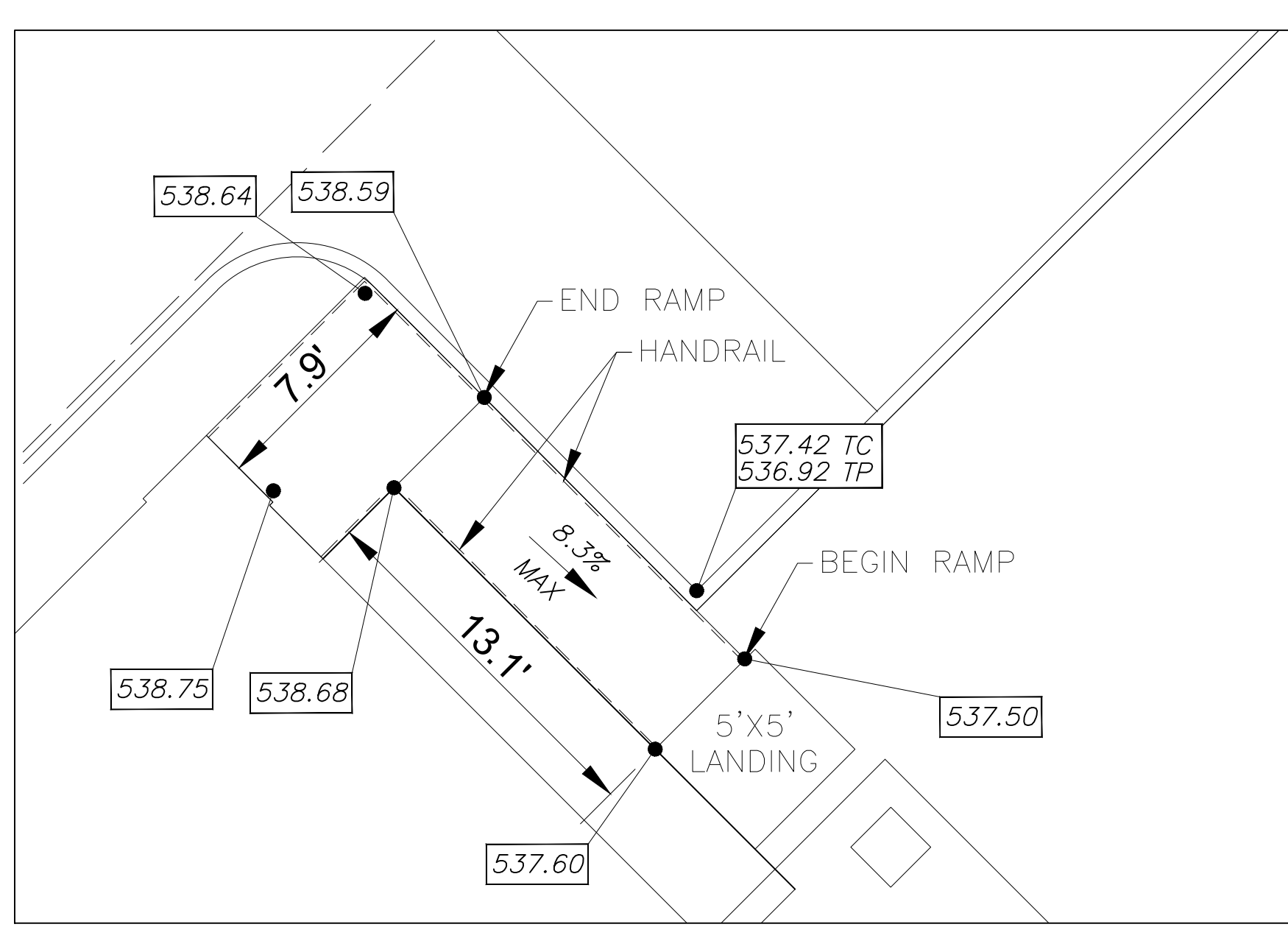
ADDRESS: WALLACE RD AT HORIZON RD

LOT: 12 BLOCK: 2

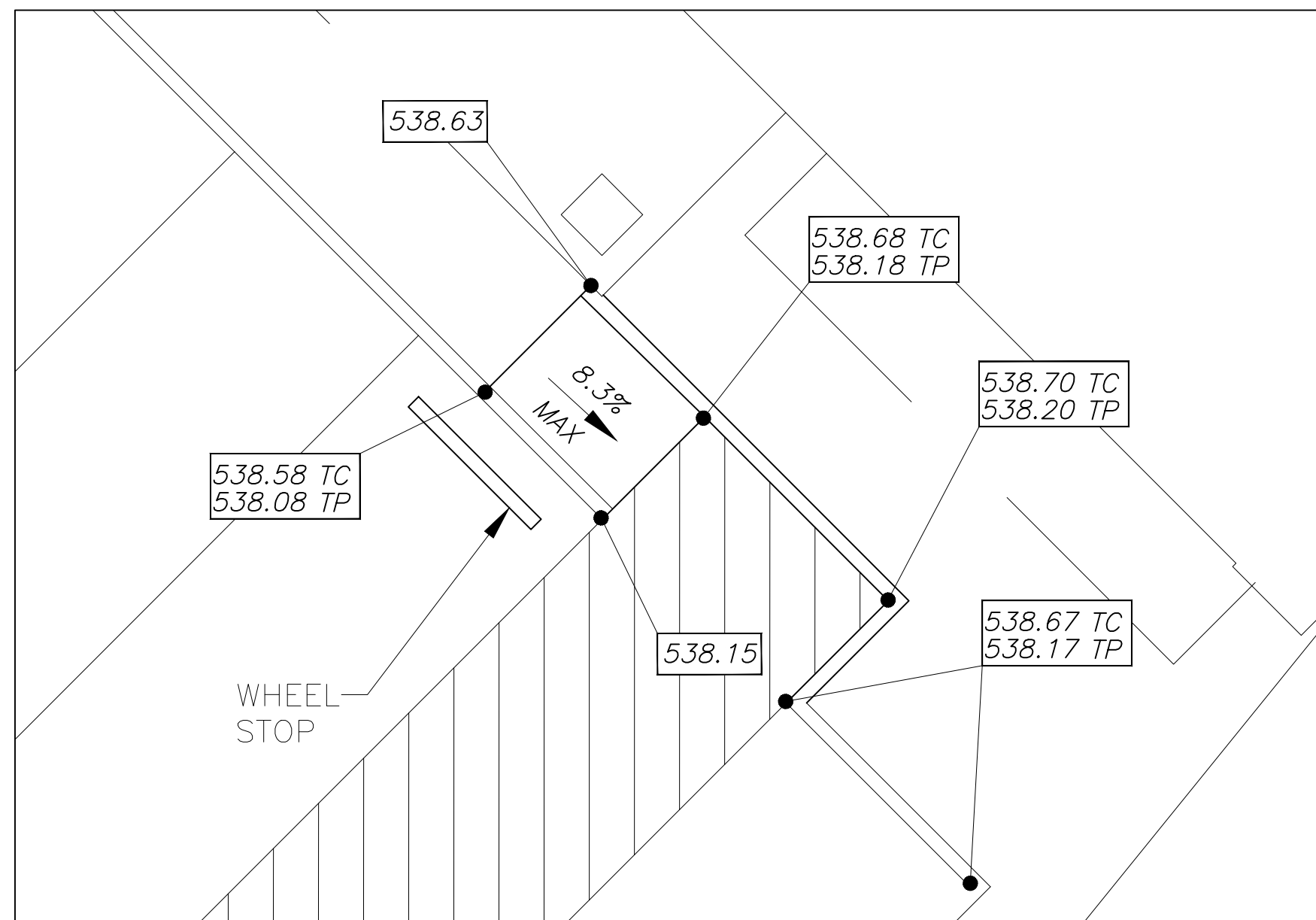
CITY: ROCKWALL, TX

SCALE: 1"=20'

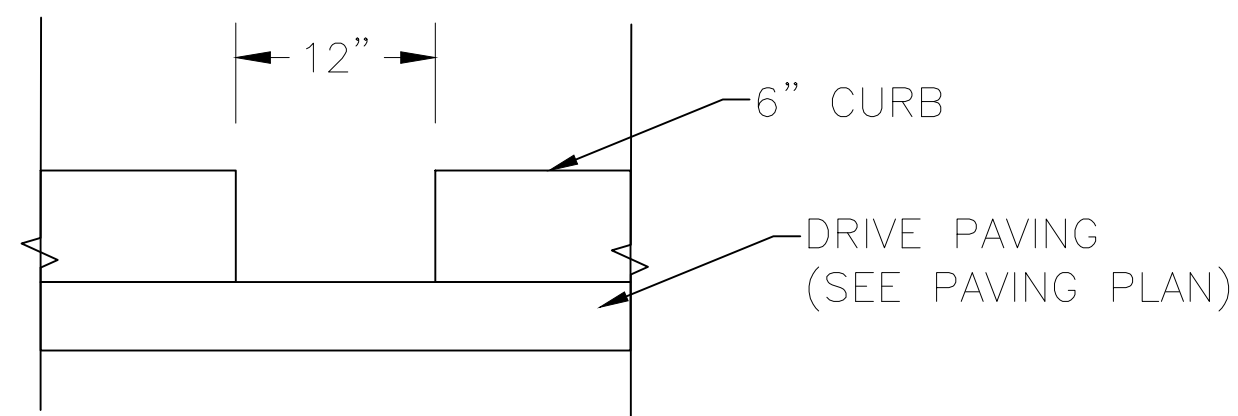
SHEET 05



NORTH RAMP
 SCALE: 1"=5'



SOUTHWEST RAMP
 SCALE: 1"=5'

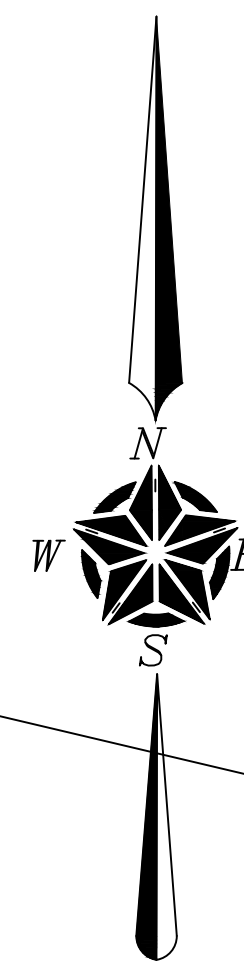
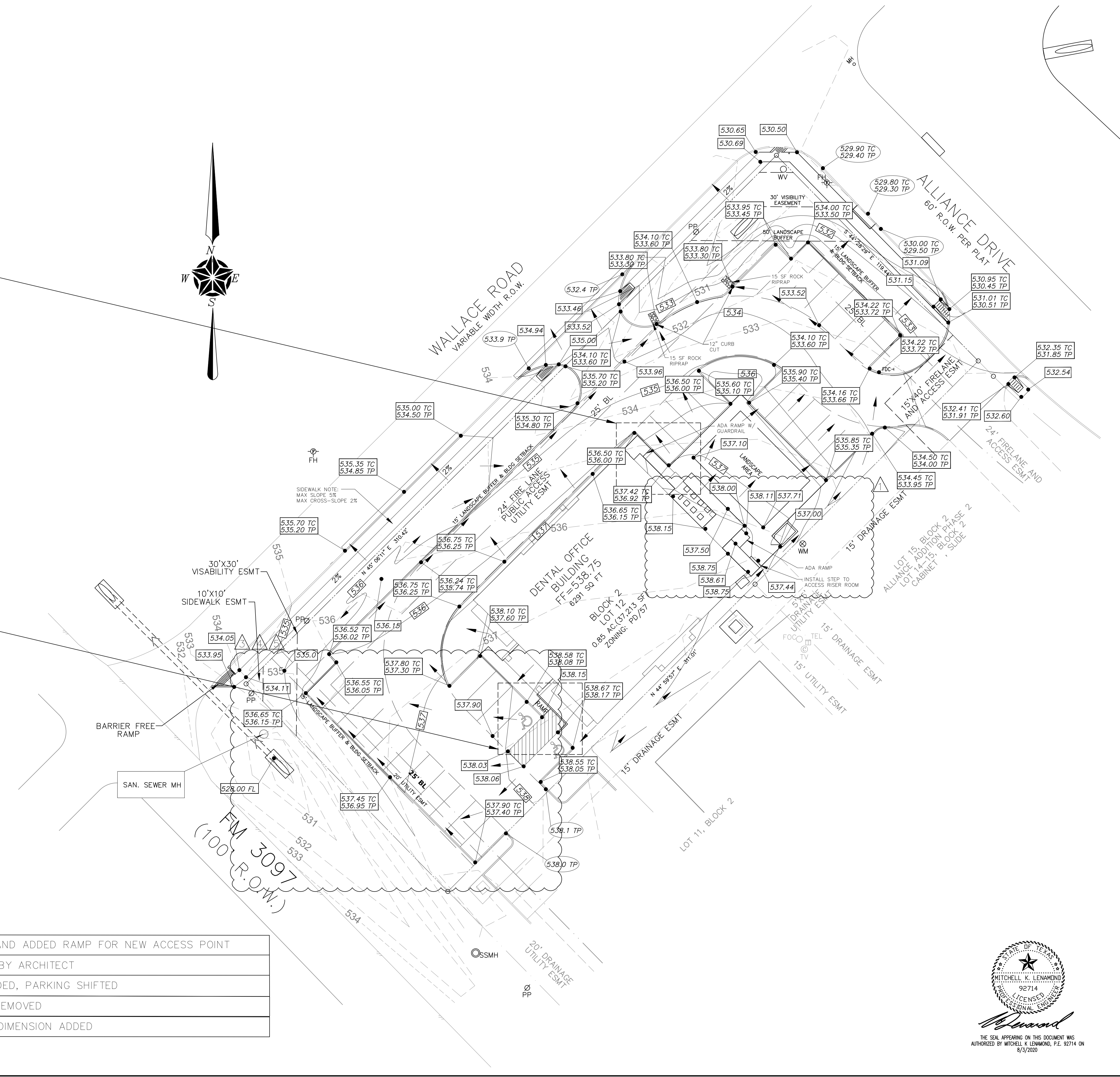


5" CURB CUT DETAIL
 N.T.S.

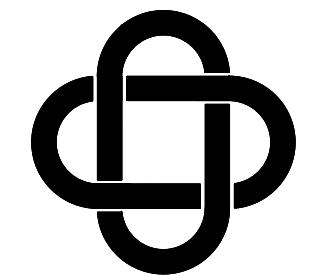
NOTE: SIDEWALK AND BARRIER FREE RAMPS
 IN R.O.W. MUST MEET ADA REQUIREMENTS

NOTE: ALL FILL TO BE COMPACTED TO 95%
 STD DENSITY USING A SHEEP'S FOOT ROLLER.

▲	02/27/19	ADJUSTED GRADES AND ADDED RAMP FOR NEW ACCESS POINT
▲	10/28/19	SITE PLAN REVISED BY ARCHITECT
▲	06/26/20	MONUMENT SIGN ADDED, PARKING SHIFTED
▲	07/22/20	SIDEWALK SECTION REMOVED
▲	08/03/20	GRADES ADJUSTED, DIMENSION ADDED



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 8/3/2020



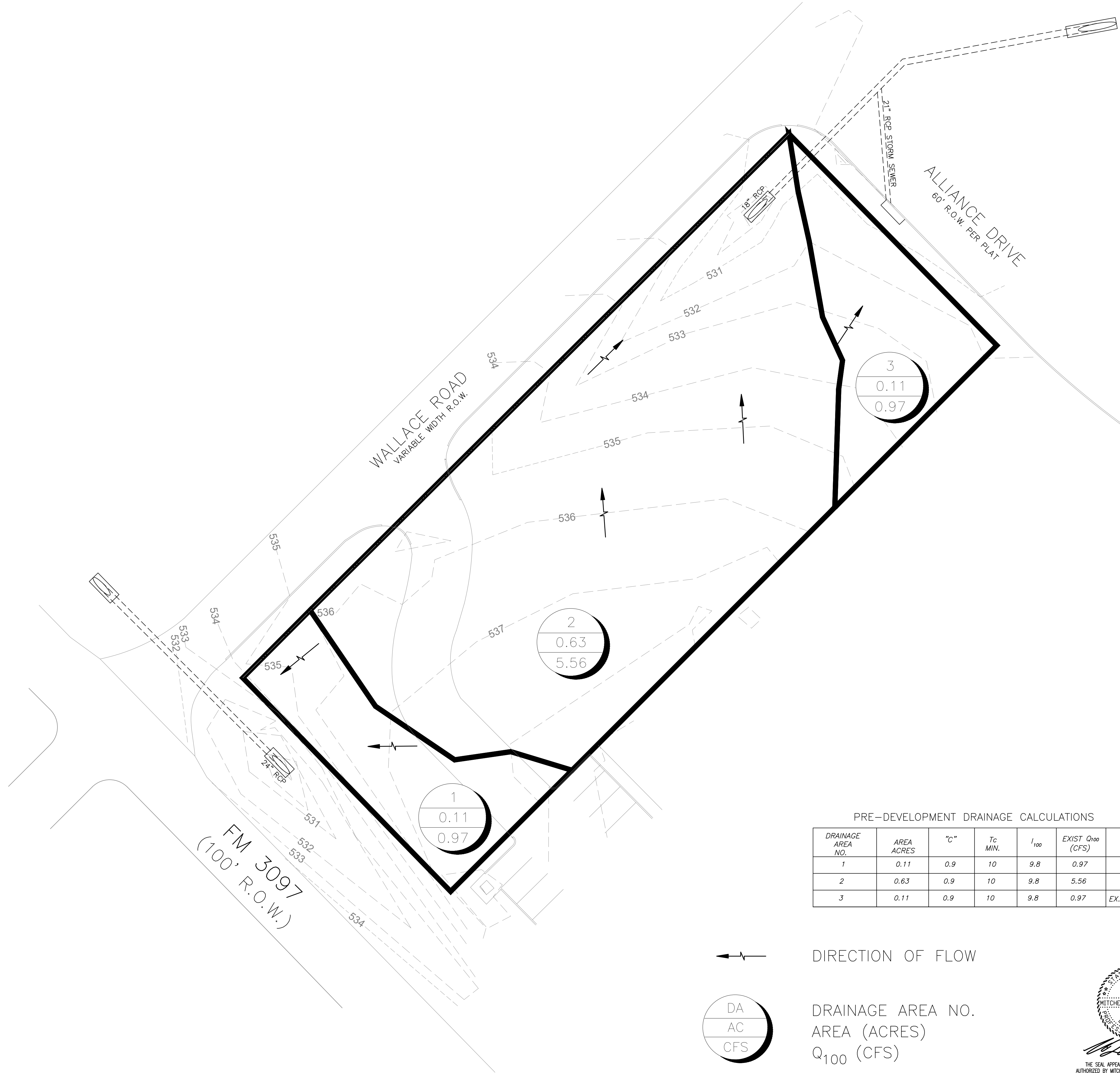
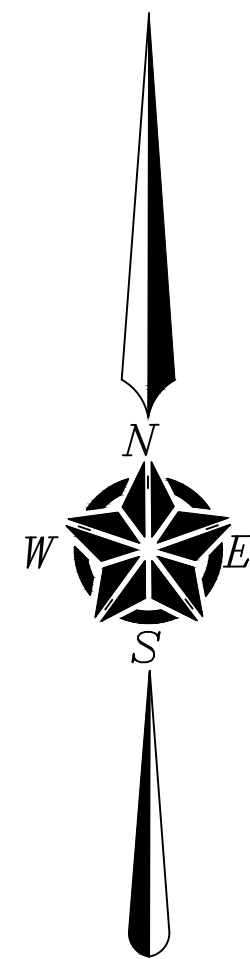
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EXISTING DRAINAGE AREA MAP
 ENGINEERED FOR:
WOODHILL DENTAL SPECIALTIES

BUILDER: WOODHILL DENTAL SPECIALTIES
 ADDITION: ALLIANCE ADDITION PH. 2
 ADDRESS: WALLACE RD AT HORIZON RD
 LOT: 12 BLOCK: 2
 CITY: ROCKWALL, TX
 PLAN: EXISTING DRAINAGE AREA MAP
 ELD JOB NO.: 2031
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: 1"=20'

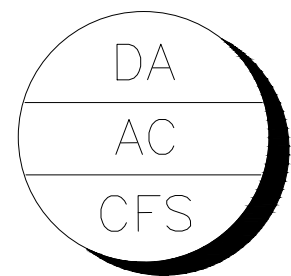
SHEET 06



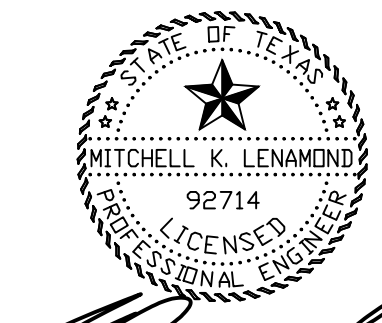
PRE-DEVELOPMENT DRAINAGE CALCULATIONS

DRAINAGE AREA NO.	AREA ACRES	"C"	Tc MIN.	I ₁₀₀	EXIST Q ₁₀₀ (CFS)	DRAINS TO
1	0.11	0.9	10	9.8	0.97	EX. INLET IN ALLIANCE
2	0.63	0.9	10	9.8	5.56	EX. HEADWALL
3	0.11	0.9	10	9.8	0.97	EX. CULVERT UNDER WALLACE

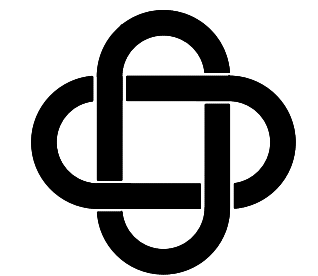
← DIRECTION OF FLOW



DRAINAGE AREA NO.
 AREA (ACRES)
 Q₁₀₀ (CFS)



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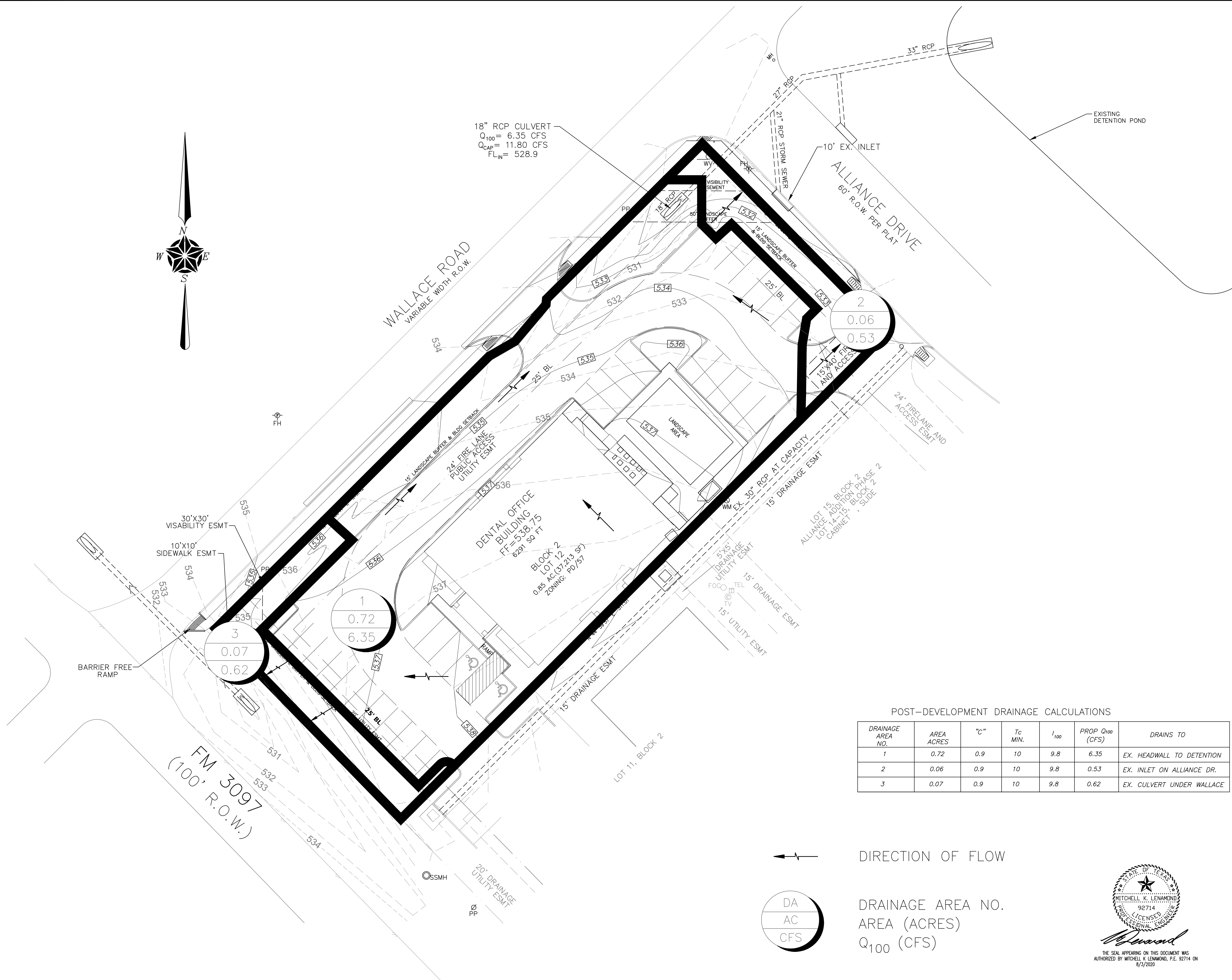
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PROPOSED DRAINAGE AREA MAP
 ENGINEERED FOR:
WOODHILL DENTAL SPECIALTIES

BUILDER: WOODHILL DENTAL SPECIALTIES
 ADDITION: ALLIANCE ADDITION PH. 2
 ADDRESS: WALLACE RD AT HORIZON RD
 LOT: 12 BLOCK: 2
 CITY: ROCKWALL, TX
 PLAN: PROPOSED DRAINAGE AREA MAP
 ELD JOB NO.: 2031
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: 1"=20'

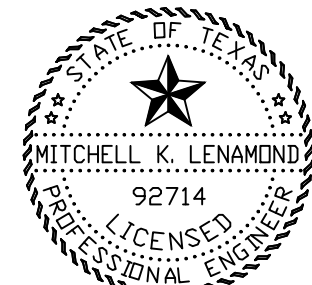
SHEET 07



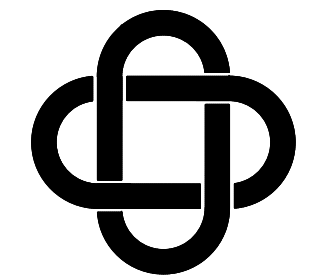
18" RCP CULVERT
 $Q_{100} = 6.35$ CFS
 $Q_{CAP} = 11.80$ CFS
 $FL_N = 528.9$

POST-DEVELOPMENT DRAINAGE CALCULATIONS

DRAINAGE AREA NO.	AREA ACRES	"C"	Tc MIN.	I ₁₀₀	PROP Q ₁₀₀ (CFS)	DRAINS TO
1	0.72	0.9	10	9.8	6.35	EX. HEADWALL TO DETENTION
2	0.06	0.9	10	9.8	0.53	EX. INLET ON ALLIANCE DR.
3	0.07	0.9	10	9.8	0.62	EX. CULVERT UNDER WALLACE



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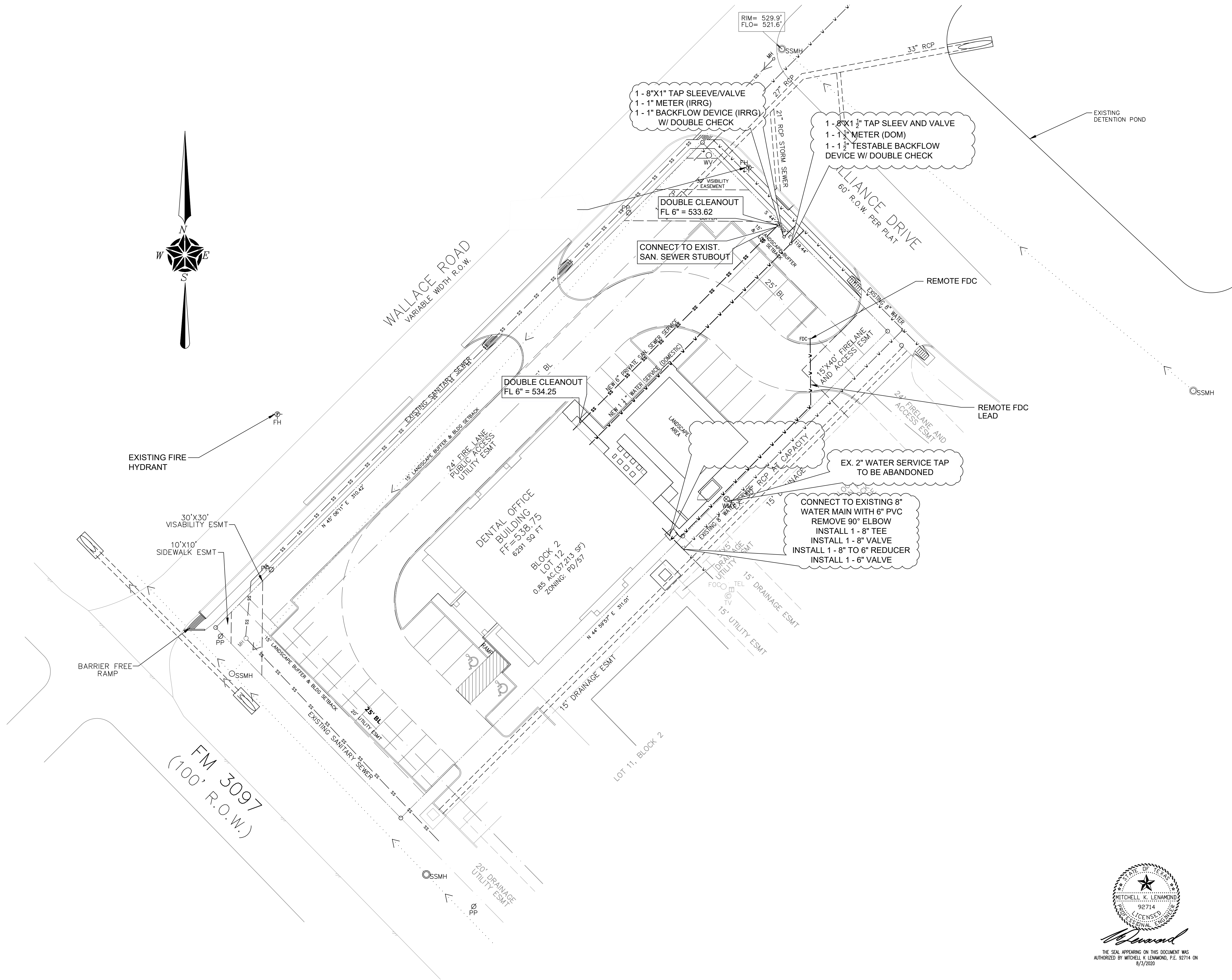
UTILITY PLAN
 ENGINEERED FOR:

WOODHILL DENTAL
 SPECIALTIES

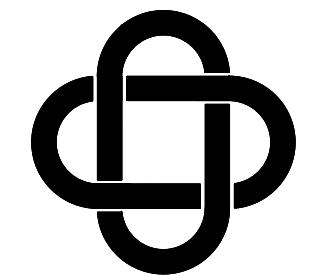
BUILDER: WOODHILL DENTAL SPECIALTIES	PLAN: UTILITY
ADDITION: ALLIANCE ADDITION PH. 2	ELD JOB NO.: 2031
ADDRESS: WALLACE RD AT HORIZON RD	DRAWN BY: JL
LOT: 12 BLOCK: 2	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=20'

SHEET 08



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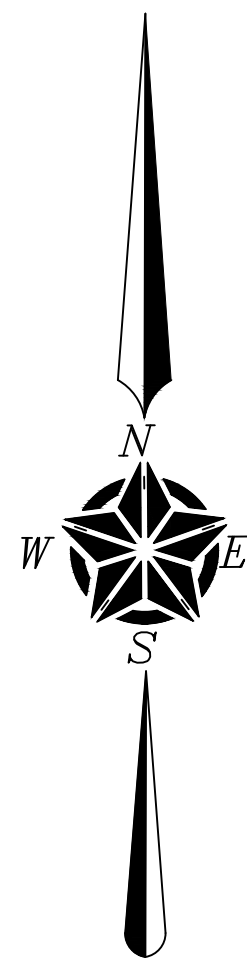
PAVING PLAN
 ENGINEERED FOR:
**WOODHILL DENTAL
 SPECIALTIES**

PLANNING: PAVING
 ELD JOB NO.: 2031
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

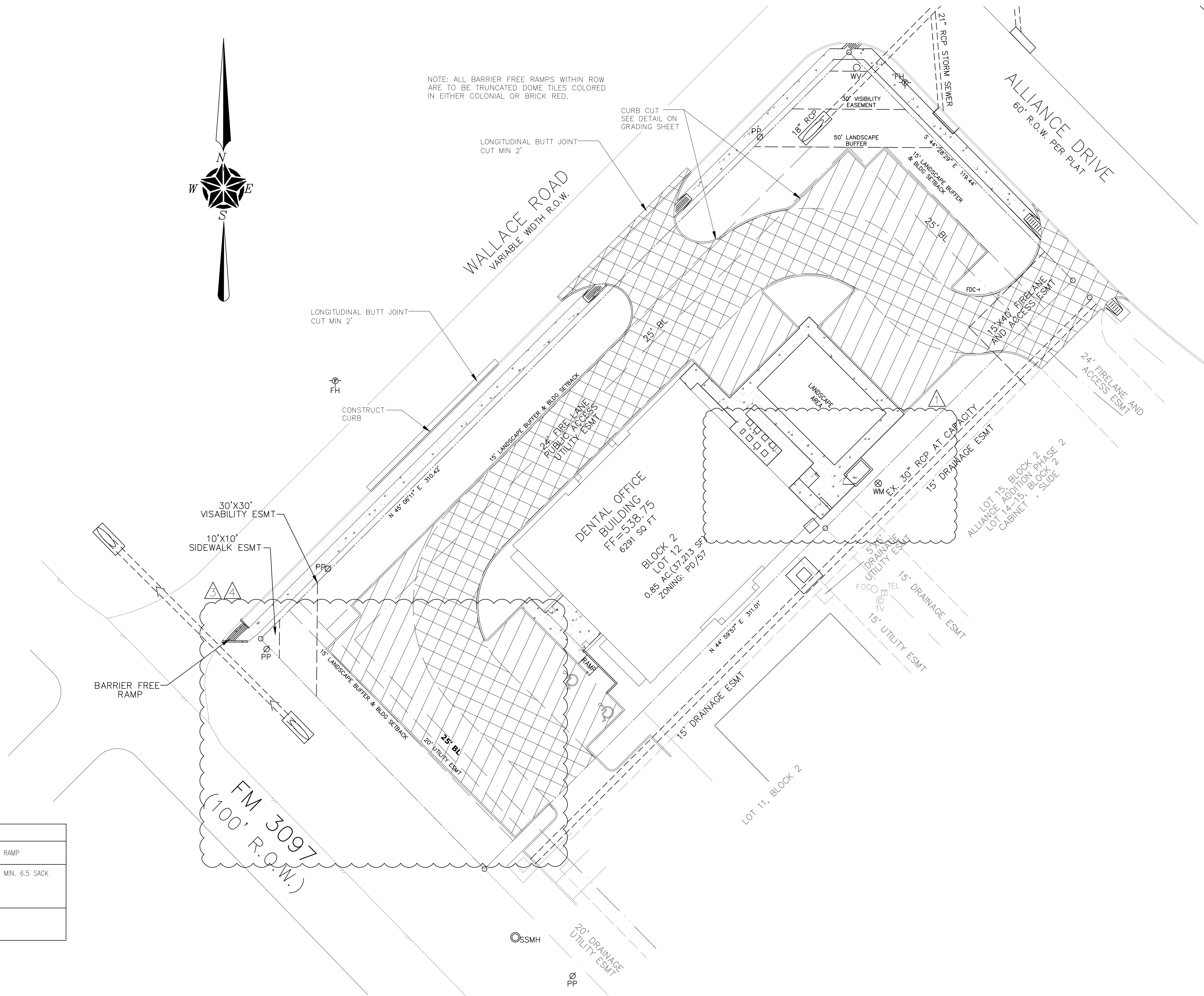
BUILDER: WOODHILL DENTAL SPECIALTIES
 ADDITION: ALLIANCE ADDITION PH. 2
 ADDRESS: WALLACE RD AT HORIZON RD
 LOT: 12 BLOCK: 2
 CITY: ROCKWALL, TX

SCALE: 1"=20'

SHEET 09



NOTE: ALL BARRIER FREE RAMPS WITHIN ROW ARE TO BE TRUNCATED DOME TILES COLORED IN EITHER COLONIAL OR BRICK RED.



NOTE: ANY FILL PLACED IN PAVEMENT LOCATIONS SHALL BE COMPACTED WITH A SHEEPSFOOT ROLLER TO 95% OF THE STANDARD PROCTOR DENSITY.

PAVING REQUIREMENTS				
SECTION	DRIVE/FIRELANE PAVING	PARKING	SIDEWALK	BARRIER FREE RAMP
PAVING	6" - 3600 PSI CLASS "C" 6.5 SACK CONC #3 BARS @ 24" OCEW DRIVE APPROACH #4 BARS @ 18" OCEW	5" - 3600 PSI CLASS "C" 6.5 SACK CONC #3 BARS @ 24" OCEW	4" - 3000 PSI CONC MIN. 5.5 SACK #3 BARS @ 24" OCEW	4" - 3600 PSI CONC MIN. 6.5 SACK SEE DETAILS
SUBGRADE	6"-6% MINIMUM LIME STABILIZED SUBGRADE TO PI < 15 AT +2 OR HIGHER OF OPTIMUM.		COMPACTED TO 95% STANDARD PROCTOR	

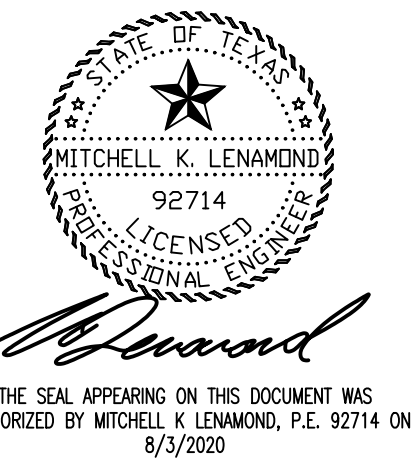
ESTIMATED AMOUNT OF LIME TO TREAT UPPER 6" OF SUBGRADE IS 27 POUNDS PER SQUARE YARD (TO BE DETERMINED BY GEOTECHNICAL TESTING LAB)
 NO SAND ALLOWED UNDER PAVING
 SEE TABLE 2.3 OF CITY OF ROCKWALL, "STEEL REINFORCED CONCRETE DESIGN."

- PARKING
- DRIVE PAVING
- SIDEWALK / BARRIER FREE RAMP

NOTE:
 FIRE LANES SHALL BE MARKED BY 6" WIDE, DURABLE RED STRIPE RUNNING THE ENTIRE LENGTH OF THE FIRE LANE ON BOTH SIDES. THE WORDS "FIRE LANE NO PARKING" SHALL BE APPLIED IN 4" WHITE LETTERING AT 30' INTERVALS. WHENEVER POSSIBLE ALL MARKINGS WILL BE PLACED ON CURBS.

- SUBGRADE PREPARATION AS A MINIMUM SHOULD INCLUDE:
- STRIP VEGETATION AND ORGANIC MATERIALS.
 - PROOFROLL EXPOSED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS.
 - SCARIFY EXPOSED SUBGRADE TO A DEPTH OF 6". WATER AND COMPACT AS NECESSARY TO ACHIEVE 95% OF ASTM D-698 DENSITY AT +2% OR HIGHER OF OPTIMUM MOISTURE.
 - EXCAVATED AREAS MAY BE BACKFILLED WITH CLEAN ON-SITE SOILS PLACED IN LOOSE LIFTS NO GREATER THAN 8" THICK AND COMPACTED AS OUTLINED ABOVE.

1	02/27/19	ADJUSTED GRADES AND ADDED RAMP FOR NEW ACCESS POINT
2	10/28/19	SITE PLAN REVISED BY ARCHITECT
3	06/26/20	MONUMENT SIGN ADDED, PARKING SHIFTED
4	07/22/20	SIDEWALK SECTION REMOVED



SAWED CONTRACTION (DUMMY) JOINTS SPACED AT 15'-0" MAX AND EXPANSION JOINTS AT 90' MAX IN PAVING.
 METHODS AND PLACEMENT SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, 4TH EDITION UNLESS SUPERSEDED BY CITY OF ROCKWALL SPECIFICATIONS

