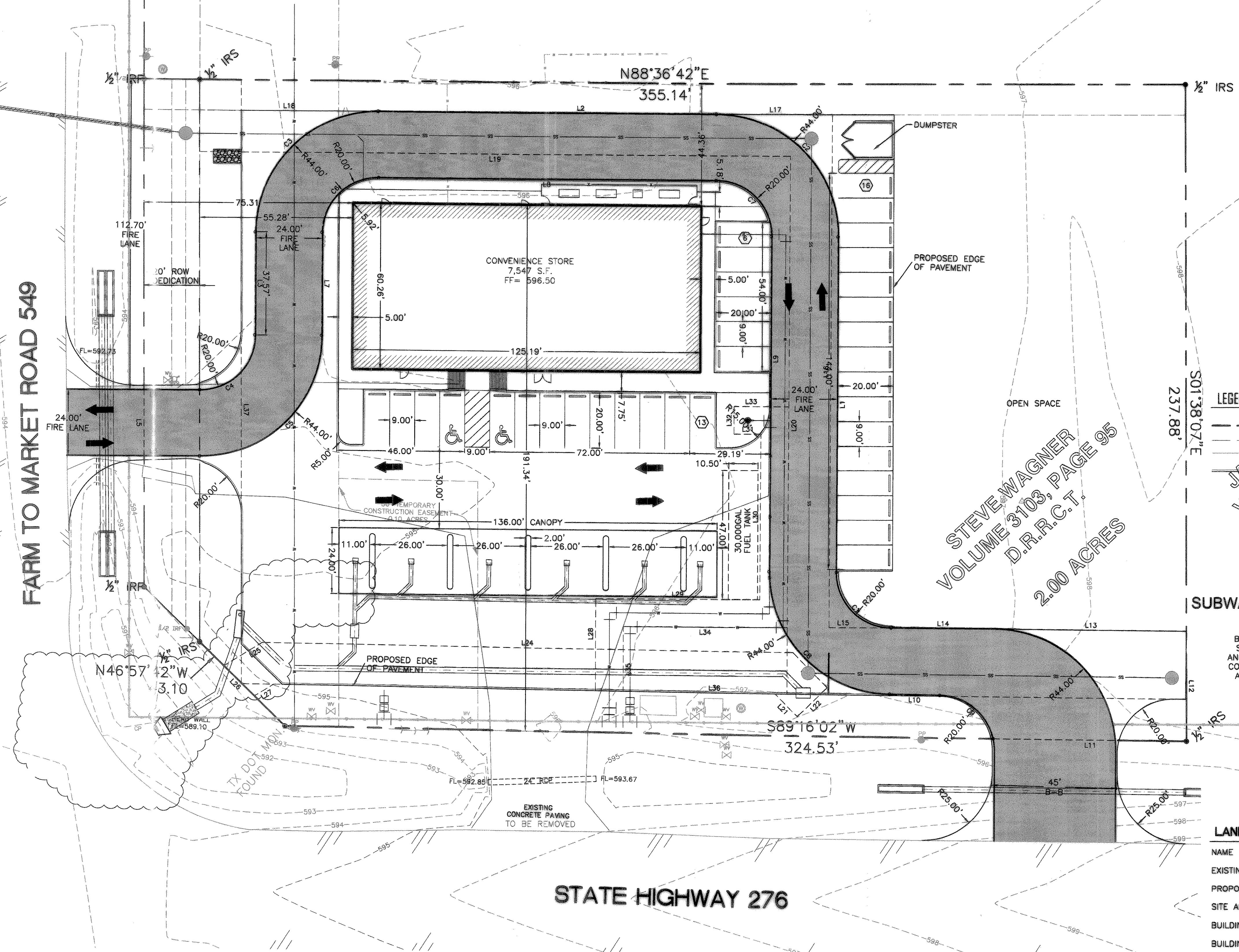
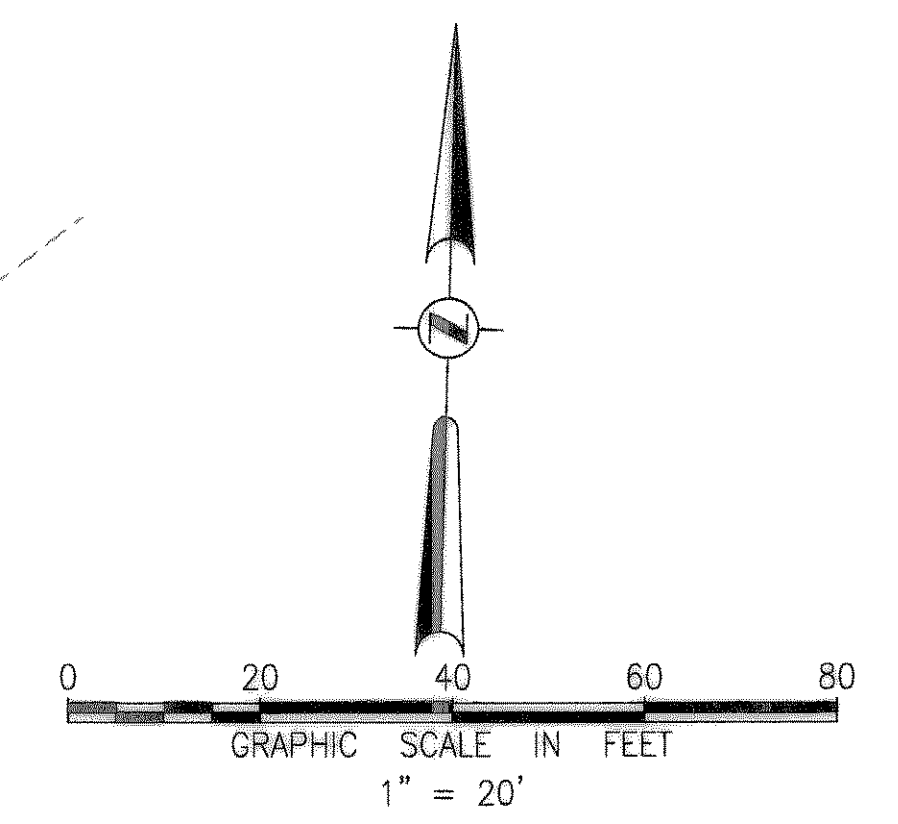
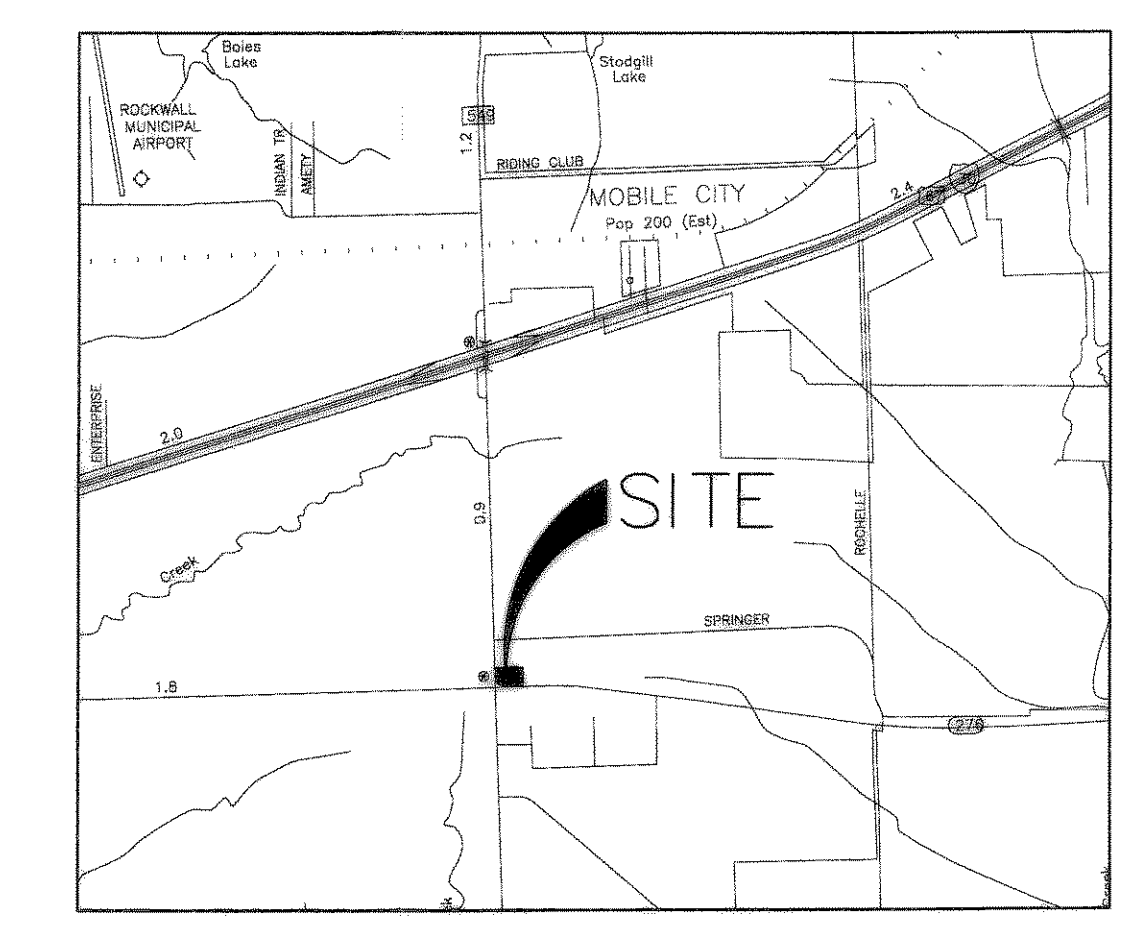


JAEQUELYN KELLY
VOLUME 678, PAGE 5

RECORD DRAWINGS

THE DRAWINGS CONTAINED IN THIS SET ARE "RECORD DRAWINGS". THE INFORMATION SHOWN ON THESE SHEETS, WHERE IT DIFFERS FROM THE PERMITTED SET, IS TAKEN FROM FIELD OBSERVATIONS AND NOTES PROVIDED BY THE GENERAL CONTRACTOR.



LEGEND

	PROPERTY LINE
	ADJOINED PROPERTY
	EXISTING WATER LINE
	PROPOSED CURB AND GUTTER
	PAINTED STRIPE (TRAFFIC YELLOW)
	PAINTED WALKWAY (TRAFFIC YELLOW)
	PARKING STALL COUNT
	SITE LIGHTING

SITE PLAN SUBWAY / GATEWAY / HEALTH FOOD STORE

BEING A TRACT OF LAND SITUATED IN THE J.A. RAMSAY SURVEY ABSTRACT NO. 186, ROCKWALL COUNTY, TEXAS AND BEING THAT TRACT OF LAND CONVEYED BY ROLAND E. COBB, JR. AND MARTHA COBB TO STEVE WAGNER BY DEED AS RECORDED IN VOLUME 3103, PAGE 92, OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS.

OWNER
NAIM TATARI
9700 FM 1641
TERRELL, TEXAS 75160

ENGINEER
MA ENGINEERING & CONSTRUCTION
1120 S. FREEWAY, SUITE 118
FORT WORTH, TX 76104
(817)885-8600
(817)796-1042 FAX

LAND USE CHART

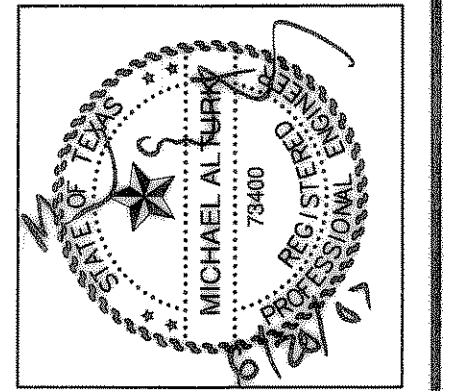
NAME PROPOSED	CONVENIENT STORE
EXISTING ZONING	COMMERCIAL
PROPOSED USE	COMMERCIAL
SITE AREA	2.00 ACRES (87,120 S.F.)
BUILDING AREA	0.17 ACRES (7,547 S.F.)
BUILDING HEIGHT	20' SINGLE STORY
FLOOR AREA RATIO	8.66% OF TOTAL LOT AREA
IMPERVIOUS SURFACE AREA	1.08 ACRES (49,880 S.F.)
PARKING REQUIRED	31 SPACES REQUIRED (1 PER 250 S.F.)
PARKING PROVIDED	35 SPACES PROVIDED (INCLUDING H.C.)
HANDICAP PARKING REQUIRED	X HANDICAP SPACES
HANDICAP PARKING PROVIDED	2 HANDICAP SPACE (2 VAN ACCESSIBLE)

GENERAL NOTES

- ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
- SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING.
- ALL CURVE RADII SHALL BE NO LESS THAN 3' UNLESS INDICATED OTHERWISE.
- SEE ARCHITECTURAL PLANS FOR SIGHTING LIGHTING DESIGN AND DETAILS.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	DESCRIPTION	DATE	SCALE
1	ISSUE FOR PERMIT	5/30/06	1/4" = 1'-0"
2	ISSUE FOR PERMIT	6/07/06	1/4" = 1'-0"
3	REVISE SANITARY SEWER PER PRIVATE 64" WATER LINE	12/14/06	1/4" = 1'-0"
4	REVISE STORM SEWER AND CURB INLET	6/1/07	1/4" = 1'-0"
5	RECORD DRAWINGS	5/20/08	1/4" = 1'-0"



SUBWAY / GATEWAY / HEALTH FOOD STORE
STATE HIGHWAY 276 & F.M. 549
ROCKWALL, ROCKWALL COUNTY, TEXAS

SITE PLAN

1120 S. FREEWAY SUITE 118
FT WORTH, TX 76104
PHONE (817) 271-9066
FAX (817) 796-1042



SHEET
C-3.0