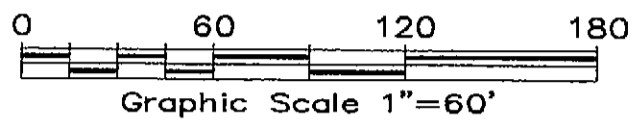


TEXAS STATE PLANE COORDINATES
 NORTH: 7011985.78
 EAST: 2587941.94

POINT OF BEGINNING

UTILITY EASEMENT
 VOLUME 2328, PAGE 68
 (SHADED)
 SANITARY SEWER EASEMENT
 VOLUME 245, PAGE 805

Existing
 20' Drainage
 Easement
 Vol. 02476, Pgs. 00036-39

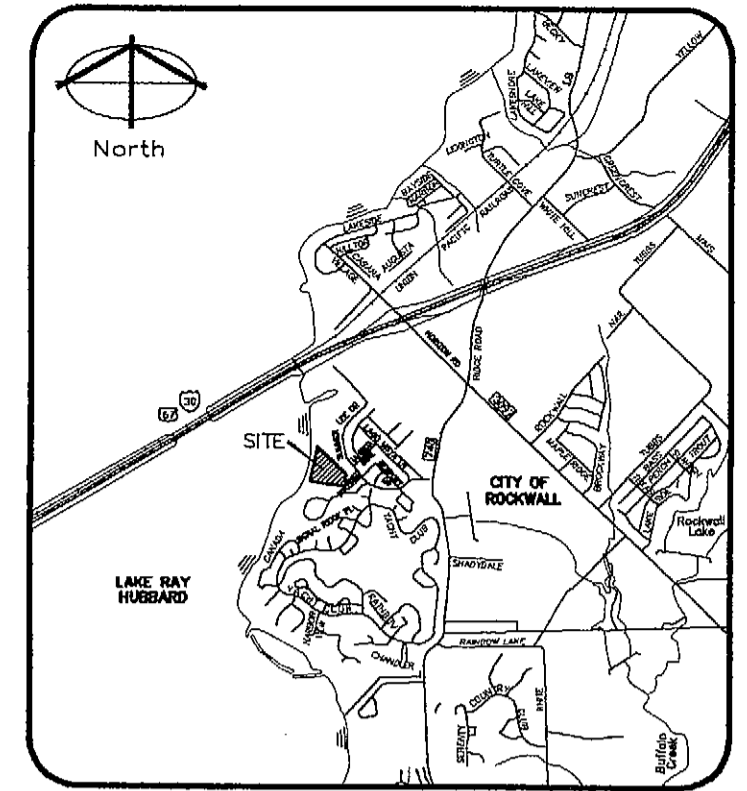


EASEMENT LINE CURVE TABLE

| NUMBER | DELTA ANGLE | RADIUS | ARC LENGTH | CHORD DIRECTION | CHORD LENGTH |
|--------|-------------|--------|------------|-----------------|--------------|
| C1 | 18°11'42" | 50.00 | 15.88 | N 01°57'25" E | 15.81 |
| C2 | 90°00'00" | 39.00 | 61.26 | N 00°49'59" W | 55.15 |
| C3 | 91°43'24" | 39.00 | 62.43 | S 34°48'26" E | 55.98 |
| C4 | 63°00'14" | 39.00 | 42.89 | N 67°49'45" E | 40.76 |
| C5 | 116°59'46" | 39.00 | 79.64 | S 22°10'15" E | 66.50 |
| C6 | 71°21'47" | 39.00 | 48.58 | S 65°22'22" W | 45.50 |
| C7 | 30°23'27" | 39.00 | 20.69 | N 26°14'53" E | 20.44 |
| C8 | 30°23'21" | 39.00 | 20.69 | S 26°14'57" W | 20.44 |
| C9 | 11°45'08" | 63.00 | 12.92 | N 35°34'03" E | 12.90 |
| C10 | 30°23'21" | 63.00 | 33.41 | S 26°14'56" W | 33.02 |
| C11 | 66°16'55" | 39.00 | 45.12 | S 45°48'16" E | 42.64 |
| C12 | 06°40'17" | 63.00 | 7.34 | N 15°59'57" W | 7.33 |
| C13 | 30°23'22" | 39.00 | 20.69 | S 04°08'25" E | 20.44 |
| C14 | 30°23'16" | 39.00 | 20.68 | N 04°08'28" W | 20.44 |
| C15 | 30°23'22" | 63.00 | 33.41 | S 04°08'25" E | 33.02 |
| C16 | 88°16'36" | 39.00 | 60.09 | N 55°11'34" E | 54.32 |
| C17 | 54°16'42" | 47.00 | 44.53 | N 72°11'28" E | 42.88 |
| C18 | 146°00'11" | 12.00 | 30.58 | S 61°56'50" E | 22.95 |
| C19 | 56°52'32" | 63.00 | 62.54 | N 07°53'22" E | 60.00 |
| C20 | 56°52'32" | 39.00 | 38.71 | N 07°53'22" E | 37.14 |
| C21 | 90°00'00" | 39.00 | 61.26 | S 89°10'01" W | 55.15 |
| C22 | 64°42'55" | 39.00 | 44.05 | S 11°48'33" W | 41.75 |
| C23 | 64°42'55" | 63.00 | 71.16 | S 11°48'33" W | 67.44 |
| C24 | 56°53'15" | 39.00 | 38.72 | N 17°23'21" W | 37.15 |
| C25 | 123°06'45" | 13.00 | 27.93 | S 72°36'38" W | 22.86 |
| C26 | 56°53'15" | 20.00 | 19.86 | N 17°23'22" W | 19.05 |
| C27 | 123°06'45" | 39.00 | 83.80 | S 72°36'38" W | 68.58 |
| C28 | 18°11'42" | 50.00 | 15.88 | S 01°57'25" W | 15.81 |
| C28 | 30°30'28" | 149.50 | 79.60 | N 60°53'19" W | 78.67 |

EASEMENT LINE TABLE

| NUMBER | DIRECTION | DISTANCE |
|--------|---------------|----------|
| L1 | S 84°15'19" E | 27.59' |
| L2 | S 11°03'16" W | 87.95' |
| L3 | N 10°43'01" E | 2.97' |
| L4 | S 11°03'16" W | 150.07' |
| L5 | S 11°03'16" W | 226.89' |
| L6 | N 36°19'38" E | 181.71' |
| L7 | N 36°19'38" E | 129.74' |
| L8 | S 80°40'08" E | 151.79' |
| L9 | S 80°40'08" E | 455.74' |
| L10 | S 11°03'16" W | 74.55' |
| L11 | S 80°40'08" E | 103.88' |
| L12 | N 78°56'44" W | 38.89' |
| L13 | N 78°56'44" W | 35.63' |
| L14 | S 41°26'37" W | 22.99' |
| L15 | S 41°26'37" W | 22.99' |
| L16 | S 19°20'06" E | 22.99' |
| L17 | S 11°03'10" W | 28.38' |
| L18 | S 19°20'06" E | 22.99' |
| L19 | N 11°03'16" E | 24.00' |
| L20 | S 11°03'16" W | 143.43' |
| L21 | S 11°03'16" W | 87.36' |
| L22 | N 45°03'05" E | 105.84' |
| L23 | N 45°03'05" E | 26.84' |
| L24 | S 45°49'59" E | 121.42' |
| L25 | S 45°49'59" E | 4.78' |
| L26 | S 45°49'59" E | 218.30' |
| L27 | S 45°49'59" E | 40.87' |
| L28 | S 44°10'01" W | 5.45' |
| L29 | N 10°58'17" E | 5.61' |
| L30 | S 80°42'14" E | 37.65' |
| L31 | N 11°03'16" E | 20.15' |
| L32 | S 48°33'23" E | 10.00' |
| L33 | S 41°26'37" W | 16.39' |
| L34 | S 11°49'16" W | 68.78' |
| L35 | N 78°43'48" W | 125.54' |
| L36 | S 78°43'48" E | 98.40' |
| L37 | N 56°04'36" E | 24.87' |
| L38 | N 36°19'38" E | 14.10' |
| L39 | S 53°40'22" E | 5.00' |
| L40 | N 36°19'38" E | 15.00' |
| L41 | S 53°40'22" E | 10.00' |



Location Map
 NTS

ROCKWALL HARBOR
 JOINT VENTURE
 VOLUME 617, PAGE 106

ZONED PD-7

LOT 1, BLOCK A
 6.5995 ACRES

ZONED PD-22

S 44°09'34" W - 37.74'

SIGNAL RIDGE NO. 1
 CAB. B, SLIDE 13
 ZONED PD-15

D = 169°28'59"
 R = 51.50'
 L = 152.34'
 CH = S 42°12'25" E
 CL = 102.57'

SHEET 1 OF 3
 AMENDING PLAT

VILLAS DE PORTOFINO
 LOT 1, BLOCK A
 situated in the
 E. TEAL SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner
 LRH Water's Edge, LP
 8214 Westchester Dr., Suite 635
 Dallas, Texas 75225
 Telephone (214) 692-5085
 Contact: Brucker Stensrud

Prepared By
 Brockette/Davis/Drake, Inc.
 4144 N. Central Expressway, Suite 1100
 Dallas, Texas 75204
 Telephone (214) 824-3647

Scale: 1"=60' June, 2006

1 Lot, 6.5995 Acres
 ZONED PD-22

SIGNAL RIDGE NO. 4
 CAB. B, SLIDE 91
 ZONED PD-15

SIGNAL RIDGE NO. 3
 CAB. B, SLIDE 89
 ZONED PD-15

SIGNAL RIDGE NO. 2
 CAB. B, SLIDE 73
 ZONED PD-15

FILED FOR RECORD
 ROCKWALL CO. CLERK
 PAUL ETTE BURKS
 CO. CLERK
 DEPUTY
 06 SEP -6 PM 2:11

Villas De Portofino
 Amended Plat

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, LHR WATER'S EDGE, LP, PAUL V. BUTTLES, JUDITH K. WEYRAUCH, BILLY ROAN, BECCA INVESTMENTS, STEVE M. WIER, TESTAMENTARY TRUST OF S. LEE WIER, JR., PHILIP M. GARRISON, SHANNON L. GARRISON, LOUIS TRENCHARD, KIM TRENCHARD, MATT LOEFFLER, STACY LOEFFLER, LYNN KERK, THOMAS RIPP and HAZEL RIPP, are the owners of a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, and being all of Lot 1, Block A, Villas de Portofino, an Addition to the City of Rockwall, Texas, as recorded by plat in Cabinet E, Slide 113, Plat Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a capped iron rod found for corner at the north corner of said Lot 1 at the common north corner of a tract conveyed to Rockwall Harbor Joint Venture by deed recorded in Volume 617, Page 106, Deed Records, Rockwall County, Texas;

THENCE South 45°03'03" East, along the northeast line of said Lot 1, a distance of 776.56 feet to a 5/8" iron rod set for corner in the northerly line of a right of way dedication as conveyed by deed recorded in Volume 2011, Page 173, Deed Records, Rockwall County, Texas;

THENCE South 44°09'34" West, along said northerly line, a distance of 37.74 feet to a 5/8" iron rod set for corner at the beginning of a curve to the left having a central angle of 169°28'59", a radius of 51.50 feet and a chord bearing and distance of South 42°12'25" East, 102.57 feet;

THENCE continuing along said northerly line and with said curve to the left, an arc distance of 152.34 feet to a 5/8" iron rod set for corner in the northerly line of Signal Ridge No. 2, an Addition to the City of Rockwall, Texas, as recorded by plat in Cabinet B, Slide 73, Plat Records, Rockwall County, Texas;

THENCE South 45°02'56" West, along the southeasterly line of the aforementioned Lot 1, a distance of 155.22 feet to a capped iron rod found for corner;

THENCE North 80°39'45" West, continuing along said southeasterly, now southerly line of said Lot 1, a distance of 625.18 feet to a 1/2" iron rod found for corner at the southwest corner of said Lot 1;

THENCE North 11°01'27" East, along the west line of said Lot 1, a distance of 664.60 feet to the POINT OF BEGINNING and containing 287,476 square feet or 6.5995 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the AMENDING PLAT, LOT 1, BLOCK A, VILLAS DE PORTOFINO subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the VILLAS DE PORTOFINO subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

LRH WATER'S EDGE, LP
BY: LRH GENERAL PARTNER

Brucker Stensrud, Vice President
LINDA G. NEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES
July 28, 2009

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Brucker Stensrud, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 11th day of July, 2006.

Notary Public in and for the State of Texas

BY: PAUL V. BUTTLES
Paul V. Buttles
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Paul V. Buttles, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.

Notary Public in and for the State of Texas
DIANA M. SPIAK
NOTARY PUBLIC
MY COMMISSION EXPIRES
September 25, 2006

BY: JUDITH K. WEYRAUCH
Judith K. Weyrauch
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Judith K. Weyrauch, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of July, 2006.

Notary Public in and for the State of Texas
MATT LOEFFLER
NOTARY PUBLIC
State of Texas
Comm. Exp. 11-30-2006

BY: BILLY ROAN
Billy Roan
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Billy Roan, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of July, 2006.

Notary Public in and for the State of Texas

DIANA M. SPIAK
NOTARY PUBLIC
State of Texas
Comm. Exp. 11-30-2006

BY: BECCA INVESTMENTS
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared [Signature], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.

Notary Public in and for the State of Texas
DIANA M. SPIAK
NOTARY PUBLIC
MY COMMISSION EXPIRES
September 25, 2006

BY: STEVE M. WIER
Steve M. Wier
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Steve M. Wier, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of August, 2006.

Notary Public in and for the State of Texas

BY: TESTAMENTARY TRUST OF S. LEE WIER, JR.
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared [Signature], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of July, 2006.

Notary Public in and for the State of Texas

BY: PHILIP M. GARRISON
Philip M. Garrison
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Philip M. Garrison, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of July, 2006.

Notary Public in and for the State of Texas

DIANA M. SPIAK
NOTARY PUBLIC
State of Texas
Comm. Exp. 11-30-2006

BY: SHANNON L. GARRISON
Shannon L. Garrison
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Shannon L. Garrison, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of July, 2006.

Notary Public in and for the State of Texas

DIANA M. SPIAK
NOTARY PUBLIC
State of Texas
Comm. Exp. 11-30-2006

BY: LOUIS TRENCHARD
Louis Trenchard
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Louis Trenchard, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.

Notary Public in and for the State of Texas

DIANA M. SPIAK
NOTARY PUBLIC
MY COMMISSION EXPIRES
September 25, 2006

BY: KIM TRENCHARD
Kim Trenchard
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared Kim Trenchard, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.

Notary Public in and for the State of Texas

DIANA M. SPIAK
NOTARY PUBLIC
MY COMMISSION EXPIRES
September 25, 2006

SHEET 2 OF 3
AMENDING PLAT

VILLAS DE PORTOFINO

LOT 1, BLOCK A
situated in the

E. TEAL SURVEY, ABSTRACT NO. 207

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner
LRH Water's Edge, LP
8214 Westchester Dr., Suite 635
Dallas, Texas 75225
Telephone (214) 692-5085
Contact: Brucker Stensrud

Prepared By
Brockette/Davis/Drake, Inc.
4144 N. Central Expressway, Suite 1100
Dallas, Texas 75204
Telephone (214) 824-3647

Scale: None June, 2006

1 Lot, 6.5995 Acres
ZONED PD-22

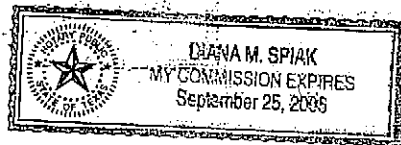
Villas De Portofino
Amended Plat

BY: Matt Loeffler
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Matt Loeffler, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.
Diana M. Spiak
Notary Public in and for the State of Texas

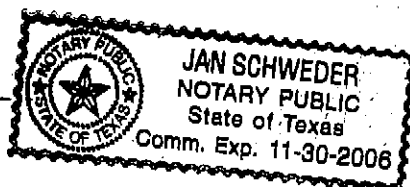


BY: Stacy Loeffler
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Stacy Loeffler, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 31st day of July, 2006.
Jan Schweder
Notary Public in and for the State of Texas

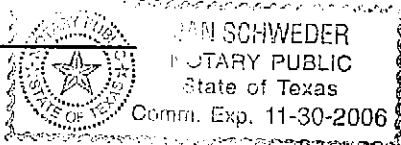


BY: LYNN KERR
Lynn Kerr
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Lynn Kerr, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 12th day of July, 2006.
Jan Schweder
Notary Public in and for the State of Texas

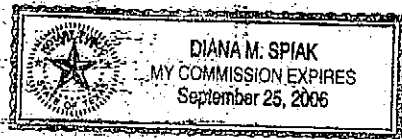


BY: THOMAS RIPP
Thomas Ripp
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Thomas Ripp, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.
Diana M. Spiak
Notary Public in and for the State of Texas

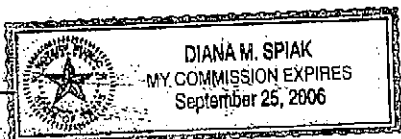


BY: HAZEL RIPP
Hazel Ripp
Signature of Owner

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared Hazel Ripp, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 7 day of August, 2006.
Diana M. Spiak
Notary Public in and for the State of Texas

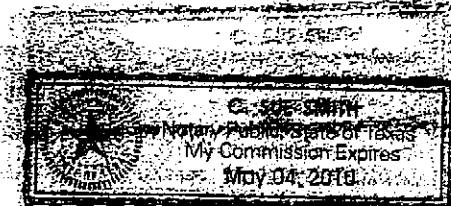


Jeffery G. Stebbins
SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST

STATE OF TEXAS
COUNTY OF Dallas

Before me, the undersigned authority, on this day personally appeared Jeffery G. Stebbins, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 11th day of August, 2006.
C. Duane Smith
Notary Public in and for the State of Texas

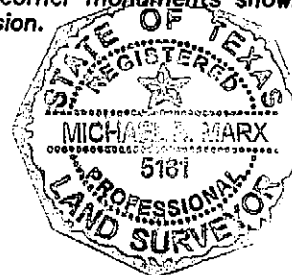


SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Michael B. Marx, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown hereon were properly placed under my personal supervision.

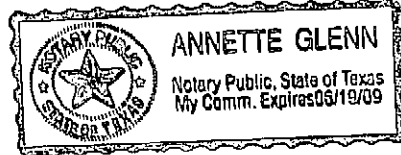
Michael B. Marx
Registered Professional Land Surveyor No. 5181



STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the 5th day of July, 2006



Annette Glenn
Notary Public in and for the State of Texas

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the 21st day of August, 2006.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Robert Johnson Director of Planning
Chuck Todd City Engineer

SHEET 3 OF 3
AMENDING PLAT
VILLAS DE PORTOFINO
LOT 1, BLOCK A
VILLAS DE PORTOFINO
situated in the
E. TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner
LRH Water's Edge, LP
8214 Westchester Dr., Suite 635
Dallas, Texas 75225
Telephone (214) 692-5085
Contact: Brucker Stensrud

Prepared By
Brockette/Davis/Drake, Inc.
4144 N. Central Expressway, Suite 1100
Dallas, Texas 75204
Telephone (214) 824-3647

Scale: None June, 2006

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

1 Lot. 6.5995 Acres
ZONED PD-22

Villas De Portofino
Amended Plat

G33

CONSTRUCTION PLANS

FOR

WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD

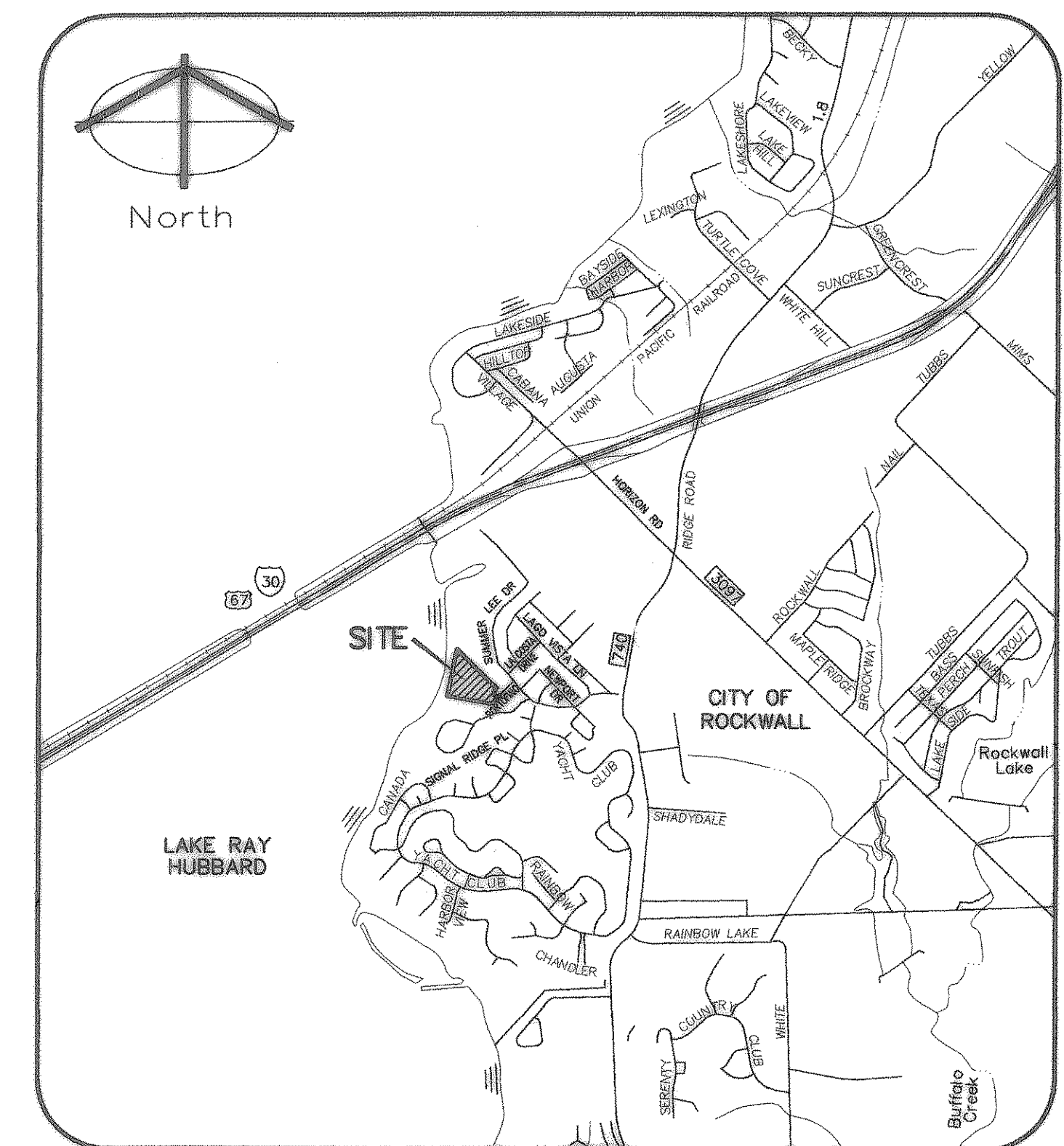
AN ADDITION TO
THE CITY OF ROCKWALL, TEXAS

Index Of Drawings

| | |
|----------------|-------------------------------------|
| C1 | Cover Sheet |
| C2, C3, C3a | Final Plat |
| C4 | Existing Conditions/Demolition Plan |
| C5-C7 | Grading Plan |
| C8 | Drainage Area Map |
| C9 | Storm Sewer Plan |
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| C11 | Erosion Control Plan |
| C12 | Water Plan |
| C13 | Sanitary Sewer Plan |
| C14 | Paving Plan |
| C15 | SWPPP Details |
| C16 | Storm Sewer Details |
| C17 | Paving Details |
| LS1 | Landscape Plan |

Prepared For:
JTL Capital, L.L.C.
Colonial Bank Plaza
8214 Westchester Drive, Suite 635
Dallas, Texas 75225
Contact: Jim Pabich
Tel: (214) 692-5085
Fax: (214) 692-0274

Engineer:
Brockette · Davis · Drake
4144 North Central Expressway, Suite 1100
Dallas, Texas 75204
Contact: Robert R. Jebavy
Tel: (214) 824-3647
Fax: (214) 824-7064



Location Map
NTS

RECORD DRAWING

02/09/07

NOTE:
THESE PLANS HAVE BEEN REVISED TO CONFORM
WITH CONSTRUCTION RECORDS PROVIDED BY THE
CONTRACTOR.

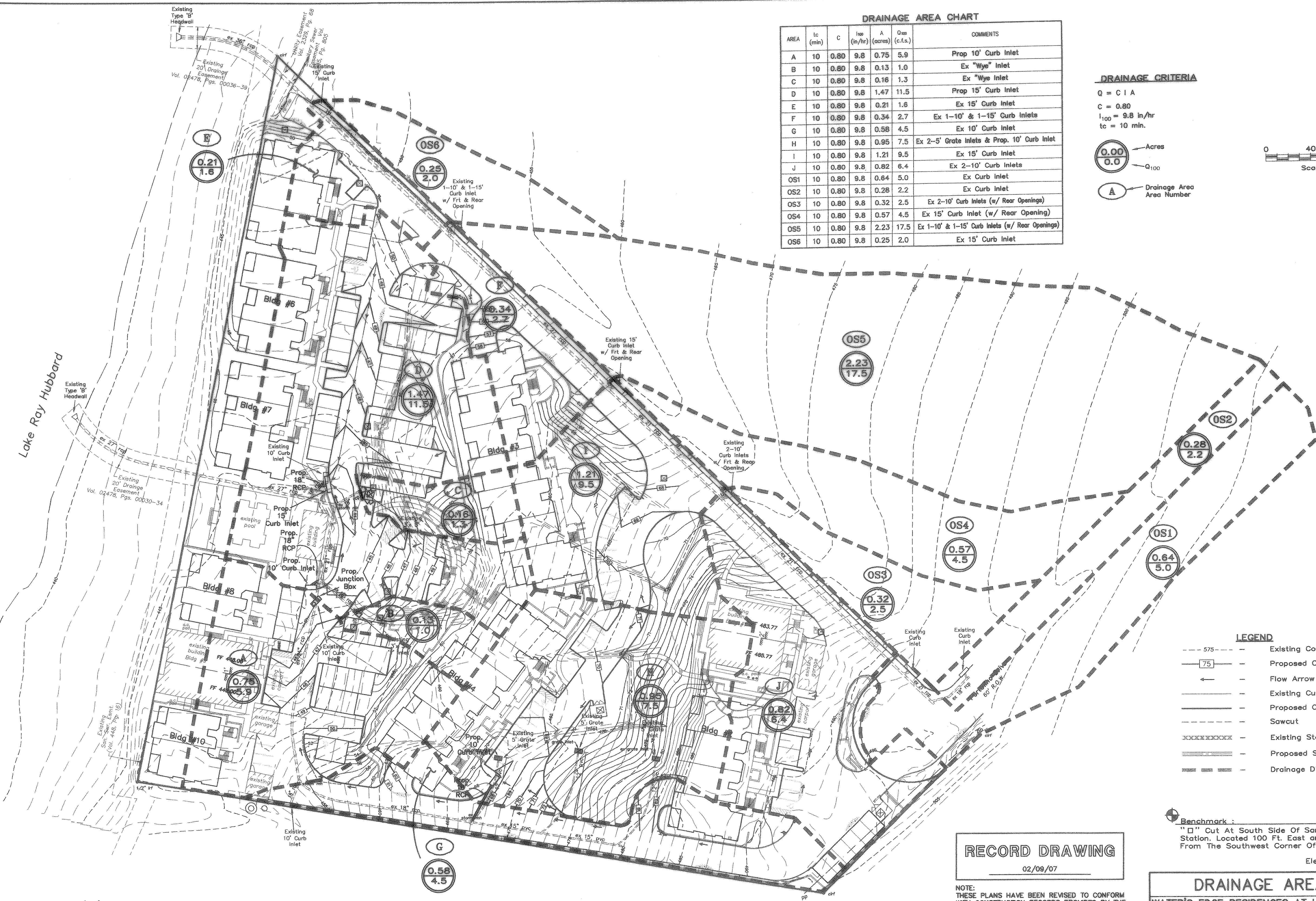
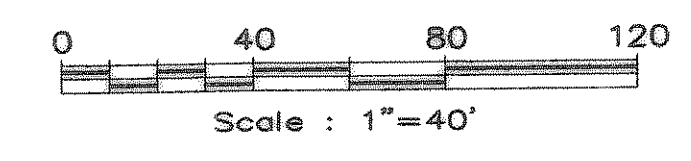
DRAINAGE AREA CHART

| AREA | t _c (min) | C | I ₁₀₀ (in/hr) | A (acres) | Q ₁₀₀ (c.f.s.) | COMMENTS |
|------|----------------------|------|--------------------------|-----------|---------------------------|---|
| A | 10 | 0.80 | 9.8 | 0.75 | 5.9 | Prop 10' Curb Inlet |
| B | 10 | 0.80 | 9.8 | 0.13 | 1.0 | Ex "Wye" Inlet |
| C | 10 | 0.80 | 9.8 | 0.16 | 1.3 | Ex "Wye" Inlet |
| D | 10 | 0.80 | 9.8 | 1.47 | 11.5 | Prop 15' Curb Inlet |
| E | 10 | 0.80 | 9.8 | 0.21 | 1.6 | Ex 15' Curb Inlet |
| F | 10 | 0.80 | 9.8 | 0.34 | 2.7 | Ex 1-10' & 1-15' Curb Inlets |
| G | 10 | 0.80 | 9.8 | 0.58 | 4.5 | Ex 10' Curb Inlet |
| H | 10 | 0.80 | 9.8 | 0.95 | 7.5 | Ex 2-5' Grate Inlets & Prop. 10' Curb Inlet |
| I | 10 | 0.80 | 9.8 | 1.21 | 9.5 | Ex 15' Curb Inlet |
| J | 10 | 0.80 | 9.8 | 0.82 | 6.4 | Ex 2-10' Curb Inlets |
| OS1 | 10 | 0.80 | 9.8 | 0.64 | 5.0 | Ex Curb Inlet |
| OS2 | 10 | 0.80 | 9.8 | 0.28 | 2.2 | Ex Curb Inlet |
| OS3 | 10 | 0.80 | 9.8 | 0.32 | 2.5 | Ex 2-10' Curb Inlets (w/ Rear Openings) |
| OS4 | 10 | 0.80 | 9.8 | 0.57 | 4.5 | Ex 15' Curb Inlet (w/ Rear Opening) |
| OS5 | 10 | 0.80 | 9.8 | 2.23 | 17.5 | Ex 1-10' & 1-15' Curb Inlets (w/ Rear Openings) |
| OS6 | 10 | 0.80 | 9.8 | 0.25 | 2.0 | Ex 15' Curb Inlet |

DRAINAGE CRITERIA

Q = C I A
 C = 0.80
 I₁₀₀ = 9.8 in/hr
 t_c = 10 min.

0.00 — Acres
 0.0 — Q₁₀₀
 A — Drainage Area Area Number



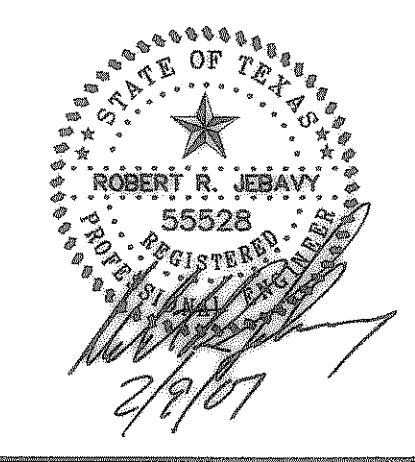
LEGEND

- 575 --- Existing Contour
- 75 --- Proposed Contour
- Flow Arrow
- Existing Curb
- Proposed Curb
- Sawcut
- Existing Storm Sewer Line
- Proposed Storm Sewer Line
- Drainage Divide Line

Benchmark:
 "□" Cut At South Side of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner of This Property
 Elevation : 450.45

RECORD DRAWING
 02/09/07

NOTE:
 THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.



DRAINAGE AREA MAP

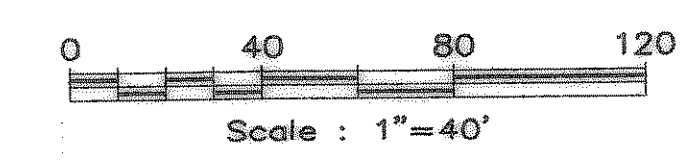
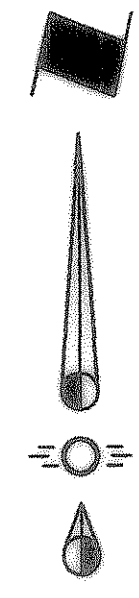
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
 CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
 consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C8 |

CAUTION!!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4545

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GENERAL NOTES

1. Notify affected utility companies before starting work and comply with their requirements.
2. Owner assumes no responsibility for actual condition of areas to be demolished.
3. Perform work in manner to eliminate hazards to persons or property and avoid interference with adjacent areas, utilities and structures.
4. Provide and maintain temporary barricades, fences, warning signs, guardrails and warning lights to protect workmen and the public.
5. Protect existing structures, landscaping materials, and appurtenances which are not being demolished.
6. Contractor to be responsible for all required permits.
7. Cease demolition operations immediately if adjacent structures appear to be in danger. Conduct safety operations as necessary. Do not resume demolition operations until directed.
8. Return surfaces to existing conditions prior to commencement of selective demolition work. (provide positive drainage)
9. All materials removed shall be disposed of offsite in a legal manner.
10. Contractor shall protect all ex. power poles during demolition & construction operations.
11. The Contractor will be responsible for coordinating with all the appropriate utility companies for the location of all utilities within the construction area.
12. Fill shall be compacted using sheep's foot roller.

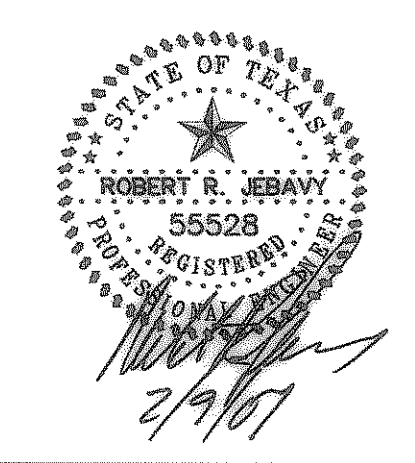
LEGEND

- Existing Curb
- Existing Water Line
- Existing Sanitary Sewer Line
- Existing Storm Sewer Line
- Existing Pavement to Be Removed
- - - Sawcut

Benchmark:
 "B" Cut At South Side Of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
 Elevation : 450.45

RECORD DRAWING
 02/09/07

NOTE:
 THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.



Existing Conditions/Demolition Plan
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
DD consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • fax (214) 824-7064

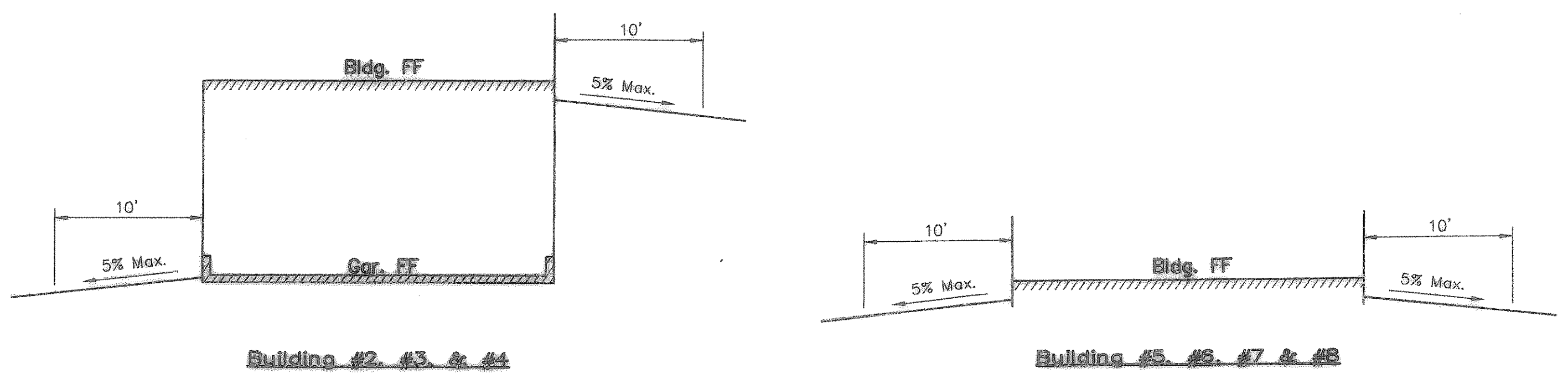
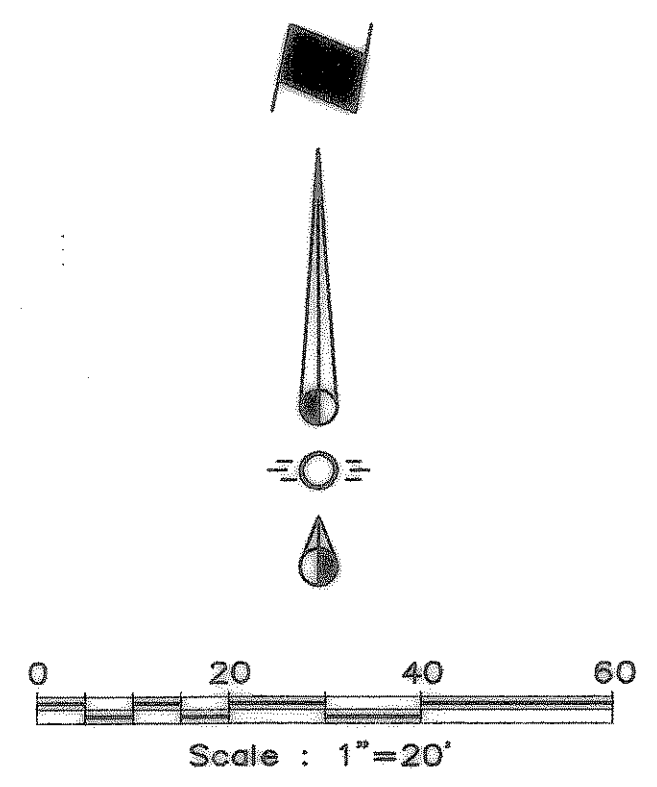
| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C4 |



D = 172'12"44"
 R = 51.50'
 L = 154.79'
 CH = S 41°56'48" E
 CL = 102.76'

CAUTION!!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4545

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 M:\Data\CH04\04\04\07 - Lake Ray Hubbard\Record Drawings\04 Data\RR RD.dwg, 2/9/07, 4:25:27 PM, BDD, D:\dell



Building #2, #3, & #4

Building #5, #6, #7 & #8

CAUTION!!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4545

GRADING GENERAL NOTES

- All materials and construction shall conform to the 3rd edition of the NCTCOG Standard Specifications for Public Works Construction dated January 1998 as modified by the City of Rockwall Special Provisions, except as noted herein and approved by the City.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- Any utility installed outside of an easement shall be installed by a plumber and inspected by Code Enforcement.
- Care should be taken that fill materials and areas to receive fill are relatively free of vegetation, roots, debris, large rocks or other objectionable material. Prior to placing any fill, soil subgrades should be scarified to a minimum depth of 8 inches, and recompacted to a minimum of 95 percent of ASTM D 698, at a minimum of +2 percent above the optimum moisture content as determined by that test. Clay fill materials should then be spread in loose lifts, less than 9 inches thick, and uniformly compacted to the same criteria. Processed limestone should be compacted to a minimum of 95 percent of ASTM D 698, at a minimum of +1 percent above optimum moisture.
- Drainage should be maintained away from the foundations, both during and after construction.
- Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines pass through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- Concrete for inlets and drainage structures shall be 4200 psi at 28 days.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench.
- All earthwork operations, pavement installation, etc. shall conform to the Geotechnical Exploration recommendations or City of Rockwall Standards, whichever is greater.

LEGEND

- 460 --- Existing Contour
- 60 --- Proposed Contour
- 460.0 Existing Spot Elevation
- 60.0 Proposed Spot Elevation
- TW Top Wall
- ← Flow Arrow
- Proposed Pavement
- Proposed Retaining Wall
- Existing Curb
- Proposed Curb
- Sawcut

NOTE:
 MAXIMUM 2% CROSS SLOPE ON ALL PROPOSED WALKWAYS

NOTE:
 RETAINING WALL AND INTERIOR SITE CONTOUR LOCATIONS ARE SCHEMATIC. REFER TO LANDSCAPE PLANS FOR EXACT LOCATIONS AND ELEVATIONS.

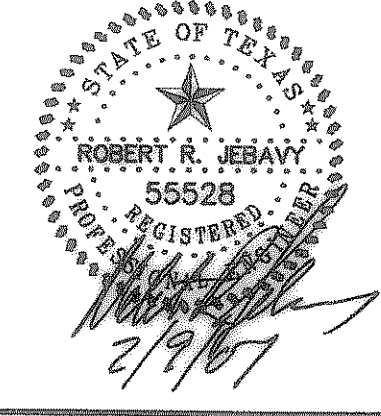
RECORD DRAWING
 02/09/07

NOTE:
 THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.

Benchmark:
 "□" Cut At South Side Of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
 Elevation : 450.45

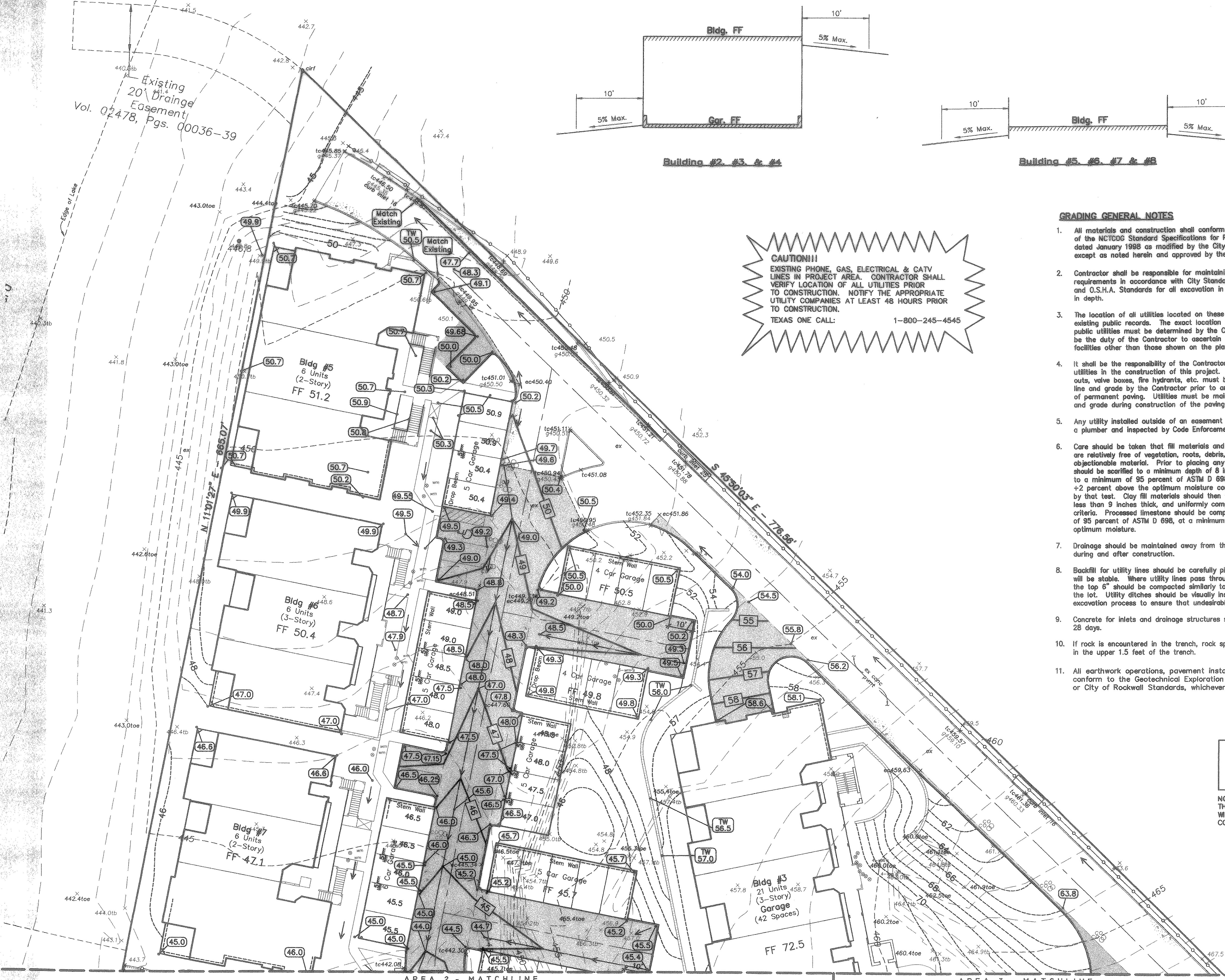
GRADING PLAN - AREA 1
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

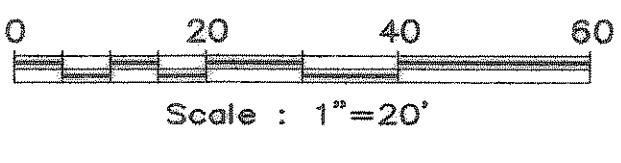
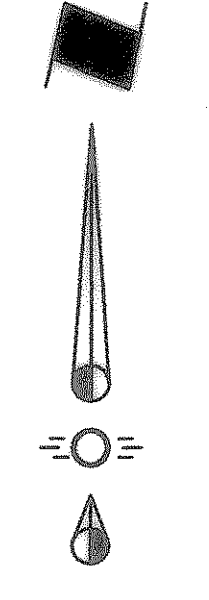
BROCKETTE • DAVIS • DRAKE, INC.
 consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • Fax (214) 824-7064



| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=20' | BDD | C04207 | C5 |

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AREA 1 - MATCHLINE

AREA 3 - MATCHLINE

Existing 20' Drange Easement Vol. 02478, Pgs. 00030-34

Lake Ray Hubbard



- LEGEND**
- 460 --- Existing Contour
 - 60 Proposed Contour
 - 460.0 Existing Spot Elevation
 - 60.0 Proposed Spot Elevation
 - TW Top Wall
 - ← Flow Arrow
 - Proposed Pavement
 - Proposed Retaining Wall (Refer To Landscape Architect's Plans)
 - Existing Curb
 - Proposed Curb
 - Sawcut

NOTE: MAXIMUM 2% CROSS SLOPE ON ALL PROPOSED WALKWAYS

NOTE: RETAINING WALL AND INTERIOR SITE CONTOUR LOCATIONS ARE SCHEMATIC. REFER TO LANDSCAPE PLANS FOR EXACT LOCATIONS AND ELEVATIONS.

RECORD DRAWING
02/09/07

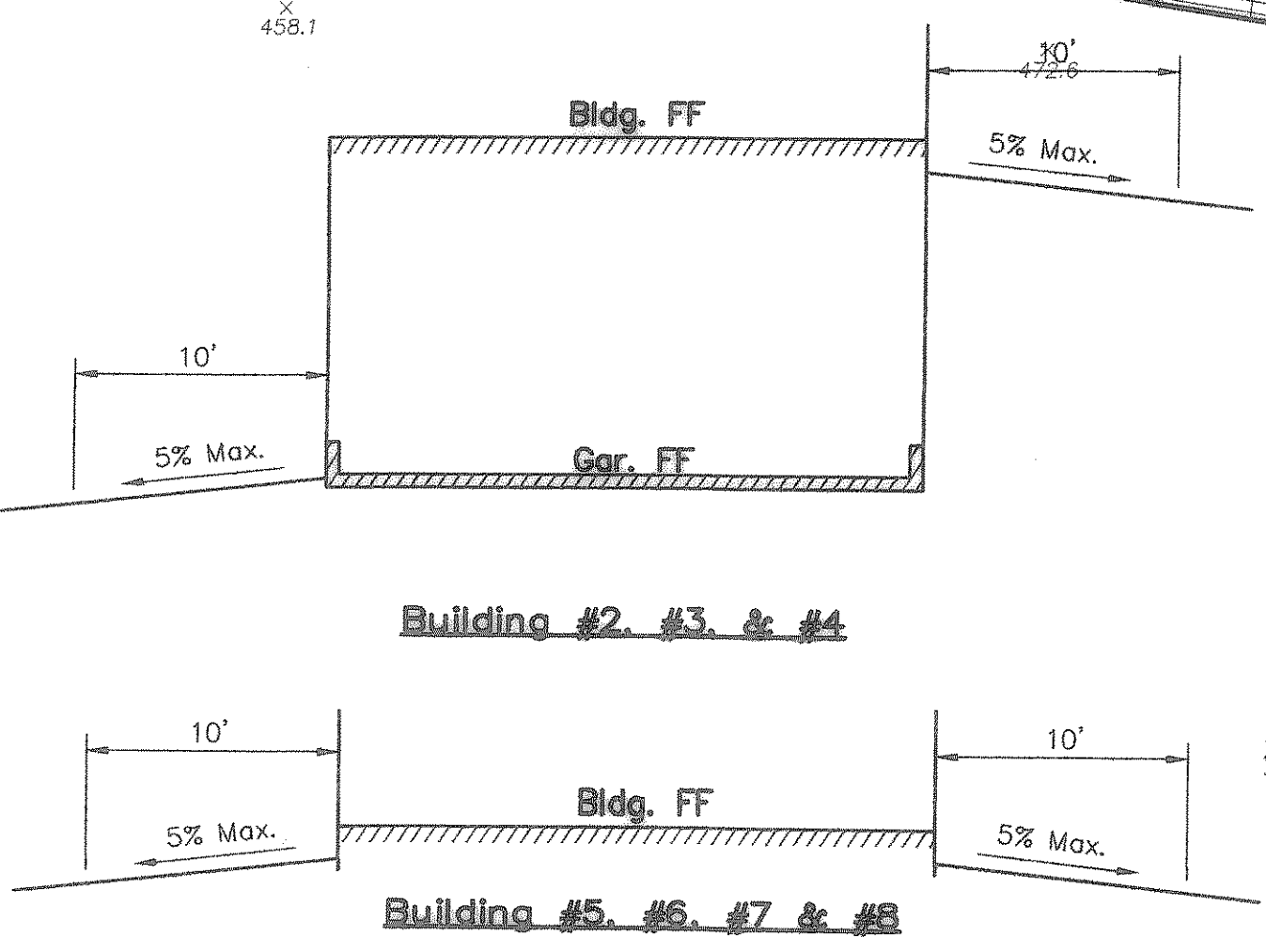
NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.

Benchmark:
"1" Out At South Side Of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
Elevation : 450.45

GRADING GENERAL NOTES

1. All materials and construction shall conform to the 3rd edition of the MCT000 Standard Specifications for Public Works Construction dated January 1998 as modified by the City of Rockwall Special Provisions, except as noted herein and approved by the City.
2. Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
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5. Any utility installed outside of an easement shall be installed by a plumber and inspected by Code Enforcement.
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TEXAS ONE CALL: 1-800-245-4545



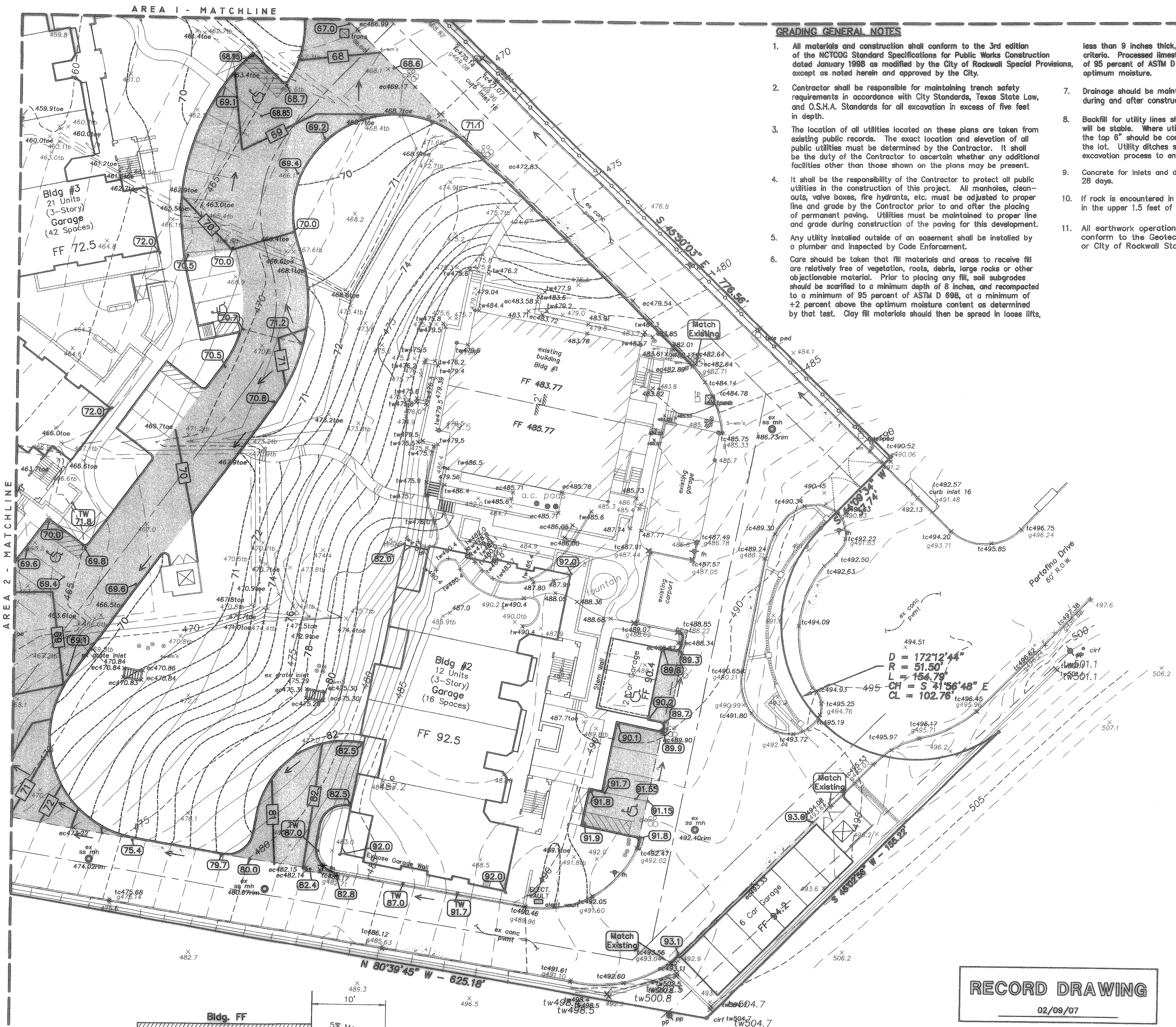
STATE OF TEXAS
ROBERT R. JEBBY
55528
REGISTERED PROFESSIONAL ENGINEER
2/9/07

GRADING PLAN - AREA 2
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • Fax (214) 824-7064

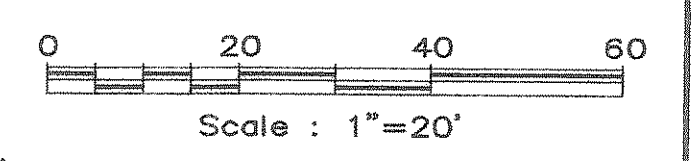
| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=20' | BDD | C04207 | C6 |

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LEGEND

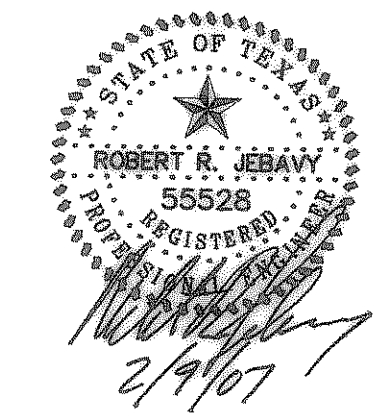
- 460 --- Existing Contour
- 60 --- Proposed Contour
- 460.0 --- Existing Spot Elevation
- 60.0 --- Proposed Spot Elevation
- TW --- Top Wall
- ← --- Flow Arrow
- ▒ --- Proposed Pavement
- --- Proposed Retaining Wall
- --- Existing Curb
- --- Proposed Curb
- - - - - Sawcut

NOTE:
MAXIMUM 2% CROSS SLOPE
ON ALL PROPOSED WALKWAYS

NOTE:
RETAINING WALL AND INTERIOR SITE
CONTOUR LOCATIONS ARE SCHEMATIC.
REFER TO LANDSCAPE PLANS FOR EXACT
LOCATIONS AND ELEVATIONS.

RECORD DRAWING
02/09/07

NOTE:
THESE PLANS HAVE BEEN REVISED TO CONFORM
WITH CONSTRUCTION RECORDS PROVIDED BY THE
CONTRACTOR.



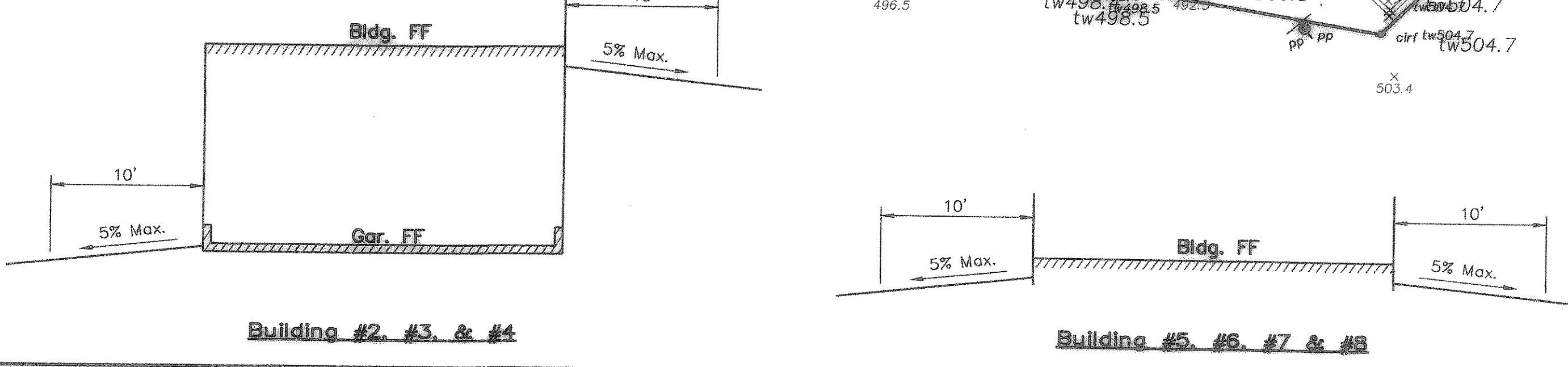
Benchmark:
"□" Cut At South Side of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
Elevation : 450.45

GRADING PLAN - AREA 3
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-0664

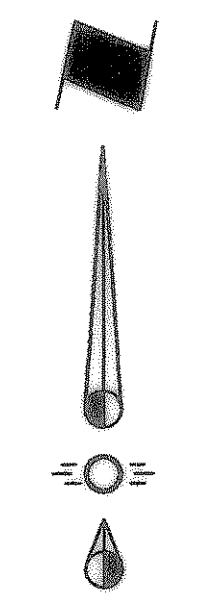
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| RRJ | STL | 10/04 | 1"=20' | BDD | C04207 | C7 |

CAUTION!!!
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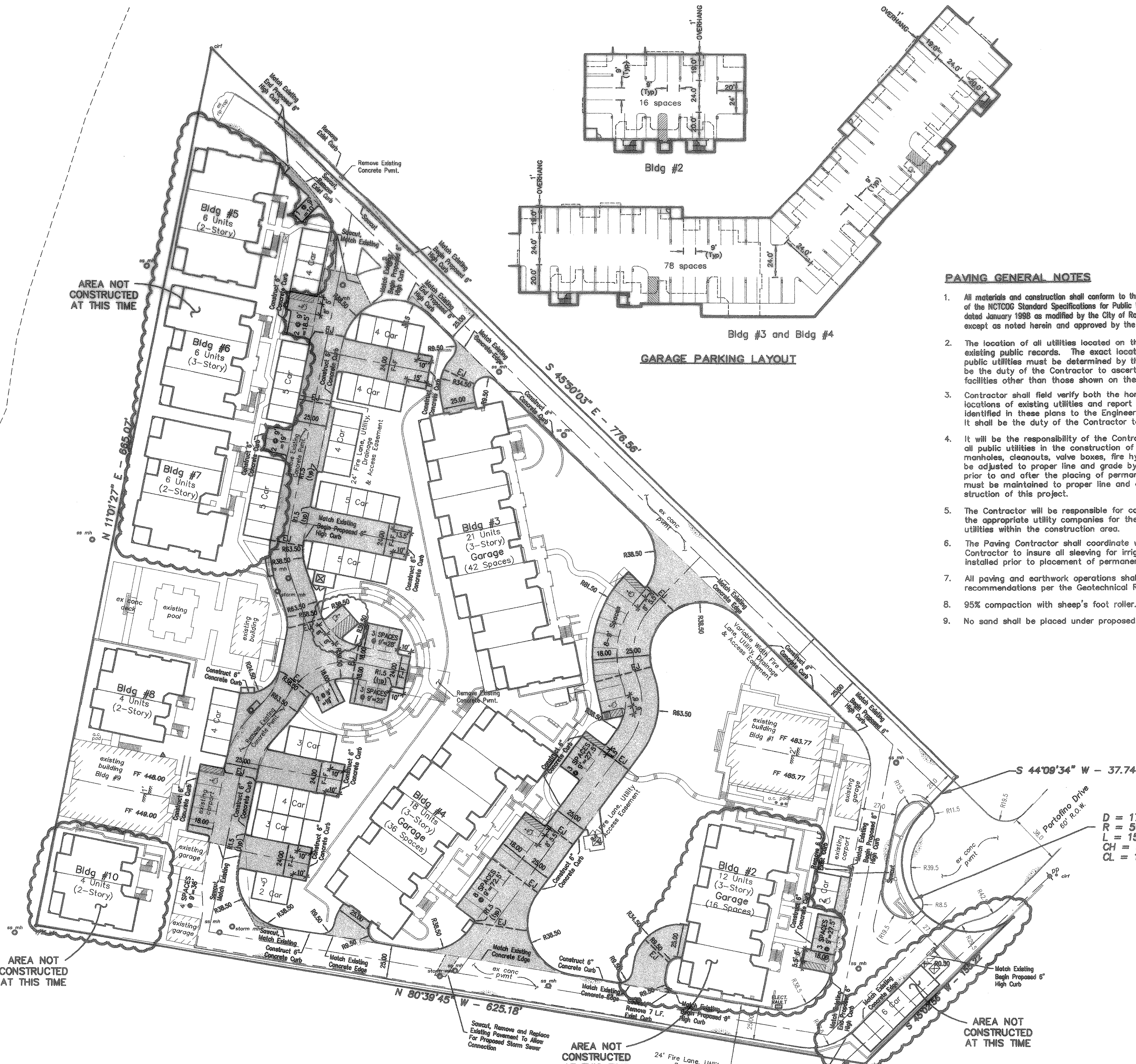
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07 Grading-03/07



Scale: 1"=40'

Lake Ray Hubbard



GARAGE PARKING LAYOUT

PAVING GENERAL NOTES

1. All materials and construction shall conform to the 3rd edition of the NCTCOG Standard Specifications for Public Works Construction dated January 1998 as modified by the City of Rockwall Special Provisions, except as noted herein and approved by the City.
2. The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
3. Contractor shall field verify both the horizontal and vertical locations of existing utilities and report any differences identified in these plans to the Engineer prior to construction. It shall be the duty of the Contractor to ascertain whether
4. It will be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of this project.
5. The Contractor will be responsible for coordinating with all the appropriate utility companies for the location of all utilities within the construction area.
6. The Paving Contractor shall coordinate with the Utility Contractor to insure all sleeving for irrigation has been installed prior to placement of permanent pavement.
7. All paving and earthwork operations shall conform to the recommendations per the Geotechnical Report.
8. 95% compaction with sheep's foot roller.
9. No sand shall be placed under proposed pavement.

LEGEND

- Existing Curb
- Proposed Curb
- Sawcut
- EJ - Expansion Joint
- Existing Water Line
- Existing Sanitary Sewer Line
- Existing Storm Sewer Line
- Proposed Pavement

Notes:
 All Driveway Pavement Shall Be 6" 3600 psi Concrete On Compacted Subgrade Reinforced w/ #3 Bars @ 18" O.C.E.W. 6 Sack Minimum For Machine Pour and 6 1/2 Sack Minimum For Hand Pour.
 All Parking Area Pavement Shall Be 5" 3500 psi Concrete On Compacted Subgrade Reinforced w/ #3 Bars @ 18" O.C.E.W.

NOTE:
 Fire Lane shall be marked to city Specification "NO PARKING FIRE LANE" every 25' white 4" letters on a 6" red striped background.

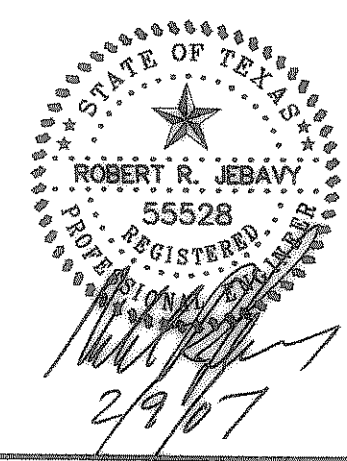
NOTE:
 All Dimensions Are To Back Of Curb Unless Otherwise Noted.

$D = 172'12.44"$
 $R = 51.50'$
 $L = 154.79'$
 $CH = S 41'56.48" E$
 $CL = 102.76'$

Benchmark:
 "□" Cut At South Side Of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
 Elevation: 450.45

RECORD DRAWING
 02/09/07

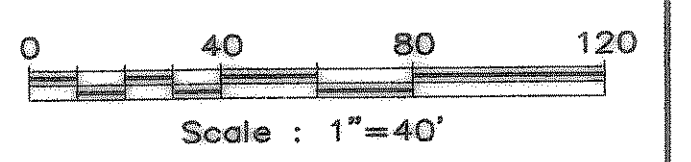
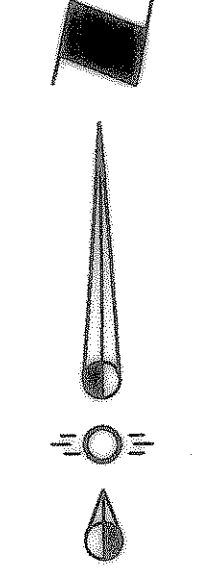
NOTE:
 THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.



CAUTION!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4545

| PAVING PLAN | | | | | | |
|---|-------|-------|--------|-------|--------|-----|
| WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD | | | | | | |
| CITY OF ROCKWALL, TEXAS | | | | | | |
| B BROCKETTE • DAVIS • DRAKE, INC. | | | | | | |
| consulting engineers | | | | | | |
| Civil & Structural Engineering • Surveying | | | | | | |
| 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204 | | | | | | |
| (214) 824-3647 • Fax (214) 824-7064 | | | | | | |
| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C14 |

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WATER & SEWER GENERAL NOTES

1. All materials and construction shall conform to the 3rd edition of the NCTCOG Standard Specifications for Public Works Construction dated January 1998 as modified by the City of Rockwall Special Provisions, except as noted herein and approved by the City.
2. Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
3. The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
4. It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
5. Any utility installed outside of an easement shall be installed by a plumber and inspected by Code Enforcement.
6. Backfill for utility lines should be carefully placed so that the utility will be stable. Where utility lines cross the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
7. If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
8. All water lines shall be C-900 PVC SDR 14.
9. All ductile iron fittings shall be of the mechanical joint type or slip joint and shall be Class D, or Class 250 on sizes 12" and smaller in accordance with A.W.W.A. Specification C-110-64 and C-111-64.
10. All water mains shall have a minimum cover of 48", or sufficient cover to clear other utilities as measured from top of pipe to existing ground level or finished grade, whichever is greater.
11. Fire hydrants shall be placed 2' to 6' from back of curb located as shown on the plans.
12. Fire hydrants shall be City approved.
13. All gate valves shall be City approved.
14. The slope for sanitary sewer laterals shall be 2%, or 1/4" per foot, or greater.
15. All water meters to be placed in a non-traffic area.
16. Refer to Mechanical Plans for exact water and sewer service locations.
17. All sanitary sewer services shall have double cleanouts at the utility easement line.
18. All work shall conform to "City of Rockwall Standard Details"

LEGEND

- Existing Curb
- - - Proposed Curb
- - - Sawcut
- Existing Water Line
- - - Proposed Water Line
- Existing Sanitary Sewer Line
- - - Proposed Sanitary Sewer Line
- - - Proposed Sanitary Sewer Lateral
- - - Existing Storm Sewer Line
- Existing Storm Sewer Line

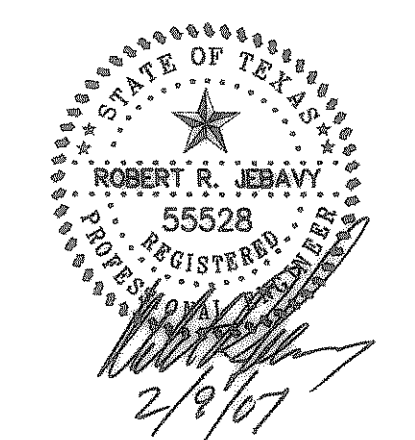
NOTES:

- A) Contractor shall determine which existing sanitary sewer laterals are in service and relocate as necessary
- B) Contractor shall adjust existing sanitary sewer manhole rims and cleanouts to match proposed grades as necessary.
- C) Contractor shall field verify that the existing & proposed upstream & downstream flowlines are adequate to provide a minimum 2% slope on all sanitary sewer services before installing sanitary sewer service connections to buildings from existing sanitary sewer laterals.

Benchmark:
 "D" Cut At South Side Of Sanitary Sewer Lift Station, Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
 Elevation : 450.45

RECORD DRAWING
 02/09/07

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.



* INDICATES INFORMATION PROVIDED TO BROCKETTE/DAVIS/DRAKE, INC., BY RAYMOND ENGINEERING, INC., HOUSTON, TX.



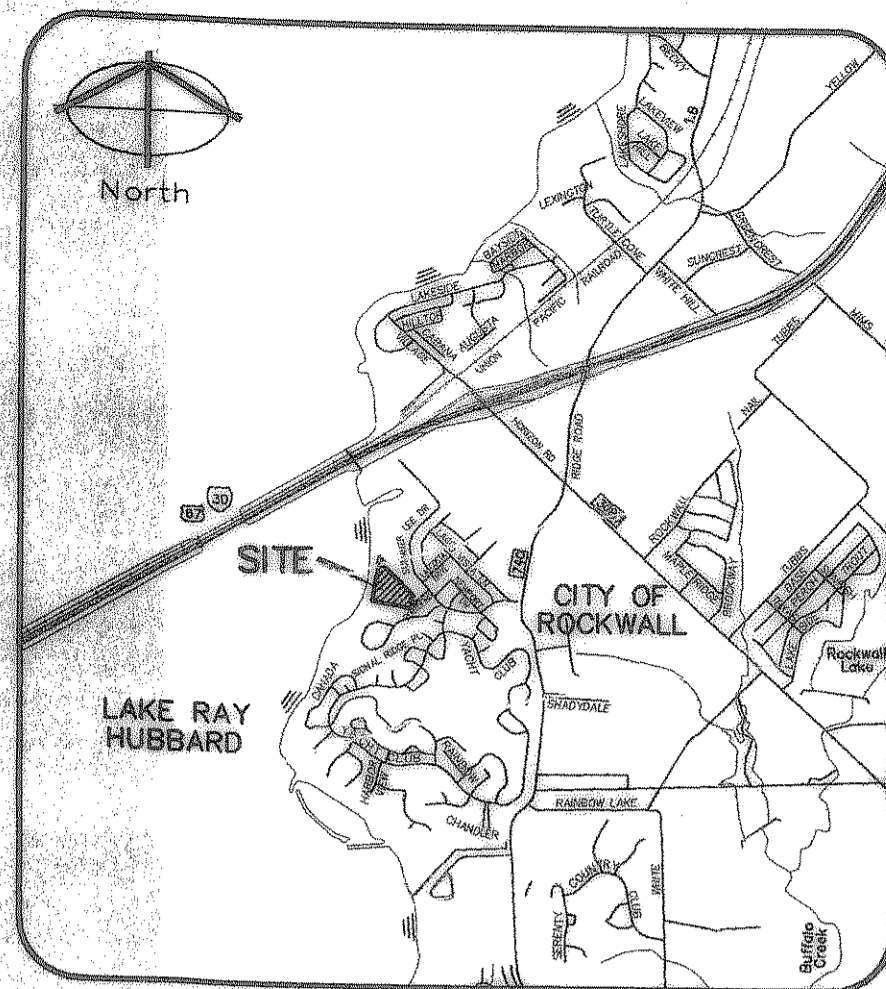
CAUTION!!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4454

SANITARY SEWER PLAN
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C13 |

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 M:\Draw\CD\04\0007 - Lake Ray Hubbard\Record Drawings\13 SS-SERVD.dwg, 28/09/07, 4:58:38 PM, BDD, D:\BDD



Location Map
NTS

Site Data

| | |
|-----------------|--------------|
| Total Site Area | 6.5995 Acres |
| Zoning | PD-22 |

PARKING LEGEND

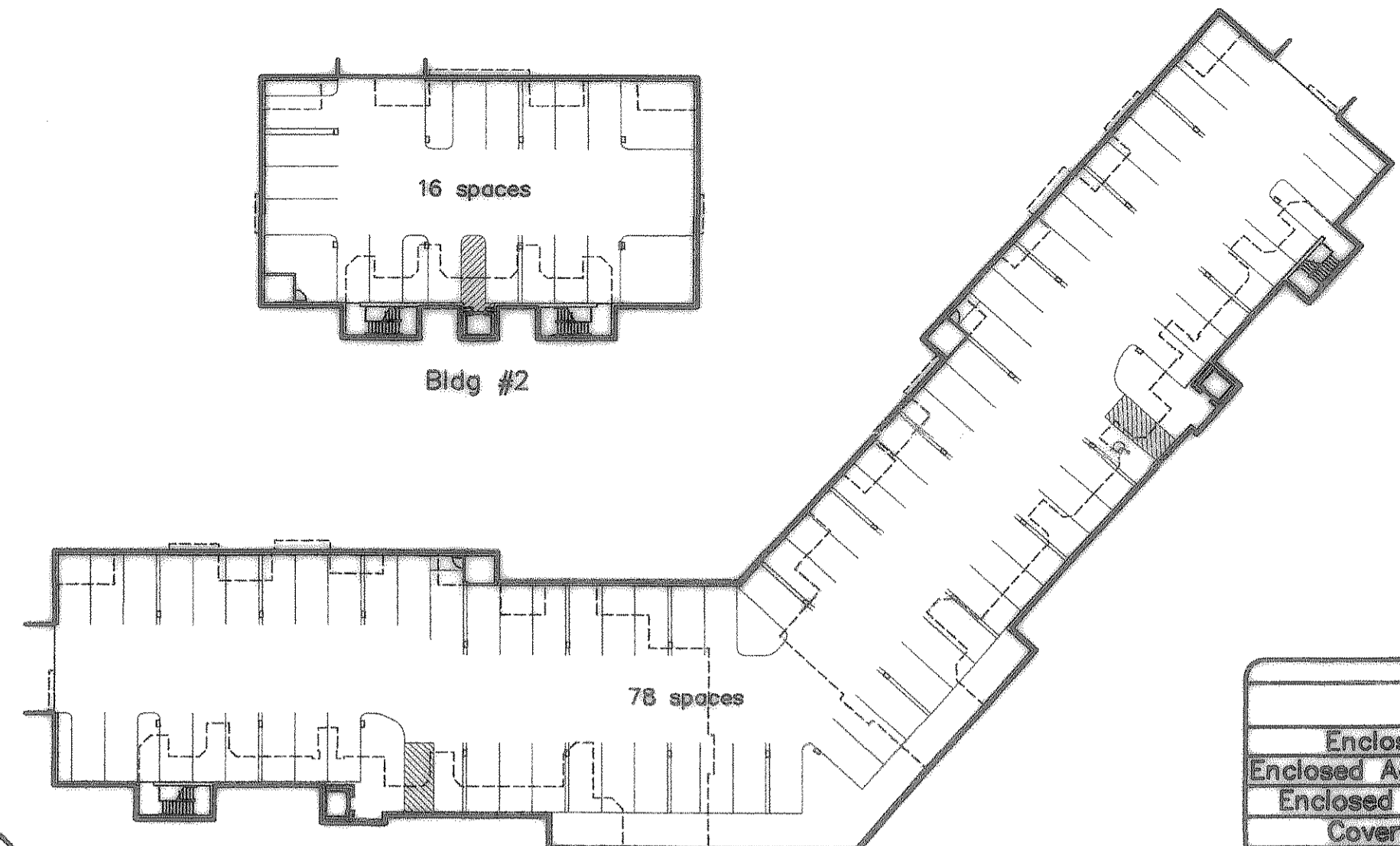
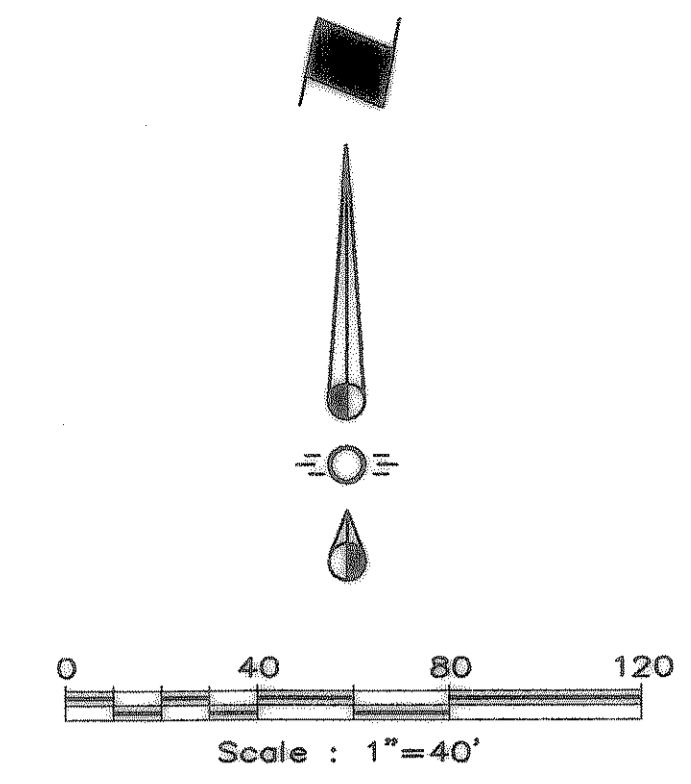
CP - Covered Parking
 EG - Enclosed Garage
 PS - Standard Parking Space
 HC - Accessible Space

PARKING SUMMARY

| | Existing | Proposed | Total |
|-------------------------------------|-----------|------------|------------|
| Enclosed Surface Garages | 8 | 58 | 66 |
| Enclosed Accessible Surface Garages | 0 | 2 | 2 |
| Enclosed Under Building Garages | 0 | 94 | 94 |
| Covered Standard Spaces | 7 | 0 | 7 |
| Covered Accessible Spaces | 1 | 0 | 1 |
| Standard Spaces | 4 | 31 | 35 |
| Accessible Spaces | 0 | 5 | 5 |
| Total | 20 | 190 | 210 |

RESIDENTIAL UNIT SUMMARY

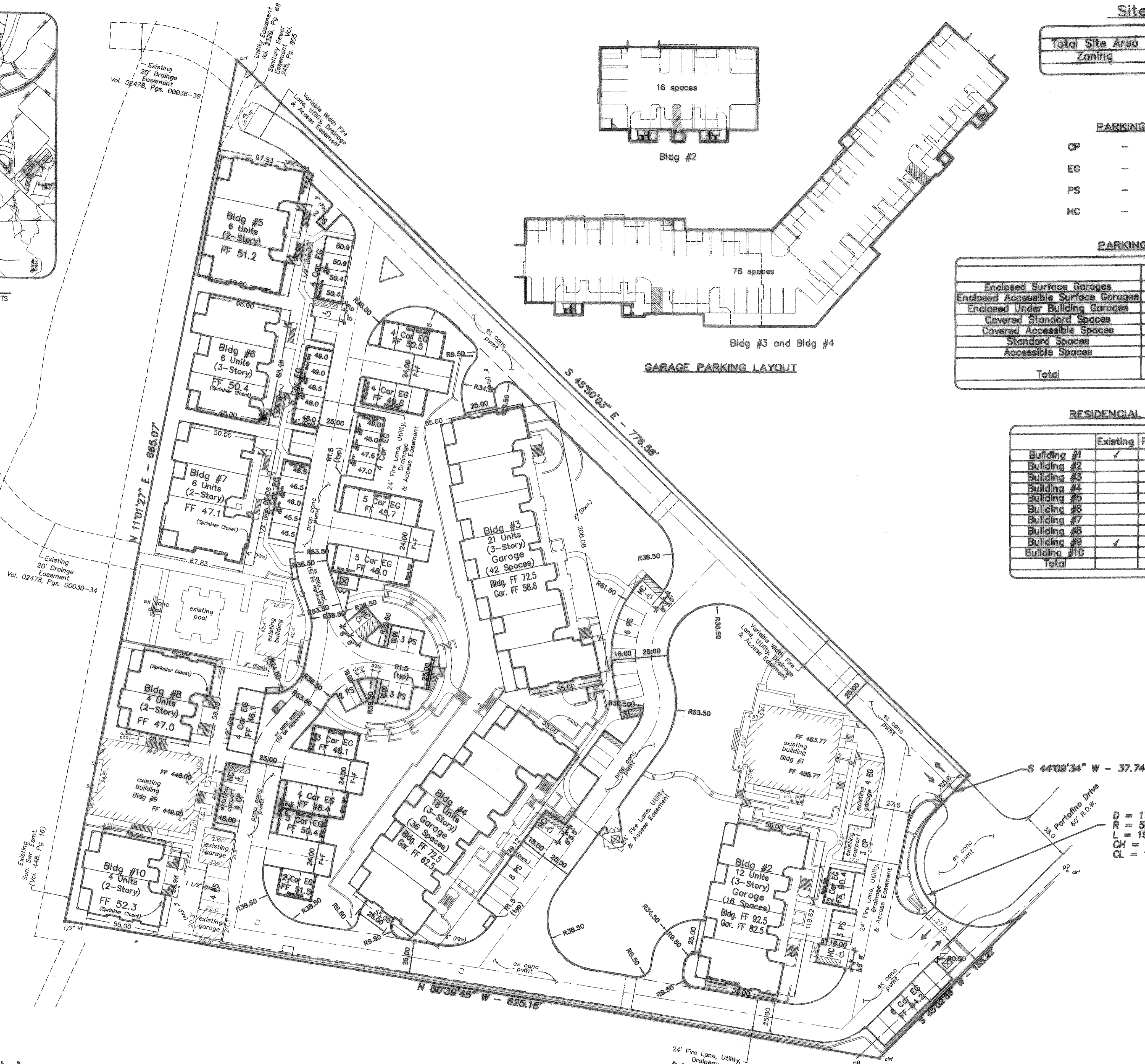
| Building # | Existing | Proposed | # Units | Height |
|--------------|----------|----------|-----------|---------|
| Building #1 | ✓ | | 4 | 3-Story |
| Building #2 | | ✓ | 12 | 3-Story |
| Building #3 | | ✓ | 21 | 3-Story |
| Building #4 | | ✓ | 18 | 3-Story |
| Building #5 | | ✓ | 6 | 2-Story |
| Building #6 | | ✓ | 6 | 3-Story |
| Building #7 | | ✓ | 6 | 2-Story |
| Building #8 | | ✓ | 6 | 2-Story |
| Building #9 | ✓ | | 4 | 3-Story |
| Building #10 | | ✓ | 4 | 2-Story |
| Total | | | 85 | |



Garage Parking Layout

LEGEND

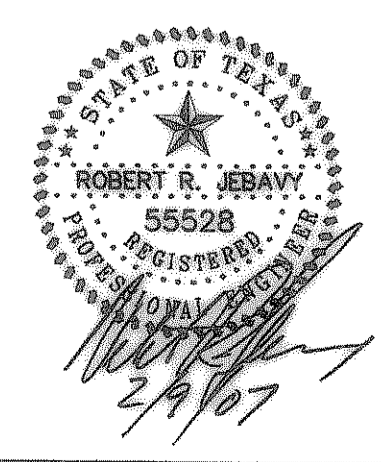
— Existing Curb
 - - Existing Curb (to be removed)
 - - Proposed Curb
 - - Sawcut



RECORD DRAWING
02/09/07

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.

Benchmark: "□" Cut At South Side Of Sanitary Sewer Lift Station, Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
Elevation : 450.45



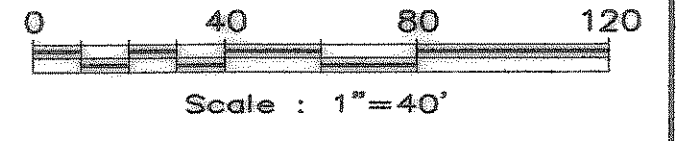
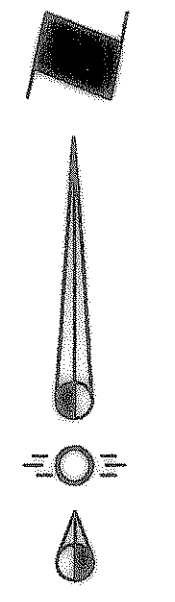
SITE PLAN
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
 CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
 consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | 1 |

CAUTION!!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4545

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STORM SEWER GENERAL NOTES

- All materials and construction shall conform to the 3rd edition of the NCTCOG Standard Specifications for Public Works Construction dated January 1998 as modified by the City of Rockwall Special Provisions, except as noted herein and approved by the City.
- All storm sewer pipe 18" and larger shall be Class III RCP. All storm sewer pipe 15" and smaller (private lines only) shall be ADS, N-12 drainage pipe or approved equal.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- Concrete for inlets and drainage structures shall be 4200 psi at 28 days. No fly ash allowed.
- Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
- Contractor shall protect all public utilities in the construction of this project.
- The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
- See Water and Sanitary Sewer Plan for additional information related to other utility construction.
- All trench backfill for storm sewer shall be compacted with a "sheep's foot roller" as required by City.
- Embedment shall be subsidiary to the price of the pipe.
- All storm sewer with radii less than 100' shall use 4' long joints with beveled ends.

LEGEND

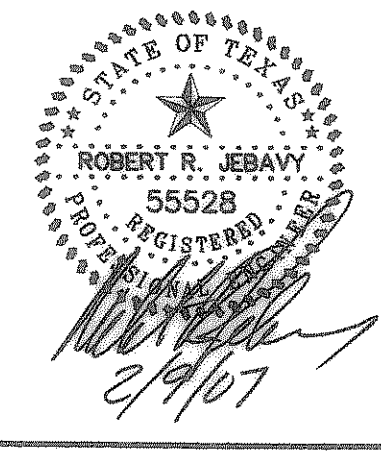
- Existing Curb
- Proposed Curb
- Sawcut
- Existing Storm Sewer Line
- Proposed Storm Sewer Line
- Flow Arrow

NOTE:
All Existing Wye and Grate Inlets In The Interior Site Areas Shall Remain In Place Until Proposed Interior Drainage System Is In Place and Ready To Be Connected To The Pipes At The Locations Where The Inlets Are To Be Removed.

Benchmark:
"□" Cut At South Side Of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
Elevation : 450.45

RECORD DRAWING
02/09/07

NOTE:
THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.



STORM SEWER PLAN
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

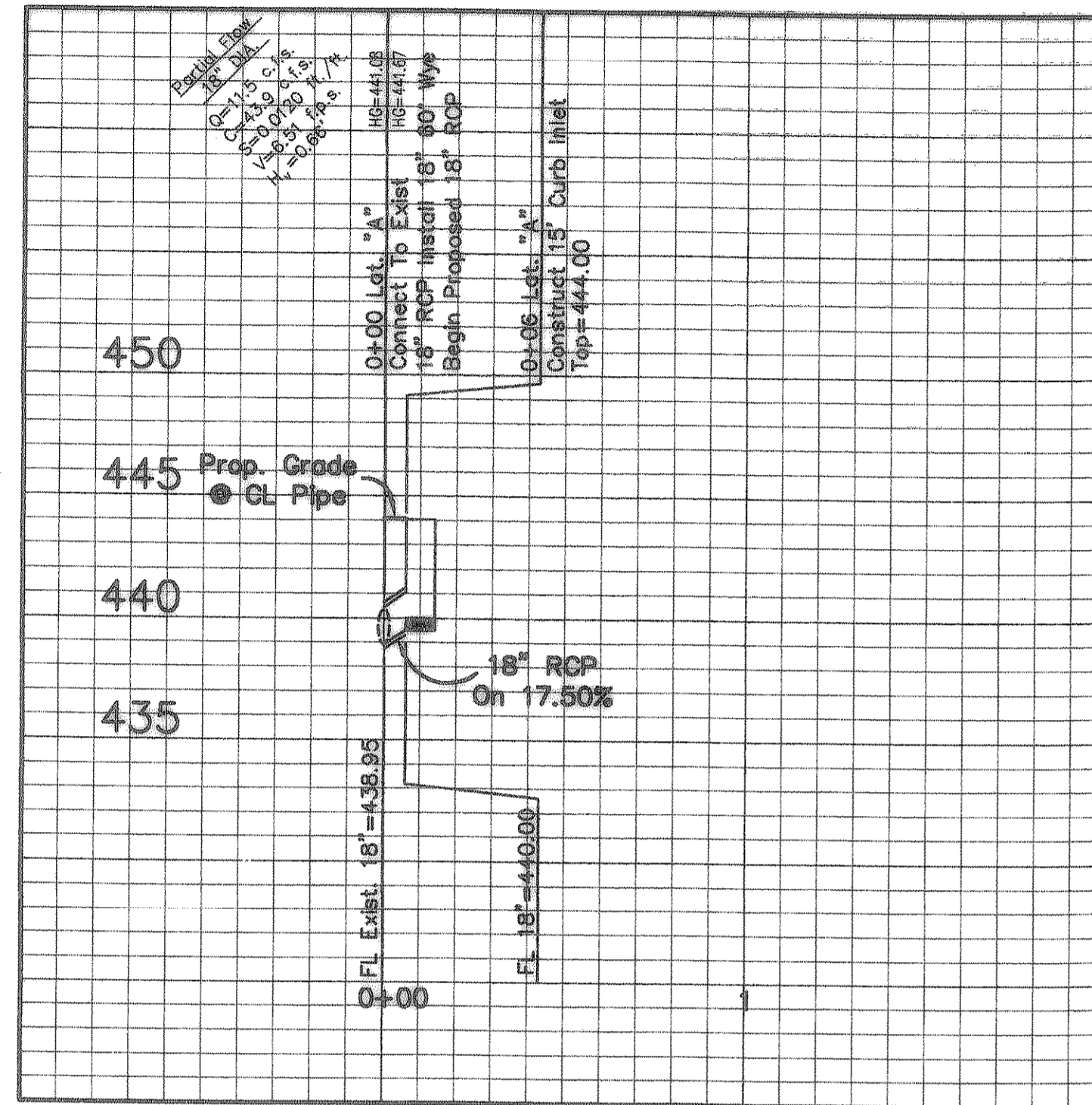
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Civil & Structural Engineering • Surveying
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(214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C9 |

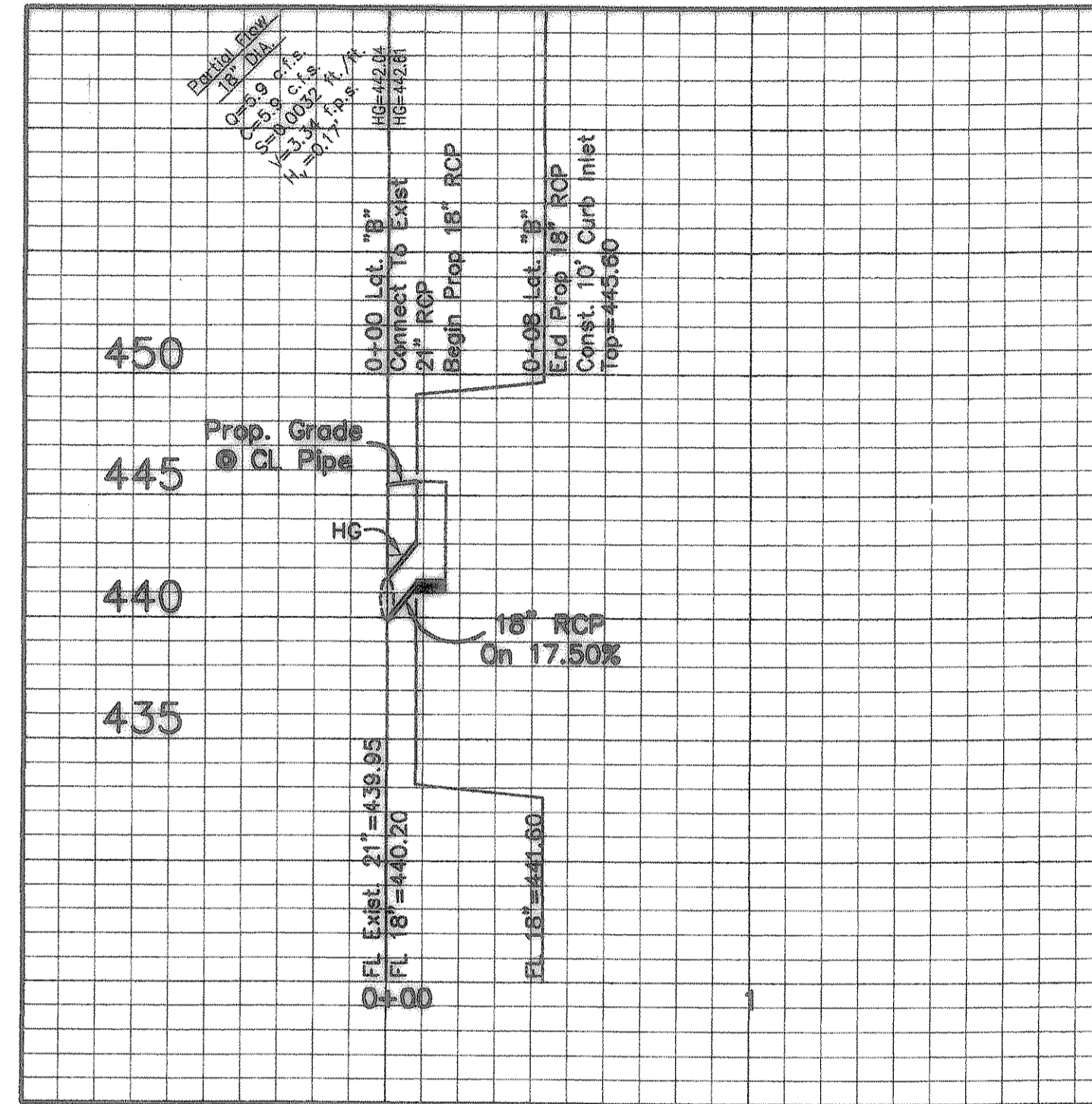


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TEXAS ONE CALL: 1-800-245-4545

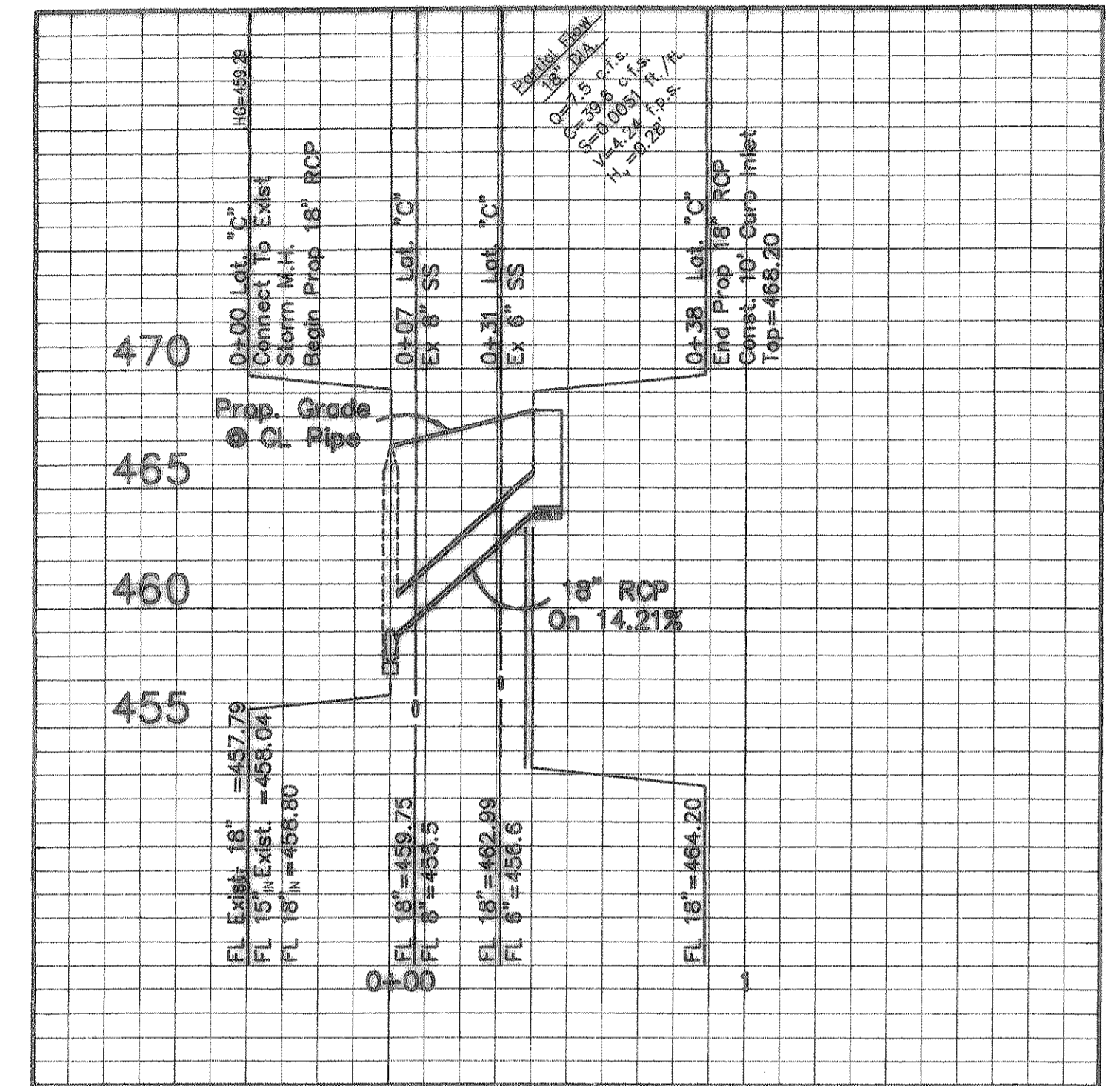
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LATERAL "A"
PROPOSED 18" RCP
H:1"=40"
V:1"=6'



LATERAL "B"
PROPOSED 18" RCP
H:1"=40"
V:1"=6'



LATERAL "C"
PROPOSED 18" RCP
H:1"=40"
V:1"=6'

RECORD DRAWING

02/09/07

NOTE:
THESE PLANS HAVE BEEN REVISED TO CONFORM
WITH CONSTRUCTION RECORDS PROVIDED BY THE
CONTRACTOR.

Benchmark :

"□" Cut At South Side Of Sanitary Sewer Lift
Station. Located 100 Ft. East and 10 Ft.± South
From The Southwest Corner Of This Property

Elevation : 450.45

STORM SEWER PROFILES

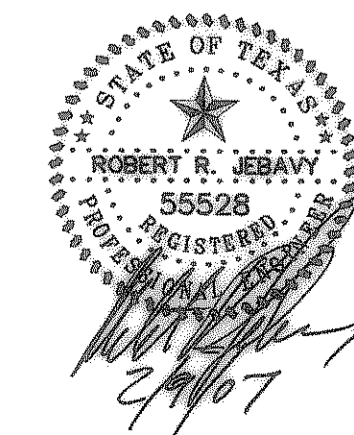
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.

consulting engineers

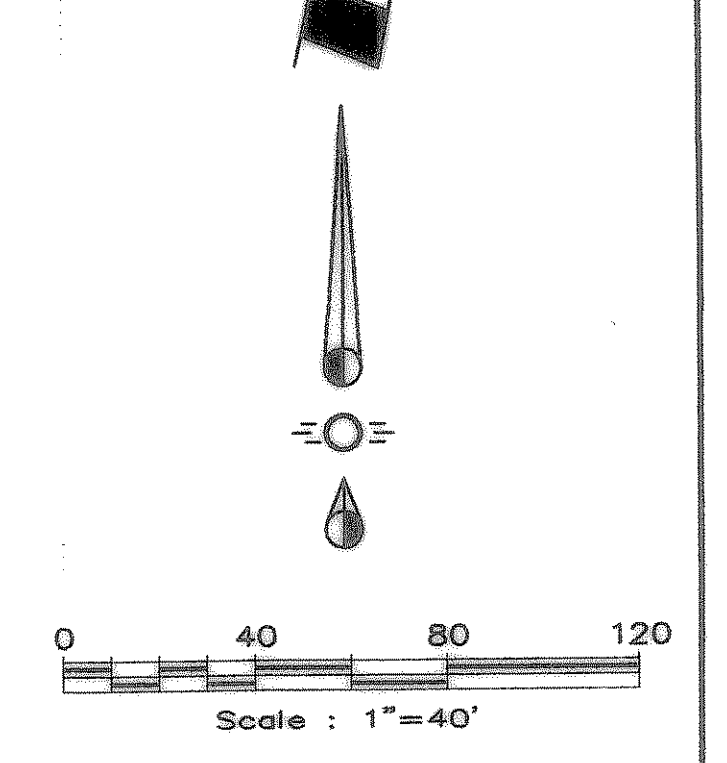
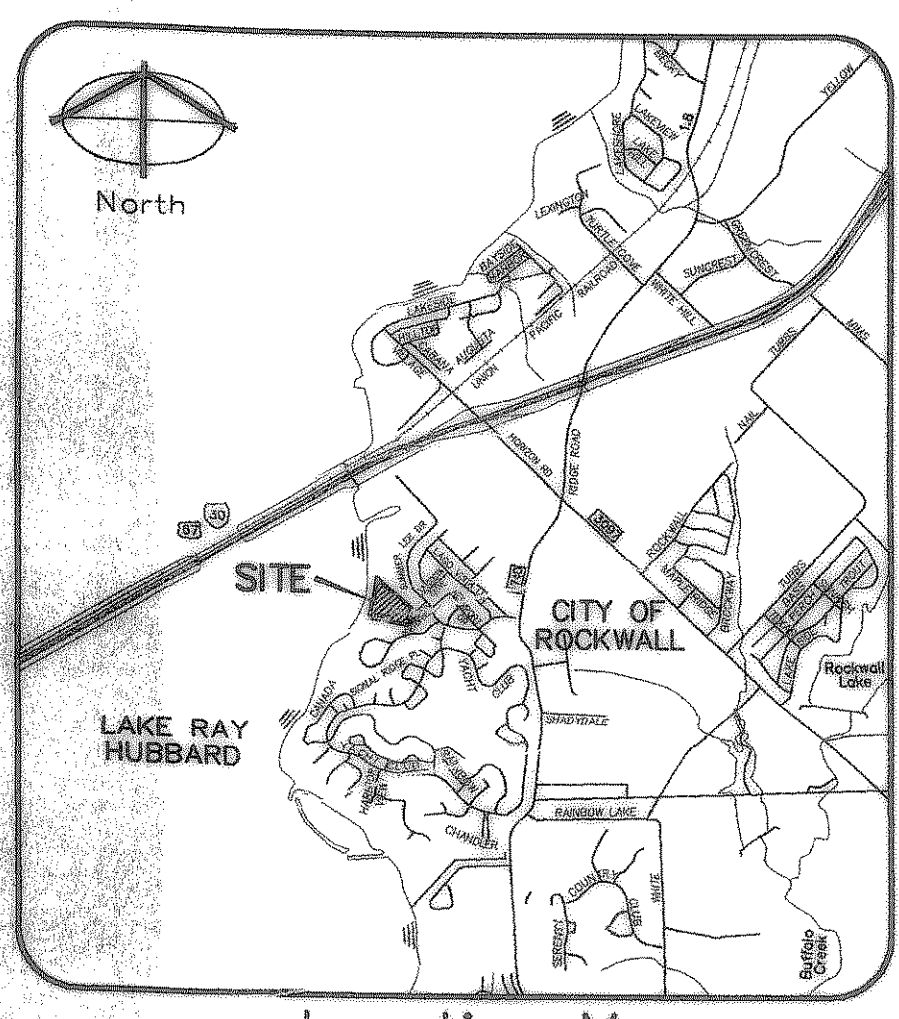
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(214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C10 |



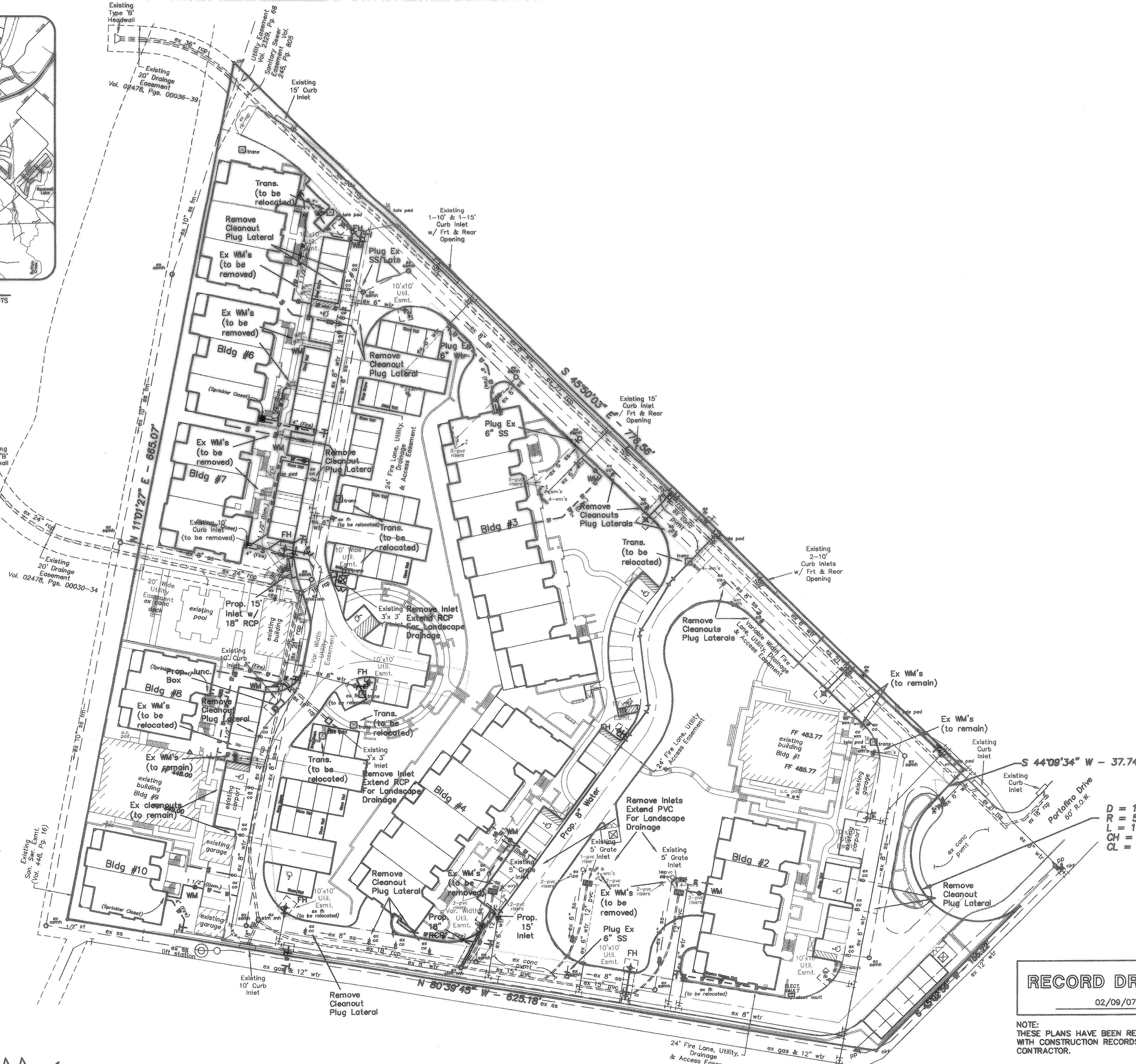
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TO CONSTRUCTION. NOTIFY THE APPROPRIATE
UTILITY COMPANIES AT LEAST 48 HOURS PRIOR
TO CONSTRUCTION.

TEXAS ONE CALL: 1-800-245-4545



Location Map
NTS

Lake Ray Hubbard



LEGEND

- Existing Curb
- - - Existing Curb (to be removed)
- - - Proposed Curb
- - - Sawcut
- - - Existing Water Line
- - - Existing Water Line (to be removed)
- - - Existing Water Service
- - - Existing Water Service (to be abandoned)
- - - Proposed Water Line
- - - Proposed Water Service
- - - Existing Sanitary Sewer Line
- - - Existing Sanitary Sewer Line (to be removed)
- - - Proposed Sanitary Sewer Line
- - - Proposed Sanitary Sewer Lateral
- - - Existing Storm Sewer Line
- - - Proposed Storm Sewer Line

D = 172'2"44"
R = 51.50'
L = 154.79'
CH = S 41°56'48" E
CL = 102.76'

RECORD DRAWING
02/09/07

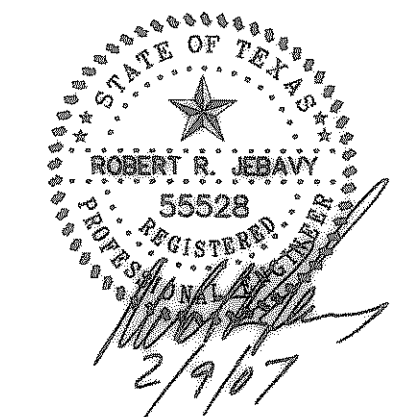
NOTE:
THESE PLANS HAVE BEEN REVISED TO CONFORM
WITH CONSTRUCTION RECORDS PROVIDED BY THE
CONTRACTOR.

Benchmark :
"B" Cut At South Side Of Sanitary Sewer Lift
Station, Located 100 Ft. East and 10 Ft.± South
From The Southwest Corner Of This Property
Elevation : 450.45

UTILITY SITE PLAN
WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
CITY OF ROCKWALL, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
DD consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | 2 |

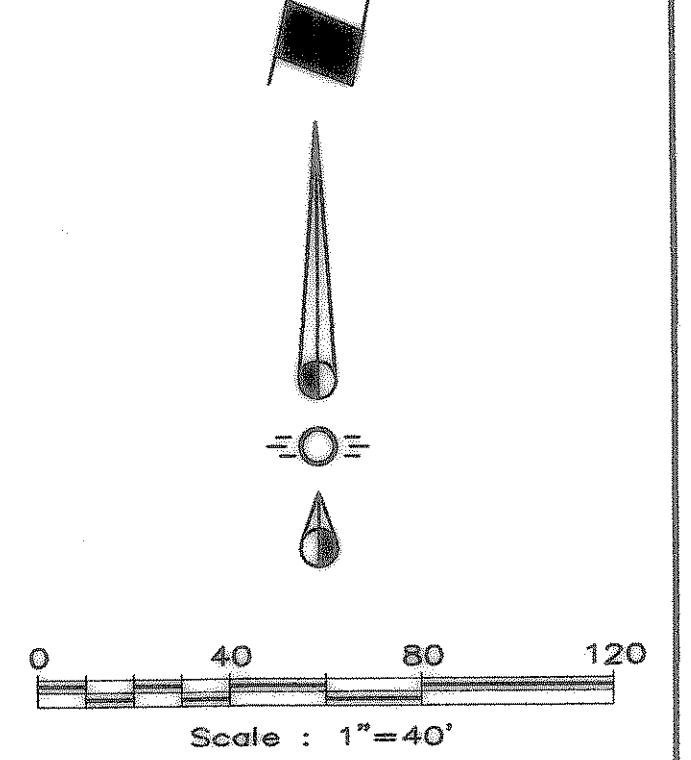


CAUTION!!
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TO CONSTRUCTION. NOTIFY THE APPROPRIATE
UTILITY COMPANIES AT LEAST 48 HOURS PRIOR
TO CONSTRUCTION.
TEXAS ONE CALL: 1-800-245-4545

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WATER & SEWER GENERAL NOTES

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- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
- Any utility installed outside of an easement shall be installed by a plumber and inspected by Code Enforcement.
- Backfill for utility lines should be carefully placed so that the utility will be stable. Where utility lines cross the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
- All water lines shall be C-900 PVC SDR 14.
- All ductile iron fittings shall be of the mechanical joint type or slip joint and shall be Class D, or Class 250 on sizes 12" and smaller in accordance with A.W.W.A. Specification C-110-64 and C-111-64.
- All water mains shall have a minimum cover of 48", or sufficient cover to clear other utilities as measured from top of pipe to existing ground level or finished grade, whichever is greater.
- Fire hydrants shall be placed 2' to 6' from back of curb located as shown on the plans.
- Fire hydrants shall be City approved.
- All gate valves shall be City approved.
- The slope for sanitary sewer laterals shall be 2%, or 1/4" per foot, or greater.
- All water meters to be placed in a non-traffic area.
- Refer to Mechanical Plans for exact water and sewer service locations.
- All fire hydrants shall have a 5' perimeter clearance from structures, fencing, and parking.
- All domestic and irrigation services shall have double check valves and backflow preventers.
- Any existing water meters, meter box's, etc. damaged during construction shall be replaced at the developer's expense.
- EMS disks shall be provided by the City and installed by the contractor.
- All work shall conform to "City of Rockwall Standard Details"
- All Fire Service lines shall be 200 PSI rated pvc.



LEGEND

- Existing Curb
- - - Proposed Curb
- - - Sawcut
- Existing Water Line
- - - Proposed Water Main
- - - Proposed Water Service Line
- Existing Sanitary Sewer Line
- - - Proposed Sanitary Sewer Line
- - - Proposed Sanitary Sewer Lateral
- XXXXXXX Existing Storm Sewer Line
- ==== Proposed Storm Sewer Line

NOTES:

- Contractor shall determine which existing water meters are in service and relocate as necessary
- Contractor shall adjust existing water meters and water valve cover stacks to match proposed grades as necessary.

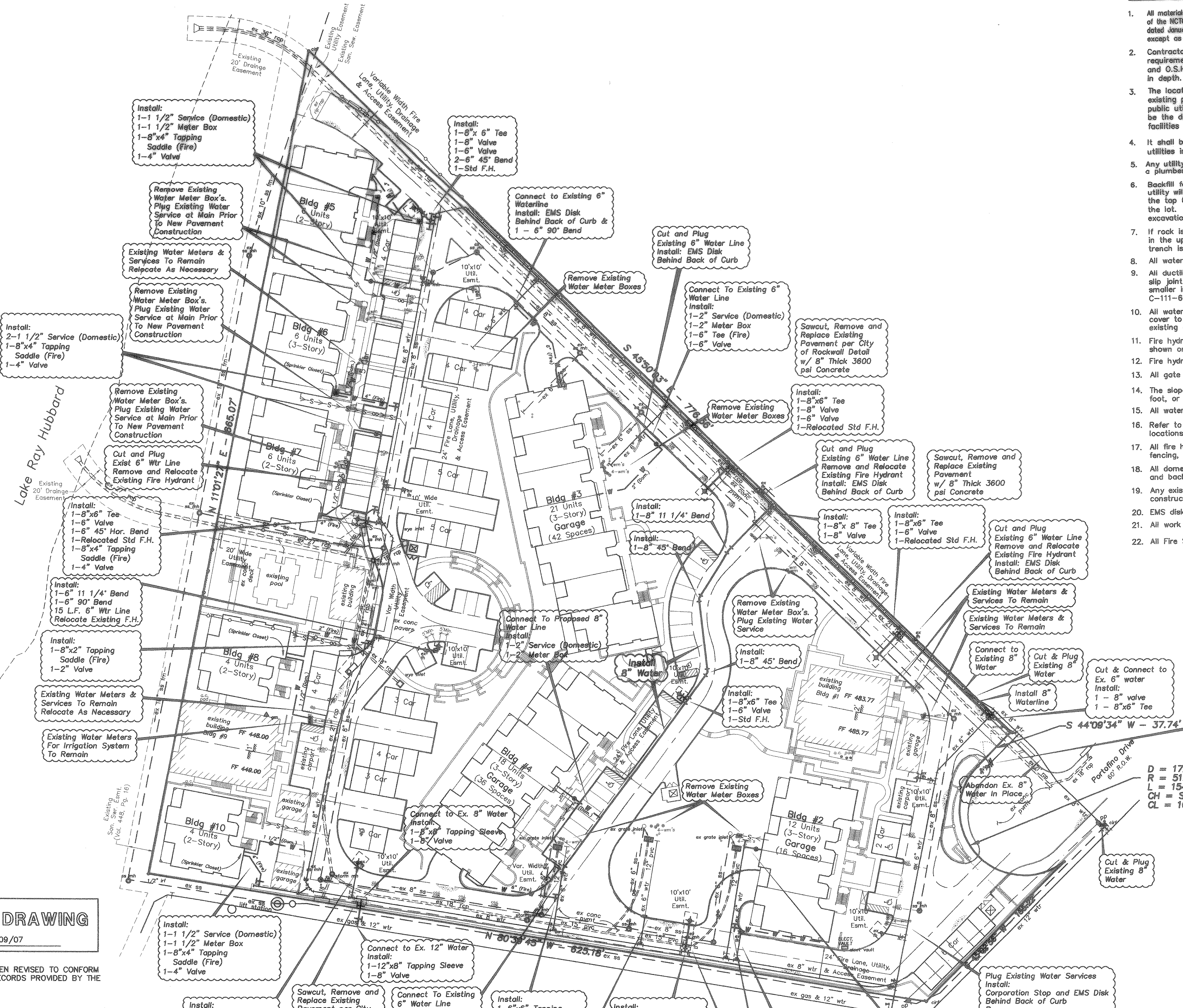
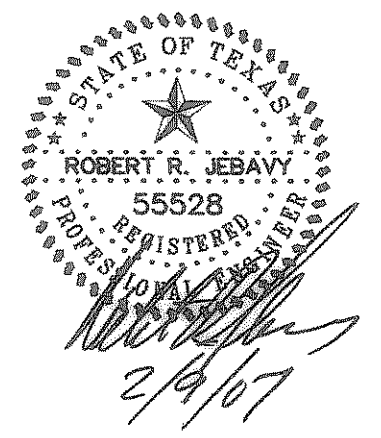
Benchmark:
 "□" Cut At South Side Of Sanitary Sewer Lift Station. Located 100 Ft. East and 10 Ft.± South From The Southwest Corner Of This Property
 Elevation : 450.45

WATER PLAN

**WATER'S EDGE RESIDENCES AT LAKE RAY HUBBARD
 CITY OF ROCKWALL, TEXAS**

BROCKETTE • DAVIS • DRAKE, INC.
 Consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • fax (214) 824-7064

| DESIGNED | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
|----------|-------|-------|--------|-------|--------|-----|
| RRJ | STL | 10/04 | 1"=40' | BDD | C04207 | C12 |



RECORD DRAWING
 02/09/07

NOTE:
 THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR.

CAUTION!!!
 EXISTING PHONE, GAS, ELECTRICAL & CATV LINES IN PROJECT AREA. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 TEXAS ONE CALL: 1-800-245-4545

INDICATES INFORMATION PROVIDED TO BROCKETTE/DAVIS/DRAKE, INC., BY RAYMOND ENGINEERING, INC., HOUSTON, TX.

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12-WR-CR10-07g