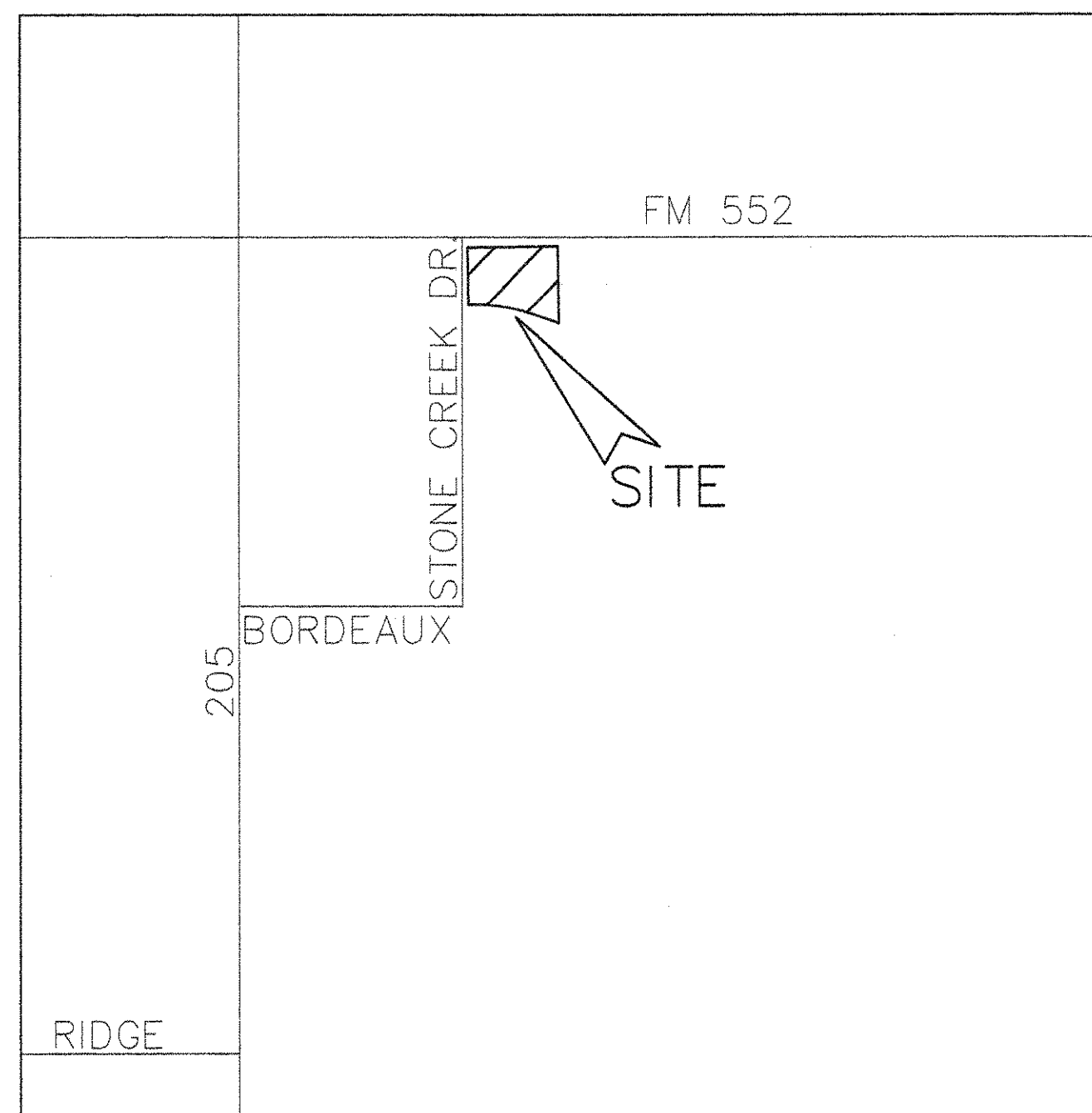


SITE IMPROVEMENT PLANS
for
WOODBRIIDGE MONTESSORI
ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
LOT 1A, BLK A, 2.12 ACRES
of the
WOODBRIIDGE SCHOOL ADDITION
City of Rockwall
Rockwall County, Texas



Location Map

MAPSCO:

OWNER:

VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

ENGINEER:

MONK CONSULTING ENGINEERS, INC.

GERALD E. MONK, P.E.

1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761
jerry@monkconsulting.com
REG. NO.: F-2567

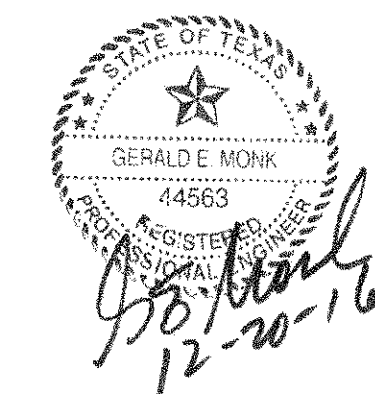
INDEX

SHEET NO.	DESCRIPTION
C100	Cover Sheet
	Plat
C101	Site & Dimension Control Plan
C101A	Paving Plan
C102	Site Utility Plan
C102A	Profile
C103	Pre Drainage Area map
C103A	Post Drainage Area map
C104	Grading & Drainage Plan
C105	Erosion Control Plan
D100	General Notes
D101	Site Details
D102	Erosion Control Details
L101	Landscape Plan
L102	Irrigation Plan

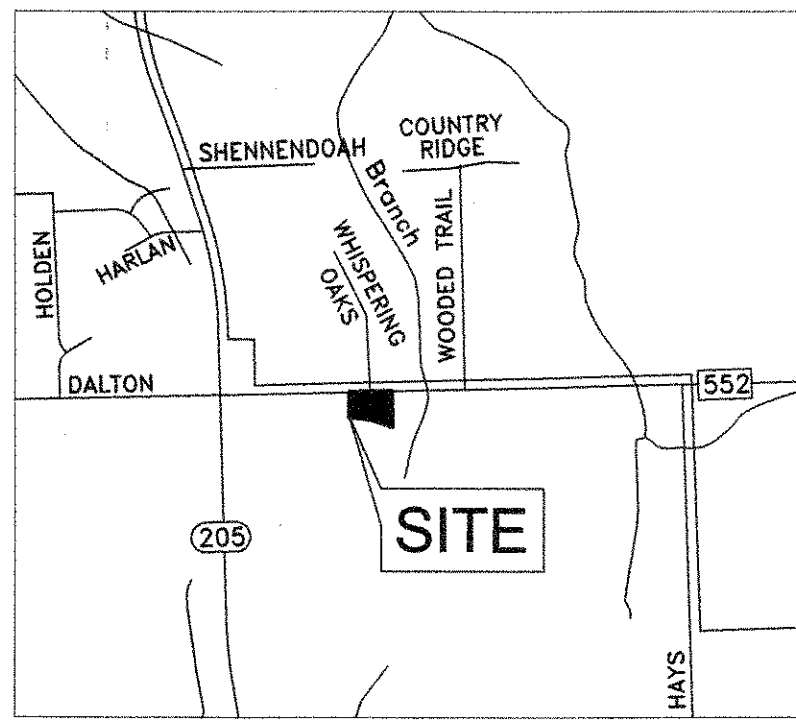
RECORD DRAWING 9-7-17
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC.
HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED
IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE
CONTRACTOR.
G. E. Monk
GERALD E. MONK, P.E.

CASE #:
SUBMITTAL DATE:

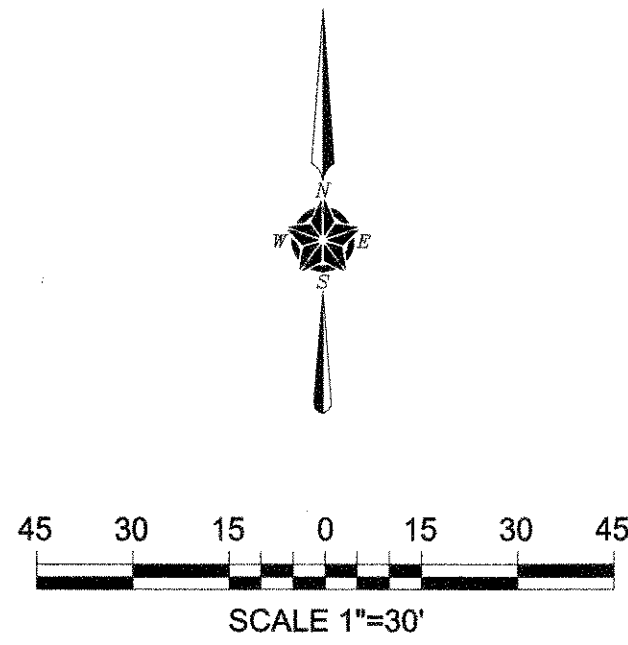
1 st	
2 nd	



NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #S	DATED



VICINITY MAP - NOT TO SCALE



OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Metroplex Acquisition Fund, LP is the sole owner of a tract of land situated in the W.T. Deweese Survey, Abstract No. 71 in the City of Rockwall, Rockwall County, Texas, and being that tract of land conveyed to Metroplex Acquisition Fund, LP by Special Warranty Deed recorded in Instrument No. 2008-00409649, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch iron rod found for corner at the Northwest corner of Lot 17, Block A of Stone Creek Phase VI, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume I, Page 161, Deed Records, Rockwall County, Texas, and lying in the South right-of-way line of F.M. 552 (variable width right-of-way);

Thence South 00 degrees 50 minutes 35 seconds East, along the West line of said Lot 17, Block A, a distance of 320.47 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" at the Northeast corner of Lot 18, Block U of said Stone Creek Phase VI;

Thence North 69 degrees 47 minutes 25 seconds West, along the northern line of said Block U of Stone Creek Phase VI, a distance of 113.88 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" at the beginning of a tangent curve to the left having a delta angle of 21 degrees 03 minutes 11 seconds, a radius of 700.00 feet, with a chord that bears North 80 degrees 18 minutes 55 seconds West, a chord distance of 255.77 feet;

Thence along said northern line of Block U of Stone Creek Phase VI and said tangent curve to the left, an arc length of 257.21 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS";

Thence South 89 degrees 09 minutes 25 seconds West, along the North line of Lot 24 of said Block U of Stone Creek Phase VI, a distance of 23.07 feet to a 1/2 inch iron rod found at the Northwest corner of said Lot 24, Block U, and lying in the East right-of-way line of Stone Creek Drive (100 foot right-of-way);

Thence North 00 degrees 50 minutes 35 seconds West, along said East right-of-way line of Stone Creek Drive, a distance of 232.83 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" at the intersection of said East line of Stone Creek Drive and said South right-of-way line of aforesaid F.M. 552;

Thence North 89 degrees 09 minutes 25 seconds East, along said South right-of-way line of F.M. 552, a distance of 380.81 feet to the POINT OF BEGINNING and containing 99,668 square feet or 2.29 acres of land.

OWNER'S DEDICATION:

STATE OF TEXAS
COUNTY OF ROCKWALL

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Metroplex Acquisition Fund, LP, a Texas limited partnership, does hereby adopt this plat, designating the herein described property as **MONTESSORI SCHOOL ADDITION**, an addition to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate, in fee simple, to the public use forever any streets, parks, alleys, and easements shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress or egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress or egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Rockwall, Texas.

WITNESS MY HAND THIS _____ DAY OF _____, 2016.

(owner)

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2016.

Notary Signature

SURVEYOR'S CERTIFICATE:

I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**RELEASED FOR REVIEW
PURPOSES ONLY 11/02/2016**

Gary E. Johnson, R.P.L.S. No. 5299

Approved:

This approval shall be invalid unless the approved Final Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas within ninety (90) days from said date of finale approval.

WITNESS MY HAND THIS _____ DAY OF _____, 2016.

City Secretary
City of Rockwall, Texas

Recommended for Final Approval:

City Administrator _____ Date _____
City of Rockwall, Texas

Approved:

Mayor _____ Date _____
City of Rockwall, Texas

GENERAL NOTES:

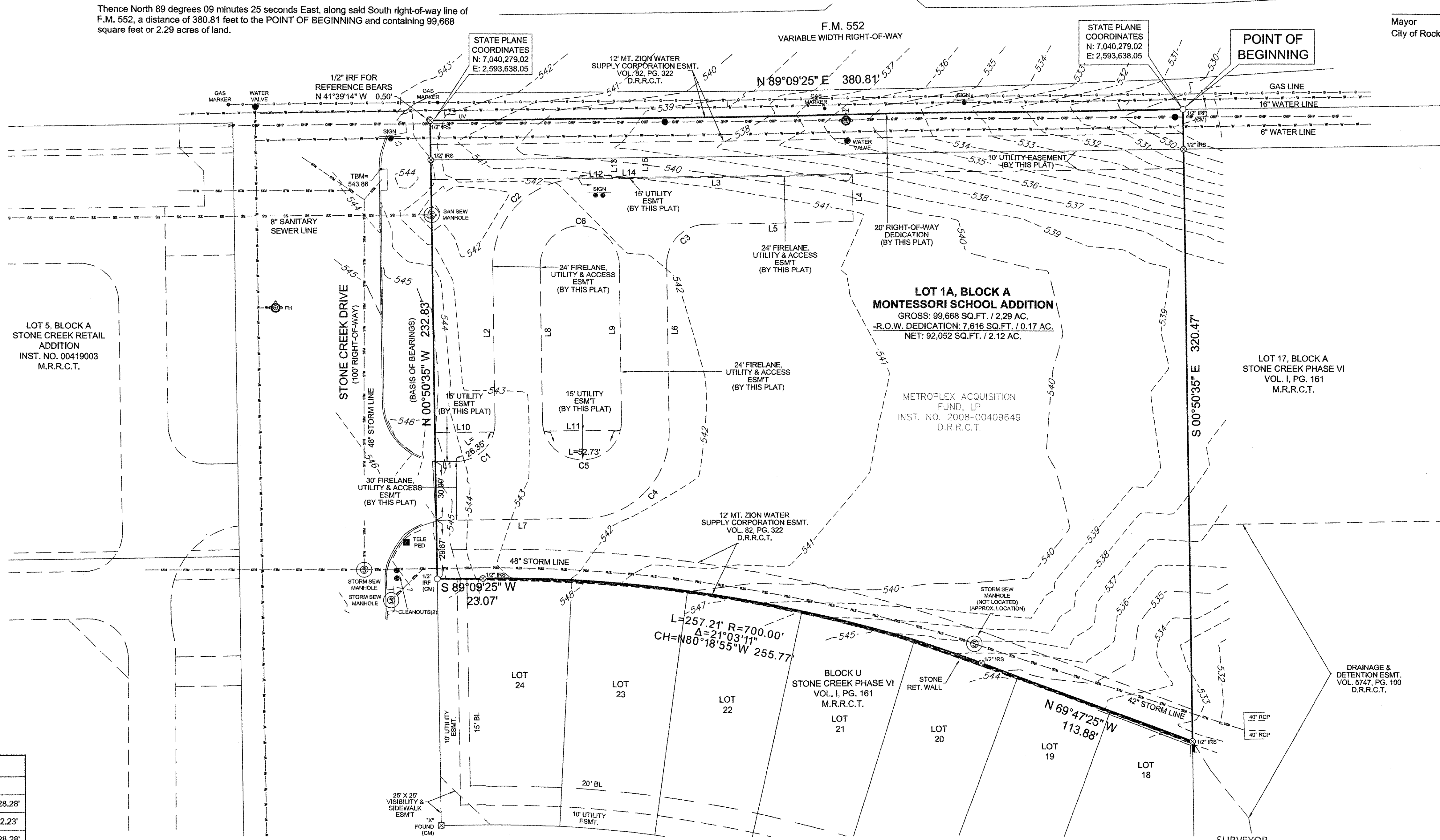
- 1) Bearings and elevations are based on NAD83, North American Datum of 1983.
- 2) The purpose of this plat is to create 1 lot.
- 3) This property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 48397C0030L, which bears an effective date of September 26, 2008 and IS NOT in a Special Flood Hazard Area.
- 4) Rockwall Benchmark No. R008
Northing: 7040336.967; Easting: 2592422.576; Elevation: 542.176
Located at the Northwest corner of the intersection of Gollad Street and Dalton Road.

LEGEND:

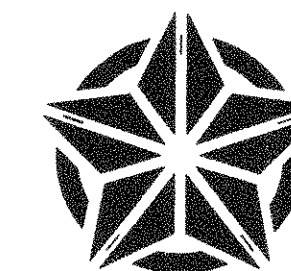
- CM CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IRS IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"
- VOL., PG. VOLUME, PAGE
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
- INST. NO. INSTRUMENT NUMBER

LINE #	LENGTH	DIRECTION
L1	10.50'	N89°09'25"E
L2	78.66'	N0°50'35"W
L3	138.48'	N89°09'25"E
L4	24.00'	S0°50'35"E
L5	74.48'	S89°09'25"W
L6	84.66'	S0°50'35"E
L7	74.50'	S89°09'25"W
L8	78.66'	N0°50'35"W
L9	78.66'	S0°50'35"E
L10	29.80'	N89°08'51"E
L11	38.73'	S89°08'51"W
L12	17.50'	N89°09'25"E
L13	0.50'	N0°50'35"W
L14	15.00'	N89°09'25"E
L15	0.50'	S0°50'35"E

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	31.42'	20.00'	90°00'00"	S44° 09' 25"W 28.28'
C2	69.12'	44.00'	90°00'00"	N44° 09' 25"E 62.23'
C3	31.42'	20.00'	90°00'00"	S44° 09' 25"W 28.28'
C4	69.12'	44.00'	90°00'00"	S44° 09' 25"W 62.23'
C5	62.83'	20.00'	180°00'00"	S89° 09' 25"W 40.00'
C6	62.83'	20.00'	180°00'02"	N89° 09' 26"E 40.00'



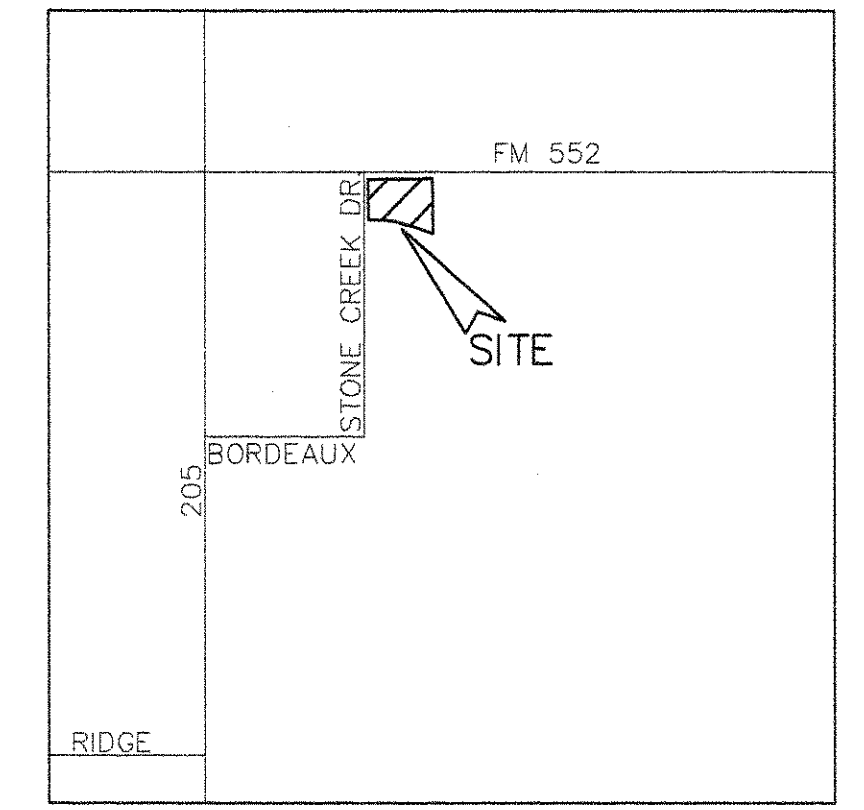
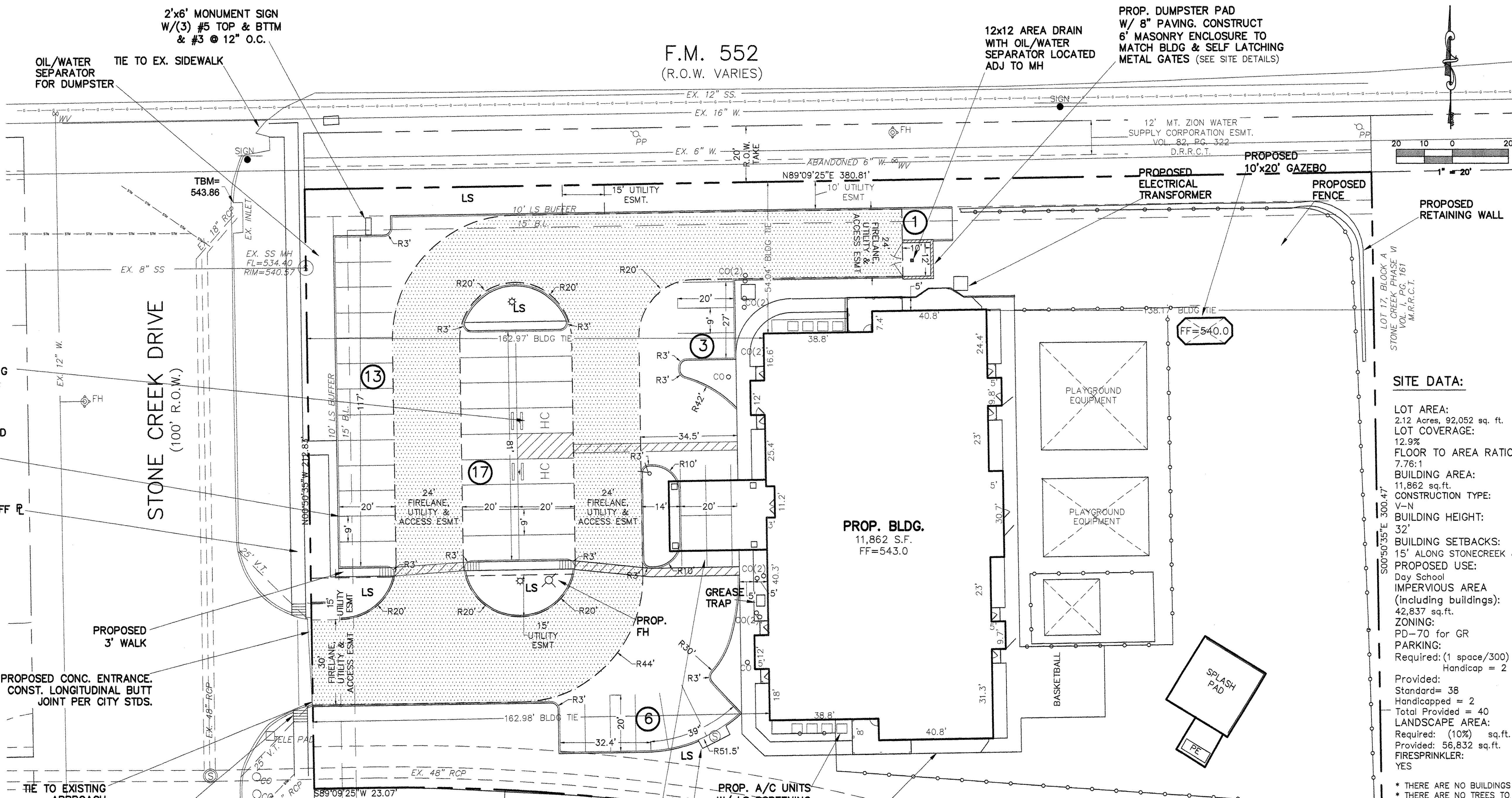
OWNER
METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD COURT, SUITE 207
THE WOODLANDS, TEXAS 77380



**TEXAS HERITAGE
SURVEYING, LLC**
10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com

PRELIMINARY PLAT
MONTESSORI SCHOOL ADDITION
LOT 1A, BLOCK 1
99,668 SQUARE FEET / 2.29 ACRES
W.T. DEWEESE SURVEY, ABSTRACT NO. 71
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

DATE: 10/31/2016 / JOB # 1603204-1 / SCALE= 1" = 30' / DRAWN: CN



LEGEND

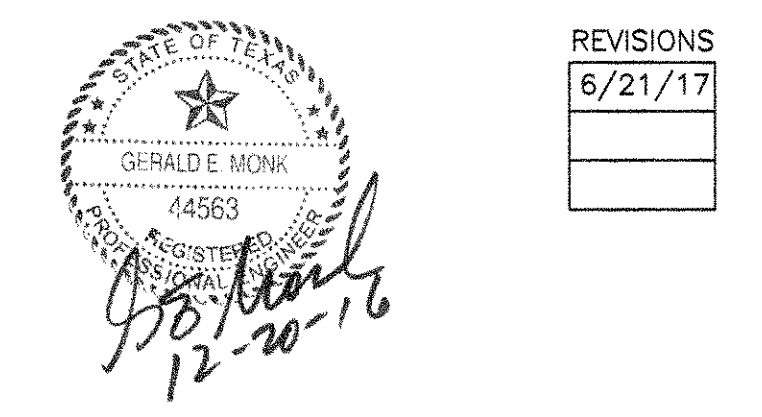
- = PROPERTY LINE
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- (S) = EX. SS MANHOLE
- ∞/WV = EX. WATER VALVE
- PP = EX. POWER POLE
- ☐ = EX. TELEPHONE BOX
- (S) = EX. STORM MANHOLE
- FH = EX. FIRE HYDRANT
- (FH) = PROPOSED FIRE HYDRANT
- [] = PROPOSED FIRELANE

SITE DATA:

LOT AREA:
2.12 Acres, 92,052 sq. ft.
LOT COVERAGE:
12.9%
FLOOR TO AREA RATIO:
7.76:1
BUILDING AREA:
11,862 sq. ft.
CONSTRUCTION TYPE:
V-N
BUILDING HEIGHT:
32'
BUILDING SETBACKS:
15' ALONG STONECREEK & FM 552
PROPOSED USE:
Day School
IMPERVIOUS AREA
(including buildings):
42,837 sq. ft.
ZONING:
PD-70 for GR
PARKING:
Required: (1 space/300) = 40
Handicap = 2
Provided:
Standard = 38
Handicapped = 2
Total Provided = 40
LANDSCAPE AREA:
Required: (10%) sq. ft.
Provided: 56,832 sq. ft.
FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE
* THERE ARE NO TREES TO BE REMOVED

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #: SP2016-021

SITE PLAN
WOODBIDGE MONTESSORI ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
Lot 1A, BLK 1, 2.12 Acres
MONTESSORI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087
Prepared by:
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12 REG NO.: F-2567
date: 12/20/16 scale: 1" = 20' sheet: C101

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) NO SAND UNDER SIDEWALKS.

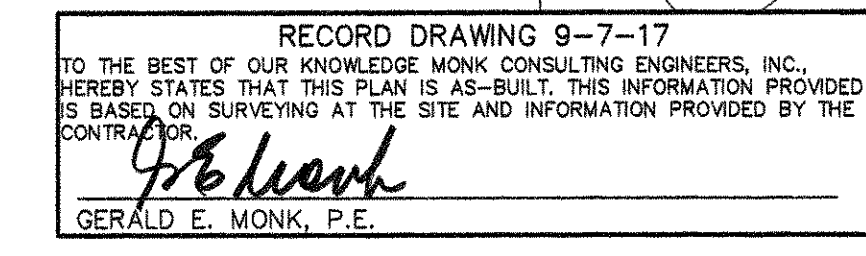
- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

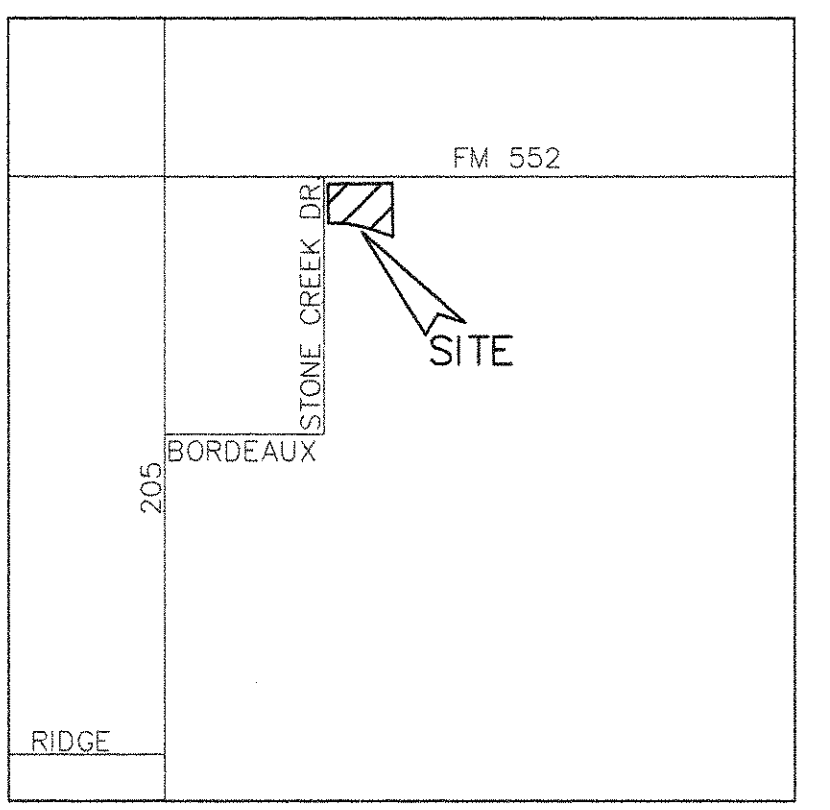
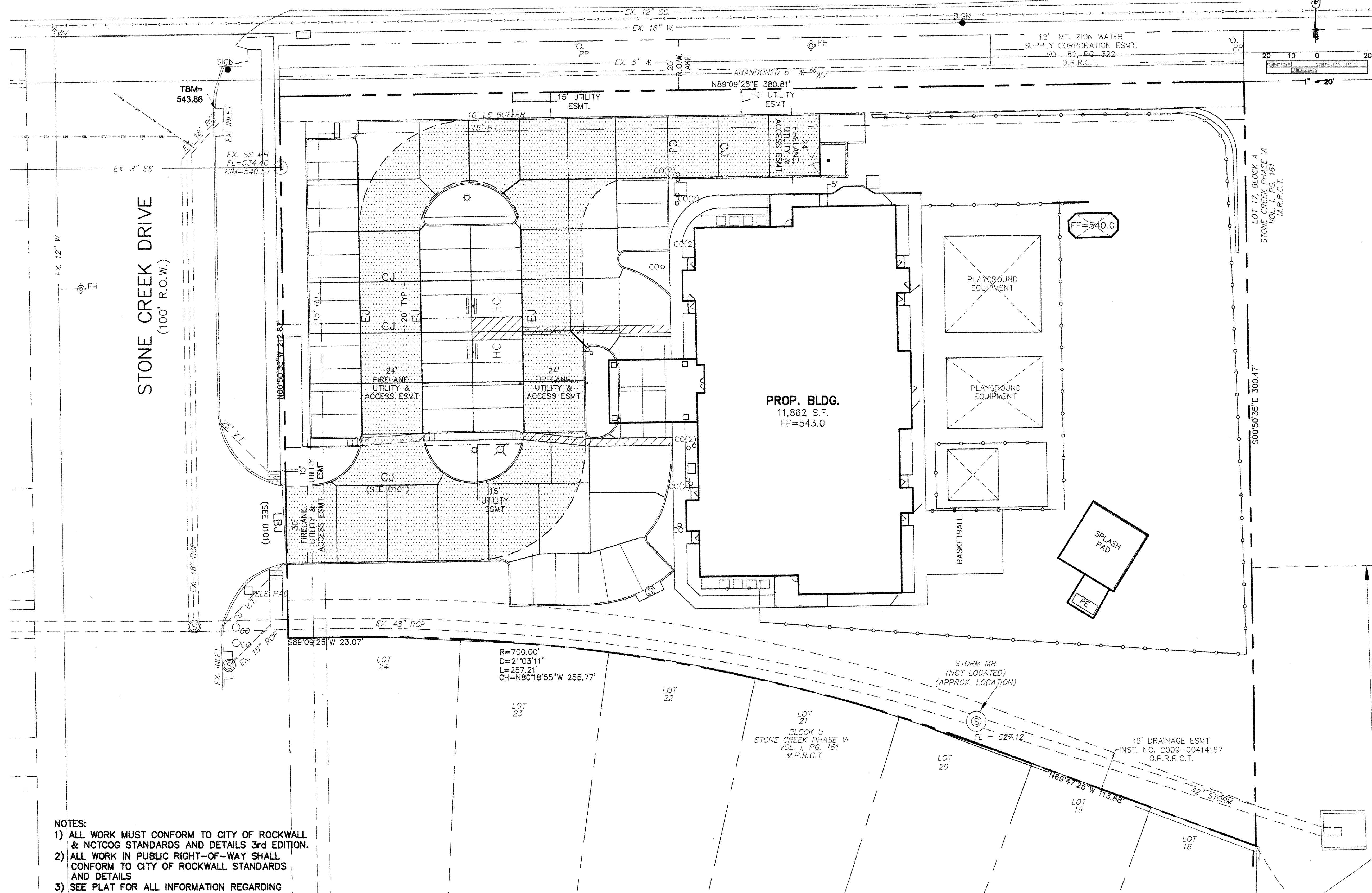
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.



BENCH MARK
CITY OF ROCKWALL BENCHMARK NO. 0008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552.
NORTHING: 7040337.0024; EASTING: 2592422.3808;
Elevation: 542.18

F.M. 552
(R.O.W. VARIES)



LEGEND

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- ⊙ = EX. STORM MANHOLE
- FH = EX. FIRE HYDRANT
- ⊙ = PROPOSED FIRE HYDRANT
- [---] = PROPOSED FIRELANE

RECORD DRAWING 9-7-17
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

CASE #: SP2016-021

PAVING PLAN
WOODBRIE MONTESORRI ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
Lot 1A, BLK 1, 2.12 Acres
MONTESSORRI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087

VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12 REG NO.: F-2567
date: 12/20/16 scale: 1" = 20' sheet: C101A

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) NO SAND UNDER SIDEWALKS.

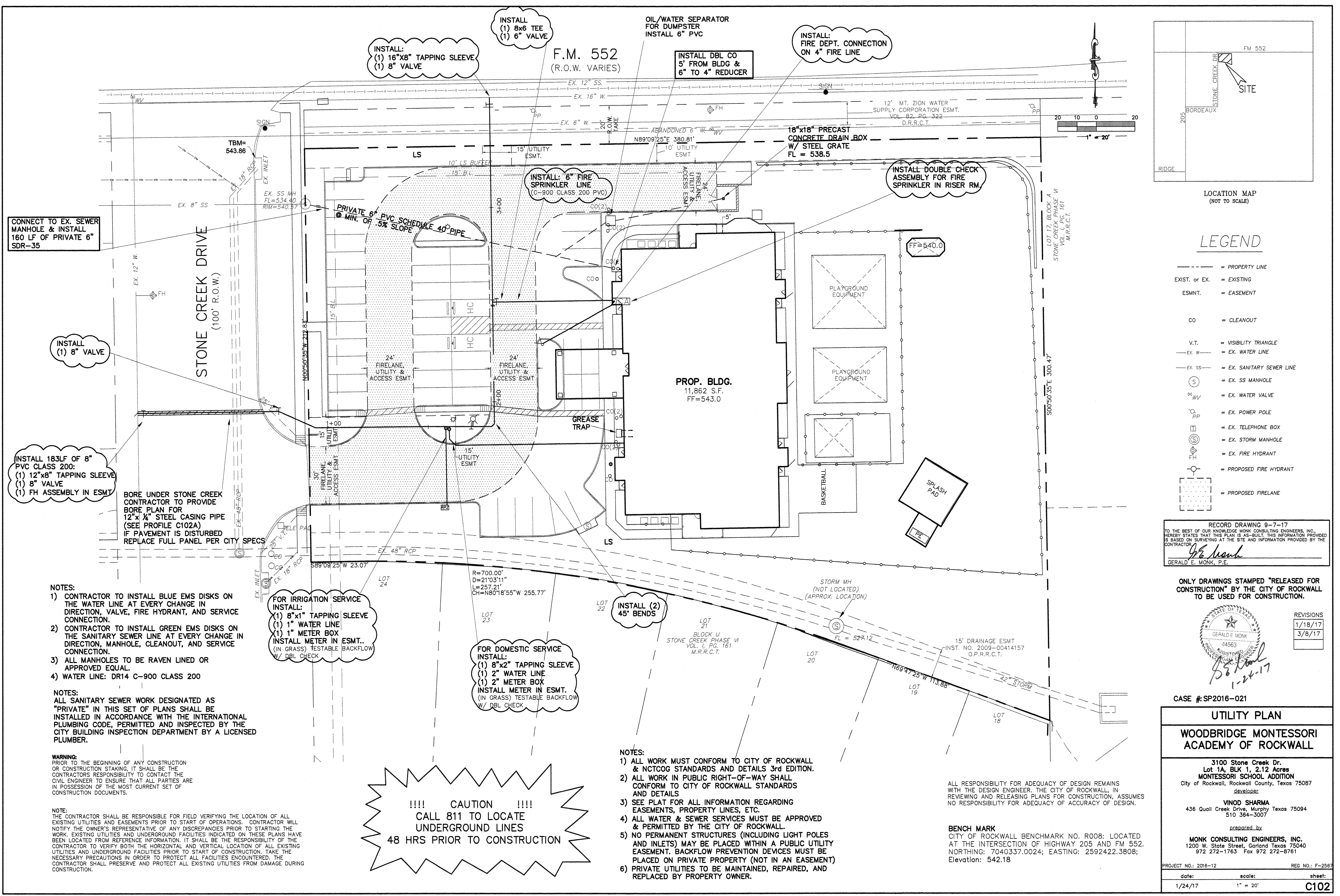
- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

BENCH MARK
CITY OF ROCKWALL BENCHMARK NO. R008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552.
NORTHING: 7040337.0024; EASTING: 2592422.3808; Elevation: 542.18



CONNECT TO EX. SEWER MANHOLE & INSTALL 160 LF OF PRIVATE 6" SDR-35

INSTALL (1) 8" VALVE

INSTALL 183LF OF 8" PVC CLASS 200:
 (1) 12"x8" TAPPING SLEEVE
 (1) 8" VALVE
 (1) FH ASSEMBLY IN ESMT

BORE UNDER STONE CREEK CONTRACTOR TO PROVIDE BORE PLAN FOR 12"x 1/4" STEEL CASING PIPE (SEE PROFILE C102A) IF PAVEMENT IS DISTURBED REPLACE FULL PANEL PER CITY SPECS

FOR IRRIGATION SERVICE
 INSTALL:
 (1) 8"x1" TAPPING SLEEVE
 (1) 1" WATER LINE
 (1) 1" METER BOX
 INSTALL METER IN ESMT.
 (IN GRASS) TESTABLE BACKFLOW W/ DBL CHECK

FOR DOMESTIC SERVICE
 INSTALL:
 (1) 8"x2" TAPPING SLEEVE
 (1) 2" WATER LINE
 (1) 2" METER BOX
 INSTALL METER IN ESMT.
 (IN GRASS) TESTABLE BACKFLOW W/ DBL CHECK

!!!! CAUTION !!!!
 CALL 811 TO LOCATE UNDERGROUND LINES
 48 HRS PRIOR TO CONSTRUCTION

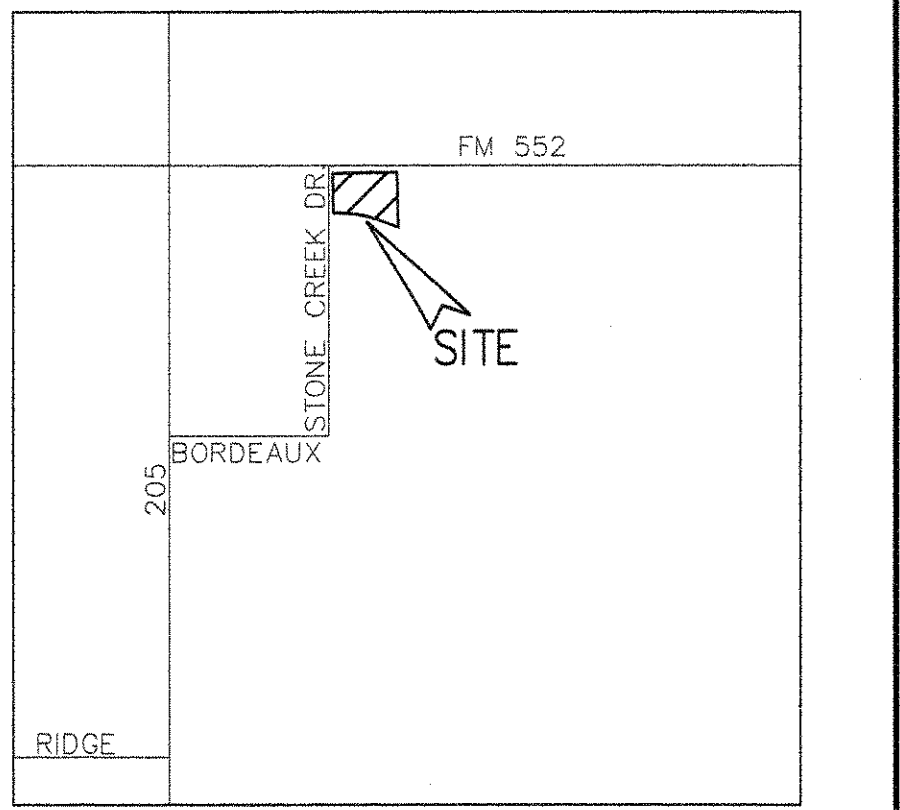
- NOTES:
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 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL WATER & SEWER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
 - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
 - 6) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.

- NOTES:
- 1) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION.
 - 2) CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE SANITARY SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
 - 3) ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
 - 4) WATER LINE: DR14 C-900 CLASS 200

NOTES:
 ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT BY A LICENSED PLUMBER.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



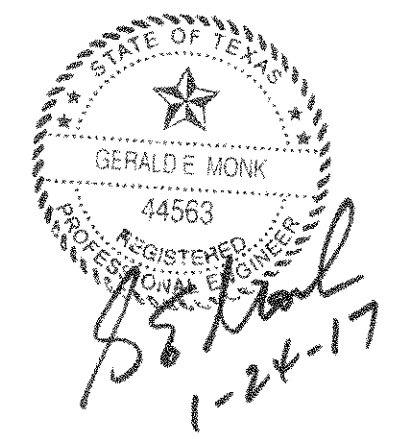
LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- CO = CLEANOUT
- V.T. = VISIBILITY TRIANGLE
- EX. W. = EX. WATER LINE
- EX. SS. = EX. SANITARY SEWER LINE
- S = EX. SS MANHOLE
- WV = EX. WATER VALVE
- PP = EX. POWER POLE
- TB = EX. TELEPHONE BOX
- SM = EX. STORM MANHOLE
- FH = EX. FIRE HYDRANT
- FH = PROPOSED FIRE HYDRANT
- FL = PROPOSED FIRELANE

RECORD DRAWING 9-7-17
 TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
 GERALD E. MONK, P.E.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS
1/18/17
3/8/17

CASE # SP2016-021

UTILITY PLAN
 WOODBRIDGE MONTESSORI ACADEMY OF ROCKWALL

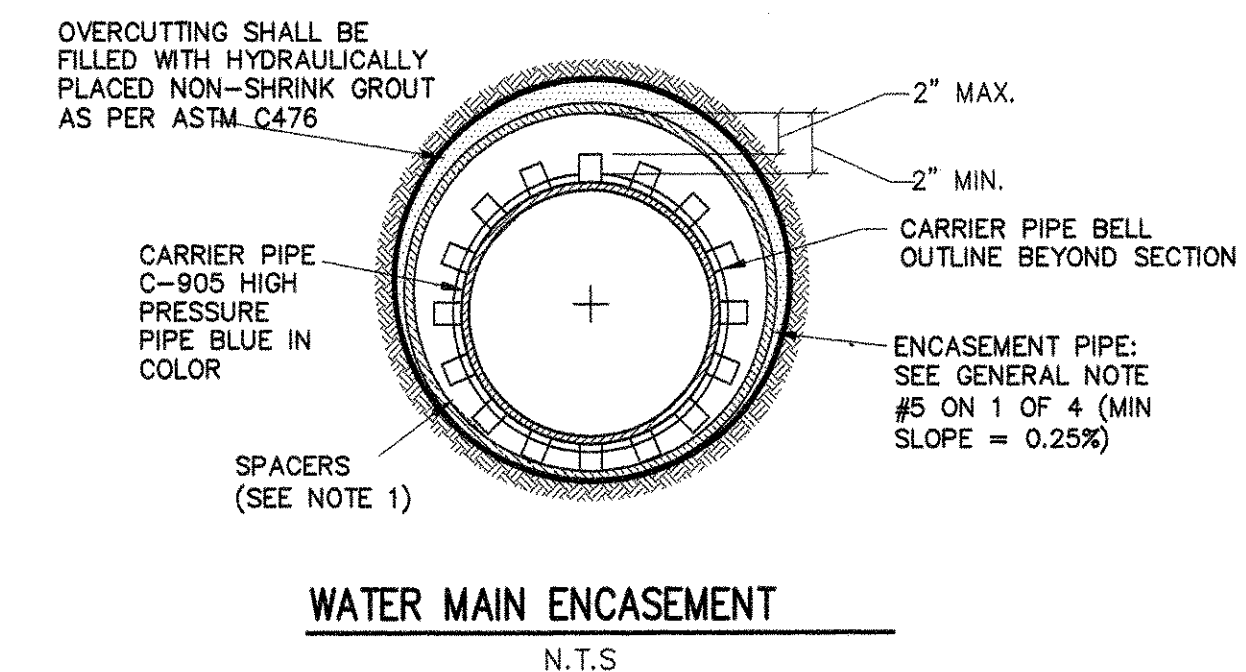
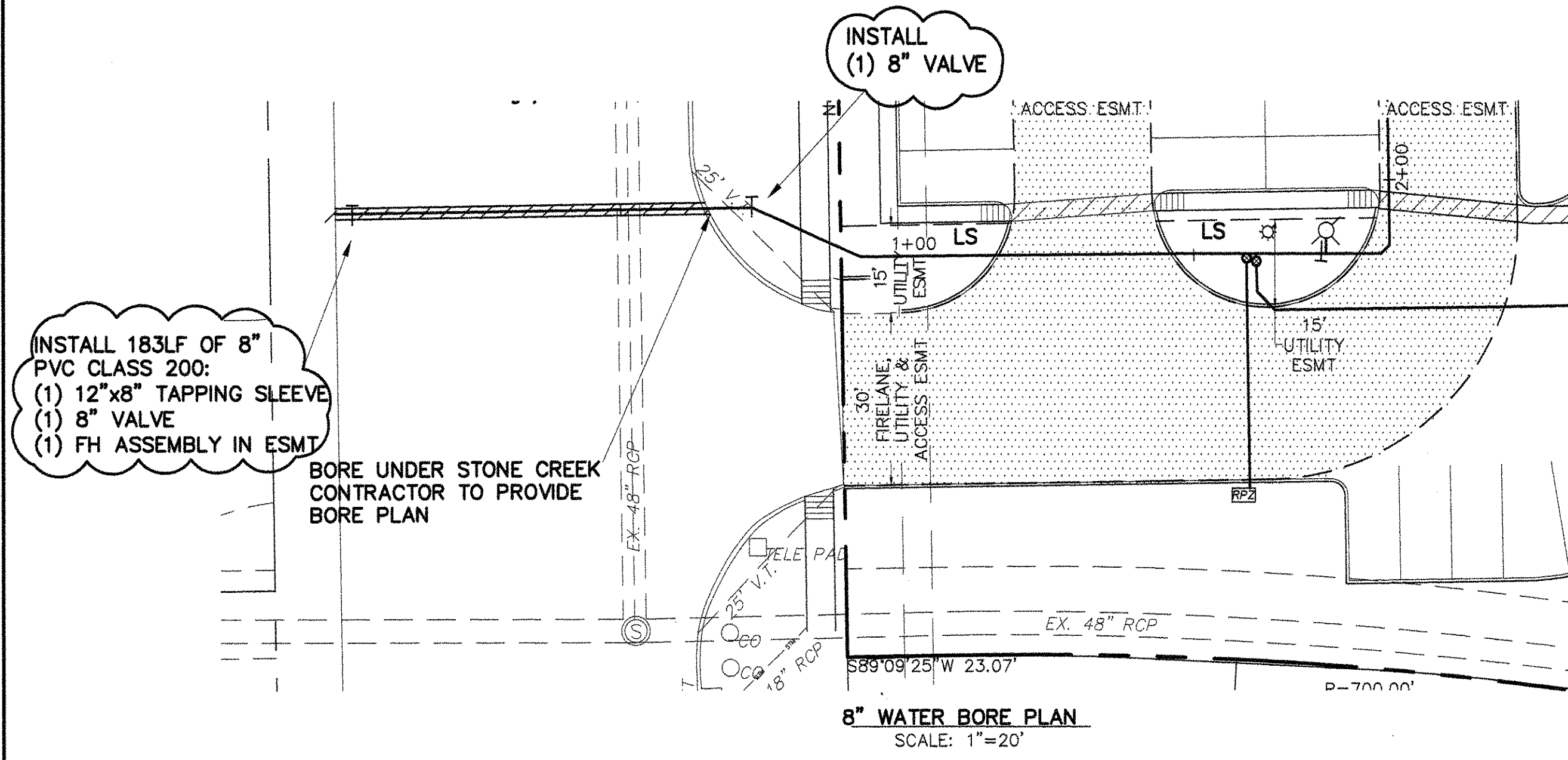
3100 Stone Creek Dr.
 Lot 1A, Blk 1, 2.12 Acres
 MONTESSORI SCHOOL ADDITION
 City of Rockwall, Rockwall County, Texas 75087
 sseval@pcr.com
 VINOD SHARMA
 436 Quail Creek Drive, Murphy Texas 75094
 510 364-3007

prepared by
 MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12 REG NO.: F-2567
 date: 1/24/17 scale: 1" = 20' sheet: C102

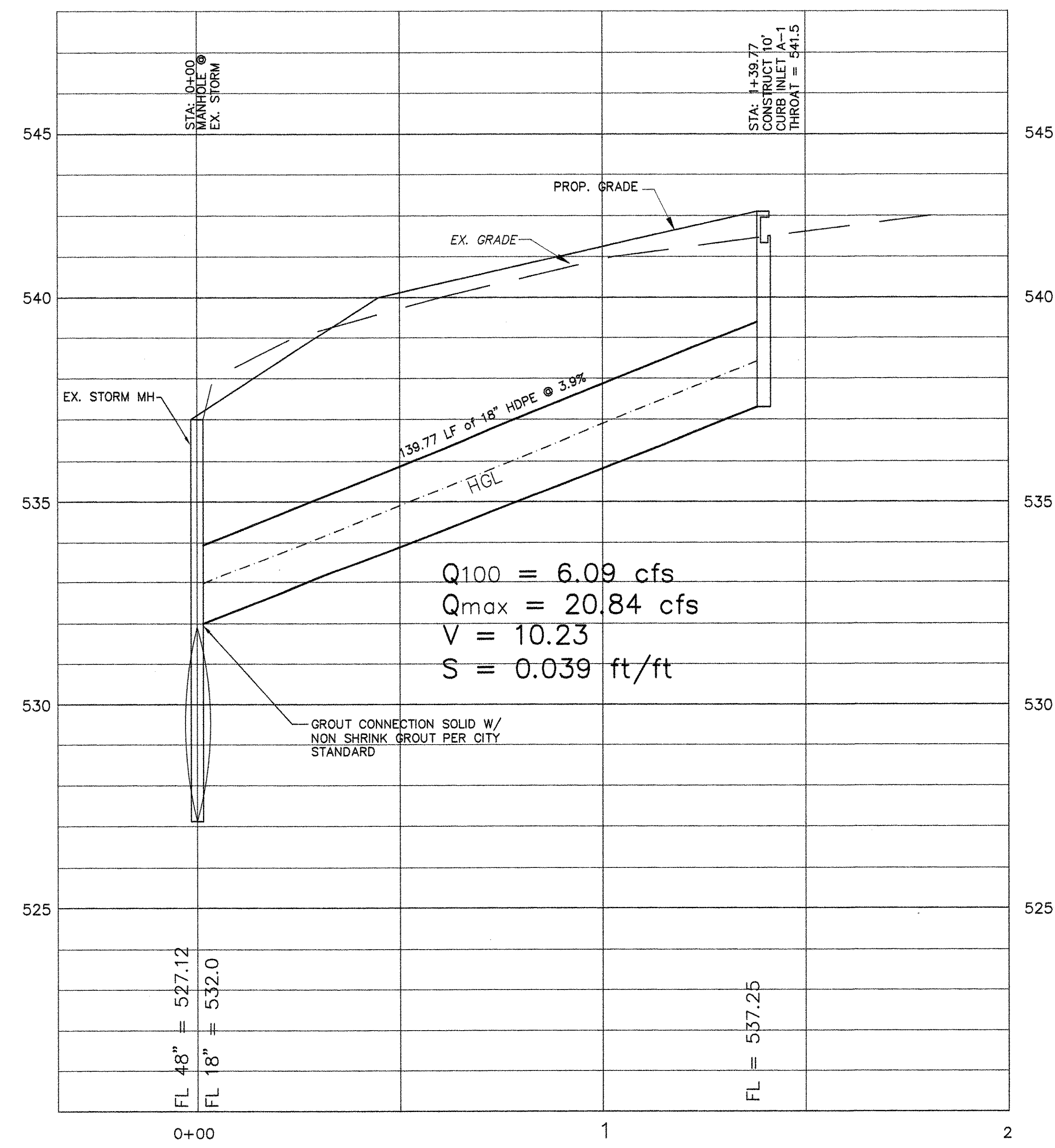
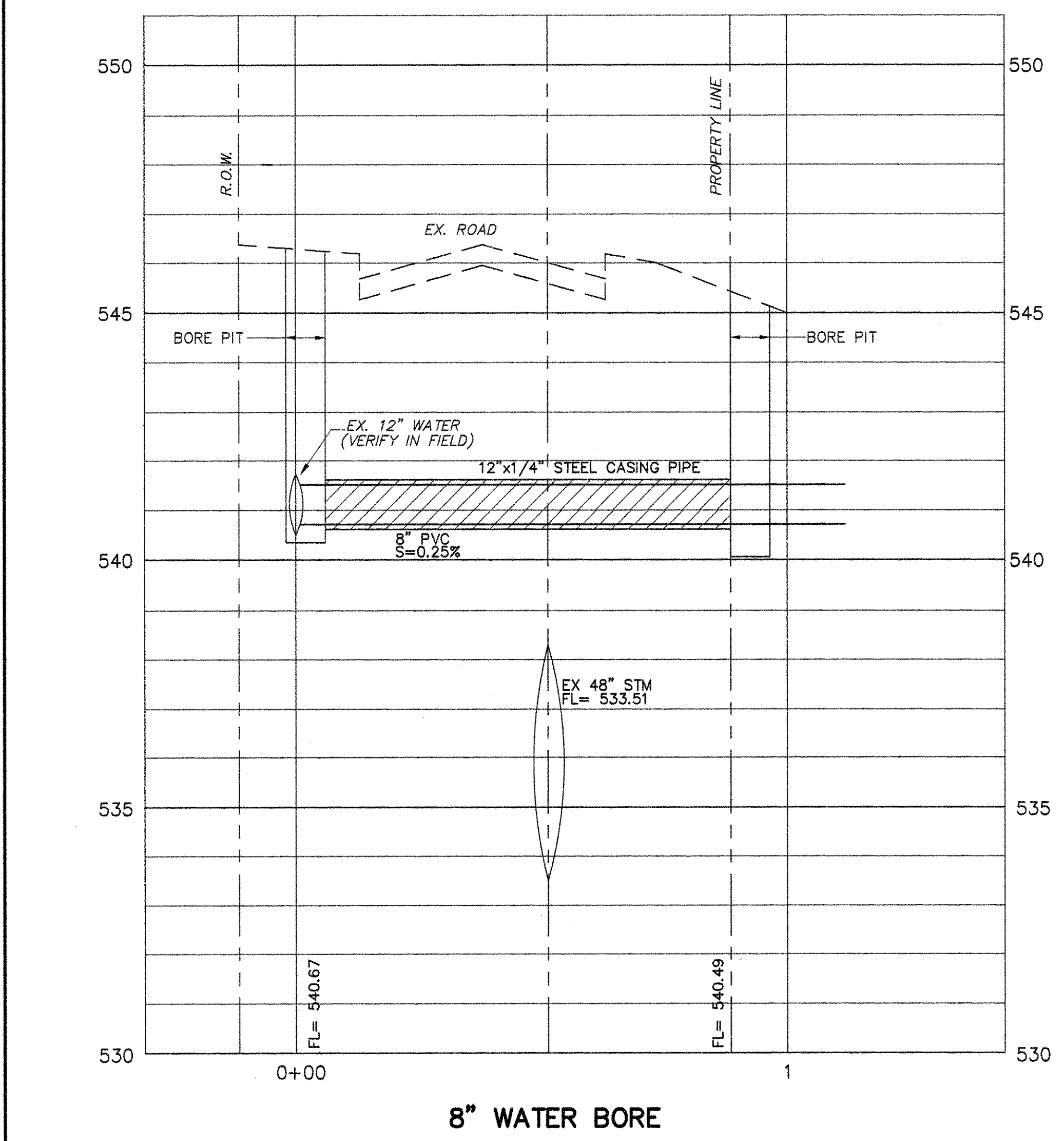
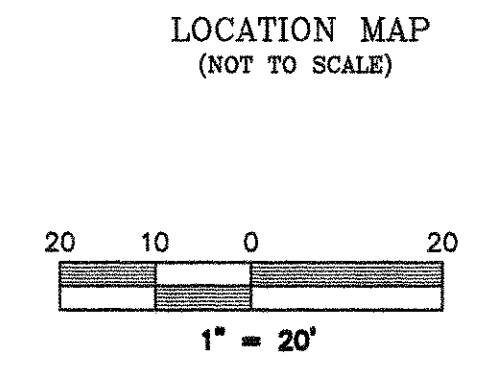
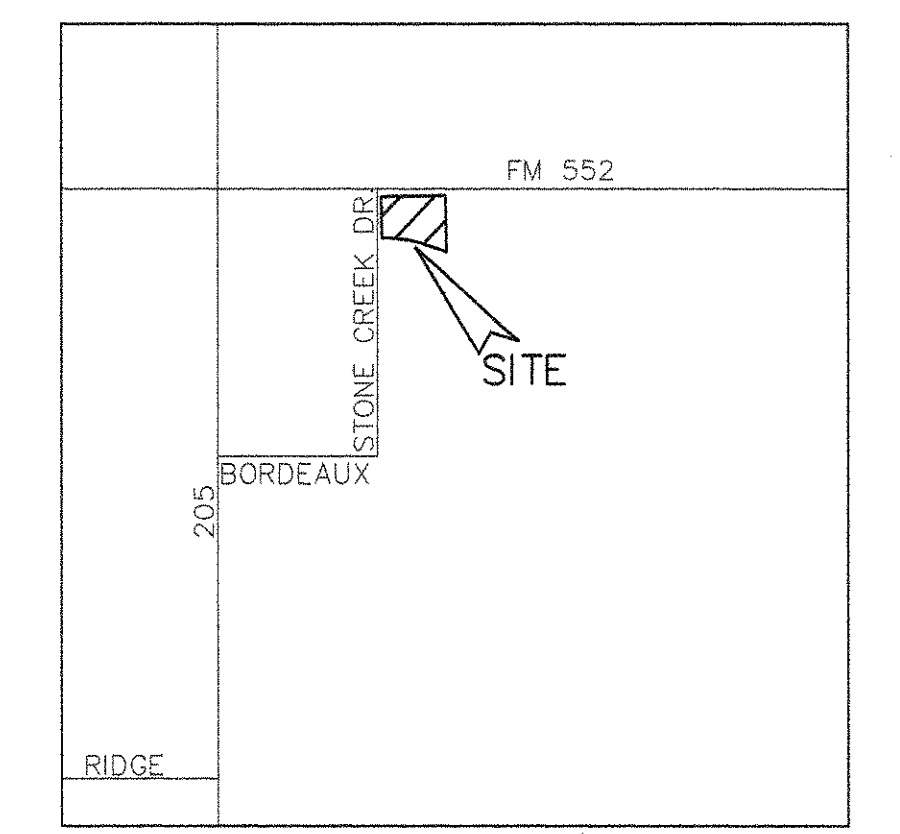
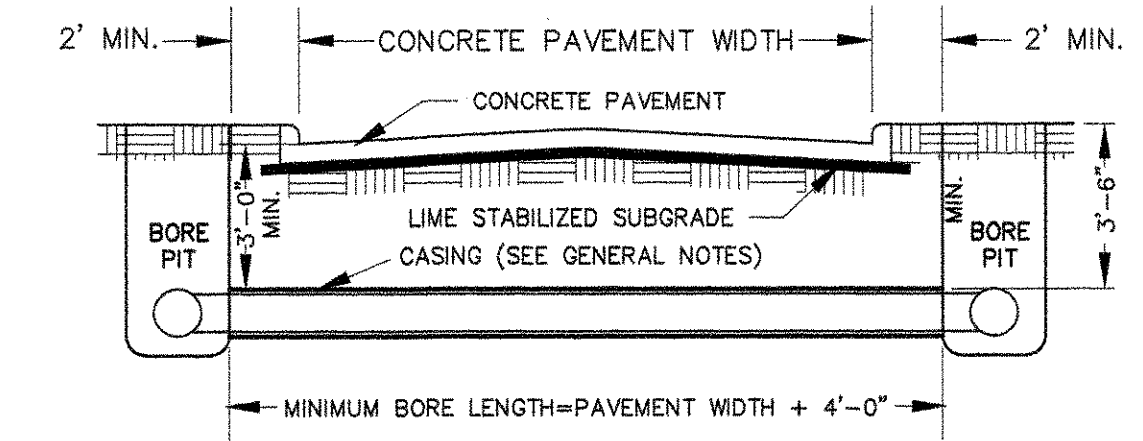
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

BENCH MARK
 CITY OF ROCKWALL BENCHMARK NO. R008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552. NORTHING: 7040337.0024; EASTING: 2592422.3808; Elevation: 542.18

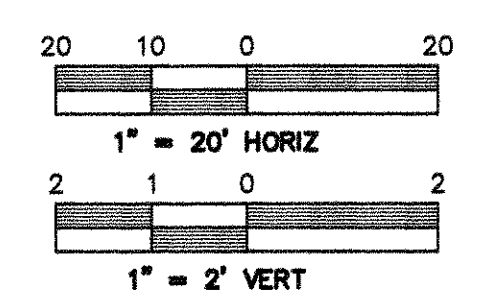


- NOTES:
- (1) HIGH DENSITY POLYETHYLENE SPACERS, R401 OR EQUAL, SHALL BE USED, WHERE NO CASING PIPE IS REQUIRED OVERCUTTING AROUND UTILITY SHALL BE FILLED WITH HYDRAULICALLY PLACED NON-SHRINK GROUT AS PER ASTM C476.
 - (2) END GROUTING FOR ALL ENCASEMENTS SHALL BE AS PER ASTM STANDARD C476 (1:7 GROUT WITH 5% TO 40% AIR ENTRAINMENT). GROUT SHALL BE PLACED BY HYDRAULIC PUMP FROM THE LOWER END OF THE ENCASEMENT PIPE, THEREBY INSURING COMPLETE FILLING OF ENCASEMENT PIPE.

- GENERAL NOTES:
1. THE USE OF A CASING PIPE WILL BE BASED UPON THE SPECIFIC PROJECT AND SOIL CONDITIONS. THE APPROVED PLANS WILL SHOW THE CASING PIPE WHERE REQUIRED AND THE REQUIRED MATERIALS AS SHOWN IN THE CITY STANDARD DETAILS. IN ALL CASES THE INSTALLATION SHALL CONFORM WITH THE GOVERNING AUTHORITY'S STANDARDS.
 2. WHERE A BORE PIT EXCEEDS (5) FIVE FEET IN DEPTH THE CONTRACTOR SHALL INSTALL SHORING OF THE PIT WALLS AS REQUIRED BY TEXAS STATE LAW (HB 662 AND HB 665) REGARDING THE SAFETY SYSTEMS TO BE USED DURING TRENCH EXCAVATION (AS STATED IN THE OCCUPATION SAFETY AND HEALTH ADMINISTRATION STANDARDS).
 3. ALL BORE PITS SHALL BE BACKFILLED WITHIN FORTY EIGHT (48) HOURS OF UTILITY INSTALLATION. NO BORE PIT SHALL REMAIN OPEN IN EXCESS OF SEVENTY EIGHT (72) HOURS WITHOUT SHORING TO PREVENT CAVING OF PIT WALLS.
 4. WHERE A BORE IS TO BE PARTIALLY OR COMPLETELY ABANDONED, SAID BORE SHALL BE COMPLETELY FILLED WITH HYDRAULICALLY PLACED CEMENT GROUT.
 5. CORRUGATED METAL PIPE SHALL NOT BE ACCEPTED AS AN ENCASEMENT PIPE. ONLY DUCTILE IRON PIPE, REINFORCED CONCRETE PIPE, OR HIGH DENSITY STEEL PIPE DESIGNED TO SUIT THE EXISTING SOIL CONDITIONS SHALL BE USED.



!!!! CAUTION !!!!
 CALL 811 TO LOCATE UNDERGROUND LINES
 48 HRS PRIOR TO CONSTRUCTION



RECORD DRAWING 9-7-17
 TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
 GERALD E. MONK, P.E.

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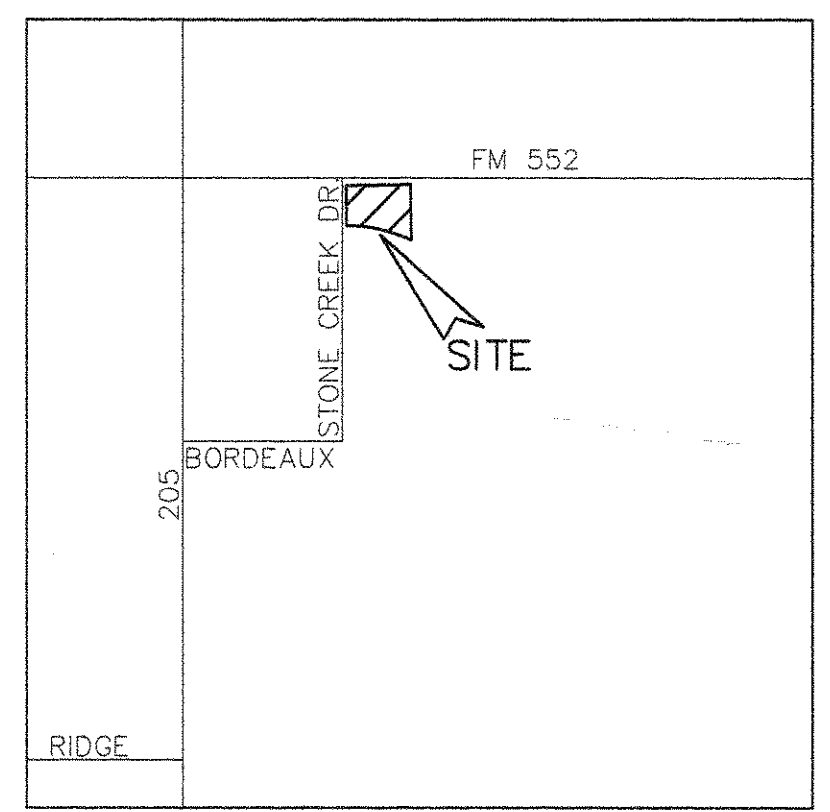
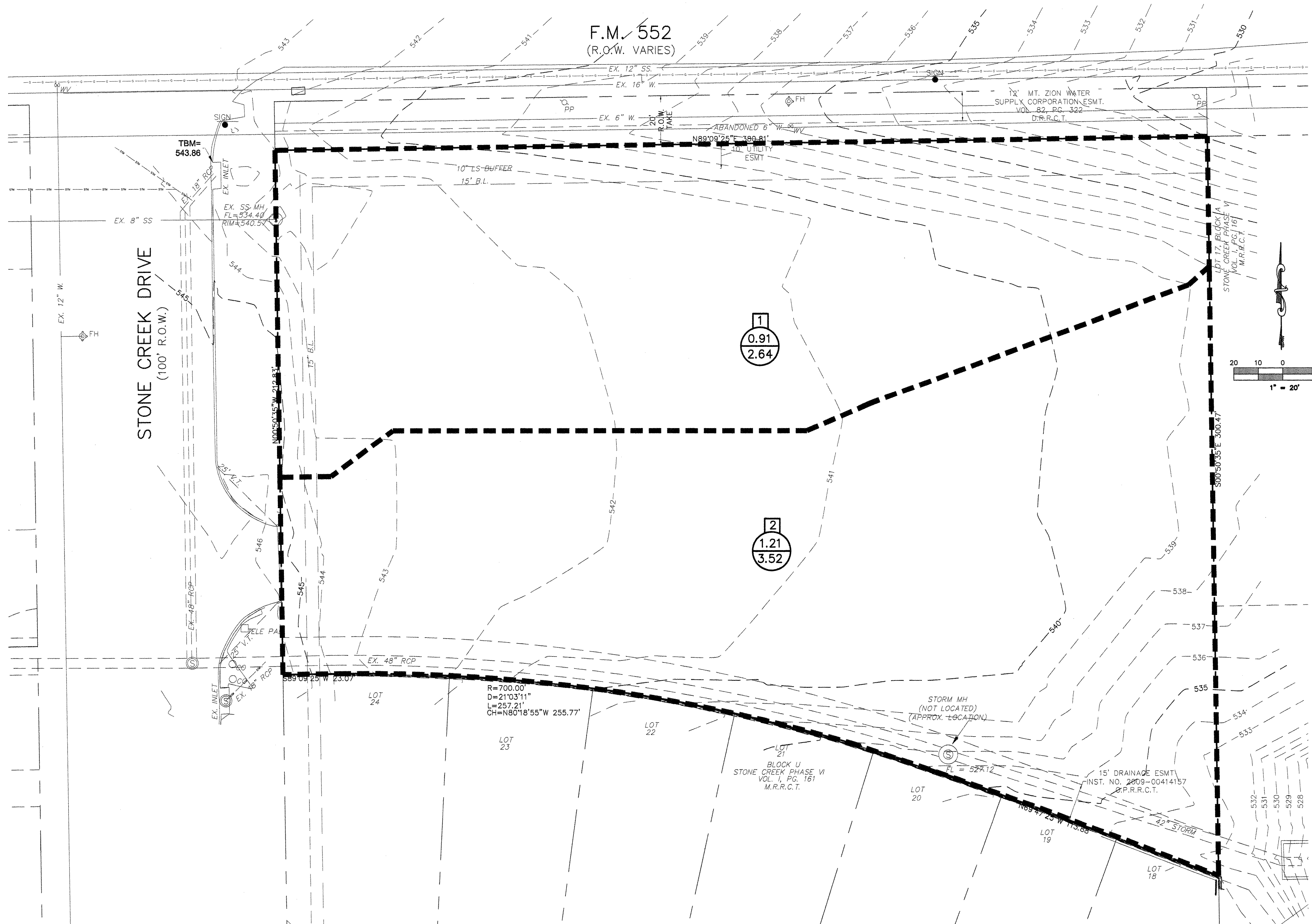


CASE # SP2016-021

PROFILE
WOODBRIAGE MONTESSORI ACADEMY OF ROCKWALL
 3100 Stone Creek Dr.
 Lot 1A, BLK 1, 2.12 Acres
 MONTESSORI SCHOOL ADDITION
 City of Rockwall, Rockwall County, Texas 75087
 developer
VINOD SHARMA
 436 Quail Creek Drive, Murphy Texas 75094
 510 364-3007
 prepared by
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

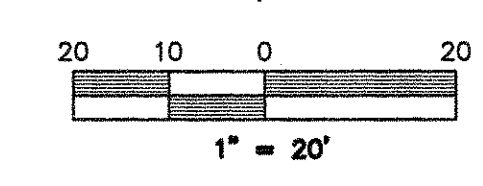
PROJECT NO.: 2016-12 REG NO.: F-2567
 date: 12/20/16 scale: 1" = 20' sheet: C102A



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- - - - = EXISTING CONTOURS
- 1
0.91
2.64 = AREA # (F= FUTURE)
ACRES
CFS



RECORD DRAWING 9-7-17
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
G.E. Monk
GERALD E. MONK, P.E.

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REVISIONS

CASE # SP2016-021

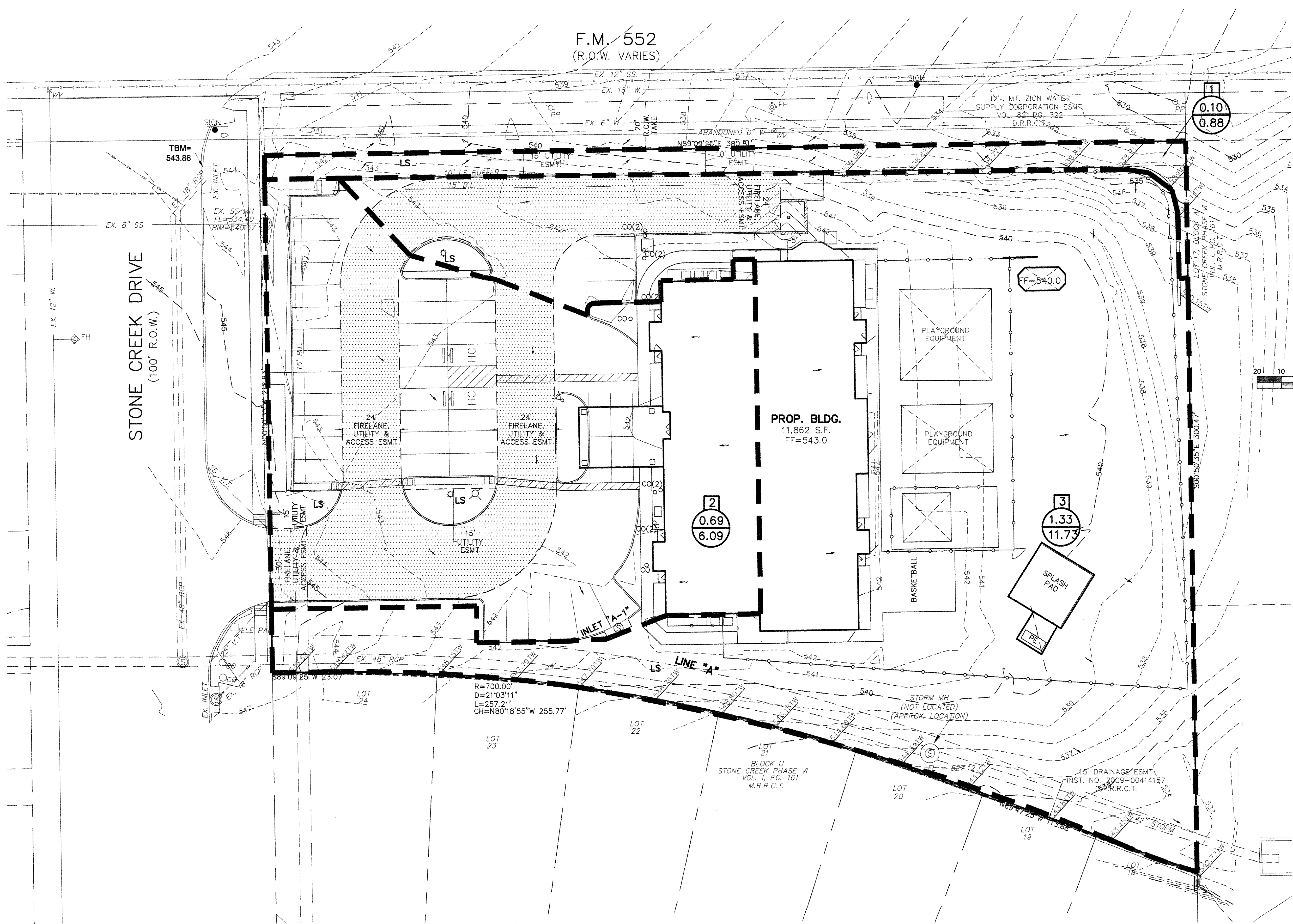
PRE DRAINAGE AREA MAP
WOODBRIDGE MONTESSORI
ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
Lot 1A, BLK 1, 2.12 Acres
MONTESSORI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087
Developer:
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007
Prepared by
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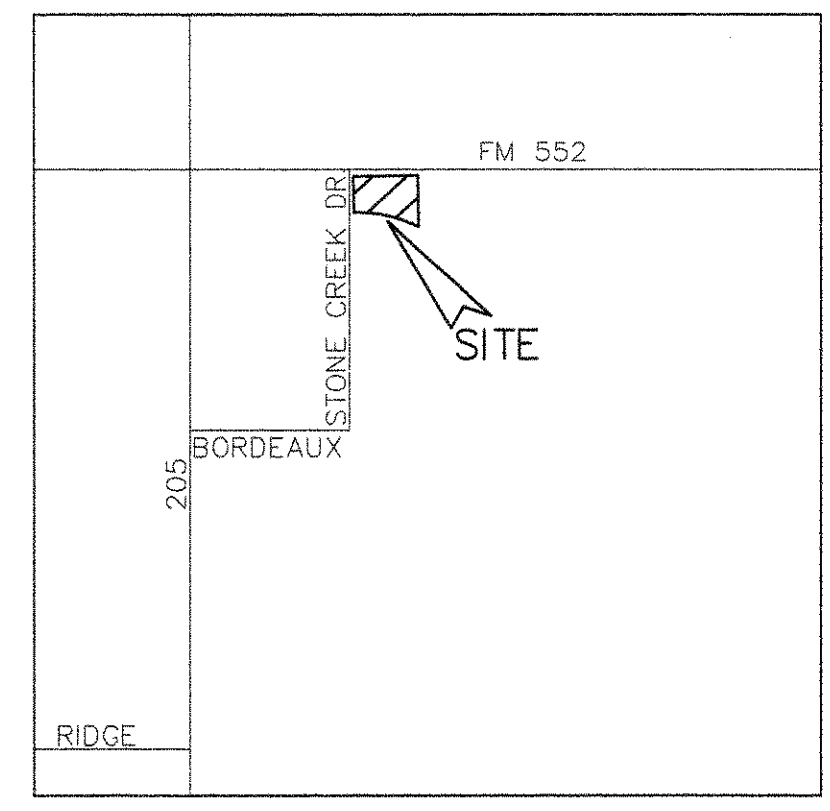
BENCH MARK
CITY OF ROCKWALL BENCHMARK NO. R008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552. NORTHING: 7040337.0024; EASTING: 2592422.3808; Elevation: 542.18

PRE-DEVELOPMENT RUNOFF DESIGN CALCULATIONS								
Area No.	Design Storm Frequency (yrs)	AREA RUNOFF					Q (c.f.s.)	Remarks
		Time of Conc. (min)	Intensity in./hr	Runoff Coeff. "C"	Area Ac.			
1	2	4	5	6	7	8	9	
1	100	20	8.3	0.35	0.91	2.64		
2	100	20	8.3	0.35	1.21	3.52		
TOTAL					2.12	6.16		



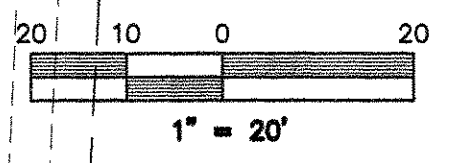
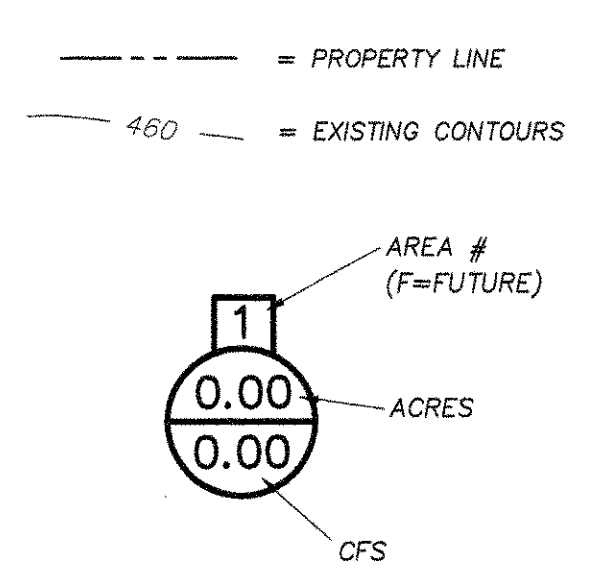
F.M. 552
(R.O.W. VARIES)

STONE CREEK DRIVE
(100' R.O.W.)



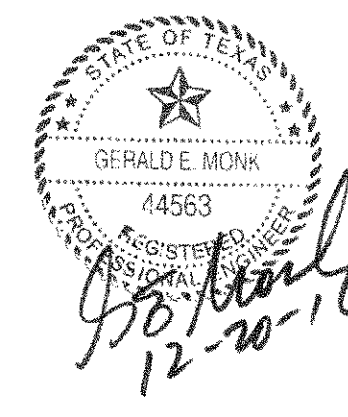
LOCATION MAP
(NOT TO SCALE)

LEGEND



RECORD DRAWING 9-7-17
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Gerald E. Monk
GERALD E. MONK, P.E.

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REVISIONS

CASE #: SP2016-021

POST DRAINAGE AREA MAP
WOODBRIDGE MONTESSORI
ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
Lot 1A, BLK 1, 2.12 Acres
MONTESSORI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087
developer:
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007
prepared by:
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

DEVELOPMENT RUNOFF DESIGN CALCULATIONS

Area No.	Design Storm Frequency (yrs)	AREA RUNOFF				Area Ac.	Q (c.f.s.)	Remarks
		Time of Conc. (min)	Intensity in./hr	Runoff Coeff. "C"	Area Ac.			
1	2	3	4	5	6	7	8	9
1	100	10	9.8	0.9	0.10	0.88		Drains to R.O.W.
2	100	10	9.8	0.9	0.69	6.09		Drains to Line A
3	100	10	9.8	0.9	1.33	11.73		Drains to Pond
TOTAL						2.12	18.70	

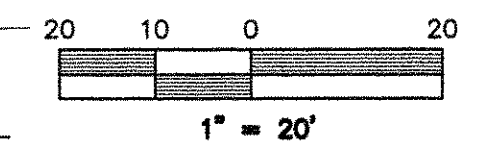
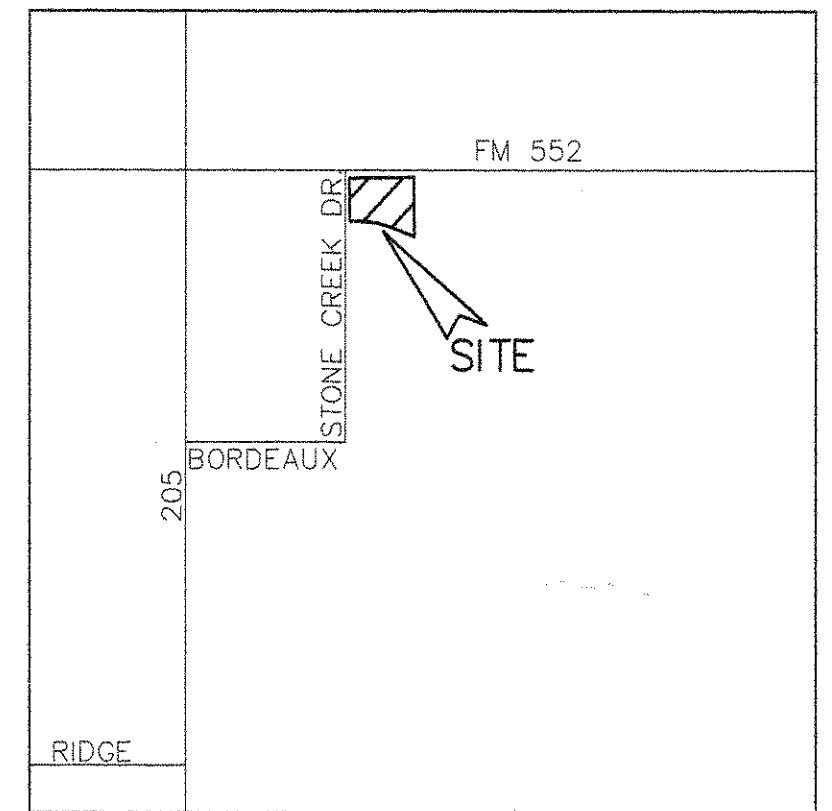
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BENCH MARK
CITY OF ROCKWALL BENCHMARK NO. 0008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552. NORTHING: 7040337.0024; EASTING: 2592422.3808; Elevation: 542.18

F.M. 552
(R.O.W. VARIES)

18"x18" PRECAST
CONCRETE DRAIN BOX
W/ STEEL GRATE FL=538.5
SLOPE 0.53% TO OIL/WATER
SEPARATOR

PROPOSED
RETAINING WALL



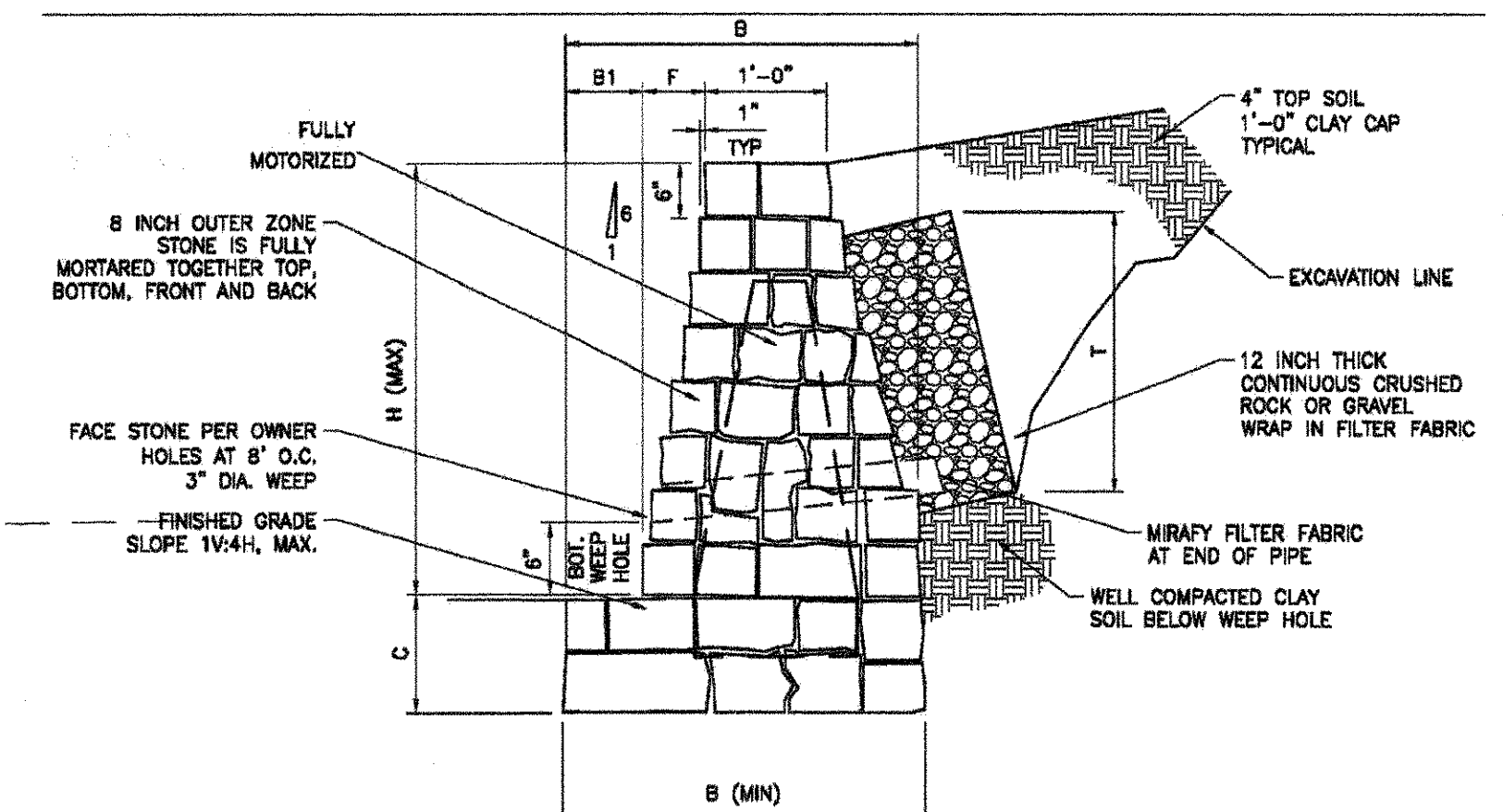
LEGEND

- 560 --- = PROPERTY LINE
- 560 --- = EXISTING CONTOURS
- - - 560 - - - = PROPOSED CONTOURS
- x 563.00 TC or x 562.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- V.T. = VISIBILITY TRIANGLE
- EX. W --- = EX. WATER LINE
- EX. SS --- = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- (W) = EX. WATER VALVE
- (PP) = EX. POWER POLE
- (TB) = EX. TELEPHONE BOX
- (SM) = EX. STORM MANHOLE
- (FH) = EX. FIRE HYDRANT
- (F) = PROPOSED FIRE HYDRANT
- (---) = PROPOSED FIRELANE

STONE CREEK DRIVE
(100' R.O.W.)

MAINTAIN SIDEWALK
SLOPE % THROUGH
DRIVEWAY

PROP. BLDG.
11,862 S.F.
FF=543.0



MASONRY WALL SCHEDULE
12 FEET MAX HEIGHT

H	B	BI	C	T
2'-0"	1'-4"	0'-0"	1'-0"	1'-0"
3'-0"	1'-9"	0'-0"	1'-0"	1'-0"
4'-0"	2'-3"	0'-0"	1'-0"	1'-0"
5'-0"	3'-0"	0'-0"	1'-0"	2'-0"
6'-0"	3'-9"	0'-0"	1'-0"	3'-0"
7'-0"	4'-6"	1'-0"	1'-0"	4'-0"
8'-0"	5'-4"	1'-9"	1'-0"	5'-0"
9'-0"	6'-0"	2'-3"	1'-0"	6'-0"
10'-0"	6'-9"	2'-10"	1'-0"	7'-0"
11'-0"	7'-8"	3'-4"	1'-8"	8'-0"
12'-0"	8'-3"	3'-10"	1'-8"	9'-0"

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 6) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
 - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

WARNING:
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NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

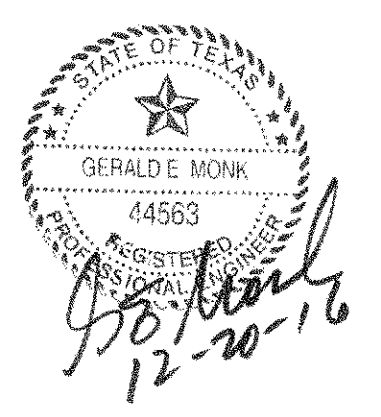
**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, L.L.C. OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

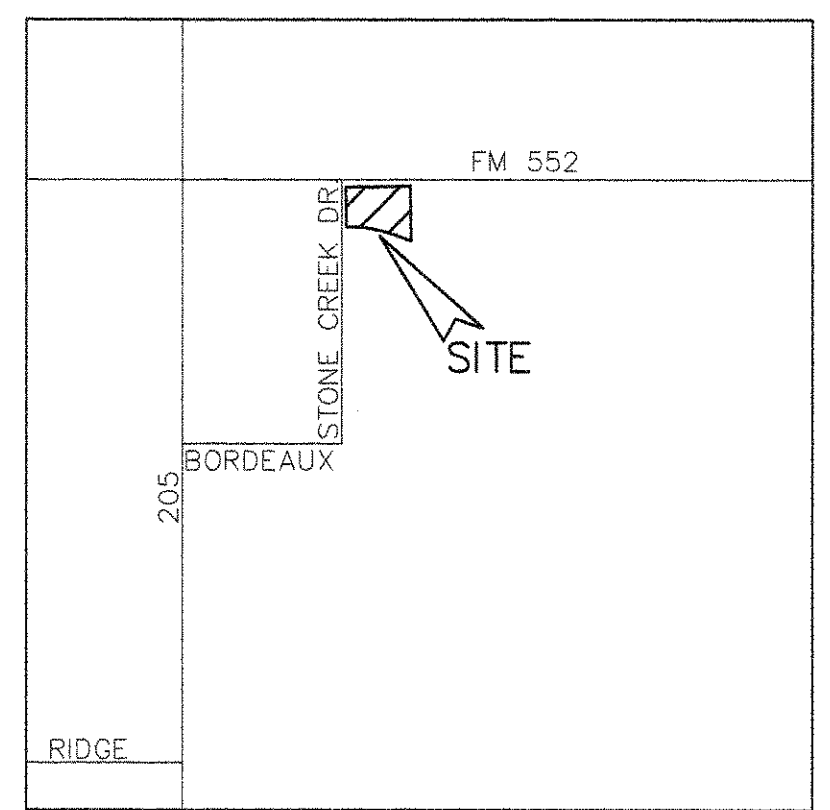
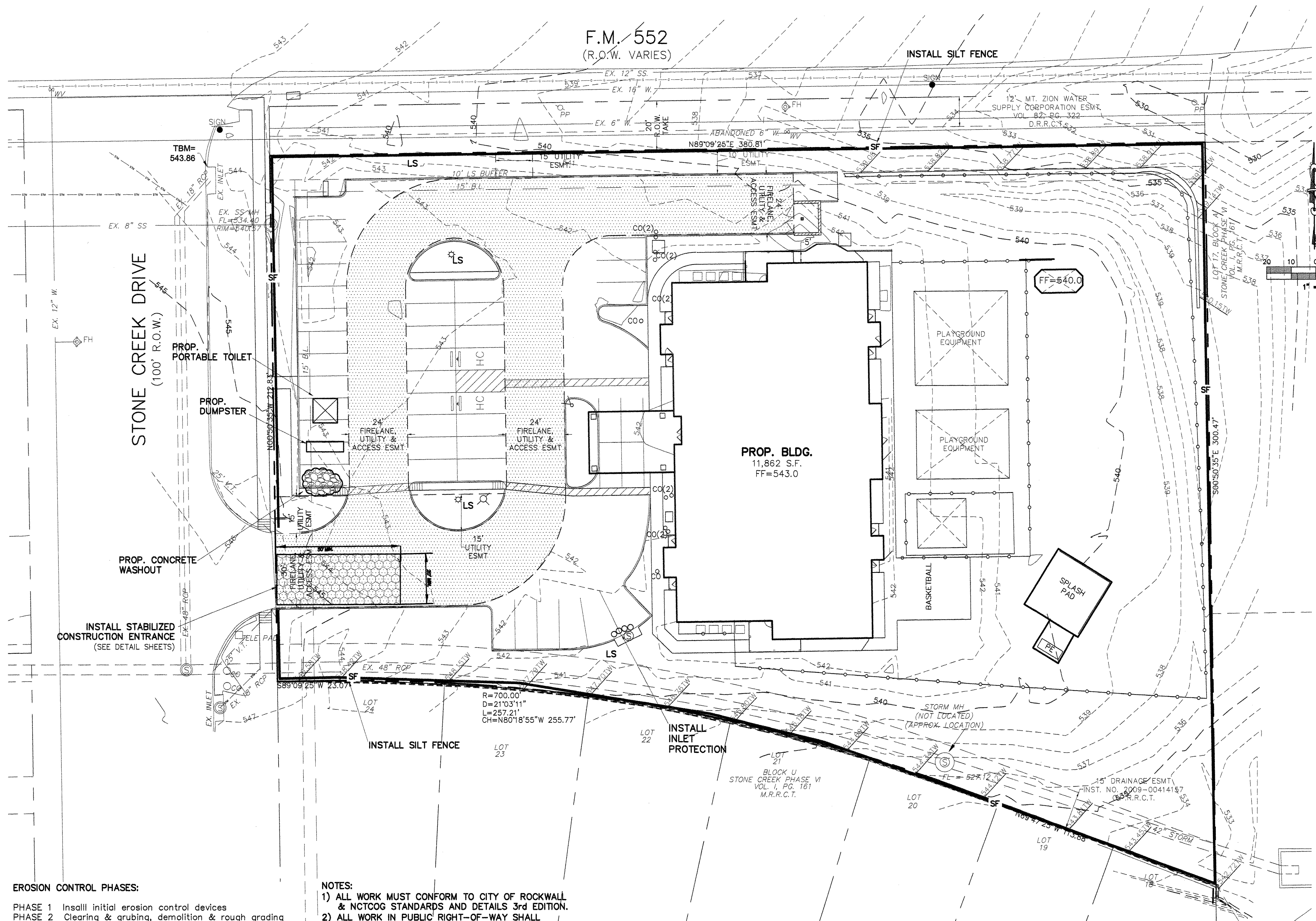
GRADES @ DUMPSTER
NOT TO SCALE

DETENTION POND INLET STRUCTURE
DRAINAGE & DETENTION ESMT. VOL. 5747, PG. 100 D.R.R.C.T.
RECORD DRAWING 9-7-17
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.

CASE #SP2016-021
GRADING & DRAINAGE PLAN
WOODBRIE MONTESORRI ACADEMY OF ROCKWALL
3100 Stone Creek Dr.
Lot 1A, BLK 1, 2.12 Acres
MONTESSORI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087
Developer
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 384-3007
Prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761
PROJECT NO.: 2016-12 REG NO.: F-2567
date: 12/20/16 scale: 1" = 20' sheet: C104

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BENCH MARK
CITY OF ROCKWALL BENCHMARK NO. R008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552. NORTHING: 7040337.0024; EASTING: 2592422.3808; Elevation: 542.18





LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- SF --- = PROPOSED SILT FENCE
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
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- (FHD) = PROPOSED FIRE HYDRANT
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Gerald E. Monk
 GERALD E. MONK, P.E.

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STATE OF TEXAS
 GERALD E. MONK
 44563
 REGISTERED PROFESSIONAL ENGINEER
Gerald E. Monk
 12-20-16

CASE # SP2016-021

EROSION CONTROL PLAN
WOODBRIAGE MONTESSORI ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
 Lot 1A, BLK 1, 2.12 Acres
 MONTESSORI SCHOOL ADDITION
 City of Rockwall, Rockwall County, Texas 75087
 developer
 VINOD SHARMA
 436 Quail Creek Drive, Murphy Texas 75094
 510 364-3007

prepared by
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

PROJECT NO.: 2016-12 REG. NO.: F-2567
 date: 12/20/16 scale: 1" = 20' sheet: C105

- EROSION CONTROL PHASES:**
- PHASE 1 Install initial erosion control devices
 - PHASE 2 Clearing & grubbing, demolition & rough grading
 - PHASE 3 Install underground utilities
 - PHASE 4 Paving operations
 - PHASE 5 Building construction
 - PHASE 6 Landscaping, cleanup, & permanent ground cover

- GENERAL NOTES:**
- 1) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION.
 - 2) THE BOTTOM & SIDES OF DETENTION POND SHALL BE SODDED OR SEEDED MATTING ANCHORED BEFORE PAVING CAN BEGIN.
 - 3) 75-80% OF ALL DISTURBED AREAS SHALL BE ESTABLISHED W/MIN. OF 1" HIGH GRASS PRIOR TO CITY ACCEPTANCE.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 3rd EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) SEE DETAIL SHEETS FOR SWPPP DETAILS.
 - 5) ALL CURB INLETS MUST BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING STORM SYSTEM.
 - 6) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION
 - 7) THERE ARE NO ONSITE OR ADJACENT SURFACE WATERS OR WETLANDS
 - 8) 75-80% OF ALL DISTURBED AREA TO HAVE A MIN. 1" TALL GRASS ESTABLISHED PRIOR TO ENGINEERING ACCEPTANCE.
 - 9) ALL CITY R.O.W. MUST BE SODDED IF DISTURBED.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

BENCH MARK
 CITY OF ROCKWALL BENCHMARK NO. R008: LOCATED AT THE INTERSECTION OF HIGHWAY 205 AND FM 552. NORTHING: 7040337.0024; EASTING: 2592422.3808; Elevation: 542.18

GENERAL NOTES

- All construction shall be accordance with the City construction standards and specifications where applicable. In the event that the City standard details do not apply, applicable N.C.T.C.O.G. 3RD Edition standard construction details and specifications shall govern.
- The Contractor shall begin work as directed by the Owner/City or the Notice to Proceed.
- The Contractor shall notify the Owner/City representative of off-site excess spoils sites that are to be utilized.
- The Contractor is responsible for keeping existing driveways, roadways and sidewalks free of mud and debris from the construction at all times.
- The Contractor shall maintain adequate site drainage during all phases of construction. The Contractor shall use silt fences (or other methods approved by the engineer and City) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, and local erosion conservation, and situation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion.
- Disturbed areas that are seeded shall be checked periodically to see that grass coverage is properly maintained. Disturbed areas shall be watered, fertilized, and reseeded, if necessary.
- All existing fences are to remain unless specified otherwise by the Owners' representative. Any damage to fences shall be repaired at Contractor's expense with new and like materials. Temporary construction site security fences are required.
- The Contractor is responsible for obtaining all necessary permits and approvals prior to and throughout construction.
- It is the Contractor's responsibility to maintain neat and accurate construction records for the Owner/City's use. The contractor shall provide the City clean and accurate full size reproducible Record Drawings which clearly describe all construction and any deviations from the plans.
- Contractor shall not store materials, equipment or other construction items on adjacent properties or adjacent right-of-ways without the prior written consent of the property Owner and the City. All construction waste materials to be removed shall be disposed of at a permitted location off site, unless written approval is obtained from the City.
- All excavation is unclassified and shall include all materials encountered. Unusable excavated material and all waste resulting from site clearing and grubbing shall be disposed of off site at the Contractor's expense unless otherwise specified or agreed by the Owner.
- The Contractor shall take all available precautions to control dust. Contractor shall control dust by sprinkling water, or by other means, approved by the City and Engineer.
- Contractor shall be responsible for all required construction surveying, quality control, and materials testing.
- All efforts shall be made to avoid damage to existing trees that are to remain. Trees shall be trimmed and pointed only if necessary for the safe maneuvering of construction equipment. Contractor shall receive prior approval from the Owner's field representative for removal of any trees. When excavating around a tree, the roots shall be clean cut prior to any excavation work. Do not snag and tear tree roots.
- All adjacent property damaged by the proposed construction shall be restored to equal or better condition than which it was found before such work was undertaken (non-pay item).

DEMOLITION NOTES

- No earth-disturbing activities shall commence until all perimeter erosion control measures are in place.
- All demolition shall be closely coordinated with the Owner's representative regarding items to be salvaged, those to be removed, etc. including any and all tree preservation and transplanting activities, as outlined in the pre-construction meeting.
- The Contractor shall create ample staging and stockpiling areas for the deliveries of construction materials, concrete deliveries, topsoil, etc. in accordance with the Owner's representatives and the project specifications.
- The Contractor shall incur all costs for maintenance and repair of the existing fences to remain, irrigation systems to remain, utility lines, etc. that are damaged or removed during construction.
- Ingress and egress points, proposed disposal sites, and haul routes must be approved by the City officials prior to removal of demolition debris off-site.
- Contractor shall comply to the fullest extent with all regulations governing agencies regarding the demolition, removal, transportation and disposal of all demolition debris.
- The Contractor shall locate and remove all underground utility cables (electric, telephone, etc.) up to a depth of 24" below grade as part of the base bid.
- The Contractor shall locate and remove all underground utility piping, conduit and cables, regardless of depth, in the area of the proposed building(s) foundation.
- Contractor shall comply to the fullest extent with the latest OSHA standards for excavation and trenching procedures. Contractor shall use support systems, sloping, benching, etc. as necessary for the operations, and shall comply with all OSHA performance criteria.
- The Contractor shall assume responsibility for the protection of all property corner monuments, benchmarks, control points, etc. and shall have, at his expense, all corner monuments replaced which are disturbed by construction activities.
- Notes shown hereon regarding specific items of demolition are general in nature, and are not intended to be wholly inclusive. The Contractor shall demolish and remove all existing improvements to the satisfaction of the Owner, as necessary for the construction of the proposed improvements, and to the extent as noted in the construction activities.
- The Contractor shall be responsible for coordinating disconnection of all utilities serving the existing site with the appropriate utility company, and shall obtain approval from same to commence demolition activities.
- The Contractor shall be responsible for plugging, capping, or otherwise terminating utility service lines at existing meter locations, cleanouts, etc. a min. distance of 1' outside the limits of the tract shown.

PAVING NOTES

- The Contractor shall be responsible for the cost of a maximum number of passing field density tests on the stabilized subgrade for site paving equal to the ratio of 1 per 10,000 sf of pavement (and all falling density tests and required moisture-density curves). Additional field density tests may be required for foundations—refer to structural plans and specifications for such. In addition, the Contractor shall provide the Owner three (3) site pavement cores for the Owners use in the Owner's testing for thickness and compressive strength. Core locations shall be designated by the Owner. Contractor shall patch core holes and finish with like and matching materials.
- All reinforcing steel and dowel bars in pavement shall be supported and maintained at the correct clearances by the use of bar chairs or other approved support. No sand under pavement allowed.
- The use of wood forms for pavement construction will be permitted.
- All paving dimensions are to back of curb, and edge of pavement unless otherwise noted.
- The contractor is solely responsible for performing all construction layouts from the site layout control points and from the dimensions shown. The contractor must notify the engineer of any discrepancies in advance and allow for the Engineer's response before proceeding with the work.
- Unless otherwise noted, subgrade shall be stabilized to 12" beyond the back of curb or edge of vehicular pavement per City standards. Concrete pavement shall be in accordance with the City standard construction details (3,600 psi design mix, min. 6.5 sack). All sidewalks shall be 4" thick (3000 psi reinforced concrete, min. 5.5 sack) and constructed per City standard construction details.
- It shall be the responsibility of the Contractor to supply the City and the engineer with a concrete mix design at the pre-construction meeting for review and approval. The cost of this design shall be included in the unit price of pavement material.
- Contractor shall adjust all utilities (existing and proposed) to final grade (non-pay item). All utilities and appurtenances shall be extended up to final grade. Utility clean-outs, valves, manholes, etc. located within paved areas shall be paved monolithic with no block-outs. In non-paved areas, said appurtenances shall have a 4" thick concrete pad (block out) poured at final grade for protection against damage from mowing and maintenance equipment. Contractor shall place irrigation sleeves prior to any paving, per irrigation plan, or as directed by the Owner's representative. Irrigation sleeves shall be 4" minimum diameter schedule 40PVC, buried to a depth of 18", and the curbs shall be scored to identify their location.
- The Contractor shall use care during soil stabilization and compaction activities so as not to adversely affect landscape areas or utility lines with soil stabilization treatments. After compaction and prior to placing grass, the upper 8" of all landscaped areas shall be aerated, tilled, or otherwise processed so as to promote healthy root growth for turf and other vegetation. The Contractor will be responsible for any repairs, undercutting, removal, disposal, and backfilling of these areas if stabilization is discovered (non-pay item).
- The contractor shall protect any existing and/or proposed utilities, which are in the proposed subgrade during the subgrade stabilization process.
- Connection of the proposed sidewalk to existing paving, sidewalk, building, and wheelchair ramps shall be considered subsidiary to the cost of the construction of the sidewalk. All joints (expansion, isolation, contraction, and construction) for concrete paving shall be installed in accordance with the American Concrete Pavement Association (ACPA) recommendations. Contractor shall observe the architectural and structural jointing layouts. In the event of a discrepancy or conflict for site paving the Contractor shall refer to ACPA publication IS061.01P and IS400.01P for the joint specifications and the layout of pavement joints (non-pay item). (No separate pay item).

UTILITY NOTES

- The Contractor shall be responsible for locating all utilities, whether private or public, prior to mobilization. The information and data shown with respect to existing underground facilities at or contiguous to the site is approximate and based on information furnished by the Owners of such underground facilities or on physical appurtenances observed in the field. The Owner and Engineer shall not be responsible for the accuracy or completeness of any such information or data; and, the Contractor, shall have full responsibility for reviewing and checking all such information and data, for locating all underground facilities, for coordination of the work with the Owners of such underground facilities during construction, for the safety and protection thereof, and repairing any damage there to resulting from the work. The cost of all will be considered as having been included in the contract price.
- The Contractor shall notify all affected utility companies or agencies in writing at least 1 week prior to beginning construction. The Contractor shall be responsible for and make arrangements for any and all temporary utilities.
- The Contractor shall salvage all existing City utilities (including signs, valves, fire hydrants, etc) in accordance with the City requirements and provide to the City.
- The Contractor shall protect all existing power poles, signs, manholes, telephones risers, water valves, etc. during all construction phases. Contractor will be responsible to replace any damaged items and restore any services that have been disturbed. All manholes, clean-outs, water valves, fire hydrants and other appurtenances must be adjusted to final and grade before the Owner will accept the work.
- Contractor shall exercise caution and maintain adequate clear zone between the Contractor's equipment and any power lines.
- The Contractor shall protect all utilities during the construction of this project. The Contractor shall give the City, residents and businesses affected by any anticipated water or sewer service disruptions at least 48 hours prior notice.
- Contractor shall provide all necessary fittings and appurtenances required to complete all connections and other incidental work shown on the plans or contained in the specifications including the repair or replacement of the existing irrigation system.

SEQUENCING/TRAFFIC CONTROL NOTES

- Contractor shall provide, maintain, and remove all traffic control barricades, warning signs, lights, construction fences, etc. for the work throughout construction. All barricades, warning signs, lights, devices, etc. for the guidance and protection of traffic and pedestrians must conform to the installation shown in the latest Texas MUTCD as currently amended, Texas Department of Transportation.
- Contractor shall provide access to all required entrances and exists at all times throughout construction. Contractor shall provide a traffic control and sequencing plan to the City and Owner prior to the start of construction.

SANITARY SEWER NOTES

- All water line crossings of sanitary sewer lines shall be as shown in the plans and meet TCEQ Requirements as stated in 30 TAC 290.44. As stated in 30 TAC 290.44(e)(4)(B)(iii), when a proposed water line crosses a proposed sanitary sewer line, the water line shall be at least 2' above the sanitary sewer line. The sanitary sewer line shall be embedded in concrete encasement for the total length of one pipe segment plus 12" (typically 20' of encasement) beyond the joint on each end.
- Pipes 8" through 15" shall be in accordance with ASTM D3034 with a minimum SDR of 35 or ASTM D3350 and DE 345434 C.
- Therefore, pipes installed at a depth greater than 15' as measured from the existing grade (at the time of construction) to the flowline shall be in accordance with SDR 26. All manholes that are to be constructed at a depth greater than 15' as measured from the existing grade (at the time of construction) to the flowline shall be 5' in diameter.
- Manholes shall be precast. All manholes shall be water tight. Precast manholes shall have joints sealed. All ring and covers shall include an internal chimney seal. Manhole covers shall have minimum weight of 180 lbs.
- All pipe openings in manholes shall include water tight, size-on-size resilient connectors allowing for differential settlement. Connectors shall comply with ASTM C923.
- Stubouts out of manholes shall be fitted with a stopper and cap. Stubouts shall be a minimum of 5' from manhole and be supported by a concrete cradle.
- Manholes shall be vented in accordance with TCEQ requirements.
- All sanitary sewer pipe shall be tested (NCTCOG Item 506) after construction. Testing shall include pressure testing, mandrel test (TCEQ required) and color TV inspection. Color TV inspection shall be completed in presence of City representative and the original VHS formatted tape shall be given to the City Engineer at the completion of the inspection.
- Manholes shall be vacuum tested in accordance with TCEQ requirements and in the presence of the inspector and City Engineer representative
- PVC sewer pipe shall be identified with appropriate ASTM or ANSI designations for quality control from the manufacturer.
- PVC pipe joints shall be made with rubber gaskets, compression fittings, etc. to prevent separation and leakage.

WATER NOTES

- All water line crossings of sanitary sewer lines shall be as shown in the plans and meet TCEQ requirements as stated in 30 TAC 290.44. As stated in 30 TAC 290.44 (e)(4)(B)(iii), when a proposed water line crosses a proposed sanitary sewer line, the water line shall be at least 2' above the sanitary sewer line. The sanitary sewer line shall be embedded in concrete encasement for the total length of 1 pipe segment plus 12" (typically 18' of encasement) beyond the joint on each end.
- Pipes 12" in diameter and smaller shall be polyvinyl chloride (PVC) meeting the requirements of AWWA C900 DR 14.
- For pipes larger than 12" in diameter, the pipe shall be reinforced concrete cylinder pipe (AWWA C301 or AWWA C303), ductile iron pipe (AWWA C151 Class 50) or polyvinyl chloride pipe up to 18" meeting the requirements of AWWA C905-235 psi rated pipe.
- All valves on pipe 12" and smaller shall be resilient sealed wedge valves (AWWA C509).
- All valves on pipes larger than 12" but smaller than 30" shall be butterfly valves (AWWA C504) or wedge valve (AWWA C509).
- Embedment shall be as shown in the plans. Backfill within the limits of existing and proposed pavement shall be compacted to 95% standard proctor. Outside pavement (existing or proposed) shall be compacted to minimum 95% standard proctor. All compaction shall be by mechanical methods.
- Water lines shall be pressure tested in accordance with the testing methods listed on this page and in accordance with North Central Texas Council of Governments (NCTCOG) Item 506. (The Contractor may obtain this standard from the Engineer prior to bidding). All water lines shall be swabbed in the presence of the inspector prior to backfilling.
- All horizontal and vertical bends shall be blocked.
- All joints shall be mechanical joints with restraint devices selected for the type of pipe installed (e.g. "Megalug").
- All fire hydrants shall be installed with a 24"x24" square reinforced concrete pad.
- In general, all fire hydrants shall conform to AWWA Standard Specifications for Fire Hydrants for Ordinary Water Works Service, C-502. Fire hydrants shall have a 5 1/4" minimum valve opening and a barrel approximately 7" inside diameter. All hydrants shall be equipped with a breakaway flange.
- Fire hydrants shall be no closer than 18" to existing or proposed sidewalks.
- Placement of the fire hydrant shall be where pumper nozzle is perpendicular to and facing the nearest curb.
- All pipe, fittings, etc. must comply with requirements of ANSI/NSF 61.
- Minimum burial depth for water distribution piping shall be 42" to top of water pipe.
- Hydrostatic leakage rate shall not exceed amounts allowed by AWWA formulas.
- All water piping shall be disinfected in accordance with AWWA C651 upon completion of construction and prior to being put into service.
- In unpaved areas, a 2'x2'x6" concrete valve pad shall be installed flush with the top of the valve box at finished grade. Reinforce concrete valve pad with #3 bars on 6" centers both ways.

GRADING NOTES

- The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
- Adjust pavement and/or curb elevations as necessary to assure a smooth fit and continuous grade with existing.
- Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
- Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
- Contractor is responsible for repairs of damage to any existing improvements during construction, such as, but not limited to drainage, utilities, pavement, striping, curbs, etc. Repairs shall be equal to or better than existing conditions.
- Existing grade contours interval shown at 1'.
- Proposed grade contours interval shown at 1'.
- All unsurfaced areas disturbed by grading operation shall receive 4" of topsoil. Contractor shall apply stabilization fabric to all slopes 3h:1v or steeper. Contractor shall grass disturbed areas in accordance with specifications until healthy stand of grass is obtained.
- For location of all utility entrances, see architectural plans and specifications.
- Contractor shall coordinate with architectural plans, power company, telephone company and gas company for actual routing of power and services to building.
- Construction shall comply with all governing codes and be constructed to same.
- All spot grades are to be finished pavement unless otherwise noted.
- 75-80% of all disturbed area to have a min. 1" stand of grass prior to Engineering acceptance.
- All City Right-Of-Way to be sodded if disturbed.

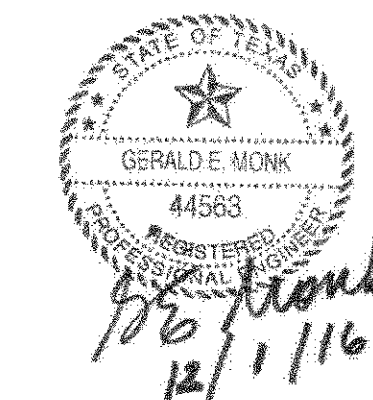
GRADING AND DRAINAGE NOTES

- All existing structures, unless otherwise noted to remain, fencing, and trees, etc. within construction area shall be removed and disposed of off-site. Any burning on site shall be subject to local ordinances.
- All corrugated metal pipes shall be fully asphalt coated or aluminized steel type—2, 18" and smaller to be 16 gauge, pipes 24"—30" to be 14 gauge, pipes 36"—48" shall be 12 gauge, and all pipes larger than 48" to be 10 gauge. All concrete pipes shall be in accordance to ASTM-C-76 Class iii.
- All drainage structures shall be pre-cast.
- All drainage structures and storm sewer pipes shall meet heavy duty traffic (h20) loading and be installed accordingly.
- Contractor shall notify all utility companies having underground utilities on site or in right-of-way prior to excavation. Contractor shall contact utility locating company and locate all utilities prior to grading start.
- Site grading shall not proceed until erosion control measures have been installed.
- SICP — Smooth Interior Corrugated Plastic Pipes and fittings may be utilized for pipe sizes 24" or smaller, from the following manufacturers: A.D.S.—N12 MFRD. by Advanced Drainage Systems, Inc., "Surelock" MFRD. by Hancor Inc, Lane Enterprises, Inc. SICP shall be installed per manufacturers guideline for heavy duty drainage applications.
- Contractor shall provide 2'x2'x8" thick concrete apron at all cleanouts outside of building.

STANDARD ACCESSIBILITY NOTES

- Accessible parking spaces shall be a min 8' wide with a maximum slope of 2% (in all directions).
- Each accessible parking space shall have a vertically mounted (or suspended) sign showing the symbol of accessibility. At least 1 space must have an additional sign "Van-accessible" mounted below the symbol of accessibility. Signs shall be located at 5' above ground surface to bottom of text.
- All access aisles serving H.C. parking spaces shall be 5' wide minimum and 8' wide minimum for van designated spaces. All buildings shall contain at least 1 van accessible space.
- Ramps exceeding 6" in run or 6" in rise shall have hand rails each side between 34"—38" and extend 12" beyond top and bottom of ramp and shall not diminish the clear area required for top and bottom landings serving the ramps.
- Ramps shall have a rough (broom finish) surface or abrasive tile. Ramps shall also contain either truncated domes or 3/8" deep grooves, 1/4"—3/4" wide and 3/4"—2"—0" O.C., arranged so that water will not accumulate. Color of ramp finish material (including concrete) and light and reflective valve must contrast significantly to distinguish it from adjacent surfaces (or paint stripe).
- Bottom landings for ramps serving required exits shall be 6' long in direction of travel minimum. All landings shall be at least as long as the width of the ramp they serve.
- Curb ramps with 1:10 flare sides w/ max slope 1:12.
Curb ramps with 1:12 flare sides w/ max slope 1:12.
Curb ramps with 1:20 flare sides w/ max slope 1:12.
- Return curb ramp with max slope 1:12.
- New sidewalk (min. 3') to public walk (max slope 1:20).
- Cross slope shall not exceed 1:50 (2%).
- Sidewalks shall have a maximum grade of 5% slope.

RECORD DRAWING 9-7-17
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC.
HEREBY STATES THAT THIS PLAN IS AS-BUILT, THIS INFORMATION PROVIDED
IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE
CONTRACTOR.
G.E. Monk
GERALD E. MONK, P.E.



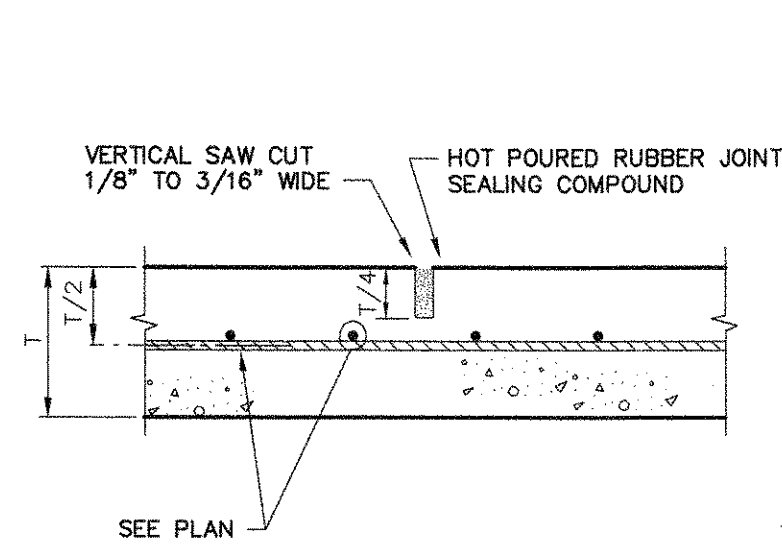
GENERAL NOTES

DETAIL SHEETS

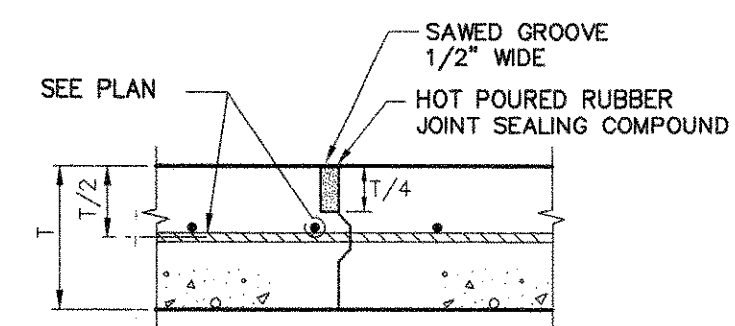
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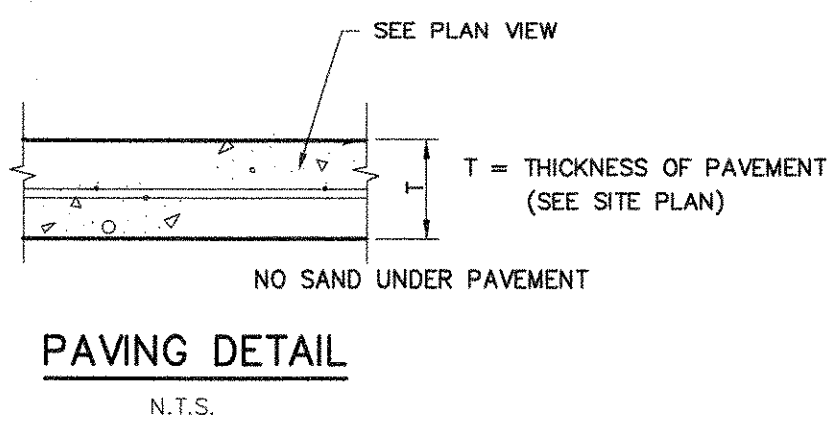
scale: sheet:
N.T.S. D100



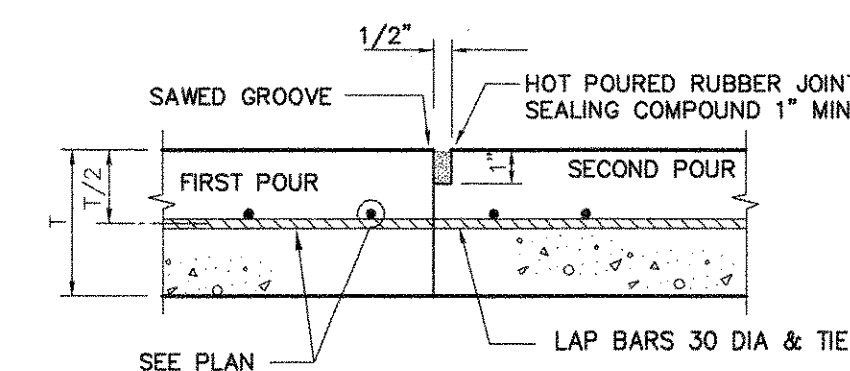
SAWED CONTRACTION JOINT
N.T.S.



KEYWAY JOINT
(FOR PAVEMENT THICKNESS > 6")
N.T.S.

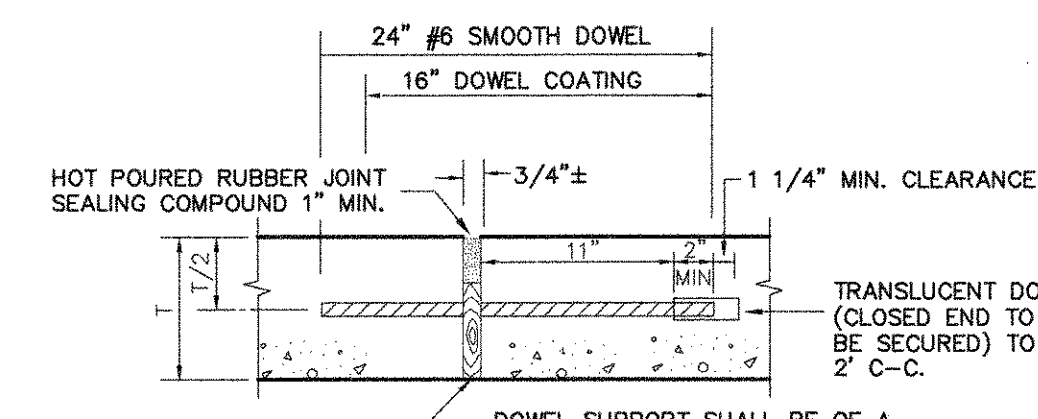


PAVING DETAIL
N.T.S.



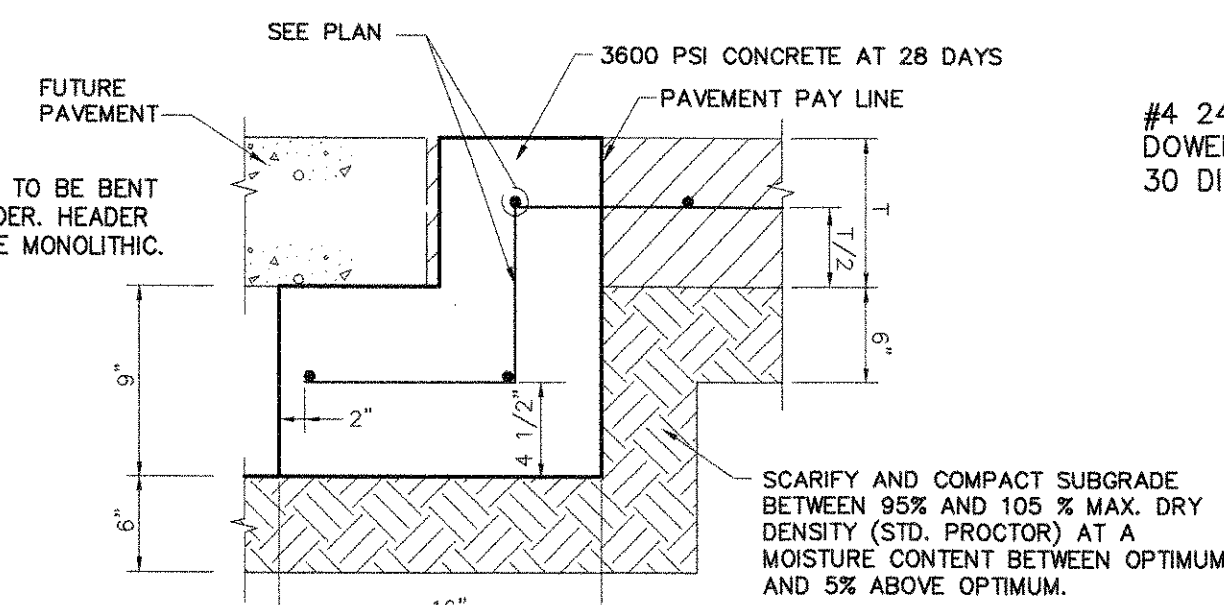
CONSTRUCTION JOINT
N.T.S.

CONSTRUCTION JOINTS
@ 40' O.C. TYP.

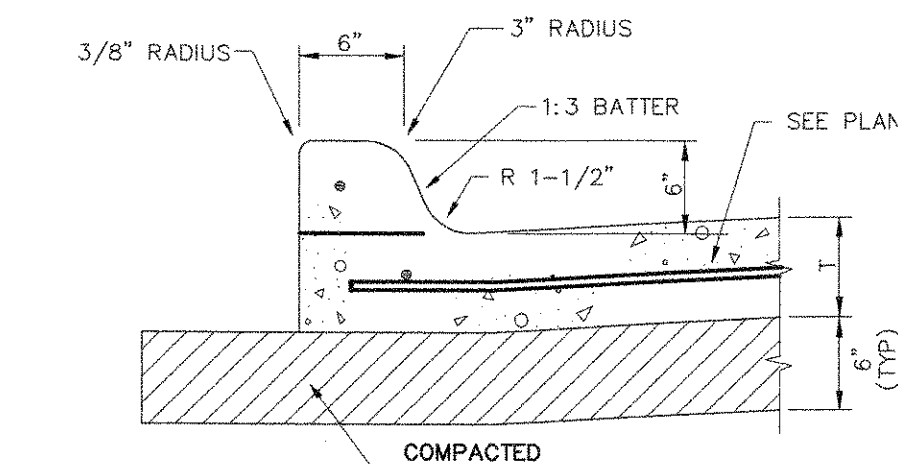


EXPANSION JOINT
N.T.S.

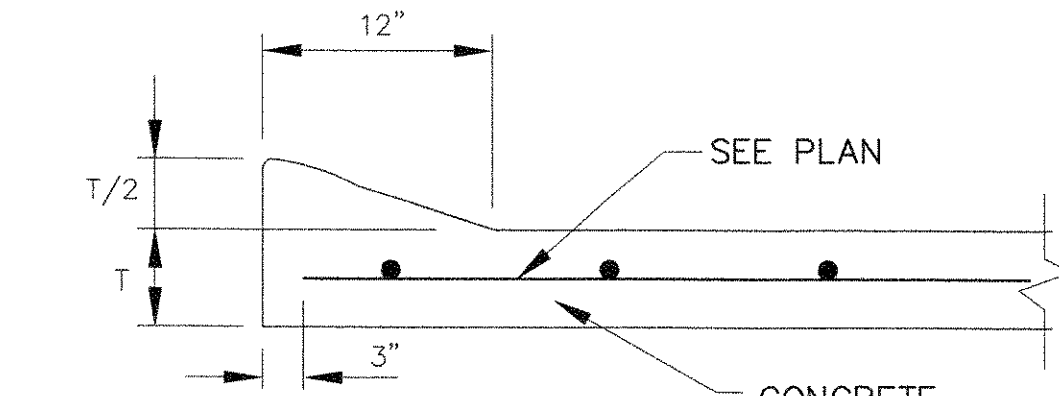
(SPACED 300 FT. MAXIMUM; LOCATE AT STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)



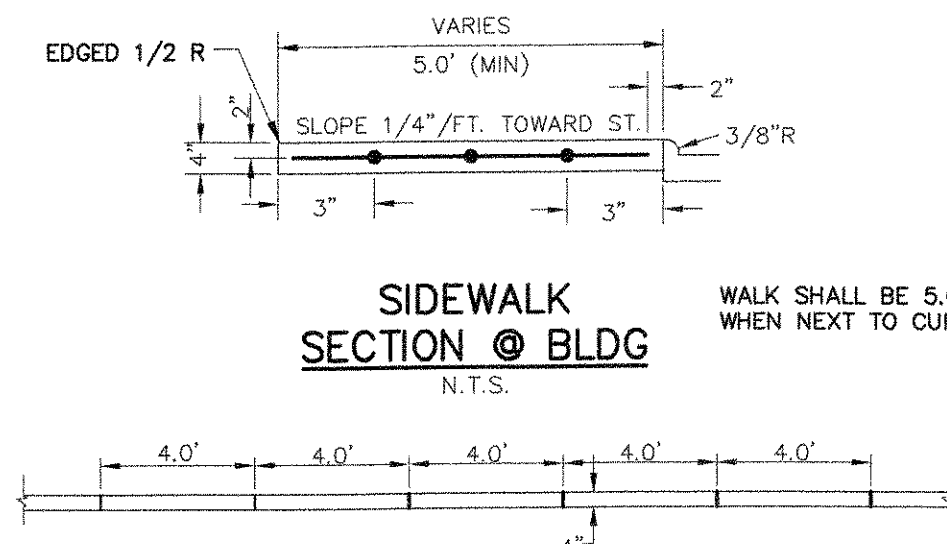
STREET HEADER
N.T.S.



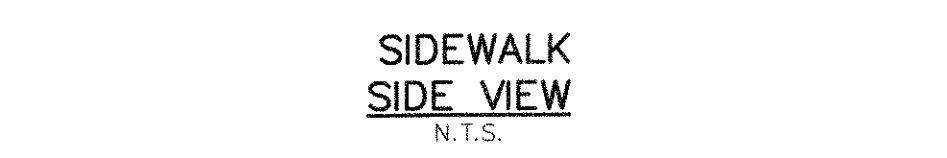
INTEGRAL CURB
N.T.S.



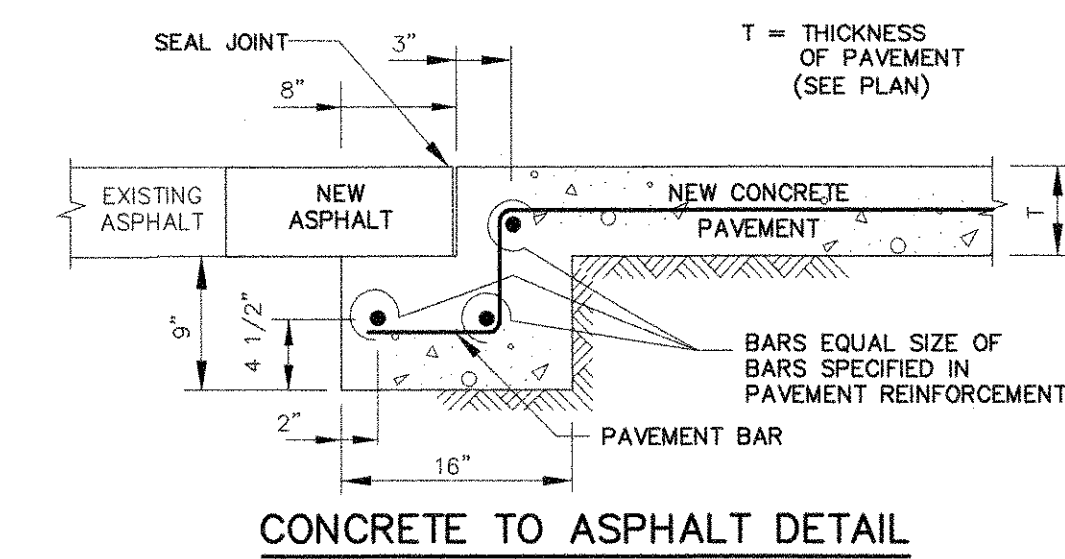
MOUNTABLE MONOLITHIC CURB
N.T.S.



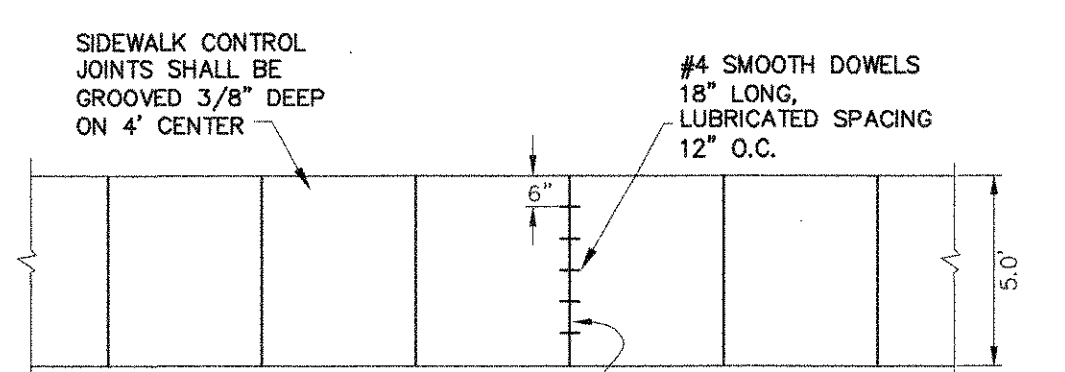
SIDEWALK SECTION @ BLDG
N.T.S.



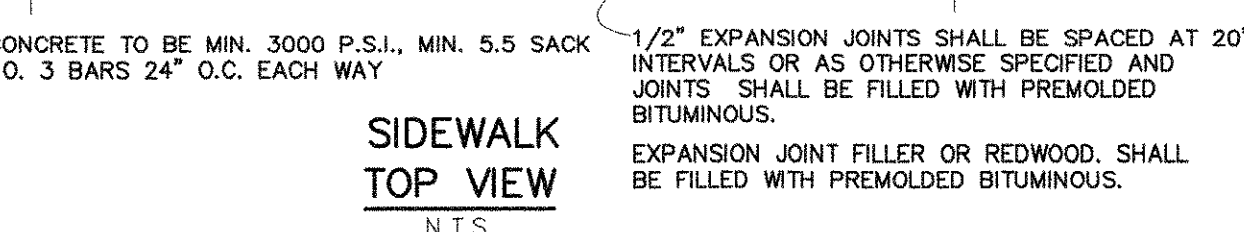
SIDEWALK SIDE VIEW
N.T.S.



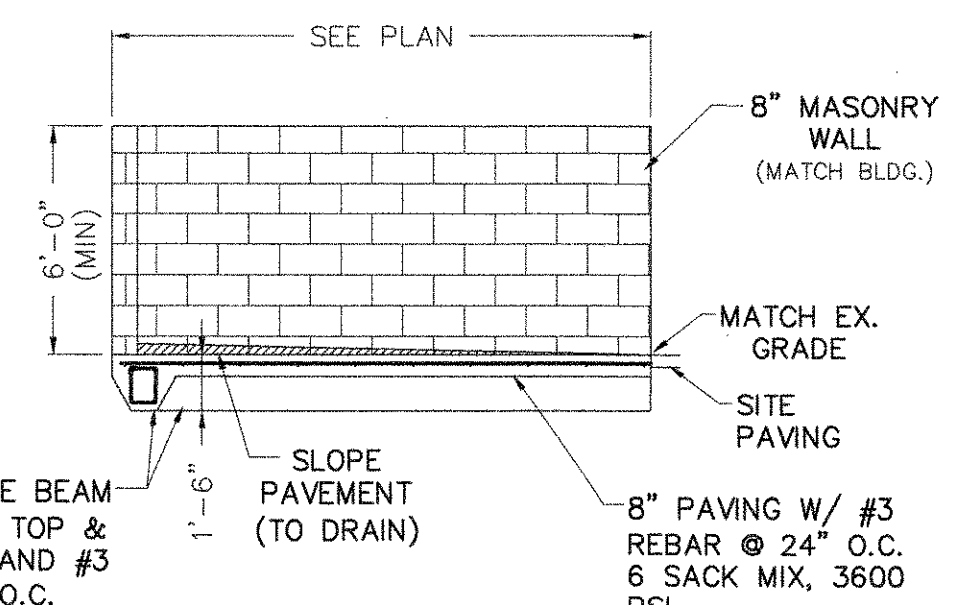
CONCRETE TO ASPHALT DETAIL
N.T.S.



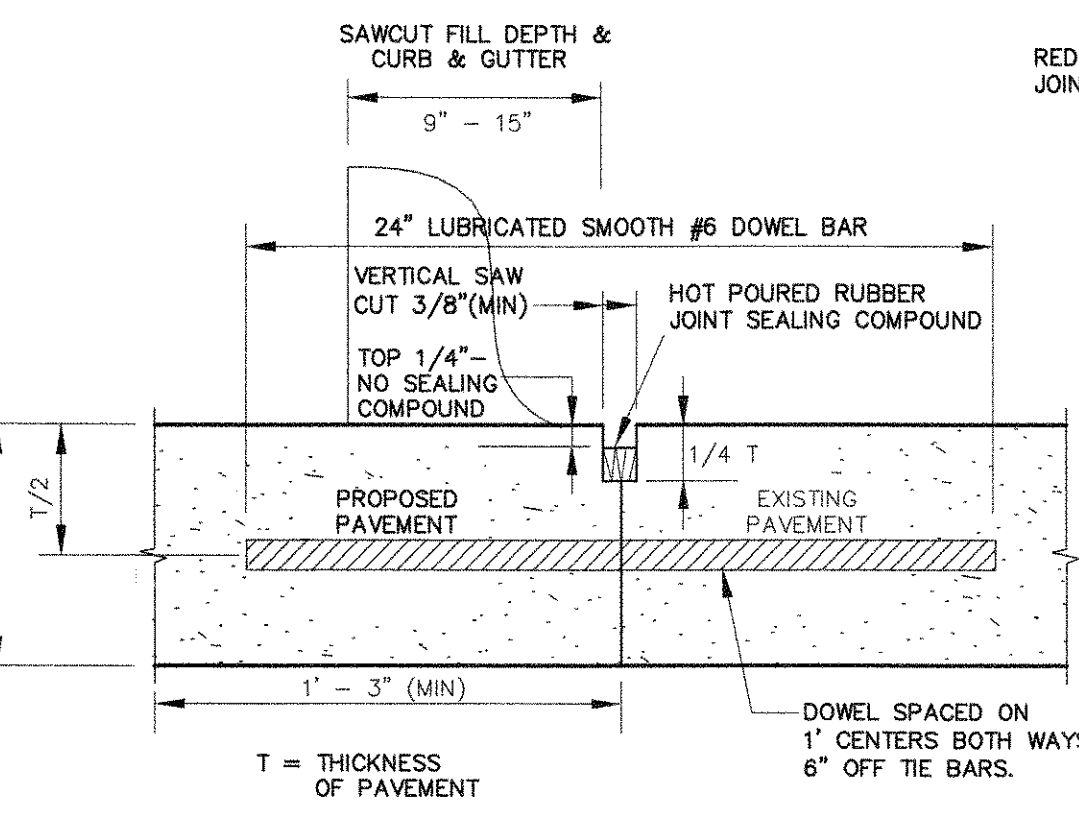
SIDEWALK TOP VIEW
N.T.S.



SIDEWALK SECTION @ R.O.W.
N.T.S.

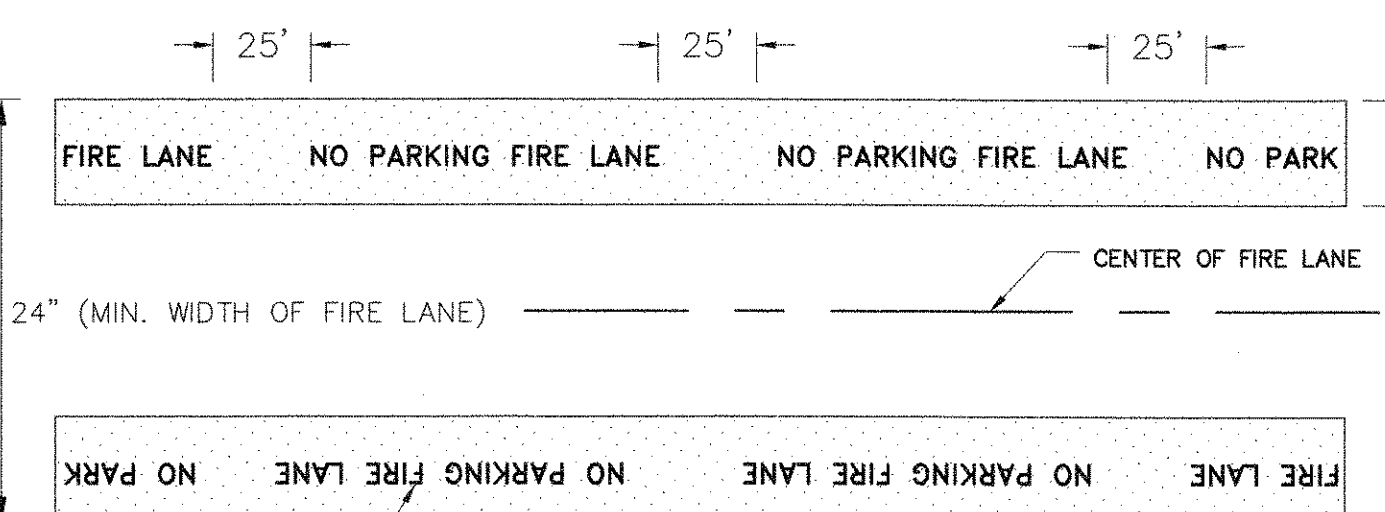


DUMPSTER PAD DETAIL
N.T.S.

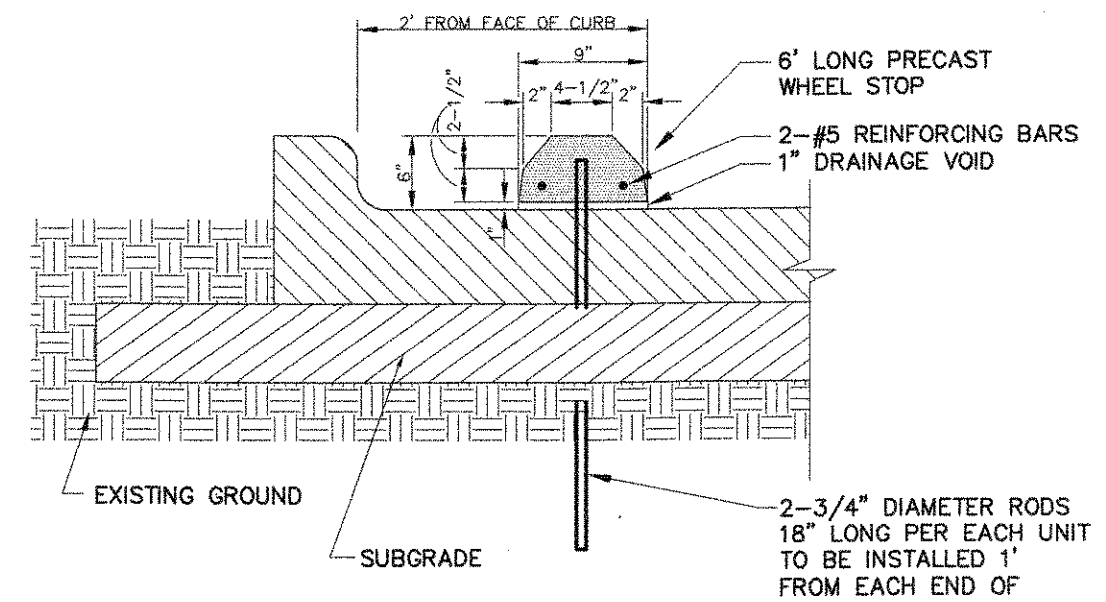


LONGITUDINAL BUTT JOINT
N.T.S.

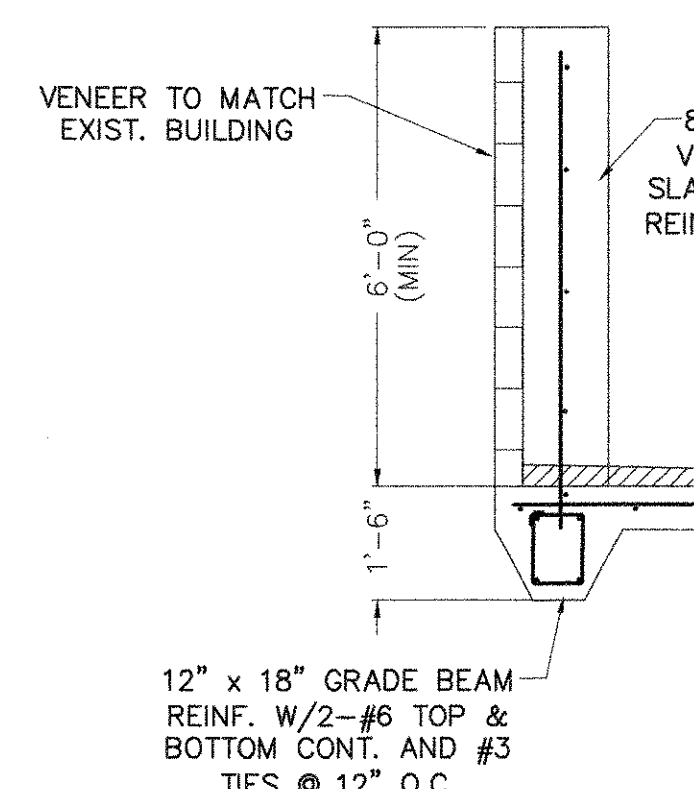
- NOTES:
- NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5" AND 8" PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT (CONTRACTORS OPTION).
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL RIG.
 - DRILLING BY HAND IS NOT ACCEPTABLE.
 - PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.



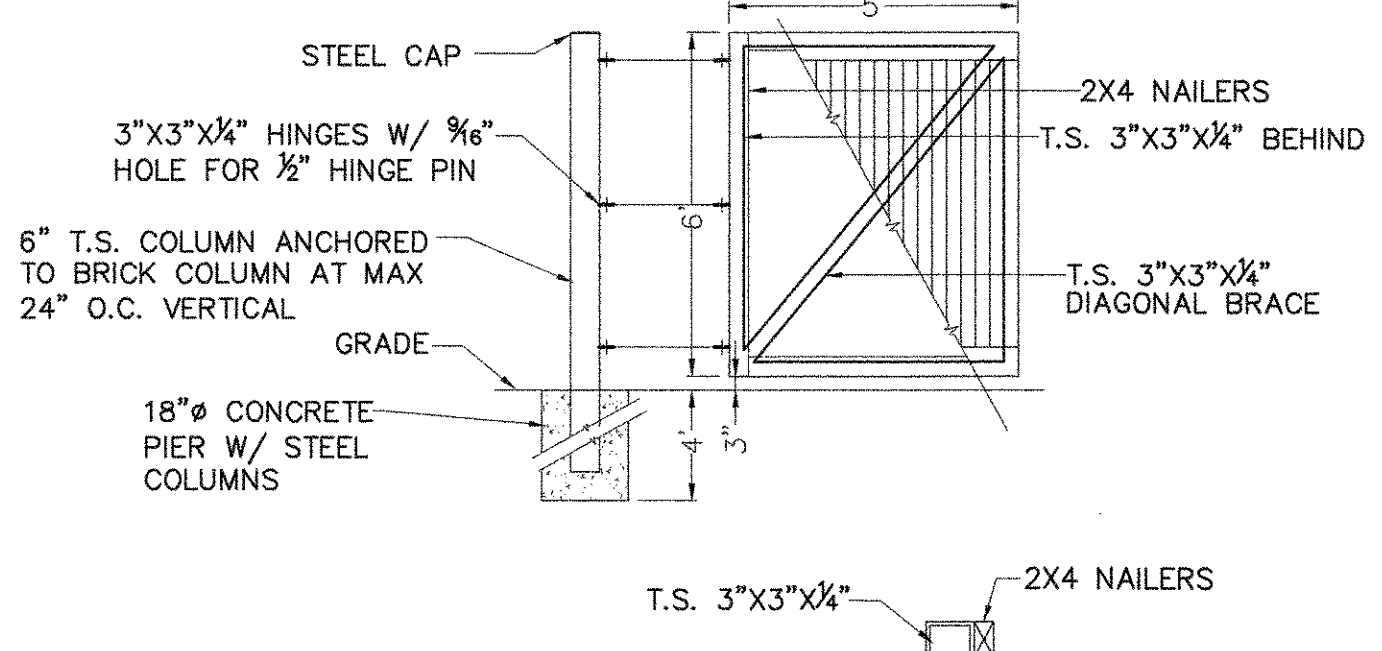
FIRE LANE MARKING
NOT TO SCALE



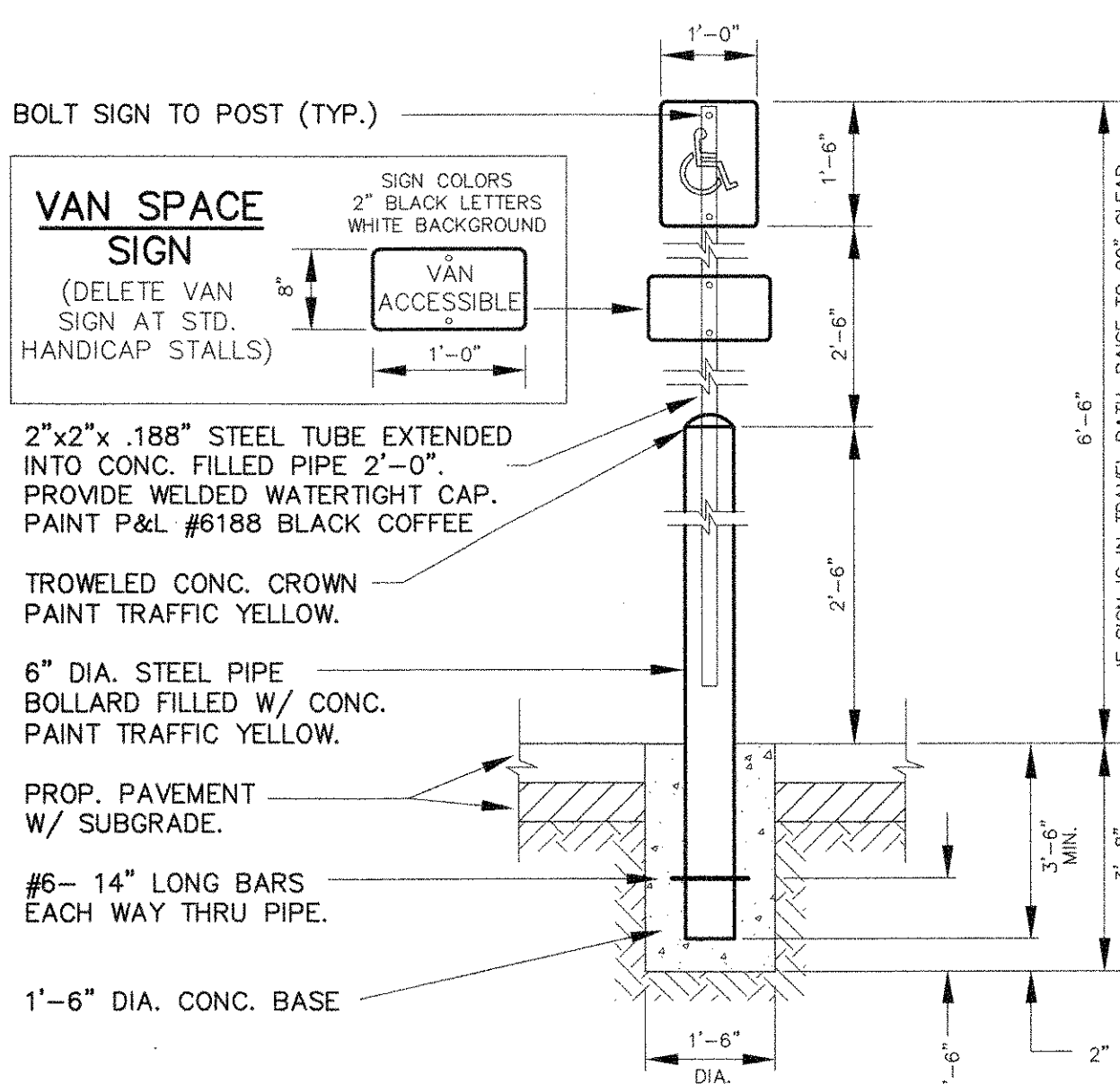
PRECAST CONCRETE WHEEL STOP
(PARKING SPACE MUST BE AT LEAST 20' LONG)
N.T.S.



DUMPSTER WALL SECTION
N.T.S.

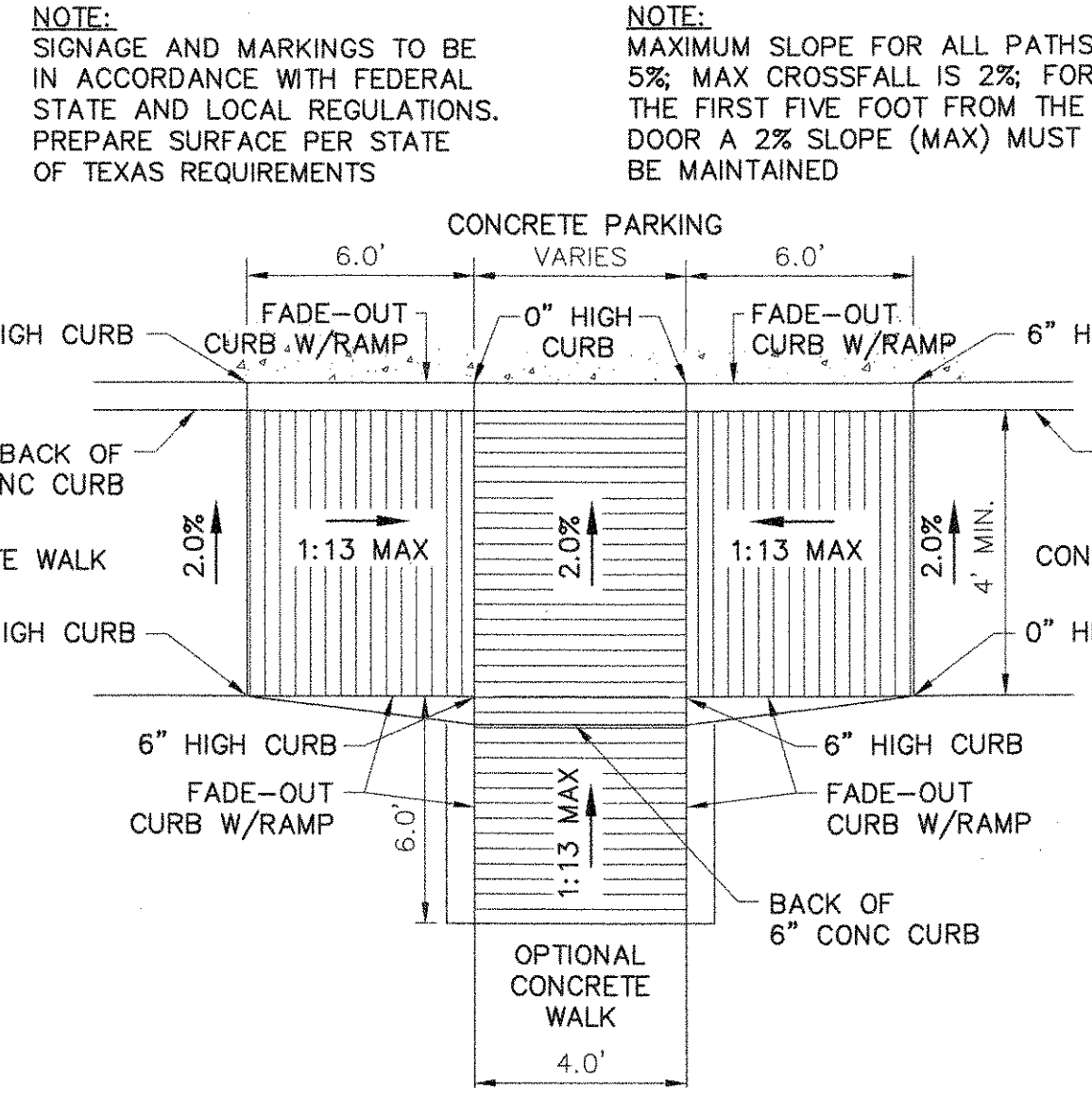


DUMPSTER GATE DETAIL
N.T.S.



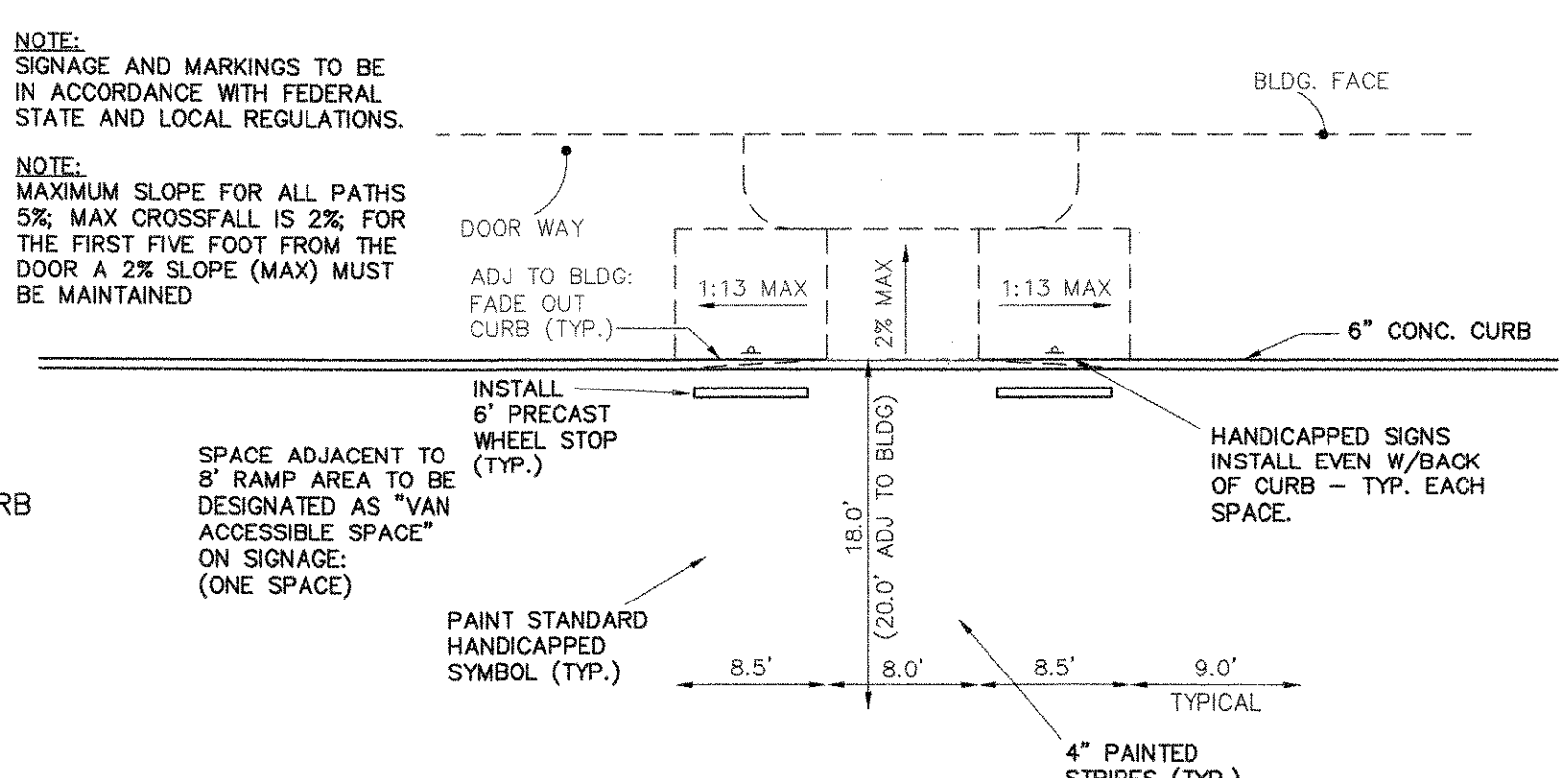
"HANDICAPPED PARKING" SIGN
N.T.S.

NOTE:
Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.



ACCESS RAMP
N.T.S.

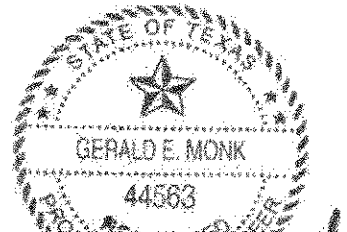
PLEASE NOTE:
ANY ACCESS RAMP (BFR) LOCATED WITHIN PUBLIC R.O.W. IS REQUIRED TO HAVE TRUNCATED DOMES.



HANDICAP PARKING/STRIPING DETAIL
N.T.S.

- GENERAL NOTES
- Buildings 5,000 square feet or greater shall be sprinkled. (Unless otherwise noted) Alternative fire protective measures may be approved by the Building Inspector and Fire Dept.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpsters and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - All signage contingent upon Building Inspection Department.
 - Approval of the site plan is not final until all engineering plans are approved.
 - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 - All electrical transmission, distribution and service lines must be underground.

- NOTES:
- ALL WORK MUST CONFORM TO CITY STANDARDS.
 - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND DETAILS.
 - ALL PRIVATE DETAILS ARE SUPERSEDED BY STANDARD CITY DETAILS.

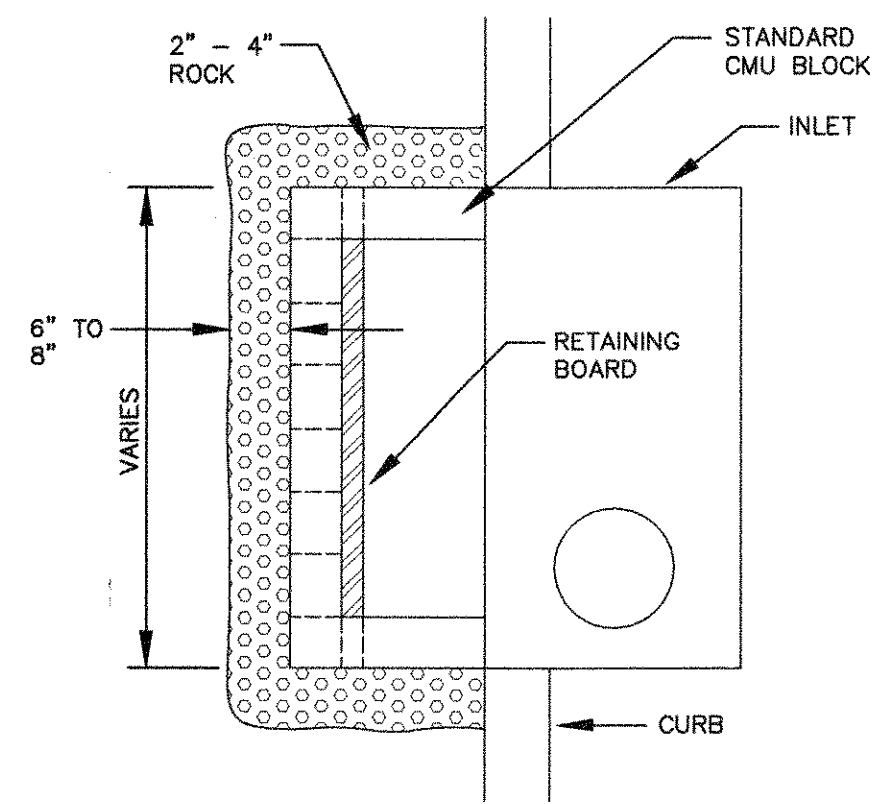


SITE DETAILS

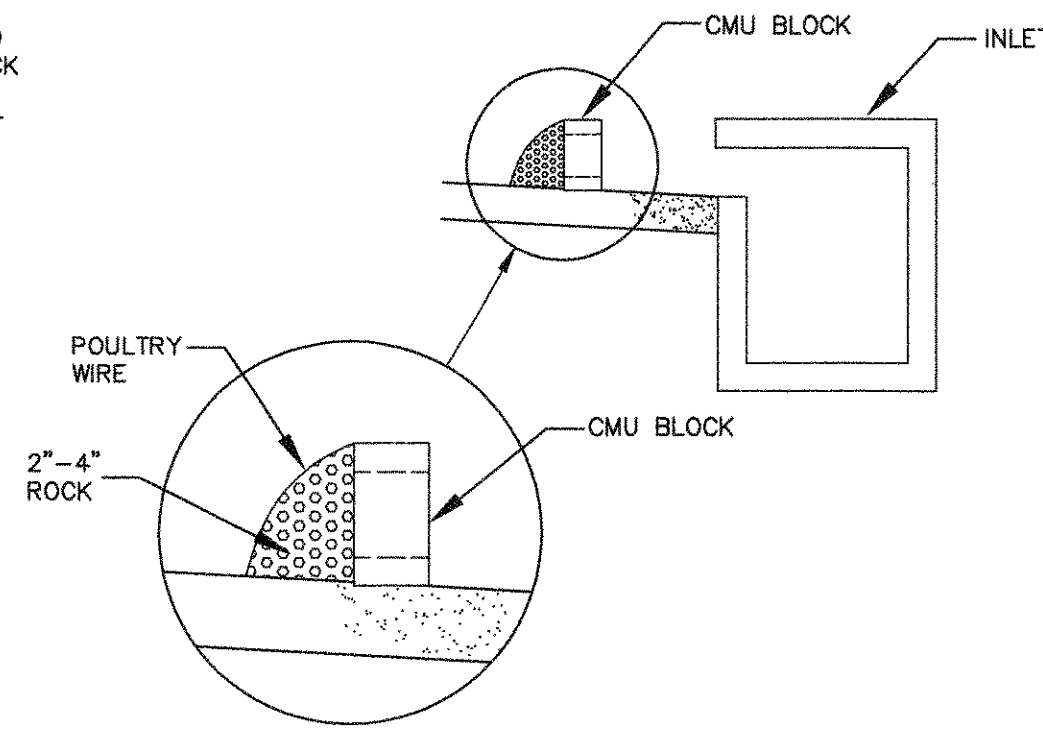
DETAIL SHEETS

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

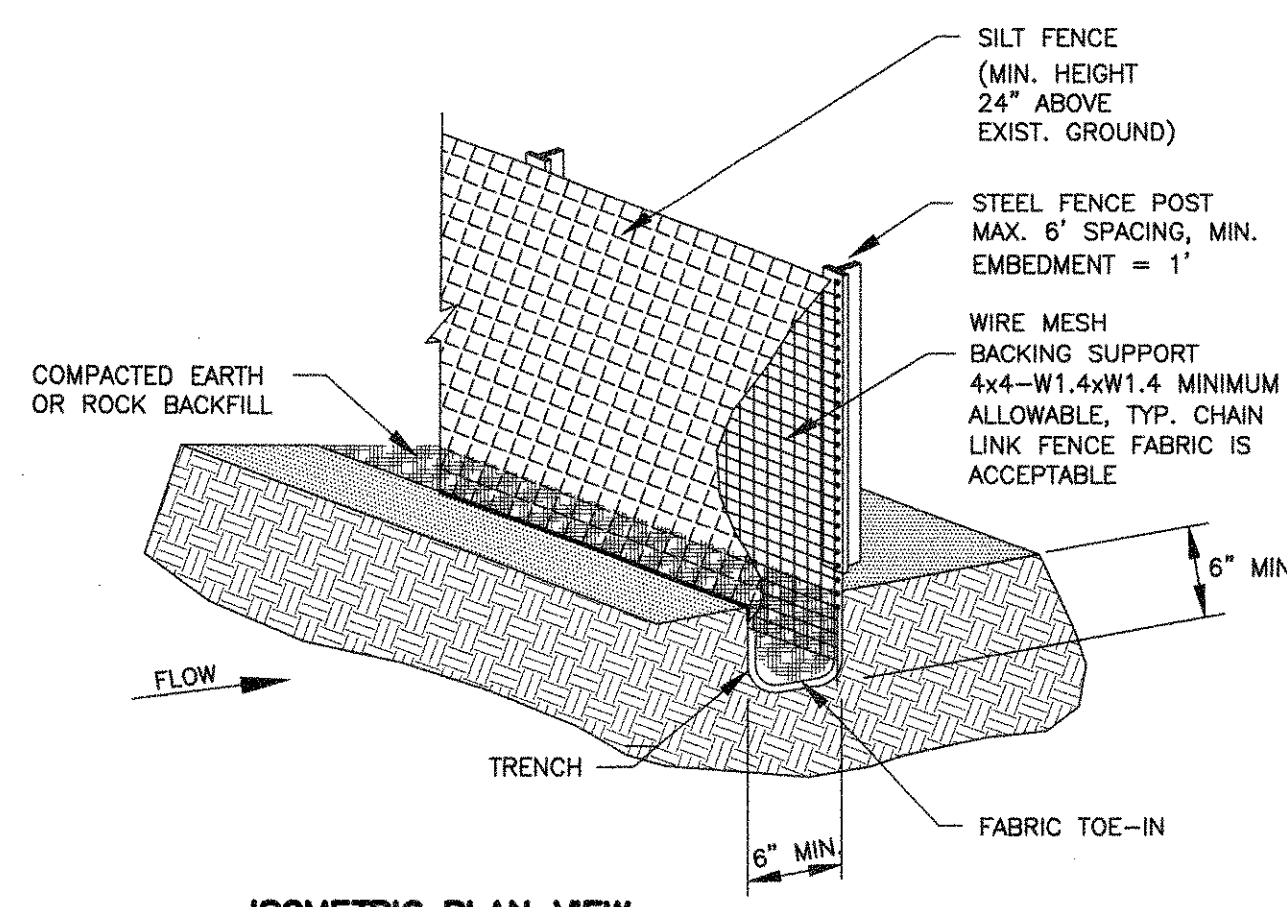
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N.T.S. D101



ALTERNATE 1
N.T.S.



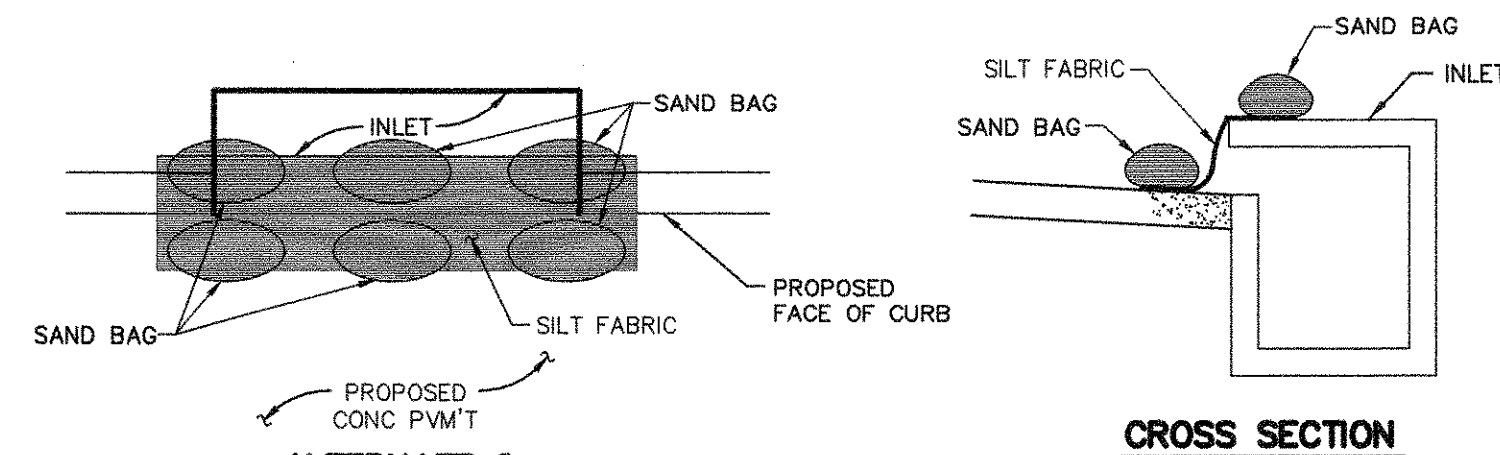
CROSS SECTION
N.T.S.



ISOMETRIC PLAN VIEW
N.T.S.

SILT FENCE GENERAL NOTES:

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



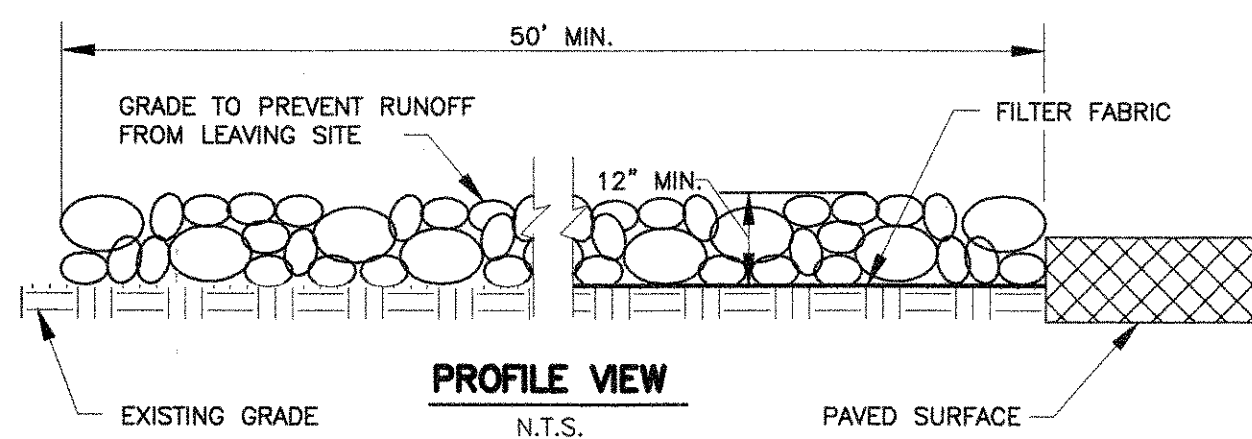
ALTERNATE 2
N.T.S.

CURB INLET/OUTFALL PROTECTION

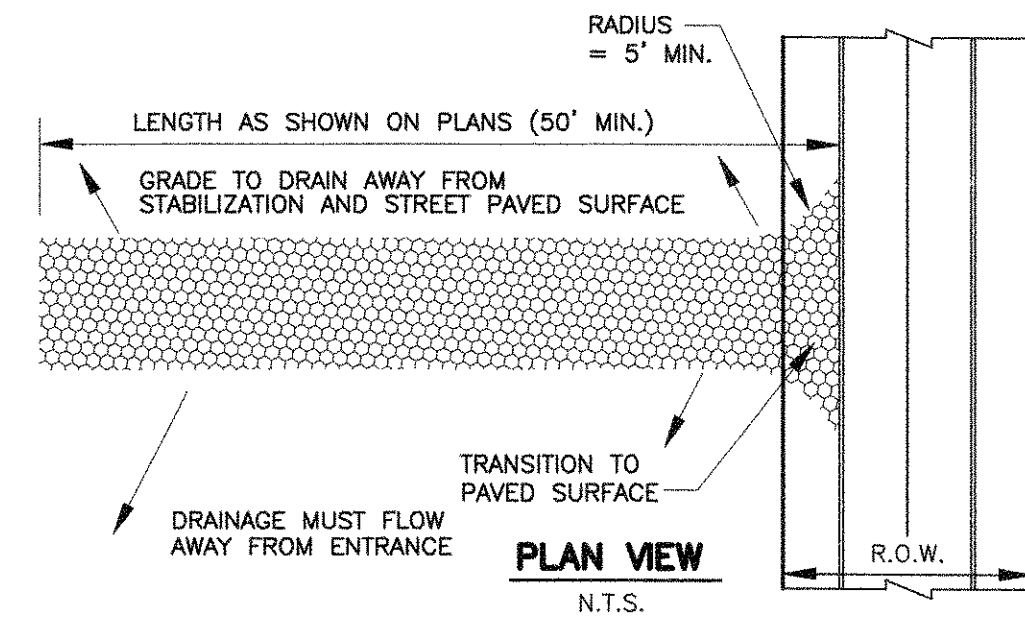
GENERAL NOTES:

- 1) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION.
- 2) THE BOTTOM & SIDES OF DETENTION POND SHALL BE SODDED OR SEEDED MATTING ANCHORED BEFORE PAVING CAN BEGIN.
- 3) 75-80% OF ALL DISTURBED AREAS SHALL BE ESTABLISHED W/MIN. OF 1" HIGH GRASS PRIOR TO CITY ACCEPTANCE.

SILT FENCE



PROFILE VIEW
N.T.S.



PLAN VIEW
N.T.S.

STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK. (NOT CRUSHED CONCRETE)
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



RECORD DRAWING 9-7-17
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
G. E. Monk
GERALD E. MONK, P.E.

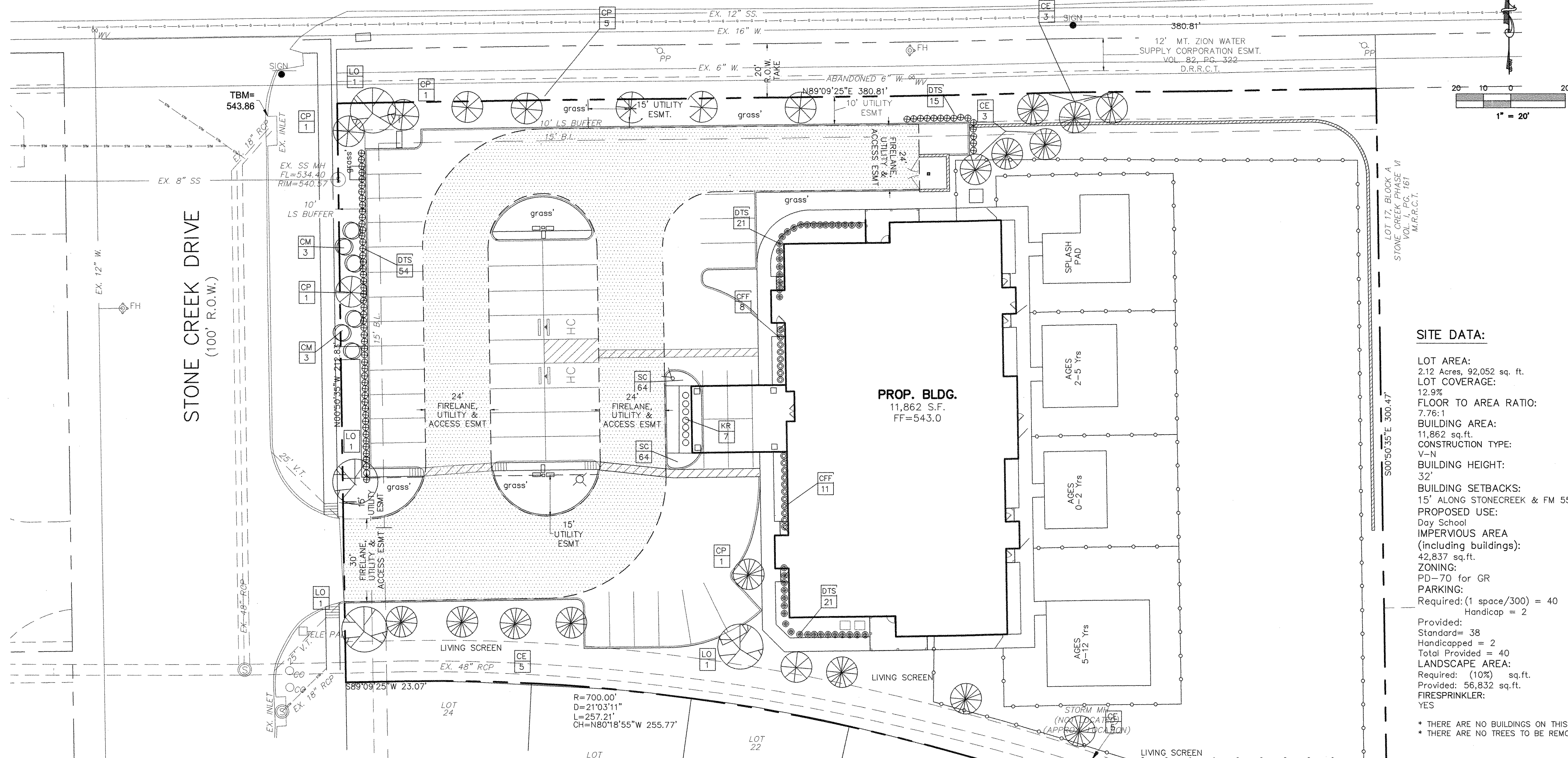
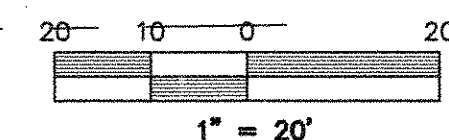
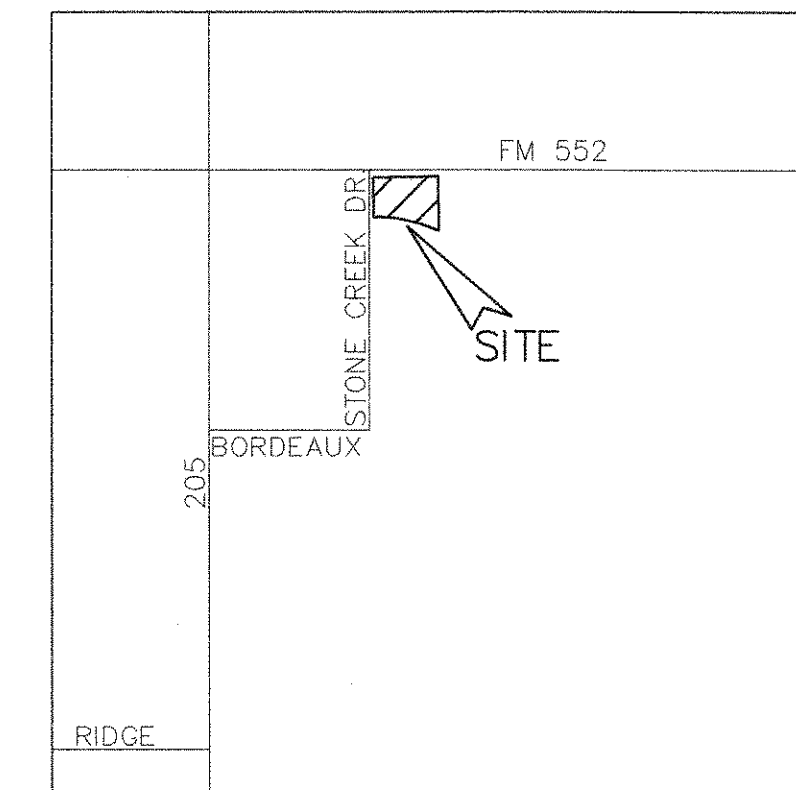
EROSION CONTROL DETAILS

DETAIL SHEETS

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

scale: sheet:
N.T.S. **D102**

F.M. 552
(R.O.W. VARIES)



SITE DATA:

LOT AREA:
2.12 Acres, 92,052 sq. ft.

LOT COVERAGE:
12.9%

FLOOR TO AREA RATIO:
7.76:1

BUILDING AREA:
11,862 sq.ft.

CONSTRUCTION TYPE:
V-N

BUILDING HEIGHT:
32'

BUILDING SETBACKS:
15' ALONG STONECREEK & FM 552

PROPOSED USE:
Day School

IMPERVIOUS AREA
(including buildings):
42,837 sq.ft.

ZONING:
PD-70 for GR

PARKING:
Required: (1 space/300) = 40
Handicap = 2

Provided:
Standard = 38
Handicapped = 2
Total Provided = 40

LANDSCAPE AREA:
Required: (10%) sq.ft.
Provided: 56,832 sq.ft.

FIRESPRINKLER:
YES

* THERE ARE NO BUILDINGS ON THIS SITE
* THERE ARE NO TREES TO BE REMOVED

- LEGEND**
- = PROPERTY LINE
 - EXIST. or EX. = EXISTING
 - ESMNT. = EASEMENT
 - LS = LANDSCAPE
 - BC = BACK OF CURB
 - B-B = BACK OF CURB TO BACK OF CURB
 - V.T. = VISIBILITY TRIANGLE
 - EX. W. = EX. WATER LINE
 - EX. SS = EX. SANITARY SEWER LINE
 - (S) = EX. SS MANHOLE
 - (W) = EX. WATER VALVE
 - (PP) = EX. POWER POLE
 - (TB) = EX. TELEPHONE BOX
 - (SM) = EX. STORM MANHOLE
 - (FH) = EX. FIRE HYDRANT
 - (FH) = PROPOSED FIRE HYDRANT
 - (---) = PROPOSED FIRELANE

- LANDSCAPE NOTES:**
- With the exception of drainage area, all grass areas are to be hydromulched Bermuda (2# per 1000 sf) for awrm season application or hydromulched mixture of rye grass (5# per 1000 sf) and hulled Bermuda (1# per 1000 sf) for cool season application.
 - Grass and bed areas are to be separated by 1"x6" plastic-wood edging.
 - All trees & shrubs are to be planted minimum of 5' from impermeable surface & utility lines.
 - Contractor to verify plant material quantities and notify owner of any conflicts.
 - Bed preparation shall consist of incorporating and one 4 cubic foot bale of spagnum peat moss and one 3 cubic foot bag of landscape mix per 75 sq. ft. into the top six inches of existing soil.
 - All landscape areas shall be watered by a fully automatic irrigation system meeting the minimum standards of the American Society of Irrigation Consultants, and the current building codes of Rockwall, Texas.
 - All plant material shall meet American Nursery Standards for height and width in each container size. With the exception of ground cover beds, all plants material shall be mulched with 2" of Cedar mulch.(min)
 - Trees shall have a root ball of a minimum 10 inch of diameter for each inch of caliper.
 - Contractor shall be responsible for location all utilities and obtaining permits as required by City.
 - Trees and shrubs are to be a minimum of 2.5 feet from all impermeable surfaces and 5' from utility lines.

Streetcape (380 LF. FM. 522, 235 LF. STONECREEK DR.)
Required: 1 Tree per 50 LF. 381/50=8, 233/50 = 5
Provides: 13 Trees
15 Trees

Area Landscape:
Required: 10% of Site (99,669 sf x 10%)
Provides: 9,967 S.F.

Required: 50% of required landscape in front)
Provides: 4,984 S.F.
9,634 S.F.

Parking Lot Landscape:
Required: 5% 27,550 S.F. x .05 = 1,378 S.F.
Provides: 1,378 S.F.
2,020 S.F.

Trees-No required parking space further than 80' from tree.
Required: 1 tree per 10 required parking spaces 42/10=4.2
Provides: 5 Trees
5 Trees

PROVIDED LIVING SCREEN ALONG RESIDENTIAL SIDE.

PLANT	PLANT NAME	SIZE	SPACING	HEIGHT	WIDTH	QUANTITY
LO	Live Oak(Quercus Virginiana)	3" CAL	A/I	12'	4'	4
CE	Cedar Elm(Ulmus Crassifolia)	3" CAL	A/I	12'	4'	13
CP	Chinese Pistachio(Pistacia Chinesis)	3" CAL	A/I	12'	4'	8
CM	Crap Myrtle (Lagerstroemia Fauriei Tuscarora)	30gal	A/I	8'	4'	6
DTS	Dwarf Texas Sage (Leucophyllum Frutescens Compacta)	5gal	36"	20"	18"	111
KR	Knock Out Roses (Rosa "Knock-out")	3gal	36"	16"	14"	7
CFF	Chinese Fringeflower (Loropetalum "Purple Diamond")	3gal	36"	14"	14"	19
SC	Seasonal Color	4" potal	12"	na	na	128

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

CASE #: SP2016-021

LANDSCAPE PLAN

WOODBIDGE MONTESSORI ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
Lot 1A, BLK 1, 2.12 Acres
MONTESSORI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087
developer

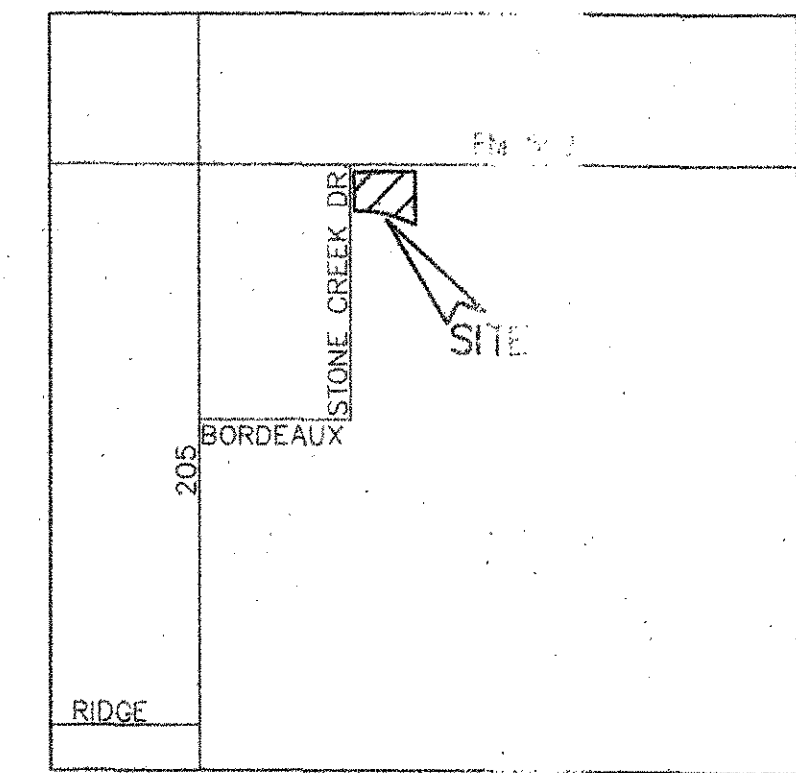
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

prepared by
SMV, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

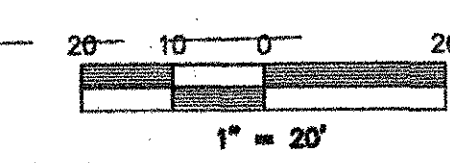
PROJECT NO.: 2016-12 REG NO.: F-2567

date: 11/30/16 scale: 1" = 20' sheet: L101

F.M. 552
(R.O.W. VARIES)



LOCATION MAP
(NOT TO SCALE)



STONE CREEK DRIVE
(100' R.O.W.)

PROP. BLDG.
11,862 S.F.
FF=543.0

- NOTES:**
- Controller to be Rainbird ESP-Me Modular indoor with Rain/Freeze Guard, 16 station, wall mounted. Electrical service to controller to be provided by owner.
 - All pipes larger than 1/2" to be class 200 pvc, 1/2" class 315 pvc.
 - Spray heads to be installed using 6" cut off nipples for flexibility. Heads in groundcover areas are to be 12" pop up and spray heads in shrub areas are to be shrub heads on 1/2" sch. 80 risers. Stream bubblers are to be mounted on 6" pop ups.
 - Rotoe Heads to be installed with sch. 40 swing joints.
 - 1" Double Check, Wye strainer, and brass ball valve to be installed per City of Rockwall code.
 - Remote control Valves to be mounted in 10" (min.) round plastic boxes.
 - PVC ball valves (same size as supply to remote control valve) are to be installed between main line and remote control valve (in 10" valve boxes) for isolation of valve.
 - Main line pipe to have a minimum of 12" cover.
 - Lateral lines to have a minimum of 8" cover in grass areas and 12" in bed areas.
 - Remote Control Valves are to be Irritrol 200B / Irritrol 205 or Rainbird FEB/DV valves sized on plan.
 - Valve control wires to be different color for each valve and installed with coils at turns and slack to prevent stretching. A spare wire is to be run to each valve for future use and labeled as such.
 - Quick couplers to be Rainbird 44RC installed in 10" valve box (with ball valve).
 - Spray heads are Rainbird 1800 series (4" grass, 6"/12" ground cover pop ups) and shrub adapters on 24-36" sch. 80 risers with flex connection at base.
 - All pipe under concrete are to be in sch.40 pvc sleeves sized twice the diameter of the pipe to be sleeved.
 - Contractor to be responsible for verifying size of irrigated areas and static pressure reporting any conflict to owner. Coverage is to be 100%.

System is designed for 55 psi static pressure. Pressure less than the designed pressure will require adjustments to the design. Contractor is to review plan and contact designer with any discrepancies prior to construction. Velocities are not to exceed 5 ft. per second. Plan is diagrammatic. Coverage is to be 100% except in State ROW and in areas where bubblers are used.

One 1" valve is shown on plan to be used for tree bubbler zone. One .5 gpm flood bubbler is to be installed at each tree location (25 trees) and one .25 gpm at each ornamental tree (6) on a minimum of 4" flex pipe. Pipe is to be sized to achieve volume needed and not to exceed 5 fps. Bubbler zone pipe to be 1" purple pvc. Except 1-1/4" from valve to tee as shown.

Note: Irrigation heads located in the playground areas are subject to change depending on actual design. The spray zone along the back of the building may need to be used in the playground area as well.

- Irritrol 200B/205 or Rainbird PEB/DV Series Electric Remote Control Valve (RCV)
- Rainbird 1800 PRS Series Spray Head (4") (15V indicates 15' radius, adj. pattern (Hunter Nozzle), 12H indicates 12' radius, 180 degree pattern, V indicates Hunter Nozzle, etc.)
- Hunter SST Side Strip, EST End Strip 15', LCS, RCS, Etc.
- Rainbird 1800PRS Series w/ Stream Bubbler 5CST-B Nozzles
- Rainbird 1800PRS 12" High Pop
- ▼ Rainbird 3/4" Quick Coupler (QC)
- Hunter PGP Ultra Rotor Head w/#3.0 nozzle mounted using swing joint
- ◎ Hunter PGP Ultra Rotor Head w/#2.0SR nozzle mounted using swing joint
- Double Check Assembly (DCA) with Y Strainer and Ball Valve per State Regulations
- ☒ Controller with Rain/Freeze Sensor (see notes)

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CASE #: SP2016-021

IRRIGATION PLAN

WOODBRIE MONTESORRI ACADEMY OF ROCKWALL

3100 Stone Creek Dr.
MONTESSORRI SCHOOL ADDITION
City of Rockwall, Rockwall County, Texas 75087

development
VINOD SHARMA
436 Quail Creek Drive, Murphy Texas 75094
510 364-3007

BILL SHARP L.L. 2508
1129 HUNTINGTON DR.
RICHARDSON, TEXAS 75080 (972.978.6172)

PROJECT NO.: 2016-12 REG NO.: F-2567
date: scale: sheet:
1" = 20' **L102**

