

PLANS FOR CONSTRUCTION OF
CIVIL SITE WORK
TO SERVE
SOUTHWEST KIA OF ROCKWALL FACILITY
LOT 1, BLOCK 1
ROCKWALL KIA FINAL PLAT

OWNER:

SOUTHWEST KIA OF MESQUITE

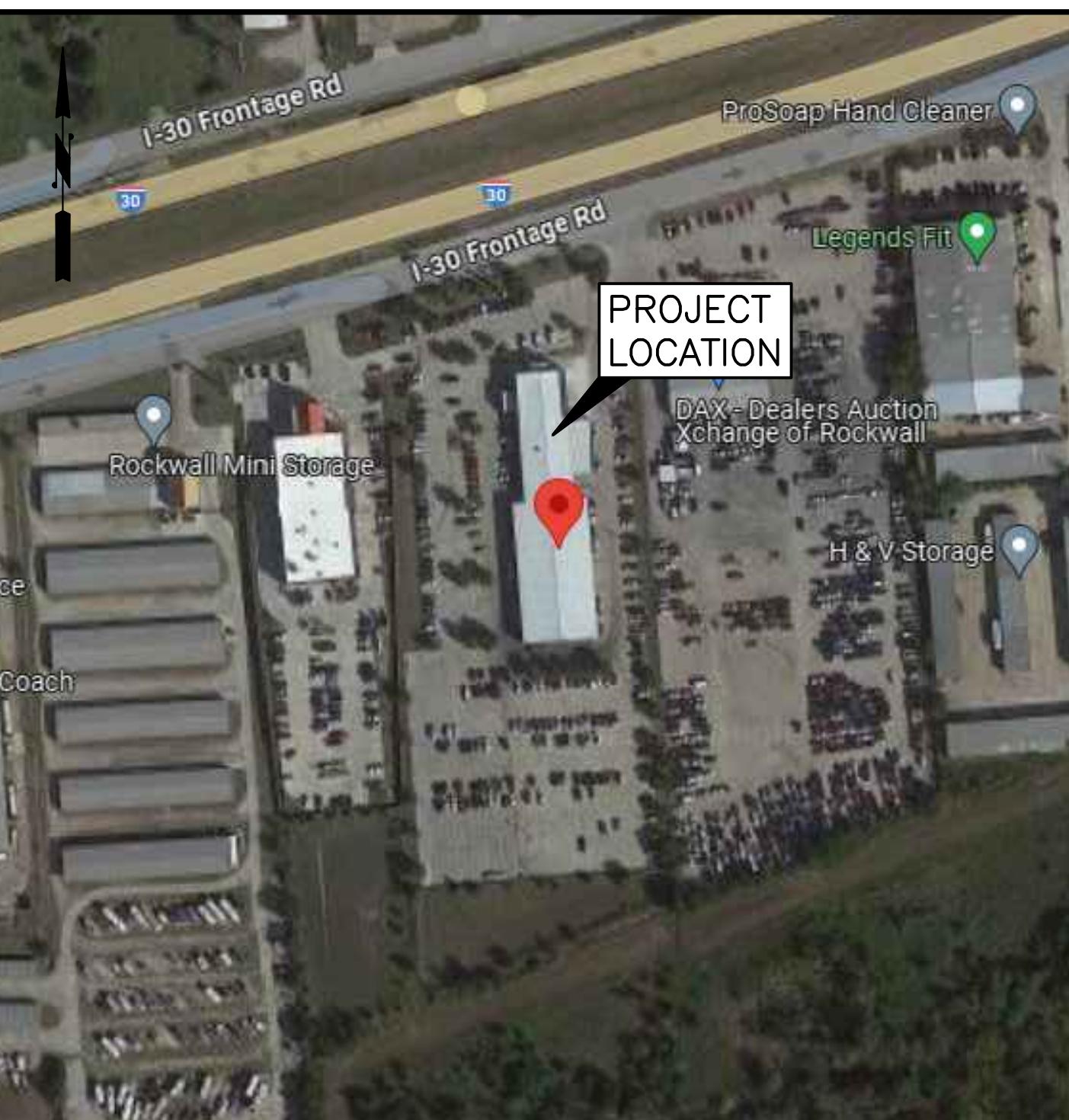
3845 OAK LAWN AVE.
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LOMA ARCHITECTURE
3838 N. SAM HOUSTON PKWY. E., SUITE 185
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CONTACT: JASON OTERO

ENGINEER:

CIVIL-CON CONSULTANTS LLC
1445 NORTH LOOP WEST, SUITE 325
HOUSTON, TX 77008
PHONE: (713) 992-4148
CONTACT: JOEL VITELA



790 EAST I-30 FRONTAGE ROAD
ROCKWALL, TEXAS 75087

LOCATION MAP

BENCHMARKS:
ELEVATIONS SHOWN HEREON ARE BASED ON
AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL
CONTROL MONUMENTS: COR-6 (ALUMINUM DISK
STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN
GRASS MEDIAN +387" WEST OF INTERSECTION OF
JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH
OF AIRPORT RD. CL.)
ELEVATION=558.61' NAVD88-GEOID12B

COR-9 (BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT: ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, +180' EAST INTERSECTION OF DISCOVERY/CORPORATE)
ELEVATION=595.63' NAVD88-GEOID12B

TBM "A"
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT
NORTHWEST CORNER OF SUBJECT PROPERTY, AS
SHOWN ON SURVEY
ELEVATION=582.20'

FLOODPLAIN NOTE:
BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C0045L MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

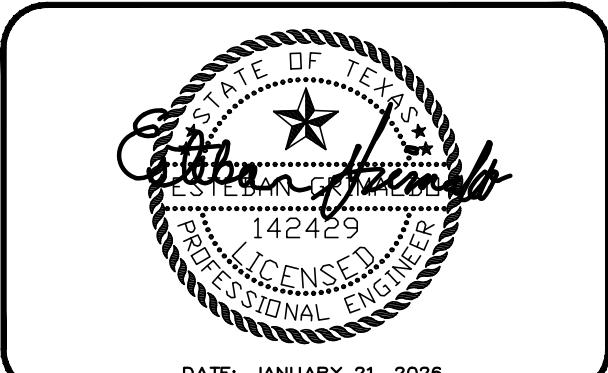
IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED BY FLOOD CONTROL STRUCTURES". THE APPROXIMATE LIMITS OF SAID ZONES AS DETERMINED HEREON ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

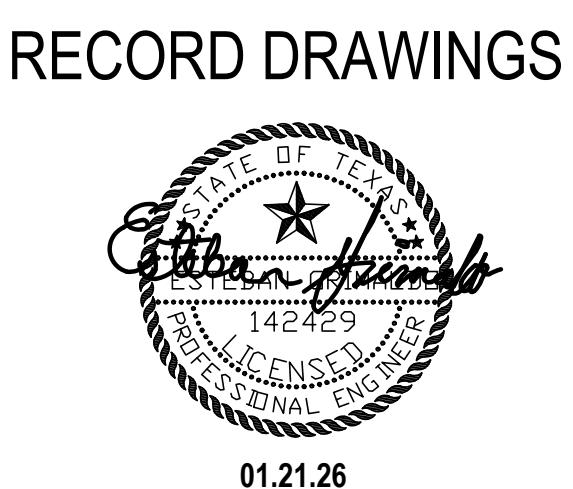
D R A W I N G I N D E X

SHEET	TITLE
C1.0	COVER SHEET
C2.0	CITY GENERAL NOTES
C3.0	PLAT
C3.1	PLAT
C4.0	OVERALL SITE PLAN
C5.0	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C6.0	DIMENSION CONTROL PLAN
C7.0	GRADING & DRAINAGE PLAN
C8.0	PAVING PLAN
C9.0	EROSION CONTROL PLAN
C10.0	DETAILS
L1.10	PLANTING PLAN

RECORD DRAWINGS

TO THE BEST OF OUR KNOWLEDGE,
CIVIL-CON CONSULTANTS HEREBY STATES
THAT THESE PLANS ARE RECORD DRAWINGS.
THIS INFORMATION IS BASED ON SURVEYING
AT THE SITE AND INFORMATION PROVIDED
BY THE CONTRACTOR.





DATE	DELTA	DESCRIPTION
05.29.2024		ISSUE FOR PERMIT
08.20.2024		ADDRESSED PERMIT COMMENTS

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/engr.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am – 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES

- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and/or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call – 811 – line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - No more than 500 linear feet of trench may be opened at one time.
 - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
 - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC – SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal.. ConShield must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypass pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

	GENERAL CONSTRUCTION NOTES	
	Sheet 1 of 2 October 2020	
CITY OF ROCKWALL ENGINEERING DEPARTMENT		
385 S. Goliad Rockwall, Texas 75087	P (972) 771-7746	F (972) 771-7748

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMP's noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement
			Machine placed	Hand Placed	
Arterial	10"	3,600	6.0	6.5	#4 bars 18"
Collector	8"	3,600	6.0	6.5	#4 bars 18"
Residential	6"	3,600	6.0	6.5	#3 bars 24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars 24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars 24"
Driveways	6"	3,600	6.0	6.5	#3 bars 24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars 24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars 24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars 24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars 24"

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be doveled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

DRAINAGE / STORM SEWER NOTES

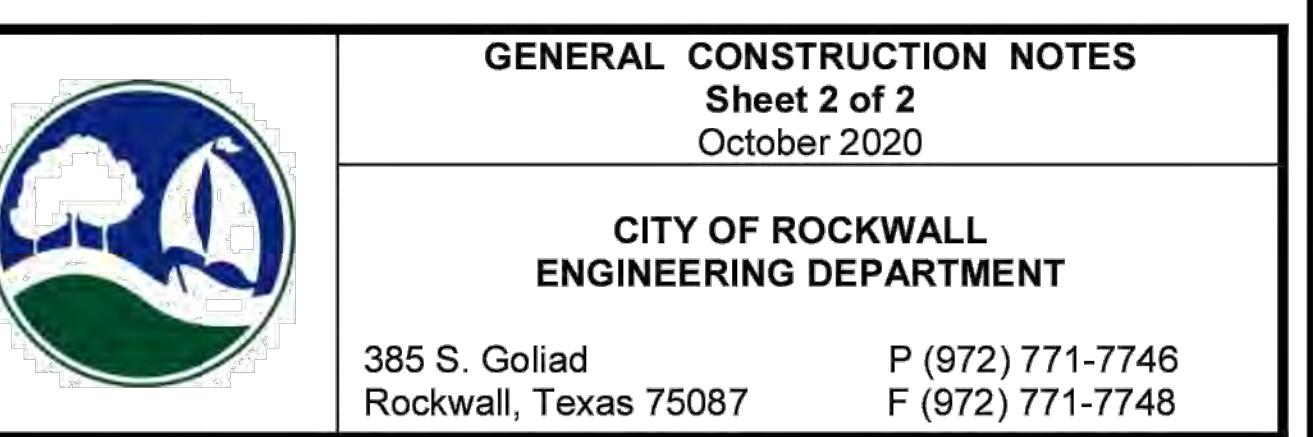
- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert to invert out.
- All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
- All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.

RETAINING WALLS

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
- All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRAWINGS/AS-BUILT

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
- Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
- The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
- Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



FOR REFERENCE ONLY

LOMA
ARCHITECTURE

3838 N. SAM HOUSTON PARKWAY E., SUITE 185
HOUSTON, TEXAS 77032

WWW.LOMAARCH.COM

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
1445 NORTH LOOP WEST., SUITE 325
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

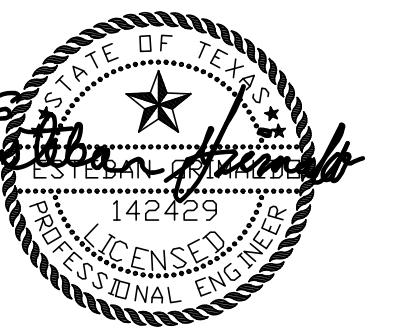
MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
LOT 1, BLOCK 1
ROCKWALL KIA
FINAL PLAT

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

RECORD DRAWINGS



01.21.26

TBPE F-22251

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
05.29.2024		ISSUE FOR PERMIT
08.20.2024		ADDRESSED PERMIT COMMENTS

PROJECT NUMBER:

LA2204

ISSUE DATE:

01.21.2026

SHEET NAME:

SUBDIVISION PLAT

SHEET:

C3.1

STATE OF TEXAS
COUNTY OF ROCKWALL

THEREAS SALAHOUN FAMILY, L.P. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

PROPERTY DESCRIPTION

Being that certain tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas, being that certain tract of land described in deed to David Zalman (Trustee) as recorded in Volume 4605, Page 60, of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a found 5/8-inch iron rod on the southeast line of East Bound Service Road of I-30 at the northwest corner of said Zalman tract and being at the northeast corner of that certain tract of land described in deed to T. Devon Corporation as recorded in Volume 1233, Page 28, said Deed Records;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 300.00 feet along the southeast line of said East Bound Service Road of I-30 to a point at the northeast corner of said Zalman tract and being at the northwest corner of that certain tract of land described in deed to Michael L. Peoples, Sr., as recorded in Volume 1192, Page 145, said Deed Records;

THENCE South 04 degrees 30 minutes 06 seconds East, a distance of 813.68 feet along the east line of said Zalman tract to a found iron pipe at the southeast corner of said Zalman tract and being on the north line of that certain tract of land described in deed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, of said Deed Records;

THENCE South 68 degrees 03 minutes 20 seconds West, a distance of 350.75 feet to a point at the southwest corner of said Zalman tract and being at the southwest corner of aforesaid T. Devon Corporation tract;

THENCE North 01 degree 46 minutes 48 seconds West, a distance of 859.22 feet along the west line of said Zalman tract to the POINT OF BEGINNING and containing 260,988 square feet or 5.9915 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the KIA Rockwall subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the KIA Rockwall subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curbs and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city of secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements of prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement; but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city of secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Owner responsible for maintenance and operation of detention pond.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner:

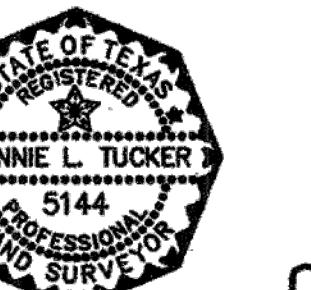
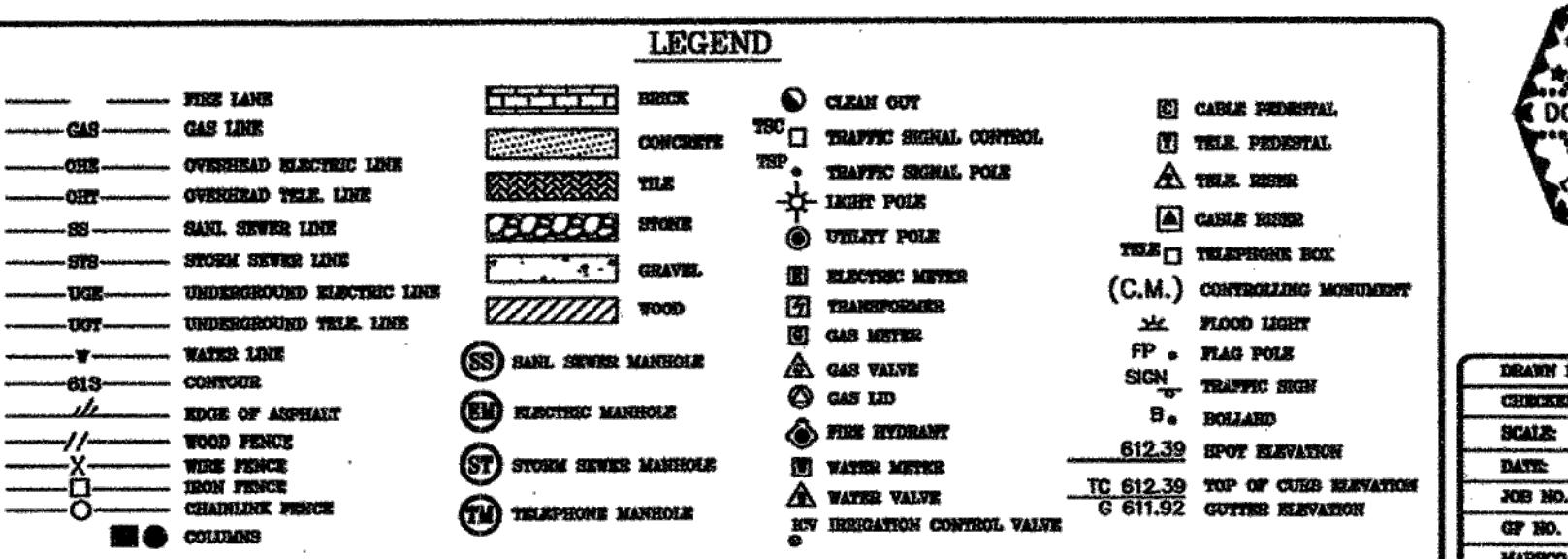
STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Shahab Salehoun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this 21 Day of Feb 2008

Kirin R. Bricker
Notary Public in and for the State of Texas

3-25-2010
My Commission Expires:



OWNER: SALAHOUN FAMILY, L.P.
39838 IBJ FREEWAY
DALLAS, TX 75232
PHONE: 972-283-9797
FAX: 972-283-5862

FINAL PLAT - PAGE 2 OF 2
260,988 SQ. FT. - 5.9915 AC.
LOT 1, BLOCK 1, ROCKWALL KIA
1790 EAST I-30
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

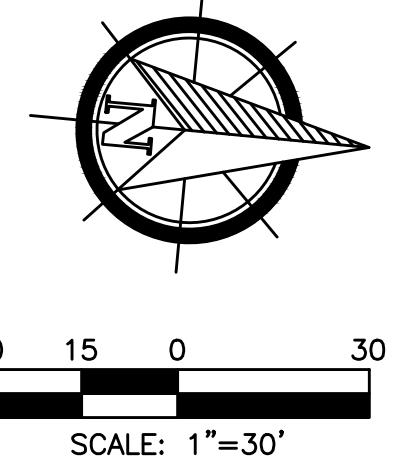
DRAWN BY:	DK
CHECKED BY:	RTA
DATE:	01/26/08
JOB NO.:	00-1500
GP NO.:	
MAP/SCD NO.:	

G-280

FOR REFERENCE ONLY

SITE PLAN NOTES

1. ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND MAY REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE MESQUITE ZONING ORDINANCE AND ENGINEERING DESIGN MANUAL.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE MESQUITE ZONING ORDINANCE.
4. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS OR AS DIRECTED BY THE FIRE Marshal.
5. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
6. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA), TEXAS ACCESSIBILITY STANDARDS AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
7. ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE BUILDING OFFICIAL OR DESIGNEE.
8. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
9. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FAÇADE/BUILDING ELEVATION PLAN.
10. ALL NEW UTILITY LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
11. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE MESQUITE ZONING ORDINANCE AND COMMUNITY APPEARANCE MANUAL.



LOMA
ARCHITECTURE

3838 N. SAM HOUSTON PARKWAY E., SUITE 185
HOUSTON, TEXAS 77032

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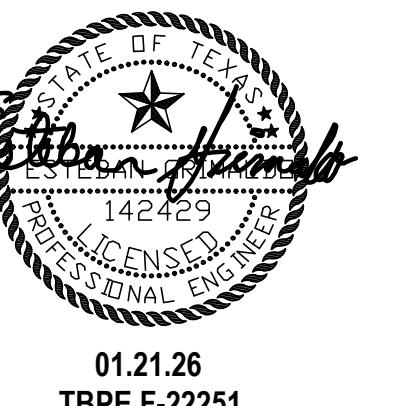
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SEAL/SIGNATURE:
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01.21.26
TBPE F-22251

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PROJECT NUMBER: LA2204
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SHEET NAME: CIVIL SITE PLAN

SHEET: C4.0

BENCHMARKS:
ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL SURVEY MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL) ELEVATION=558.61' NAVD88+GEOID12B

COR-9 (BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, +180' EAST INTERSECTION OF DISCOVERY/CORPORATE) ELEVATION=595.63' NAVD88+GEOID12B

TBM "A"
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHEAST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY ELEVATION=582.20'

FLOODPLAIN NOTE:
BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C0045, MAP REVISED DATE OF SEPTEMBER 26, 2008, INDICATES THAT TRACT LIES WITHIN A 200-YEAR X-FLOODPLAIN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY INDICATE AREAS SUBJECT TO FLOOD, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED FROM FLOOD CONTROL STRUCTURES. THE APPROXIMATE LIMITS OF SAID AREAS, AS DETERMINED HEREON, ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

LOT 1, BLOCK A
SERVICE KING I-30 ADDITION
DOC. # 2017-3740
P.R.R.C.T.

N01°46'48"W - 859.22' (PLAT)

260,989.7 SF - 5.9915 AC.
LOT 1, BLOCK 1
RICKWALL KIA
SLIDE NO. G-279-280
P.R.R.C.T.

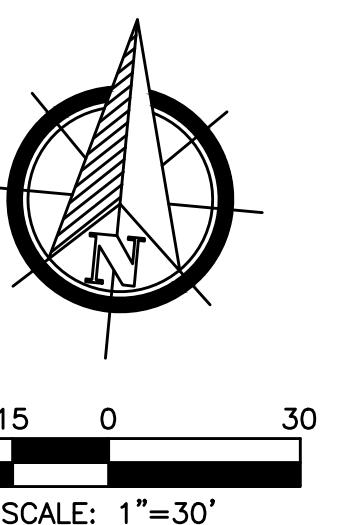
EXIST. PVM'T & APPURTENANCES
(TO REMAIN)

SO4°30'06"E - 813.68' (PLAT)

CALLED 6.017 ACRES
ROCKWALL, TX RE LLC
VOL. 2019, PG. 11194
P.R.R.C.T.

GENERAL DEMOLITION NOTES:

- ALL WORK ON THIS PLAN SHOULD BE PERFORMED IN ACCORDANCE WITH THE SCHEDULE INCLUDED WITHIN THE SITWORK SPECIFICATION MANUAL. (AS APPLICABLE)
- PROTECTION OF EXISTING FACILITIES
 - PROTECT EXISTING UTILITIES AND IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND RESTORE DAMAGED OR TEMPORARILY RELOCATED UTILITIES AND IMPROVEMENTS
 - VERIFY EXACT LOCATIONS AND DEPTHS OF UTILITIES SHOWN AND MAKE EXPLORATORY EXCAVATIONS OF UTILITIES THAT MAY INTERFERE WITH THE WORK.
 - PERFORM EXPLORATORY EXCAVATIONS AS SOON AS PRACTICABLE AFTER AWARD OF CONTRACT AND A SUFFICIENT TIME IN ADVANCE OF CONSTRUCTION TO AVOID DELAYS TO THE WORK.
 - WHEN EXPLORATORY EXCAVATIONS SHOW UTILITY LOCATION AS SHOWN TO BE IN ERROR, NOTIFY ENGINEER.
 - PERFORM EXPLORATORY EXCAVATIONS REQUIRED TO SUFFICIENTLY DETERMINE ALIGNMENT AND GRADE OF EXISTING UTILITIES.
 - DO NOT ENTER NOR OCCUPY WITH MEN, EQUIPMENT, OR MATERIALS, ANY LANDS OUTSIDE THE REFERENCED SITE.
 - TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE PRIVATE AND PUBLIC PROPERTY IN THE IMMEDIATE AREA OF WORK SITES.
 - ASSUME TOTAL LIABILITY FOR DAMAGE TO PRIVATE AND/OR PUBLIC PROPERTY DURING THE PROSECUTION OF THE WORK.
 - ENSURE SITE STAYS OPERATIONAL AND BUSINESS IS NOT INTERRUPTED DURING CONSTRUCTION.
- PROTECTION OF SURVEY MARKERS
 - DO NOT DESTROY, REMOVE, OR OTHERWISE DISTURB EXISTING SURVEY MARKERS OR OTHER EXISTING STREET OR ROADWAY MARKERS WITHOUT PROPER AUTHORIZATION.
 - CONTACT THE SURVEYOR OF RECORD TO DETERMINE LOCATION OF ALL SURVEY MARKERS.
 - NO WORK SHALL BE STARTED UNTIL ALL SURVEY OR OTHER PERMANENT MARKER POINTS THAT WILL BE DISTURBED BY THE CONSTRUCTION OPERATIONS HAVE BEEN PROPERLY REFERENCED FOR EASY AND ACCURATE RESTORATION.
 - ACCURATELY RESTORE SURVEY MARKERS OR POINTS DISTURBED BY CONTRACTOR AT CONTRACTOR'S EXPENSE AFTER WORK HAS BEEN COMPLETED.
- PAVEMENT
 - PAVEMENTS SUBJECT TO PARTIAL REMOVAL SHALL BE NEATLY SAW CUT IN STRAIGHT LINES UNLESS OTHERWISE NOTED.
- DEMOLITION
 - DEMOLITION SHALL INCLUDE COMPLETE REMOVAL AND DISPOSAL OF DESIGNATED STRUCTURES WITHIN THE LIMITS OF DEMOLITION SHOWN ON THE DRAWINGS, AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING WORK:
 - REMOVAL OF ALL STRUCTURES AND FOUNDATIONS TO A MINIMUM OF TWO (2) FEET BELOW FUTURE FINISHED GRADE, AND COMPLETE REMOVAL OF ALL ASSOCIATED PIPING, WIRING, DUCTWORK, AND EQUIPMENT.
 - BREAK-UP AND REMOVAL OF SLABS-ON-GRADE. SLABS SHALL BE COMPLETELY REMOVED.
 - FILLING OF ALL SUBGRADE CAVITIES WITH ON-SITE SOIL COMPACTED TO 95 PERCENT DENSITY (ASTM D698), OR AS INSTRUCTED BY THE GEOTECH ENGINEER, WHICHEVER IS MORE STRINGENT.
 - PROVISIONS FOR TEMPORARY BRACING AND SHORING AS REQUIRED UNTIL DEMOLITION AND BACKFILLING WORK IS COMPLETE.
 - UNIFORM GRADING OF DEMOLITION AREA TO MATCH EXISTING GRADE OF PERIMETER.
 - RESTORATION OF SIDEWALKS, BITUMINOUS AND CONCRETE PAVEMENTS, AND ANY OTHER IMPROVEMENTS OR PROPERTY DAMAGED BY DEMOLITION OPERATIONS.
 - CLEANING OF ADJACENT STRUCTURES, IMPROVEMENTS, STREETS, SIDEWALKS, AND PROPERTY OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
 - DEMOLITION SHALL BE BY CONVENTIONAL DEMOLITION METHODS USING HEAVY TO LIGHT MECHANICAL MEANS AS WELL AS HAND DEMOLITION METHODS. USE OF EXPLOSIVES SHALL NOT BE PERMITTED. BURNING AND BURIAL OF MATERIAL ON SITE SHALL NOT BE PERMITTED.
 - THE CONTRACTOR SHALL LIMIT DUST AND DIRT CAUSED BY DEMOLITION OPERATIONS SO AS TO COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - DEMOLITION OPERATIONS SHALL NOT INTERRUPT EXISTING UTILITIES SERVING NEIGHBORING PROPERTIES AND/OR BUILDING TO REMAIN OPERATIONAL DURING PHASES OF DEMOLITION, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS DIRECTED BY GOVERNING AUTHORITIES.
- REGULATORY REQUIREMENTS
 - CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND DISPOSAL.
 - OBTAIN REQUIRED PERMITS FROM AUTHORITIES.
 - NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
 - DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, OR HYDRANTS WITHOUT PERMITS.
- PREPARATION
 - PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES PRIOR TO WORK.
 - PROTECT EXISTING APPURTENANCES AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. SEE CIVIL DRAWINGS FOR FURTHER NOTES & CONSIDERATIONS.
 - PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
 - MARK LOCATION OF UTILITIES.
- PROTECTION OF EXISTING UTILITIES AND IMPROVEMENTS
 - PROTECT UNDERGROUND UTILITIES AND OTHER IMPROVEMENTS WHICH MAY BE IMPAIRED DURING CONSTRUCTION OPERATIONS.
 - DETERMINE ACTUAL LOCATION OF EXISTING UTILITIES AND OTHER IMPROVEMENTS THAT WILL BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
 - ADEQUATELY PROTECT UTILITIES AND OTHER IMPROVEMENTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.
 - TAKE ALL POSSIBLE PRECAUTIONS FOR PROTECTING UNFORESEEN UTILITY LINES TO PROVIDE FOR UNINTERRUPTED SERVICE AND TO PROVIDE NECESSARY SPECIAL PROTECTION.
 - OWNER'S RIGHT OF ACCESS: OWNER AND OWNERS OF PUBLIC UTILITIES RESERVE THE RIGHT TO ENTER AT ANY TIME UPON ANY PUBLIC STREET, ALLEY, RIGHT-OF-WAY, OR EASEMENT FOR THE PURPOSE OF MAKING CHANGES IN THEIR PROPERTY.
 - UNDERGROUND UTILITIES INDICATED:
 - EXISTING UTILITY LINES TO BE RETAINED, THAT ARE INDICATED OR LOCATIONS OF WHICH ARE MADE KNOWN TO CONTRACTOR PRIOR TO EXCAVATION, AND UTILITY LINES CONSTRUCTED DURING EXCAVATION OPERATIONS SHALL BE PROTECTED FROM DAMAGE DURING EXCAVATION AND BACKFILLING.
 - IF DAMAGED, CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE.
 - UNDERGROUND UTILITIES NOT INDICATED: IF CONTRACTOR DAMAGES EXISTING UTILITY LINES THAT ARE NOT INDICATED OR THE LOCATIONS OF WHICH ARE NOT MADE KNOWN TO CONTRACTOR PRIOR TO EXCAVATION, IMMEDIATELY MAKE A WRITTEN REPORT TO ENGINEER.
 - APPROVAL OF REPAIRS: REPAIRS TO A DAMAGED UTILITY OR IMPROVEMENT SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY AN AUTHORIZED REPRESENTATIVE OF THE UTILITY OR IMPROVEMENT OWNER BEFORE BEING CONCEALED BY BACKFILL OR OTHER WORK.
 - MAINTAINING IN SERVICE:
 - DURING CONSTRUCTION, CONTINUOUSLY MAINTAIN OIL AND GASOLINE PIPELINES; POWER, TELEPHONE, AND COMMUNICATION CABLE DUCTS; GAS AND WATER MAINS; IRRIGATION LINES; SEWER LINES; STORM DRAIN LINES; POLES, OVERHEAD POWER, AND COMMUNICATION WIRES AND CABLE ENCOUNTERED ALONG THE LINE OF THE WORK IN SERVICE UNLESS OTHER ARRANGEMENTS APPROVED BY ENGINEER ARE MADE WITH THE OWNERS OF THE FACILITIES.
 - BE RESPONSIBLE FOR AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS, EVEN IF DAMAGE OCCURS AFTER BACKFILLING OR IS NOT DISCOVERED UNTIL AFTER COMPLETION OF BACKFILLING.
- NOTIFICATION BY CONTRACTOR
 - PRIOR TO EXCAVATION IN VICINITY OF EXISTING UNDERGROUND FACILITIES (INCLUDING WATER, SEWER, STORM DRAIN, GAS, PETROLEUM PRODUCTS, OR OTHER PIPELINES; BURIED ELECTRIC POWER, COMMUNICATIONS, OR TELEVISION CABLES; TRAFFIC SIGNAL AND STREET LIGHTING FACILITIES; AND ROADWAY AND STATE HIGHWAY RIGHTS-OF-WAY) NOTIFY THE RESPECTIVE AUTHORITIES REPRESENTING THE OWNERS OR AGENCIES RESPONSIBLE FOR THE FACILITIES NOT LESS THAN 3 DAYS NOR MORE THAN 7 DAYS PRIOR TO EXCAVATION SO THAT A REPRESENTATIVE OF OWNERS OR AGENCIES CAN BE PRESENT DURING SUCH WORK IF THEY SO DESIRE.
 - NOTIFY THE UNDERGROUND SERVICE ALERT OR UTILITY COORDINATION COMMITTEE AT 1-800-669-8344 OR 1-800-245-4545 AT LEAST 2 DAYS, BUT NO MORE THAN 14 DAYS, PRIOR TO EXCAVATION.
- DEMOLITION
 - CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
 - CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY OWNER. DO NOT RESUME OPERATIONS UNTIL DIRECTED BY OWNER.
 - CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS AND COMMERCIAL USES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
 - DEMOLITION ACTIVITIES SHALL BE WHOLLY CONTAINED WITHIN THE PROPERTY BOUNDARY LINES.
- DEMOLITION REQUIREMENTS
 - DISCONNECT, CAP, AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
 - REMOVE FOUNDATION WALLS AND FOOTINGS TO A MINIMUM OF TWO FEET BELOW FINISHED GRADE BEYOND AREA OF NEW CONSTRUCTION.
 - REMOVE CONCRETE SLABS ON GRADE.
 - BACKFILL OPEN PITS AND HOLES CAUSED AS A RESULT OF DEMOLITION PER GEOTECH REPORT.
 - ROUGH GRADE AND COMPACT AREAS Affected BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
 - REMOVE DEMOLISHED MATERIALS FROM SITE.
 - DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
 - CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM FACILITIES TO REMAIN IN OPERATION DURING DEMOLITION PHASING.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATORY AGENCIES AND ANY OTHER ENTITY CONCERNING THE RELEASE OF GASES OR LIQUIDS FROM ANY EXISTING EQUIPMENT TO BE DEMOLISHED OR REMOVED.



A scale bar diagram consisting of a horizontal line with tick marks. The first tick mark is labeled '0' at the far left. The second tick mark is labeled '15' to its right. The third tick mark is labeled '0' to its right. The fourth tick mark is labeled '30' to its right. The distance between the first and second tick marks is filled with black, the distance between the second and third is white, and the distance between the third and fourth is black.

INCHMARKS:
ELEVATIONS SHOWN HEREON ARE BASED ON
SURVEY GPS OBSERVATIONS OF CITY ROCKWALL
CONTROL MONUMENTS: COR-6 (ALUMINUM DISK
BEMPTED "CITY OF ROCKWALL SURVEY MONUMENT" IN
CASS MEDIAN +387" WEST OF INTERSECTION OF
THN KING BLVD. AND AIRPORT RD. +100' SOUTH
AIRPORT RD. CL.)
ELEVATION=558.61' NAVD88-GEOID12B

LOMA ARCHITECTURE

**3838 N. SAM HOUSTON PARKWAY E., SUITE 185
HOUSTON, TEXAS 77032**

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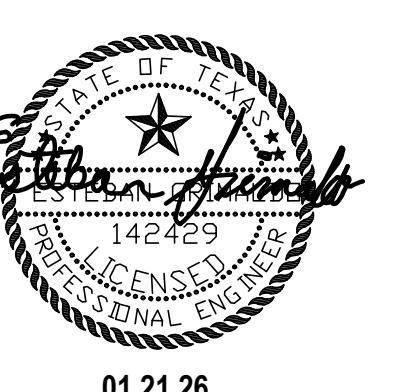
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FINAL PLAT

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01.21.26

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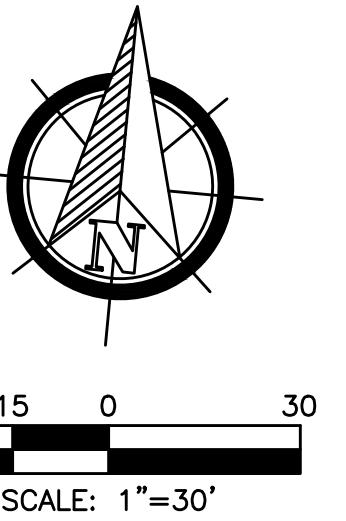
01 21 2026

SHEET NAME:

TOPO & DEMO PLATE

€5.0

ONSIBILITY FOR ADEQUACY OF DESIGN
WITH THE DESIGN ENGINEER. THE CITY OF
LL, IN REVIEWING AND RELEASING PLANS
NSTRUCTION, ASSUME NO RESPONSIBILITY
EQUACY OR ACCURACY OF DESIGN



BENCHMARKS:
ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL CONTROL MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL.) ELEVATION=595.61' NAVD88-GEOD12B

COR-9 (BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, +180' EAST OF INTERSECTION OF DISCOVERY/CORPORATE) ELEVATION=595.63' NAVD88-GEOD12B

TBM "A"
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHEAST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY ELEVATION=582.20'

FLOODPLAIN NOTE:
BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C0045, MAP REVISED DATE OF SEPTEMBER 26, 2008, INDICATES THAT TRACT LIES WITHIN A 200-YR X-FLOODPLAIN AREA, DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED BY FLOOD CONTROL STRUCTURES. THE APPROXIMATE LIMITS OF SAID AREAS IS DETERMINED HERON ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS."

TOTAL LOT AREA = 260,988 SF
DISTURBED LOT AREA = 8,876 SF

LEGEND	
FF 124.25	FINISHED FLOOR
TG 121.05	TOP OF GRADE
TC 123.47 G 122.97	TOP OF CURB GUTTER LINE
TP 121.50	TOP OF PAVEMENT
TW 124.32	TOP OF SIDEWALK
1.5%	SLOPE ARROW
TC 123.47 G 122.97	EXISTING TOP OF CURB EXISTING GUTTER
	EXIST. DRAINAGE PATTERN

GRADING NOTES:

1. FOR AREAS DESIGNATED AS HANDICAP ACCESSIBLE PARKING AND VEHICLE ACCESS AISLES, SLOPE MAY NOT EXCEED 2% IN ANY DIRECTION.
2. CROSS SLOPES ON ALL SIDEWALKS AND ADA HANDICAP ACCESSIBLE ROUTES AND RAMPS NOT TO EXCEED 2%.
3. MAX SLOPE ALONG ADA HANDICAP RAMPS SHALL NOT EXCEED 1:12 (8.33%).
4. CONTRACTOR SHALL ASSURE THAT SLOPES FOR ALL ADA ACCESS ROUTES, AISLES, LANDINGS, RAMPS, PARKING SPACES, AND RAMPS MEET GRADE CRITERIA PRIOR TO PLACING PAVING. IF FIELD CONDITIONS CAUSE SLOPES TO EXCEED MAXIMUM ALLOWABLE GRADES CONTRACTOR IS TO NOTIFY ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION.
5. ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
6. ALL SITE PAVING TO BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
7. ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
8. DRAINAGE PATTERN REMAINS THE SAME. NO ADDITIONAL IMPERVIOUS COVER ADDED TO SITE.
9. EXPANSION JOINTS TO BE PLACED AT MAX 60' SPACING, CONTROL JOINTS TO BE PLACED AT 15' MAX SPACING. CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION.
10. RETAINING WALLS/CURBS $\geq 18"$ MUST BE ROCK OR STONE FACED. NO SMOOTH FACED ALLOWED.

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
05.29.2024		ISSUE FOR PERMIT
08.20.2024		ADDRESSED PERMIT COMMENTS

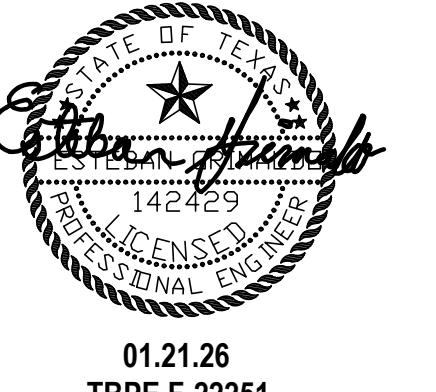
PROJECT NUMBER: LA2204

ISSUE DATE: 01.21.2026

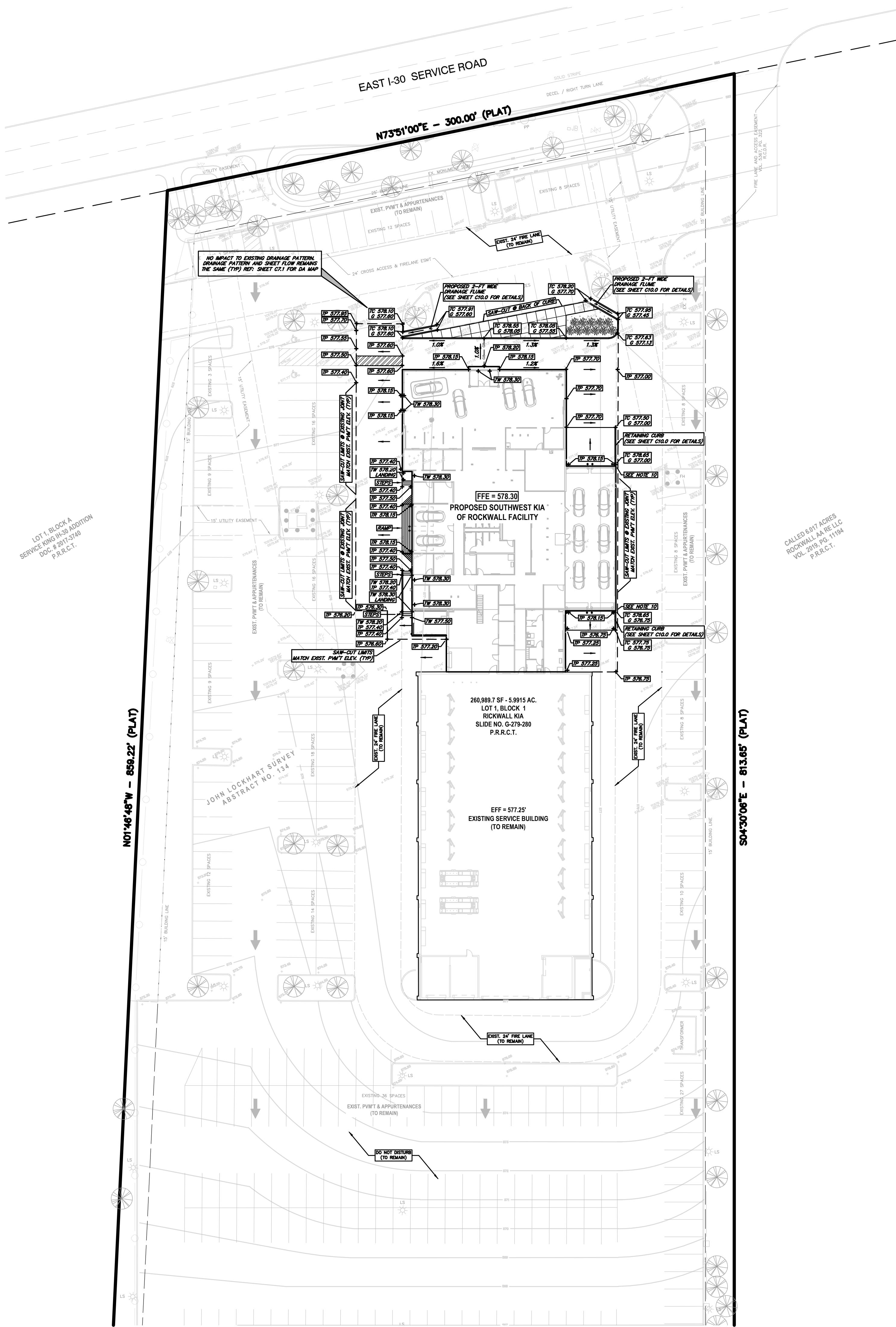
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SHEET: C7.0

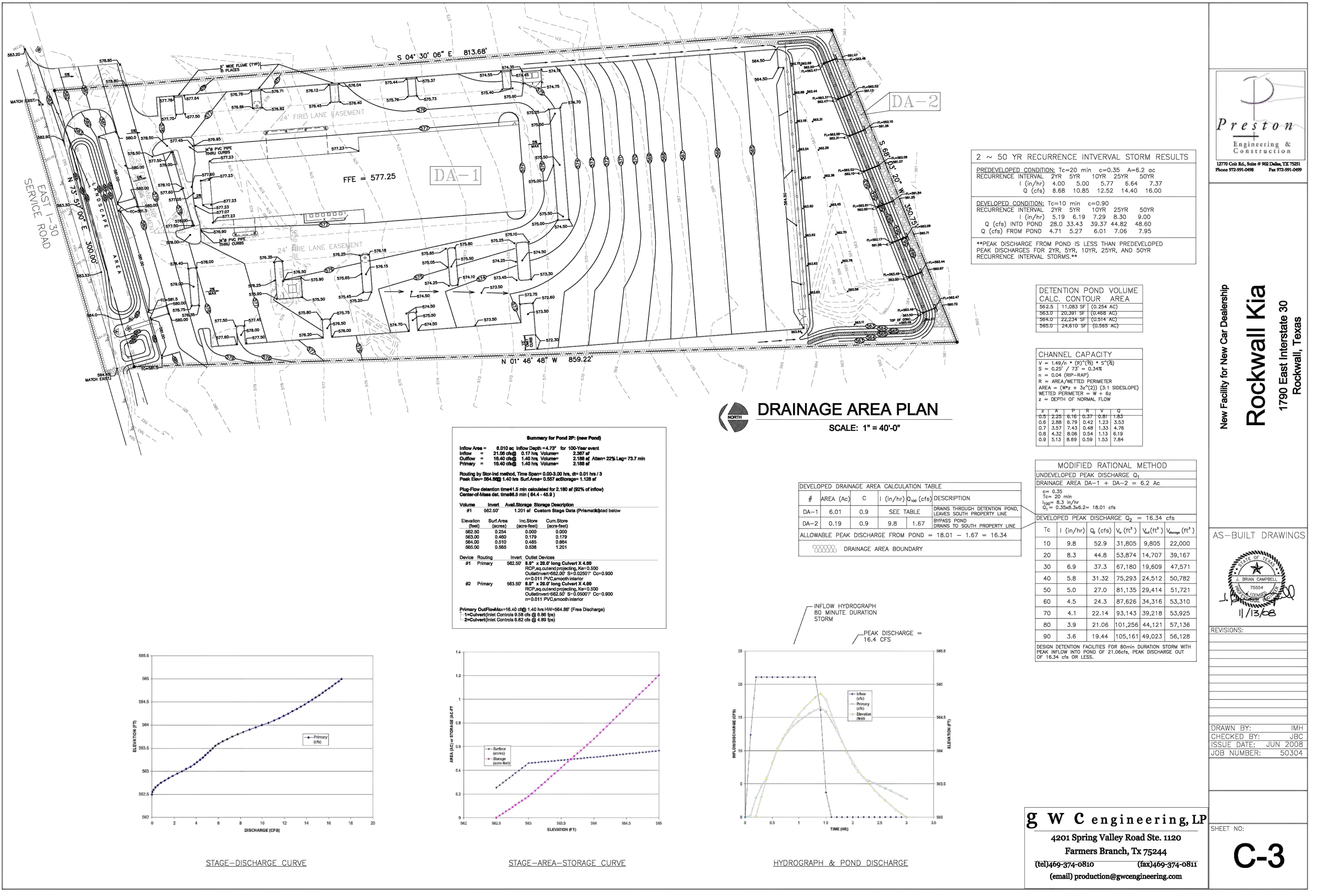
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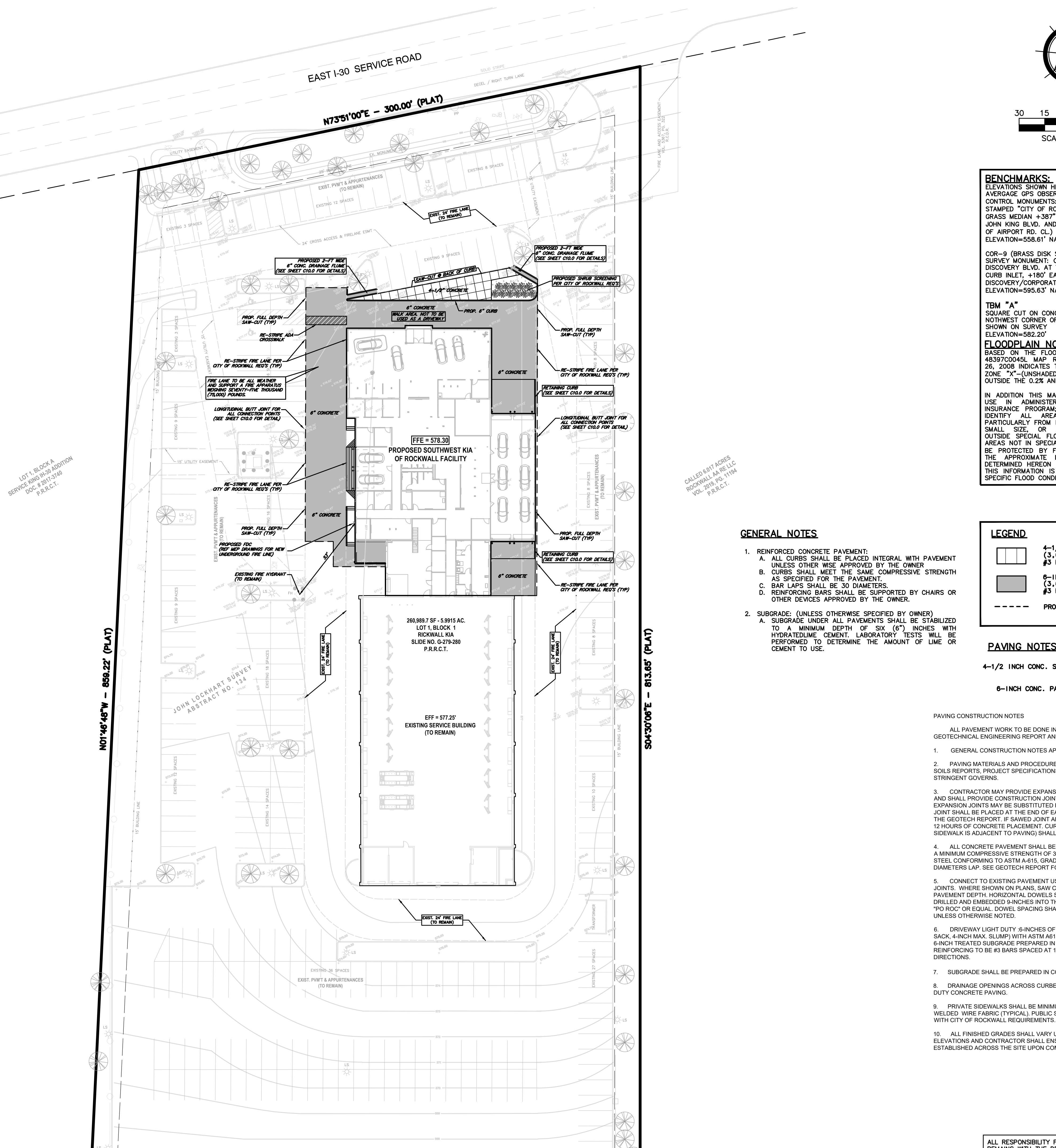


01.21.26
TBPE F-22251



FOR REFERENCE ONLY





CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
1445 NORTH LOOP WEST., SUITE 325
HOUSTON, TEXAS 77008
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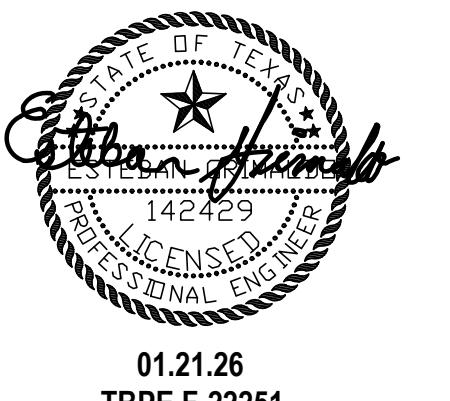
STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
**LOT 1, BLOCK 1
ROCKWALL KIA
FINAL PLAT**

PROJECT ADDRESS:
**1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087**

SEAL/SIGNATURE:
RECORD DRAWINGS



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PROJECT NUMBER: LA2204

01.21.2026

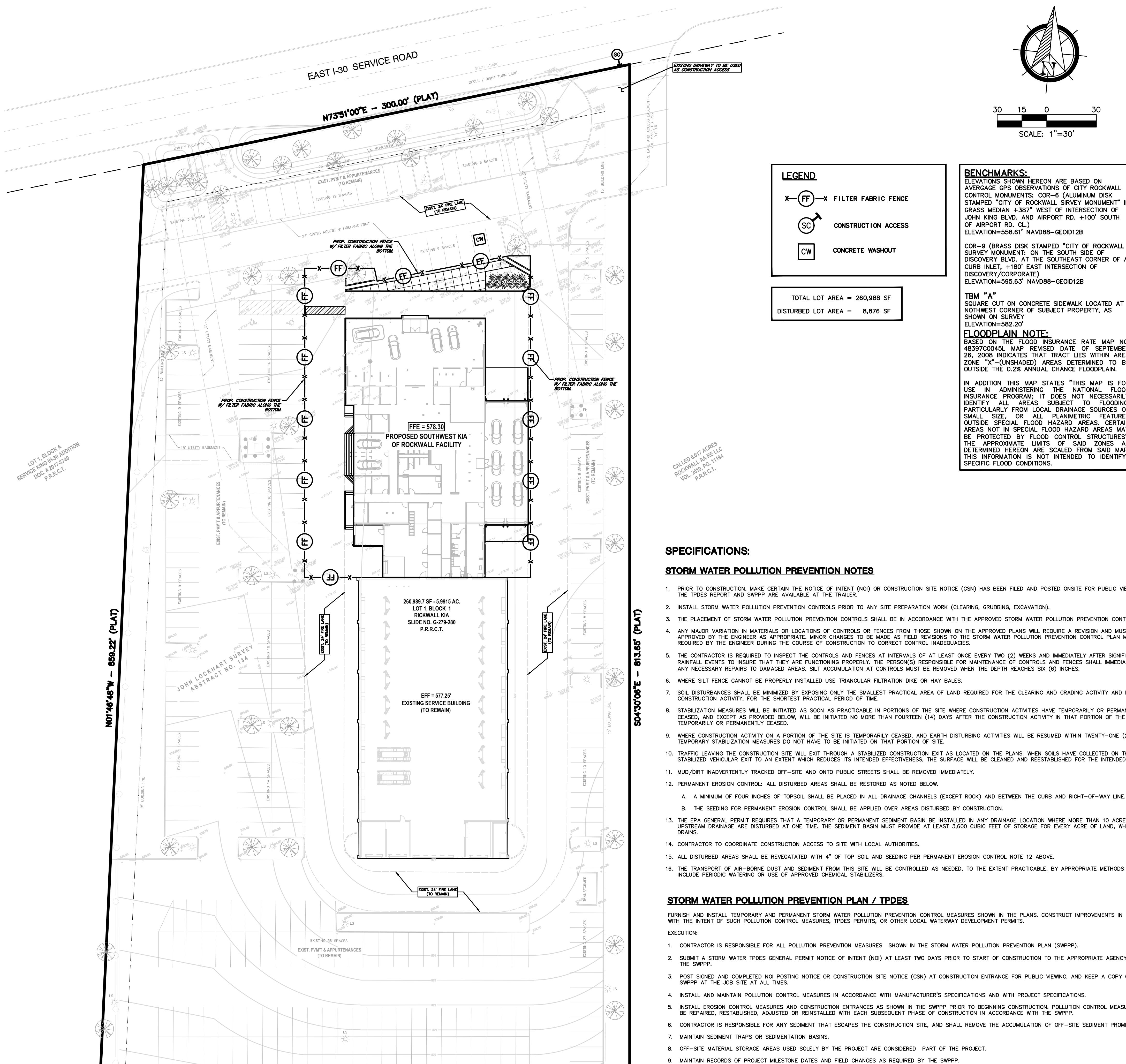
ISSUE DATE: 01.21.2026

SHEET NAME:

PAVING PLAN

SHEET:

C8.0



**3838 N. SAM HOUSTON PARKWAY E., SUITE 185
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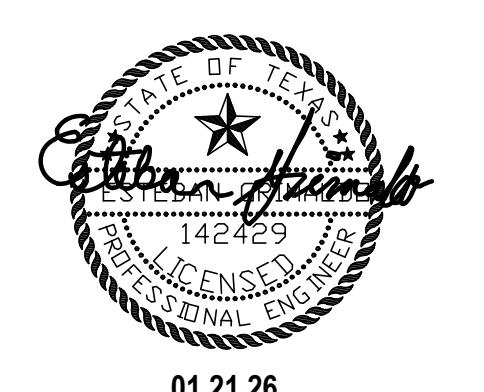
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ISSUE HISTORY:		
DATE	DELTA	DESCRIPTION
05.29.2024		ISSUE FOR PERMIT
05.29.2024		ADRESSED PERMIT COMMENT

BBC II

EFB: 142004

ISSUE DATE

21.21.2006

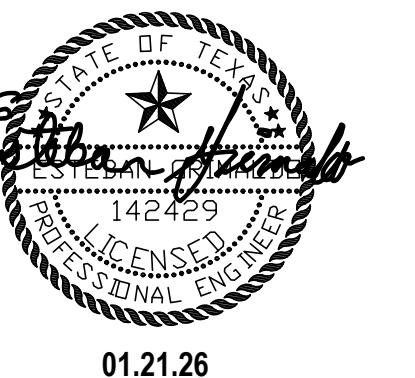
SHEET NAME:

EROSION CONTROL PLAN

SHEET:

c9.0

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08.20.2024		ADDRESSED PERMIT COMMENTS

