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REVISIONS	BY	REVISIONS	BY
SEPT. 1, 1995 (PT)	R.D.M.	DEC. 21, 1995	R.D.M.
SEPT. 26, 1995 (DC)	R.D.M.		
OCT. 4, 1995	R.D.M.		
OCT. 23, 1995	R.D.M.		
NOV. 6, 1995	R.D.M.		
NOV. 30, 1995 (418)	R.D.M.		

DESIGNED	R.D.M.
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**ADAMS CONSULTING ENGINEERS, INC.**  
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**SITE PLAN**

**WAL-MART SUPERCENTER #259**  
 INTERSTATE 30  
 ROCKWALL, TEXAS

DATE: 8/25/95  
 JOB NO.: 93-11W  
 SHEET NO.: 5

RIDGE ROAD

YELLOWJACKET DRIVE

SUNCREST DRIVE

WHITEHILLS DRIVE

GREENCREST BLVD.

FRONTAGE ROAD

INTERSTATE 30

**WAL-MART SUPERCENTER**  
**C-188-SGL-OL**  
 STORE NO. 259  
 APPROX. 202,588 S.F.  
 F.F. ELEV. 544.00

( 2.003 Ac. Outlot )

( 26.940 Ac. Store Site )

( 2.071 Ac. Outlot )

( 3.402 Ac. Outlot )

**PARKING RATIOS**

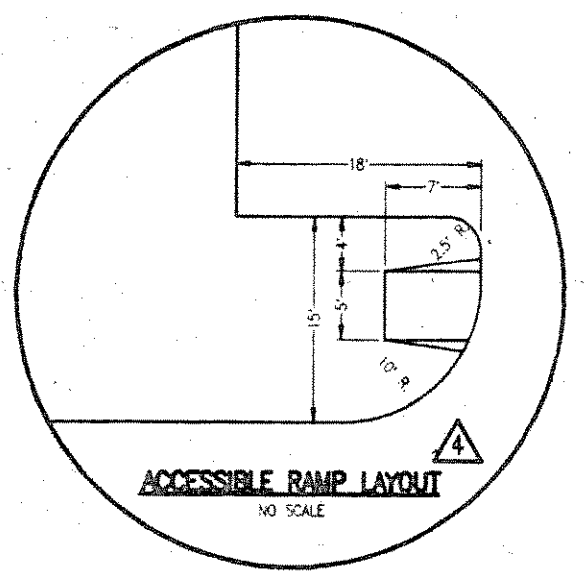
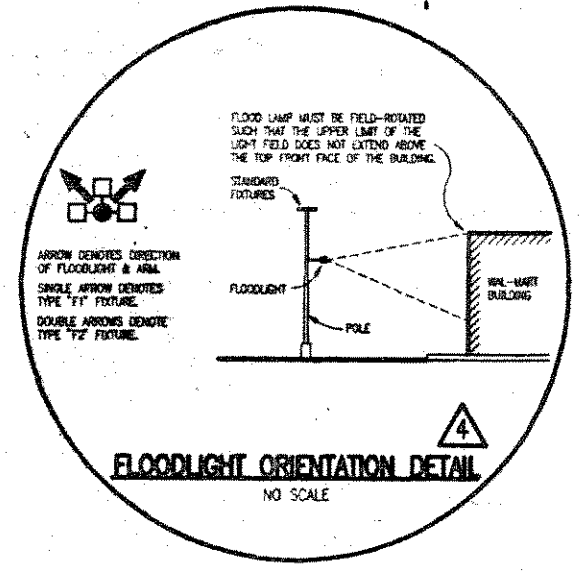
**PROPOSED WAL-MART SUPERCENTER (188 PROTO)**

BASE BUILDING AREA = 188,000 S.F.  
 TOTAL PARKING SPACES = 1049  
 (INCL. 21 ACCESSIBLE SPACES & 10 CART CORRALS)  
 PARKING RATIO = 5.58 SP. / 1000 S.F. BASE BLDG.

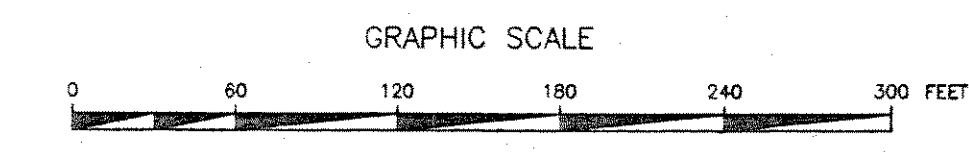
TOTAL BUILDING AREA = 202,588 S.F.  
 TOTAL PARKING SPACES = 1049  
 (INCL. 21 ACCESSIBLE SPACES & 10 CART CORRALS)  
 PARKING RATIO = 5.18 SP. / 1000 S.F. TOTAL BLDG.

NOTE: THE ABOVE FIGURES INCLUDE 121 ASSOCIATE PARKING SPACES (103 SPACES, EXCLUDING CART CORRALS, REQ'D BY CITY ORDINANCE)

- NOTES**
- ALL PARKING LOT LIGHTING POLES AND FIXTURES WITH LAMPS AND PAINT WILL BE PROVIDED BY WAL-MART AND INSTALLED BY THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE WAL-MART A ONE-YEAR WARRANTY CERTIFICATE. ALL INCLUSIVE COST FOR RECEIVING, STORAGE, UNLOADING OF FACTORY-FINISHED POLES, LUMINAIR AND WARRANTY LABOR SHALL BE INCLUDED IN THE INSTALLATION CONTRACT PRICE.
  - PIVOT SIGNS SHALL BE CONSTRUCTED BY OTHERS. CONTRACTOR SHALL SUBMIT AND HOLD TO PIVOT LOCATIONS AS INDICATED ON THE UTILITY PLAN AS PART OF THIS CONTRACT.
  - ALL CURBS SHOWN ARE TO BE BACK OF CURB (WHERE APPLICABLE), UNLESS NOTED OTHERWISE.
  - ALL CURB RADIUS SHOWN HEREIN ARE 2.5' UNLESS NOTED OTHERWISE. ALL INTERSECTION ANGLES AT CURB RADI ARE 90° UNLESS NOTED OTHERWISE.
  - REFER TO DETAILS FOR LAYOUT AND DIMENSIONS OF ALL CURBED PARKING SPACES, STRIPPED SLANES, AND ACCESSIBLE SPACES STRIPING DETAILS.
  - THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE PROTECTION AND RELOCATION OF ALL PROPERTY CORNER MONUMENTS.
  - ALL ITEMS OF WORK PERFORMED ON THIS SITE SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE SYSTEM SPECIFICATIONS.
  - REFER TO THE COVER SHEET FOR A LIST OF CONTACTS FOR PERTINENT GOVERNING AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER PERMITTING AND/OR INSPECTION OF CONSTRUCTION ON THIS SITE.
  - CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES (OR ANY OTHER JURISDICTIONAL AGENCY) FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHORING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS INCLUDING ACCESS TO AND EGRESS FROM ALL TRENCHING AND EXCAVATION, AND SHALL COMPLY WITH OSHA PERFORMANCE CRITERIA.
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  - ALL PARKING LOT LIGHTING POLES SHOWN IN GRASSES AREHARD BEHIND CURB LINES SHALL BE 12" OF SETBACK FROM CURB UNLESS NOTED OTHERWISE.
  - UNDERGROUND CONDUIT TO THE PARKING LOT LIGHTING POLES SHALL BE TYPED INSIDE THE LIMITS OF ANY INTERIOR CURBED SLAND.
  - ALL EXISTING TREES SHOWN HEREIN ARE TO REMAIN IN PLACE PER CITY ORDINANCE. THE CONTRACTOR SHALL REFER TO THE PRELIMINARY PLAN FOR SPECIFIC MEASURES FOR PROTECTING TREES FROM ALL CONSTRUCTION ACTIVITIES AND SHALL ASSUME RESPONSIBILITY FOR REPLANTING AND/OR MITIGATION OF DAMAGED TREES IN ACCORDANCE WITH SAID ORDINANCE.
  - WHERE PROPOSED CONCRETE PAVING WILL MEET EXISTING CONCRETE PAVING, THE EXISTING CONCRETE SHALL BE SMOOTH, SMOOTH AND MIN. 12" LENGTH OF EXISTING CONCRETE SHALL BE LEFT TO BE TIED IN TO THE PROPOSED CONCRETE PAVING SECTIONS.
  - DETAILS, REFERENCES, REF. SHEET 12 FOR STORAGE, PAVEMENT MARKINGS, AND LIGHTING DETAILS; REF. SHEET 13 FOR DRIVE APPROACH, SIDEWALK, AND ACCESIBILITY LINE DETAILS; REF. SHEET 14 FOR CURB DETAILS AND TRAFFIC SECTIONS; REF. SHEET 15 FOR RETAINING WALL DETAILS; REF. SHEET 16 & 17 FOR LANDSCAPE DETAILS OF CURBED & STRIPPED SLANES.
  - ALL PROPOSED PAVING, UNLESS NOTED OTHERWISE, SHALL BE REGULAR-DUTY ASPHALT PAVING PER TO DETAILS.



TOTAL DEVELOPMENT : 34.416 ACRES



**NOTICE TO CONTRACTOR**

TOPOGRAPHIC INFORMATION SHOWN FROM A TOPOGRAPHIC SURVEY BY ADAMS CONSULTING ENGINEERS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THIS PLAN, WITHOUT EXCEPTION HE SHALL MAKE AT HIS EXPENSE A TOPOGRAPHIC SURVEY OF A RESPECTED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING AND/OR RELOCATING ALL EXISTING STORM SEWER STRUCTURES, POLES, AND ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES FROM THE INFORMATION SHOWN ON THE PLAN. ANY ADDITIONAL COST INCURRED DUE TO NON-REPRODUCTION OF THESE EXISTING ITEMS SHALL BE AT THE CONTRACTOR'S EXPENSE.

