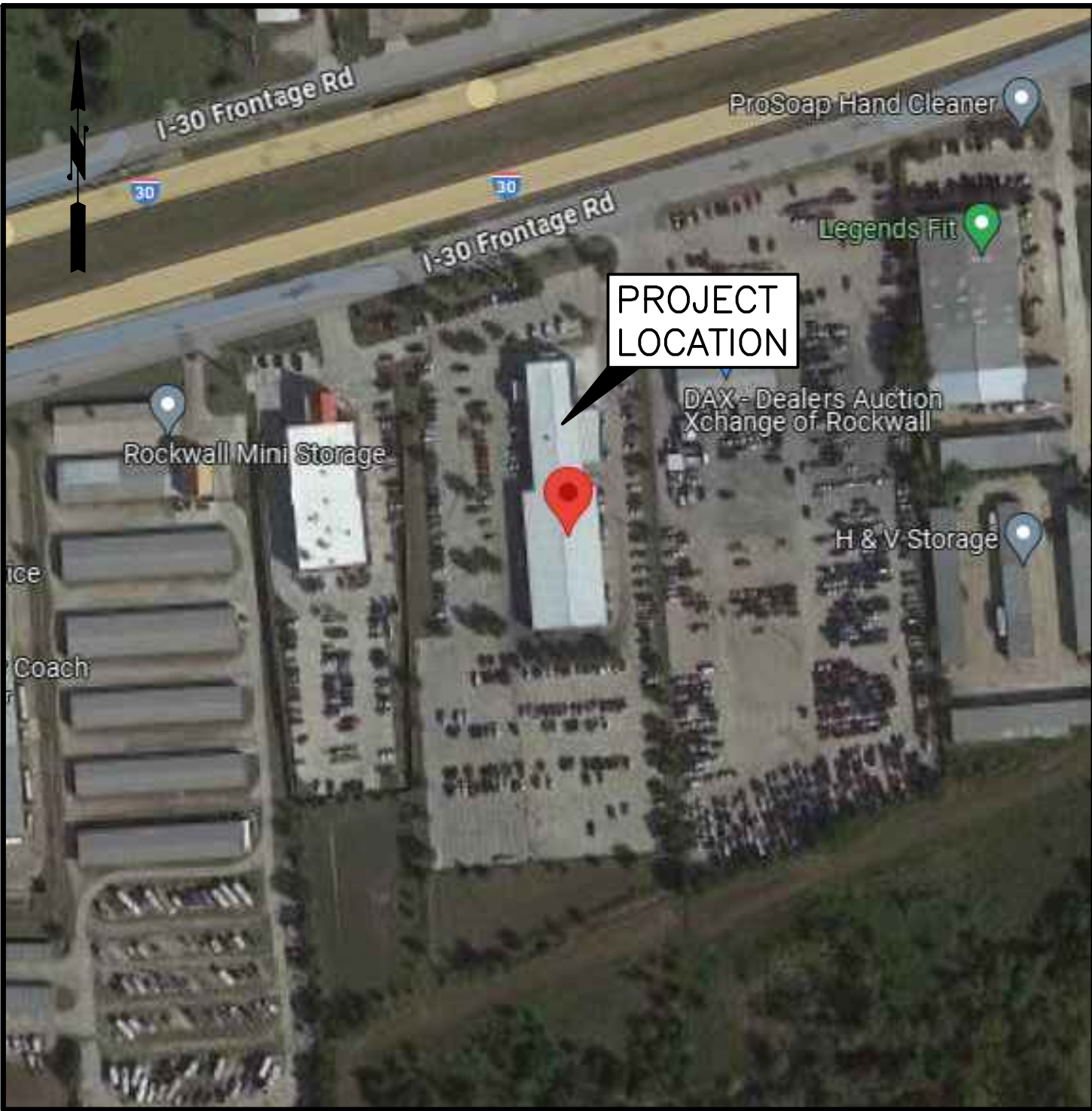


PLANS FOR CONSTRUCTION OF  
**CIVIL SITE WORK**  
TO SERVE  
**SOUTHWEST KIA OF ROCKWALL FACILITY**  
**LOT 1, BLOCK 1**  
**ROCKWALL KIA FINAL PLAT**

**OWNER:** **SOUTHWEST KIA OF MESQUITE**  
3845 OAK LAWN AVE.  
DALLAS, TEXAS 75219  
PHONE: (214) 727-7422  
CONTACT: ZOHREH MALEK

**ARCHITECT:** **LOMA ARCHITECTURE**  
3838 N. SAM HOUSTON PKWY. E., SUITE 185  
HOUSTON, TEXAS 77032  
PHONE: (832) 506-0984  
CONTACT: JASON OTERO

**ENGINEER:** **CIVIL-CON CONSULTANTS LLC**  
1445 NORTH LOOP WEST, SUITE 325  
HOUSTON, TX 77008  
PHONE: (713) 992-4148  
CONTACT: JOEL VITELA



1790 EAST I-30 FRONTAGE ROAD  
ROCKWALL, TEXAS 75087

**LOCATION MAP**

**D R A W I N G   I N D E X**

| SHEET | TITLE                                |
|-------|--------------------------------------|
| C1.0  | COVER SHEET                          |
| C2.0  | CITY GENERAL NOTES                   |
| C3.0  | PLAT                                 |
| C3.1  | PLAT                                 |
| C4.0  | OVERALL SITE PLAN                    |
| C5.0  | TOPOGRAPHIC SURVEY & DEMOLITION PLAN |
| C6.0  | DIMENSION CONTROL PLAN               |
| C7.0  | GRADING & DRAINAGE PLAN              |
| C8.0  | PAVING PLAN                          |
| C9.0  | EROSION CONTROL PLAN                 |
| C10.0 | DETAILS                              |
| L1.10 | PLANTING PLAN                        |

**BENCHMARKS:**  
ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL CONTROL MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387" WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL.)  
ELEVATION=558.61' NAVD88-GEOD12B

COR-9 (BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT: ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, +180' EAST INTERSECTION OF DISCOVERY/CORPORATE)  
ELEVATION=595.63' NAVD88-GEOD12B

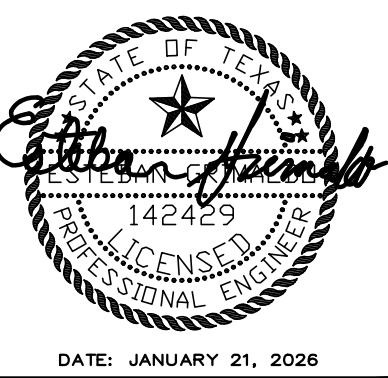
**TBM "A"**  
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHWEST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY  
ELEVATION=582.20'

**FLOODPLAIN NOTE:**  
BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C0045L MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED BY FLOOD CONTROL STRUCTURES". THE APPROXIMATE LIMITS OF SAID ZONES AS DETERMINED HEREON ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

**RECORD DRAWINGS**

TO THE BEST OF OUR KNOWLEDGE, CIVIL-CON CONSULTANTS HEREBY STATES THAT THESE PLANS ARE RECORD DRAWINGS. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.



DATE: JANUARY 21, 2026

|   |         |
|---|---------|
| ISSUE FOR PERMIT  | 7.23.24 |
| ADDRESSED PERMIT COMMENTS   | 8.20.24 |
|   |         |
|   |         |
| <b>CIVIL-CON</b><br>CONSULTANTS LLC<br>Civil Engineering   Planning   Platting Services<br>1445 North Loop West, Suite 325, Houston TX, 77008<br>TBPE FIRM REG NO.: F-22251 |         |

|                       |                   |
|-----------------------|-------------------|
| PROJECT NO. 1104-2317 | DRAWN BY: RCS     |
| DATE: AUGUST 2024     | CHECKED BY: JV    |
| SCALE: 1"=1'          | SHEET <b>C1.0</b> |



PROPOSED CONSTRUCTION IS SCHEDULED TO COMMENCE AS SOON AS PERMITS HAVE BEEN RECEIVED. EST. SEPTEMBER 2024

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN





| DATE       | DELTA | DESCRIPTION               |
|------------|-------|---------------------------|
| 05.29.2024 |       | ISSUE FOR PERMIT          |
| 08.20.2024 |       | ADDRESSED PERMIT COMMENTS |

GENERAL ITEMS

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/engr.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

EROSION CONTROL & VEGETATION

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

TRAFFIC CONTROL

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am – 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

UTILITY LINE LOCATES


- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and .or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call – 811 – line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - No more than 500 linear feet of trench may be opened at one time.
  - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

WASTEWATER LINE NOTES

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC – SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal.. Consheild must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.

|   |  |  |
|---|--|--|
|  | <b>GENERAL CONSTRUCTION NOTES</b><br><b>Sheet 1 of 2</b><br><b>October 2020</b>  |  |
|   | <b>CITY OF ROCKWALL</b><br><b>ENGINEERING DEPARTMENT</b><br><br>385 S. Goliad<br>Rockwall, Texas 75087<br><br>P (972) 771-7746<br>F (972) 771-7748 |  |



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713.992.4148

STRUCTURAL ENGINEER  
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HOUSTON, TEXAS 77042  
713.337.8881

MEP ENGINEER  
SPECTRUM DESIGN ENGINEERS  
19 SIERRA OAKS DR.  
SUGAR LAND, TEXAS 77479  
832.766.6076

PROJECT:

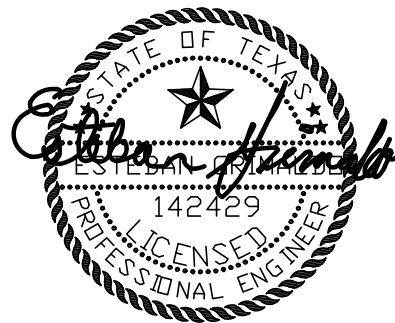
LOT 1, BLOCK 1  
ROCKWALL KIA  
FINAL PLAT

PROJECT ADDRESS:

1790 I-30 FRONTAGE RD.  
ROCKWALL, TX 75087

SEAL/SIGNATURE:

RECORD DRAWINGS



01.21.26  
TBPE F-22251

ISSUE HISTORY:

| DATE       | DELTA | DESCRIPTION               |
|------------|-------|---------------------------|
| 05.29.2024 |       | ISSUE FOR PERMIT          |
| 08.20.2024 |       | ADDRESSED PERMIT COMMENTS |

PROJECT NUMBER: LA2204

ISSUE DATE: 01.21.2026

SHEET NAME:

GENERAL NOTES

SHEET:

C2.1

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

PAVING AND GRADING

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

| Street/Pavement Type     | Minimum Thickness (inches) | Streng<br>th 28-<br>Day<br>(psi) | Minimum Cement<br>(sacks / CY) |                | Steel Reinforcement |                       |
|--------------------------|----------------------------|----------------------------------|--------------------------------|----------------|---------------------|-----------------------|
|                          |                            |                                  | Machine<br>placed              | Hand<br>Placed | Bar #               | Spacing<br>(O.C.E.W.) |
| Arterial                 | 10"                        | 3,600                            | 6.0                            | 6.5            | #4 bars             | 18"                   |
| Collector                | 8"                         | 3,600                            | 6.0                            | 6.5            | #4 bars             | 18"                   |
| Residential              | 6"                         | 3,600                            | 6.0                            | 6.5            | #3 bars             | 24"                   |
| Alley                    | 7"-5"-7"                   | 3,600                            | 6.0                            | 6.5            | #3 bars             | 24"                   |
| Fire Lane                | 6"                         | 3,600                            | 6.0                            | 6.5            | #3 bars             | 24"                   |
| Driveways                | 6"                         | 3,600                            | 6.0                            | 6.5            | #3 bars             | 24"                   |
| Barrier Free Ramps       | 6"                         | 3,600                            | N/A                            | 6.5            | #3 bars             | 24"                   |
| Sidewalks                | 4"                         | 3,000                            | N/A                            | 5.5            | #3 bars             | 24"                   |
| Parking Lot/Drive Aisles | 5"                         | 3,000                            | 5.0                            | 5.5            | #3 bars             | 24"                   |
| Dumpster Pads            | 7"                         | 3,600                            | 6.0                            | 6.5            | #3 bars             | 24"                   |

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

DRAINAGE / STORM SEWER NOTES

- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
- All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
- All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

RETAINING WALLS

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
- All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

FINAL ACCEPTANCE AND RECORD DRWINGS/AS-BUILTS

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
- Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
- The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
- Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."

|  |  |  |
|--|--|--|
|  | GENERAL CONSTRUCTION NOTES<br>Sheet 2 of 2<br>October 2020   |  |
|  | CITY OF ROCKWALL<br>ENGINEERING DEPARTMENT<br><br>385 S. Goliad<br>Rockwall, Texas 75087<br><br>P (972) 771-7746<br>F (972) 771-7748 |  |



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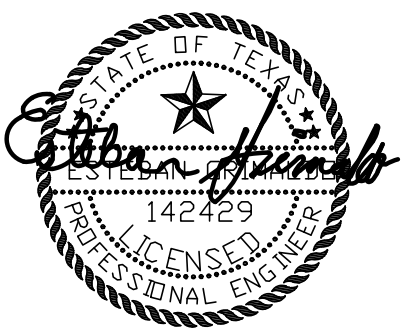
**STRUCTURAL ENGINEER**  
DALLY + ASSOCIATES, INC.  
9800 RICHMOND AVE., SUITE 460  
HOUSTON, TEXAS 77042  
713.337.8881

**MEP ENGINEER**  
SPECTRUM DESIGN ENGINEERS  
19 SIERRA OAKS DR.  
SUGAR LAND, TEXAS 77479  
832.766.6076

PROJECT ADDRESS:  
1790 I-30 FRONTAGE RD.  
ROCKWALL, TX 75087

SEAL/SIGNATURE:

## RECORD DRAWINGS



01.21.26  
TBPE F-22251

**ISSUE HISTORY:**

| DATE       | DELTA | DESCRIPTION              |
|------------|-------|--------------------------|
| 05.29.2024 |       | ISSUE FOR PERMIT         |
| 08.20.2024 |       | ADDRESSED PERMIT COMMENT |

PROJECT NUMBER: LA2204

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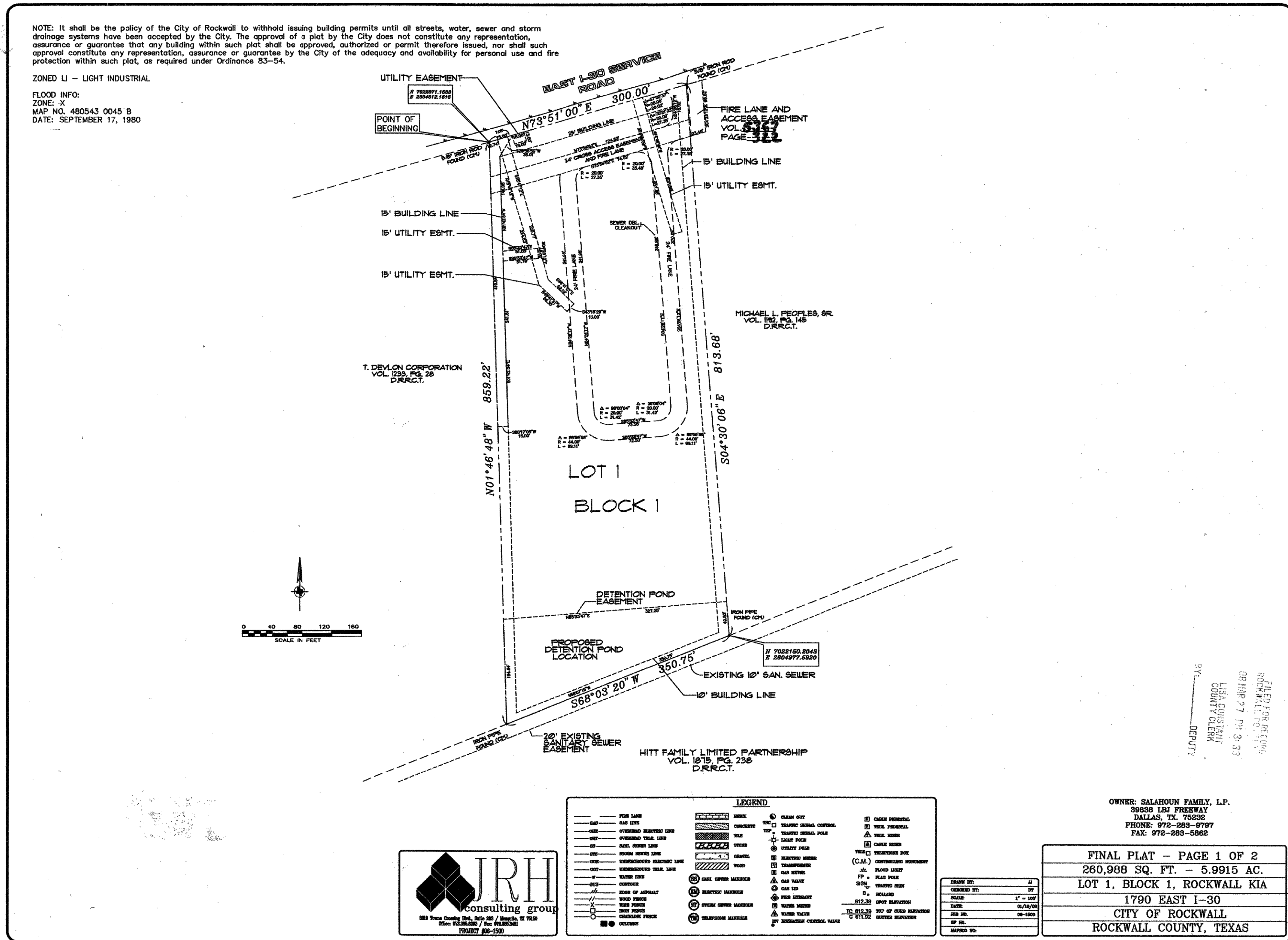
SHEET NAME:

**SUBDIVISION PLAT**

SHEET:

# C3.0

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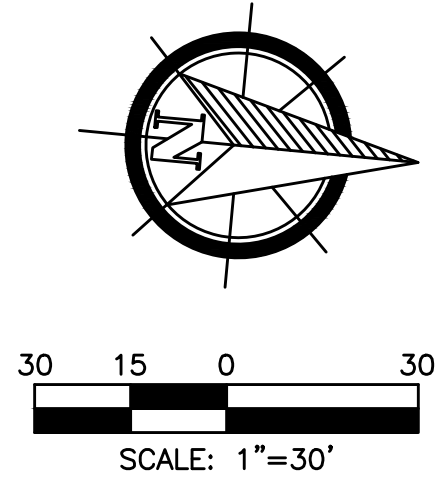




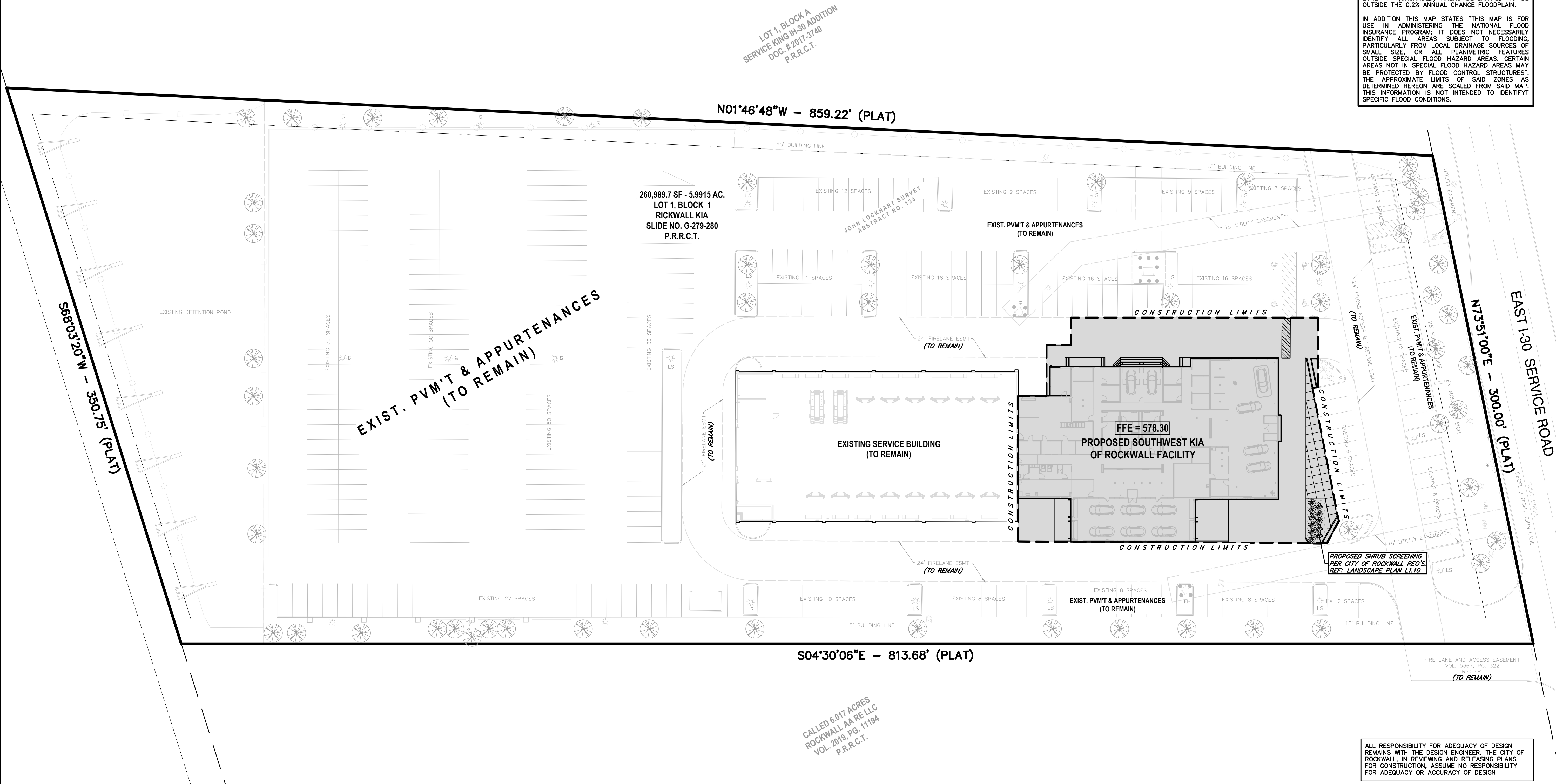




- SITE PLAN NOTES**
1. ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND MAY REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
  2. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE MESQUITE ZONING ORDINANCE AND ENGINEERING DESIGN MANUAL.
  3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE MESQUITE ZONING ORDINANCE.
  4. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS OR AS DIRECTED BY THE FIRE MARSHAL.
  5. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
  6. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA), TEXAS ACCESSIBILITY STANDARDS AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
  7. ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE BUILDING OFFICIAL OR DESIGNEE.
  8. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
  9. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE/BUILDING ELEVATION PLAN.
  10. ALL NEW UTILITY LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
  11. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE MESQUITE ZONING ORDINANCE AND COMMUNITY APPEARANCE MANUAL.



**BENCHMARKS:**  
ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL CONTROL MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL.) ELEVATION=558.61' NAVD88-GEOD12B  
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**PROJECT:**  
LOT 1, BLOCK 1  
ROCKWALL KIA  
FINAL PLAT

**PROJECT ADDRESS:**  
1790 I-30 FRONTAGE RD.  
ROCKWALL, TX 75087

**SEAL/SIGNATURE:**  
RECORD DRAWINGS



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CIVIL SITE PLAN

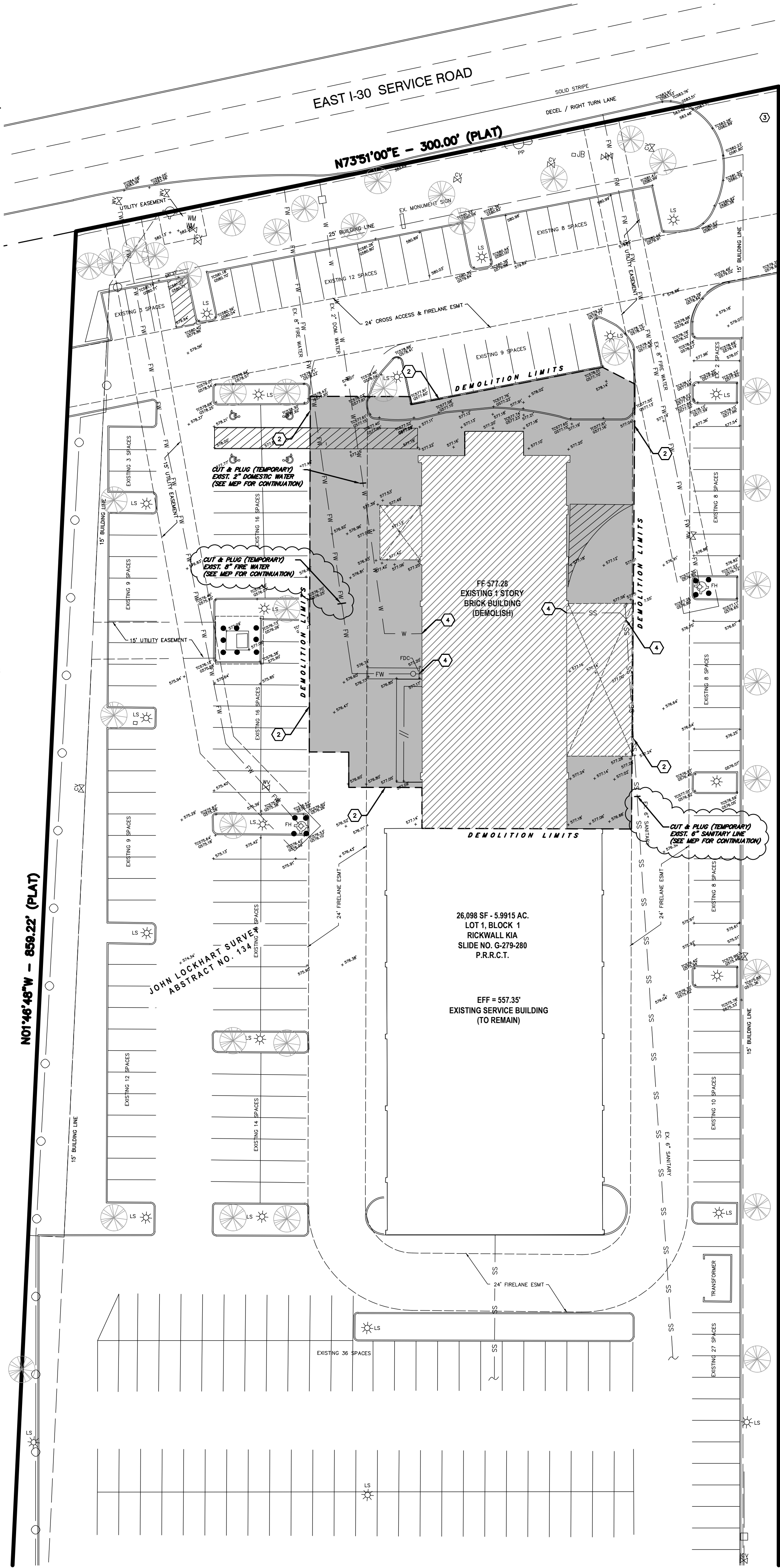
**SHEET:**  
C4.0

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN



GENERAL DEMOLITION NOTES:

- ALL WORK ON THIS PLAN SHOULD BE PERFORMED IN ACCORDANCE WITH THE SCHEDULE INCLUDED WITHIN THE SITEWORK SPECIFICATION MANUAL. (AS APPLICABLE)
  - PROTECTION OF EXISTING FACILITIES.
    - PROTECT EXISTING UTILITIES AND IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND RESTORE DAMAGED OR TEMPORARILY RELOCATED UTILITIES AND IMPROVEMENTS.
    - VERIFY EXACT LOCATIONS AND DEPTHS OF UTILITIES SHOWN AND MAKE EXPLORATORY EXCAVATIONS OF UTILITIES THAT MAY INTERFERE WITH THE WORK.
      - PERFORM EXPLORATORY EXCAVATIONS AS SOON AS PRACTICABLE AFTER AWARD OF CONTRACT AND A SUFFICIENT TIME IN ADVANCE OF CONSTRUCTION TO AVOID DELAYS TO THE WORK.
    - WHEN EXPLORATORY EXCAVATIONS SHOW UTILITY LOCATION AS SHOWN TO BE IN ERROR, NOTIFY ENGINEER.
  - PERFORM EXPLORATORY EXCAVATIONS REQUIRED TO SUFFICIENTLY DETERMINE ALIGNMENT AND GRADE OF EXISTING UTILITIES.
    - DO NOT ENTER NOR OCCUPY WITH MEN, EQUIPMENT, OR MATERIALS, ANY LANDS OUTSIDE THE REFERENCED SITE.
    - TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE PRIVATE AND PUBLIC PROPERTY IN THE IMMEDIATE AREA OF WORK SITES.
  - ASSUME TOTAL LIABILITY FOR DAMAGE TO PRIVATE AND/OR PUBLIC PROPERTY DURING THE PROSECUTION OF THE WORK.
  - ENSURE SITE STAYS OPERATIONAL AND BUSINESS IS NOT INTERRUPTED DURING CONSTRUCTION.
  - PROTECTION OF SURVEY MARKERS
    - DO NOT DESTROY, REMOVE, OR OTHERWISE DISTURB EXISTING SURVEY MARKERS OR OTHER EXISTING STREET OR ROADWAY MARKERS WITHOUT PROPER AUTHORIZATION.
    - CONTACT THE SURVEYOR OF RECORD TO DETERMINE LOCATION OF ALL SURVEY MARKERS.
    - NO WORK SHALL BE STARTED UNTIL ALL SURVEY OR OTHER PERMANENT MARKER POINTS THAT WILL BE DISTURBED BY THE CONSTRUCTION OPERATIONS HAVE BEEN PROPERLY REFERENCED FOR EASY AND ACCURATE RESTORATION.
  - PAVEMENT
    - PAVEMENTS SUBJECT TO PARTIAL REMOVAL SHALL BE NEATLY SAW CUT IN STRAIGHT LINES UNLESS OTHERWISE NOTED.
  - DEMOLITION
    - DEMOLITION SHALL INCLUDE COMPLETE REMOVAL AND DISPOSAL OF DESIGNATED STRUCTURES WITHIN THE LIMITS OF DEMOLITION SHOWN ON THE DRAWINGS, AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING WORK:
      - REMOVAL OF ALL STRUCTURES AND FOUNDATIONS TO A MINIMUM OF TWO (2) FEET BELOW FUTURE FINISHED GRADE, AND COMPLETE REMOVAL OF ALL ASSOCIATED PIPING, WIRING, DUCTWORK, AND EQUIPMENT.
      - BREAK-UP AND REMOVAL OF SLABS-ON-GRADE. SLABS SHALL BE COMPLETELY REMOVED.
      - FILLING OF ALL SUBGRADE CAVITIES WITH ON-SITE SOIL, COMPACTED TO 95 PERCENT DENSITY (ASTM D698), OR AS INSTRUCTED BY THE GEOTECH ENGINEER, WHICHEVER IS MORE STRINGENT.
      - PROVISIONS FOR TEMPORARY BRACING AND SHORING AS REQUIRED UNTIL DEMOLITION AND BACKFILLING WORK IS COMPLETE.
      - UNIFORM GRADING OF DEMOLITION AREA TO MATCH EXISTING GRADE OF PERIMETER.
      - RESTORATION OF SIDEWALKS, BITUMINOUS AND CONCRETE PAVEMENTS, AND ANY OTHER IMPROVEMENTS OR PROPERTY DAMAGED BY DEMOLITION OPERATIONS.
      - CLEANING OF ADJACENT STRUCTURES, IMPROVEMENTS, STREETS, SIDEWALKS, AND PROPERTY OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
    - DEMOLITION SHALL BE BY CONVENTIONAL DEMOLITION METHODS USING HEAVY TO LIGHT MECHANICAL MEANS AS WELL AS HAND DEMOLITION METHODS. USE OF EXPLOSIVES SHALL NOT BE PERMITTED. BURNING AND BURIAL OF MATERIAL ON SITE SHALL NOT BE PERMITTED.
    - THE CONTRACTOR SHALL LIMIT DUST AND DIRT CAUSED BY DEMOLITION OPERATIONS SO AS TO COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
    - DEMOLITION OPERATIONS SHALL NOT INTERRUPT EXISTING UTILITIES SERVING NEIGHBORING PROPERTIES AND/OR BUILDING TO REMAIN OPERATIONAL DURING PHASES OF DEMOLITION, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS DIRECTED BY GOVERNING AUTHORITIES.
  - REGULATORY REQUIREMENTS
    - CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND DISPOSAL.
    - OBTAIN REQUIRED PERMITS FROM AUTHORITIES.
    - NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
    - DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, OR HYDRANTS WITHOUT PERMITS.
  - PREPARATION
    - PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES PRIOR TO WORK.
    - PROTECT EXISTING APPURTENANCES AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. SEE CIVIL DRAWINGS FOR FURTHER NOTES & CONSIDERATIONS.
    - PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
  - MARK LOCATION OF UTILITIES.
  - PROTECTION OF EXISTING UTILITIES AND IMPROVEMENTS
    - PROTECT UNDERGROUND UTILITIES AND OTHER IMPROVEMENTS WHICH MAY BE IMPAIRED DURING CONSTRUCTION OPERATIONS.
      - DETERMINE ACTUAL LOCATION OF EXISTING UTILITIES AND OTHER IMPROVEMENTS THAT WILL BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
      - ADEQUATELY PROTECT UTILITIES AND OTHER IMPROVEMENTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.
      - TAKE ALL POSSIBLE PRECAUTIONS FOR PROTECTING UNFORESEEN UTILITY LINES TO PROVIDE FOR UNINTERRUPTED SERVICE AND TO PROVIDE NECESSARY SPECIAL PROTECTION.
    - OWNER'S RIGHT OF ACCESS: OWNER AND OWNERS OF PUBLIC UTILITIES RESERVE THE RIGHT TO ENTER AT ANY TIME UPON ANY PUBLIC STREET, ALLEY, RIGHT-OF-WAY, OR EASEMENT FOR THE PURPOSE OF MAKING CHANGES IN THEIR PROPERTY.
  - UNDERGROUND UTILITIES INDICATED:
    - EXISTING UTILITY LINES TO BE RETAINED, THAT ARE INDICATED OR LOCATIONS OF WHICH ARE MADE KNOWN TO CONTRACTOR PRIOR TO EXCAVATION, AND UTILITY LINES CONSTRUCTED DURING EXCAVATION OPERATIONS SHALL BE PROTECTED FROM DAMAGE DURING EXCAVATION AND BACKFILLING.
    - IF DAMAGED, CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE.
  - UNDERGROUND UTILITIES NOT INDICATED: IF CONTRACTOR DAMAGES EXISTING UTILITY LINES THAT ARE NOT INDICATED OR THE LOCATIONS OF WHICH ARE NOT MADE KNOWN TO CONTRACTOR PRIOR TO EXCAVATION, IMMEDIATELY MAKE A WRITTEN REPORT TO ENGINEER.
- APPROVAL OF REPAIRS: REPAIRS TO A DAMAGED UTILITY OR IMPROVEMENT SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY AN AUTHORIZED REPRESENTATIVE OF THE UTILITY OR IMPROVEMENT OWNER BEFORE BEING CONCEALED BY BACKFILL OR OTHER WORK.
- MAINTAINING IN SERVICE:
  - DURING CONSTRUCTION, CONTINUOUSLY MAINTAIN OIL AND GASOLINE PIPELINES; POWER, TELEPHONE, AND COMMUNICATION CABLE DUCTS; GAS AND WATER MAINS; IRRIGATION LINES; SEWER LINES; STORM DRAIN LINES; POLES, OVERHEAD POWER, AND COMMUNICATION WIRES AND CABLE ENCOUNTERED ALONG THE LINE OF THE WORK IN SERVICE UNLESS OTHER ARRANGEMENTS APPROVED BY ENGINEER ARE MADE WITH THE OWNERS OF THE FACILITIES.
  - BE RESPONSIBLE FOR AND REPAIR DAMAGE DUE TO CONSTRUCTION OPERATIONS, EVEN IF DAMAGE OCCURS AFTER BACKFILLING OR IS NOT DISCOVERED UNTIL AFTER COMPLETION OF BACKFILLING.
- NOTIFICATION BY CONTRACTOR
  - PRIOR TO EXCAVATION IN VICINITY OF EXISTING UNDERGROUND FACILITIES (INCLUDING WATER, SEWER, STORM DRAIN, GAS, PETROLEUM PRODUCTS, OR OTHER PIPELINES; BURIED ELECTRIC POWER; COMMUNICATIONS; OR TELEVISION CABLES; TRAFFIC SIGNAL AND STREET LIGHTING FACILITIES; AND ROADWAY AND STATE HIGHWAY RIGHTS-OF-WAY) NOTIFY THE RESPECTIVE AUTHORITIES REPRESENTING THE OWNERS OR AGENCIES RESPONSIBLE FOR THE FACILITIES NOT LESS THAN 3 DAYS NOR MORE THAN 7 DAYS PRIOR TO EXCAVATION SO THAT A REPRESENTATIVE OF OWNERS OR AGENCIES CAN BE PRESENT DURING SUCH WORK IF THEY SO DESIRE.
  - NOTIFY THE UNDERGROUND SERVICE ALERT OR UTILITY COORDINATION COMMITTEE AT 1-800-669-8344 OR 1-800-245-4545 AT LEAST 2 DAYS, BUT NO MORE THAN 14 DAYS, PRIOR TO EXCAVATION.
- DEMOLITION
  - CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
  - CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER, NOTIFY OWNER. DO NOT RESUME OPERATIONS UNTIL DIRECTED BY OWNER.
  - CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS AND COMMERCIAL USES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- DEMOLITION ACTIVITIES SHALL BE WHOLLY CONTAINED WITHIN THE PROPERTY BOUNDARY LINES.
- DEMOLITION REQUIREMENTS
  - DISCONNECT, CAP, AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
  - REMOVE FOUNDATION WALLS AND FOOTINGS TO A MINIMUM OF TWO FEET BELOW FINISHED GRADE BEYOND AREA OF NEW CONSTRUCTION.
  - REMOVE CONCRETE SLABS ON GRADE.
  - BACKFILL OPEN PITS AND HOLES CAUSED AS A RESULT OF DEMOLITION PER GEOTECH REPORT.
  - ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
  - REMOVE DEMOLISHED MATERIALS FROM SITE.
  - DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
  - CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM FACILITIES TO REMAIN IN OPERATION DURING DEMOLITION PHASING.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATORY AGENCIES AND ANY OTHER ENTITY CONCERNING THE RELEASE OF GASES OR LIQUIDS FROM ANY EXISTING EQUIPMENT TO BE DEMOLISHED OR REMOVED.



THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES THAT HAVE OR MAY HAVE ANY EFFECT ON THE PROPOSED IMPROVEMENTS BEFORE ANY WORK COMMENCES. THE INSTALLATION OF ALL GRAVITY FLOW PIPES SHALL BEGIN AT THE OUTFALL OR CONNECTION TO THE EXISTING SYSTEM AND PROCEED UPSTREAM. IF ANY DISCREPANCY FROM THE PLAN IS FOUND, THE CONTRACTOR IS TO NOTIFY CIVIL-CON CONSULTANTS BEFORE PROCEEDING FURTHER.

GENERAL KEY NOTES:

- NOT APPLICABLE
- CONTRACTOR TO FULL DEPTH SAWCUT AND REMOVE EXISTING PAVEMENT, CURBS, STRUCTURES, EQUIPMENT, LIGHT STANDARDS, WIRING, CONDUITS, AND SIDEWALKS WITHIN SHADED LIMITS. ALL PAVEMENT SHALL BE NEATLY SAWCUT AND REMOVED OFF-SITE PROPERLY.
- ALL EXISTING DRIVEWAYS TO REMAIN.
- CONTRACTOR TO COORDINATE WITH MEP FOR THE RELOCATION/REMOVAL OF EXISTING UTILITIES, FIRE WATER, DOMESTIC WATER AND SANITARY SEWER.

**BENCHMARKS:**  
ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL CONTROL MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +1100' SOUTH OF AIRPORT RD. CL.)  
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ELEVATION=595.63' NAVD88-GEOD12B

**TBM "A"**  
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHWEST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY  
ELEVATION=582.20'

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BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C0045, MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

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LEGEND

- SHADED AREA REPRESENTS ALL EXISTING, PAVEMENT, CURBS, STRIPING, AND SIDEWALKS TO BE REMOVED.
- DEMO EXISTING BUILDING
- PROPOSED SAWCUT

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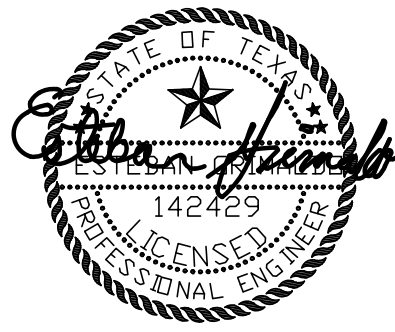
LOT 1, BLOCK 1  
ROCKWALL KIA  
FINAL PLAT

PROJECT ADDRESS:

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ROCKWALL, TX 75087

SEAL/SIGNATURE:

RECORD DRAWINGS



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SHEET NAME:

TOPO & DEMO PLAN

SHEET:

C5.0

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PROJECT:

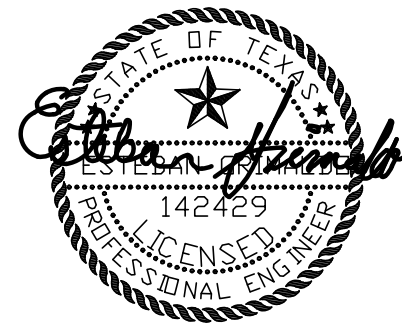
LOT 1, BLOCK 1  
ROCKWALL KIA  
FINAL PLAT

PROJECT ADDRESS:

1790 I-30 FRONTAGE RD.  
ROCKWALL, TX 75087

SEAL/SIGNATURE:

RECORD DRAWINGS



01.21.26  
TBPE F-22251

ISSUE HISTORY:

| DATE       | DELTA | DESCRIPTION               |
|------------|-------|---------------------------|
| 05.29.2024 |       | ISSUE FOR PERMIT          |
| 08.20.2024 |       | ADDRESSED PERMIT COMMENTS |

PROJECT NUMBER: LA2204

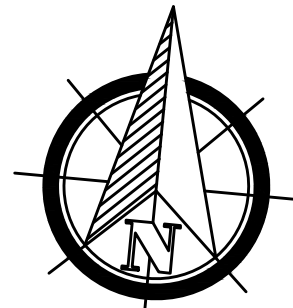
ISSUE DATE: 01.21.2026

SHEET NAME:

**DIMENSION  
CONTROL PLAN**

SHEET:

**C6.0**



30 15 0 30  
SCALE: 1"=30'

**GENERAL NOTES:**

1. ALL DIMENSIONS SHOWN ARE EDGE TO EDGE UNLESS OTHERWISE NOTED.
2. ALL CURB RADI AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO BUILD AND SLOE EXPOSED DIRT AREAS UPON COMPLETION OF FINAL GRADE.
4. SIDEWALK SLOPES MAY NOT EXCEED 2% CROSS SLOPE AND 3% RUN SLOPE.

**NEW PLAN NOTES:**

1. ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND MAY REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE MESQUITE ZONING ORDINANCE AND ENGINEERING DESIGN MANUAL.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE MESQUITE ZONING ORDINANCE.
4. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS OR AS DIRECTED BY THE FIRE MARSHAL.
5. SPEED BUMPS/BUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
6. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA), TEXAS ACCESSIBILITY STANDARDS AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
7. ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE BUILDING OFFICIAL OR DESIGNER.
8. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
9. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE/BUILDING ELEVATION PLAN.
10. ALL NEW UTILITY LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
11. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE MESQUITE ZONING ORDINANCE AND COMMUNITY APPEARANCE MANUAL.

**BENCHMARKS:**

ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL CONTROL MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL.)  
ELEVATION=558.61' NAVD88-GEOD12B

COR-9 (BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT: ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, +180' EAST INTERSECTION OF DISCOVERY (CORPORATE)  
ELEVATION=595.63' NAVD88-GEOD12B

**TBM "A"**

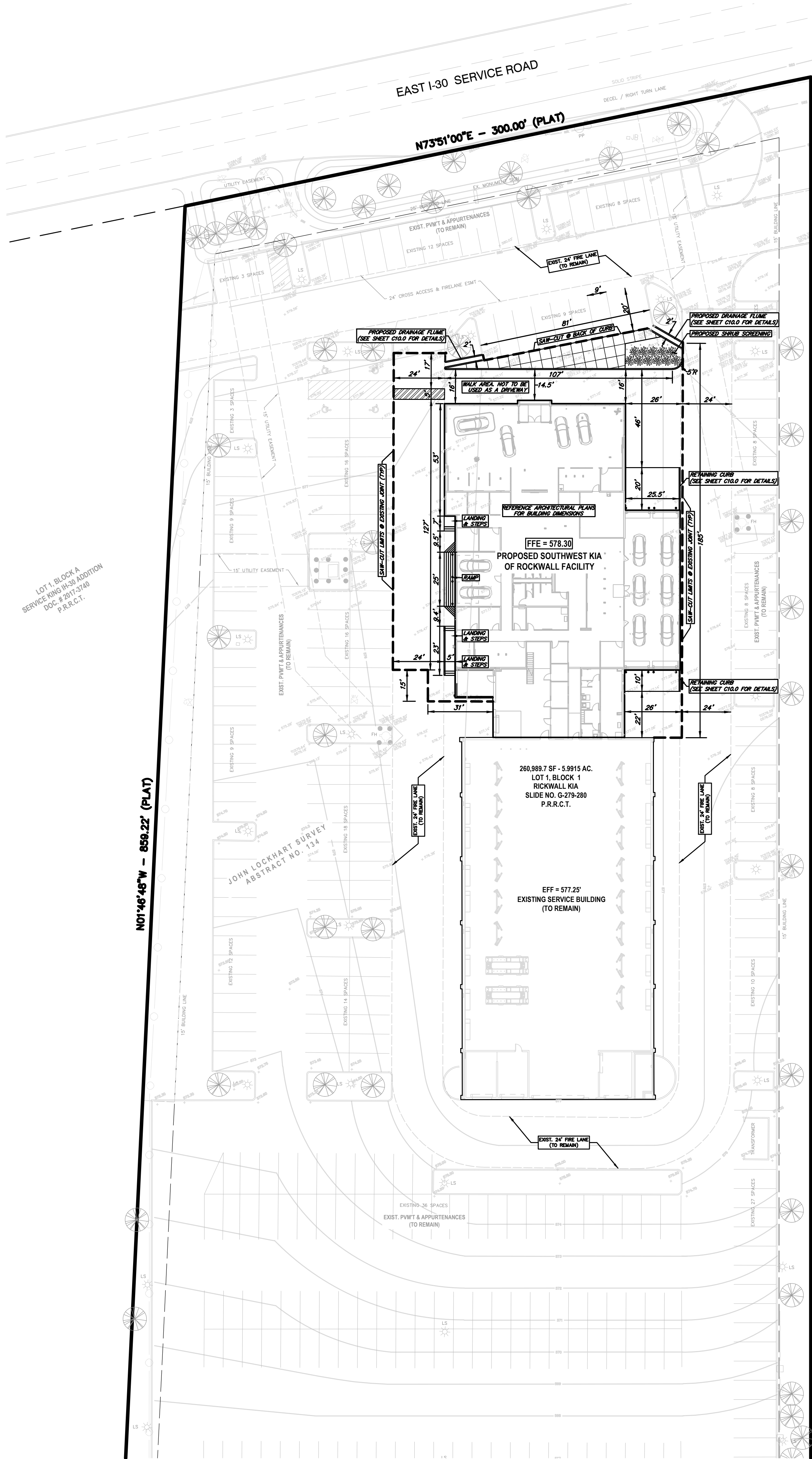
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHWEST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY  
ELEVATION=582.20'

**FLOODPLAIN NOTE:**

BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C00451, MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED BY FLOOD CONTROL STRUCTURES". THE APPROXIMATE LIMITS OF SAID ZONES AS DETERMINED HEREON ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN





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SPECTRUM DESIGN ENGINEERS  
19 SIERRA OAKS DR.  
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PROJECT:

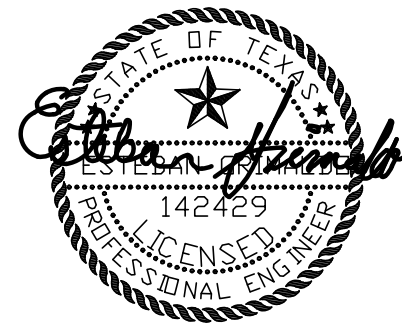
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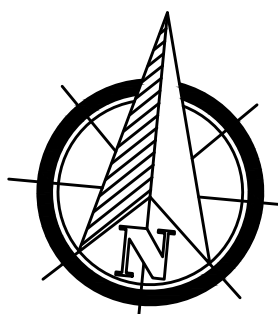
01.21.2026

SHEET NAME:

GRADING & DRAINAGE  
PLAN

SHEET:

C7.0



30 15 0 30  
SCALE: 1"=30'

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**TBM "A"**

SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHWEST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY  
ELEVATION=582.20'

**FLOODPLAIN NOTE:**

BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C004045, MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

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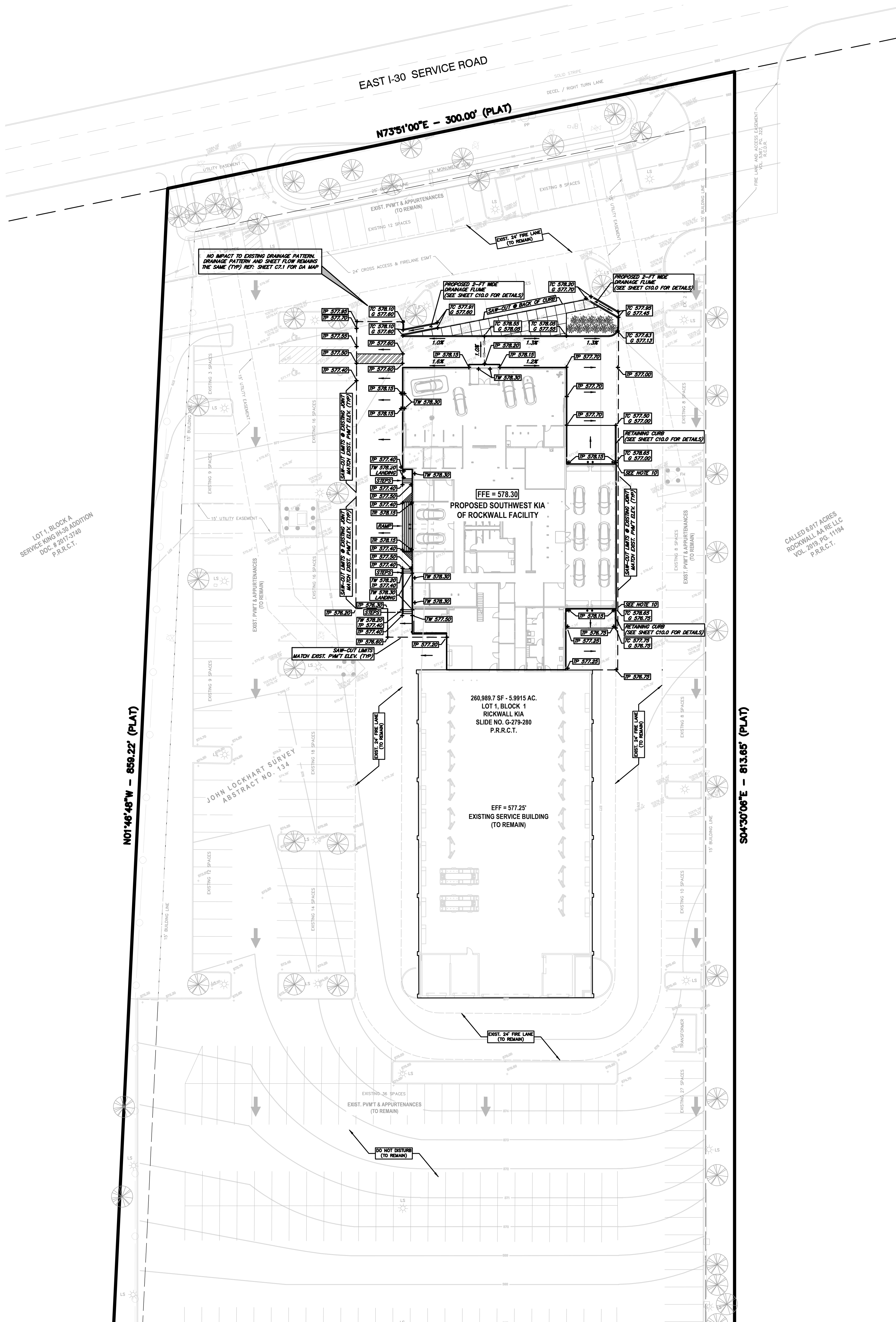
**LEGEND**

|                       |   |
|-----------------------|---|
| FF 124.25             | FINISHED FLOOR                          |
| TG 121.05             | TOP OF GRATE                            |
| TC 123.47             | TOP OF CURB                             |
| G 122.97              | GUTTER LINE                             |
| TP 121.50             | TOP OF PAVEMENT                         |
| TW 124.32             | TOP OF SIDEWALK                         |
| 1.5%                  | SLOPE ARROW                             |
| TC 123.47<br>G 122.97 | EXISTING TOP OF CURB<br>EXISTING GUTTER |
| →                     | EXIST. DRAINAGE PATTERN                 |

**GRADING NOTES:**

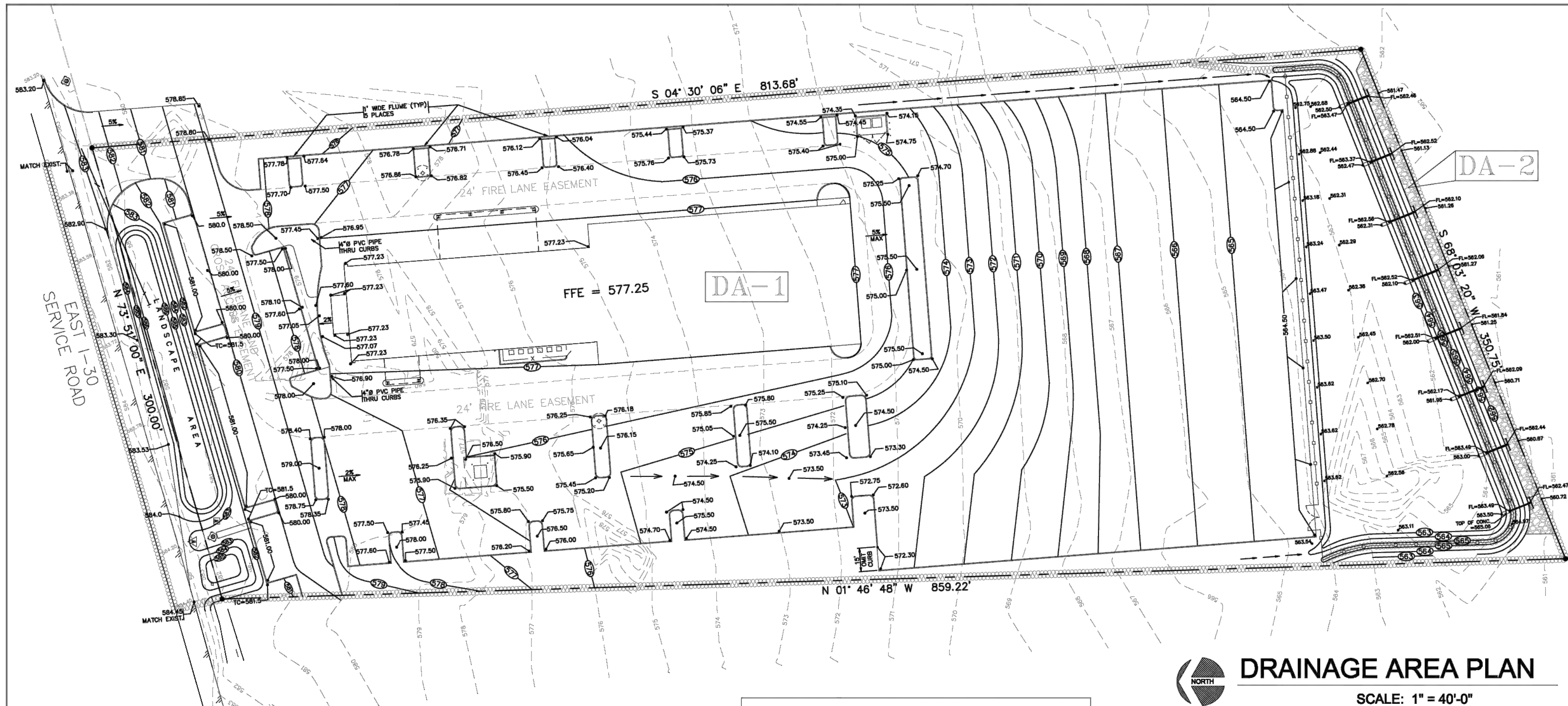
- FOR AREAS DESIGNATED AS HANDICAP ACCESSIBLE PARKING AND VEHICLE ACCESS AISLES, SLOPE MAY NOT EXCEED 2% IN ANY DIRECTION.
- CROSS SLOPES ON ALL SIDEWALKS AND ADA HANDICAP ACCESSIBLE ROUTES AND RAMPS NOT TO EXCEED 2%.
- MAX SLOPE ALONG ADA HANDICAP RAMPS SHALL NOT EXCEED 1:12 (8.33%).
- CONTRACTOR SHALL ASSURE THAT SLOPES FOR ALL ADA ACCESS ROUTES, AISLES, LANDINGS, RAMPS & PARKING SPACES MEET MAXIMUM GRADE CRITERIA PRIOR TO PLACING PAVING. IF FIELD CONDITIONS CAUSE SLOPES TO EXCEED MAXIMUM ALLOWABLE GRADES CONTRACTOR IS TO NOTIFY ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE DONE IN STRICT CONFORMANCE TO THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
- ALL SITE PAVING TO BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THIS SITE.
- ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINES IN THE SOILS REPORT FOR THIS SITE.
- DRAINAGE PATTERN REMAINS THE SAME. NO ADDITIONAL IMPERVIOUS COVER ADDED TO SITE.
- EXPANSION JOINTS TO BE PLACED AT MAX 60' SPACING, CONTROL JOINTS TO BE PLACED AT 15' MAX SPACING. CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION.
- RETAINING WALLS/CURBS ≥18" MUST BE ROCK OR STONE FACED. NO SMOOTH FACED ALLOWED.

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FOR REFERENCE ONLY



| 2 ~ 50 YR RECURRENCE INTERVAL STORM RESULTS       |      |       |       |       |       |
|---|------|-------|-------|-------|-------|
| PREDEVELOPED CONDITION: Tc=20 min c=0.35 A=6.2 ac |      |       |       |       |       |
| RECURRENCE INTERVAL                               | 2YR  | 5YR   | 10YR  | 25YR  | 50YR  |
| I (in/hr)   | 4.00 | 5.00  | 5.77  | 6.64  | 7.37  |
| Q (cfs)   | 8.68 | 10.85 | 12.52 | 14.40 | 16.00 |

|                                       |      |       |       |       |       |
|---------------------------------------|------|-------|-------|-------|-------|
| DEVELOPED CONDITION: Tc=10 min c=0.90 |      |       |       |       |       |
| RECURRENCE INTERVAL                   | 2YR  | 5YR   | 10YR  | 25YR  | 50YR  |
| I (in/hr)                             | 5.19 | 6.19  | 7.29  | 8.30  | 9.00  |
| Q (cfs) INTO POND                     | 28.0 | 33.43 | 39.37 | 44.82 | 48.60 |
| Q (cfs) FROM POND                     | 4.71 | 5.27  | 6.01  | 7.06  | 7.95  |

\*\*PEAK DISCHARGE FROM POND IS LESS THAN PREDEVELOPED PEAK DISCHARGES FOR 2YR, 5YR, 10YR, 25YR, AND 50YR RECURRENCE INTERVAL STORMS.\*\*

| DETENTION POND VOLUME CALC. CONTOUR AREA |           |            |
|--|-----------|------------|
| 562.5                                    | 11,083 SF | (0.254 AC) |
| 563.0                                    | 20,391 SF | (0.468 AC) |
| 564.0                                    | 22,234 SF | (0.514 AC) |
| 565.0                                    | 24,610 SF | (0.565 AC) |

| CHANNEL CAPACITY                                      |      |      |      |      |      |
|---|------|------|------|------|------|
| V = 1.49 / n * (R <sup>2/3</sup> ) * S <sup>1/2</sup> |      |      |      |      |      |
| S = 0.25' / 73' = 0.34%                               |      |      |      |      |      |
| n = 0.04 (RIP-RAP)                                    |      |      |      |      |      |
| R = AREA/WETTED PERIMETER                             |      |      |      |      |      |
| AREA = (W * z + z <sup>2</sup> ) / 2 (3:1 SIDESLOPE)  |      |      |      |      |      |
| WETTED PERIMETER = W + 6z                             |      |      |      |      |      |
| z = DEPTH OF NORMAL FLOW                              |      |      |      |      |      |
| z   | A    | P    | R    | V    | Q    |
| 0.5   | 2.25 | 6.16 | 0.37 | 0.81 | 1.83 |
| 0.6   | 2.88 | 6.79 | 0.42 | 1.23 | 3.53 |
| 0.7   | 3.57 | 7.43 | 0.48 | 1.33 | 4.76 |
| 0.8   | 4.32 | 8.06 | 0.54 | 1.13 | 6.19 |
| 0.9   | 5.13 | 8.69 | 0.59 | 1.53 | 7.84 |

## DRAINAGE AREA PLAN

SCALE: 1" = 40'-0"

| Summary for Pond 2P: (new Pond) |                      |   |
|---------------------------------|----------------------|---|
| Inflow Area =                   | 8.010 ac             | Inflow Depth = 4.73" for 100-Year event |
| Inflow =                        | 21.06 cfs @ 0.17 hrs | Volume = 2.387 af                       |
| Outflow =                       | 16.40 cfs @ 1.40 hrs | Volume = 2.188 af                       |
| Primary =                       | 16.40 cfs @ 1.40 hrs | Volume = 2.188 af                       |

Routing by Stor-Ind method, Time Span = 0.03-3.00 hrs, dt = 0.01 hrs / 3  
Peak Elev = 564.982, 1.40 hrs, Surf Area = 0.557 ac, Storage = 1.128 af  
Plug-Flow detention time = 1.5 min calculated for 2.180 af (92% of inflow)  
Center-of-Mass det. time = 84.5 min (84.4 - 45.9)

| Volume           | Invert             | Avail. Storage         | Storage Description                         |
|------------------|--------------------|------------------------|---|
| #1               | 562.50'            | 1,201 af               | Custom Stage Data (Prismatoid) listed below |
| Elevation (feet) | Surf. Area (acres) | Inc. Store (acre-feet) | Cum. Store (acre-feet)                      |
| 562.50           | 0.254              | 0.000                  | 0.000                                       |
| 563.00           | 0.460              | 0.179                  | 0.179                                       |
| 564.00           | 0.510              | 0.485                  | 0.664                                       |
| 565.00           | 0.565              | 0.938                  | 1.201                                       |

Device Routing #1 Primary Invert: Outlet Devices  
562.50' 8.0' x 20.0' long Culvert X 4.80  
RCP, sq. culvert projecting, Ke=0.500  
Outlet Invert: 562.50' S=0.02500' Cc=0.800  
n=0.011 PVC, smooth interior

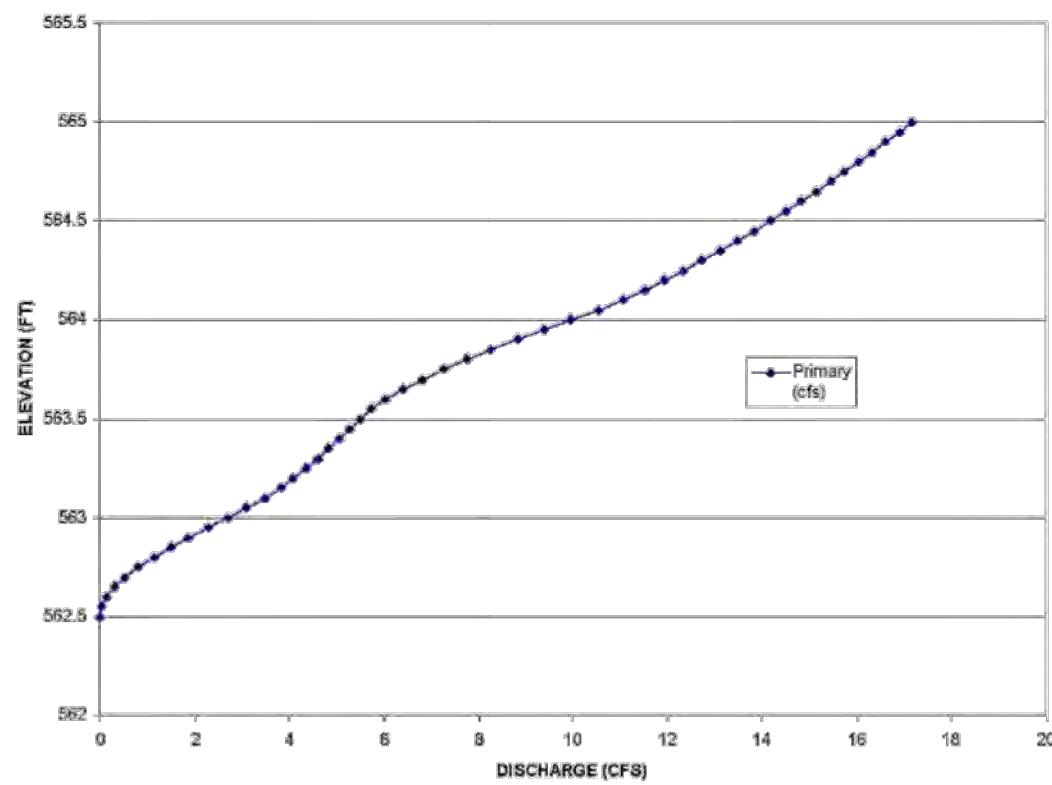
#2 Primary 563.50' 8.0' x 20.0' long Culvert X 4.80  
RCP, sq. culvert projecting, Ke=0.500  
Outlet Invert: 562.50' S=0.05000' Cc=0.800  
n=0.011 PVC, smooth interior

Primary Outflow = 16.40 cfs @ 1.40 hrs HW=564.98' (Free Discharge)  
1=Culvert (Inlet Controls) 9.58 cfs @ 6.86 fps  
2=Culvert (Inlet Controls) 6.82 cfs @ 4.89 fps

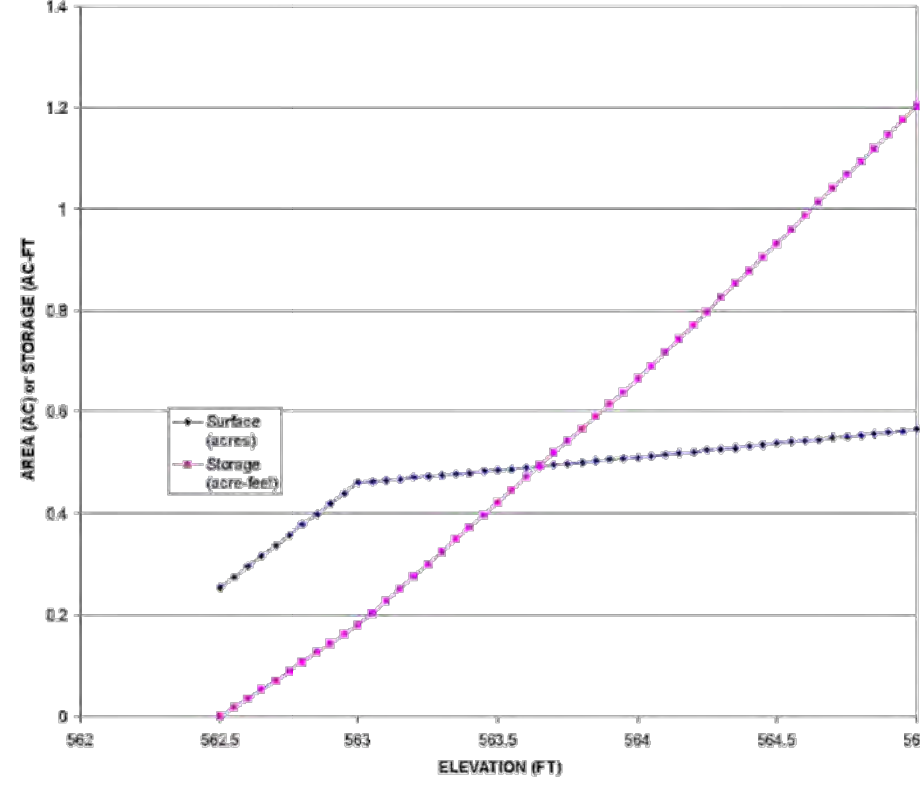
| DEVELOPED DRAINAGE AREA CALCULATION TABLE                 |           |     |           |                        |   |
|---|-----------|-----|-----------|------------------------|---|
| #   | AREA (Ac) | C   | I (in/hr) | Q <sub>100</sub> (cfs) | DESCRIPTION   |
| DA-1  | 6.01      | 0.9 | SEE TABLE |                        | DRAINS THROUGH DETENTION POND, LEAVES SOUTH PROPERTY LINE |
| DA-2  | 0.19      | 0.9 | 9.8       | 1.67                   | BYPASS POND DRAINS TO SOUTH PROPERTY LINE                 |
| ALLOWABLE PEAK DISCHARGE FROM POND = 18.01 - 1.67 = 16.34 |           |     |           |                        |   |
| DRAINAGE AREA BOUNDARY                                    |           |     |           |                        |   |

| MODIFIED RATIONAL METHOD                            |           |                      |                                   |                                   |   |
|---|-----------|----------------------|-----------------------------------|-----------------------------------|---|
| UNDEVELOPED PEAK DISCHARGE Q <sub>1</sub>           |           |                      |                                   |                                   |   |
| DRAINAGE AREA DA-1 + DA-2 = 6.2 Ac                  |           |                      |                                   |                                   |   |
| c = 0.35  |           |                      |                                   |                                   |   |
| Tc = 20 min   |           |                      |                                   |                                   |   |
| I <sub>100</sub> = 8.3 in/hr                        |           |                      |                                   |                                   |   |
| Q <sub>1</sub> = 0.35 x 8.3 x 6.2 = 18.01 cfs       |           |                      |                                   |                                   |   |
| DEVELOPED PEAK DISCHARGE Q <sub>2</sub> = 16.34 cfs |           |                      |                                   |                                   |   |
| Tc  | I (in/hr) | Q <sub>1</sub> (cfs) | V <sub>1</sub> (ft <sup>3</sup> ) | V <sub>2</sub> (ft <sup>3</sup> ) | V <sub>storage</sub> (ft <sup>3</sup> ) |
| 10  | 9.8       | 52.9                 | 31,805                            | 9,805                             | 22,000                                  |
| 20  | 8.3       | 44.8                 | 53,874                            | 14,707                            | 39,167                                  |
| 30  | 6.9       | 37.3                 | 67,180                            | 19,809                            | 47,371                                  |
| 40  | 5.8       | 31.32                | 75,293                            | 24,512                            | 50,782                                  |
| 50  | 5.0       | 27.0                 | 81,135                            | 29,414                            | 51,721                                  |
| 60  | 4.5       | 24.3                 | 87,626                            | 34,316                            | 53,310                                  |
| 70  | 4.1       | 22.14                | 93,143                            | 39,218                            | 53,925                                  |
| 80  | 3.9       | 21.06                | 101,256                           | 44,121                            | 57,136                                  |
| 90  | 3.6       | 19.44                | 105,161                           | 49,023                            | 56,128                                  |

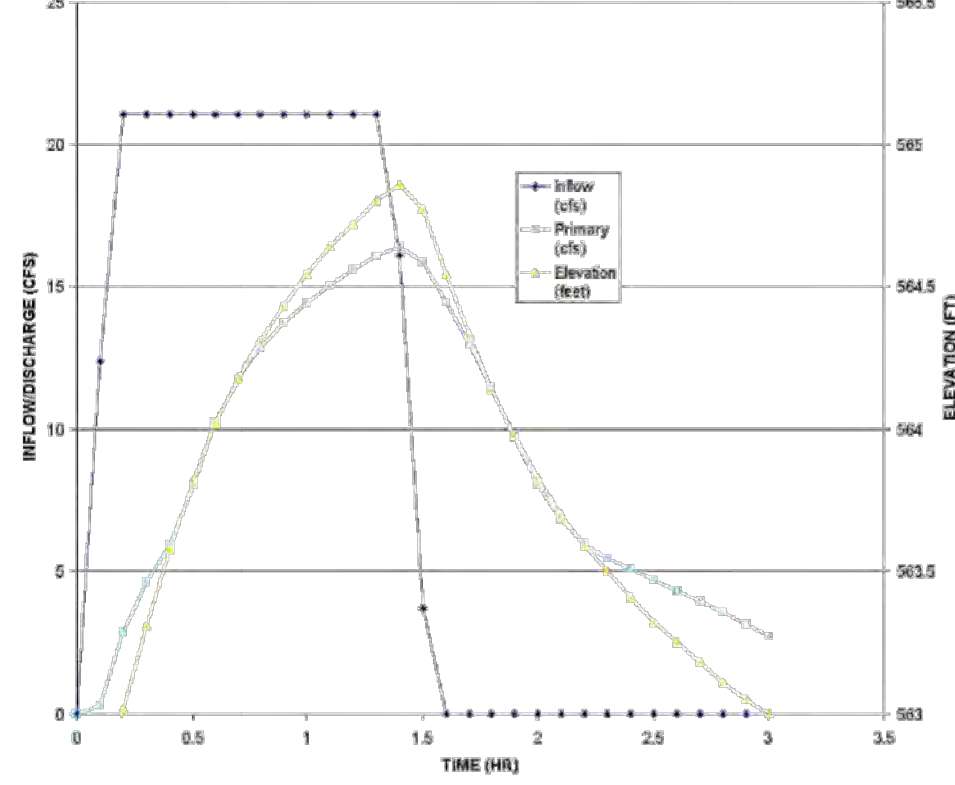
DESIGN DETENTION FACILITIES FOR 80min DURATION STORM WITH PEAK INFLOW INTO POND OF 21.06 cfs, PEAK DISCHARGE OUT OF 16.34 cfs OR LESS.



STAGE-DISCHARGE CURVE



STAGE-AREA-STORAGE CURVE



HYDROGRAPH & POND DISCHARGE

**g W C engineering, LP**  
4201 Spring Valley Road Ste. 1120  
Farmers Branch, Tx 75244  
(tel) 469-374-0810 (fax) 469-374-0811  
(email) production@gwcengineering.com



New Facility for New Car Dealership  
**Rockwall Kia**  
1790 East Interstate 30  
Rockwall, Texas

AS-BUILT DRAWINGS



REVISIONS:

DRAWN BY: IMH  
CHECKED BY: JBC  
ISSUE DATE: JUN 2008  
JOB NUMBER: 50304

SHEET NO:

**C-3**

**LOMA**  
ARCHITECTURE

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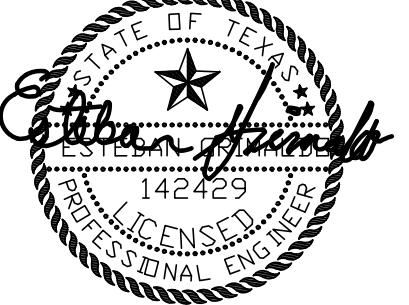
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PROJECT NUMBER: LA2204

ISSUE DATE: 01.21.2026

SHEET NAME:

**DRAINAGE AREA MAP**

SHEET:

**C7.1**

FOR REFERENCE ONLY



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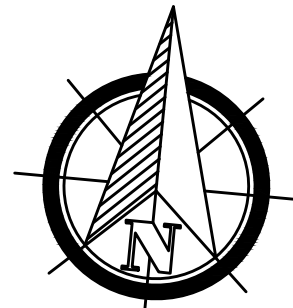
01.21.2026

SHEET NAME:

PAVING PLAN

SHEET:

C8.0



30 15 0 30  
SCALE: 1"=30'

BENCHMARKS:

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ELEVATION=582.22'

FLOODPLAIN NOTE:

BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C00404, MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED BY FLOOD CONTROL STRUCTURES". THE APPROXIMATE LIMITS OF SAID ZONES AS DETERMINED HEREON ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

LEGEND

- 4-1/2 INCH CONC. (SIDEWALK)  
(3,000 PSI, 5.5 SACK MIX,  
#3 BARS @ 24" O.C.)
- 6-INCH CONC. PAVEMENT  
(3,800 PSI, 8.5 SACK MIX,  
#3 BARS @ 24" O.C.)
- PROPOSED SAWCUT

PAVING NOTES:

4-1/2 INCH CONC. SIDEWALK: 780 SQFT

6-INCH CONC. PAVEMENT: 8,300 SQFT

PAVING CONSTRUCTION NOTES

ALL PAVEMENT WORK TO BE DONE IN CONFORMANCE WITH REQUIREMENTS OF GEOTECHNICAL ENGINEERING REPORT AND ANY ADDENDUMS THEREAFTER.

1. GENERAL CONSTRUCTION NOTES APPLY TO PAVEMENT CONSTRUCTION.

2. PAVING MATERIALS AND PROCEDURES SHALL BE IN CONFORMANCE WITH THE SOILS REPORTS, PROJECT SPECIFICATIONS, AND DETAILS IN PLANS. MOST STRINGENT GOVERNS.

3. CONTRACTOR MAY PROVIDE EXPANSION JOINTS AT LOW POINTS IN PAVING AND SHALL PROVIDE CONSTRUCTION JOINTS AT ALL HIGH POINTS IN PAVING. EXPANSION JOINTS MAY BE SUBSTITUTED FOR CONSTRUCTION JOINTS. EXPANSION JOINT SHALL BE PLACED AT THE END OF EACH CURB RETURN AND AS SPECIFIED IN THE GEOTECH REPORT. IF SAWED JOINT ARE USED, THEY MUST BE CUT WITHIN 6 TO 12 HOURS OF CONCRETE PLACEMENT. CURB AND SIDEWALK JOINTS (WHERE SIDEWALK IS ADJACENT TO PAVING) SHALL BE ALIGNED WITH PAVING JOINTS.

4. ALL CONCRETE PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI IN 28 DAYS WITH REINFORCING STEEL CONFORMING TO ASTM A-615, GRADE 60. PROVIDE MINIMUM 30 BAR DIAMETERS LAP. SEE GEOTECH REPORT FOR ADDITIONAL BAR SPACING.

5. CONNECT TO EXISTING PAVEMENT USING HORIZONTAL DOWEL EXPANSION JOINTS. WHERE SHOWN ON PLANS, SAW CUT EXISTING PAVEMENT TO FULL PAVEMENT DEPTH. HORIZONTAL DOWELS SHALL BE NO. 6 BARS, 18-INCHES LONG, DRILLED AND EMBEDDED 9-INCHES INTO THE CENTER OF THE EXISTING SLAB WITH "PO-ROCK" OR EQUAL DOWEL SPACING SHALL BE 12-INCHES CENTER TO CENTER, UNLESS OTHERWISE NOTED.

6. DRIVEWAY LIGHT DUTY 8-INCHES OF PORTLAND CEMENT CONCRETE (5 1/2 SACK, 4-INCH MAX. SLUMP) WITH ASTM A-615, GRADE 60 STEEL BARS, OVER MIN. 6-INCH TREATED SUBGRADE PREPARED IN CONFORMANCE WITH SOILS REPORTS. REINFORCING TO BE #3 BARS SPACED AT 18 INCHES ON CENTERS IN BOTH DIRECTIONS.

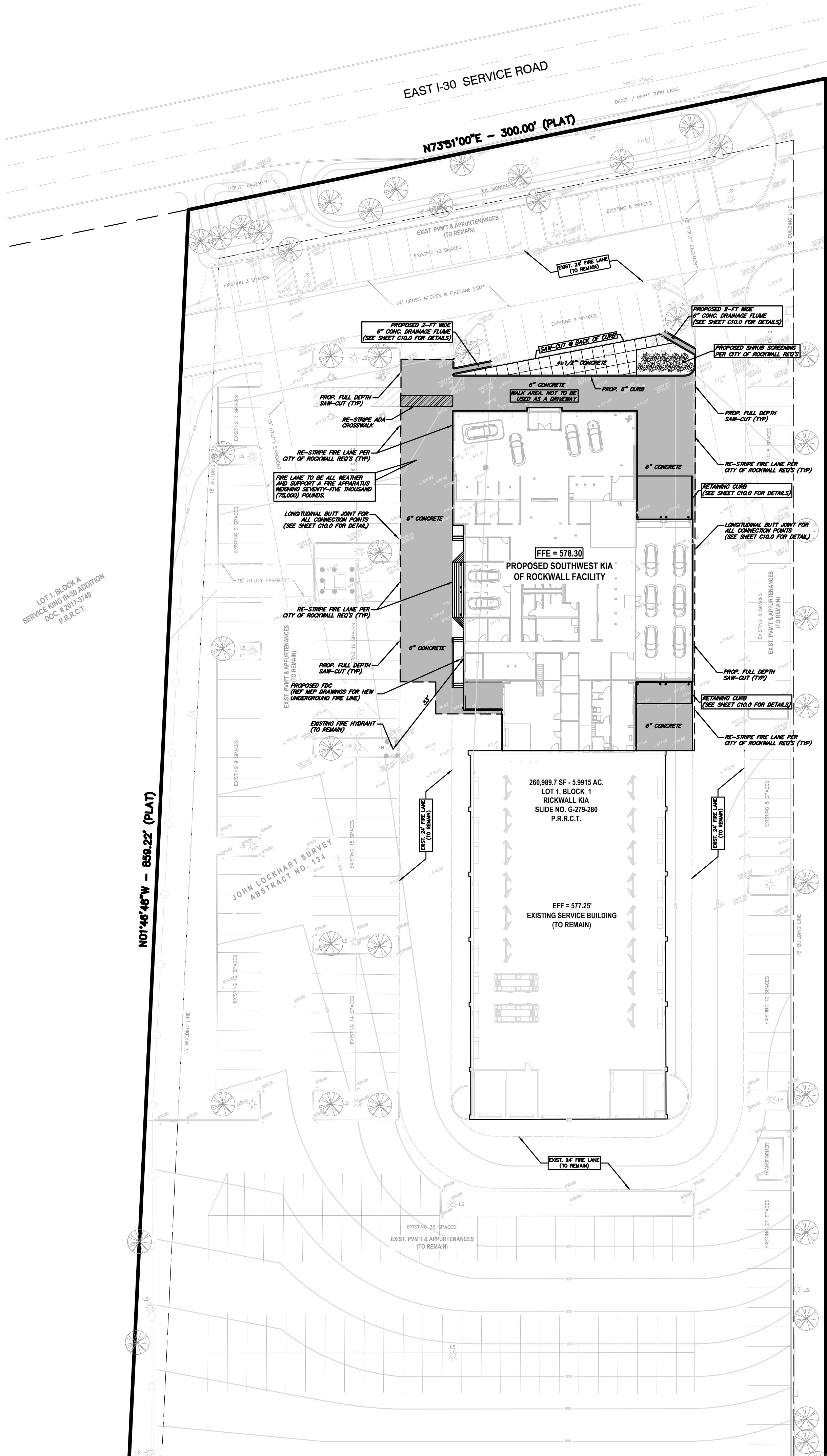
7. SUBGRADE SHALL BE PREPARED IN CONFORMANCE WITH SOILS REPORT.

8. DRAINAGE OPENINGS ACROSS CURBED ISLANDS TO BE PAVED WITH LIGHT DUTY CONCRETE PAVING.

9. PRIVATE SIDEWALKS SHALL BE MINIMUM 4 1/2" THICK WITH 6 X 6-W2.9 X W2.9 WELDED WIRE FABRIC (TYPICAL). PUBLIC SIDEWALKS SHALL BE IN CONFORMANCE WITH CITY OF ROCKWALL REQUIREMENTS.

10. ALL FINISHED GRADES SHALL VARY UNIFORMLY BETWEEN FINISHED ELEVATIONS AND CONTRACTOR SHALL ENSURE THAT POSITIVE DRAINAGE IS ESTABLISHED ACROSS THE SITE UPON COMPLETION OF THE PROJECT.

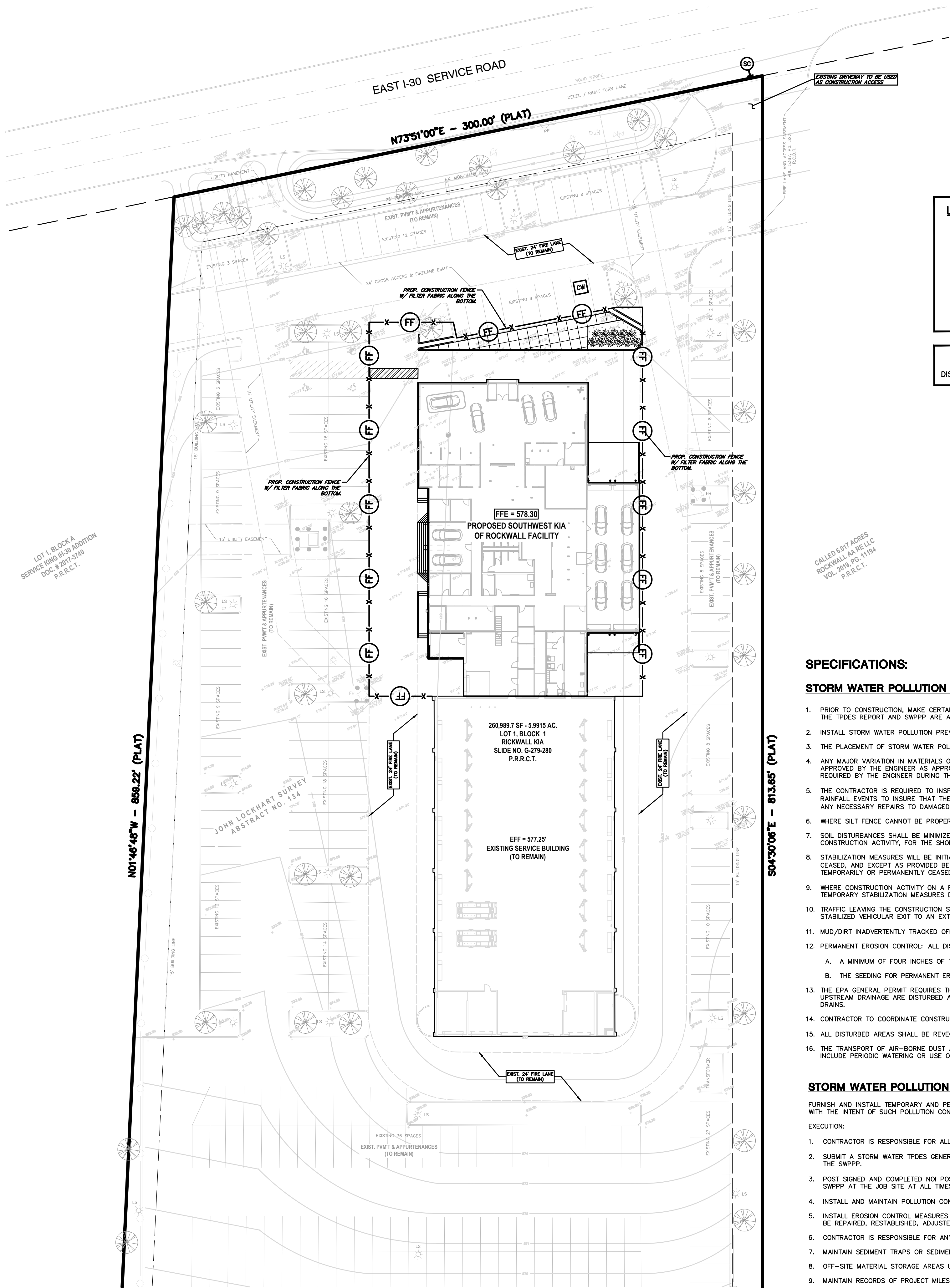
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN







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**LEGEND**

FF FILTER FABRIC FENCE

SC CONSTRUCTION ACCESS

CW CONCRETE WASHOUT

TOTAL LOT AREA = 260,988 SF  
DISTURBED LOT AREA = 8,876 SF

**BENCHMARKS:**  
ELEVATIONS SHOWN HEREON ARE BASED ON AVERAGE GPS OBSERVATIONS OF CITY ROCKWALL CONTROL MONUMENTS: COR-6 (ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL.)  
ELEVATION=558.61' NAVD88-GEOD12B

COR-9 (BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT: ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, +180' EAST INTERSECTION OF DISCOVERY (CORPORATE)  
ELEVATION=595.63' NAVD88-GEOD12B

**TBM "A"**  
SQUARE CUT ON CONCRETE SIDEWALK LOCATED AT NORTHWEST CORNER OF SUBJECT PROPERTY, AS SHOWN ON SURVEY  
ELEVATION=582.20'

**FLOODPLAIN NOTE:**  
BASED ON THE FLOOD INSURANCE RATE MAP NO. 48397C004045, MAP REVISED DATE OF SEPTEMBER 26, 2008 INDICATES THAT TRACT LIES WITHIN AREA ZONE "X"-(UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IN ADDITION THIS MAP STATES "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM; IT DOES NOT NECESSARILY IDENTIFY ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE, OR ALL PLANIMETRIC FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. CERTAIN AREAS NOT IN SPECIAL FLOOD HAZARD AREAS MAY BE PROTECTED BY FLOOD CONTROL STRUCTURES". THE APPROXIMATE LIMITS OF SAID ZONES AS DETERMINED HEREON ARE SCALED FROM SAID MAP. THIS INFORMATION IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS.

**SPECIFICATIONS:**

**STORM WATER POLLUTION PREVENTION NOTES**

- PRIOR TO CONSTRUCTION, MAKE CERTAIN THE NOTICE OF INTENT (NOI) OR CONSTRUCTION SITE NOTICE (CSN) HAS BEEN FILED AND POSTED ONSITE FOR PUBLIC VIEWING AND THE TPDES REPORT AND SWPPP ARE AVAILABLE AT THE TRAILER.
- INSTALL STORM WATER POLLUTION PREVENTION CONTROLS PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING, EXCAVATION).
- THE PLACEMENT OF STORM WATER POLLUTION PREVENTION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED STORM WATER POLLUTION PREVENTION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE ENGINEER AS APPROPRIATE. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE STORM WATER POLLUTION PREVENTION CONTROL PLAN MAY BE REQUIRED BY THE ENGINEER DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT INTERVALS OF AT LEAST ONCE EVERY TWO (2) WEEKS AND IMMEDIATELY AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
- WHERE SILT FENCE CANNOT BE PROPERLY INSTALLED USE TRIANGULAR FILTRATION DIKE OR HAY BALES.
- SOIL DISTURBANCES SHALL BE MINIMIZED BY EXPOSING ONLY THE SMALLEST PRACTICAL AREA OF LAND REQUIRED FOR THE CLEARING AND GRADING ACTIVITY AND FOR THE CONSTRUCTION ACTIVITY, FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- STABILIZATION MEASURES WILL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND EXCEPT AS PROVIDED BELOW, WILL BE INITIATED NO MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN TWENTY-ONE (21) DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
- TRAFFIC LEAVING THE CONSTRUCTION SITE WILL EXIT THROUGH A STABILIZED CONSTRUCTION EXIT AS LOCATED ON THE PLANS. WHEN SOILS HAVE COLLECTED ON THE STABILIZED VEHICULAR EXIT TO AN EXTENT WHICH REDUCES ITS INTENDED EFFECTIVENESS, THE SURFACE WILL BE CLEANED AND REESTABLISHED FOR THE INTENDED PURPOSE.
- MUD/DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO PUBLIC STREETS SHALL BE REMOVED IMMEDIATELY.
- PERMANENT EROSION CONTROL: ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW.
  - A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED IN ALL DRAINAGE CHANNELS (EXCEPT ROCK) AND BETWEEN THE CURB AND RIGHT-OF-WAY LINE.
  - THE SEEDING FOR PERMANENT EROSION CONTROL SHALL BE APPLIED OVER AREAS DISTURBED BY CONSTRUCTION.
- THE EPA GENERAL PERMIT REQUIRES THAT A TEMPORARY OR PERMANENT SEDIMENT BASIN BE INSTALLED IN ANY DRAINAGE LOCATION WHERE MORE THAN 10 ACRES IN THE UPSTREAM DRAINAGE ARE DISTURBED AT ONE TIME. THE SEDIMENT BASIN MUST PROVIDE AT LEAST 3,600 CUBIC FEET OF STORAGE FOR EVERY ACRE OF LAND, WHICH IT DRAINS.
- CONTRACTOR TO COORDINATE CONSTRUCTION ACCESS TO SITE WITH LOCAL AUTHORITIES.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH 4" OF TOP SOIL AND SEEDING PER PERMANENT EROSION CONTROL NOTE 12 ABOVE.
- THE TRANSPORT OF AIR-BORNE DUST AND SEDIMENT FROM THIS SITE WILL BE CONTROLLED AS NEEDED, TO THE EXTENT PRACTICABLE, BY APPROPRIATE METHODS WHICH MAY INCLUDE PERIODIC WATERING OR USE OF APPROVED CHEMICAL STABILIZERS.

**STORM WATER POLLUTION PREVENTION PLAN / TPDES**

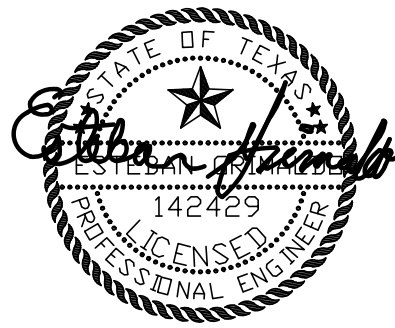
FURNISH AND INSTALL TEMPORARY AND PERMANENT STORM WATER POLLUTION PREVENTION CONTROL MEASURES SHOWN IN THE PLANS. CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE INTENT OF SUCH POLLUTION CONTROL MEASURES, TPDES PERMITS, OR OTHER LOCAL WATERWAY DEVELOPMENT PERMITS.

**EXECUTION:**

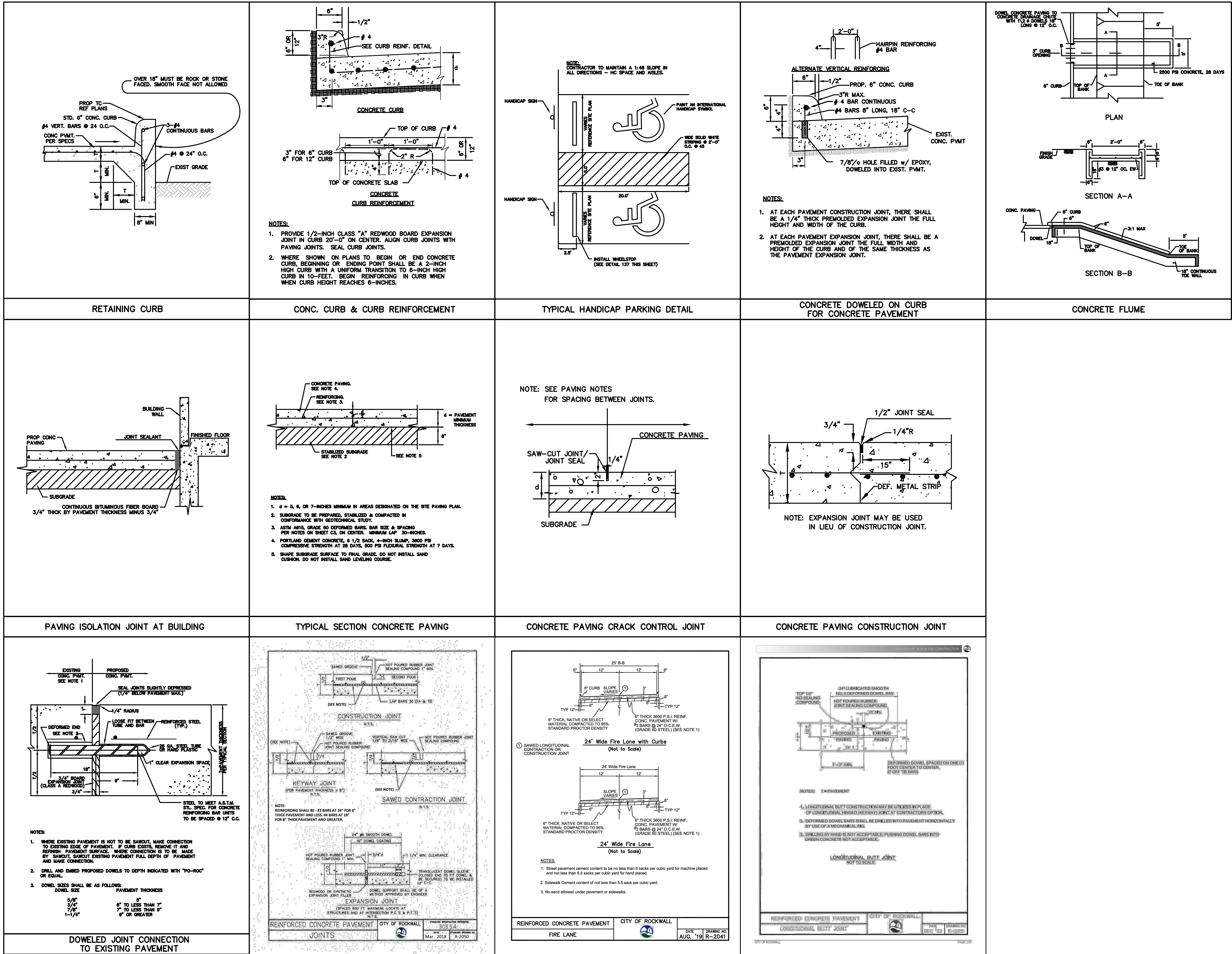
- CONTRACTOR IS RESPONSIBLE FOR ALL POLLUTION PREVENTION MEASURES SHOWN IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
- SUBMIT A STORM WATER TPDES GENERAL PERMIT NOTICE OF INTENT (NOI) AT LEAST TWO DAYS PRIOR TO START OF CONSTRUCTION TO THE APPROPRIATE AGENCY SHOWN ON THE SWPPP.
- POST SIGNED AND COMPLETED NOI POSTING NOTICE OR CONSTRUCTION SITE NOTICE (CSN) AT CONSTRUCTION ENTRANCE FOR PUBLIC VIEWING, AND KEEP A COPY OF THE SWPPP AT THE JOB SITE AT ALL TIMES.
- INSTALL AND MAINTAIN POLLUTION CONTROL MEASURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND WITH PROJECT SPECIFICATIONS.
- INSTALL EROSION CONTROL MEASURES AND CONSTRUCTION ENTRANCES AS SHOWN IN THE SWPPP PRIOR TO BEGINNING CONSTRUCTION. POLLUTION CONTROL MEASURES SHALL BE REPAIRED, REESTABLISHED, ADJUSTED OR REINSTALLED WITH EACH SUBSEQUENT PHASE OF CONSTRUCTION IN ACCORDANCE WITH THE SWPPP.
- CONTRACTOR IS RESPONSIBLE FOR ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE, AND SHALL REMOVE THE ACCUMULATION OF OFF-SITE SEDIMENT PROMPTLY.
- MAINTAIN SEDIMENT TRAPS OR SEDIMENTATION BASINS.
- OFF-SITE MATERIAL STORAGE AREAS USED SOLELY BY THE PROJECT ARE CONSIDERED PART OF THE PROJECT.
- MAINTAIN RECORDS OF PROJECT MILESTONE DATES AND FIELD CHANGES AS REQUIRED BY THE SWPPP.
- INSPECT POLLUTION CONTROL MEASURES EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT GREATER THAN 0.5 INCHES OF RAINFALL. AN INSPECTION REPORT SHALL BE RECORDED AS REQUIRED BY THE SWPPP.
- DEFICIENCIES NOTED DURING THE INSPECTION WILL BE CORRECTED AND DOCUMENTED WITHIN SEVEN CALENDAR DAYS OR BEFORE THE NEXT ANTICIPATED STORM EVENT.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN

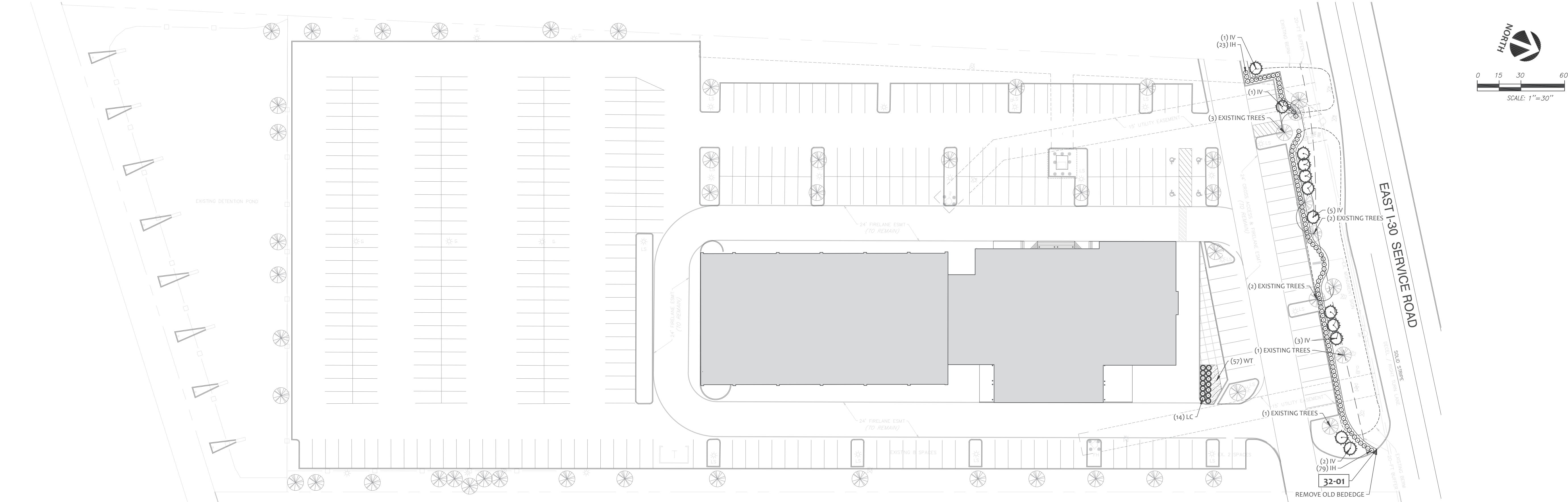




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CITY OF ROCKWALL  
UNIFIED DEVELOPMENT CODE

ARTICLE 05 DISTRICT DEVELOPMENT STANDARDS  
SECTION 06.02: GENERAL OVERLAY DISTRICT STANDARDS  
(E1). ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE A MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION, TWO (2) CANOPY TREES AND FOUR (4) ACCENT TREES SHALL BE PLANTED PER 100-FEET OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.

| STREET | FEET | FORMULA            | CANOPY TREES REQ. | CANOPY TREES PROV. |
|--------|------|--------------------|-------------------|--------------------|
| IH-30  | 300  | $\pm 100 \times 2$ | 8                 | 7*                 |

\* PROVIDED TREES ARE FROM EXISTING TREES CLAIMED FOR CREDIT.

| STREET | FEET | FORMULA            | ACCENT TREES REQ. | ACCENT TREES PROV. |
|--------|------|--------------------|-------------------|--------------------|
| IH-30  | 300  | $\pm 100 \times 4$ | 12                | 12                 |

| STREET | FEET | FORMULA | SHRUBS REQ. | SHRUBS PROV. |
|--------|------|---------|-------------|--------------|
| IH-30  | 300  | $\pm 3$ | 100         | 100          |

ARTICLE 08 LANDSCAPE STANDARDS  
SECTION. 04 | APPROVED LANDSCAPE MATERIALS  
(A2a). MIN. 4" CALIPER CANOPY TREES  
(A2b). MIN. 4" HEIGHT ACCENT TREES  
(A2c). MIN. 3 GAL. SHRUBS

SUBSECTION. 05.03: LANDSCAPE REQUIREMENTS  
(A). AMOUNT OF LANDSCAPING. LIGHT INDUSTRIAL DISTRICTS REQUIRE 15%LANDSCAPING FROM THE TOTAL SITE AREA.

| SITE AREA (SF) | MULTIPLIER | LANDSC. REQ. (SF) | LANDSC. PROV. (SF) |
|----------------|------------|-------------------|--------------------|
| 231,281 SF     | 15%        | 34,692            | 71,884             |

(E4). NO REQUIRED PARKING SPACES FURTHER THAN 8' AWAY FROM THE TRUNK OF A CANOPY TREE.  
(G). IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO DESIGN THE IRRIGATION SYSTEM WITHIN THE LOT TO ENSURE THAT THE GRASS PLACED IN PUBLIC RIGHT-OF-WAY IS WATERED AND MAINTAINED, AND TO ENSURE THAT MINIMAL WATER WILL BE SHED ON TO THE STREET. THE DESIGNER OF THE IRRIGATION SYSTEM SHALL BASE THE SYSTEMS DESIGN ON THE ULTIMATE PROPOSED WIDTH OF THE STREET. THE PLANS FOR DESIGN OF THE IRRIGATION SYSTEM SHALL BE APPROVED BY THE BUILDING INSPECTIONS DEPARTMENT PRIOR TO INSTALLATION AND ACCEPTANCE OF THE PROJECT.

SUBSECTION 05.04: IRRIGATION REQUIREMENTS  
(A1). PROVIDE A MOISTURE LEVEL IN AN AMOUNT AND FREQUENCY ADEQUATE TO SUSTAIN GROWTH OF THE PLANT MATERIALS ON A PERMANENT BASIS.  
(A2). PROVIDE IRRIGATION IN PLACE AND OPERATIONAL AT THE TIME OF THE LANDSCAPE INSPECTION CERTIFICATE OF OCCUPANCY (CO).  
(A3). MAINTAIN IRRIGATION AND KEEP IT OPERATIONAL AT ALL TIMES TO PROVIDE FOR EFFICIENT WATER DISTRIBUTION.

IRRIGATION PLANS SHALL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

PLANT SCHEDULE

| SYMBOL        | CODE | QTY | COMMON / BOTANICAL NAME                                       | SIZE   | CAL   | HT     | SPR   | BR HT  |
|---------------|------|-----|---|--------|-------|--------|-------|--------|
| TREES         |      |     |   |        |       |        |       |        |
|               | IV   | 12  | Yaupon Holly Multi-Trunk / Ilex vomitoria                     | 30 gal | 2"Cal | 4' MIN | 4'-5' | 3' MIN |
| SHRUBS        |      |     |   |        |       |        |       |        |
|               | IH   | 100 | Snow White Indian Hawthorn / Rhaphiolepis indica 'Snow White' | 3 gal  | 18"   | 24"    |       |        |
|               | LC   | 14  | Texas Sage / Leucophyllum candidum                            | 15 GAL | 48"   | 48"    |       |        |
| GROUND COVERS |      |     |   |        |       |        |       |        |
|               | WT   | 57  | Creeping Oxeley / Wedelia trilobata                           | 4"pot  | 6"    | 18"    |       |        |

LEGEND

| SYMBOL | QTY | NAME                             |
|--------|-----|----------------------------------|
|        | 7   | EXISTING TREE CLAIMED FOR CREDIT |

PLANTING NOTES

- ALL MATERIAL QUANTITIES ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
- CONTRACTOR SHALL HAVE ALL UTILITY LINES LOCATED BEFORE PERFORMING ANY EXCAVATION FOR LANDSCAPE AND/OR IRRIGATION INSTALLATION. CONTRACTOR SHALL TAKE NECESSARY STEPS TO PROTECT EXISTING UTILITIES.
- PRIOR TO APPLYING SOD OR HYDROSEED, ALL STONES AND DEBRIS LARGER THAN 1 INCH IN ANY DIMENSION SHALL BE REMOVED AND SURFACE MUST BE TOP DRESSED WITH 2" OF TOPSOIL AND FINE GRADED SMOOTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A FULL AND HEALTHY STAND OF GRASS AT THE TIME OF POSSESSION BY THE OWNER.
- ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING AREAS OUTSIDE PROPERTY LINES) SHALL BE PLANTED AND WATERED A MINIMUM OF 10 WEEKS OR UNTIL GRASS IS FULLY ESTABLISHED.
- LANDSCAPE BED EDGING SHALL BE PROVIDED WHERE INDICATED ON PLANS AND BETWEEN PLANTING/STONE BEDS AND LAWN AREAS/SIDEWALKS. SEE SHEET L3.1 FOR DETAILS.
- OPEN AREAS WITHIN LANDSCAPE BEDS SHALL BE MULCHED AS SHOWN IN DETAILS ON SHEET L3.1 AND AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING PHOTOGRAPHS OF ACTUAL LANDSCAPE MATERIALS AND SUBMITTING THEM TO THE LANDSCAPE ARCHITECT OF RECORD FOR APPROVAL PRIOR TO INSTALLATION.
- PLANT MATERIAL SELECTED SHALL FOLLOW THE GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND MEET OR EXCEED ALL SIZE REQUIREMENTS LISTED ON PLANT SCHEDULE.
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND SHALL BE WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

NO TREES ARE TO BE REMOVED

PLANTING NOTES

SHRUBS AND TREES

ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS AT A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

|                     |  |
|---------------------|--|
| 1 GALLON CONTAINER: | 1 - 21 GRAM TABLET                       |
| 3 GALLON CONTAINER: | 2 - 21 GRAM TABLETS                      |
| 5 GALLON CONTAINER: | 3 - 21 GRAM TABLETS                      |
| 7 GALLON CONTAINER: | 4 - 21 GRAM TABLETS                      |
| TREES:              | 3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER |
| PALMS:              | 7 - 21 GRAM TABLETS                      |

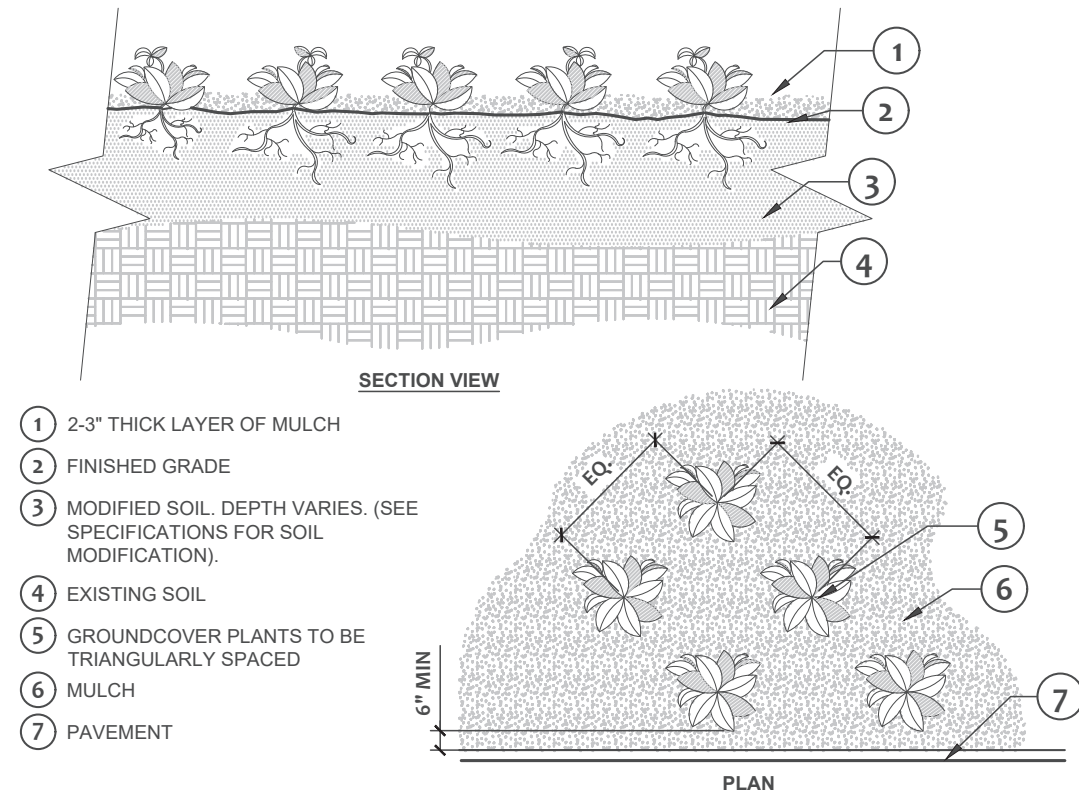
GROUND COVER AREAS

ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "MIRACLE-GRO LIQUID QUICK START PLANT FOOD." APPLY PER MANUFACTURER'S SPECIFICATIONS.

APPLY PRE-EMERGENT TO ALL BED AREAS.

SOIL NOTES

- PREPARED LANDSCAPE BACKFILL SHALL HAVE A MINIMUM DEPTH AS SPECIFIED IN EACH DETAIL. PLANT MIX SHALL CONSIST OF THE FOLLOWING:
  - COMPOST
  - TOPSOIL
  - ANGULAR SAND
- SOD/HYDROMULCH AREAS SHALL RECEIVE 2 INCH MINIMUM TOPSOIL.



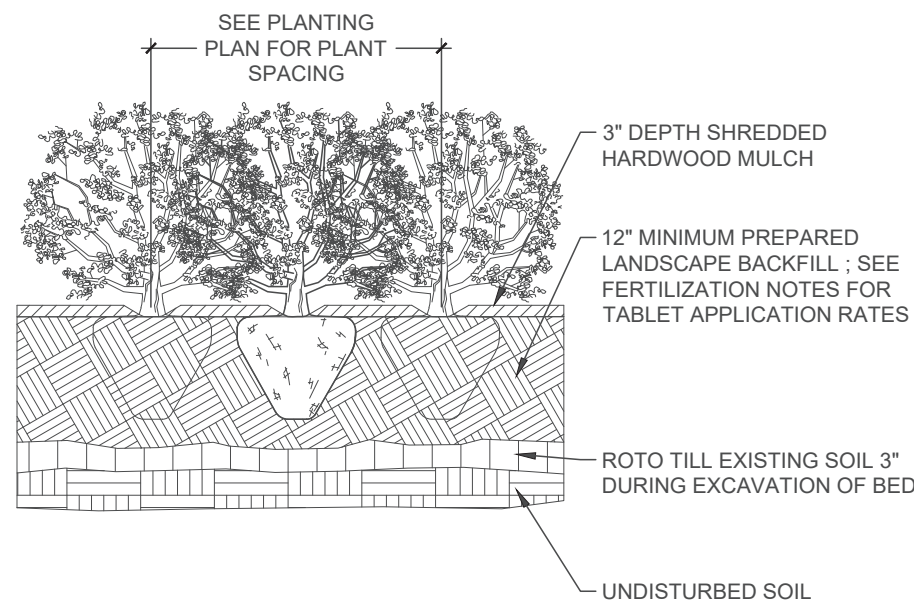
NOTES:  
1- SEE PLANTING LEGEND FOR GROUND COVER SPECIES, SIZE, AND SPACING DIMENSION.  
2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL.)  
3- SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PRIOR TO MULCHING.

GROUND COVER

3/4" - 1'-0"

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE TREE TO USE

FX-PL-FX-GROU-01



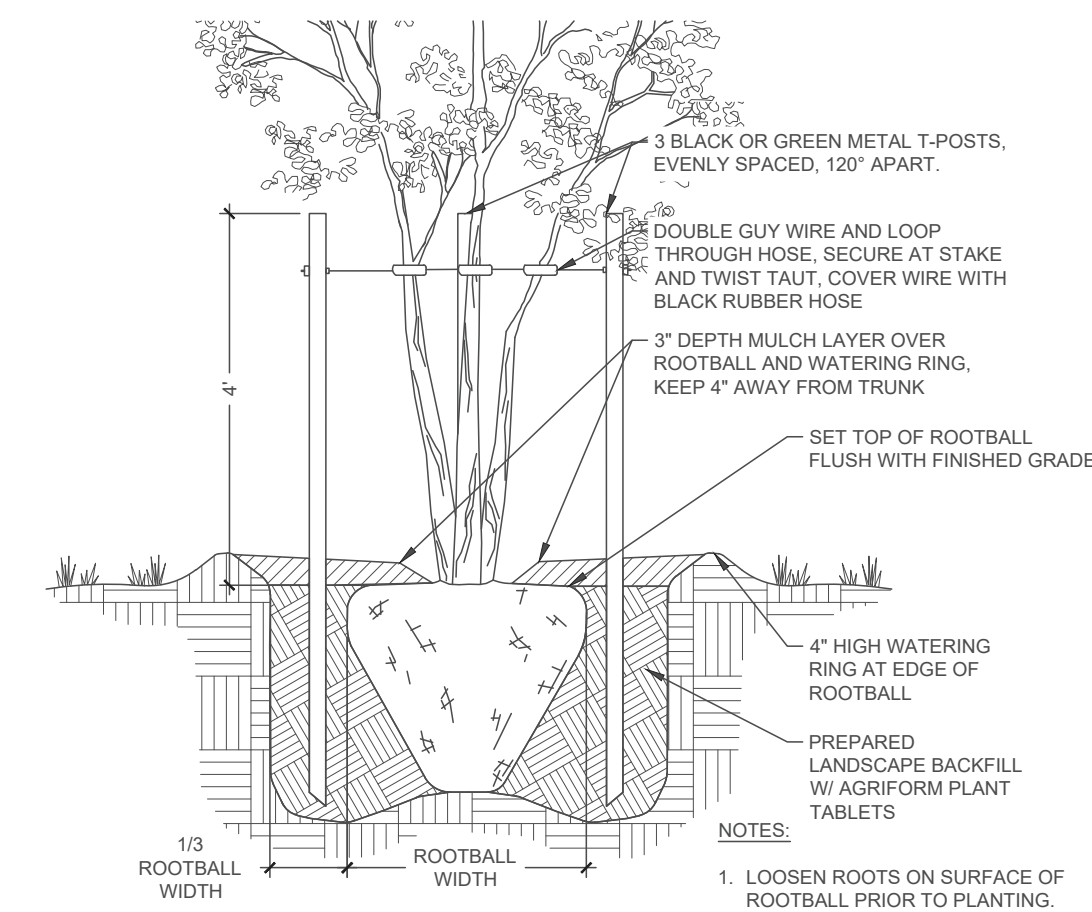
NOTES:

- PLANT SHRUBS ON TRIANGULAR SPACING WHEN NOT A PART OF A SINGLE ROW.
- LOOSEN ROOTS ON SURFACE OF ROOTBALL PRIOR TO PLANTING.

1 SHRUB BED PLANTING

NTS

00-04

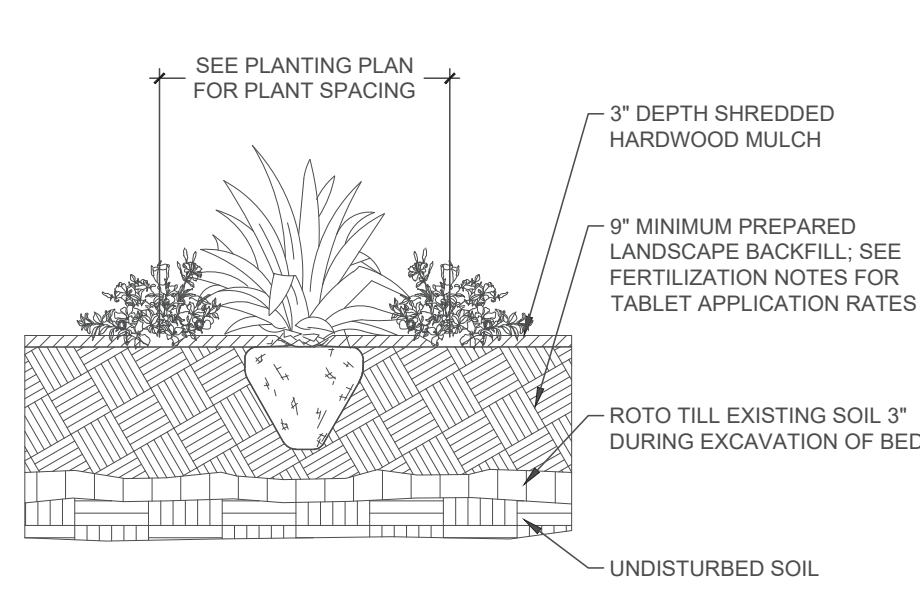


NOTES:  
1. LOOSEN ROOTS ON SURFACE OF ROOTBALL PRIOR TO PLANTING.  
2. TEMPORARY TREE STAKES AND GUYWIRE TO BE REMOVED AFTER ONE FULL GROWING SEASON.

4 MULTI TRUNK PLANTING

NTS

00-03



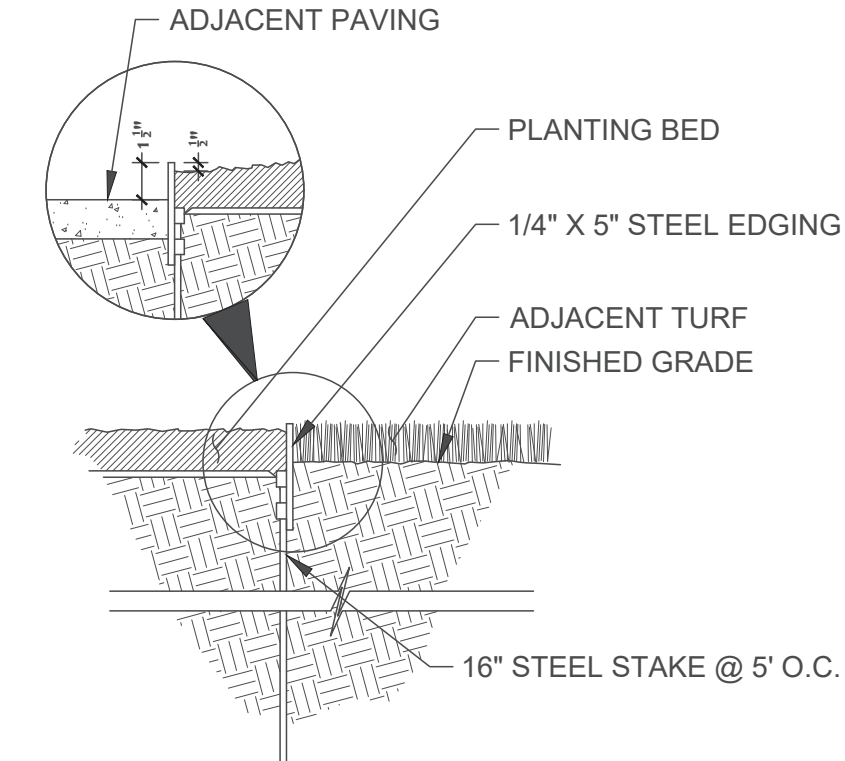
NOTES:

- PLACE PLANTS ON TRIANGULAR SPACING WHEN NOT A PART OF A SINGLE ROW.
- LOOSEN ROOTS ON SURFACE OF ROOTBALL PRIOR TO PLANTING.

2 PERENNIAL ANNUAL PLANTING

NTS

00-05



5 BED EDGE - METAL

NTS

00-07

LOMA  
ARCHITECTURE

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BUCKSON  
LANDSCAPE  
ARCHITECTURE

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PROJECT:

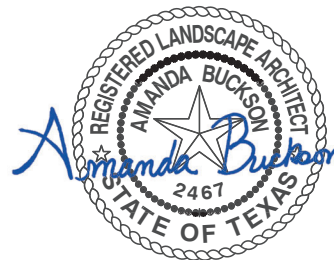
SOUTHWEST KIA OF  
ROCKWALL

PROJECT ADDRESS:

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ROCKWALL, TX 75087

SEAL/SIGNATURE:

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