

LEGEND

	EXISTING	PROPOSED
BOUNDARY EASEMENT		
BUILDING LINE		
BENCHMARK	BM	
CLEARING LIMITS		
GUARDRAIL		
SILT FENCE		
GAS MAIN	MANHOLE VAULT VALVE METER	MANHOLE VAULT VALVE METER
CABLE TV	MANHOLE PEDESTAL	MANHOLE PEDESTAL
FIBER OPTIC	MANHOLE PEDESTAL	MANHOLE PEDESTAL
UNDERGROUND TELEPHONE	MANHOLE PEDESTAL	MANHOLE PEDESTAL
UNDERGROUND ELECTRIC	MANHOLE VAULT TRANSFORMER	MANHOLE VAULT TRANSFORMER
OVERHEAD ELECTRIC	TRANSMISSION TOWER POWER POLE	TRANSMISSION TOWER POWER POLE
WATER	VALVE FIRE HYDRANT	VALVE FIRE HYDRANT
SANITARY SEWER	MANHOLE CLEANOUT	SEWER LATERAL MANHOLE CLEANOUT
FORCE MAIN		
STORM SEWER	HEADWALL STORM MH INLET	HEADWALL STORM MH INLET
CONTOURS	55A 555	55A 555
BUILDING/STRUCTURE		
BANK/SLOPE LINE		
FLOW LINE/STREAM LINE		
TREE	12'	
TREELINE		
MAILBOX		
FENCE		
RETAINING WALL		
SCREEN WALL		
PARKING METER		
SIGN		
STREET NAME SIGN		
TRAFFIC SIGNAL		
RAILROAD		
PAVEMENT	ASPHALT CONCRETE	

ABBREVIATIONS

AC Asbestos Cement	MH Manhole
ASPH Asphalt	N/A Not Applicable
AWWA American Water Works Association	NAD 83 North American Datum of 1983
BC Back of Curb	NIS Not to Scale
BLDG Building	OE Overhead Electric
BLK Block	PC Point of Curvature
BLVD Boulevard	PCC Point of Compound Curvature
BM Bench Mark	PCCP Pre-Stressed Concrete Cylinder Pipe
CATV Cable TV	PI Point of Intersection
CI Cast Iron	PL Property Line
CL Center Line or Class	PP Power Pole
CO Cleanout	PR Point of Reverse Curvature
CONC Concrete	PROP Proposed
CONN Connection	PRV Pressure Reducing Valve
CONST Construction	PSI Pounds Per Square Inch
DIA Diameter	PT Point of Tangency
DART Dallas Area Rapid Transit	PVI Point of Vertical Intersection
DI Ductile Iron	PVC Polyvinyl Chloride
ELEV Elevation	PVMT Pavement
ESMT Easement	RCCP Reinforced Concrete Cylinder Pipe
ETJ Extra-Territorial Jurisdiction	RCP Reinforced Concrete Pipe
EW Each Way	RD Road
EX Existing	ROW Right of Way
EXIST Existing	RR Railroad
FF Finish Floor	NCTCOG North Central Texas Council of Governments
FH Fire Hydrant	SET Safety End Treatment
FL Flow Line	SH State Highway
FM Form-to-Market (Road)	SHT Sheet
FO Fiber Optic	ST Street
FT Feet	STA Station
GM Gas Meter	STD Standard
GV Gate Valve	S/W Side Walk
HDD Horizontal Directional Drilling	SWPPP Storm Water Pollution Prevention Plan
HDPE High Density Polyethylene	SUE Subsurface Utility Engineering
HOA Home Owner's Association	T Telephone
HWY Highway	TAC Texas Administrative Code
IH Interstate Highway	TCEQ Texas Commission on Environmental Quality
IN Inch	TxDOT Texas Department of Transportation
INW Invert	UE Underground Electric
LF Linear Feet	VCP Vitrified Clay Pipe
LN Lane	W Water
LT Left	WW Wastewater
MB Mail Box	WTP Water Treatment Plant
MJ Mechanical Joint	WWTP Wastewater Treatment Plant

UTILITY CONTACTS:
 CITY OF ROCKWALL (972) 771-7746
 TXU GAS & ELECTRIC (972) 888-1329
 CO-SERV (940) 270-6644
 VERIZON (972) 434-0622
 SOUTHWESTERN BELL TELEPHONE (817) 338-6803
 AT&T CABLE (817) 557-8296
 TCI CABLE (972) 539-0053
 B. F. I. (214) 357-6224

ENGINEERING PLANS

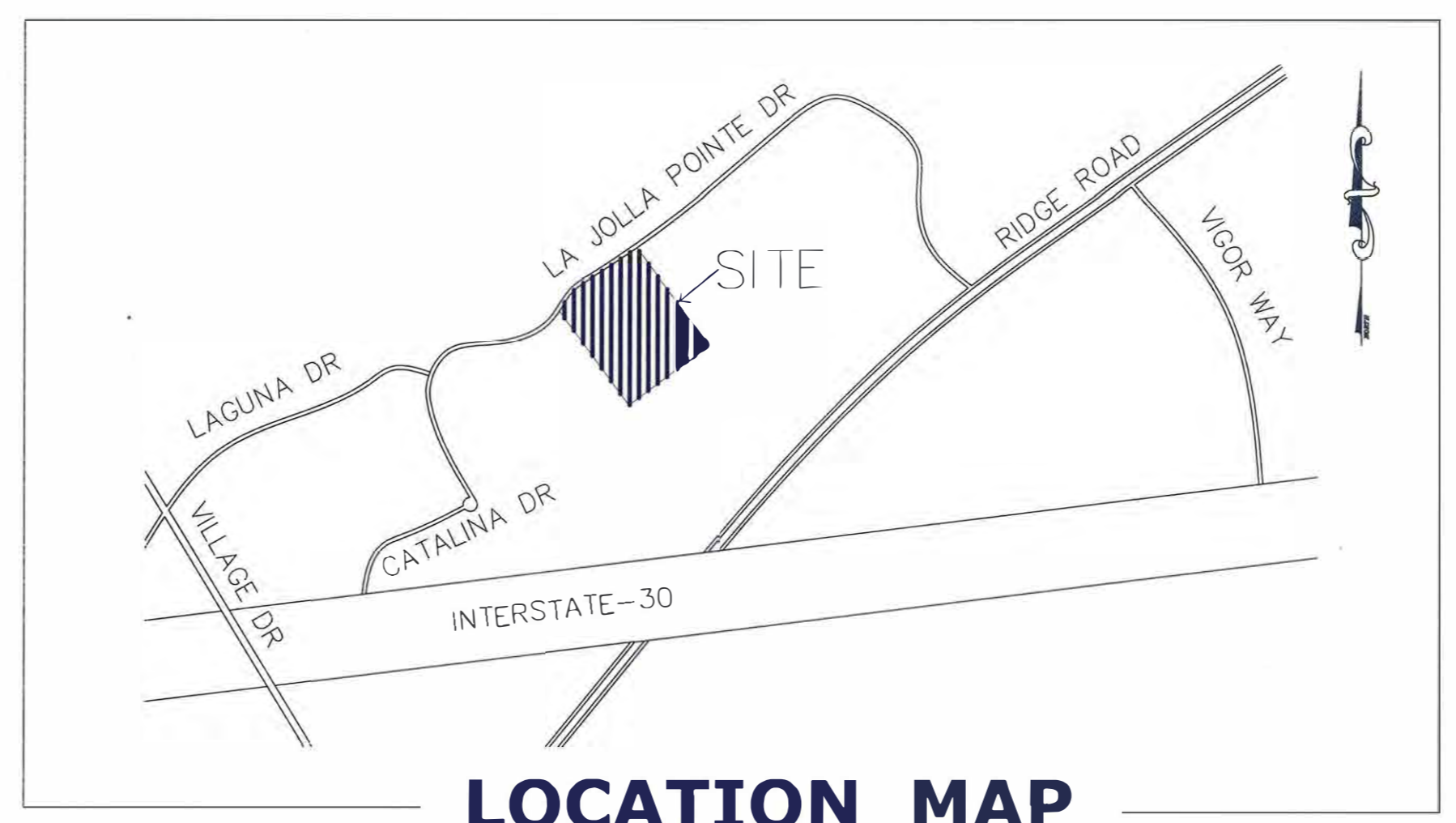
SHIPMAN OFFICE BUILDING

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

LOT 3 BLOCK A
 LA JOLLA POINTE ADDITION PHASE 2

DEVELOPER:
CLAY SHIPMAN FIRE PROTECTION, LLC
 7700 CODY LANE
 SUITE 2705
 SACHSE, TEXAS 75048



LOCATION MAP

PROJECT ADDRESS: LA JOLLA POINTE DRIVE
 MAPSCO GRID 303F
 PROBABLE START CONSTRUCTION FALL 2018



CAUTION!!!
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO:
 • VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES (BOTH HORIZONTALLY AND VERTICALLY) PRIOR TO ANY CONSTRUCTION
 • TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED
 • NOTIFY THE ENGINEER PROMPTLY OF ANY AND ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES
 • PRESERVE AND PROTECT ALL EXISTING FACILITIES FROM DAMAGE DURING CONSTRUCTION
 ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.

NOTES:
 1. ALL CONSTRUCTION SHALL CONFORM TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.
 2. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SHEET INDEX

1. COVER SHEET
2. REPLAT
3. APPROVED SITE PLAN
4. APPROVED LANDSCAPE PLAN
5. APPROVED TREE PRESERVATION PLAN
6. PAVING PLAN & PROFILE - CARMEL CIRCLE
- 6A. ADA RAMP DETAILS
7. DIMENSIONAL CONTROL & PAVING PLAN
8. GRADING PLAN
9. DRAINAGE AREA MAP
10. STORM SEWER PLAN *REVISED 04/14/19*
11. STORM SEWER PROFILES *REVISED 04/14/19*
12. WATER & SEWER PLAN *REVISED 04/14/19*
13. SANITARY SEWER PROFILE *NOT IN THIS CONTRACT*
14. EROSION CONTROL PLAN
15. EROSION CONTROL NOTES

RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.
 DATE: JUNE 16, 2020

REVISION
 APR 22 2019
 CITY OF ROCKWALL ENGINEERING DEPT

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 Sarah Hager 5-16-19
 CITY DATE

04/14/19 REVISED SHEET INDEX

USA PROFESSIONAL SERVICES GROUP, INC.
 CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS REGISTERED FIRM NO. F-1845
 TEXAS BOARD OF PROFESSIONAL LAND SURVEYORS REGISTERED FIRM NO. 101074-00
 CRAIG S. SMILEY, PE csmiley@usaengineers.com
 1525 VICEROY DRIVE, DALLAS, TEXAS 75235
 OFFICE: (214) 634-3300 FAX: (214) 634-3338

AUGUST 2018

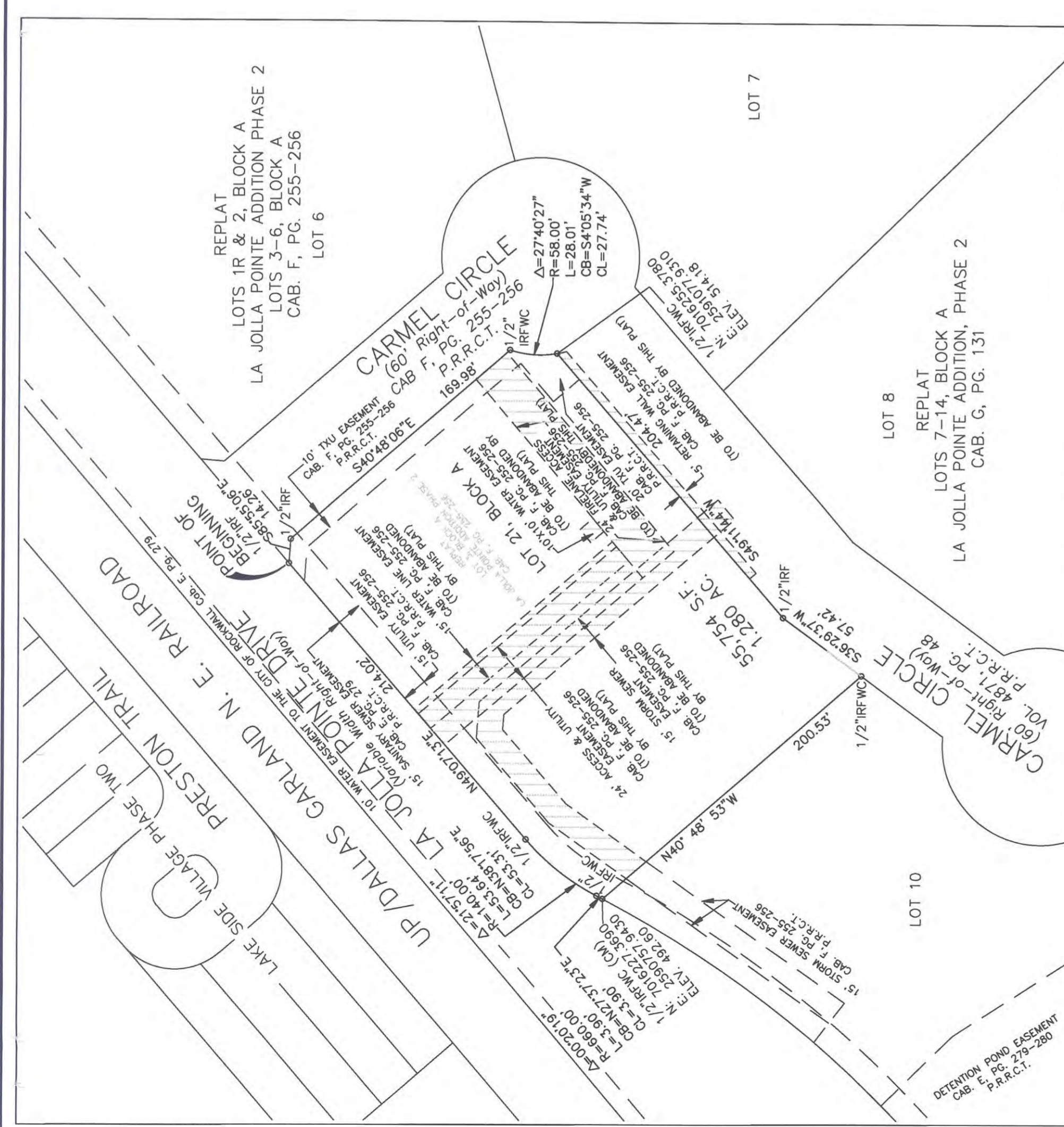
BENCHMARKS:
 #1 "□" CUT ON EXISTING "Y" INLET ±74' FROM THE NORTHWEST CORNER OF PROPERTY. ELEV. 493.46
 #2 "□" CUT ON BACK OF CURB ±12' IN FRONT OF EXISTING SANITARY SEWER MANHOLE ±66' FROM THE NORTHEAST CORNER OR PROPERTY LINE. ELEV. 497.98



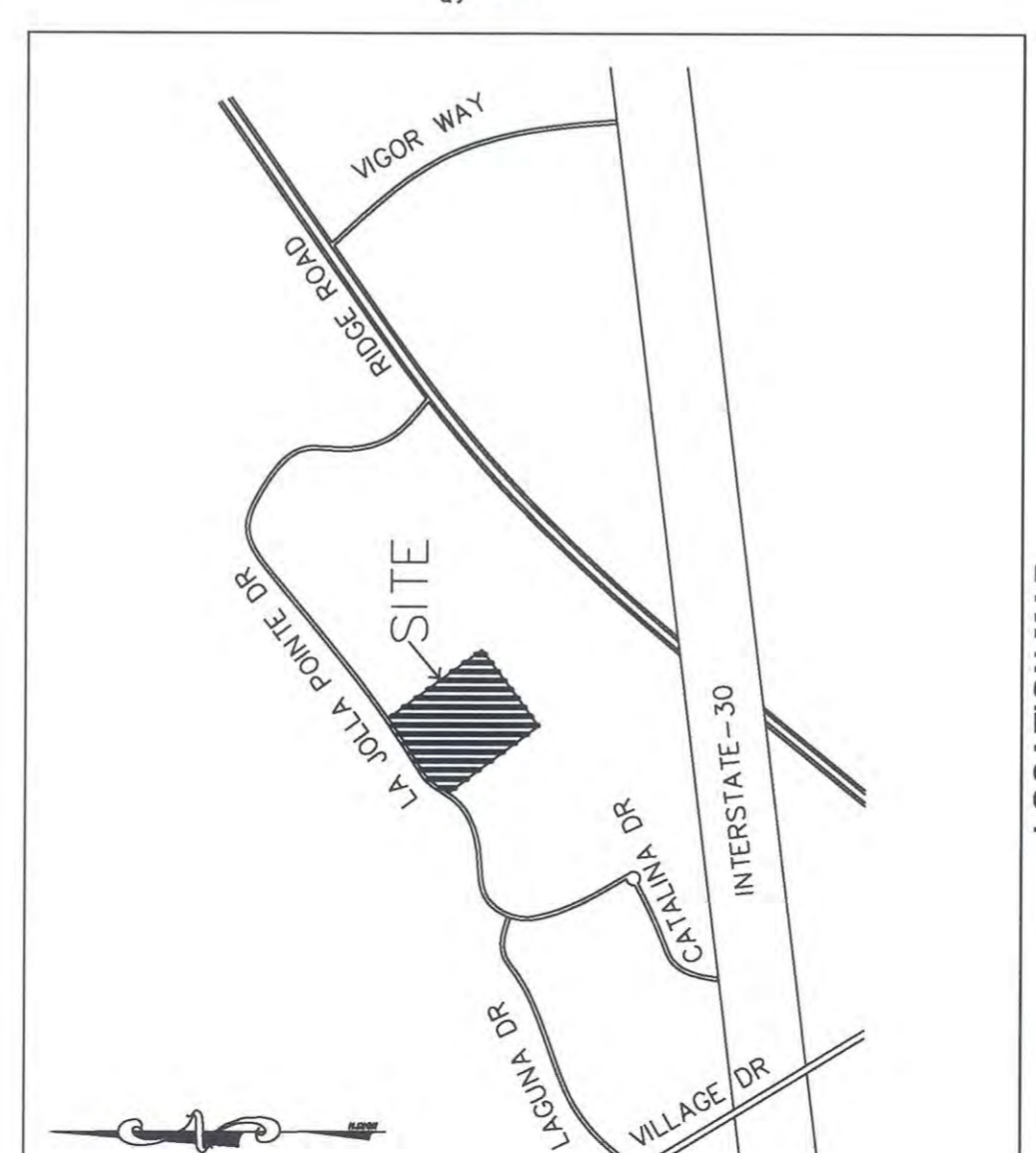
April 14, 2019

P:\S\eking\2018006.00 Shipman-Office Building\2018006.00 cover.dwg, COVER: 4/14/2019 3:48:44 PM, Craig Smiley

2018006.00 - SHIPMAN OFFICE BUILDING - USA PROFESSIONAL SERVICES GROUP, INC.



EASEMENT ABANDONMENT



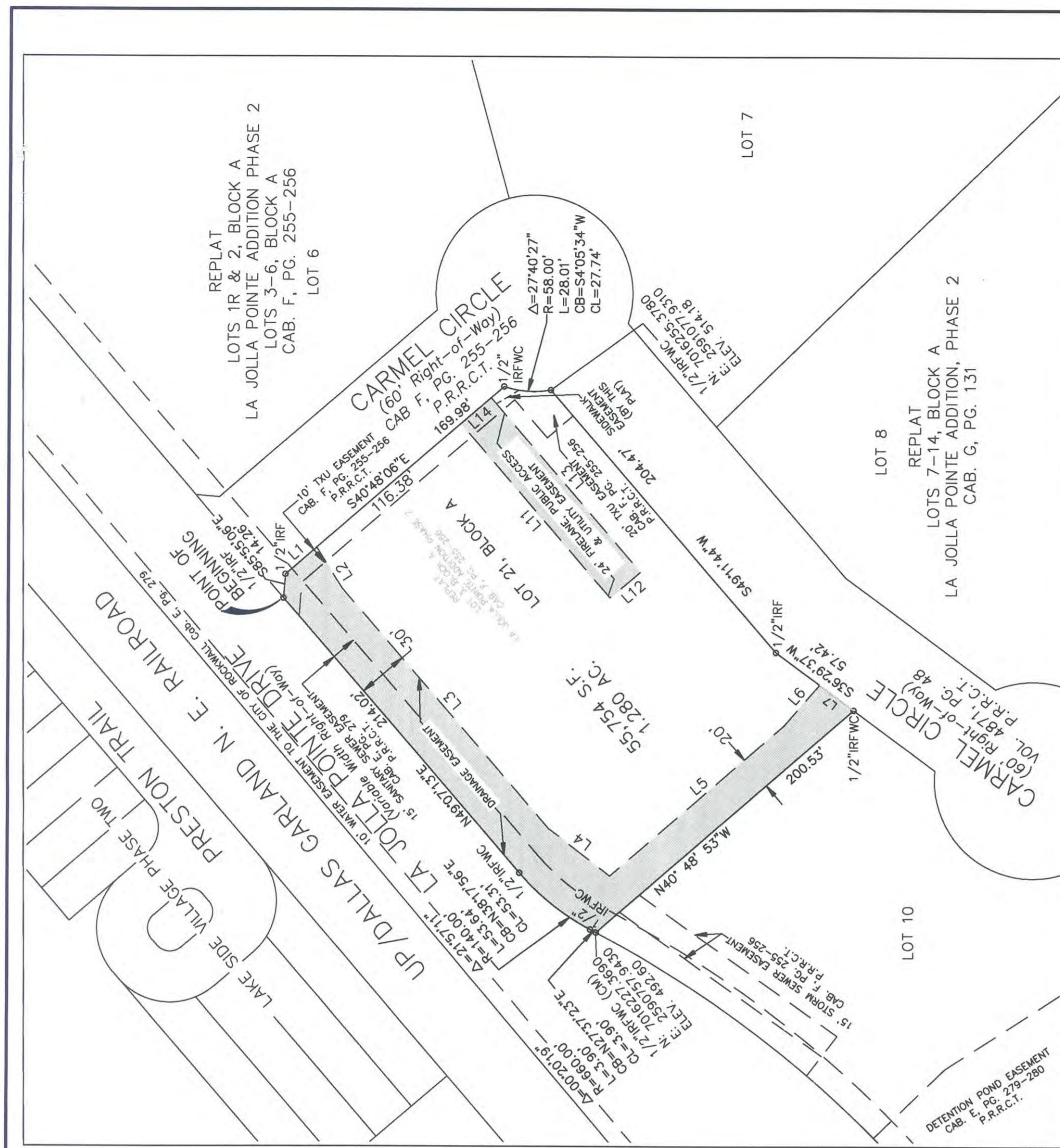
LEGEND:

- P.R.R.C.T.
- IRON ROD FOUND
- POINT OF BEGINNING
- ROW
- BL
- SQ FT
- IRFWC
- VOL.
- CAB.
- PG.



ENGINEERS:
33° LATITUDE
 17250 DALLAS PARKWAY
 DALLAS, TEXAS 75246
 (972) 677-9833

DEVELOPER:
CLAY SHIPMAN FIRE PROTECTION, LLC
 7700 CODY LANE, SUITE 2705
 SACHSE, TEXAS 75048
 (469) 853-0400



EASEMENT DEDICATION

Line #	Direction	Length
L1	S40°48'06"E	24.31'
L2	S57°55'27"W	28.68'
L3	S49°07'13"W	187.08'
L4	S37°30'05"W	45.65'
L5	S40°48'53"E	135.29'
L6	S49°01'37"E	32.29'
L7	S36°29'37"W	25.23'
L11	N49°11'07"E	135.58'
L12	N40°46'53"W	23.50'
L13	S49°11'07"W	135.58'
L14	S40°48'06"E	23.50'

EASEMENT TO BE ABANDONED
 EASEMENT TO BE DEDICATED

ENGINEERS:
USA PROFESSIONAL SERVICES GROUP, INC.
 CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS - REGISTERED FIRM NO. F-1845
 OFFICE: (214) 634-3300 FAX: (214) 634-3338
 USA 2018006.00

NOTES:

- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to lines and withholdings of utilities and building permits. The seller shall be responsible for maintaining, repairing, and replacing all drainage systems on-site.

FINAL PLAT
 LOT 21, BLOCK A
 LA JOLLA POINTE ADDITION, PHASE 2
 BEING A REPLAT OF
 1 LOT - 1.280 ACRES
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 SEPTEMBER 2018

STATE OF TEXAS
 COUNTY OF ROCKWALL

OWNERS' CERTIFICATION

WHEREAS, CLAY SHIPMAN is the owner of a 1.280 acre tract or parcel of land situated in the W. Blevis Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas and all of Lot 3, Block A, of the Replat of Lots 1R through 11R, Jolla Pointe Addition, Phase 2, Lots 3-6, Block A as recorded in Cabinet F, Pages 255-256 of the Plat Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for a corner clip at the intersection of the Southern right-of-way line of La Jolla Pointe Drive (a variable width right-of-way) and Carmel Circle (a 60' right-of-way) as recorded in Cabinet F, Pages 255-256 of the Plat Records, Rockwall County, Texas;

THENCE South 85 degrees 55 minutes 06 seconds East, along said corner clip a distance of 14.26 feet to a 1/2 inch iron rod found in the Westerly right-of-way line of said Carmel Circle;

THENCE South 40 degrees 48 minutes 06 seconds East, along the Westerly right-of-way line of said Carmel Circle, a distance of 169.88 feet to a 1/2 inch iron rod with cap found for corner, said point being at the beginning of a non-tangent curve to the left whose chord bears South 04 degrees 05 minutes 34 seconds West a chord distance of 27.74 feet;

THENCE in a Southwesterly direction along said non-tangent curve to the left having a central angle of 28.07 degrees 40 minutes 33 seconds, a radius of 58.00 feet, an arc length of 28.07 feet to a 1/2 inch iron rod with cap found for corner, said point being in the Northernly right-of-way line of Carmel Circle (a 60' right-of-way) as recorded in Volume 4871, Page 48 of the Plat Records, Rockwall County, Texas;

THENCE South 49 degrees 11 minutes 44 seconds West, along the Northernly right-of-way line of said Carmel Circle, a distance of 204.47 feet to a 1/2 inch iron rod found for corner;

THENCE South 36 degrees 29 minutes 37 seconds West, continuing along the Northernly right-of-way line of said Carmel Circle a distance of 157.42 feet to a 1/2 inch iron rod with cap found for corner, said point being the Southwesterly corner of said Lot 3, Block A and the Southwesterly corner of Lot 10, Block A of the Replat of Lots 7-14, Block A, La Jolla Pointe Addition, Phase 2 as recorded in Cabinet C, Page 131 of the Plat Records, Rockwall County, Texas;

THENCE North 40 degrees 48 minutes 53 seconds West, along the Easterly line of said Lot 10, Block A and the Westerly line of said Lot 3, Block A, a distance of 200.53 feet South 7/2 degrees 17 minutes 38 seconds East, along said line of said Lot 3, Block A, a distance of 3.90 feet to a 1/2 inch iron rod with cap found for corner, said point being at the beginning of a non-tangent curve to the left whose chord bears North 27 degrees 37 minutes 23 seconds East a chord distance of 53.31 feet;

THENCE in a Northeasterly direction along said non-tangent curve to the left having a central angle of 00 degrees 20 minutes 19 seconds, a radius of 660.00 feet, an arc length of 3.90 feet to a 1/2 inch iron rod with cap found for corner, said point being at the beginning of a reverse curve to the right having a central angle of 38 degrees 17 minutes 36 seconds East a chord distance of 53.31 feet;

HAVING a Northeasterly direction along said reverse curve to the right having a central angle of 21 degrees 57 minutes 11 seconds, a radius of 140.00 feet, an arc length of 53.64 feet to a 1/2 inch iron rod with cap found for corner;

THENCE North 48 degrees 07 minutes 13 seconds East, a distance of 214.00 feet to the POINT OF BEGINNING and containing 53,750 square feet or 1.280 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
 COUNTY OF ROCKWALL

We, the undersigned owner of the land shown on this plat, and designated herein as LOT 21, BLOCK A, LA JOLLA POINTE ADDITION, PHASE 2, the subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration of the plat shown on this plat, and do hereby certify that I have a mortgage or lien interest in the Lot 21, Block A, La Jolla Pointe Addition, Phase 2 subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of any public utility system or any of these easement strips; and any public utility shall at all times have the right of

RECOMMENDED FOR FINAL APPROVAL
 Planning and Zoning Commission

 Date

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall on the _____ day of _____ 2018, was approved by the City Council of the City of Rockwall on the _____ day of _____ 2018.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____ 2018.

Mayer, City of Rockwall

 City Secretary, City of Rockwall

 City Engineer, City of Rockwall

SURVEYORS CERTIFICATE
 KNOW ALL MEN BY THESE PRESENTS:
 That I, John Truong, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision.

JOHN TRUONG
 Registered Professional Land Surveyor Registration No. 6514
 35 DEGREES LATITUDE, LLC

STATE OF TEXAS
 COUNTY OF DALLAS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared John Truong, Land Surveyor, known to me to be the person whose name is subscribed to the foregoing plat, and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____ 2018.

Notary Public in and for the State of Texas

 My Commission Expires On: _____

CLAY SHIPMAN FIRE PROTECTION, LLC
 By: _____
 Owner Name
 Title
 Dated: _____

STATE OF TEXAS
 COUNTY OF _____

Before me, the undersigned authority, On this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Give upon my hand and seal of office this _____ day of _____ 2018.

Notary Public in and for the State of Texas

 My Commission Expires On: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance of guarantee that any building within such plat shall be approved, authorized or permitted, therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

City Engineer

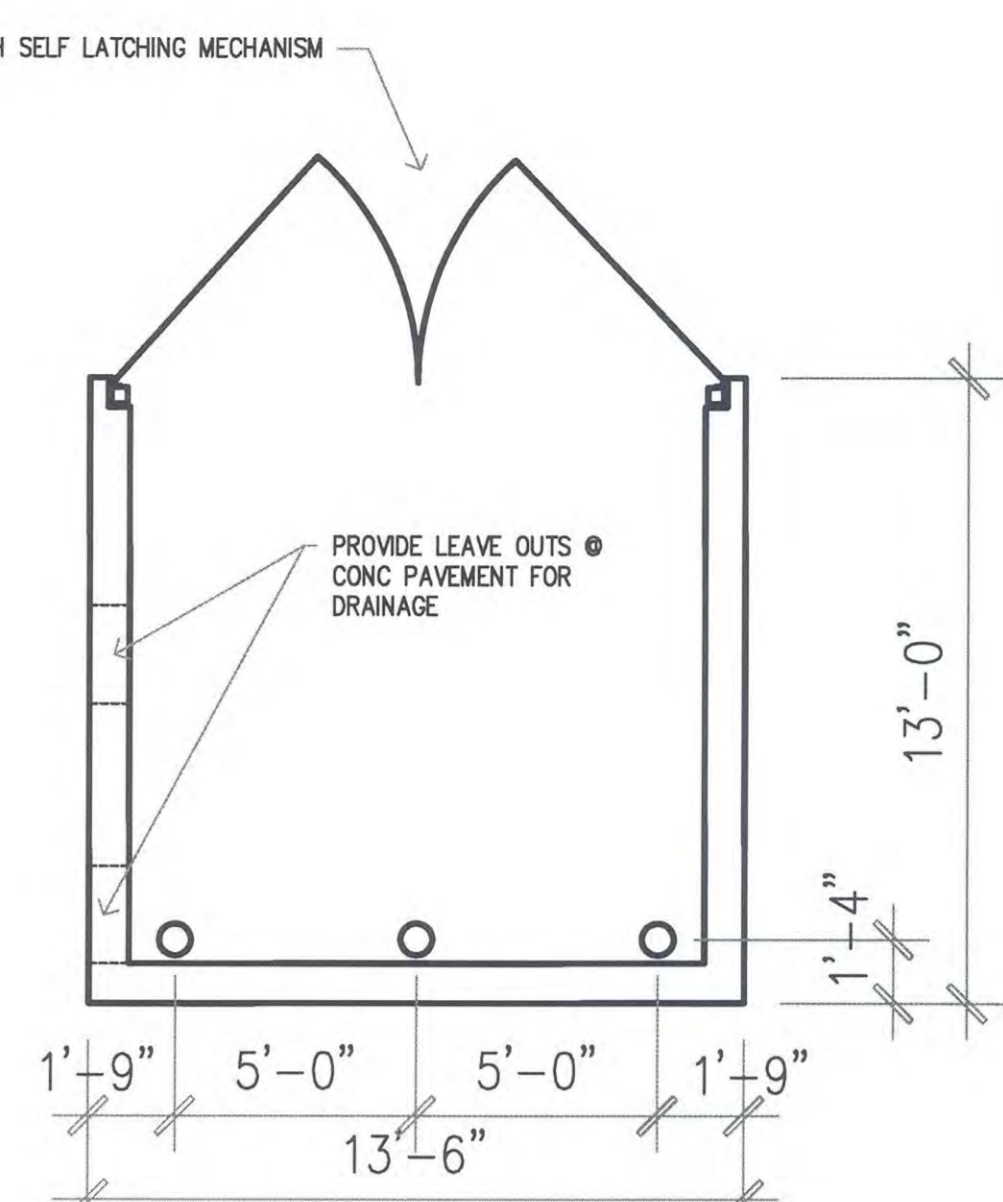
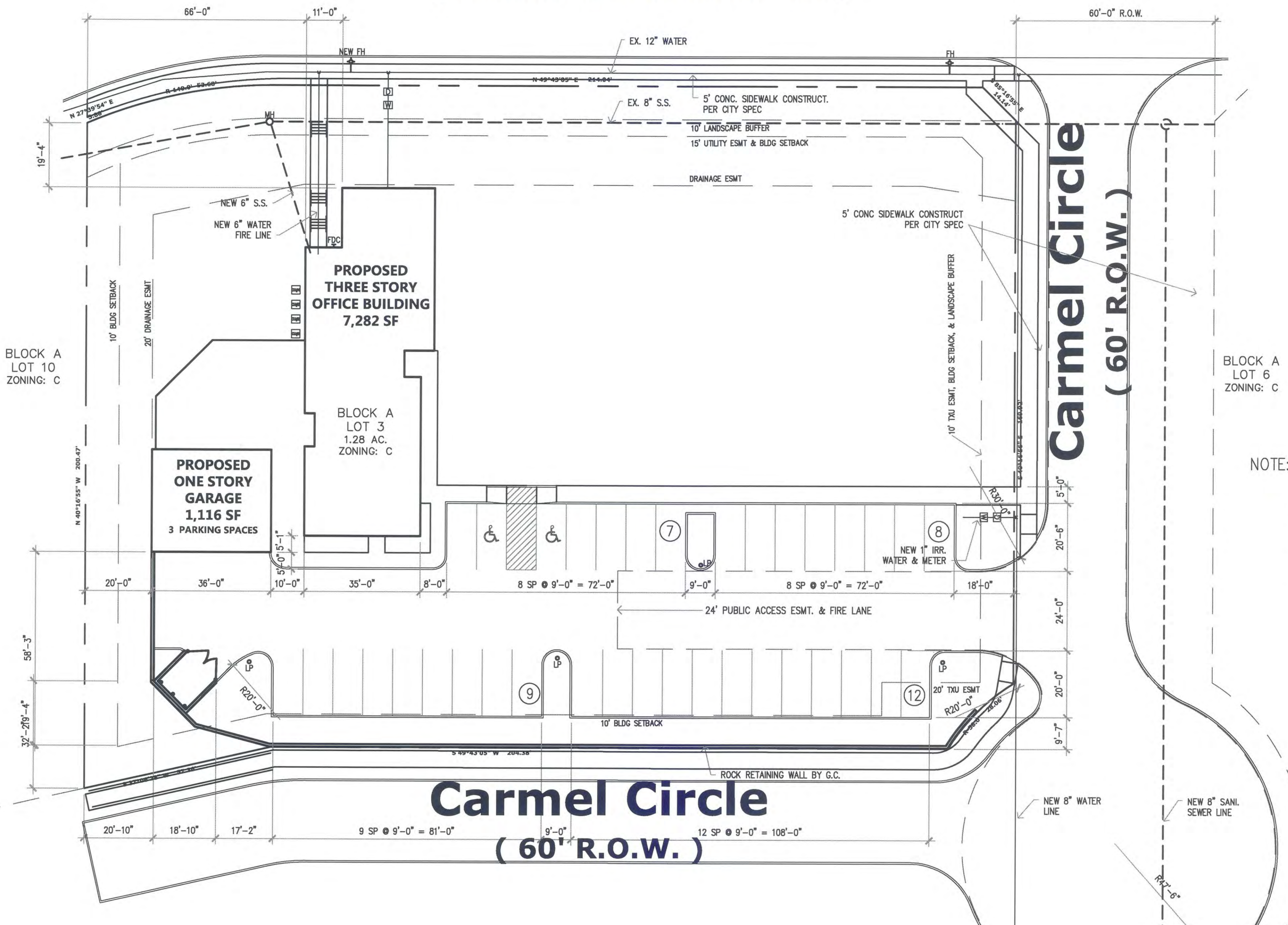
 Date

ENGINEERS:
33° LATITUDE
 17250 DALLAS PARKWAY
 DALLAS, TEXAS 75246
 (972) 677-9833

DEVELOPER:
CLAY SHIPMAN FIRE PROTECTION, LLC
 7700 CODY LANE, SUITE 2705
 SACHSE, TEXAS 75048
 (469) 853-0400

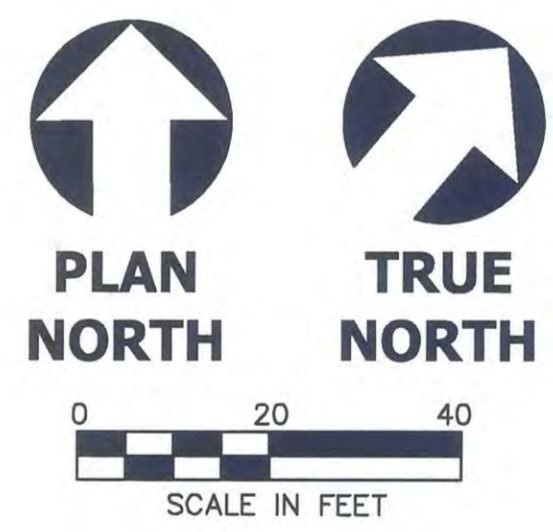
ENGINEERS:
USA PROFESSIONAL SERVICES GROUP, INC.
 CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS - REGISTERED FIRM NO. F-1845
 OFFICE: (214) 634-3300 FAX: (214) 634-3338
 USA 2018006.00

La Jolla Pointe Drive (VARIABLE WIDTH R.O.W.)



1 DUMPSTER PLAN
1/4" = 1'-0"

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX.
ALL RADII ARE 4'-6" U.N.O.
ANY DISCREPANCIES BETWEEN THE PLAN &
THE CIVIL ENGINEER'S PLANS SHALL DEFER
TO THE CIVIL ENGINEERING.



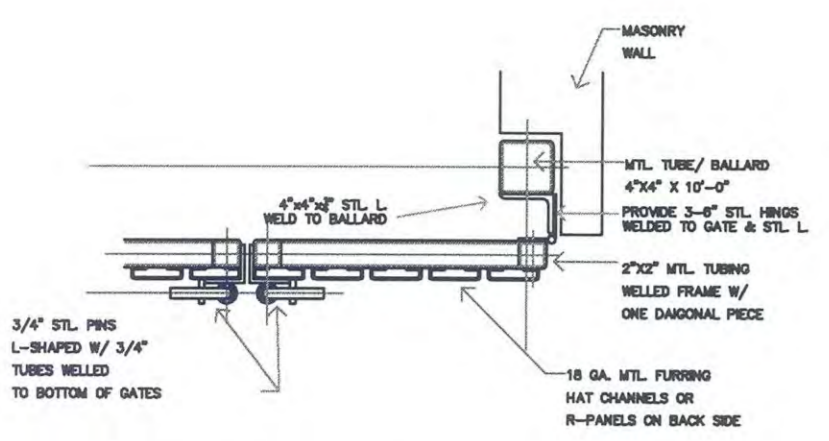
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.



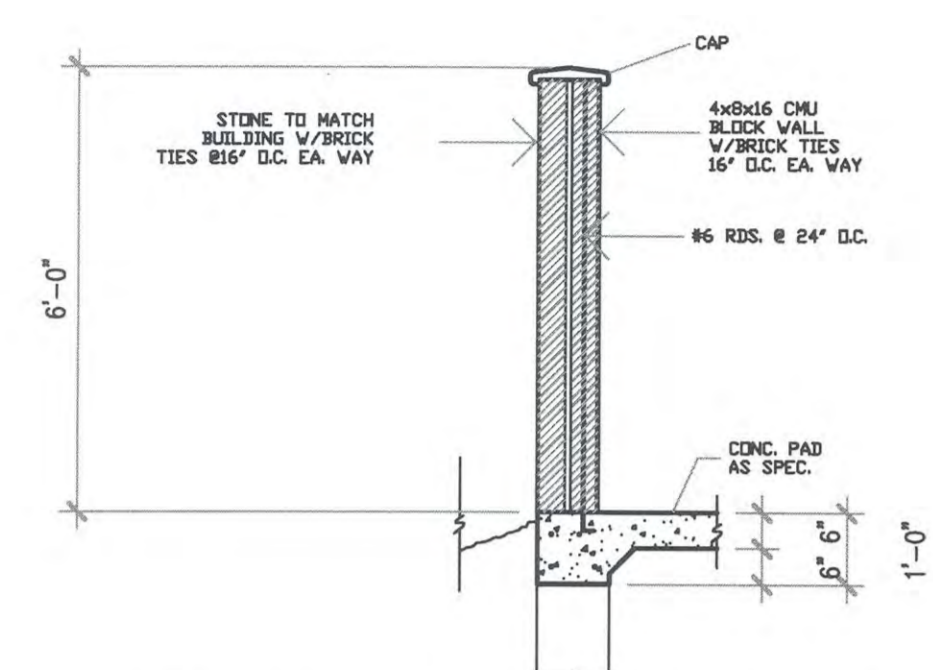
LA JOLLA POINTE ADDITION
PHASE 2
CITY DATE

OWNER
SHIPMAN GROUP, INC.
10000 N. HURST DRIVE
DALLAS, TEXAS 75243
CASE #SP2018-016

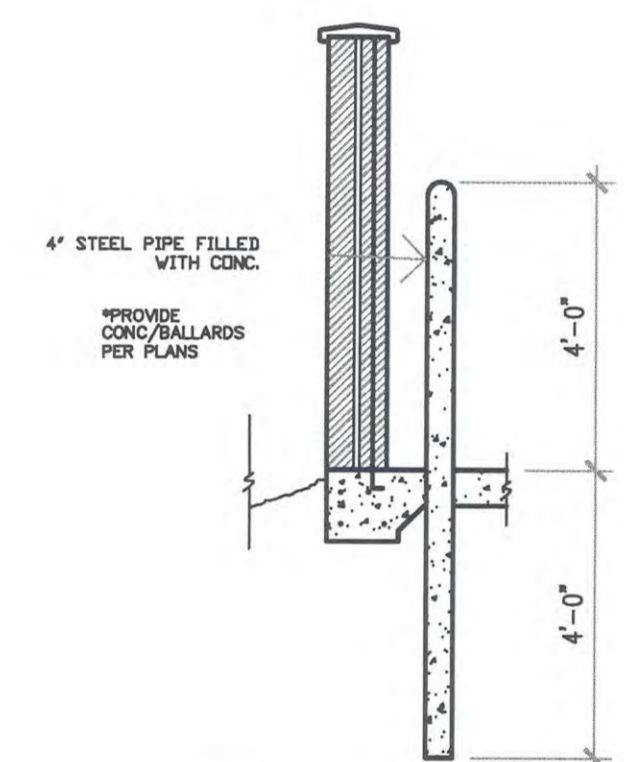
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2 DETAIL @ BALLARD
NO SCALE



3 SECTION @ DUMPSTER WALL



4 DETAIL @ BALLARD
NO SCALE

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

- ZONING: C - COMERCIAL
- PROPOSED USE: OFFICE
- PROPERTY AREA (GROSS): 55,757.0 SF 1.28 AC
- BUILDING AREA: 8,677 SF
- BUILDING HEIGHT: THREE STORY - 39'-0"
- LOT COVERAGE: 8.5% F.A.R. = 0.009:1
- PARKING REQUIRED: 1 SPACE/300 = 24 SPACES REQUIRED
- HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
- TOTAL PARKING PROVIDED: 40 SPACES
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 21,963 SF

RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN ARCHITECTS

2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087

PHONE: 972-772-9302
FAX: 972-749-2081

No.	Date	Revision	By



SHIPMAN OFFICE BUILDING
ROCKWALL, TEXAS

SITE PLAN

Scale: 1" = 20'-0"

Date: 04/16/2018

Project No.: 180402


Designed: GW


Drawn: GW


Checked: WM

SHEET
A1 OF
31


 EXISTING TREE TO REMAIN
REFER TO TREE MITIGATION PLAN


 BURR OAKS (17)
INSTALLED WITH A MIN. 3" CALIPER

 LIVE OAKS (42)
INSTALLED WITH A MIN. 3" CALIPER

 RED BUD (5)
4' HIGH @ INSTALLATION

 MEXICAN PLUM (3)
4' HIGH @ INSTALLATION

 INDIAN HAWTHORNE (8)
PLANTS SHALL BE A MINIMUM OF 3-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

 BOXWOOD BUSH (3)
PLANTS SHALL BE A MINIMUM OF 3-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NOTE: 59 TREES PROVIDED TOWARDS MITIGATION TOTALING 177" CALIPER 227" REMAINING.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

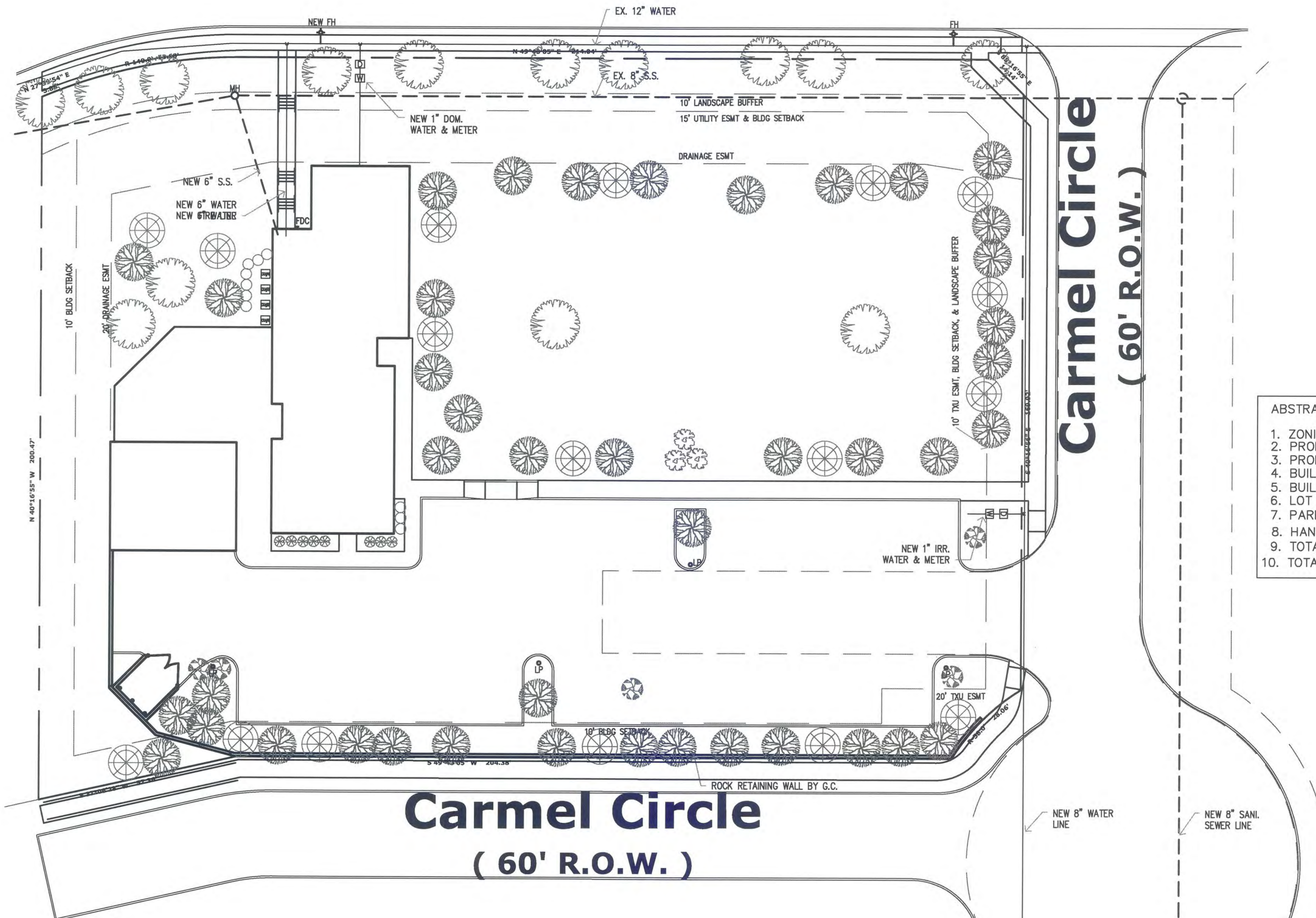
IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

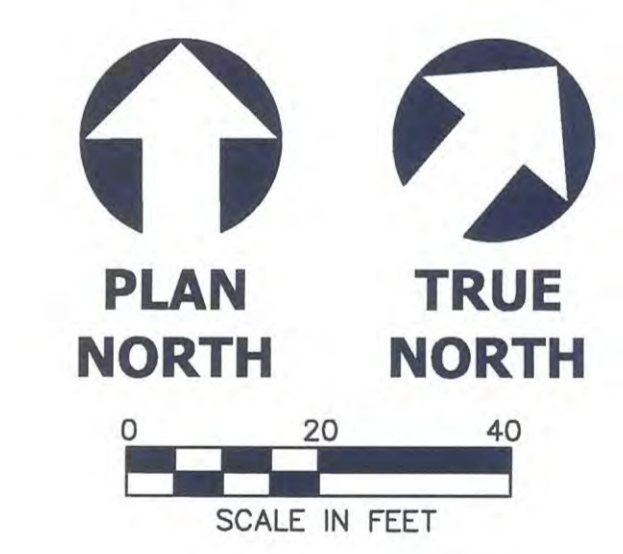
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

La Jolla Pointe Drive (VARIABLE WIDTH R.O.W.)



ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: C - COMMERCIAL
2. PROPOSED USE: OFFICE
3. PROPERTY AREA (GROSS): 55,757.0 SF 1.28 AC
4. BUILDING AREA: 8,677 SF
5. BUILDING HEIGHT: THREE STORY - 39'-0"
6. LOT COVERAGE: 8.5% F.A.R. = 0.009:1
7. PARKING REQUIRED: 1 SPACE/300 = 24 SPACES REQUIRED
8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 2 PROVIDED
9. TOTAL PARKING PROVIDED: 39 SPACES
10. TOTAL SQ. FT. OF IMPERVIOUS SURFACE: 21,963 SF



		REQUIRED	PROVIDED
1.	STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	15	15
2.	SITE TREES - ONE TREE W/ A CALIPER OF AT LEAST 2" FOR EACH 20,000 SF OF PARKING. 1 PER EVERY TEN REQ. PARKING SPACES	3	3
3.	LANDSCAPE BUFFER	15'	15'
4.	SCREENING OF OFF STREET PARKING	YES	YES
5.	TOTAL LANDSCAPE AREA 15% REQUIRED	8,363 SF	55,757 SF

**LA JOLLA POINTE ADDITION
PHASE 2**
BEING A 1.28 AC. TRACT OF LAND SITUATED IN THE WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SHIPMAN GROUP, INC.
12000 22ND STREET, SUITE 100
ROCKWALL, TEXAS 75087
CASE #SP2018-016

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RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN

2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087
PHONE: 972-722-9302
FAX: 972-249-2081

No.	Date	Revision	By



SHIPMAN OFFICE BUILDING
ROCKWALL, TEXAS

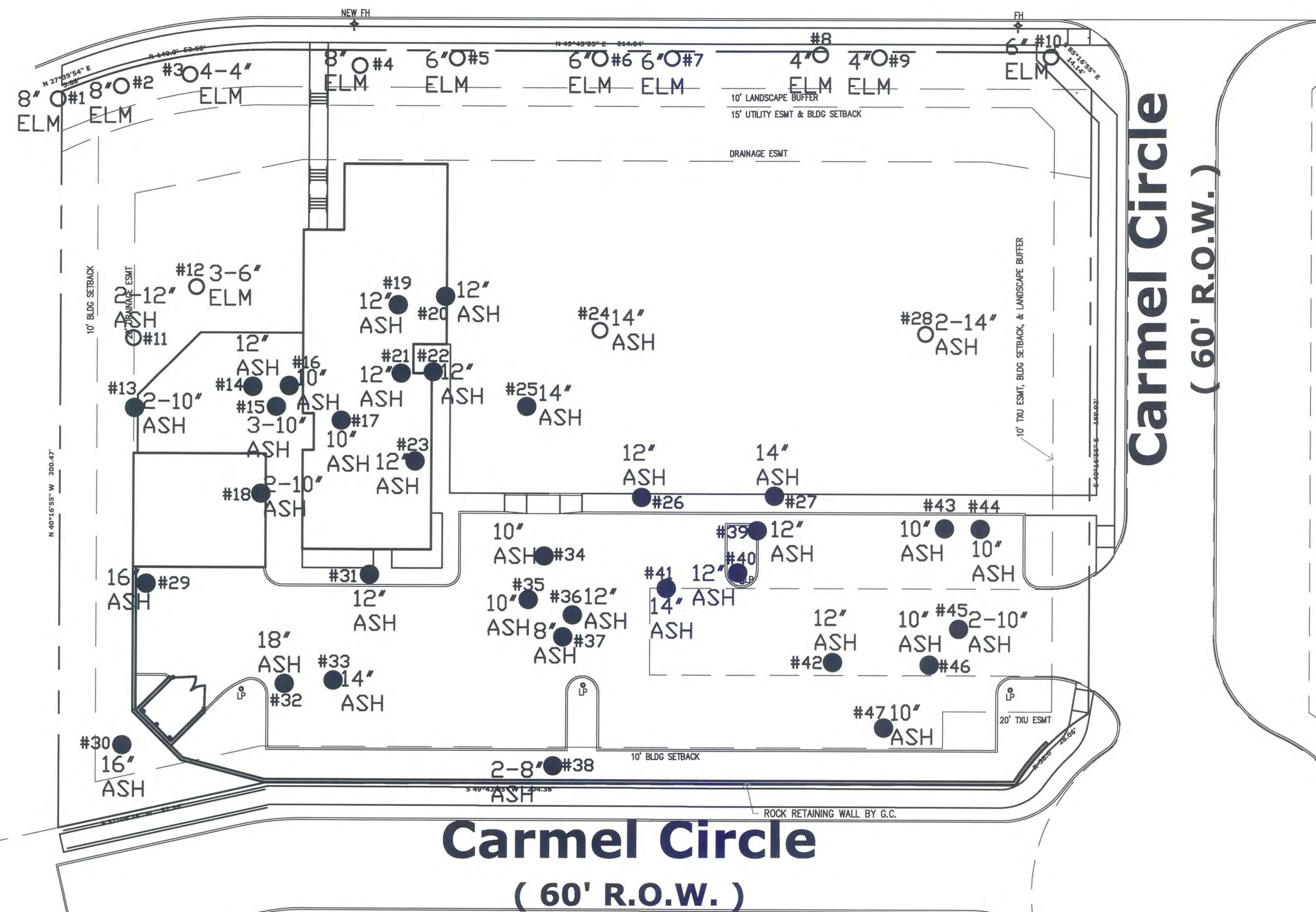
LANDSCAPE PLAN

Scale:	1" = 20'-0"
Date:	04/16/2018
Project No.:	180402
Designed:	GW
Drawn:	GW
Checked:	WM

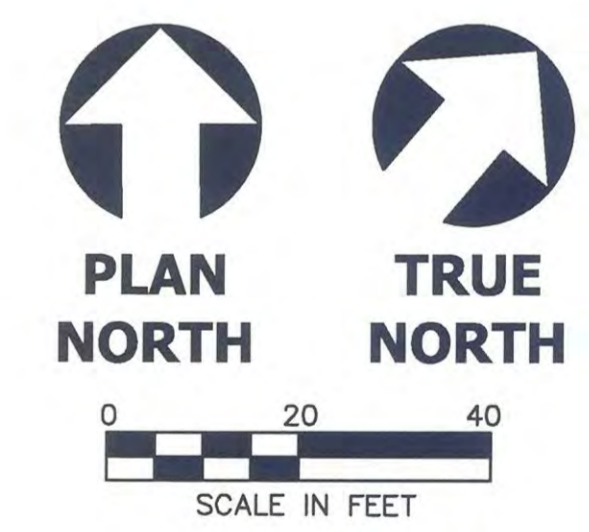
SHEET
L1 OF
2

NO.	TYPE AND SIZE	PROPOSED MITIGATION	TOTAL TO REMAIN	TOTAL TO BE REMOVED
1	1 - 8" ELM	TO REMAIN	8"	
2	1 - 8" ELM	TO REMAIN	8"	
3	4 - 4" ELM	TO REMAIN	16"	
4	1 - 8" ELM	TO REMAIN	8"	
5	1 - 6" ELM	TO REMAIN	6"	
6	1 - 6" ELM	TO REMAIN	6"	
7	1 - 6" ELM	TO REMAIN	6"	
8	1 - 4" ELM	TO REMAIN	4"	
9	1 - 4" ELM	TO REMAIN	4"	
10	1 - 6" ELM	TO REMAIN	6"	
11	2 - 12" ASH	TO REMAIN	24"	
12	3 - 6" ELM	TO REMAIN	18"	
13	2 - 10" ASH	TO BE REMOVED		20"
14	1 - 12" ASH	TO BE REMOVED		12"
15	3 - 10" ASH	TO BE REMOVED		30"
16	1 - 10" ASH	TO BE REMOVED		10"
17	1 - 10" ASH	TO BE REMOVED		10"
18	2 - 10" ASH	TO BE REMOVED		20"
19	1 - 12" ASH	TO BE REMOVED		12"
20	1 - 12" ASH	TO BE REMOVED		12"
21	1 - 12" ASH	TO BE REMOVED		12"
22	1 - 12" ASH	TO BE REMOVED		12"
23	1 - 12" ASH	TO BE REMOVED		12"
24	1 - 14" ASH	TO REMAIN	14"	
25	1 - 14" ASH	TO BE REMOVED		14"
26	1 - 12" ASH	TO BE REMOVED		12"
27	1 - 14" ASH	TO BE REMOVED		14"
28	2 - 14" ASH	TO REMAIN	28"	
29	1 - 16" ASH	TO BE REMOVED		16"
30	1 - 16" ASH	TO BE REMOVED		16"
31	1 - 12" ASH	TO BE REMOVED		12"
32	1 - 18" ASH	TO BE REMOVED		18"
33	1 - 14" ASH	TO BE REMOVED		14"
34	1 - 10" ASH	TO BE REMOVED		10"
35	1 - 10" ASH	TO BE REMOVED		10"
36	1 - 12" ASH	TO BE REMOVED		12"
37	1 - 8" ASH	TO BE REMOVED		8"
38	2 - 8" ASH	TO BE REMOVED		16"
39	1 - 12" ASH	TO BE REMOVED		12"
40	1 - 12" ASH	TO BE REMOVED		12"
41	1 - 14" ASH	TO BE REMOVED		14"
42	1 - 12" ASH	TO BE REMOVED		12"
43	1 - 10" ASH	TO BE REMOVED		10"
44	1 - 10" ASH	TO BE REMOVED		10"
45	2 - 10" ASH	TO BE REMOVED		20"
46	1 - 10" ASH	TO BE REMOVED		10"
47	1 - 10" ASH	TO BE REMOVED		10"
TOTAL CALIPER INCH			156"	422"

La Jolla Pointe Drive (VARIABLE WIDTH R.O.W.)



○	EXISTING TREE TO REMAIN
●	EXISTING TREE TO BE REMOVED
578	TOTAL EXISTING CALIPER INCH
156	TOTAL EXISTING CALIPER INCH TO REMAIN
422	TOTAL EXISTING CALIPER INCH TO BE REMOVED
90	TOTAL EXISTING CALIPER INCH OF ELM TO REMAIN
18	TOTAL CALIPER INCH CREDIT (20%)
404	TOTAL REPLACEMENT CALIPER INCH WITH CREDIT



- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

PLANNING APPROVAL
JAN 22 REC'D
Planner [Signature]

LA JOLLA POINTE ADDITION
PHASE 2
BEING A 1.28 AC. TRACT OF LAND SITUATED IN THE WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SHIPMAN GROUP, INC.
10000 EL MOPAC DRIVE
DALLAS, TEXAS 75268
CASE #SP2018-016

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PHONE: 972-722-8302
FAX: 972-748-2081

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN
2313 RIDGE ROAD #103
ROCKWALL, TEXAS 75087

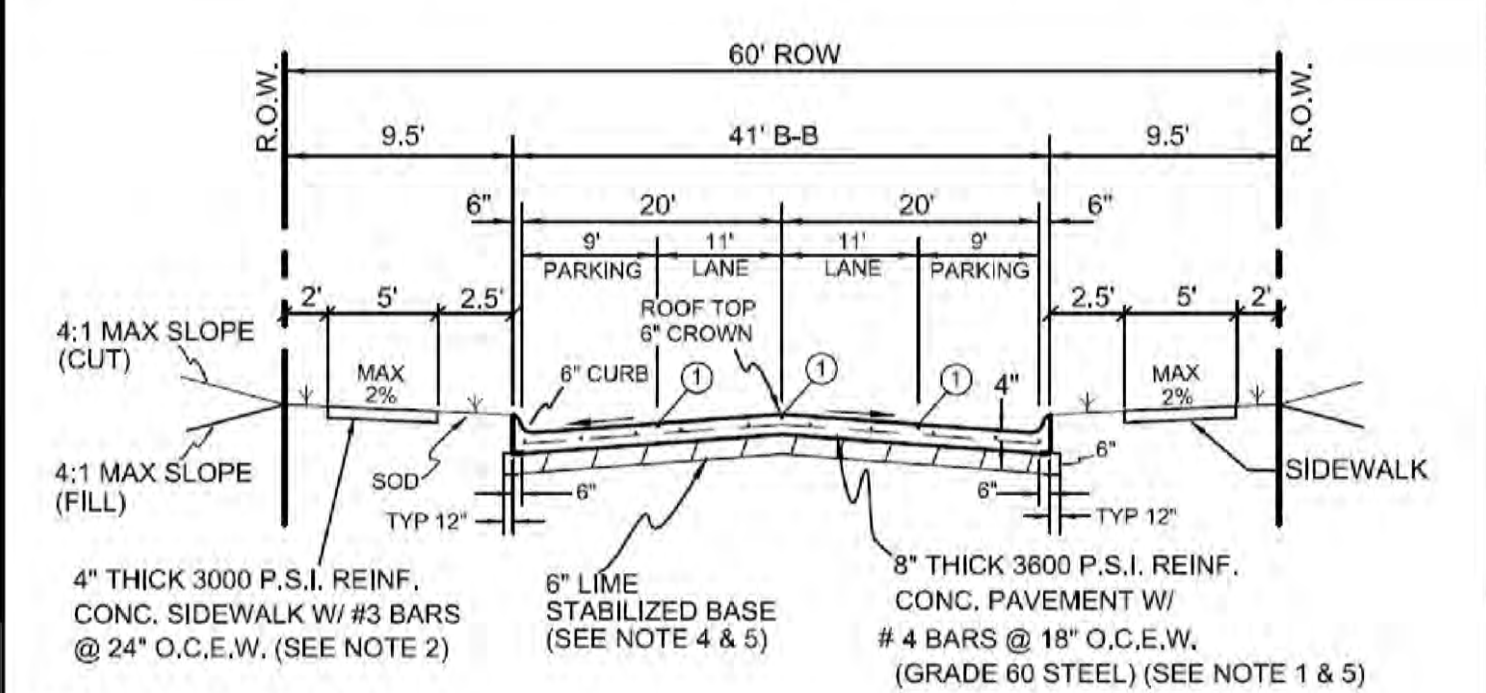
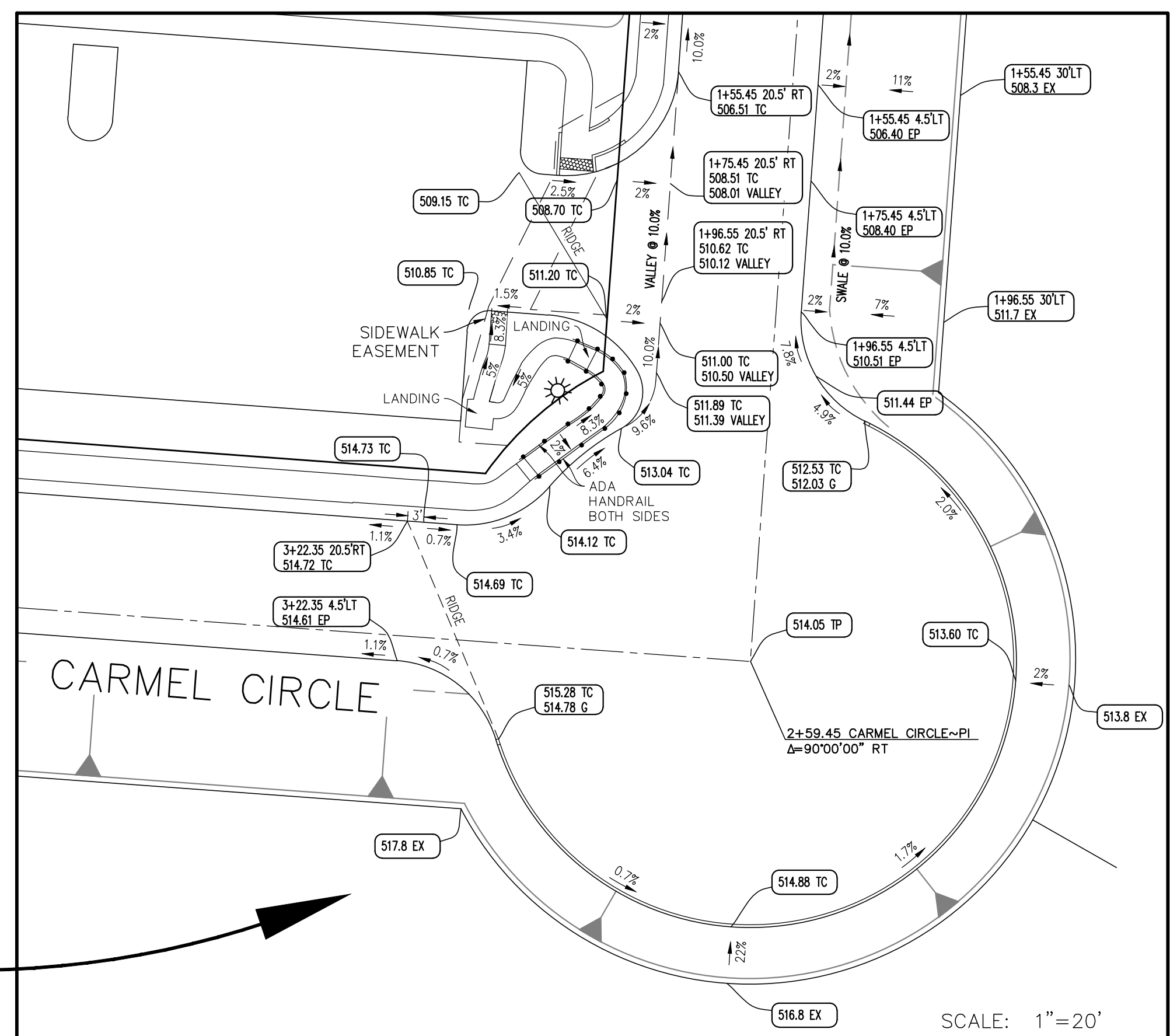
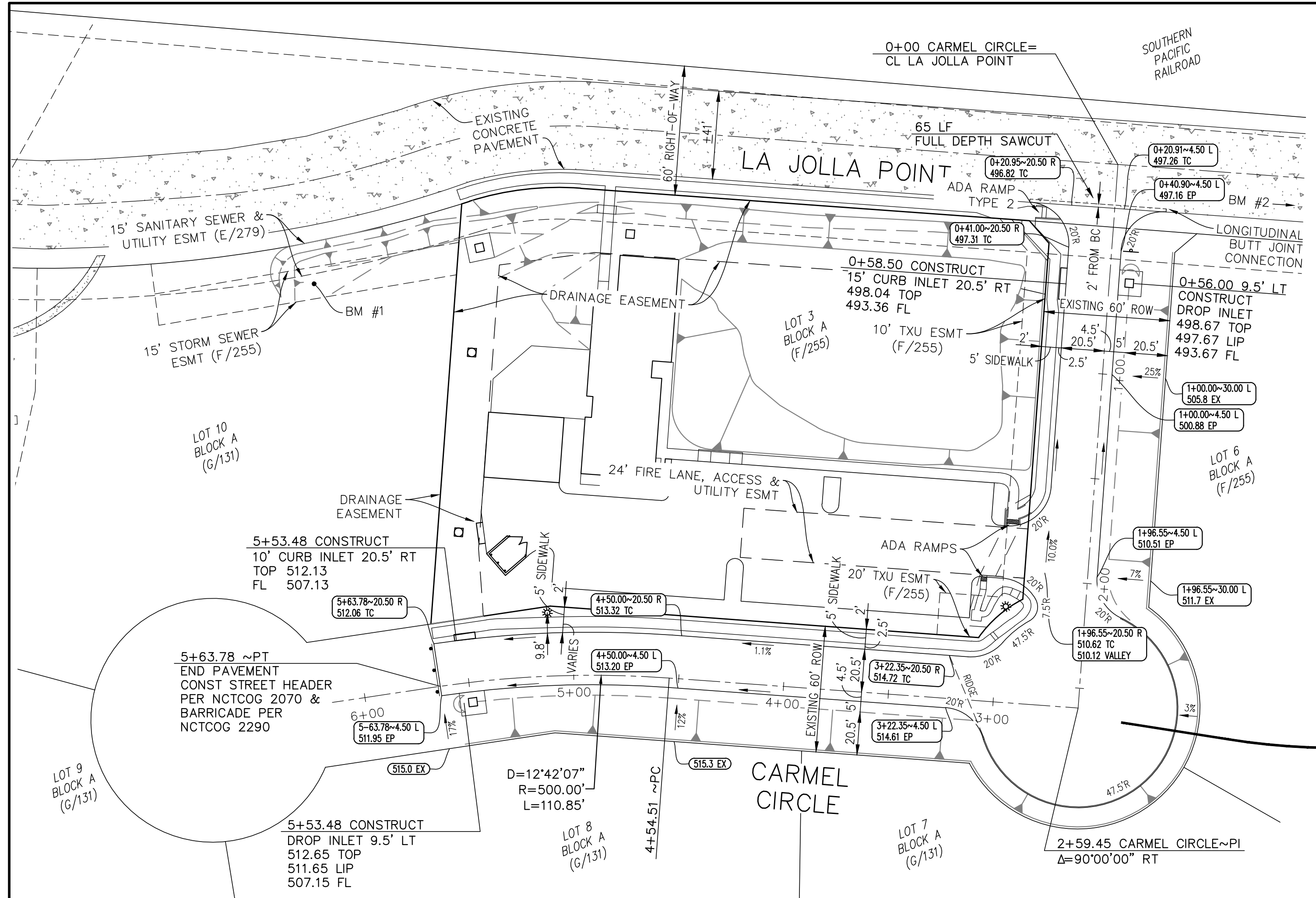
No.	Date	Revision	By



SHIPMAN OFFICE BUILDING
ROCKWALL, TEXAS
TREE MITIGATION PLAN

Scale:	1" = 20'-0"
Date:	04/16/2018
Project No.:	180402
Designed:	GW
Drawn:	GW
Checked:	WM

SHEET
L2 OF
2

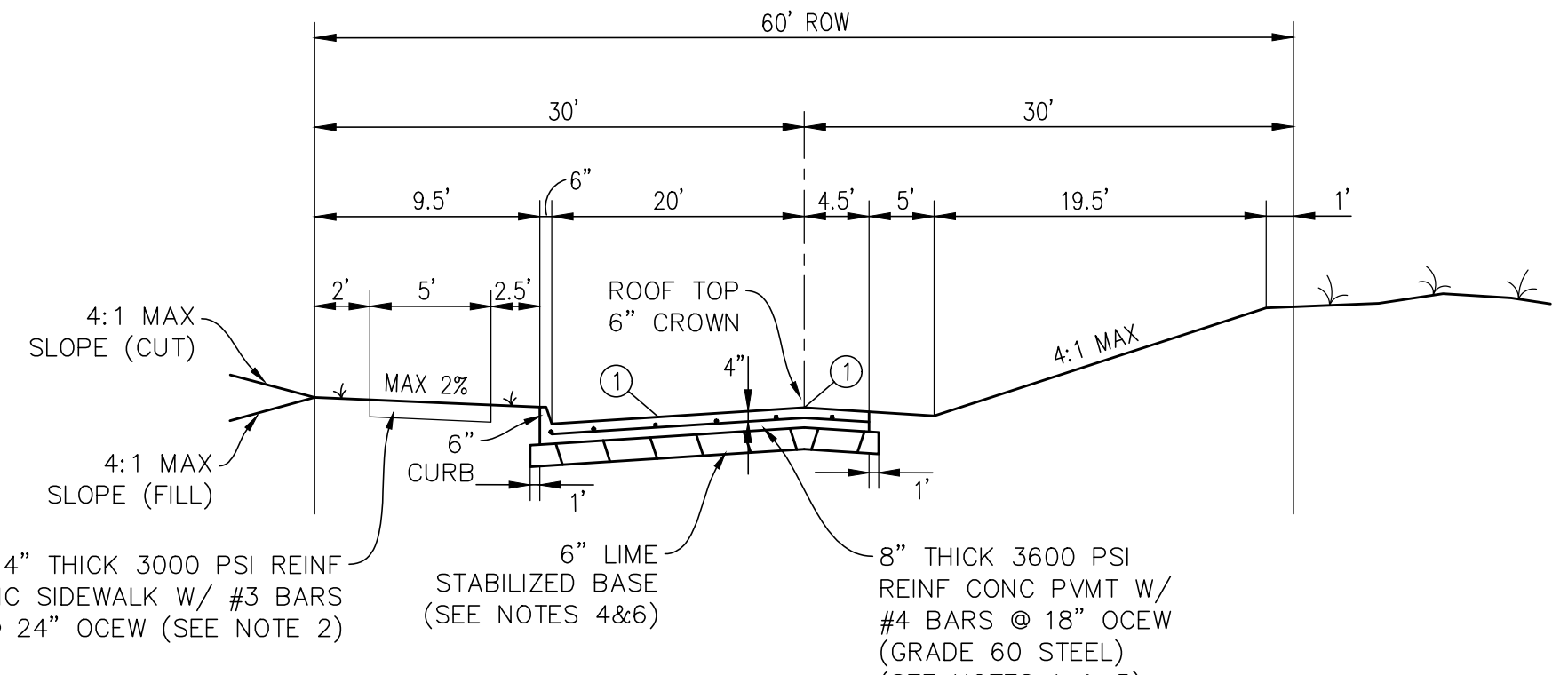
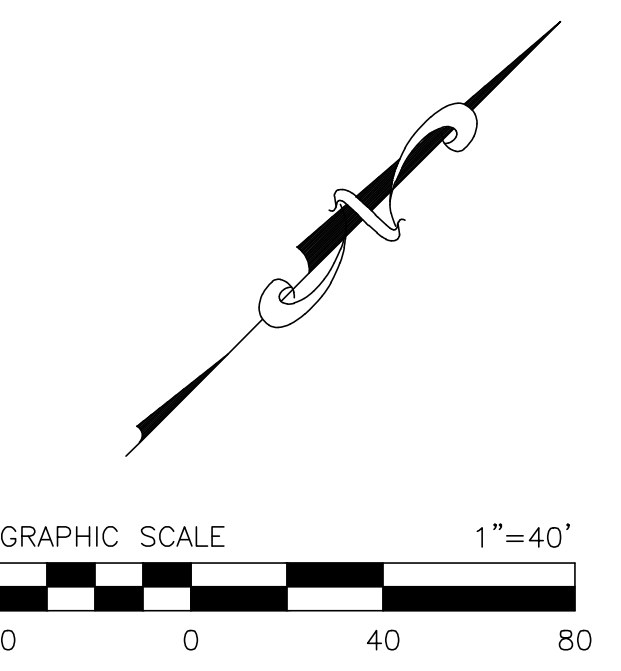
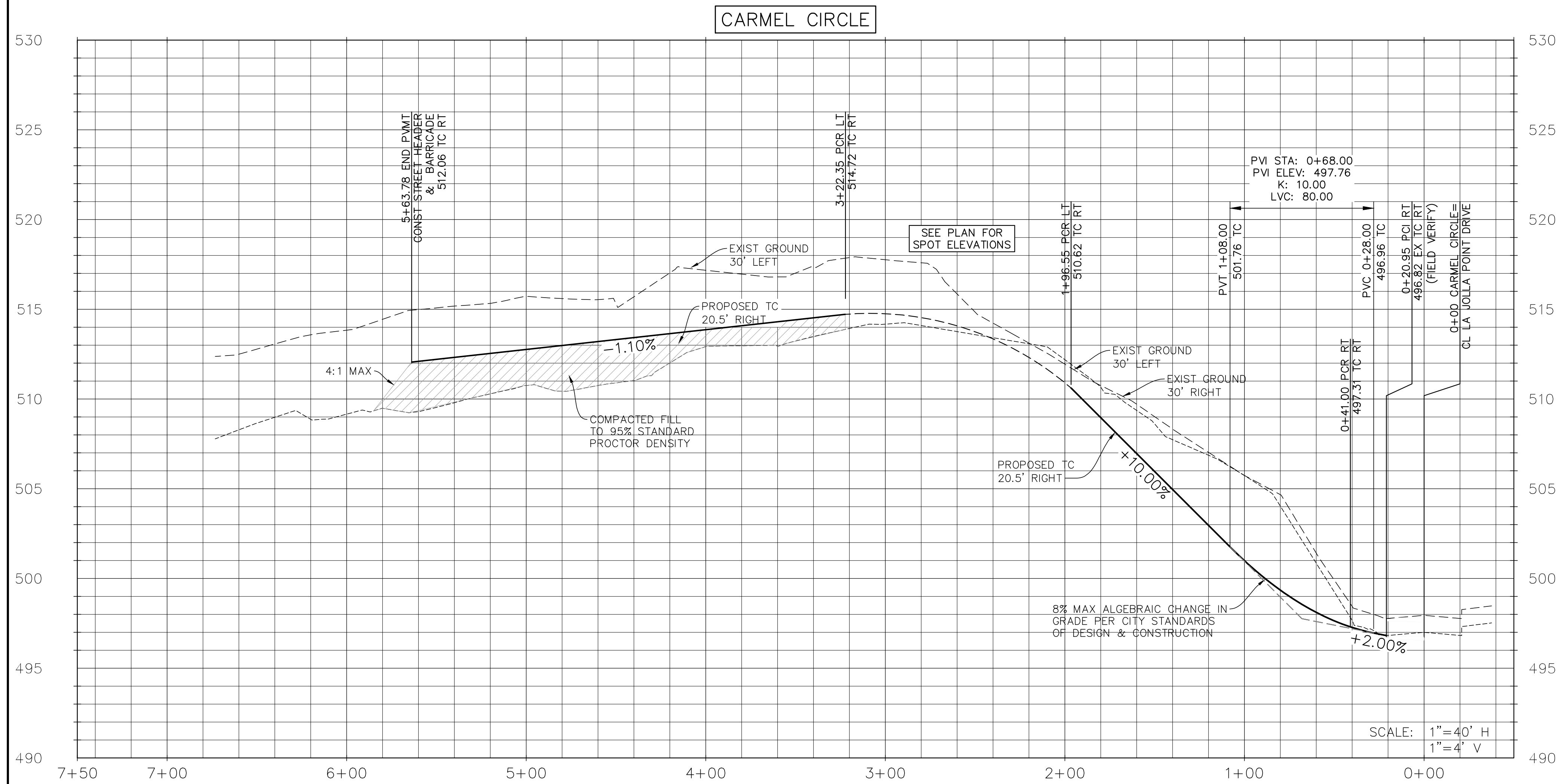


ULTIMATE CONDITION
60' ROW - Minor Collector and or Local Commercial
 (Not to Scale)

- NOTES:**
- Street pavement cement content to be no less than 6 sacks per cubic yard for machine placed and not less than 6.5 sacks per cubic yard for hand placed.
 - Sidewalk Cement content of not less than 5.5 sack per cubic yard.
 - No sand allowed under pavement or sidewalks.
 - Minimum lime content shall be 6% of dry weight of material (at least 27 lbs/SY) compacted to 95% standard density.
 - Paving Section design shall be based off the 30 year traffic volumes and geotechnical analysis/report.

REINFORCED CONCRETE PAVEMENT	CITY OF ROCKWALL
MINOR COLLECTOR/LOCAL COMMERCIAL	
DATE AUG. '15	DRAWING NO. R-2031

SEE SHEET 6A FOR ADA RAMP DETAILS



RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.
 DATE: JUNE 16, 2020

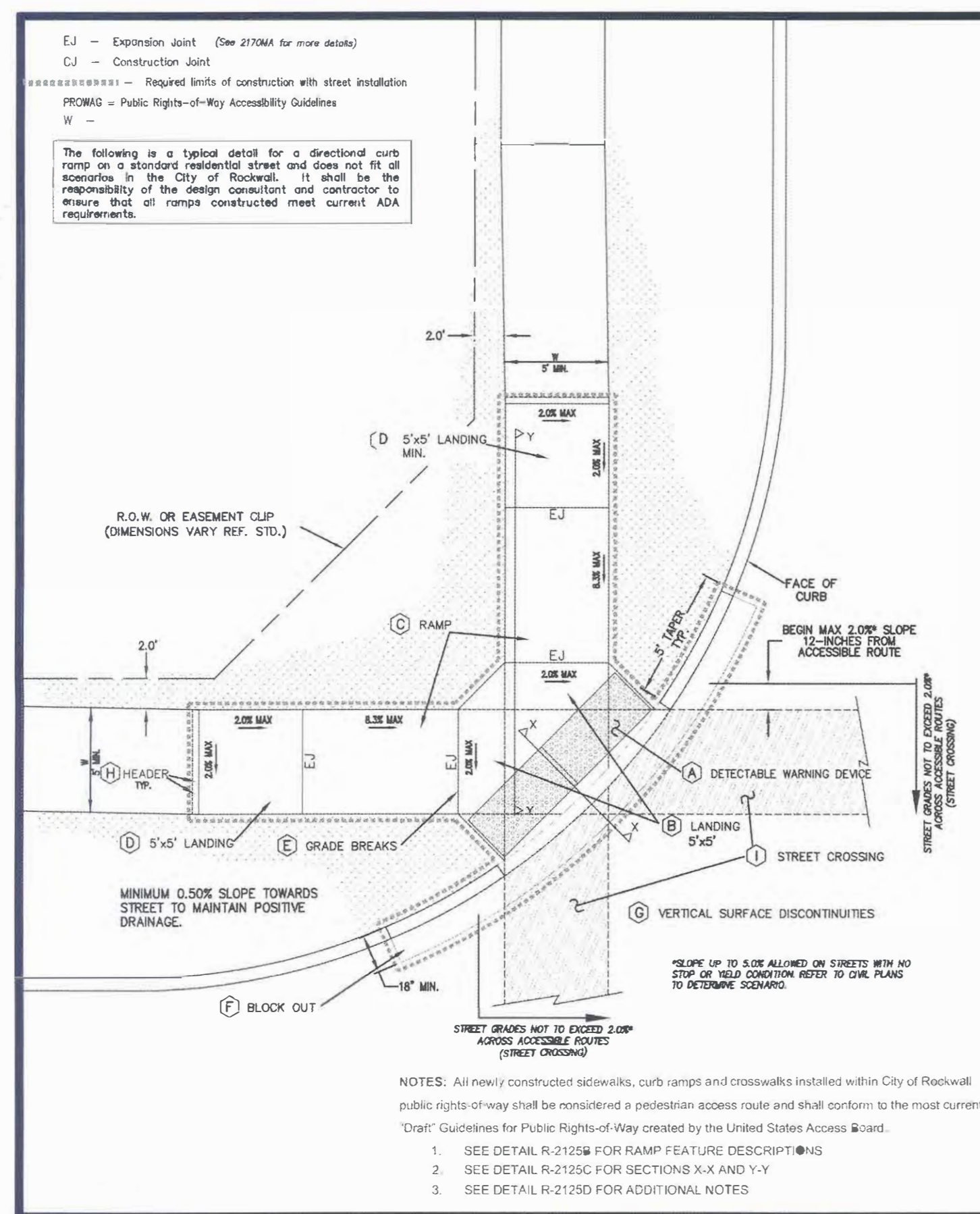
THIS PROJECT
 60' ROW
 MINOR COLLECTOR AND/OR LOCAL COMMERCIAL
 (Not to Scale)



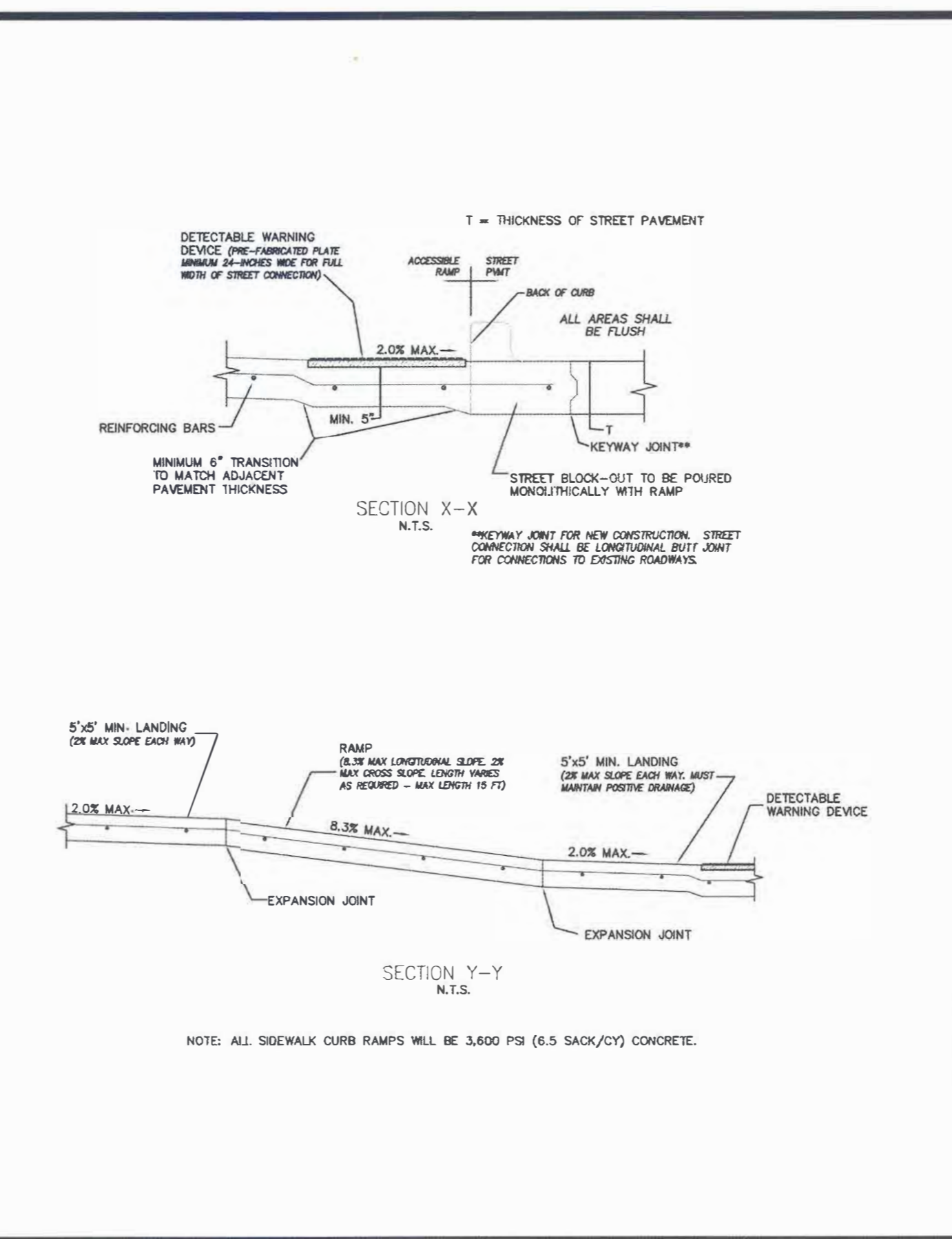
- NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.
 - ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- BENCHMARKS:**
- #1 "□" CUT ON EXISTING "Y" INLET ±74" FROM THE NORTHWEST CORNER OF PROPERTY. ELEV. 493.46
 - #2 "□" CUT ON BACK OF CURB ±12' IN FRONT OF EXISTING SANITARY SEWER MANHOLE ±66" FROM THE NORTHEAST CORNER OR PROPERTY LINE. ELEV. 497.98

PAVING PLAN & PROFILE	
CARMEL CIRCLE	
SHIPMAN OFFICE BUILDING	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
	USA JOB NUMBER 2018006.00



- A** Detectable Warning Devices (DWD) shall be pre-manufactured cast-in-place truncated dome plates installed to the manufacturer's specifications, and shall meet all ADA requirements. No Brick Pavers allowed. Color to be approved by the City. DWD shall be 24 inches in length for the full width of the street connection starting at the back of curb. A maximum 2-inch border shall be allowed on the sides of the DWD for proper installation.
 - B** Also known as "Clear Space" per ADA PROWAG, the City requires a minimum landing space of 5-foot by 5-foot at the bottom of every ramp. This landing space shall have a cross slope in both directions that does not exceed 2.0% and shall be wholly outside the parallel vehicular travel path.
 - C** The ramp component of the directional curb ramp shall have a continuous longitudinal slope more than 5% and less than 8.3%. The ramp shall also have a cross slope of no more than 2.0%. Length of ramp can vary, but shall not exceed 15 feet to achieve desired elevation change.
 - D** Also known as "Turning Space" per ADA PROWAG, a minimum landing space of 5-foot by 5-foot shall be at the top of every ramp. This landing (turning) space shall have a cross slope in both directions that does not exceed 2.0%. Landing must match width of sidewalk and length shall be the same distance ("Squared" Landing).
 - E** All curb ramps shall have grade breaks at the top and bottom that are perpendicular to the direction of the ramp run. Where the ends of the bottom grade break are less than or equal to 5 feet, the DWD shall be placed within the ramp at the bottom grade break. Where either end of the bottom grade break is greater than 5 feet, the DWD shall be placed behind the back of the curb.
 - F** Paving contractor shall leave block out with a keyway joint installed, minimum of 18 inches measured from back of curb. Block out shall be poured monolithically with Curb Ramp. Concrete shall tie to street paving with a keyway joint per NCTCOG detail 2050. No curb shall be constructed where a DWD is provided. The curb on either side shall have a typical 5 foot taper to transition from the standard 6-inch curb height to be flush with ramp.
 - G** All work associated with accessible routes shall be installed flush with all features to minimize vertical surface discontinuities. Each segment along accessible route shall be flush with no more (zero tolerance) than a 1/4-inch grade separation (elevation difference), or 1/2-inch grade separation if beveled (bevel slope shall not be steeper than 50%).
 - H** A sidewalk header shall be constructed at ends of all work performed.
 - I** Street crossings shall adhere to some guidelines as other accessible routes within public right-of-way, and shall be for the full width of the in-line accessible route. Cross slope shall not exceed 2%. New street construction shall incorporate all ADA design requirements. It shall be the responsibility of the Design Professional and Contractor to ensure all street crossings meet the requirements of PROWAG. Street alterations on existing streets to bring to compliance shall be at the City Engineer's discretion.
 - J** All curbs constructed as part of an ADA Ramp shall match City curb standards.
- * See PROWAG special design considerations when street crossing has no stop or yield condition.



- PEDESTRIAN ACCESSIBILITY (WITHIN PUBLIC R.O.W.)**
 All newly constructed sidewalks, curb ramps and crosswalks installed within City of Rockwall public rights-of-way shall be considered a pedestrian access route and shall conform to the most current Guidelines for Public Rights-of-Way created by the United States Access Board.
- CURB RAMP**
- All slopes shown are **MAXIMUM ALLOWABLE**. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
 - Landings shall be 5' x 5' minimum with a maximum 2% slope in the transverse and longitudinal directions.
 - Clear space at the bottom of curb ramps shall be a minimum of 5' x 5' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
 - Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
 - Additional information on curb ramp location, design, light reflective value and texture may be found in the most current edition of the Texas Accessibility Standards (TAS) and 16 TAC 68.102. Federal guidelines shall supersede any conflicts.
 - Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps and accessible routes shall align with theoretical crosswalks unless otherwise directed.
 - Handrails are not required on curb ramps.
 - Provide a flush transition where the curb ramps connect to the street.
 - Accessible routes are considered "ramps" when longitudinal slopes are between 5% and 8.3% (maximum allowable). Sidewalks under 5% longitudinal slope are deemed accessible routes and must follow all applicable guidelines.
- DETECTABLE WARNING DEVICE**
- Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with adjoining surfaces. Furnish and install an approved cast-in-place dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
 - Detectable Warning Materials shall be truncated dome plates in the color approved by the City. Install products in accordance with manufacturer's specifications.
 - Detectable warning surfaces must be slip resistant and not allow water to accumulate.
 - Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
 - Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. When placed on the ramp, align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Where detectable warning surfaces are provided on a surface with a slope that is less than 5 percent, dome orientation is less critical. Detectable warning surfaces may be curved along the corner radius.
- SIDEWALKS**
- Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308.
 - Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
 - Street grades and cross slopes shall be as shown elsewhere in the plans.
 - Changes in level greater than 1/4 inch are not permitted (1/2 inch with bevel).
 - The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505.
 - Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.

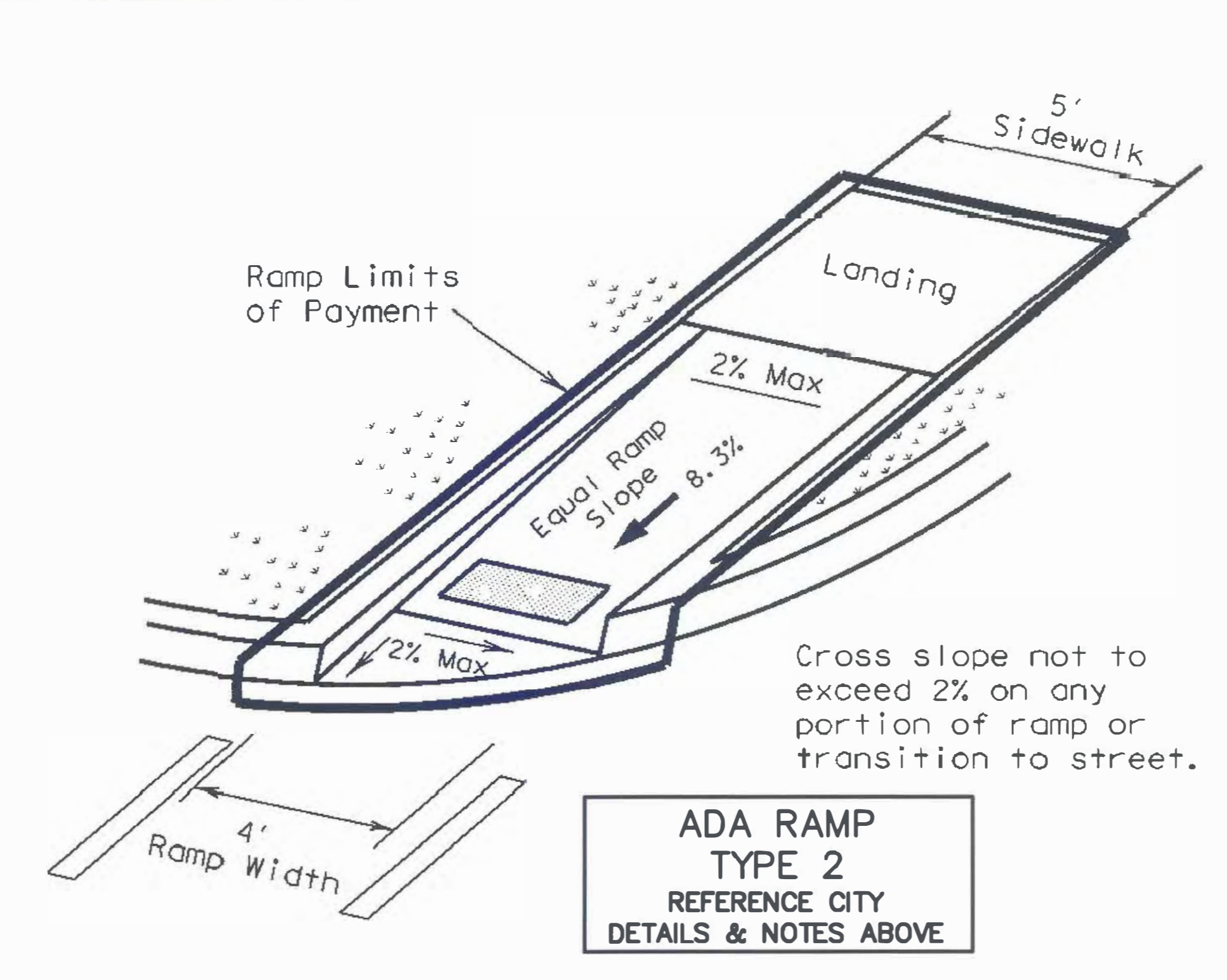
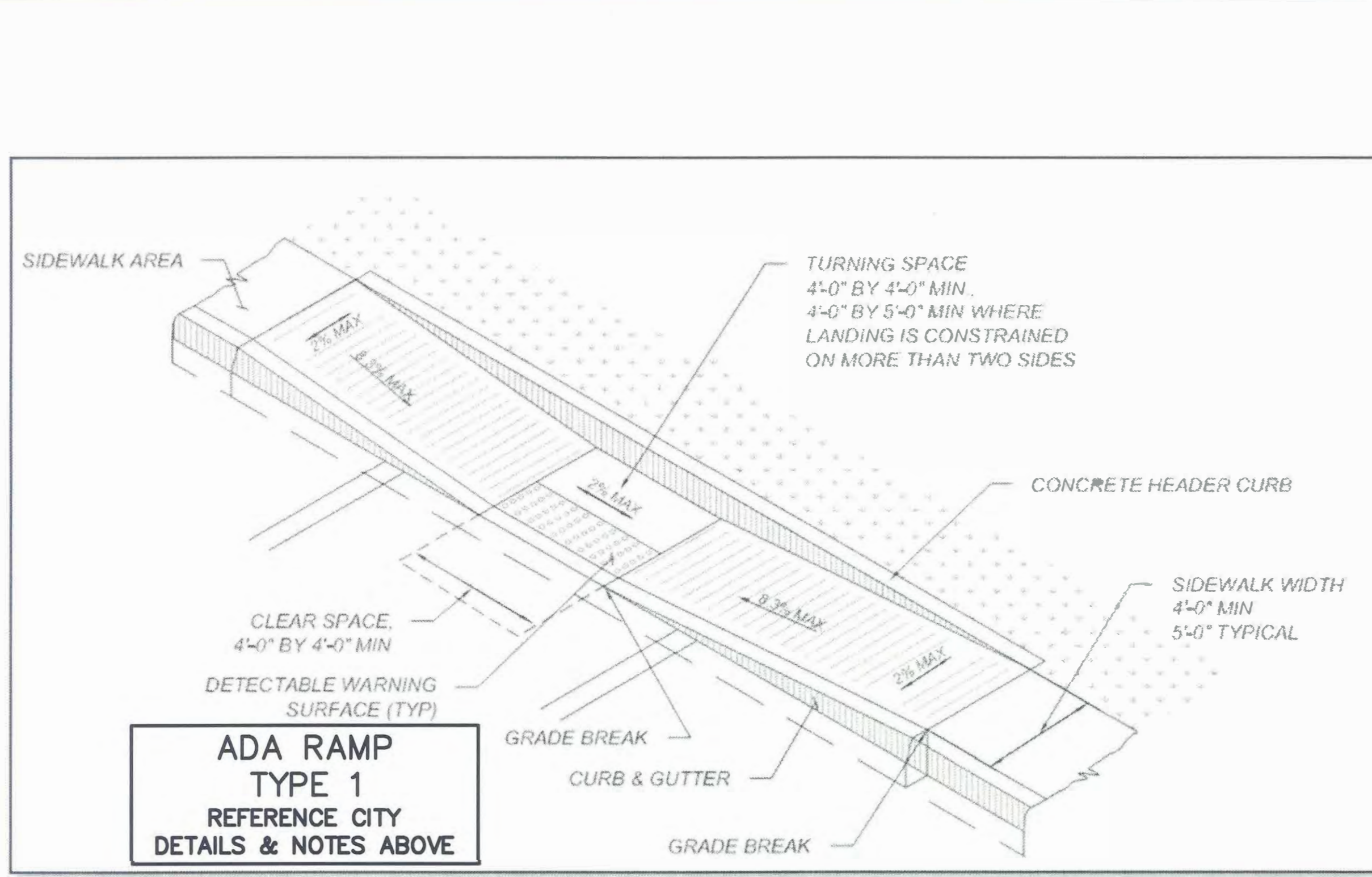
DIRECTIONAL CURB RAMP	CITY OF ROCKWALL
DATE: MAR. '17	DRAWING NO.: R-2125A

DIRECTIONAL CURB RAMP	CITY OF ROCKWALL
DATE: MAR. '17	DRAWING NO.: R-2125B

DIRECTIONAL CURB RAMP	CITY OF ROCKWALL
DATE: MAR. '17	DRAWING NO.: R-2125C

DIRECTIONAL CURB RAMP	CITY OF ROCKWALL
DATE: MAR. '17	DRAWING NO.: R-2125D

P:\Schematics\20180606.00_Shipman_Office_Building\Draws\20180606.00_ADA_Ramp_Details.dwg, Layout1, 11/29/2018 6:28:16 AM, Wanda Williams



RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.
 DATE: JUNE 16, 2020



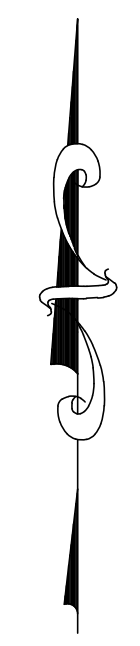
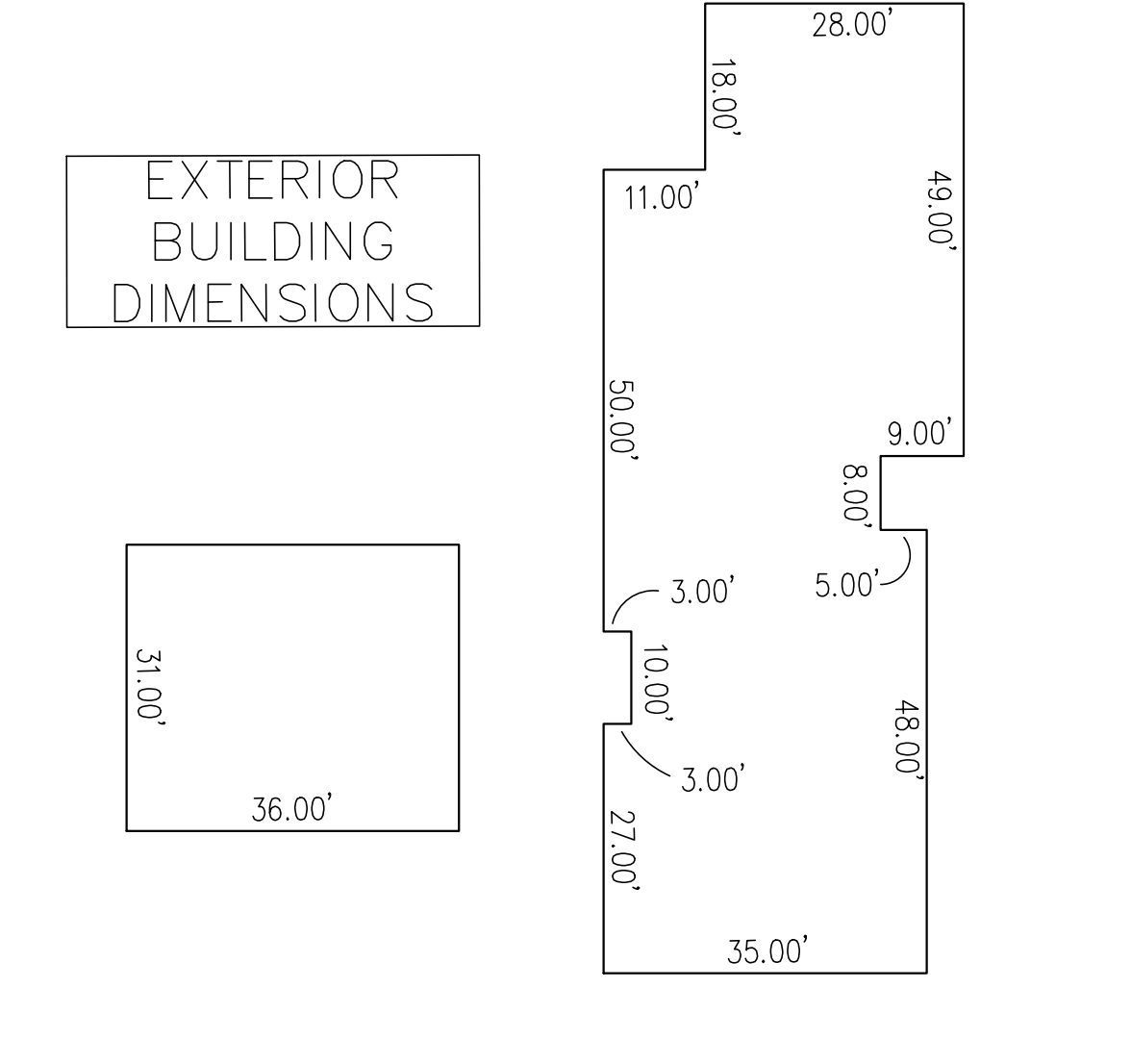
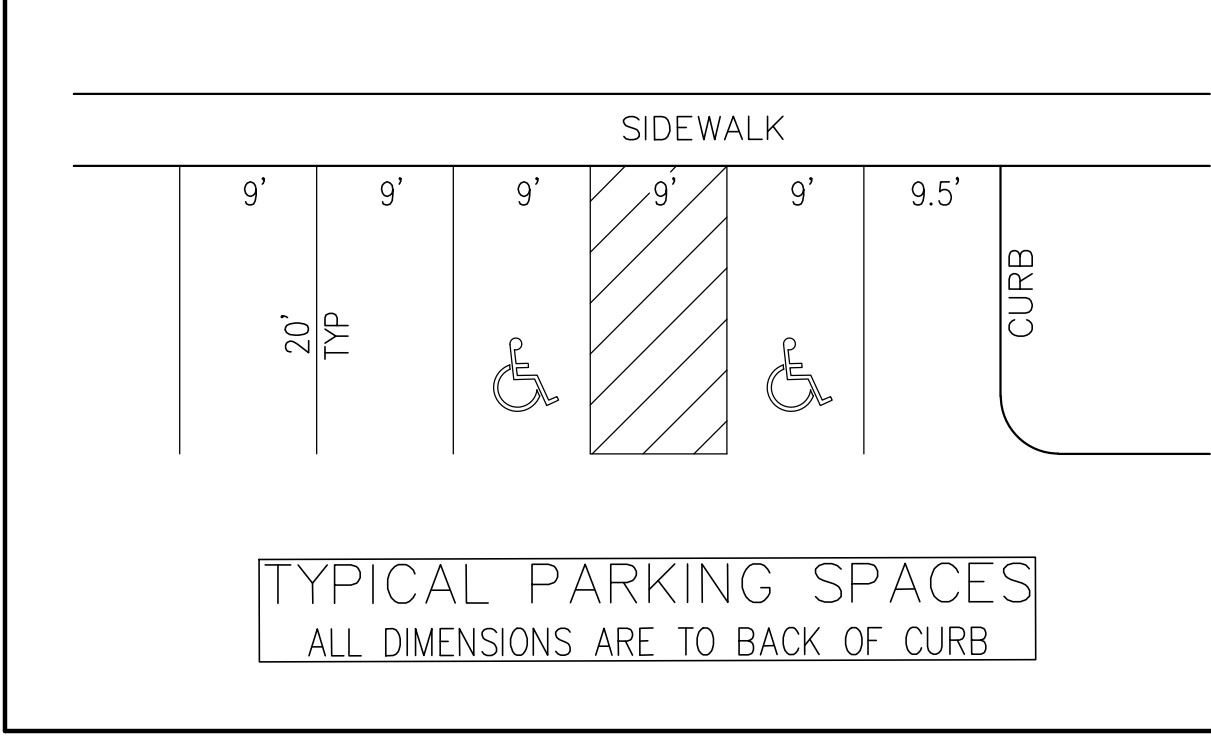
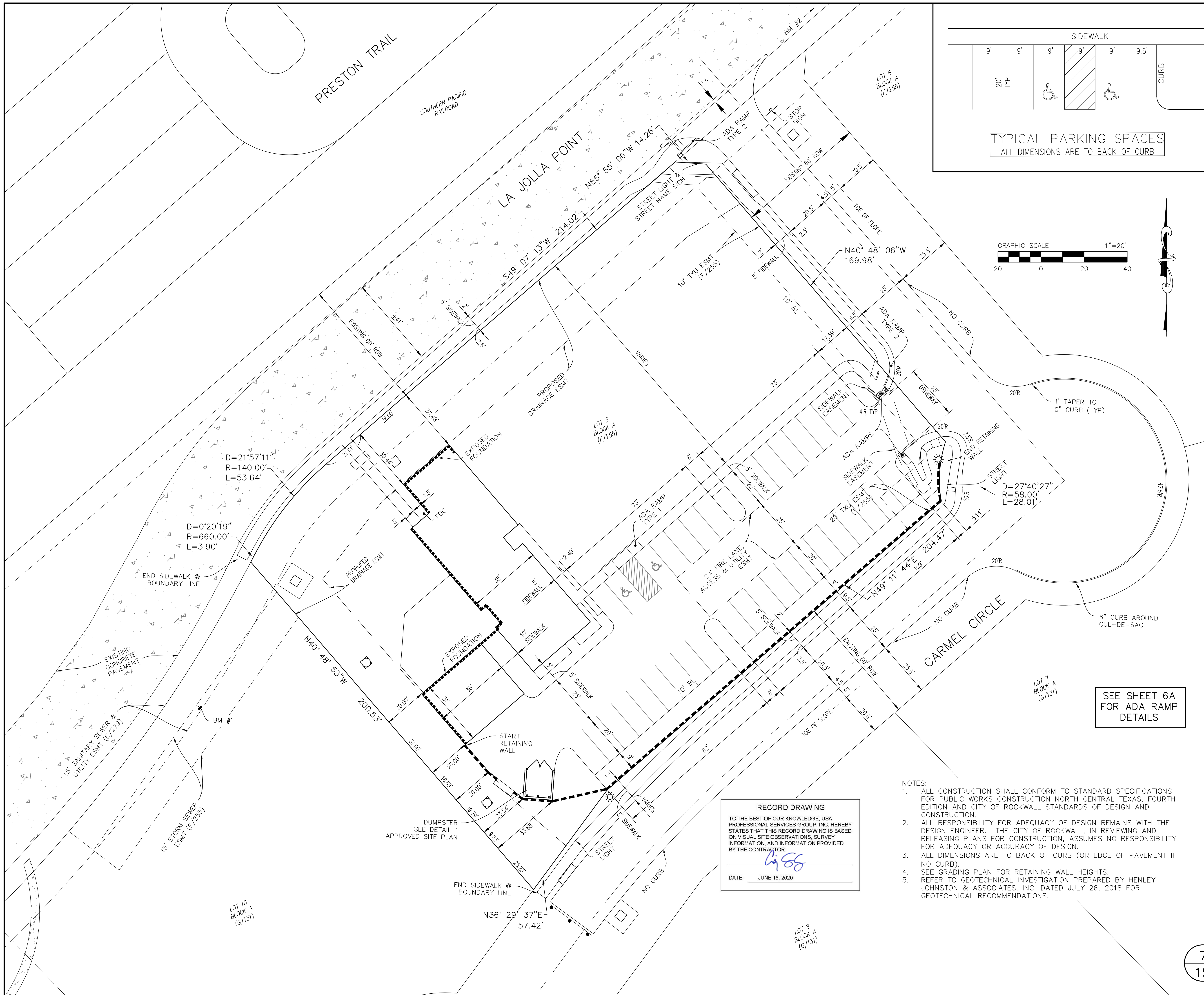
November 29, 2018

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

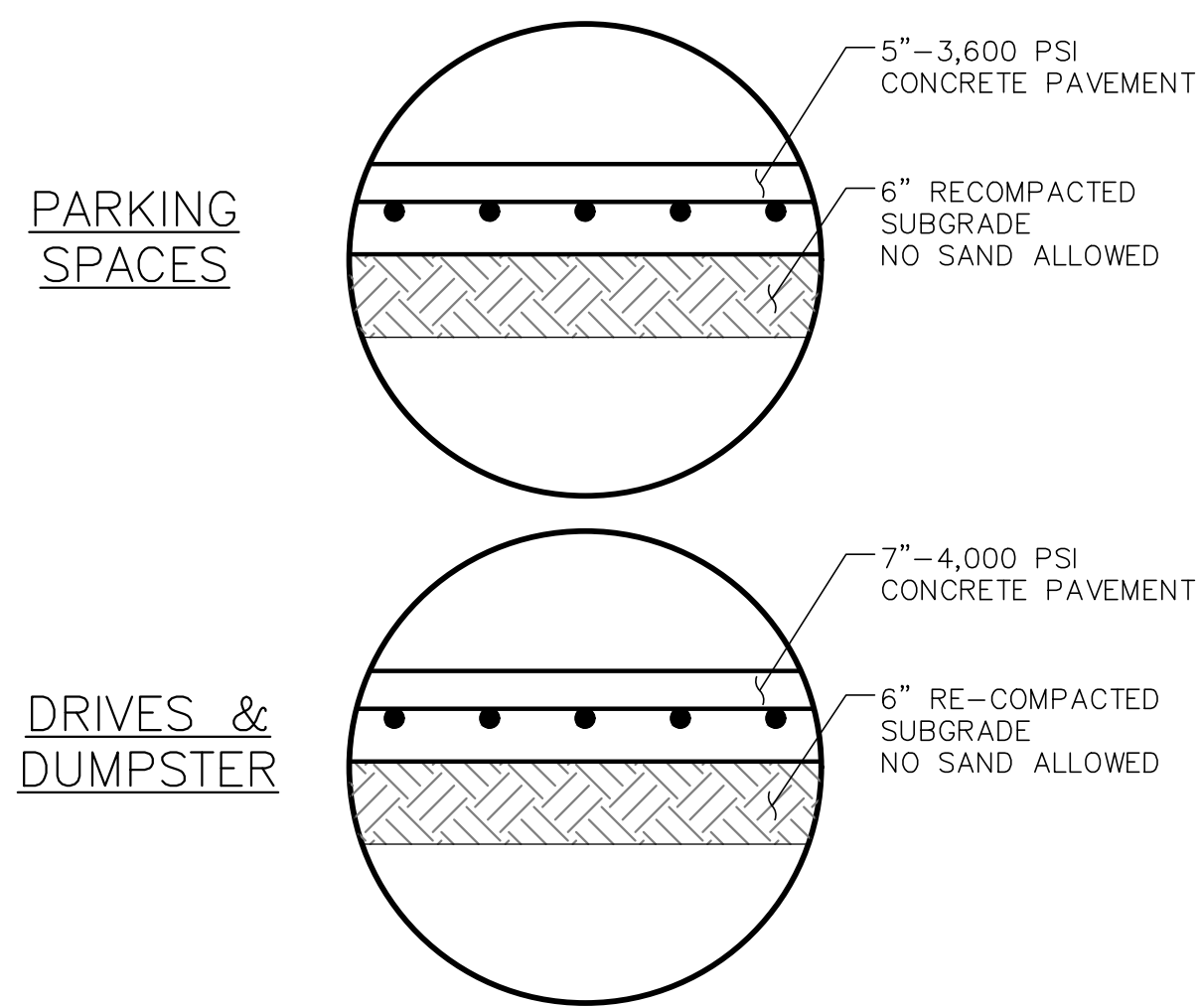
CITY _____ DATE _____

ADA RAMP DETAILS	
SHIPMAN OFFICE BUILDING	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
USA PROFESSIONAL SERVICES GROUP, INC. 1525 W. CEROY DRIVE, DALLAS, TX 75235 214-634-3300 PHONE 214-634-3338 FAX REGISTERED ENGINEERING FIRM T-1848 REGISTERED SURVEYING FIRM 101074-00	USA JOB NUMBER 2018006.00





TYPICAL SECTIONS ON-SITE PAVING



Subgrade soils below concrete pavements should be compacted to a dry density at least 95% of the maximum density as determined by ASTM D-698. Moisture contents must be between 0 and +4 percentage points of the optimum content as determined by ASTM D-698.

Concrete pavement should be reinforced with No. 3 deformed bars on 18-inch centers. No. 4, 18-inch long smooth dowels should be used at expansion and construction joints on 12-inch centers. One-inch wide expansion joints should be placed on approximate 100-foot centers.

Control joints should be installed in the pavement within four hours after concrete has been placed, not after completion of the pour. Joint spacing and depth should conform to the recommendations presented in the latest version of Joint Design for Concrete Highways and Street Pavements, produced by PCA. Spacing between control joints should not exceed 15-feet. All joints should be sealed and periodically maintained. This will limit the potential for water to infiltrate into the subgrade.

If possible, wood boards should not be used to construct expansion joints. Expansion joints should consist of doweled keyways, thickened sections, or steel dowels supported on a non-deteriorating medium such as bituminous mastic or bituminous impregnated cellulose. All expansion joints should be filled completely with sealant to the pavement surface.

SEE SHEET 6A FOR ADA RAMP DETAILS

RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.
 DATE: JUNE 16, 2020

- NOTES:
1. ALL CONSTRUCTION SHALL CONFORM TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.
 2. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 3. ALL DIMENSIONS ARE TO BACK OF CURB (OR EDGE OF PAVEMENT IF NO CURB).
 4. SEE GRADING PLAN FOR RETAINING WALL HEIGHTS.
 5. REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY HENLEY JOHNSTON & ASSOCIATES, INC. DATED JULY 26, 2018 FOR GEOTECHNICAL RECOMMENDATIONS.



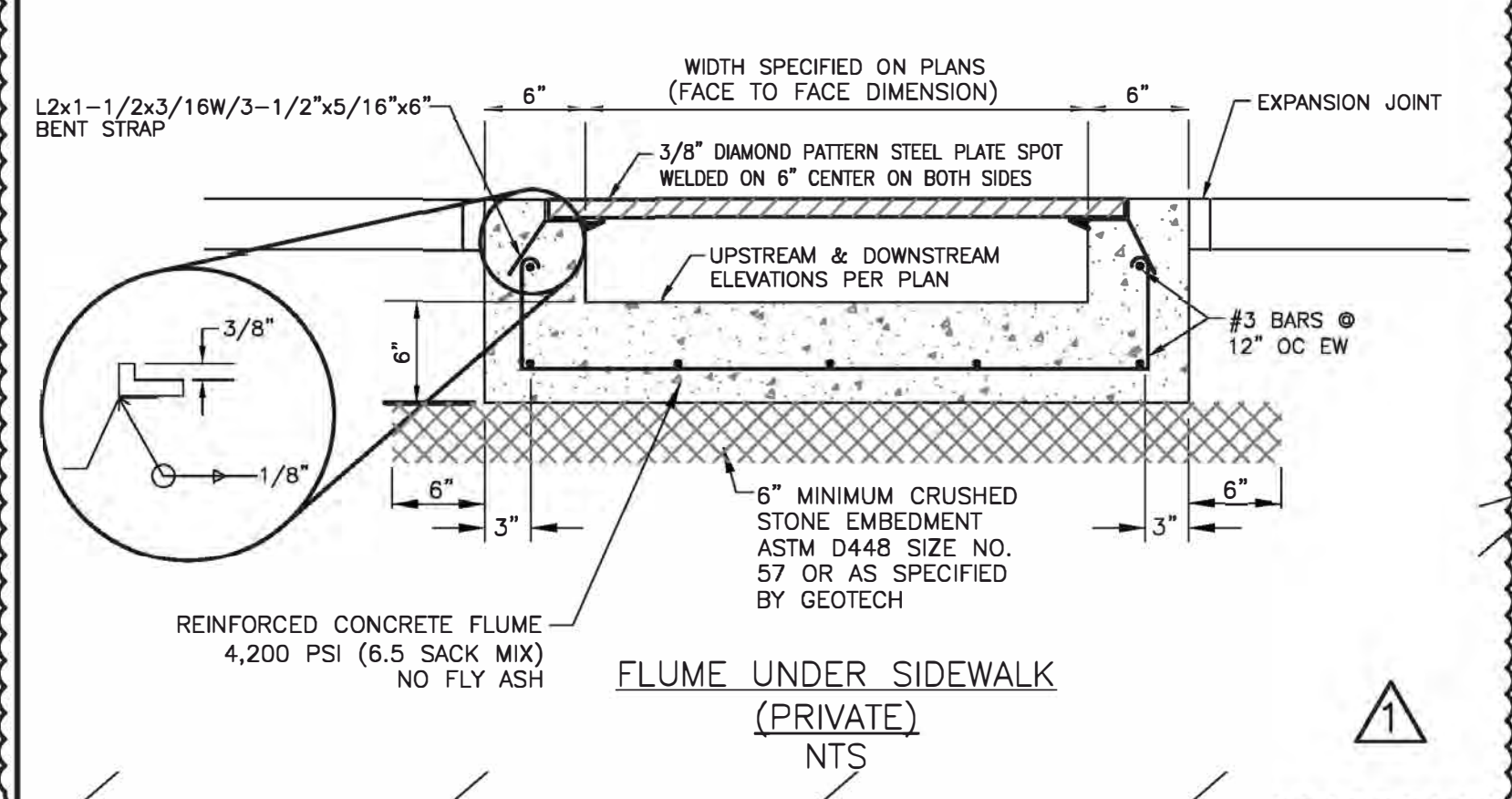
April 14, 2019

- BENCHMARKS:**
- #1 "□" CUT ON EXISTING "Y" INLET ±74' FROM THE NORTHWEST CORNER OF PROPERTY. ELEV. 493.46
 - #2 "□" CUT ON BACK OF CURB ±12' IN FRONT OF EXISTING SANITARY SEWER MANHOLE ±66' FROM THE NORTHEAST CORNER OR PROPERTY LINE. ELEV. 497.98

DIMENSIONAL CONTROL & PAVING PLAN

SHIPMAN OFFICE BUILDING
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

USA PROFESSIONAL SERVICES GROUP, INC. 1525 W. CHEROKEE DRIVE, DALLAS, TX 75225 214-634-3300 PHONE 214-634-3338 FAX REGISTERED ENGINEERING FIRM F-1845 REGISTERED SURVEYING FIRM 101074-00	USA JOB NUMBER 2018006.00
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PRESTON TRAIL

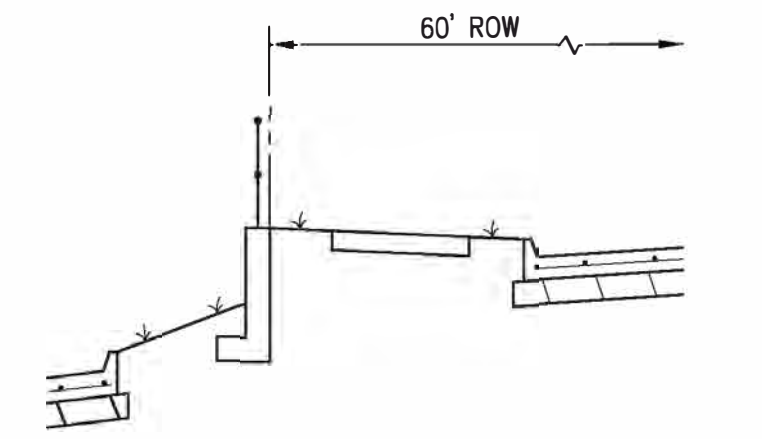
SOUTHERN PACIFIC RAILROAD

LA JOLLA POINT



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 3. TOTAL SITE AREA (INCLUDING ADJOINING RIGHT-OF-WAY) IS 2.1 ACRES.
 4. IT IS ANTICIPATED THAT 1.7 ACRES WILL BE DISTURBED DURING CONSTRUCTION ACTIVITIES.
 5. ALL FILL SHALL BE COMPACTED TO 95% STANDARD DENSITY USING A SHEEP'S FOOT ROLLER.
 6. CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITIES TO FINAL GRADE.
 7. EXPOSED FOUNDATION SHALL MATCH RETAINING WALL PATTERN.

SWALE FLOWS TO DROP INLET AT NW CORNER OF SITE CONSTRUCT 4" WIDE FLUME UNDER SIDEWALK PER DETAILS THIS SHEET (PRIVATE)



- RETAINING WALL NOTES:
1. RETAINING WALLS OVER 3' HEIGHT MUST BE DESIGNED BY A PROFESSIONAL ENGINEER
 2. WALLS MUST BE ROCK OR STONE (SMOOTH CONCRETE WALLS NOT ALLOWED)
 3. RETAINING WALL AND FOOTING SHALL BE LOCATED ON-SITE (NOT IN CITY RIGHT-OF-WAY)
 4. PEDESTRIAN RAILING REQUIRED

SECTION A-A
RETAINING WALL LOCATION
(Not to Scale)

04/29/20 REVISED GRADING AT SIDEWALK TO FDC ROOM
ADDED FLUME UNDER SIDEWALK PLAN VIEW & DETAILS

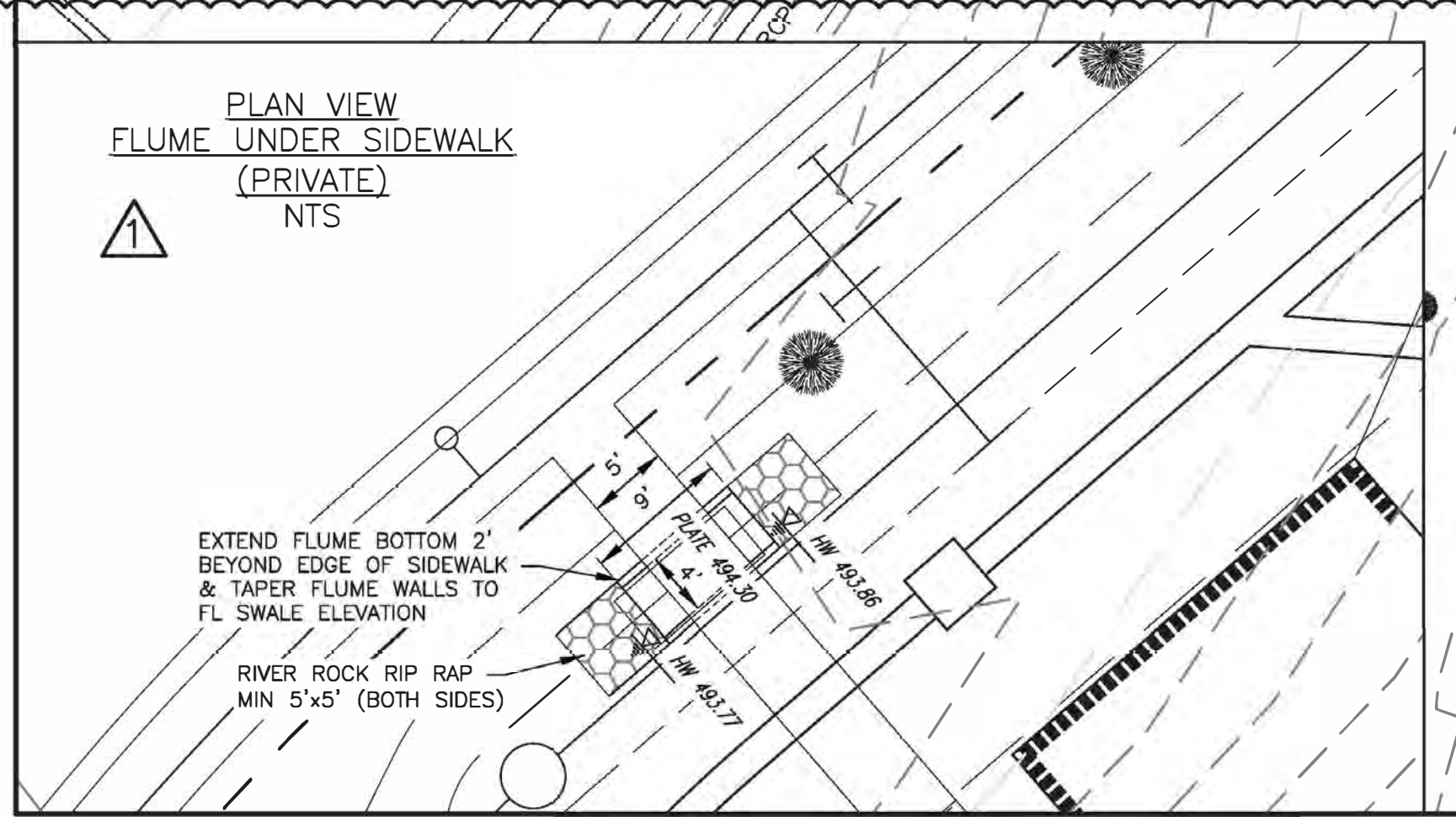
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Craig S. Smiley
DATE: JUNE 16, 2020



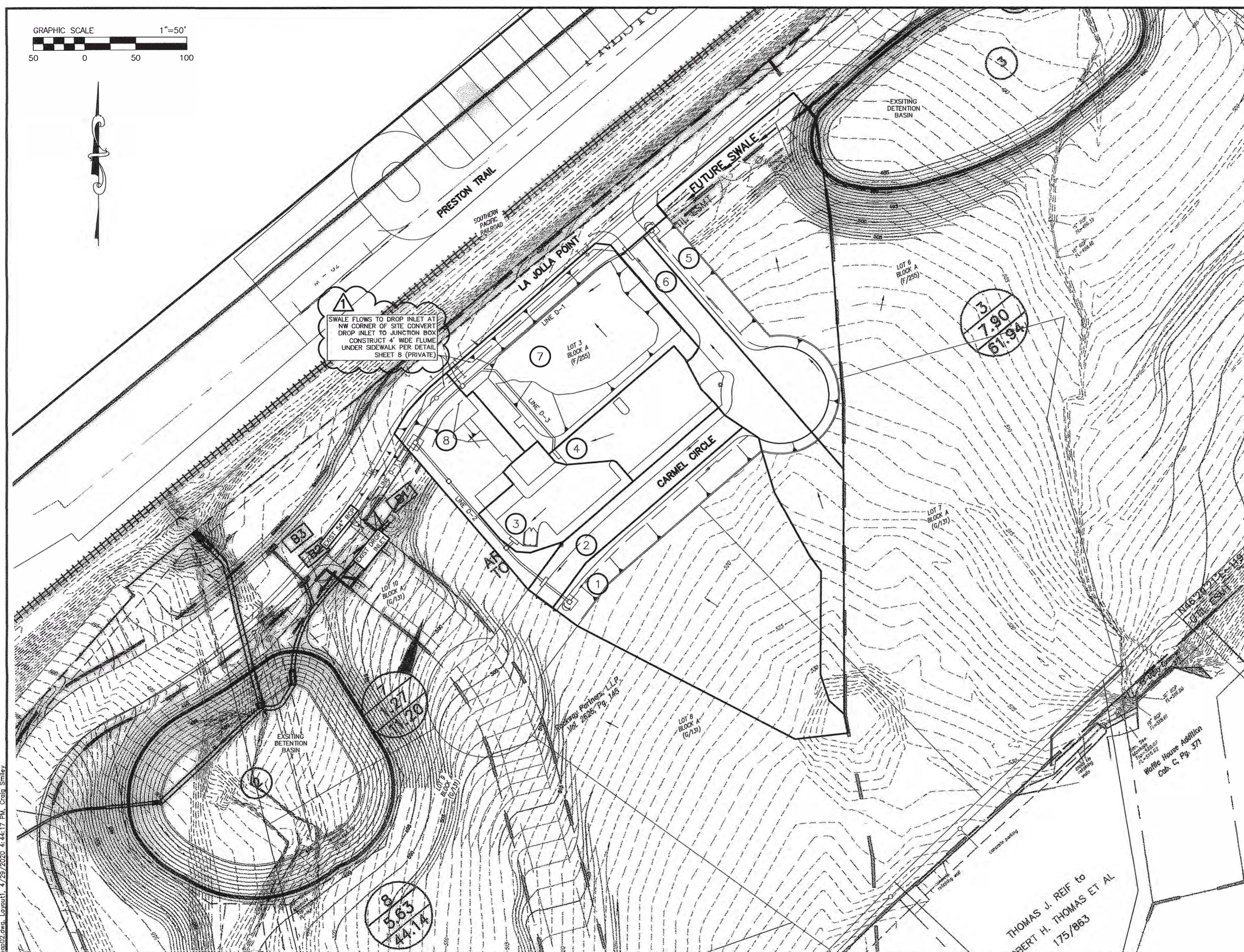
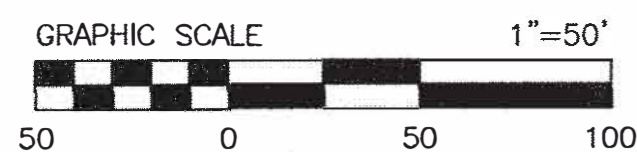
April 14, 2019

- BENCHMARKS:
- #1 "□" CUT ON EXISTING "Y" INLET ±74' FROM THE NORTHWEST CORNER OF PROPERTY. ELEV. 493.46
 - #2 "□" CUT ON BACK OF CURB ±12' IN FRONT OF EXISTING SANITARY SEWER MANHOLE ±66' FROM THE NORTHEAST CORNER OR PROPERTY LINE. ELEV. 497.98

GRADING PLAN	
SHIPMAN OFFICE BUILDING	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
USA PROFESSIONAL SERVICES GROUP, INC. 1525 W. CROFT DRIVE, DALLAS, TX 75235 214-634-3300 PHONE; 214-634-3336 FAX REGISTERED ENGINEERING FIRM F-1845 REGISTERED SURVEYING FIRM 101074-00	USA JOB NUMBER 2018006.00



8
15



- NOTES:**
- CURRENT ZONING - C COMMERCIAL DETENTION FOR THIS SITE PROVIDED BY MASTER BASIN CONSTRUCTED WITH LA JOLLA POINTE PHASE 2.
 - SITE PLAN OVERLAYS THE LA JOLLA POINTE PHASE 2 DRAINAGE AREA MAP PREPARED BY ALLEN & RIDINGER CONSULTING, INC. DATED MARCH 13, 2001.
 - ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
- LEGEND**
- 530 — DRAINAGE DIVIDE LINE
 - 532 — EXISTING CONTOUR
 - 532 — PROPOSED CONTOUR
 - 19 DRAINAGE AREA NUMBER
 - ← DIRECTION OF FLOW
 - LINE D-8 PROPOSED STORM SEWER
 - 24" RCP EXISTING STORM SEWER

AREA ID	AREA (ac)	C	C · A	TIME OF CONCENTRATION (min)	DESIGN STORM FREQUENCY (YEARS)	INTENSITY (in/hr)	STORM RUNOFF Q (cfs)	COMMENTS
1	1.04	0.9	0.94	10	100	9.80	9.2	
2	0.18	0.9	0.16	10	100	9.80	1.6	
3	0.20	0.9	0.18	10	100	9.80	1.8	
4	0.22	0.9	0.20	10	100	9.80	1.9	
5	0.86	0.9	0.77	10	100	9.80	7.6	Ultimate Q to Future Curb Inlet
6	0.45	0.9	0.41	10	100	9.80	4.0	
7	0.57	0.9	0.51	10	100	9.80	5.0	To Area 8
8	0.26	0.9	0.23	10	100	9.80	2.3	Total Flow = 7.3 cfs

Culvert Report

HydroFlow Express Edition for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Monday, Apr 20 2020

SHIPMAN OFFICE BLDG - FLUME UNDER SIDEWALK TO FDC ROOM

Invert Elev Dn (ft)	= 493.00	Calculations	Omin (cfs)	= 5.30
Pipe Length (ft)	= 5.00	Slope (%)	Omax (cfs)	= 5.30
Slope (%)	= 1.50	Invert Elev Up (ft)	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 14.0	Shape	Highlighted	
Span (in)	= 48.0	No. Barrels	Ototal (cfs)	= 5.30
n-Value	= 0.013	Culvert Type	Coilpe (cfs)	= 0.00
Coeff. K _{M,C,Y,k}	= 0.061, 0.75, 0.04, 0.8, 0.5	Culvert Entrance	Overtop (cfs)	= 0.00
			Veloc Dn (ft/s)	= 1.71
			Veloc Up (ft/s)	= 1.91
			HGL Dn (ft)	= 493.77
			HGL Up (ft)	= 493.77
			Hw Elev (ft)	= 493.86
			Hw/D (ft)	= 0.67
			Flow Regime	= Outlet Control

RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.

DATE: JUNE 16 2020

THOMAS J. REIF to
BERT H. THOMAS ET AL
175/863

04/29/20 ADDED NOTE RE: FLUME UNDER SIDEWALK REVISED AREA RUNOFF CHART & INLET DESIGN CALCULATION TABLE ADDED FLUME UNDER SIDEWALK DRAINAGE REPORT

REVISION
MAY 1 2020

CITY OF ROCKWALL, ENGINEERING DEPT.

62758 REGISTERED PROFESSIONAL ENGINEER
Craig S. Smiley

April 14, 2019

INLET ID	LOCATION	ALIGNMENT	STATION	OFFSET	DESIGN FREQUENCY V	C	AREA RUNOFF										GUTTER FLOW					INLETS CAPACITY										INLET BY-PASS				REMARKS														
							AREA ID	TIME OF CONC. RATION	INTENSITY I	AREA A	RUNOFF Q	UPSTREAM BYPASS C _A	TOTAL GUTTER FLOW Q _a	THOROUGHFARE TYPE	ON GRADES G	MANNING'S n	LONG SLOPE	CROWN TYPE	CROSS SLOPE S _x	DEPTH a	WIDTH W	DEPRESSION	DEPTH OF GUTTER FLOW	MAX ALLOWABLE FLOW BASED ON MAX ALLOWABLE PONDING WIDTH	DEPRESSED GUTTER SECTION	SECTION BEYOND DEPRESSION	CONVEYANCE	RATIO OF DEPRESSI ON FLOW TO TOTAL FLOW EQ	EQUIVALENT CROSS-SLOPE S _e	INLET LENGTH	INLET CAPACITY Q _c	FLOW Obypass	C _A	TO INLET ID																
							(min)	(in/hr)	(acres)	(cfs)	(cfs)	(cfs)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)		(ft)													
1	Carmel Circle	5+53.48	9.5 L	100	0.90	1	10.0	9.8	1.04	9.2	0.0	1.6	Minor Collector	On Grade	0.0175	0.015	6" Roof Top	0.025	0.5	2.0	20	7.1	0.5	0.18	24.7	0.8	2.07	0.3	5.1	36.5	4.5	0.89	0.24768	5	4" DROP	17.4	0													
2	Carmel Circle	5+53.48	20.5 R	100	0.98	2	10.0	9.8	0.18	1.6	0.0																																							
3	Line D-2.1	0+09.85		100	0.90	3	10.0	9.8	0.20	1.8	0.0																																							
4	Line D-3	1+12.94		100	0.90	4	10.0	9.8	0.22	1.9	0.0																																							
5	Carmel Circle	0+58.00	9.5 L	100	0.90	5	10.0	9.8	0.86	7.6	0.0																																							
6	Carmel Circle	0+68.00	20.5 R	100	0.90	6	10.0	9.8	0.45	4.0	0.0	4.0	Minor Collector	On Grade	0.0175	0.053	6" Roof Top	0.025	0.5	2.0	20	7.9	0.5	0.20	46.4	0.8	2.07	0.4	5.9	39.6	6.6	0.86	0.23925	12	4" DROP	17.4	0													
7	Carmel Circle	1+49.06		100	0.90	7	10.0	9.8	0.57	5.0	0.0																																							
8	Line D-1	0+76.57		100	0.90	8	10.0	9.8	0.83	7.3	0.0																																							

RELEASED FOR CONSTRUCTION

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CITY: *Jf* DATE: 5/16/19

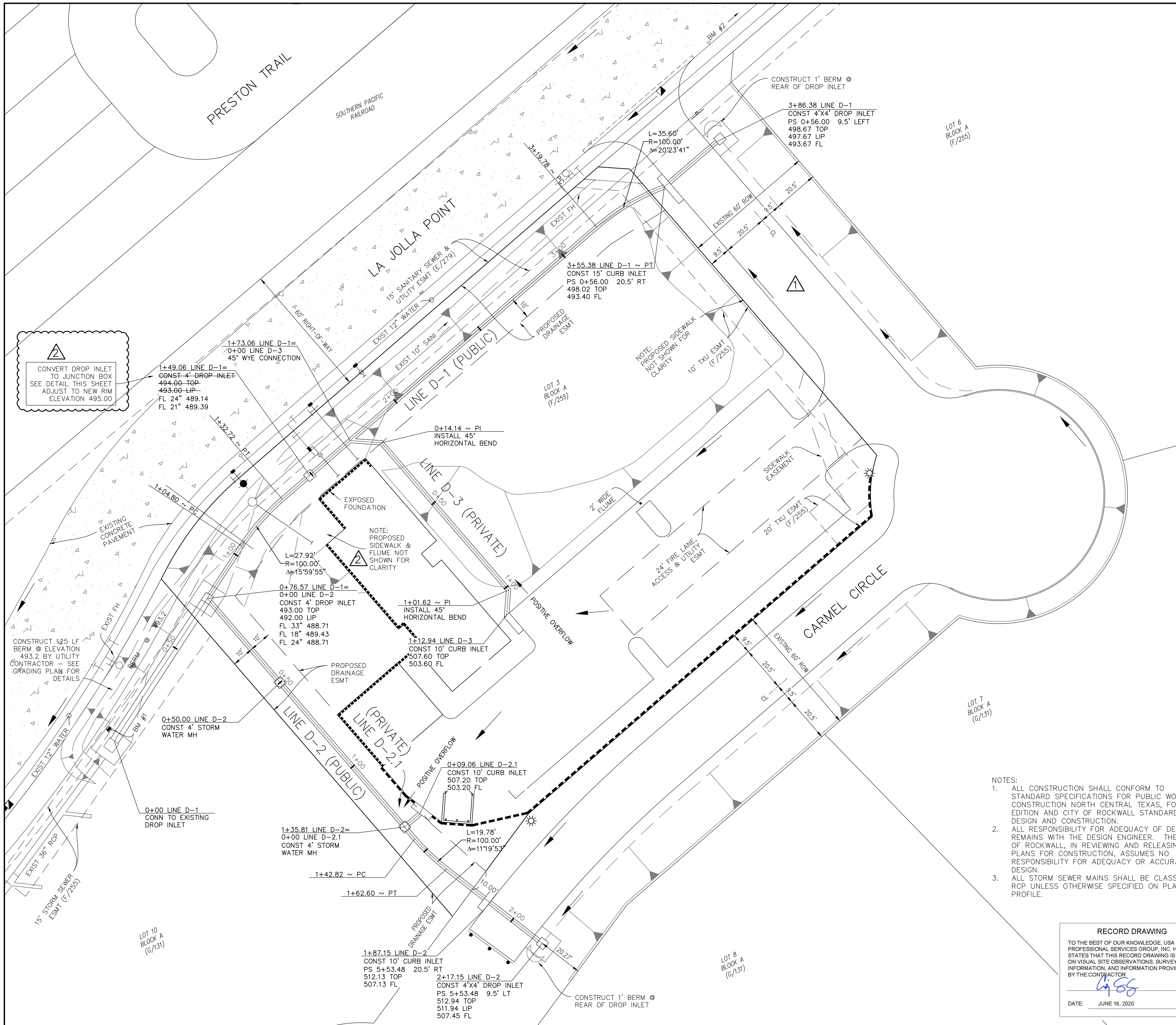
DRAINAGE AREA MAP

SHIPMAN OFFICE BUILDING
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

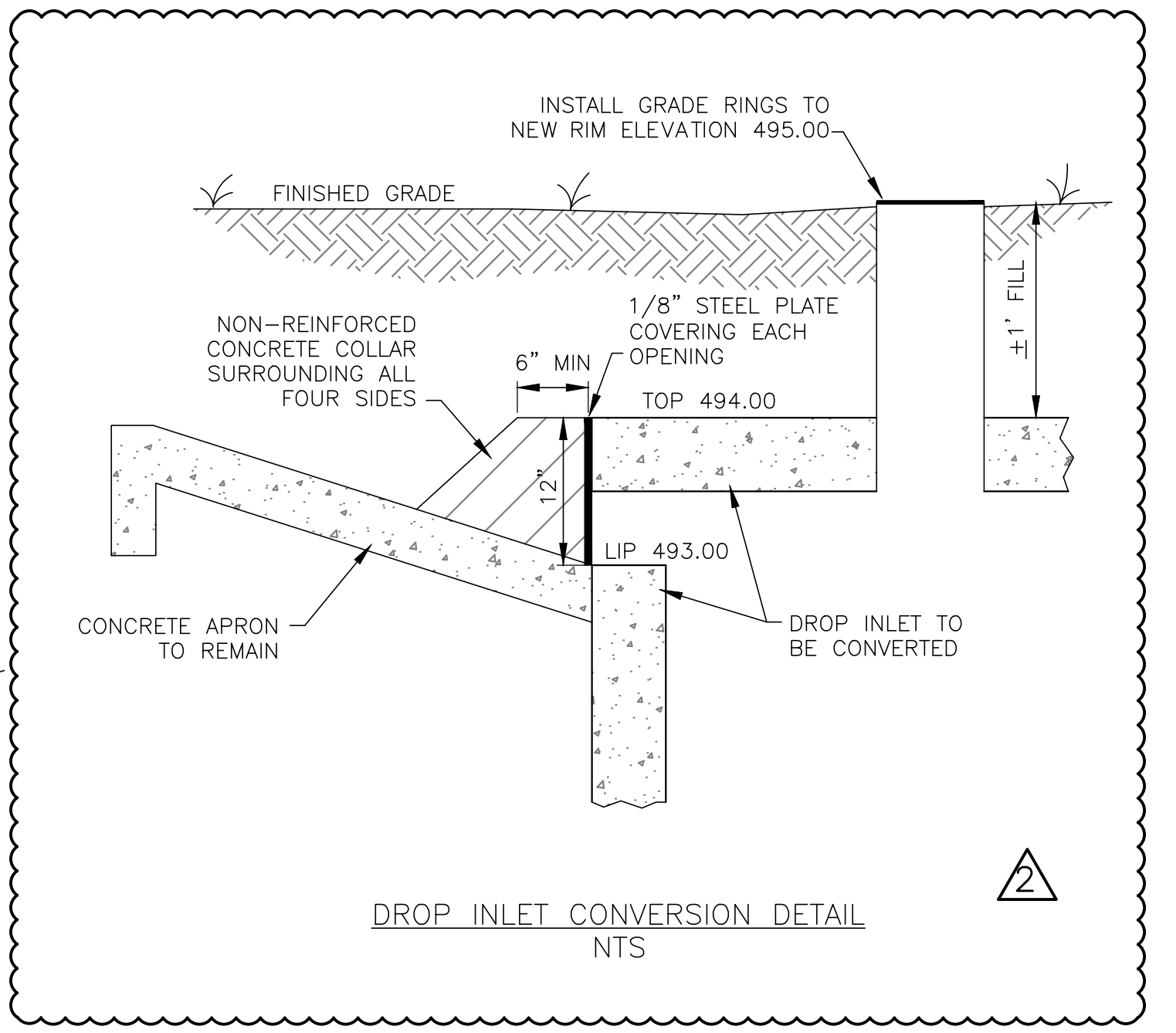
USA PROFESSIONAL SERVICES GROUP, INC.
1525 WERCY DRIVE, DALLAS, TX 75235
214-634-3300 PHONE 214-634-3338 FAX
REGISTERED ENGINEERING FIRM F-1845
REGISTERED SURVEYING FIRM 101074-00

USA JOB NUMBER
2018006.00

P:\Sasken\2018006.00_Shipman Office Building\Draw\2018006.00.dwg 4/29/2020 4:44:17 PM, Craig Smiley



2
 CONVERT DROP INLET TO JUNCTION BOX
 SEE DETAIL THIS SHEET
 ADJUST TO NEW RIM
 ELEVATION 495.00



- 2 04/29/20 ADDED NOTES AND DETAIL TO CONVERT DROP INLET TO JUNCTION BOX 1+46.06 LINE D-1
- 1 04/14/19 DELETED WATER & SEWER MAINS ON CARMEL CIRCLE

- NOTES:
- ALL CONSTRUCTION SHALL CONFORM TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.
 - ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 - ALL STORM SEWER MAINS SHALL BE CLASS III RCP UNLESS OTHERWISE SPECIFIED ON PLAN AND PROFILE.



April 14, 2019

BENCHMARKS:

#1 "□" CUT ON EXISTING "Y" INLET ±74' FROM THE NORTHWEST CORNER OF PROPERTY. ELEV. 493.46

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RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.

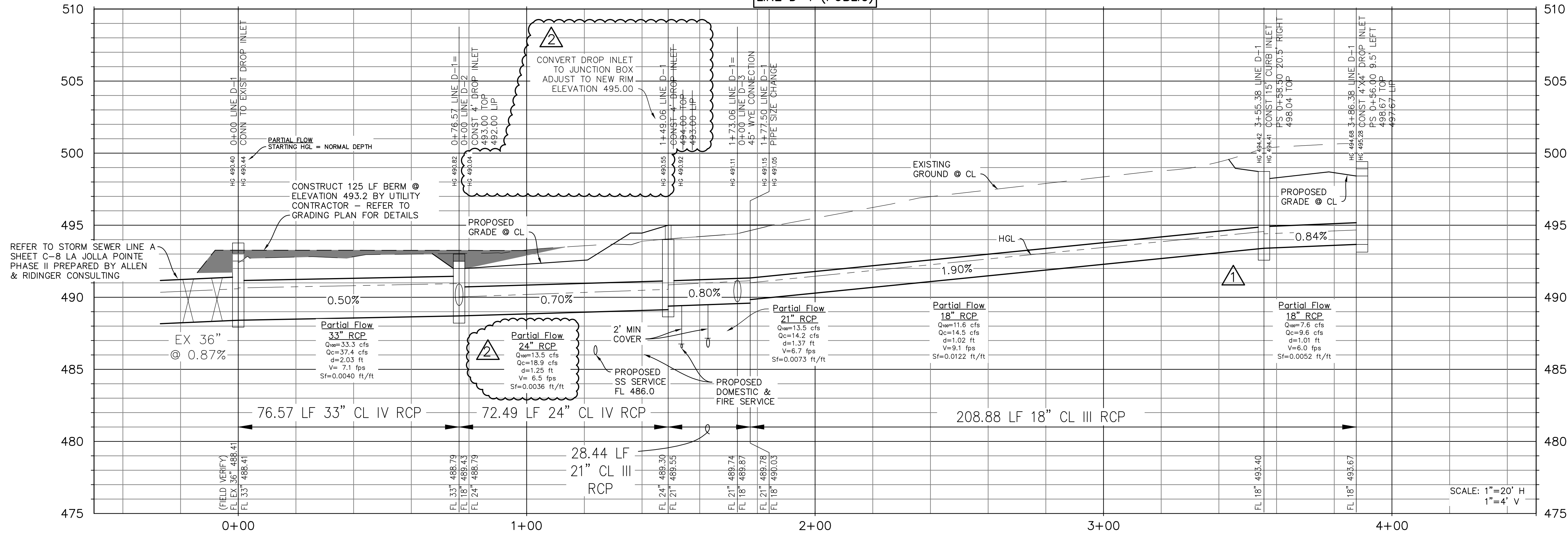
C.S.

DATE: JUNE 16, 2020

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STORM SEWER PLAN	
SHIPMAN OFFICE BUILDING	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
 USA PROFESSIONAL SERVICES GROUP, INC. 1525 W. CEROY DRIVE, DALLAS, TX 75225 214-634-3300 PHONE 214-634-3338 FAX REGISTERED ENGINEERING FIRM F-1845 REGISTERED SURVEYING FIRM 101074-00	USA JOB NUMBER 2018006.00

LINE D-1 (PUBLIC)

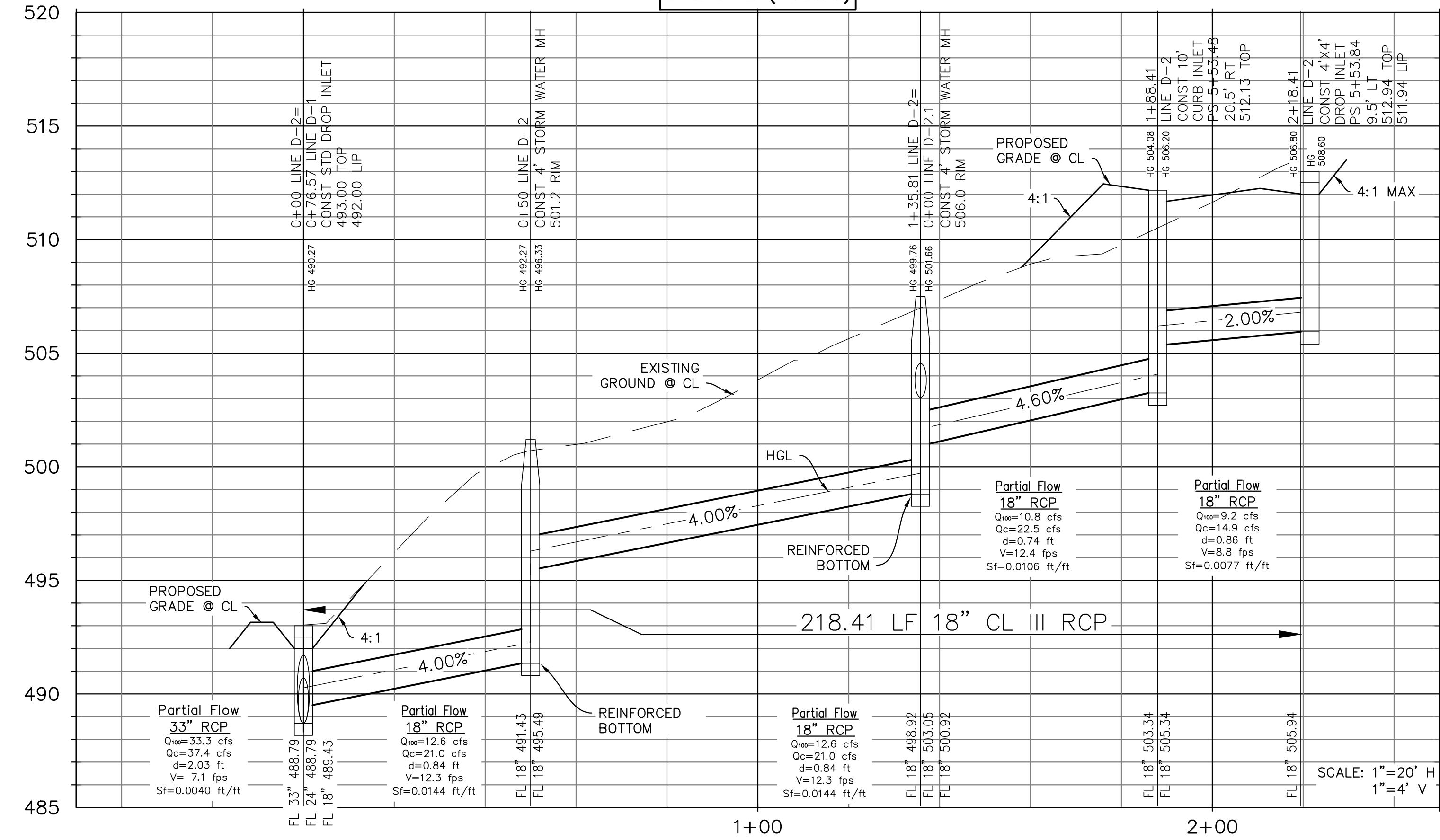


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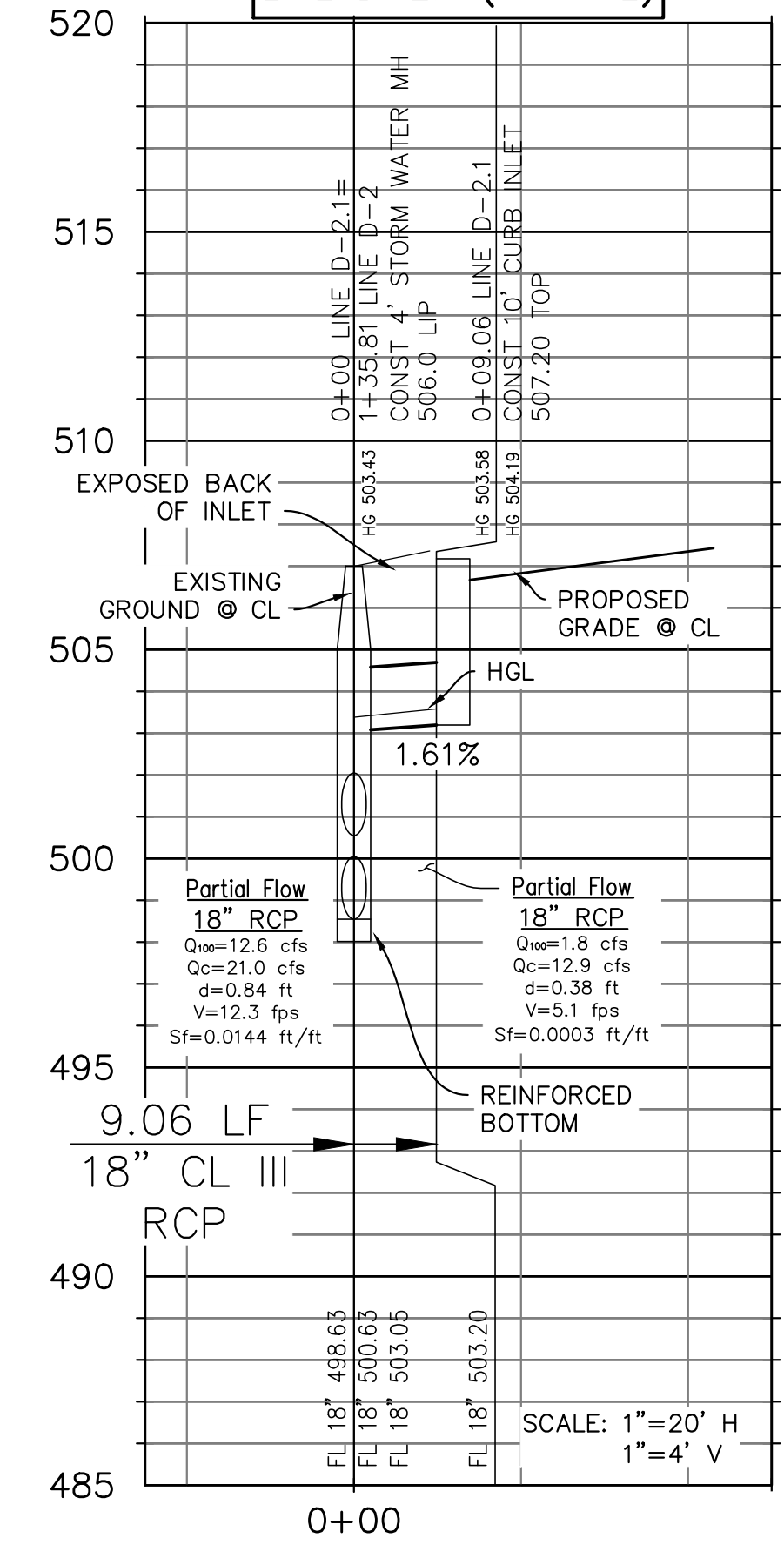
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 - #2 "□" CUT ON BACK OF CURB ±12' IN FRONT OF EXISTING SANITARY SEWER MANHOLE ±66' FROM THE NORTHEAST CORNER OR PROPERTY LINE. ELEV. 497.98

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 DATE: JUNE 16, 2020

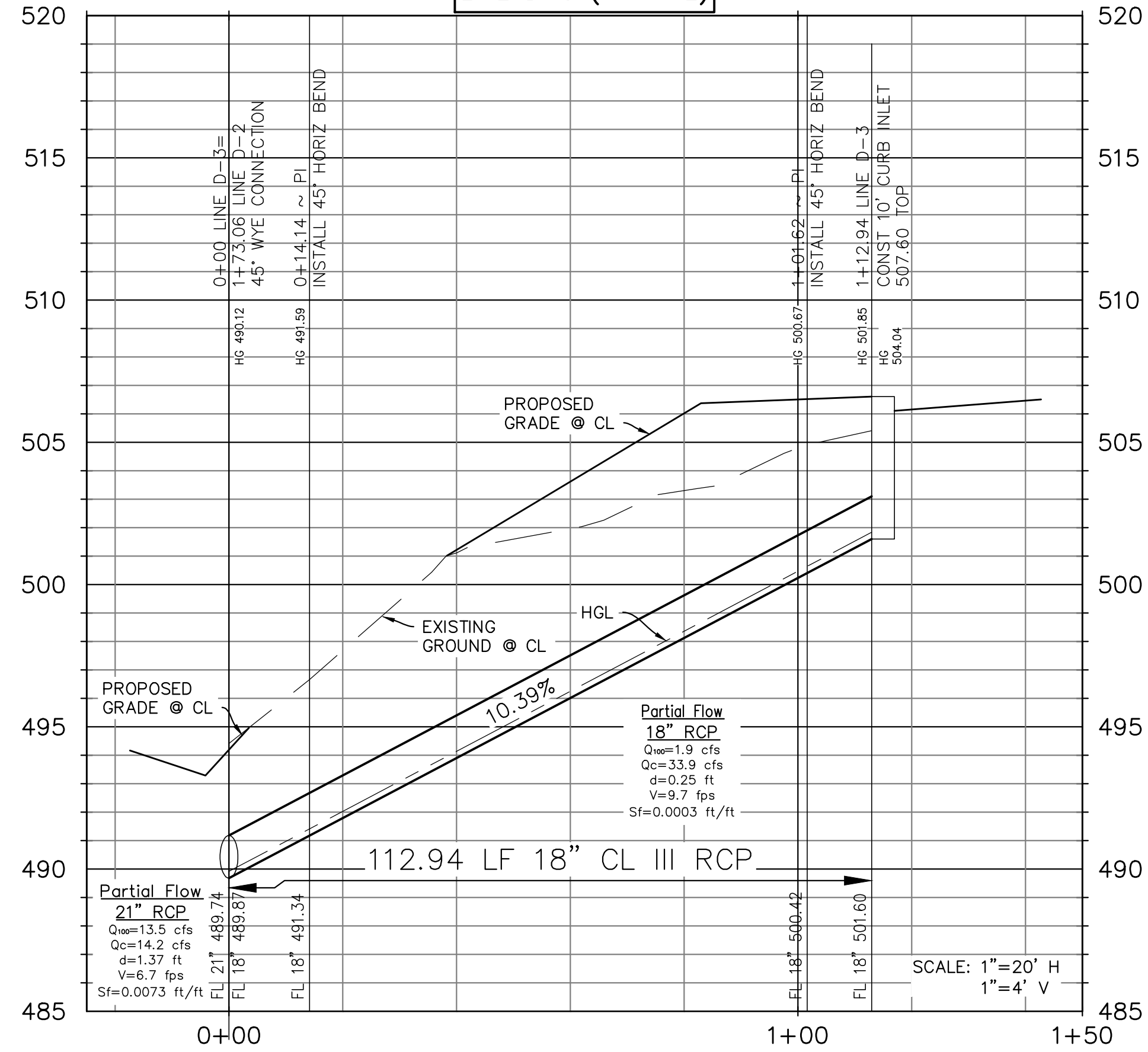
LINE D-2 (PUBLIC)



LINE D-2.1 (PRIVATE)



LINE D-3 (PRIVATE)



SYSTEM ID	CONDUIT PROPERTIES										INCREMENTAL DRAINAGE AREA										HEADLOSS CALCULATIONS										REMARKS								
	COLLECTION POINT STATION		LENGTH (ft)	# OF BARRELS	PIPE SIZE (inches)	BOX		TYPE	AREA (ft²)	WETTED PERIMETER P _w (ft)	HYDRAULIC RADIUS (ft)	MANNING'S n	FLOWLINE ELEVATION		SLOPE (ft/ft)	INLET ID	AREA (acres)	RUNOFF COEFFICIENT C	INCREMENTAL C'A	ACCUMULATED C'A	UPSTREAM T _c (min)	DESIGN STORM FREQUENCY (yr)	INTENSITY I (in/hr)	RUNOFF Q (cfs)	CONDUIT CAPACITY Q _c (cfs)	PARTIAL FLOW (Yes/No)	VELOCITY V (ft/s)	TIME IN CONDUIT (min)	FRICTION SLOPE S _f (ft/ft)	FRICTION HEAD LOSS (ft)		HGL		HEADLOSS CALCULATIONS		HGL	TOP OF CURB ELEVATION	HGL DEPTH BELOW TIC	
	US	DIS				SPAN	RISE						US	DIS																		US	DIS	US	DIS				US
LINE D-3	112.94	101.62	11.32	1	18	RCP	1.77	0.38	4.71	0.013	501.80	500.42	0.1038	0.00	0.20	0.20	0.20	0.20	0.20	100	100	9.8	1.9	33.9	Yes	9.7	0.02	0.0003	0.00	501.85	500.67	1.46	1.46	45° BEND	0.37	0.92	501.85	507.60	5.75
LINE D-2.1	14.14	0.00	14.14	1	18	RCP	1.77	0.38	4.71	0.013	500.42	499.87	0.1038	0.00	0.20	0.20	0.20	0.20	0.20	100	100	9.8	1.9	33.9	Yes	9.7	0.02	0.0003	0.00	499.87	499.12	0.70	1.46	WYE	1.00	0.76	499.87	496.60	3.27
LINE D-2	188.41	188.41	0.00	1	18	RCP	1.77	0.38	4.71	0.013	503.20	503.05	0.0161	0.00	0.18	0.18	0.18	0.18	0.18	100	100	9.8	1.8	12.9	Yes	5.1	0.03	0.0003	0.00	503.58	503.43	2.36	0.40	WYE	1.00	-0.18	503.58	512.94	9.36
LINE D-1	149.06	149.06	0.00	1	18	RCP	1.77	0.38	4.71	0.013	491.43	489.43	0.0400	0.00	0.23	0.23	0.23	0.23	0.23	100	100	9.8	1.8	12.9	Yes	12.3	0.12	0.0144	1.24	499.76	496.33	2.35	2.35	JUNCTION 90°	1.00	0.00	501.66	506.00	4.34

04/29/19 CONVERT DROP INLET TO JUNCTION BOX 1+46.06 LINE D-1
 04/14/19 DELETED WATER CROSSING

STORM SEWER PROFILES

SHIPMAN OFFICE BUILDING
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

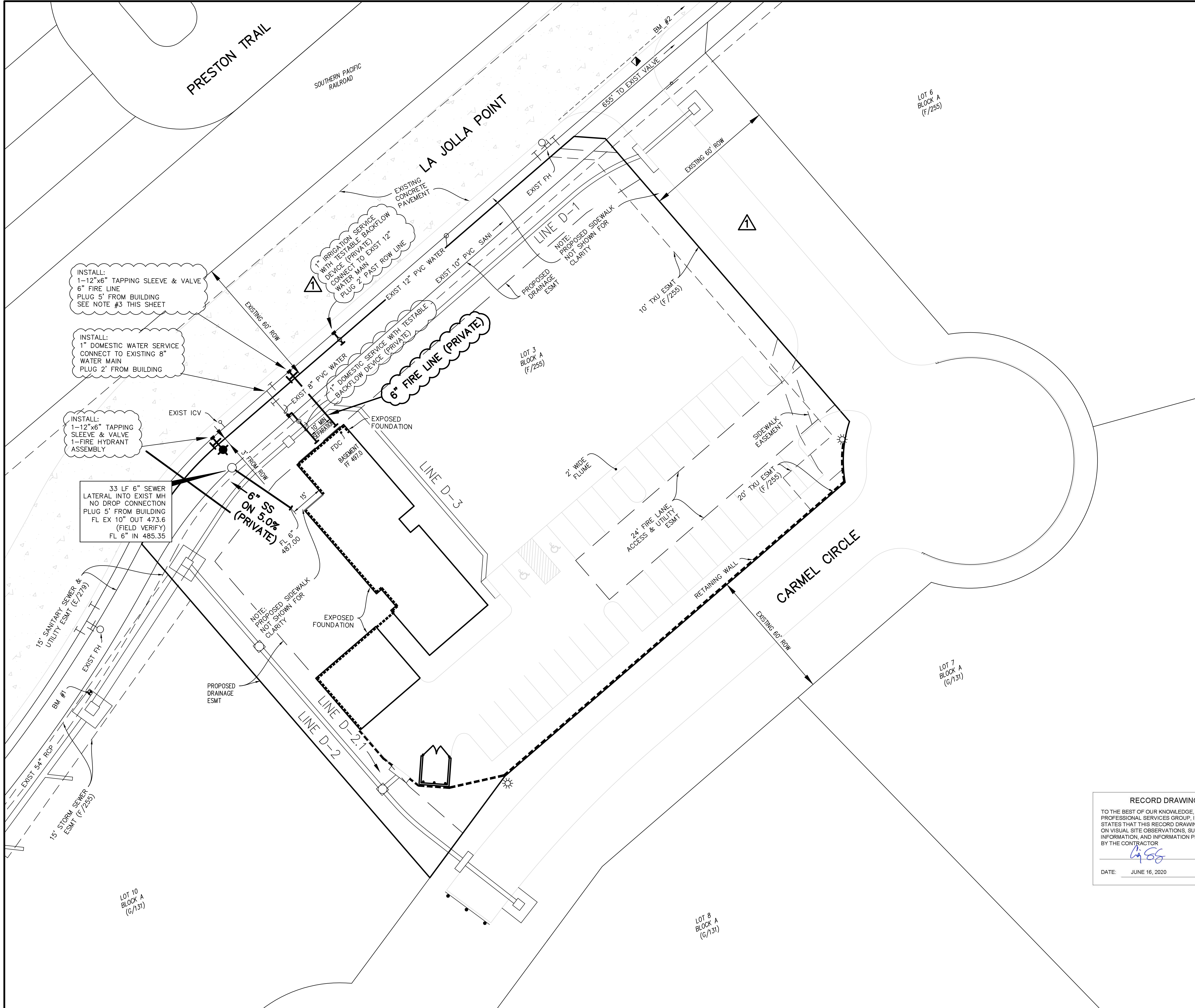
USA PROFESSIONAL SERVICES GROUP, INC.
 1525 W. CROFT DRIVE, DALLAS, TX 75235
 214-634-3300 PHONE 214-634-3338 FAX
 REGISTERED ENGINEERING FIRM F-1645
 REGISTERED SURVEYING FIRM 101074-00

USA JOB NUMBER
2018006.00



April 14, 2019

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- NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS, FOURTH EDITION AND CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION.
 2. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 3. A SEPARATE PERMIT IS REQUIRED FROM THE CITY OF ROCKWALL FIRE DEPARTMENT FOR FIRE LINE CONSTRUCTION.
 4. ALL WATER MAINS SHALL BE CLASS 200 C900 DR-14.
 5. SANITARY SEWER MAINS SHALL BE SDR-35 (LESS THAN 10' DEEP) OR SDR-26 (10' DEEP OR GREATER).
 6. ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.
 7. CONTRACTOR SHALL INSTALL BLUE EMS DISK ON THE WATER LINE EVERY 250', CHANGE INDICATION, SERVICE CONNECTION, VALVE, AND FIRE HYDRANT.
 8. CONTRACTOR SHALL INSTALL GREEN EMS DISC ON THE SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
 9. ALL SANITARY SEWER MANHOLES SHALL BE SEALED AND RAVEN LINED (OR APPROVED EQUAL).

1 04/14/19 DELETED WATER & SEWER MAINS ON CARMEL CIRCLE. MOVED IRRIGATION SERVICE TO LA JOLLA POINT.



April 14, 2019

RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.
 DATE: JUNE 16, 2020

- BENCHMARKS:**
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WATER & SANITARY SEWER PLAN

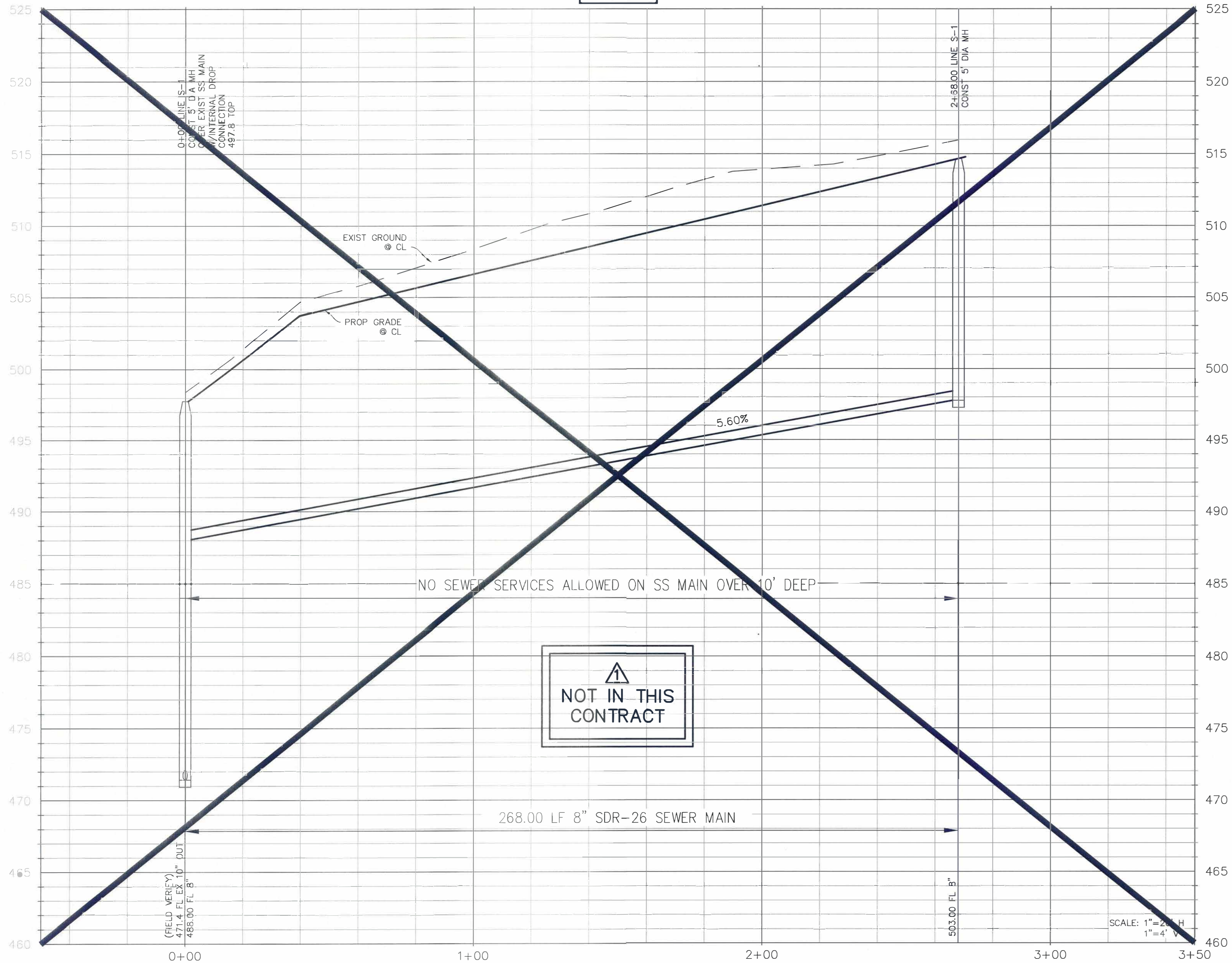
SHIPMAN OFFICE BUILDING
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

USA PROFESSIONAL SERVICES GROUP, INC.
 1525 W. CEROY DRIVE, DALLAS, TX 75225
 214-634-3300 PHONE 214-634-3338 FAX
 REGISTERED ENGINEERING FIRM F-1845
 REGISTERED SURVEYING FIRM 101074-00

USA JOB NUMBER
2018006.00

12
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LINE S-1



- NOTES:
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NOT IN THIS CONTRACT

04/14/19 DELETED SEWER MAIN ON CARMEL CIRCLE.

REVISION
 APR 22 2019
 CITY OF ROCKWALL ENGINEERING DEPT.

RELEASED FOR CONSTRUCTION
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 Date: 5-16-19
 City: Josh Hager

April 14, 2019

RECORD DRAWING
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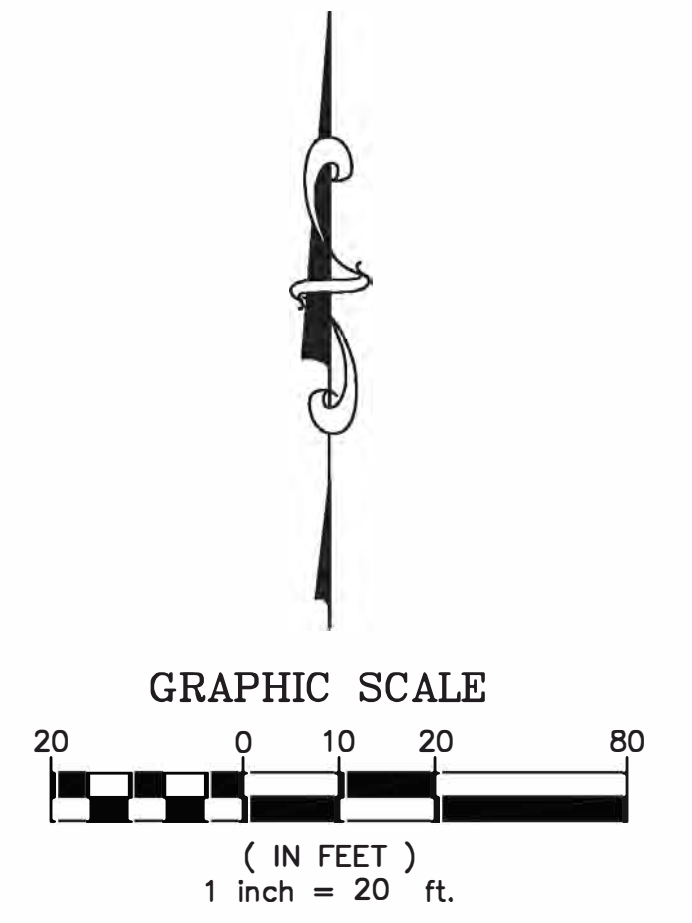
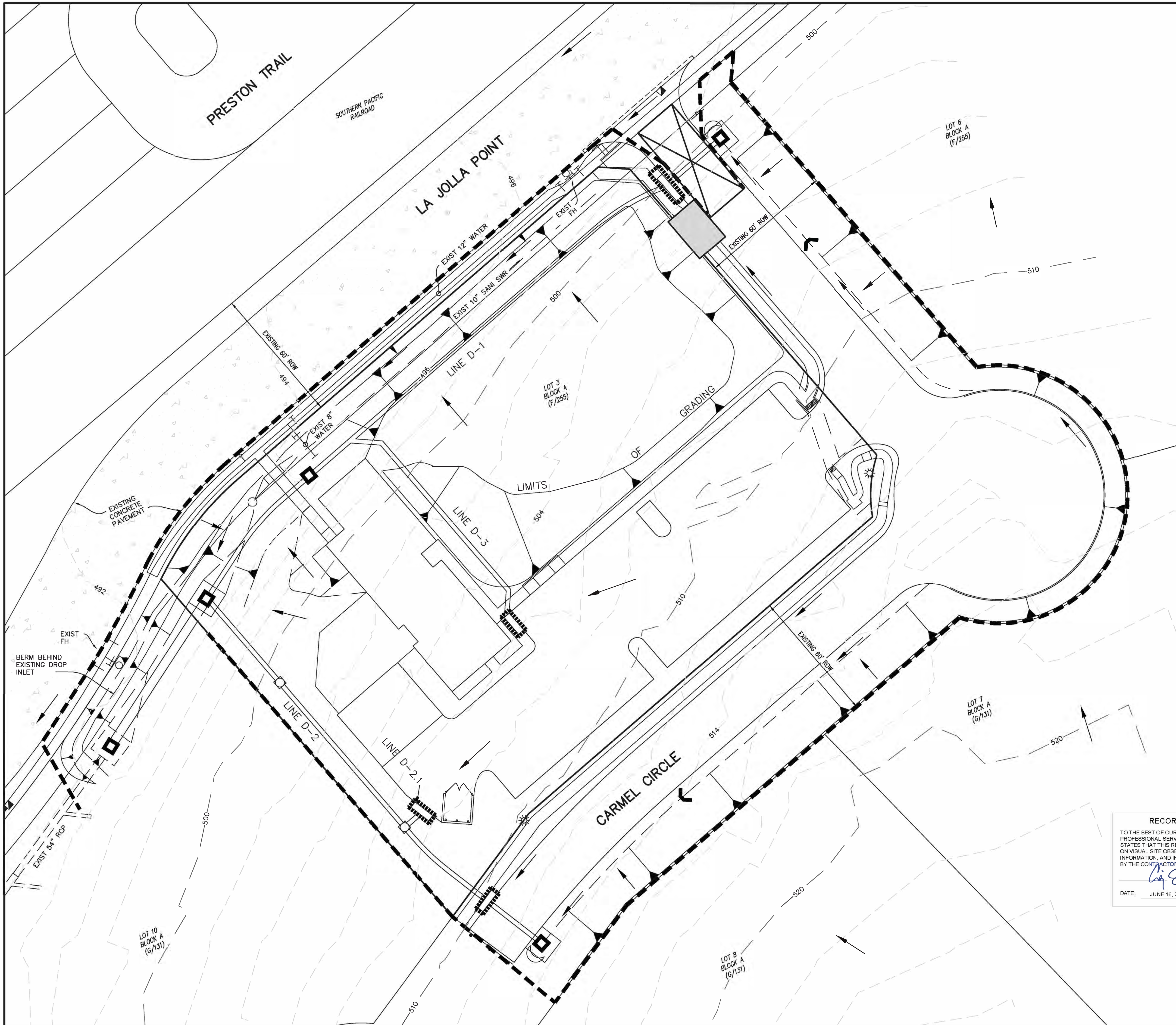
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SANITARY SEWER PROFILE	
SHIPMAN OFFICE BUILDING	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
USA PROFESSIONAL SERVICES GROUP, INC. 1525 VICEROY DRIVE, DALLAS, TX 75235 214-634-3300 PHONE 214-634-3338 FAX REGISTERED ENGINEERING FIRM F-1845 REGISTERED SURVEYING FIRM 101074-00	USA JOB NUMBER 2018006.00

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P:\Siskemgn_2018006.00 Shipman Office Building\Draw\2018006.00 water & sewer plan.dwg, 4/14/2019 4:01:19 PM, Craig Smiley



NOTES:
 1. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

LEGEND

- UNDISTURBED BUFFER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SILT FENCE PER NCTCOG DRAWING 1020 (NO WOOD POSTS)
- INLET PROTECTION - DROP PER NCTCOG DRAWING 1130
- INLET PROTECTION - CURB PER NCTCOG DRAWING 1140
- ROCK CHECK DAM PER NCTCOG DRAWING 1060 A & B (CRUSHED CONCRETE NOT ALLOWED)
- 50'x20' STABILIZED CONSTRUCTION ENTRANCE PER NCTCOG DRAWING 1070 A & B 12" MIN THICKNESS, 4"-6" ROCK (CRUSHED CONCRETE NOT ALLOWED)
- CONCRETE WASHOUT
- DIRECTION OF FLOW
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- EX 30" RCP

TOTAL SITE AREA (INCLUDING ADJOINING ROW) ~ 2.1 ACRES
 TOTAL DISTURBED AREA ~ 1.7 ACRES

OWNER/DEVELOPER
 CLAY SHIPMAN FIRE PROTECTION, LLC
 7700 CODY LANE
 SUITE 2705
 SACHSE, TEXAS 75048



April 14, 2019

RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.

 DATE: JUNE 16, 2020

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14
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EROSION CONTROL PLAN	
SHIPMAN OFFICE BUILDING	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
USA PROFESSIONAL SERVICES GROUP, INC. 1525 MCGEROY DRIVE, DALLAS, TX 75235 214-634-3300 PHONE 214-634-3336 FAX REGISTERED ENGINEERING FIRM F-1845 REGISTERED SURVEYING FIRM 101074-00	USA JOB NUMBER 2018006.00

SITE DESCRIPTION

This Storm Water Pollution Prevention Plan (SWPPP) has been prepared for site development construction activities as shown on the following pages. The intent of this plan is to control storm water discharges and certain non-storm water discharges associated with site development construction. It is anticipated the following non-storm water discharges may be associated with the construction activities. Each of the following discharges are authorized by the Construction General Permit and are specified herein and made a part of this SWPPP.

1. Waters used to wash vehicles or control dust.
2. Waterline flushings.
3. Fire Hydrant flushings.
4. Irrigation drainage.
5. Routine pavement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used.
6. Routine external building washdowns which do not use detergents.
7. Air conditioning condensates.
8. Foundation or footing drains where flows are not contaminated with process materials such as solvents.

If the Contractor anticipates or experiences any other non-storm water discharges, he shall contact the Engineer of Record to discuss the need for control measures and possible revisions to this SWPPP.

The runoff coefficient of the site after construction is complete is estimated as 0.45 per the City of Rockwall drainage design criteria. The soils at this site are generally clay soils over weathered and unweathered marl of the Moribrook Marl per the Geotechnical Investigation performed by Henley - Johnston & Associates dated 07/26/2018.

Storm water from this site discharges into an unnamed tributary of the East Fork of the Trinity River. There are no wetland areas in the disturbed areas covered by this plan according available records. The total site area (including adjoining right-of-way) is 2.1 acres. It is anticipated that 1.7 acres will be disturbed during the construction activities.

EROSION CONTROL GENERAL NOTES

1. Disturbed areas where construction has permanently or temporarily ceased must be stabilized within 14 days of the last disturbance. Area which will be redisturbed within 21 days need not be stabilized.
2. Erosion control measures will be actively maintained until final stabilization of the disturbed area. If erosion control measures are removed for construction or access purposes, Contractor shall replace all items at the end of each work day.
3. After installation of pavement, final lot benching and general cleanup, all disturbed areas shall be hydromulched or cultipack seeded. See seeding specifications this sheet.
4. Erosion control measures require maintenance, cleaning and replacement as required. Erosion control measures will be inspected at least once every seven days and within 24 hours of a rainfall one-half inch or greater by an Agent designated by the Operator and a written report shall be maintained.
5. Excavated trenches and utility spoils shall be backfilled or stockpiled at the end of each day.
6. Stockpiled materials shall be surrounded by silt barrier fence or hay bales per the attached details. Alternate: small stockpiled areas may be covered by a water repellent tarp or plastic as approved by the Operator.
7. Soils in parkways to be chain harrowed or chain dragged prior to sodding.

INSTALLATION SEQUENCE

- PHASE 1** (Initial Grading) Initial installation of silt fence shall be installed prior to clearing the site for establishing rough grades. Installation of silt fence and stone overflow shall be preserved by the excavation contractor. If during the course of clearing and excavation, the excavation contractor destroys or moves these facilities, then it shall be the responsibility of the excavation contractor to replace the facilities to the state in which he found them when he mobilized.
- PHASE 2** (Utility Install) If required, installation of silt fence or stone overflow, as shown, shall be installed prior to the construction of any drainage facilities and after inlet bottoms are poured. It shall be the utility contractor's responsibility to preserve and/or replace any facilities previously installed during PHASE 1 if destroyed.
- PHASE 3** (Paving) Curlex shall be installed after the paving contractor has backfilled all street curbs. The paving contractor shall be responsible for preserving and/or replacing any previously installed facilities which are destroyed as a result of constructing any and all paving facilities.
- PHASE 4** (Final Grading) All rights-of-way shall be sodded and all disturbed areas shall be seeded by others after the excavation contractor has completed the final lot benching of each lot within this development.
- * All proposed stormwater pollution prevention devices shall be installed by a qualified contractor and shall be paid for per a unit price contract.

OTHER NOTES

1. Solid non-hazardous construction waste shall be disposed of in trash dumpsters or approved equal, in a location approved by the operator. Potentially soluble or leachable solid waste shall be stored off the ground and in covered leak-proof containers. Solid waste shall be properly disposed of off-site on a regular basis.
 2. Hazardous waste shall be segregated from non-hazardous construction site debris. Liquid or semi-liquid hazardous waste shall be stored in appropriate containers (closed drums or similar) and shall be kept under cover. Granular, soluble or leachable hazardous waste materials shall be stored off the ground and in covered leak-proof containers. Hazardous waste storage area locations shall be properly approved of by the Operator. Hazardous waste shall be properly disposed of off-site on a regular basis by a reputable, licensed hazardous waste hauler.
- Note: It is not the intent of this SWPPP to supersede or replace normal site assessment and remediation procedures concerning hazardous materials. Significant spills and/or contamination warrant immediate response by trained professionals. Suspected job site contamination should be immediately reported to regulatory authorities and protective actions taken.
3. Fresh concrete waste and concrete equipment washdowns shall be contained in an area approved by the operator. Contractor shall ensure that adequate vegetative buffer is present around concrete disposal areas.
 4. All waste materials shall be stored away from drainage ditches, swales and drainage structures. Where appropriate, containment berms shall be placed around waste storage areas.
 5. Contractor shall take appropriate measures to control dust generated during construction activities.
 6. Contractor shall construct appropriate entryways to prohibit the tracking of dirt and debris off-site.
 7. A centrally located port-a-pot shall be placed and maintained on the project site at all times during construction activities.
 8. Equipment maintenance, repair and washdowns shall be performed off-site or in locations approved by Operator.
 9. A copy of this SWPPP shall be kept on-site for the entire construction period. The NOI associated with this SWPPP shall be properly displayed on-site for the entire construction period.
 10. A Notice of Termination (N.O.T.) shall be filed for this project upon City acceptance of the project and after final stabilization has been achieved and the responsibility for continued Storm Water Management/Erosion Control shall become that of the builder, city, or other appropriate entity responsible for any applicable construction activity in the future.
 11. Complete inspection records pertaining to this NOI and SWPPP must be maintained by the Operator for a period of three (3) years following final stabilization.

SEEDING SPECIFICATIONS

CULTIPACK SEEDING SPECIFICATIONS

Winter Rye Seed (Fall & Winter)	65 lb/acre	(1.5 lbs/1000 sq. ft.)
Common Bermuda Seed (Spring & Summer)	65 lb/acre	(1.5 lbs/1000 sq. ft.)
17/17/17 Fertilizer	380 lb/acre	(9 lbs/1000 sq. ft.)

HYDROMULCH SEEDING SPECIFICATIONS

Winter Rye Seed (Fall & Winter)	65 lb/acre	(1.5 lbs/1000 sq. ft.)
Common Bermuda Seed (Spring & Summer)	65 lb/acre	(1.5 lbs/1000 sq. ft.)
17/17/17 Fertilizer	380 lb/acre	(9 lbs/1000 sq. ft.)
Wood Cellulose Mulch Fiber	2000 lb/acre	(50 lbs/1000 sq. ft.)
Biodegradable Tackifier	65 lb/acre	(1.5 lbs/1000 sq. ft.)

Note: Soil to be seeded shall be chain harrowed or chain dragged prior to seeding. After seeding, these areas shall be maintained until grass is established and approved by Operator.

BMP MAINTENANCE SCHEDULE		
BMP	MAINTENANCE FREQUENCY	BY:
TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT	WEEKLY AND AFTER RAIN STORM EVENTS	OWNER
ROCK CHECK DAM	WEEKLY AND AFTER RAIN STORM EVENTS	OWNER
SILT FENCE	WEEKLY AND AFTER RAIN STORM EVENTS	OWNER
INLET PROTECTION	WEEKLY AND AFTER RAIN STORM EVENTS	OWNER

OFFSITE INSTALLATION SEQUENCE

- PHASE 1** (Utility Install)
1. The owners erosion prevention representative shall install silt fence or stone check dams at locations where swales or creeks cross the water main construction area prior to the construction of any utility facilities. It shall be the utility contractor's responsibility to preserve and/or replace any facilities if damaged.
 2. Along excavation trench and borrow area, the contractor is to scarify top 6" of top soil and vegetation and stock pile on the down hill side of the trench creating a 1' high berm. Trench shall not be stripped more than one day before constructing that portion of main and be recovered with topsoil and strippings no more than 1 day after constructing that portion of main. Replace top soil and vegetation along trench using 1' high berm.
 3. Any erodable material including stockpiles and berms to be covered by a water repellent tarp or plastic in the event of rain.
 4. Utility contractor must coordinate with the owners erosion prevention contractor daily.
- PHASE 2** (Final Grading)
5. All rights-of-way shall be sodded and all disturbed areas shall be seeded after the utility contractor has completed the final grading.
- * All proposed stormwater pollution prevention devices shall be installed by a qualified contractor and shall be paid for per a unit price contract.

NOTE: 75-80% OF ALL DISTURBED AREAS SHALL HAVE A MINIMUM 1" STAND OF GRASS (NOT WEEDS OR WINTER RYE) PRIOR TO CITY ACCEPTANCE OR CERTIFICATE OF OCCUPANCY.

RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE, USA PROFESSIONAL SERVICES GROUP, INC. HEREBY STATES THAT THIS RECORD DRAWING IS BASED ON VISUAL SITE OBSERVATIONS, SURVEY INFORMATION, AND INFORMATION PROVIDED BY THE CONTRACTOR.

[Signature]

DATE: JUNE 16, 2020

Professional Seal of **Craig S. Smiley**, Registered Professional Engineer, No. 62758, State of Texas.

BENCHMARKS:

#1 "□" CUT ON EXISTING "Y" INLET ±74' FROM THE NORTHWEST CORNER OF PROPERTY. ELEV. 493.46

#2 "□" CUT ON BACK OF CURB ±12' IN FRONT OF EXISTING SANITARY SEWER MANHOLE ±66' FROM THE NORTHEAST CORNER OR PROPERTY LINE. ELEV. 497.98

EROSION CONTROL NOTES

SHIPMAN OFFICE BUILDING
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

USA PROFESSIONAL SERVICES GROUP, INC.
1525 VICEROY DRIVE, DALLAS, TX 75235
214-624-3300 PHONE 214-624-3338 FAX
REGISTERED ENGINEERING FIRM F-1945
REGISTERED SURVEYING FIRM 101074-00

USA JOB NUMBER
2018006.00

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