

# SITE IMPROVEMENT PLANS

for

## VET CLINIC

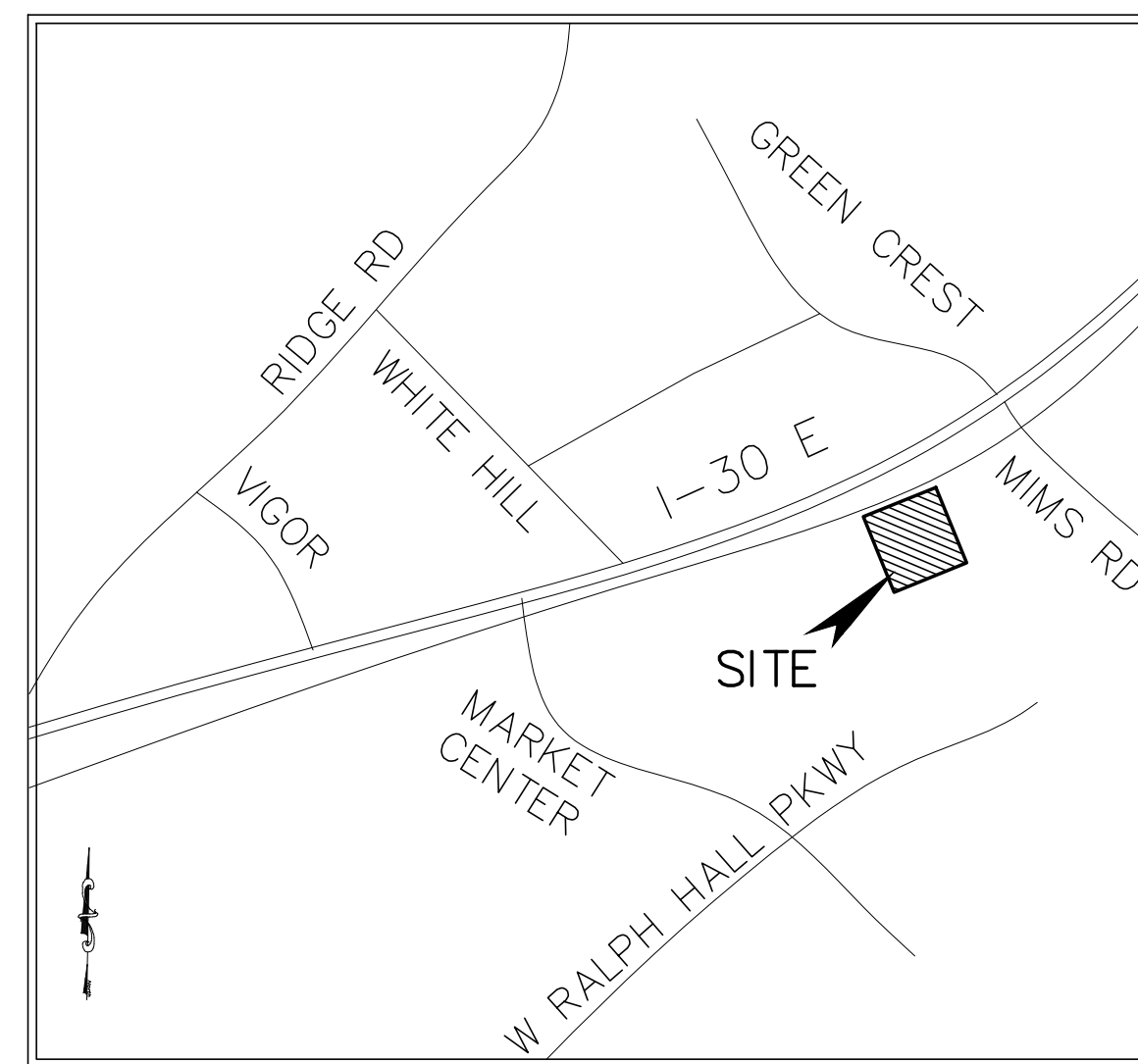
828 ROCHELLE COURT

Lot 8, BLOCK A, 0.942 Acres

City of Rockwall

Rockwall County, Texas

### INDEX



Location Map

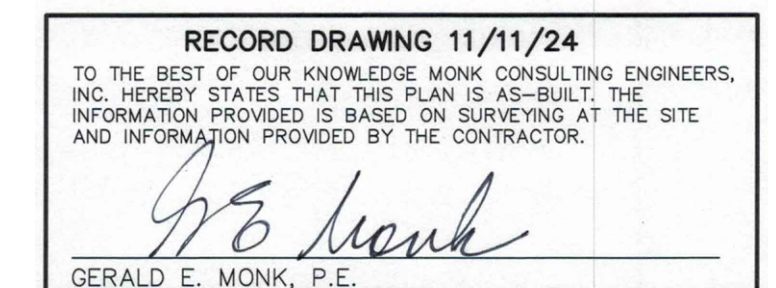
SHEET NO.	DESCRIPTION
C100	Cover Sheet Plat
C101	Overall Site & Demolition Plan
C102	Dimension Control & Paving Plan
C103	Site Utility Plan
C104	Grading & Drainage Plan
C105	Erosion Control Plan
A100	Architectural Site Plan/Landscape Plan
D101	Site Details General City Notes

OWNER:  
 DR. KEITH WEBB  
 2703 Market Center  
 Rockwall, Texas 75032

ENGINEER:  
**MONK CONSULTING ENGINEERS, INC.**

**GERALD E. MONK, P.E.**

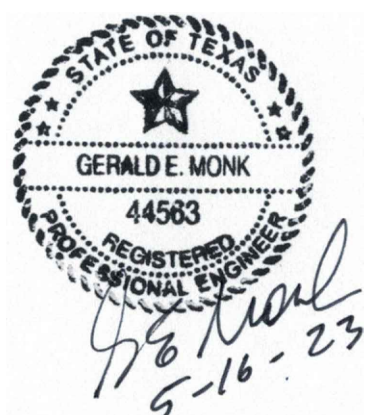
1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761  
 jerry@monkconsulting.com  
 REG. NO.: F-2567



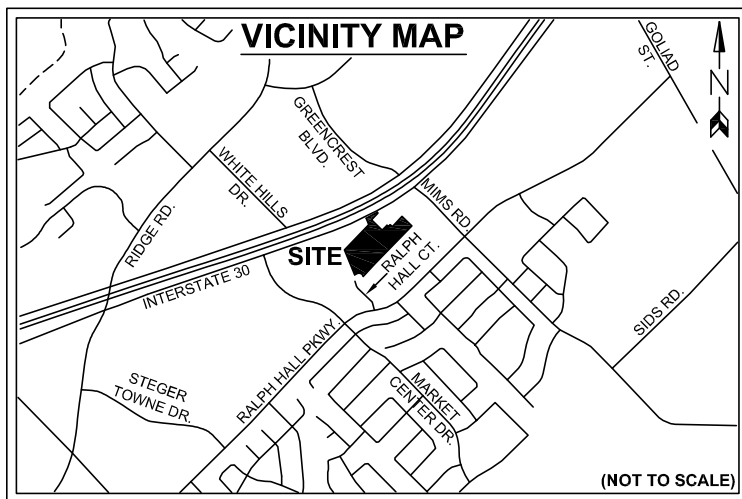
CASE #: E2023-011

SUBMITTAL DATE:

1 <sup>st</sup>	

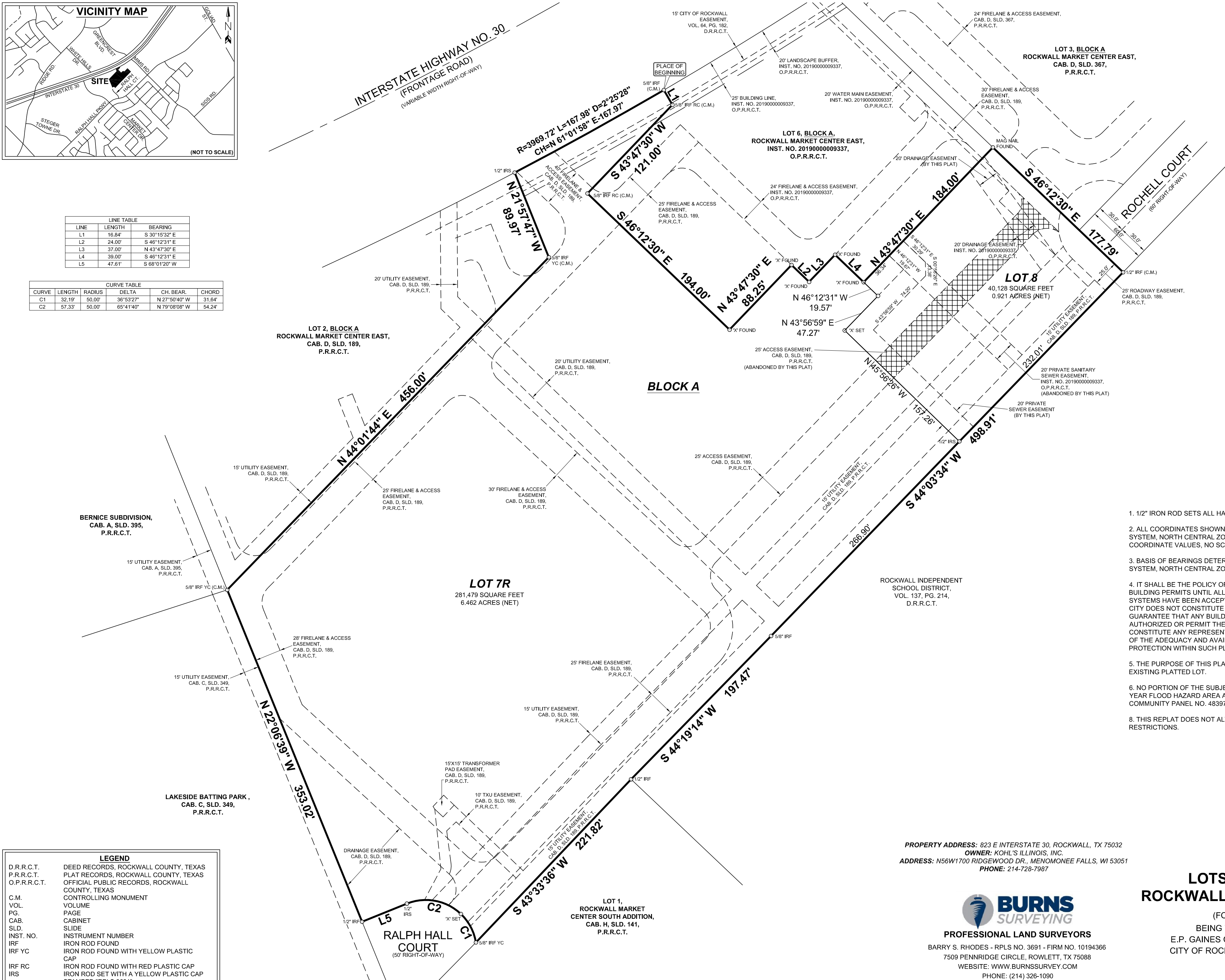
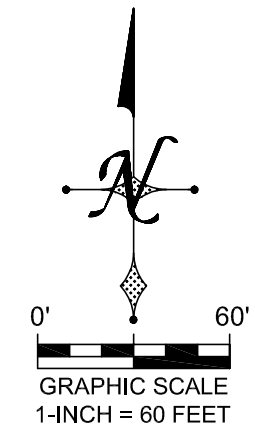


NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #'S	DATED
1			



LINE	LENGTH	BEARING
L1	16.84'	S 30°15'32" E
L2	24.00'	S 46°12'31" E
L3	37.00'	N 43°47'30" E
L4	39.00'	S 46°12'31" E
L5	47.61'	S 68°01'20" W

CURVE	LENGTH	RADIUS	DELTA	CH. BEAR.	CHORD
C1	32.19'	50.00'	36°53'27"	N 27°50'40" W	31.84'
C2	57.33'	50.00'	65°41'40"	N 79°08'08" W	54.24'



- NOTES**
- 1/2" IRON ROD SETS ALL HAVE A YELLOW PLASTIC CAP STAMPED "R.P.L.S. 3691".
  - ALL COORDINATES SHOWN ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
  - BASIS OF BEARINGS DETERMINED BY TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (2011).
  - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54
  - THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) PLATTED LOTS FROM AN EXISTING PLATTED LOT.
  - NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED 09/26/2008, ZONE X.
  - THIS REPLAT DOES NOT ALTER OR REMOVE ANY EXISTING COVENANTS OR RESTRICTIONS.

**LEGEND**

D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
C.M.	CONTROLLING MONUMENT
VOL.	VOLUME
PG.	PAGE
CAB.	CABINET
SLD.	SLIDE
INST. NO.	INSTRUMENT NUMBER
IRF	IRON ROD FOUND
IRF YC	IRON ROD FOUND WITH YELLOW PLASTIC CAP
IRF RC	IRON ROD FOUND WITH RED PLASTIC CAP
IRS	IRON ROD SET WITH A YELLOW PLASTIC CAP STAMPED "RPLS 3691"

PROPERTY ADDRESS: 823 E INTERSTATE 30, ROCKWALL, TX 75032  
 OWNER: KOHL'S ILLINOIS, INC.  
 ADDRESS: N56W1700 RIDGEWOOD DR., MENOMONEE FALLS, WI 53051  
 PHONE: 214-728-7987



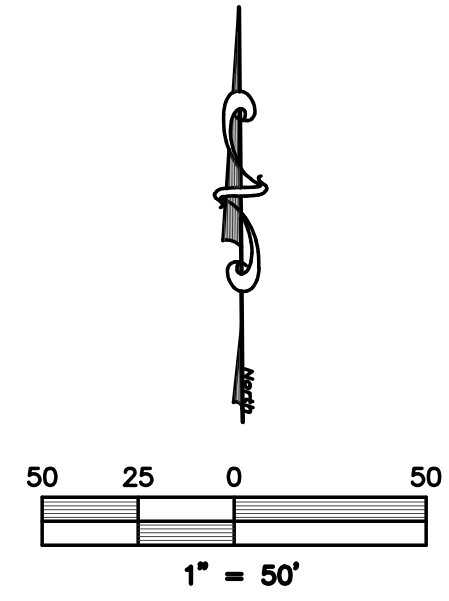
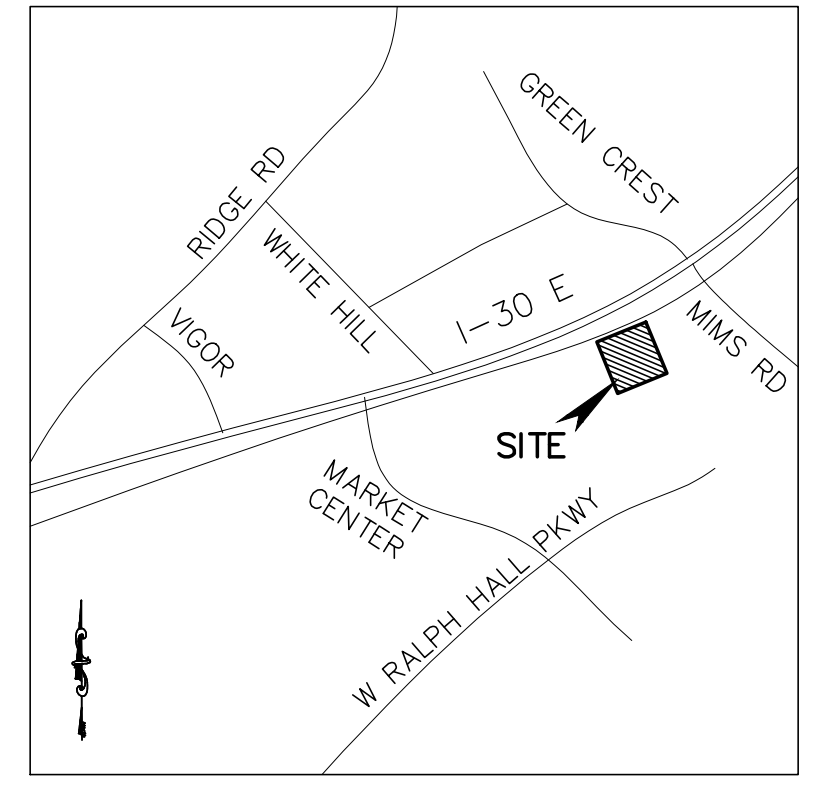
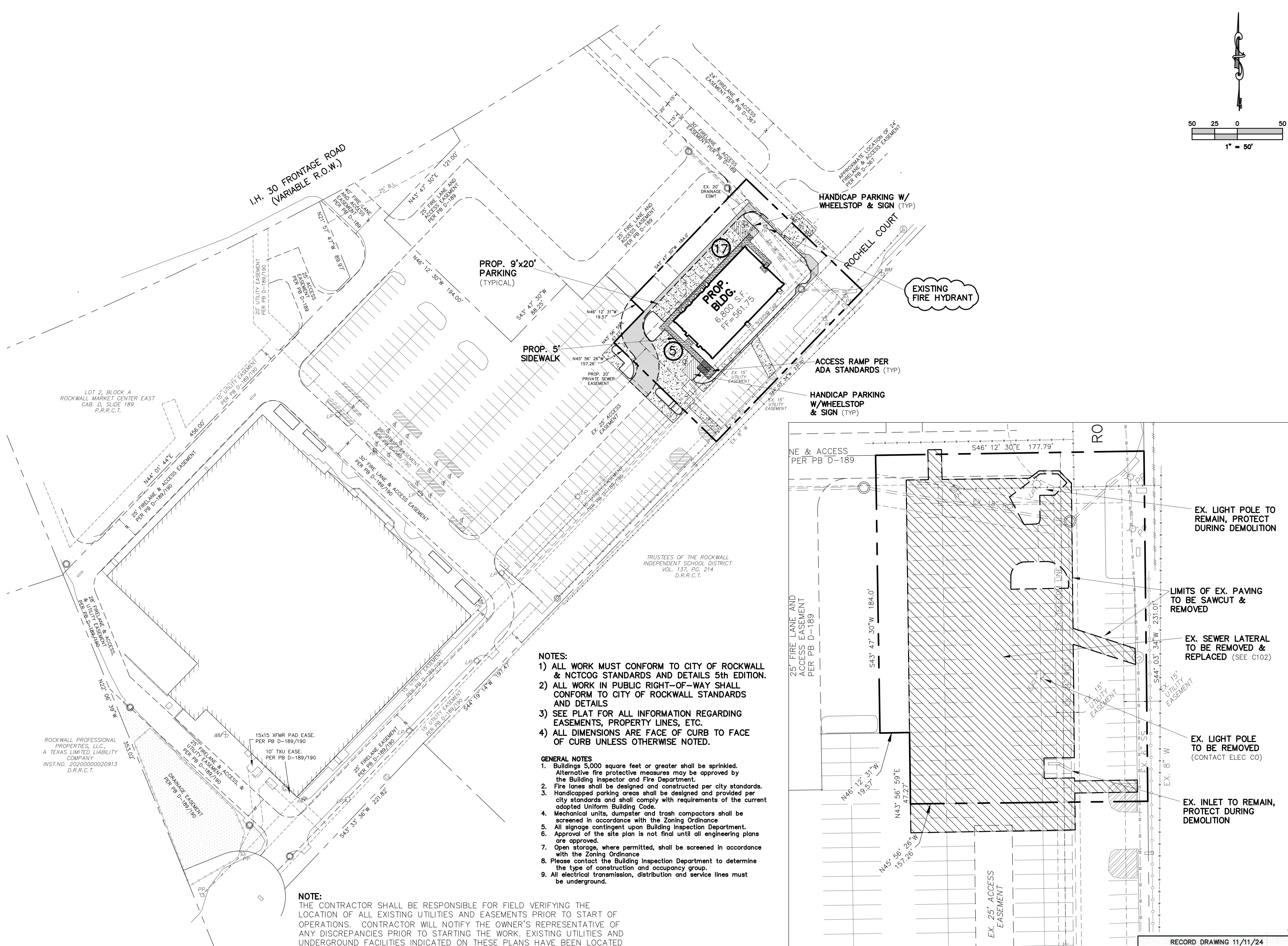
**PROFESSIONAL LAND SURVEYORS**  
 BARRY S. RHODES - RPLS NO. 3691 - FIRM NO. 10194366  
 7509 PENNBRIDGE CIRCLE, ROWLETT, TX 75088  
 WEBSITE: WWW.BURNSURVEY.COM  
 PHONE: (214) 326-1090  
 JOB NO.: 202300281 DATE: 02/09/2023 DRAWN BY: TD

**REPLAT**  
**LOTS 7R & 8, BLOCK A,**  
**ROCKWALL MARKET CENTER EAST**

(FORMERLY LOT 7, BLOCK A)  
 BEING 7.383 ACRES LOCATED IN THE  
 E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64,  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NO. \_\_\_\_\_

FEBRUARY 9, 2023





**LEGEND**

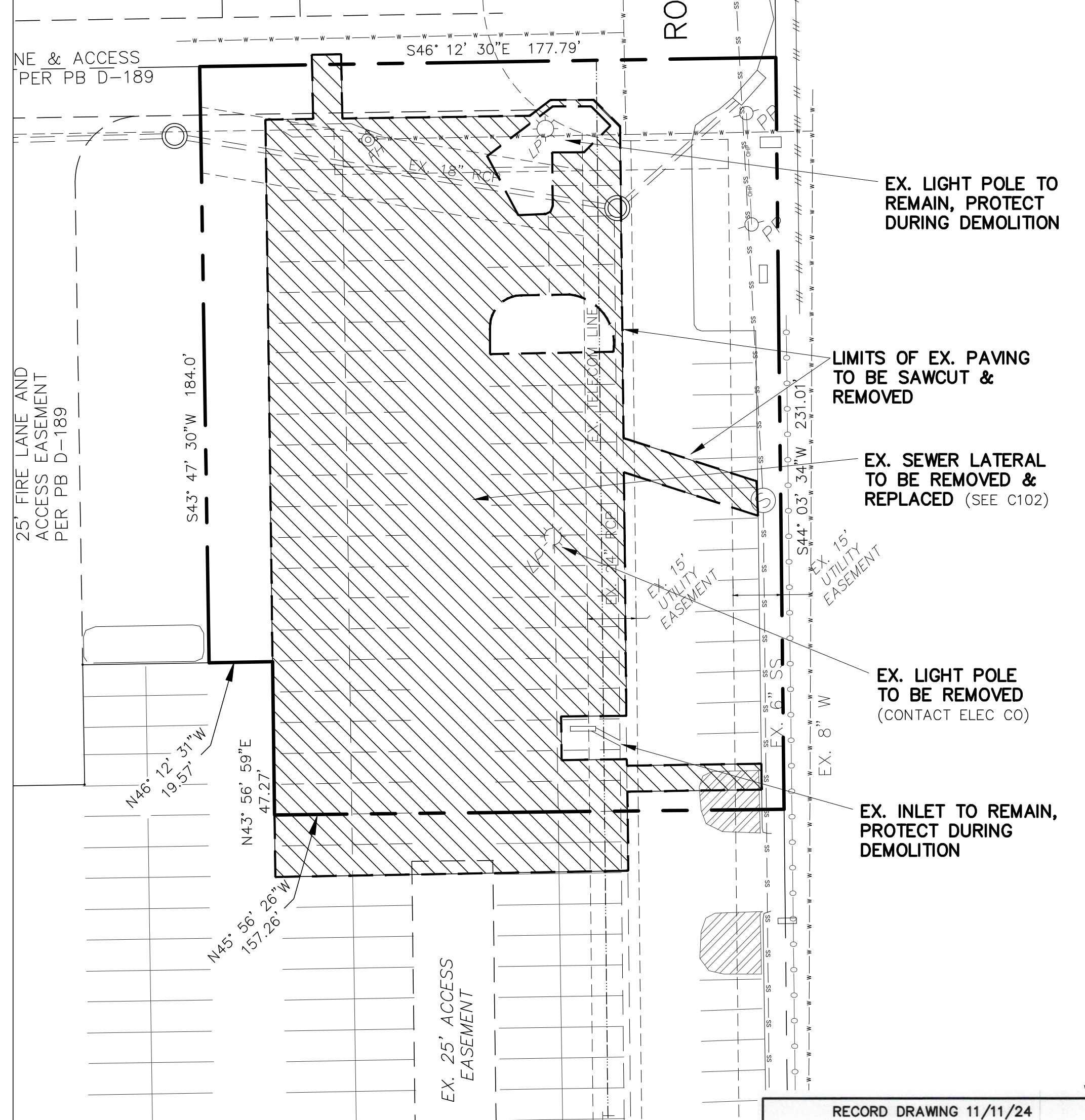
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- min = MINIMUM
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- [Pattern] = PROPOSED 7" PAVING
- [Pattern] = PROPOSED 6" PAVING
- [Pattern] = PROPOSED 4" PAVING

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.

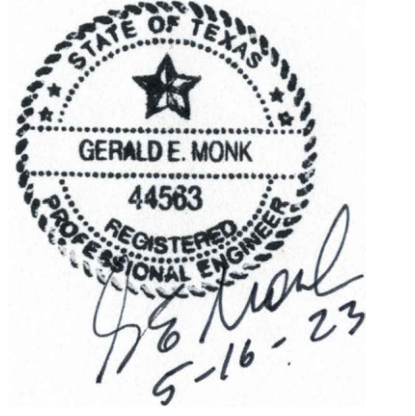
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**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.



**DEMOLITION PLAN**  
 SCALE: 1" = 30'

RECORD DRAWING 11/11/24  
 TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT; THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
*Gerald E. Monk*  
 GERALD E. MONK, P.E.



CASE #: E2023-011

**OVERALL SITE & DEMOLITION PLAN**

**VET CLINIC**

828 ROCHELLE COURT  
 ROCKWALL MARKET CENTER EAST  
 LOT 8, BLOCK A, 0.942 Acres  
 City of Rockwall, Rockwall County, Texas

owner  
**DR. KEITH WEBB**  
 2703 Market Center  
 Rockwall, Texas 75032

prepared by  
**MONK CONSULTING ENGINEERS, INC.**  
 1200 W. State Street, Garland Texas 75040  
 972 272-1763 Fax 972 272-8761

REG NO.: F-2567  
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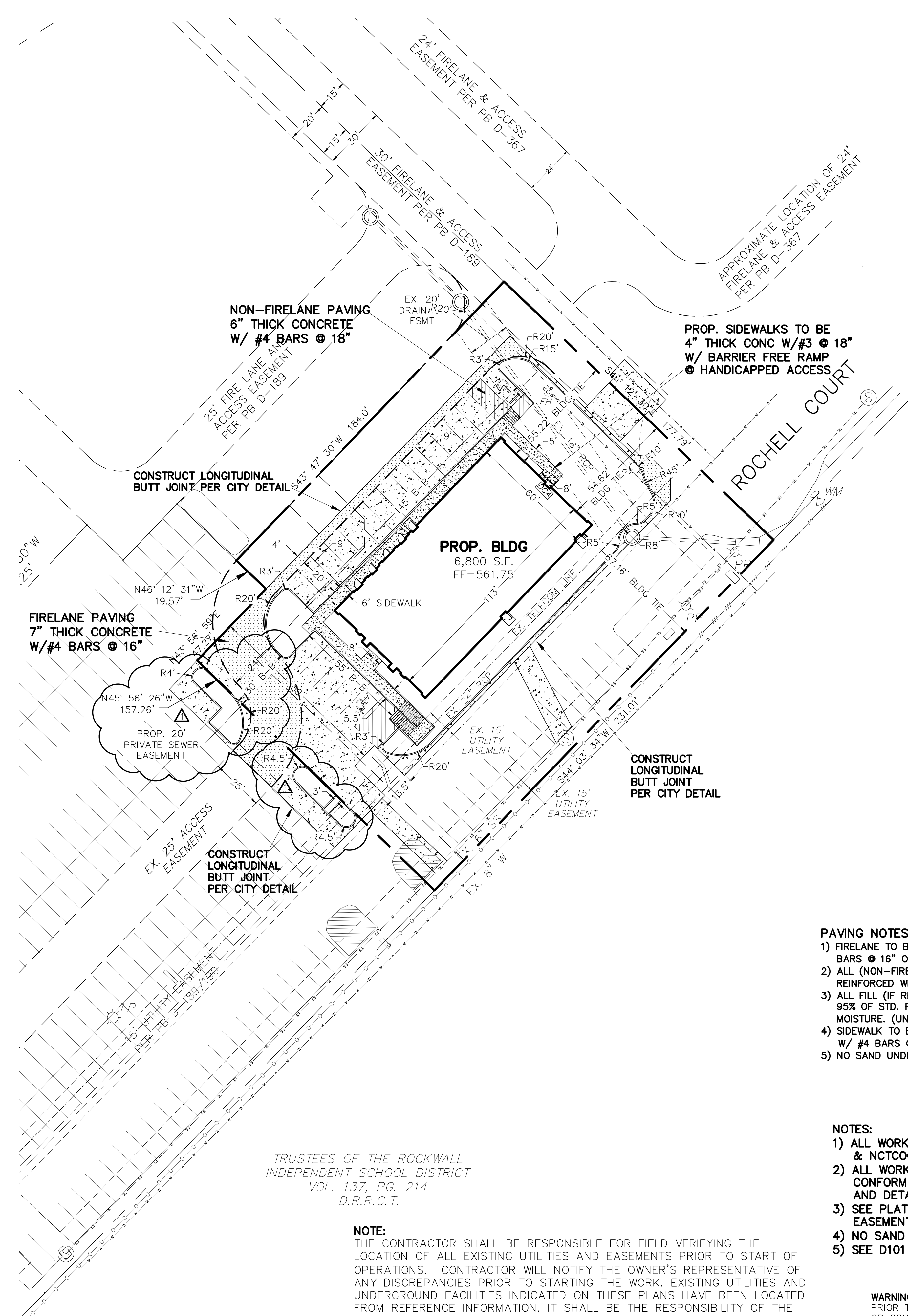
date: 5/16/23 scale: VARIES sheet: C101

ROCKWALL PROFESSIONAL PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY  
 INST. NO. 2020000020913 D.R.R.C.T.

I.H. 30 FRONTAGE ROAD (VARIABLE R.O.W.)

TRUSTEES OF THE ROCKWALL INDEPENDENT SCHOOL DISTRICT  
 VOL. 137, PG. 214 D.R.R.C.T.



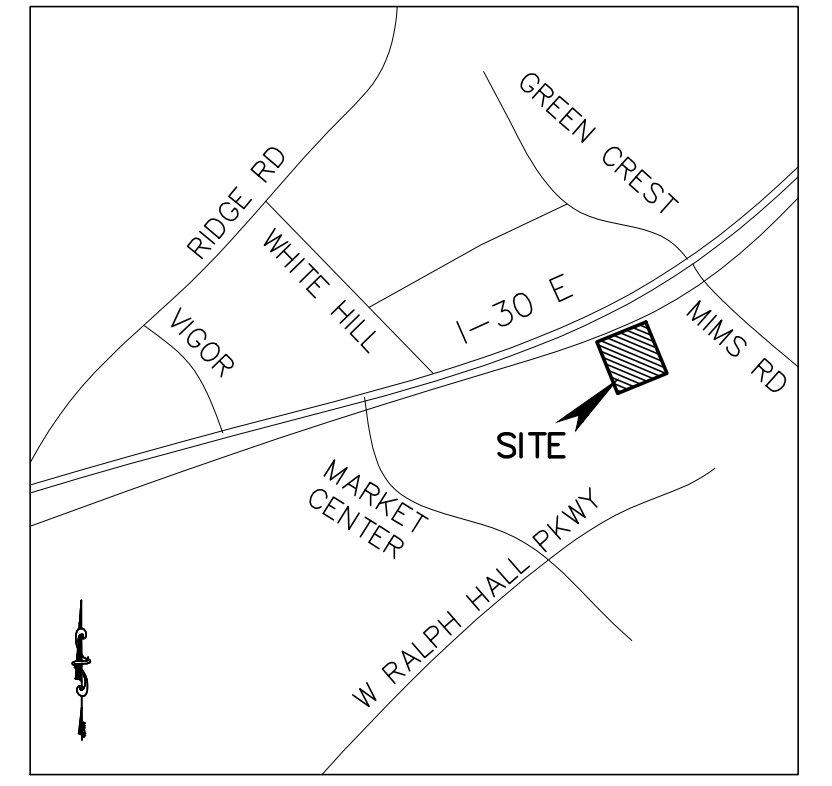
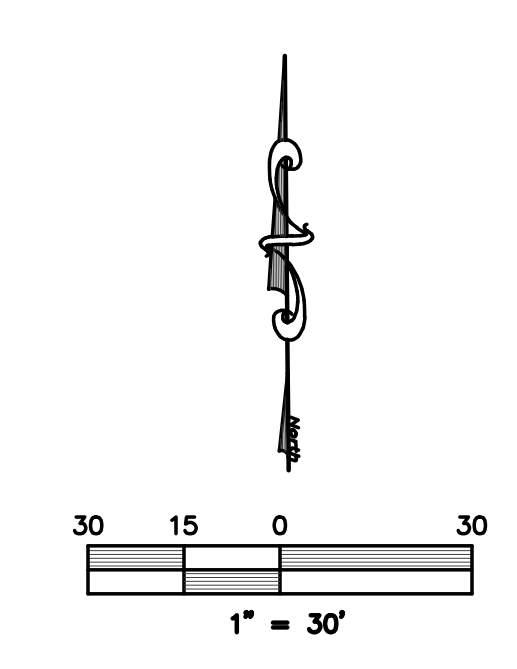


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- PAVING NOTES:**
- 1) FIRELANE TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #4 BARS @ 16" ON CENTER. (O.C.)
  - 2) ALL (NON-FIRELANE) PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 6 SACK MIX IN R.O.W. W/ #4 BARS @ 24" O.C.
  - 5) NO SAND UNDER PAVING.

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  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) NO SAND UNDER SIDEWALKS.
  - 5) SEE D101 FOR MORE DETAILS

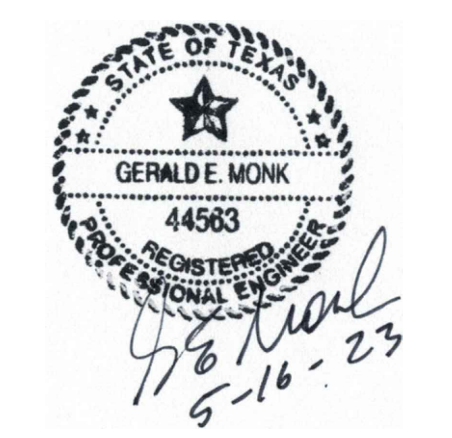
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LOCATION MAP  
(NOT TO SCALE)

**LEGEND**

- = PROPERTY LINE
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- revised date:  
 5/18/23 Moved parking islands outside of property line.



CASE #: E2023-011

**DIMENSION CONTROL & PAVING PLAN**

**VET CLINIC**

828 ROCHELLE COURT  
 ROCKWALL MARKET CENTER EAST  
 LOT 8, BLOCK A, 0.942 Acres  
 City of Rockwall, Rockwall County, Texas  
 owner  
**DR. KEITH WEBB**  
 2703 Market Center  
 Rockwall, Texas 75032

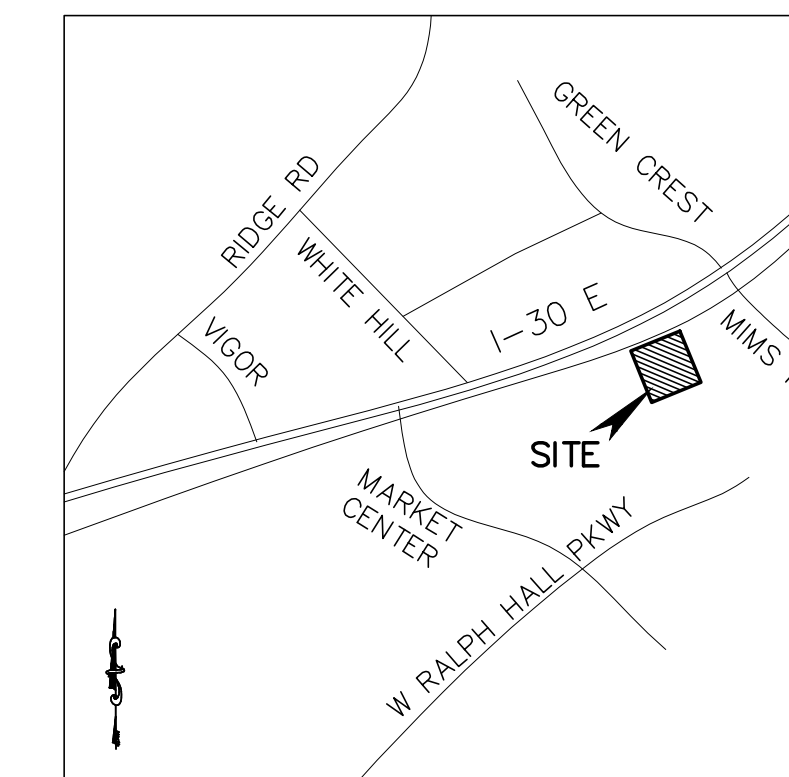
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**RECORD DRAWING 11/11/24**  
 TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT; THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
 GERALD E. MONK, P.E.

date: 5/16/23 scale: 1" = 30' sheet: C102





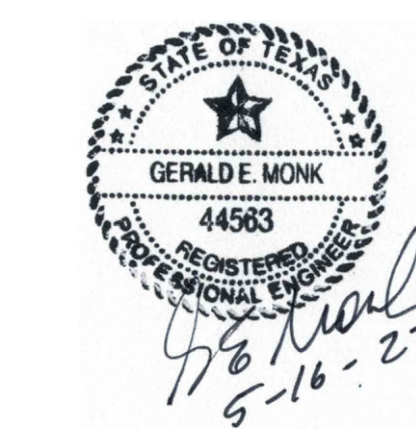
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- max = MAXIMUM

revised date:

- △ 5/18/23 Moved parking islands outside of property line. Added manhole.
- △ 8/21/23 Revised sewer profile based on existing field conditions. Added encasement.



CASE #: E2023-011

UTILITY PLAN

VET CLINIC

828 ROCHELLE COURT  
ROCKWALL MARKET CENTER EAST  
LOT 8, BLOCK A, 0.942 Acres  
City of Rockwall, Rockwall County, Texas  
owner  
**DR. KEITH WEBB**  
2703 Market Center  
Rockwall, Texas 75032

prepared by

**MONK CONSULTING ENGINEERS, INC.**  
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972 272-1763 Fax 972 272-8761

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date: 5/16/23 scale: 1" = 50' sheet: C103

INSTALL 85 LF OF PRIVATE 6" SDR-35 WASTEWATER LATERAL W/ DBL CLEANOUT @ CONNECTION (SEE PROFILE)

VERIFY DEPTH OF EX. SEWER IN FIELD. CONTACT ENGINEER IF ANY DISCREPANCIES

INSTALL DBL CHECK ASSEMBLY IN BLDG W/ FIRE DEPT. CONNECTION ON 4" FIRE LINE

VERIFY LOCATION OF FIRE CLOSET PER ARCH PLANS

STA: 2+20  
INSTALL STD. 4' SS MANHOLE  
TOP = 560.0  
FL = 555.66  
(SEE PROFILE)

STA: 1+36  
INSTALL STD. 4' SS MANHOLE  
TOP = 559.0  
FL (IN) = 555.10  
FL (OUT) = 555.0  
(SEE PROFILE)

ENCASE SEWER ANYWHERE COVER IS LESS THAN 3.5'

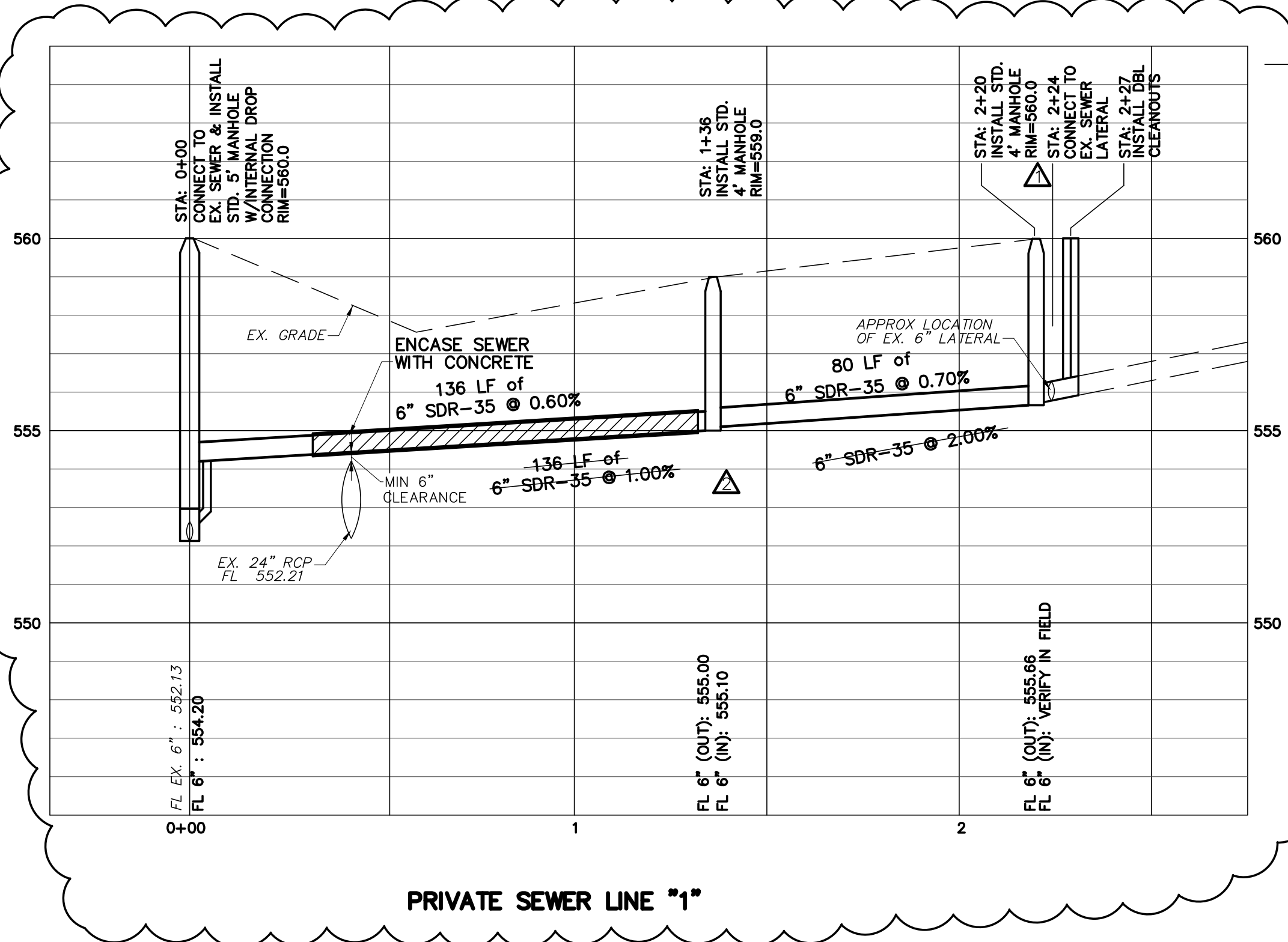
STA: 0+00  
CONNECT TO EX. 6" SEWER LINE & INSTALL STD. 5' MH W/DROP CONNECT.  
RIM ELEV. = 560.0  
FL (OUT) = 554.20  
EX. FL ELEV. = 552.13  
(VERIFY IN FIELD)

CONNECT TO EX. MANHOLE & INSTALL 63 LF EACH OF PRIVATE 6" SDR-35 WASTEWATER LATERAL W/ DBL CLEANOUT 5' FROM BLDG & @ MANHOLE  
EX RIM = 561.6  
EX FL ELEV = 551.1  
CONTRACTOR TO PROVIDE TRENCH SAFETY DETAIL

FOR FIRE SPRINKLER INSTALL:  
65 LF OF 6" PVC CLASS 200  
(1) 8"x6" TEE  
(1) 6" VALVE

FOR DOMESTIC SERVICE INSTALL:  
(1) 8"x2" TEE  
(1) 8" VALVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ESMT & TESTABLE BACKFLOW PREVENTOR (IN GRASS)

\*\*\*CAUTION\*\*\*  
EX. UNDERGROUND TELECOM LINE TO BE PROTECTED DURING CONSTRUCTION



PRIVATE SEWER LINE "1"

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  - 4) ALL WATER & SEWER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
  - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
  - 6) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.
  - 7) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION.
  - 8) CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE SANITARY SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
  - 9) ALL MANHOLES TO BE RAVEN LINED OR CONSHIELD LINER (TERRA COTTA COLOR).
  - 10) WATER LINE: DR14 C-900 CLASS 200

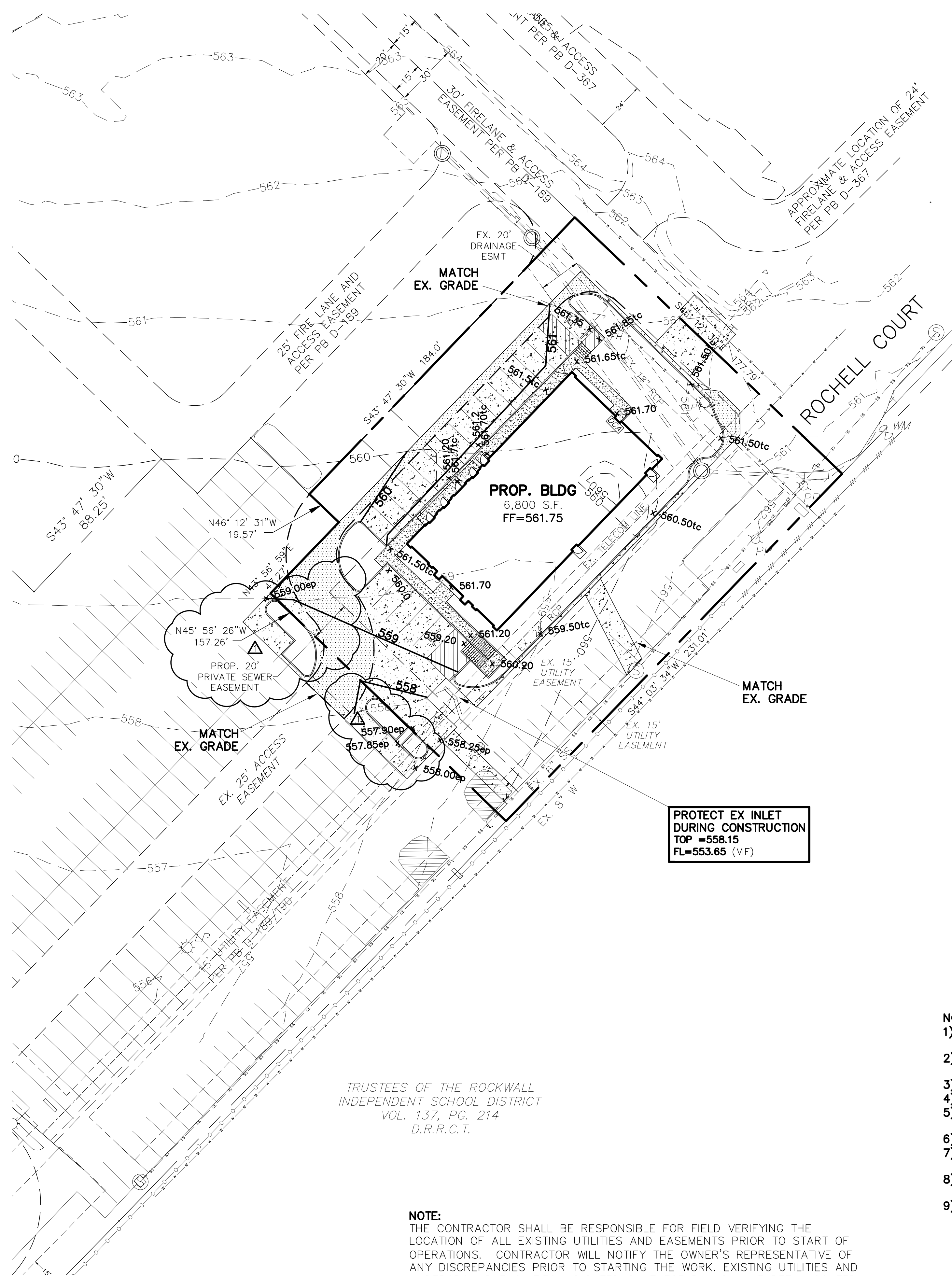
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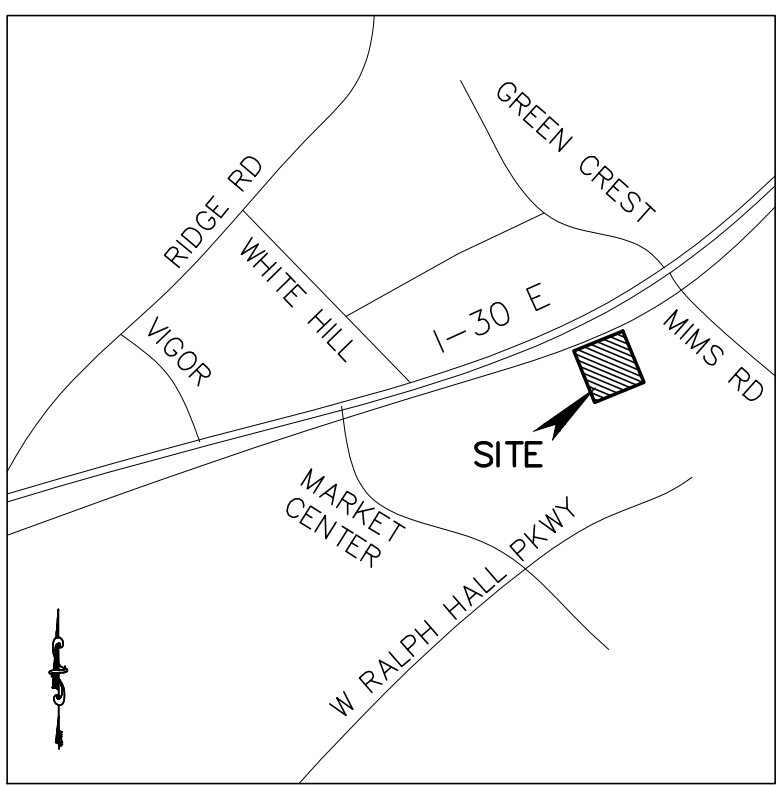
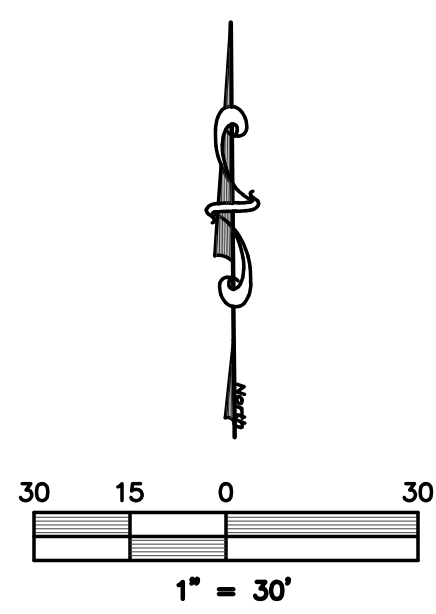
TRUSTEES OF THE ROCKWALL INDEPENDENT SCHOOL DISTRICT  
VOL. 137, PG. 214  
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**\*\* NOTICE TO CONTRACTORS \*\***  
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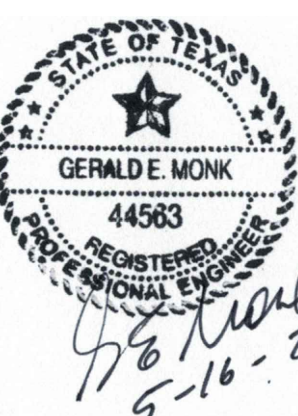


LOCATION MAP  
(NOT TO SCALE)

**LEGEND**

- = PROPERTY LINE
- 60.3 = EXISTING CONTOURS
- 60.3 = PROPOSED CONTOURS
- x 603.00 TC or x 602.50 ep = PROPOSED SPOT GRADES  
tc = TOP OF CURB  
ep = EDGE OF PAVEMENT
- SS-SS = EXISTING SANITARY SEWER LINE
- W-W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- TWV = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM

revised date:  
 5/18/23 Moved parking islands outside of property line.



CASE #: E2023-011

**GRADING & DRAINAGE PLAN**

**VET CLINIC**

828 ROCHELLE COURT  
 ROCKWALL MARKET CENTER EAST  
 LOT 8, BLOCK A, 0.942 Acres  
 City of Rockwall, Rockwall County, Texas  
 owner  
**DR. KEITH WEBB**  
 2703 Market Center  
 Rockwall, Texas 75032

prepared by  
**MONK CONSULTING ENGINEERS, INC.**  
 1200 W. State Street, Garland Texas 75040  
 972 272-1763 Fax 972 272-8761

REG NO.: F-2567  
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date: 5/16/23 scale: 1" = 50' sheet: C104

TRUSTEES OF THE ROCKWALL  
 INDEPENDENT SCHOOL DISTRICT  
 VOL. 137, PG. 214  
 D.R.R.C.T.

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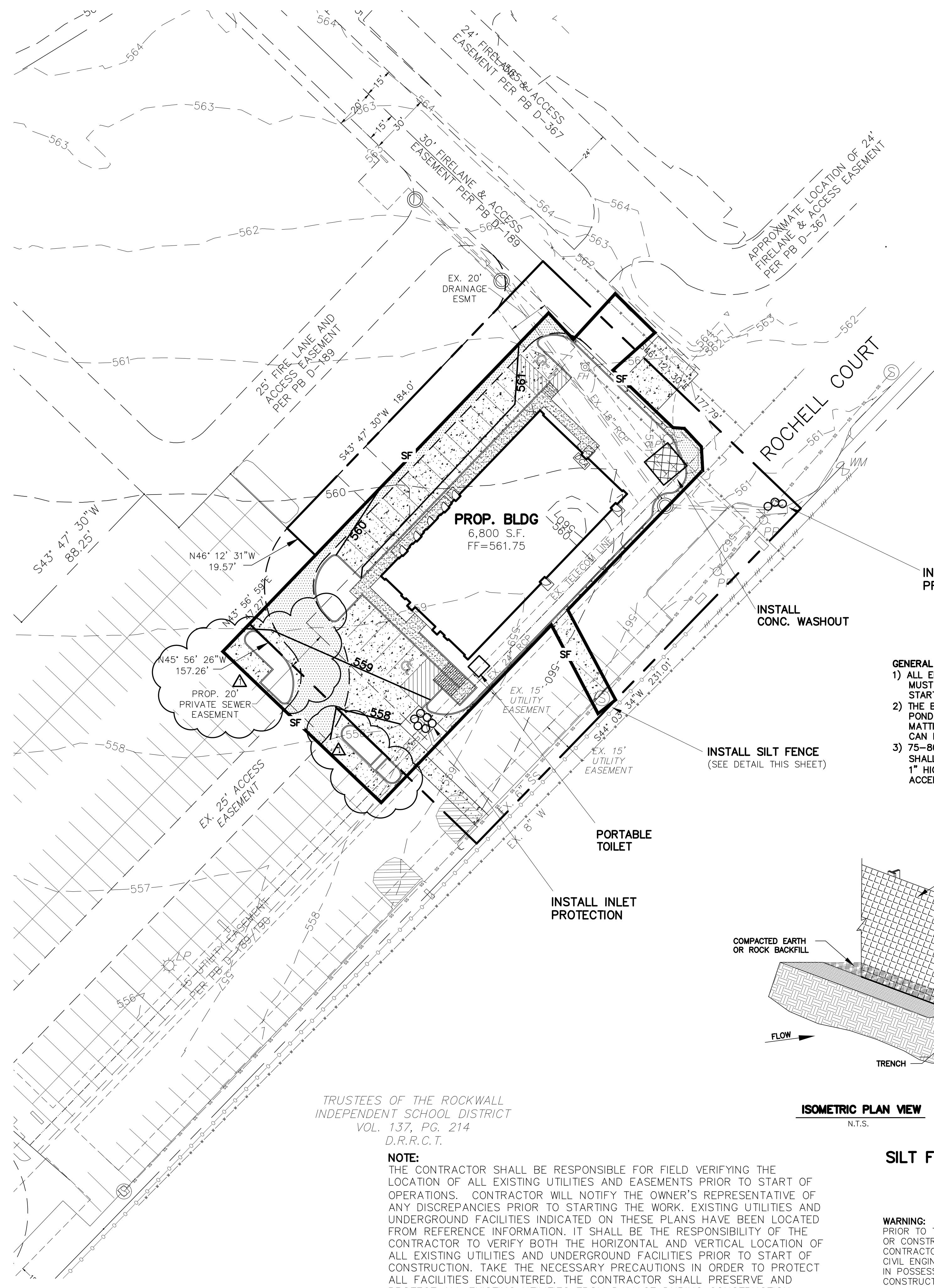
**PROTECT EX INLET DURING CONSTRUCTION**  
 TOP = 558.15  
 FL = 553.65 (VIF)

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - 5) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
  - 6) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
  - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
  - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.
  - 9) ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STD DENSITY USING A SHEEP'S FOOT ROLLER.

**WARNING:**  
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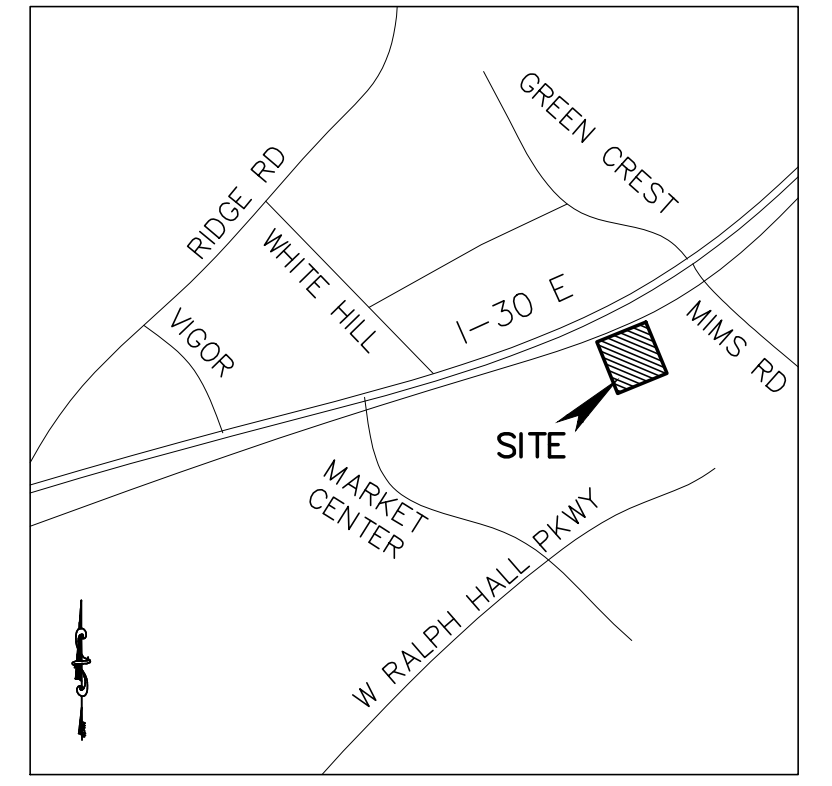
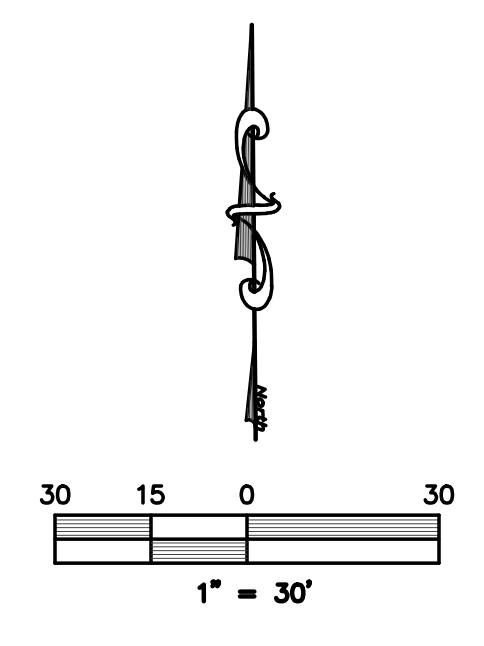
RECORD DRAWING 11/11/24  
 TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT; THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
 GERALD E. MONK, P.E.





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LOCATION MAP  
(NOT TO SCALE)

**LEGEND**

- = PROPERTY LINE
- SF = SILT FENCE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- SS-SS = EXISTING SANITARY SEWER LINE
- W-W = EXISTING WATER LINE
- ⊕ = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- ☼ = EXISTING LIGHT POLE
- T<sub>WV</sub> = EX. WATER VALVE
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**NOTES:**

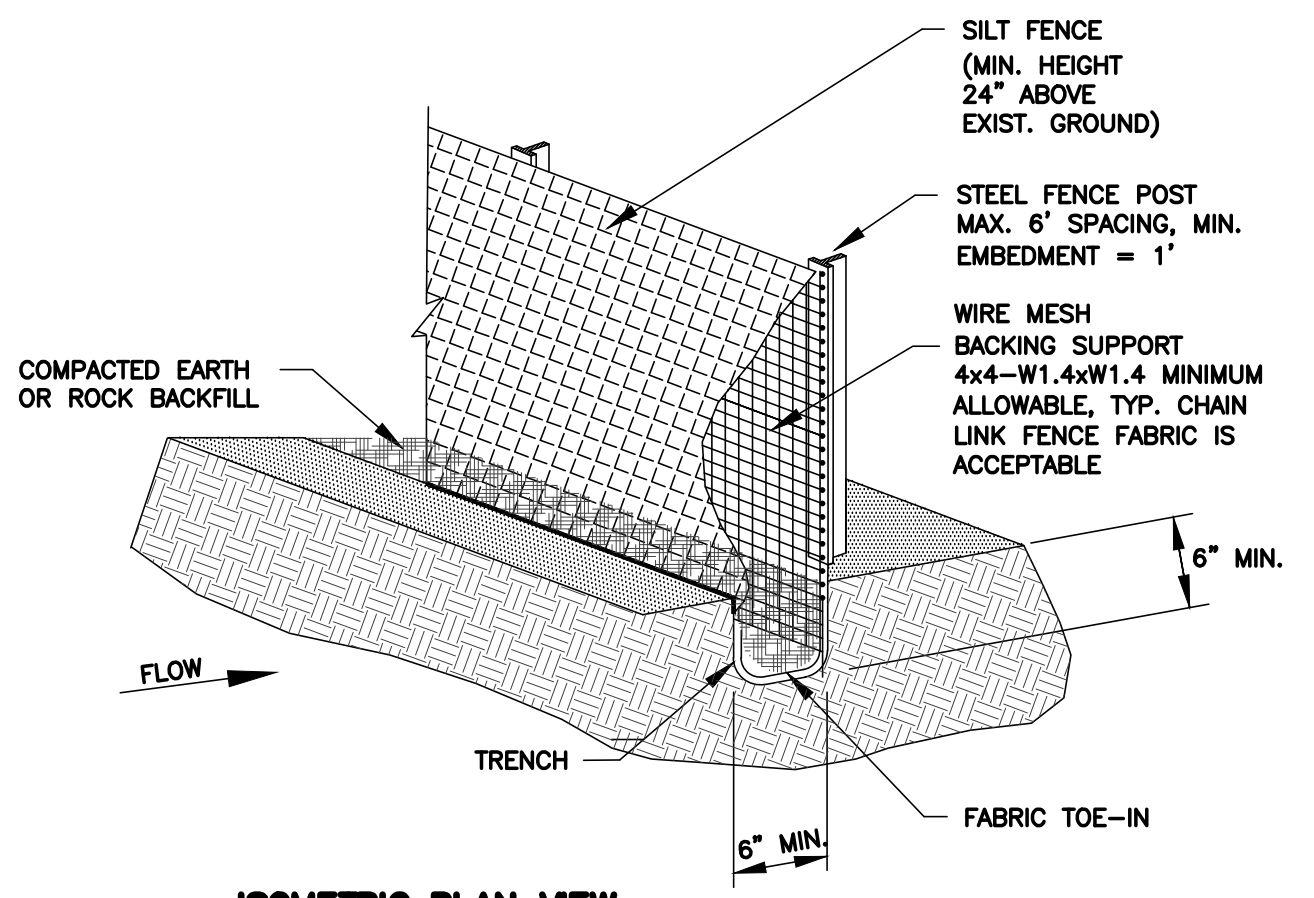
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- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 5) ALL CURB INLETS MUST BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING STORM SYSTEM.
- 6) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION
- 7) THERE ARE NO ONSITE OR ADJACENT SURFACE WATERS OR WETLANDS
- 8) 75-80% OF ALL DISTURBED AREA TO HAVE A MIN. 1" TALL GRASS ESTABLISHED PRIOR TO ENGINEERING ACCEPTANCE.
- 9) ALL CITY R.O.W. MUST BE SODDED IF DISTURBED.

**GENERAL NOTES:**

- 1) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION.
- 2) THE BOTTOM & SIDES OF DETENTION POND SHALL BE SODDED OR SEEDED MATTING ANCHORED BEFORE PAVING CAN BEGIN.
- 3) 75-80% OF ALL DISTURBED AREAS SHALL BE ESTABLISHED W/MIN. OF 1" HIGH GRASS PRIOR TO CITY ACCEPTANCE.

**SILT FENCE GENERAL NOTES:**

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



ISOMETRIC PLAN VIEW  
N.T.S.

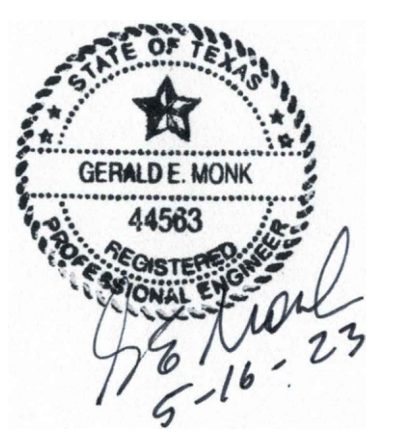
**SILT FENCE**

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TRUSTEES OF THE ROCKWALL  
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revised date:  
5/18/23 Moved parking islands outside of property line.



CASE #: E2023-011  
**EROSION CONTROL PLAN**

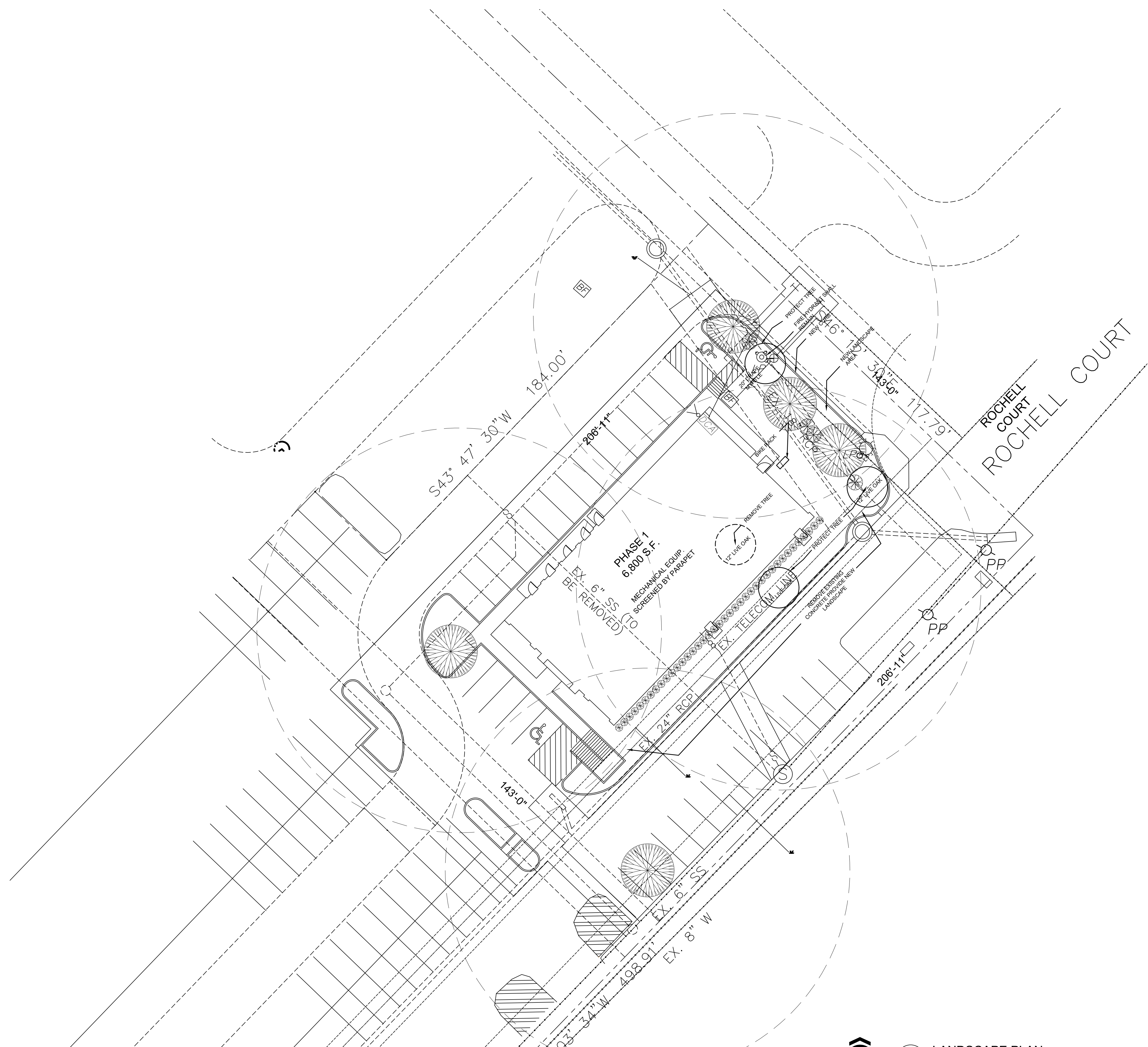
**VET CLINIC**

828 ROCHELLE COURT  
ROCKWALL MARKET CENTER EAST  
LOT 8, BLOCK A, 0.942 Acres  
City of Rockwall, Rockwall County, Texas  
owner  
**DR. KEITH WEBB**  
2703 Market Center  
Rockwall, Texas 75032

prepared by  
**MONK CONSULTING ENGINEERS, INC.**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761  
REG NO.: F-2567  
©2023 by Monk Consulting Engineers, Inc., All Rights Reserved.  
date: 5/16/23 scale: 1" = 50' sheet: C105

RECORD DRAWING 11/11/24  
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT; THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.  
*Gerald E. Monk*  
GERALD E. MONK, P.E.





**1** LANDSCAPE PLAN  
SCALE: 1" = 20'-0"

SITE DATA TABLE	
SITE AREA	0.824 ACRES (35,917 S.F.)
SHARED ACCESS EASEMENT	6,300 S.F.
ORDINANCE SITE PLAN AREA	29,617 S.F.
ZONING	(C) COMMERCIAL
PROPOSED USE	BUSINESS
BUILDING AREA #1:	6,800 S.F.
LOT COVERAGE (GROSS AREA)	23.0%
FLOOR TO AREA RATIO	2.3 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	29,617 S.F.
REQUIRED LANDSCAPE AREA-- 20% OF 29,617 S.F.	5,923 S.F.
PROVIDED LANDSCAPE AREA-- 23% OF 29,617 S.F.	6,812 S.F.
IMPERVIOUS COVERAGE-- 77% OF 29,617 S.F.	22,805 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
  - Tree mitigation for this project for existing trees on this property.
  - All perimeter parking are within 50'-0" of a shade tree.
  - No trees within 5' of public utilities less than 10'.
  - No trees within 10' of public utilities 10" or greater

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 6" CALIPER	
CEDAR ELM (MIN. 6" CALIPER)	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
EYE'S NECKLACE (MIN. 4" TALL)	EXISTING TREE OR SHRUBBERY

**TREE MITIGATION NOTES:**

REMOVED - (1) EXISTING 12"  
PROPOSED - ADDITIONAL 30"

- GENERAL NOTES:**
1. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  3. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  5. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  6. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  7. ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  8. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  9. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  10. ALL PARKING SPACES ARE WITHIN 80' OF A TREE
  11. THERE IS AN EXISTING SEWER EASEMENT @ REAR OF BOTH BUILDINGS. THIS DOES NOT ALLOW TREES TO BE PLANTED BEHIND THESE BUILDINGS.

<b>PET DOCTOR</b>	
LEGAL DESCRIPTION AND OR ADDRESS: ROCKWALL MARKET CENTER EAST LOT 1, BLOCK A E.P. GAINES CHISUM SURVEY, ABSTRACT NO.64 City of Rockwall, Rockwall County, Texas	
OWNER Dr. Keith Webb Pet Doctor Veterinary Hospital 2703 Market Center Rockwall, TX 75032	
APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-064	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.	
WITNESS OUR HANDS, this _____ day of _____, 2022.	
Planning & Zoning Commission, Chairman	
Director of Planning and Zoning	

ISSUE:									
OWNER REVIEW:	02-09-2023								
PERMIT:	03-15-2023								
CITY REVIEW:	05-02-2023								

**MAY 13, 2023**

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PET DOCTOR

828 Rochell Ct.  
Rockwall, Texas 75087

PET DOCTOR  
DR. WEBB

**CARROLL architects**

750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

LANDSCAPE PLAN

DATE:	DEC 2022	SHEET NO.:	L1
PROJECT NO.:	2022063		
DRAWN BY:	MJS & KR		
CHECKED BY:	JC		