

SITE IMPROVEMENT PLANS
for
SHARP INSULATION
3301 Springer Road
Lot 8, Block A 1.91 ACRES
City of Rockwall
Rockwall County, Texas



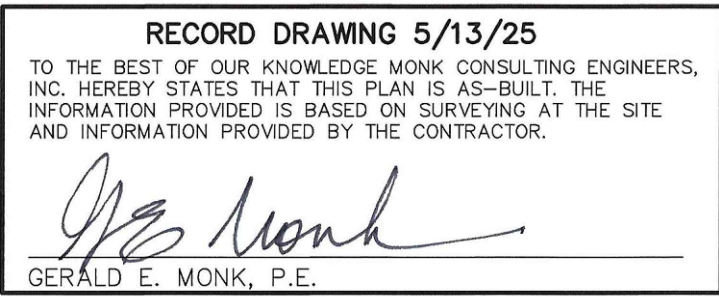
Location Map

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C103A	Pre Drainage Area Plan
C104	Post Drainage Area Plan
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C106	Pond Layout & Calculations
L1	Erosion Control Plan
L2	Landscape Plan
D101	Tree Survey
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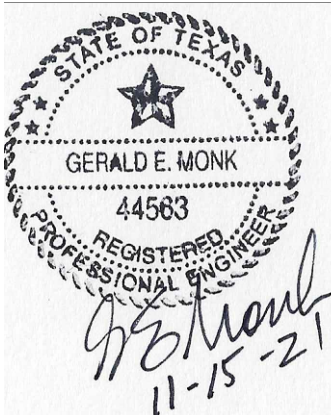
OWNER:
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

ENGINEER:
MONK CONSULTING ENGINEERS, INC.
GERALD E. MONK, P.E.
1200 W. State Street ~ Garland Texas 75040 972) 272-1763 Fax 972) 272-8761
jerry@monkconsulting.com
REG. NO.: F-2567

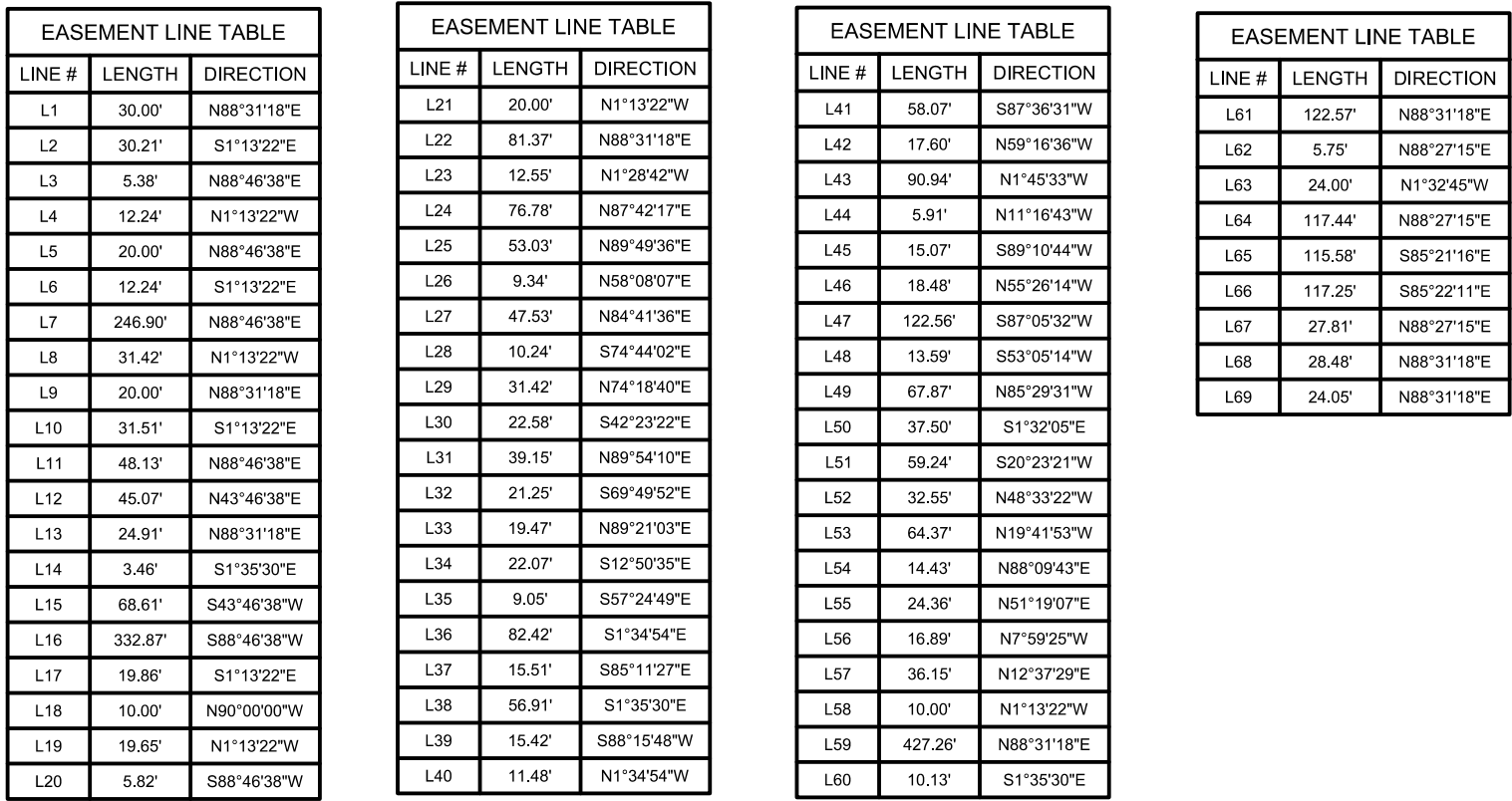


CASE #: SP2021-000
SUBMITTAL DATE:

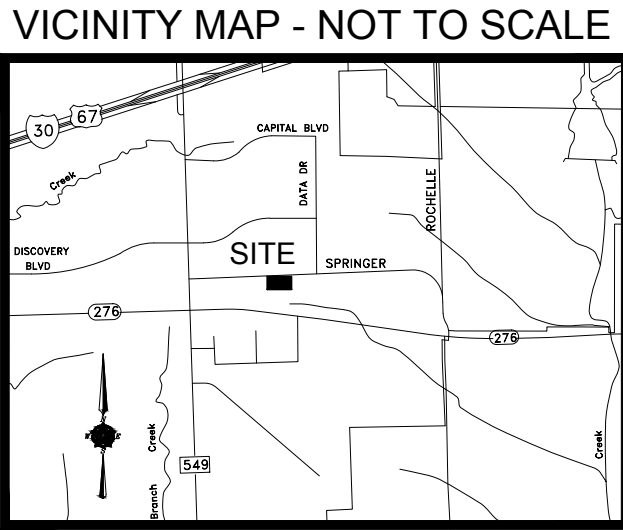
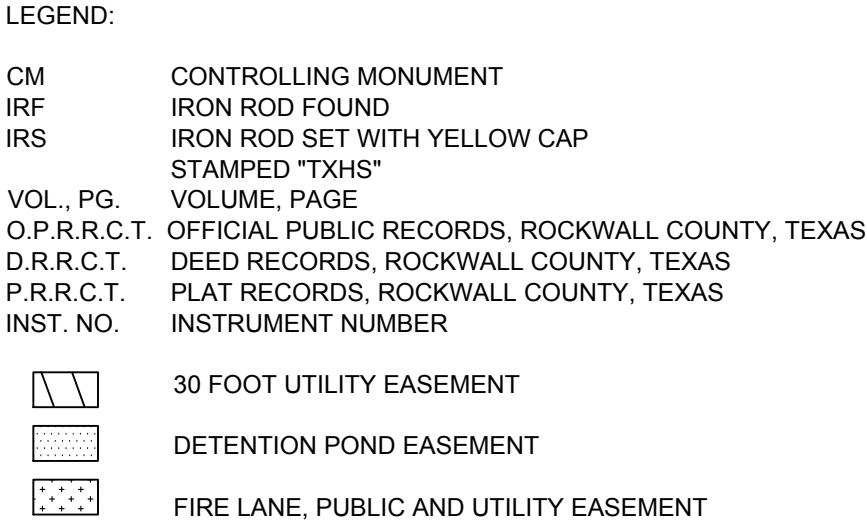
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NO.	REVISIONS/CORRECTIONS DESCRIPTION	REVISE(R) ADD(A) SHT. #S	DATED
1			



PARCEL CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	53.90'	28.14'	109°45'14"	S38° 30' 39"E 46.03'
C2	19.52'	54.00'	20°42'54"	S78° 05' 48"W 19.42'
C3	35.42'	75.00'	27°03'22"	S81° 16' 02"W 35.09'
C4	84.37'	54.00'	89°31'13"	N43° 30' 16"W 76.05'
C5	48.02'	30.00'	91°42'42"	S42° 24' 32"E 43.06'
C6	23.56'	50.00'	26°59'52"	N81° 07' 53"E 23.34'
C7	28.35'	78.00'	20°49'18"	S78° 02' 36"W 28.19'
C8	54.35'	27.78'	112°04'24"	N35° 26' 42"E 46.09'



CASE NO. P2022-004

FINAL PLAT
LOT 8, BLOCK A
SHARP ADDITION
83,348 SQUARE FEET / 1.91 ACRES
BEING A REPLAT OF LOT 5, BLOCK A
SHARP ADDITION

SITUATED IN THE J.A. RAMSEY SURVEY, ABSTRACT NO. 186
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DATE: 01/24/2022 / JOB # 2100165-5 / SCALE= 1" = 50' / DRAWN: JAM

OWNER
5 SHARP REAL ESTATE, LLC
3021 RIDGE ROAD
SUITE NO. 160
ROCKWALL, TEXAS 75032



SURVEYOR

TEXAS HERITAGE

SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
 Office 214-340-9700 Fax 214-340-9710
txheritage.com

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **SHARP ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **SHARP ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easement as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND THIS _____ DAY OF _____, 2022.

5 Sharp Real Estate, LLC

Kris Sharp - Managing Member

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Kris Sharp known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2022.

Notary Signature

OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, 5 Sharp Real Estate, L.L.C., is the sole owner of a tract of land situated in the J.A. Ramsey Survey, Abstract No. 186 in the City of Rockwall, Rockwall County, Texas, and being known as Lot 5, Block A, Sharp Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Instrument Number 20150000000701, Official Public Records, Rockwall County, Texas, and being the same tract of land described in General Warranty Deed to 5 Sharp Real Estate, L.L.C., recorded in Instrument No. 20210000010533, Official Public Records, Rockwall County, Texas, being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod with plastic yellow cap stamped "TXHS", said point being the northeast corner of Lot 4, Block A, of said Sharp Addition, also being the northwest corner of said Lot 5, Block A, lying on the south right-of-way of Springer Road (called 80' right-of-way);

THENCE North 88 degrees 31 minutes 18 seconds East, along the south right-of-way line of said Springer Road, a distance of 427.19 feet to a found 5/8 inch iron rod, said point being the northeast corner of said Lot 5, Block A, also being the northwest corner of that certain tract of land described in Special Warranty Deed to Lattimore Materials Company, L.P. recorded in Volume 1986, Page 20, Deed Records, Rockwall County, Texas;

THENCE South 01 degrees 35 minutes 30 seconds East, departing the south right-of-way line of said Springer Road, along the west line of said Lattimore tract, a distance of 193.85 feet to a nail in concrete found, said point being the southeast corner of said Lot 5, Block A, also being the northeast corner of Lot 6, Block A of said Sharp Addition;

THENCE South 88 degrees 15 minutes 48 seconds West, departing the west line of said Lattimore tract, along the north line of said Lot 6, Block A, a distance of 428.46 feet to a found 1/2 inch iron rod with plastic yellow cap stamped "TXHS", said point being the northwest corner of said Lot 6, Block A, also being the southwest corner of said Lot 5, Block A, lying on the east line of said Lot 4, Block A;

THENCE North 01 degrees 13 minutes 22 seconds West, along the east line of said Lot 4, Block A, a distance of 195.79 feet to the POINT OF BEGINNING and containing 83,348 square feet or 1.91 acre of land.

SURVEYORS CERTIFICATE:

I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Gary E. Johnson, R.P.L.S. No. 5390

GENERAL NOTES:

1) Bearings and elevations are based on NAD83, North American Datum of 1983.

2) The purpose of this replat is to add a 30 foot utility easement and a detention pond easement.

3) This property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 48397C0045 L, which bears an effective date of September 26, 2008 and IS NOT in a Special Flood Hazard Area.

4) City of Rockwall Geodetic Control Monuments

**Station No. COR-8 (Benchmark)

N: 7018063.113 E: 2609533.682 Elev.= 600.48'

**Station No. COR-9 (Benchmark)

N: 7020550.132 E: 2607463.893 Elev.= 595.63'

5) Property owner is responsible for all maintenance, repair and replacement of all drainage and detention systems.

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

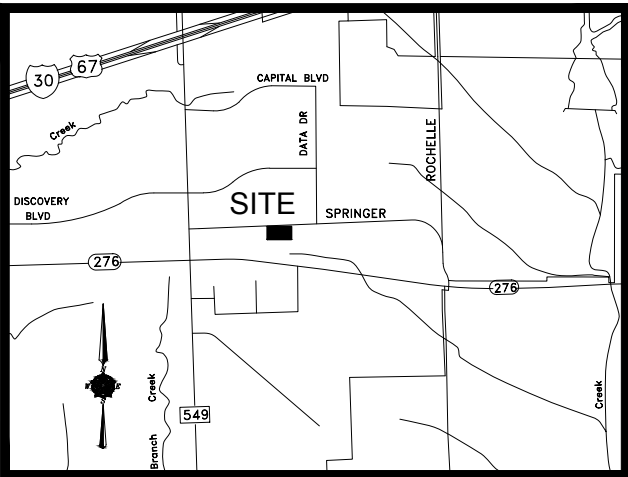
WITNESS OUR HANDS, this _____ day of _____, 2022.

Mayor, City of Rockwall

City Secretary

City Engineer

VICINITY MAP - NOT TO SCALE



SHEET 2 OF 2

CASE NO. P2022-004

FINAL PLAT LOT 8, BLOCK A SHARP ADDITION

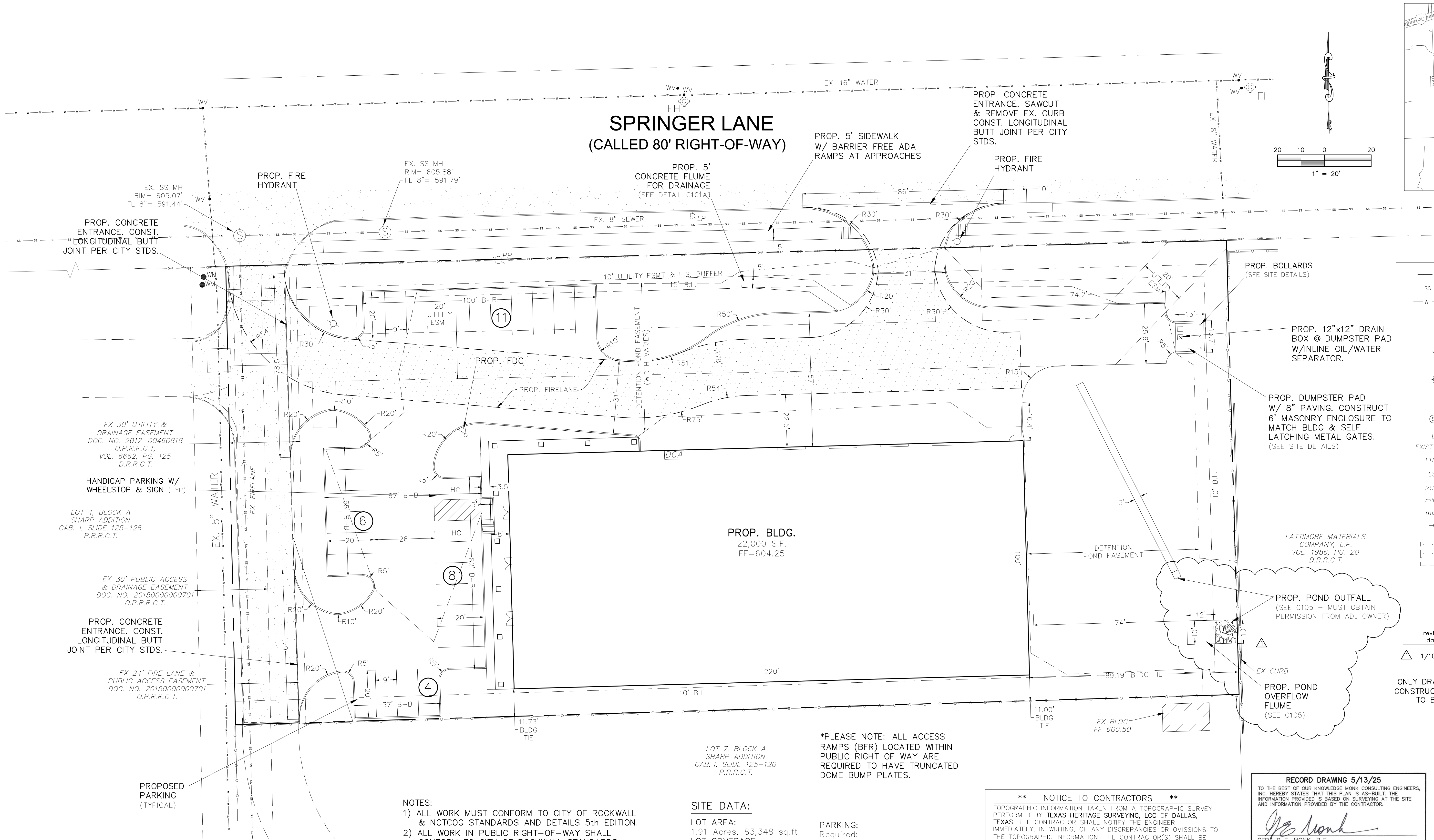
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DATE: 01/24/2022 / JOB # 2100165-5 / SCALE= 1" = 50' / DRAWN: JAM



OWNER
5 SHARP REAL ESTATE, LLC
3021 RIDGE ROAD
SUITE NO. 160
ROCKWALL, TEXAS 75032



LEGEND

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--W-- = EXISTING WATER LINE
FH = EXISTING FIRE HYDRANT
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min = MINIMUM
max = MAXIMUM
FH = PROPOSED FIRE HYDRANT
[] = PROPOSED FIRELANE

revised date: 1/10/22 Revised location of pond outfall

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

***PLEASE NOTE: ALL ACCESS RAMPS (BFR) LOCATED WITHIN PUBLIC RIGHT OF WAY ARE REQUIRED TO HAVE TRUNCATED DOME BUMP PLATES.**

SITE DATA:

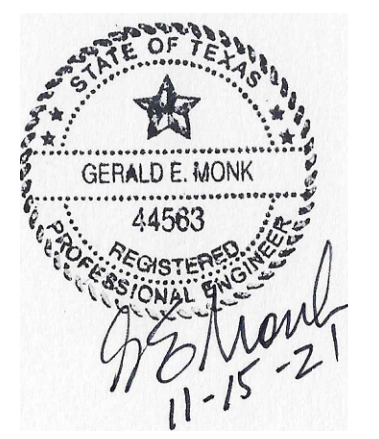
LOT AREA:
1.91 Acres, 83,348 sq.ft.
LOT COVERAGE:
26.39%
FLOOR TO AREA RATIO:
3.79:1
BUILDING AREA:
Distribution: 16,537 sq.ft.
General Office: 5,463 sq.ft.
TOTAL: 22,000 sq.ft.
BUILDING HEIGHT:
1 STORY (33.67')
PROPOSED FUTURE USE:
Office/Warehouse
IMPERVIOUS AREA
(including buildings):
52,080 sq.ft.
ZONING:
PD/46

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, LCC OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

RECORD DRAWING 5/13/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk
GERALD E. MONK, P.E.



CASE #: SP2021-000

SITE & DIMENSION CONTROL PLAN

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

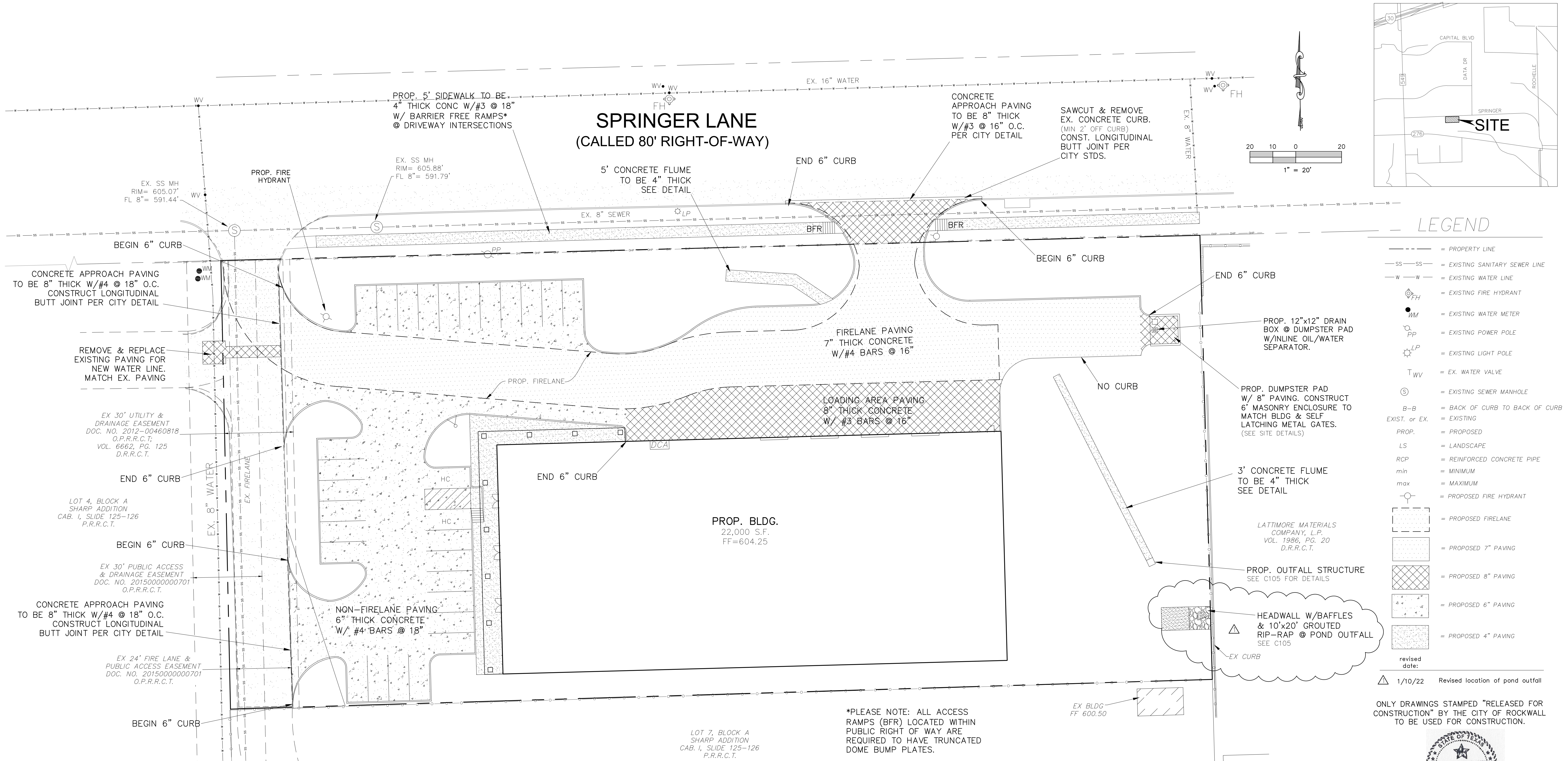
owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 11/15/21 scale: 1" = 30' sheet: C101

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'



PAVING NOTES:

- 1) APPROACHES & LOADING DOCK TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 16" ON CENTER. (O.C.)
- 2) FIRELANE TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #4 BARS @ 16" ON CENTER. (O.C.)
- 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #4 BARS @ 18" ON CENTER. (O.C.)
- 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 6 SACK MIX IN R.O.W. W/ #4 BARS @ 24" O.C.
- 7) NO SAND UNDER PAVING.
- 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

NOTES:

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- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) NO SAND UNDER SIDEWALKS.
- 5) SEE D101 FOR MORE DETAILS

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CONCRETE FLUME DETAIL
NOT TO SCALE

RECORD DRAWING 5/13/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk
GERALD E. MONK, P.E.

LEGEND

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- SS--SS = EXISTING SANITARY SEWER LINE
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- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
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- LS = LANDSCAPE
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- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT
- Proposed Firelane
- Proposed 7" Paving
- Proposed 8" Paving
- Proposed 6" Paving
- Proposed 4" Paving

revised date: 1/10/22 Revised location of pond outfall

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

STATE OF TEXAS
GERALD E. MONK
44583
REGISTERED PROFESSIONAL ENGINEER
11-15-21

CASE #: SP2021-000

PAVING PLAN

SHARP INSULATION

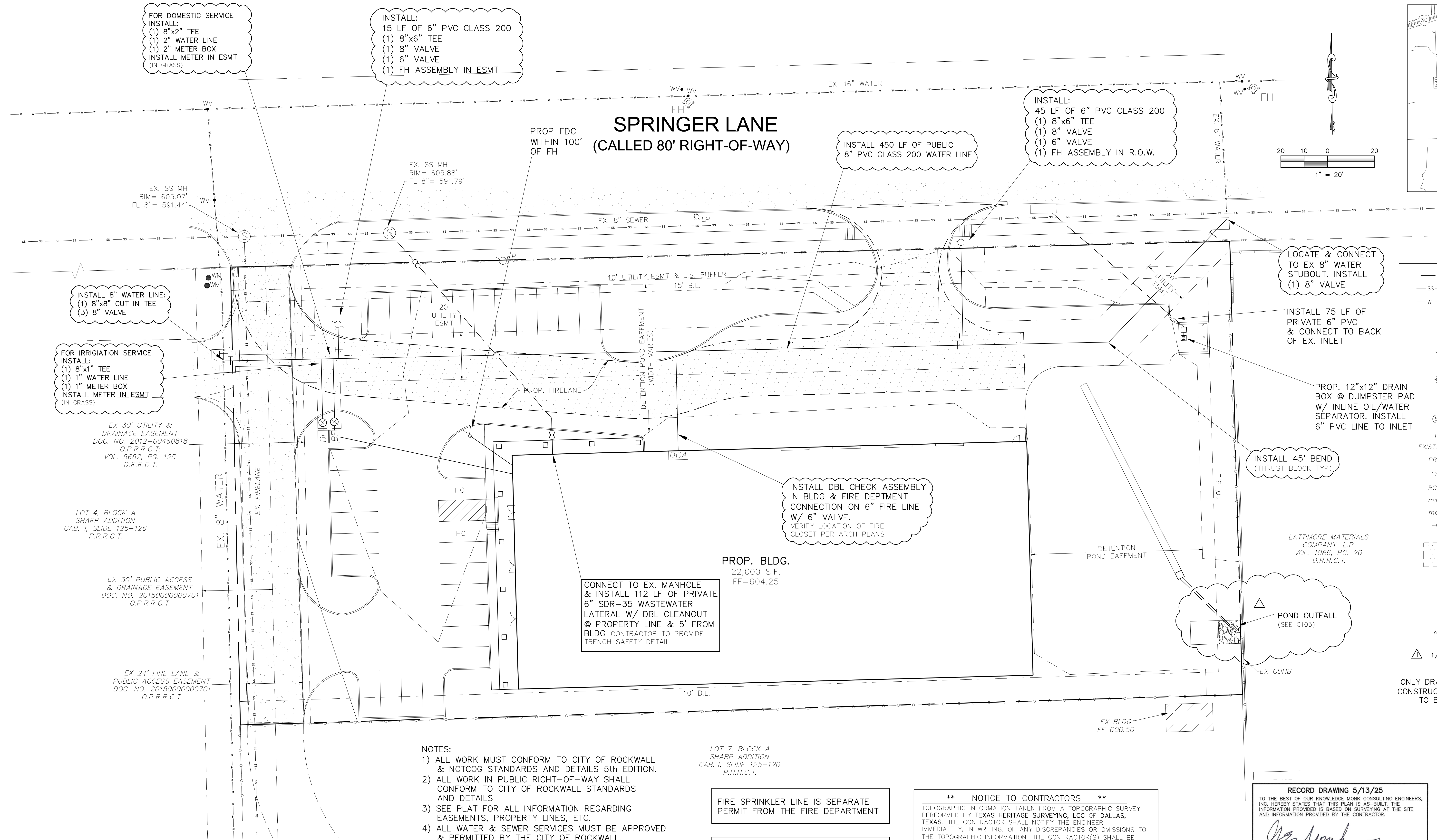
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1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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date: 11/15/21 scale: 1" = 30' sheet: C101A



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RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
	= PROPOSED FIRE HYDRANT
	= PROPOSED FIRELANE

revised date: 1/10/22 Revised location of pond outfall

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- NOTES:
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 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL WATER & SEWER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
 - 5) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
 - 6) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.
 - 7) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION.
 - 8) CONTRACTOR TO INSTALL GREEN EMS DISKS ON THE SANITARY SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
 - 9) ALL MANHOLES TO BE RAVEN LINED OR CONSHEILD LINER (TERRA COTTA COLOR).
 - 10) WATER LINE: DR14 C-900 CLASS 200

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

FIRE SPRINKLER LINE IS SEPARATE PERMIT FROM THE FIRE DEPARTMENT

WATER LINE: DR14 C-900 CLASS 200

**** NOTICE TO CONTRACTORS ****

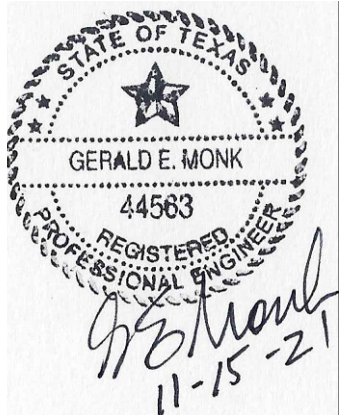
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WARNING:
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RECORD DRAWING 5/13/25

TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk, P.E.



CASE #: SP2021-000

UTILITY PLAN

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

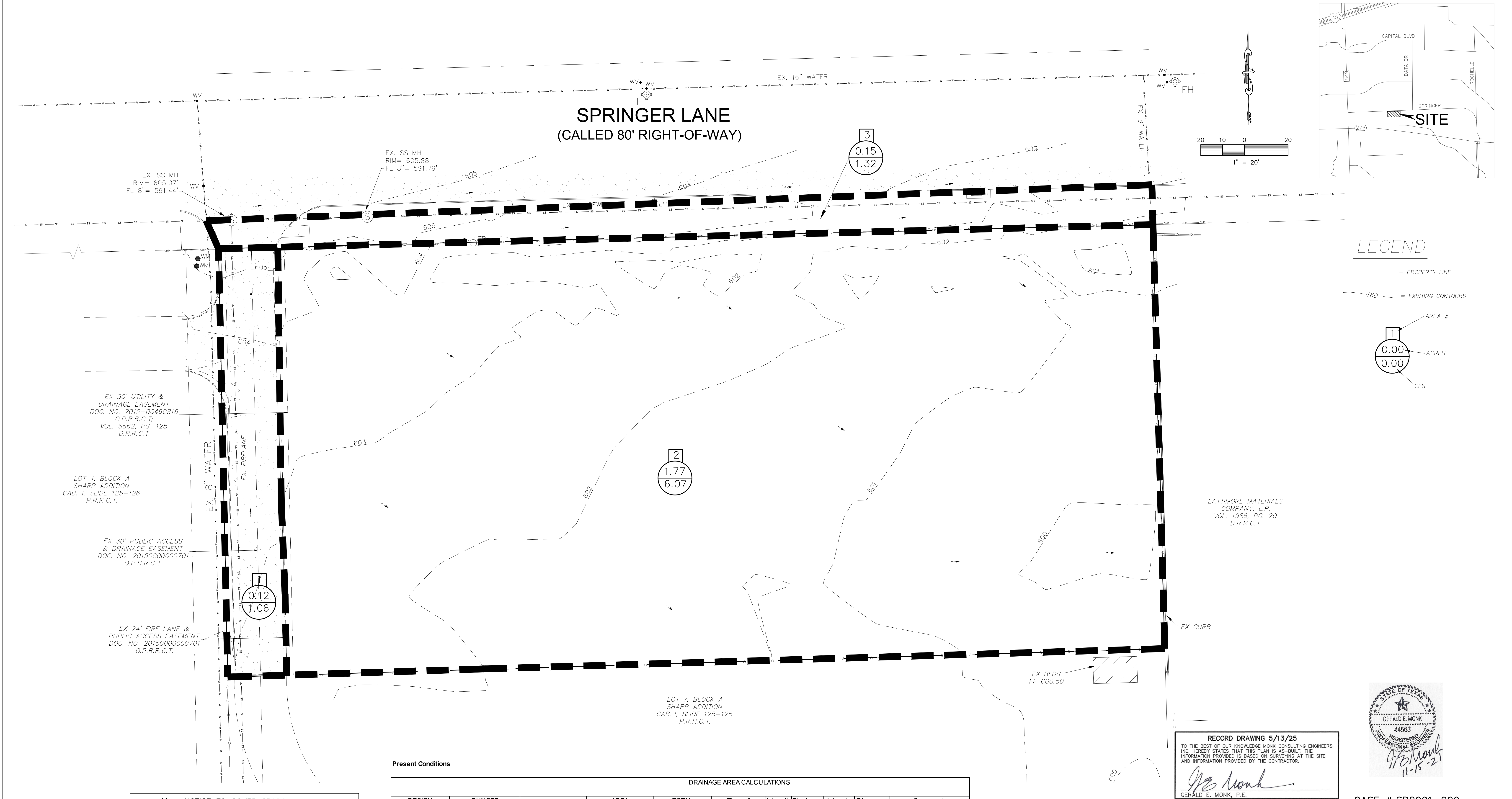
OWNER
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 11/15/21 scale: 1" = 30' sheet: C102

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'

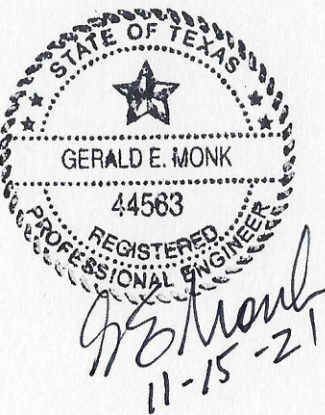


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Present Conditions

DRAINAGE AREA CALCULATIONS										
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity I 10yr in/hr	Discharge Q 10yr cfs	Intensity I 100yr in/hr	Discharge Q 100yr cfs	Comments
1	0.9	1	0.120	0.11	10.00	7.10	0.77	9.80	1.06	Existing Paved area
2	0.35	1	1.770	0.62	10.00	7.10	4.40	9.80	6.07	Undeveloped
3	0.9	1	0.150	0.14	10.00	7.10	0.96	9.80	1.32	ROW
2.040										

RECORD DRAWING 5/13/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



CASE # SP2021-000

PRE-DRAINAGE AREA PLAN

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

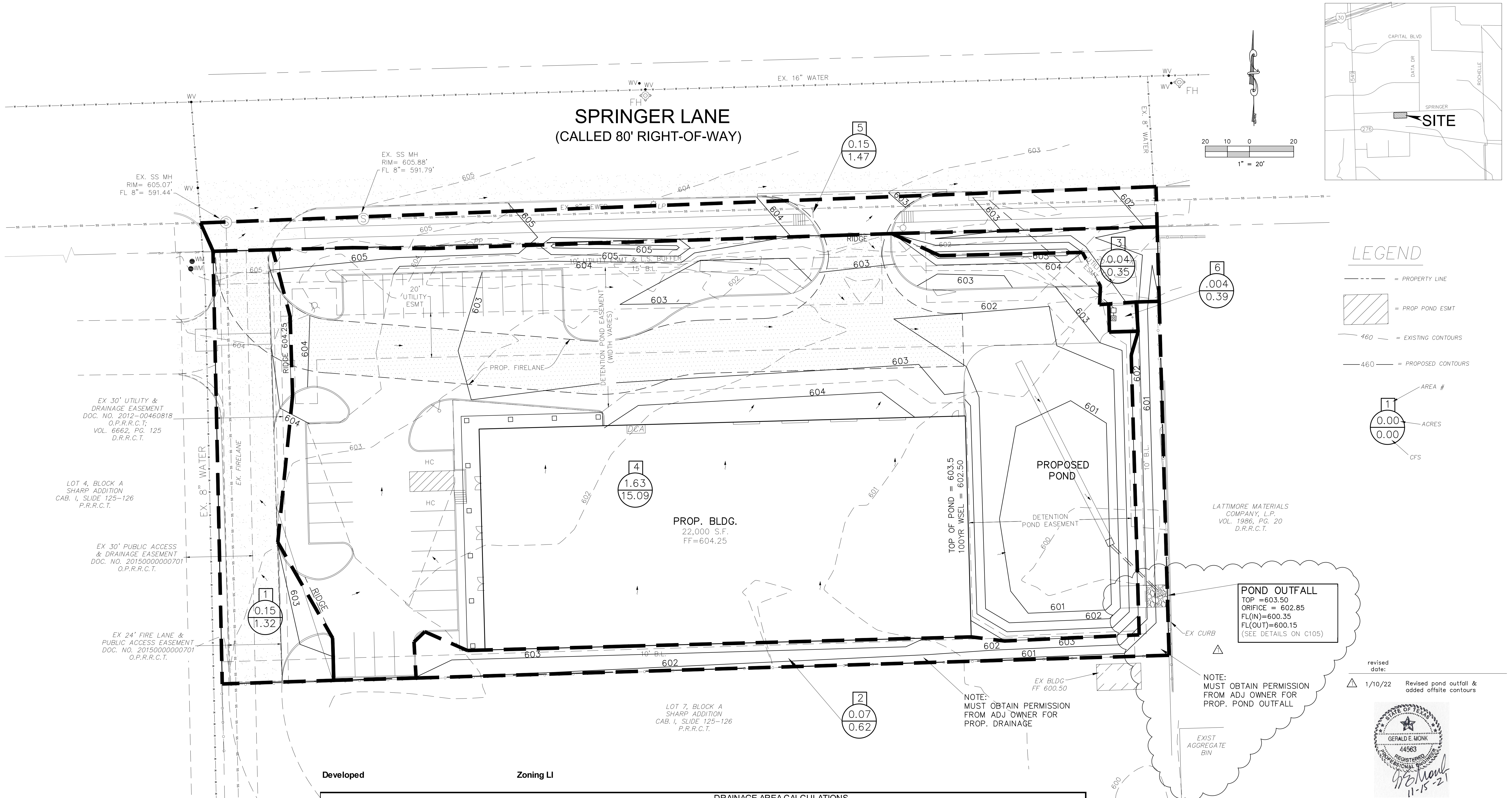
owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 11/15/21 scale: 1" = 30' sheet: C103

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'



LEGEND

--- = PROPERTY LINE

[Hatched Box] = PROP POND ESMT

460 = EXISTING CONTOURS

—460— = PROPOSED CONTOURS

AREA #

1

0.00

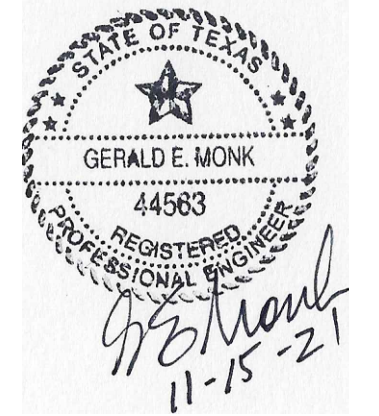
0.00

ACRES

CFS

POND OUTFALL
TOP = 603.50
ORIFICE = 602.85
FL(IN)=600.35
FL(OUT)=600.15
(SEE DETAILS ON C105)

revised date:
1/10/22 Revised pond outfall & added offsite contours



RECORD DRAWING 5/13/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'

CASE #: SP2021-000

POST-DRAINAGE AREA PLAN

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75042
(214)392-0689

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

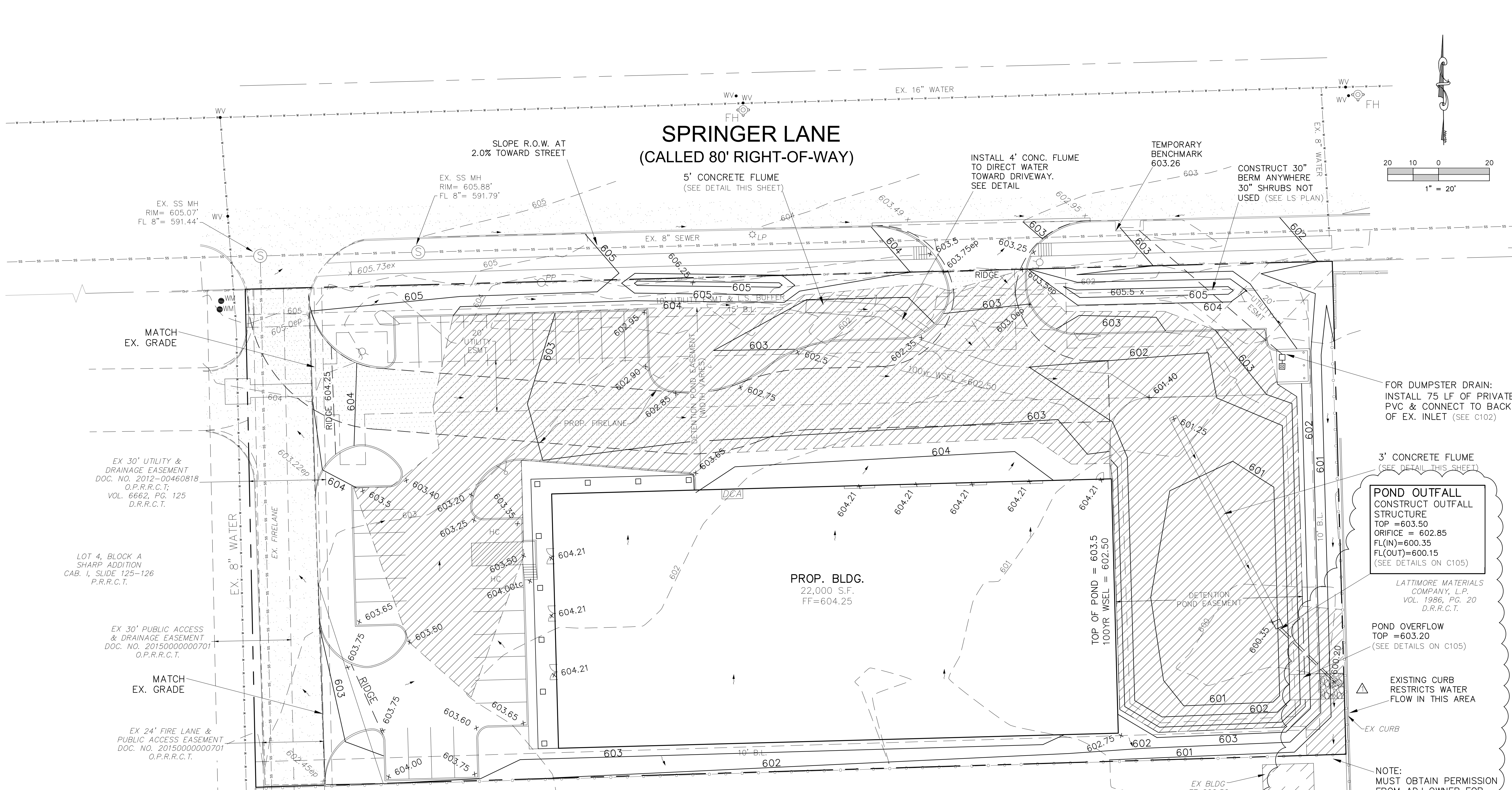
REG NO.: F-2567

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date: 11/15/21 scale: 1" = 30' sheet: C103A

DRAINAGE AREA CALCULATIONS											
DESIGN POINT ID	RUNOFF COEF. "C"	"Ca"	AREA "A" Acres	TOTAL "CA"	Time of Concentration (Min.)	Intensity 1 10yr in/hr	Discharge Q 10yr cfs	Intensity 1 100yr in/hr	Discharge Q 100yr cfs	Comments	
1	0.9	1	0.1500	0.14	10.00	7.10	0.96	9.80	1.32	By Pass	12
2	0.9	1	0.0700	0.06	10.00	7.10	0.45	9.80	0.62	By Pass	
3	0.9	1	0.0400	0.04	10.00	7.10	0.26	9.80	0.35	By Pass	
4	0.9	1	1.6300	1.54	10.00	7.10	10.93	9.80	15.09	TO Pond	
5	0.9	1	0.1500	0.15	10.00	7.10	1.07	9.80	1.47	ROW	
6	0.9	1	0.0040	0.04	10.00	7.10	0.28	9.80	0.39	To storm inlet	
			2.0440								

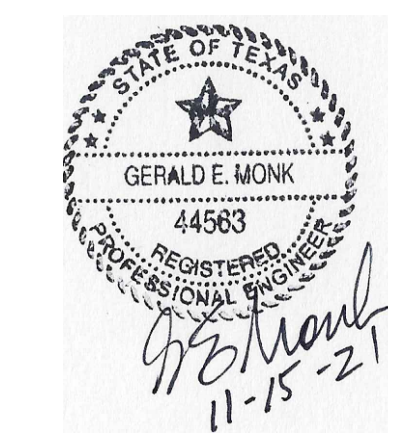
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LEGEND

- = PROPERTY LINE
- 603 = EXISTING CONTOURS
- 603 = PROPOSED CONTOURS
- x 603.00 TC or x 602.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
ep = EDGE OF PAVEMENT
tw = TOP OF WALL
bw = BOTTOM OF WALL
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- SS-SS = EXISTING SANITARY SEWER LINE
- W-W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T WV = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- [Symbol] = PROPOSED FIRE HYDRANT
- [Hatched Area] = PROPOSED POND ESMT
- revised date: 1/10/22

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #: SP2021-000

GRADING PLAN

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

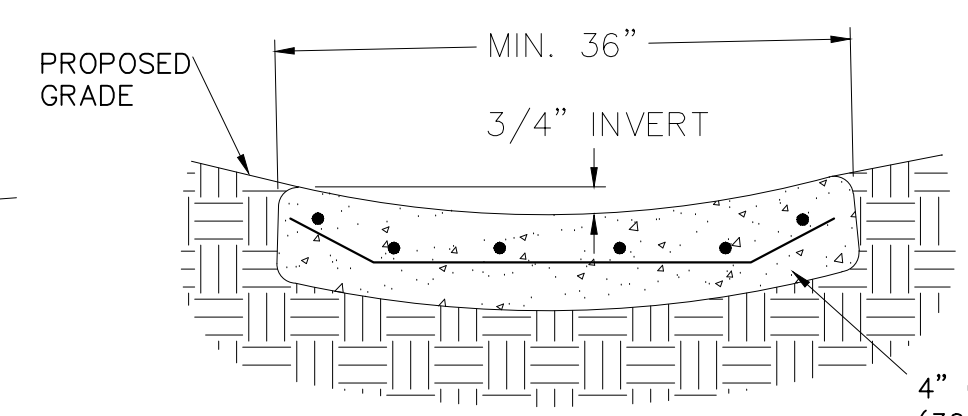
owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 11/15/21 scale: 1" = 30' sheet: C104

- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 6) ANY STORM PIPE INSTALLED IN CITY R.O.W. MUST BE RCP.
 - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.
 - 9) ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STD DENSITY USING A SHEEP'S FOOT ROLLER.



CONCRETE FLUME DETAIL
NOT TO SCALE

**** NOTICE TO CONTRACTORS ****

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POND OUTFALL
CONSTRUCT OUTFALL STRUCTURE
TOP = 603.50
ORIFICE = 602.85
FL(IN) = 600.35
FL(OUT) = 600.15
(SEE DETAILS ON C105)

POND OVERFLOW
TOP = 603.20
(SEE DETAILS ON C105)

EXISTING CURB RESTRICTS WATER FLOW IN THIS AREA

NOTE:
MUST OBTAIN PERMISSION FROM ADJ OWNER FOR PROP. POND OUTFALL

RECORD DRAWING 5/13/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

Gerald E. Monk, P.E.

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP. ENTRANCE ALONG SPRINGER ROAD
ELEVATION = 603.26'

LOT 4, BLOCK A
SHARP ADDITION
CAB. I, SLIDE 125-126
P.R.R.C.T.

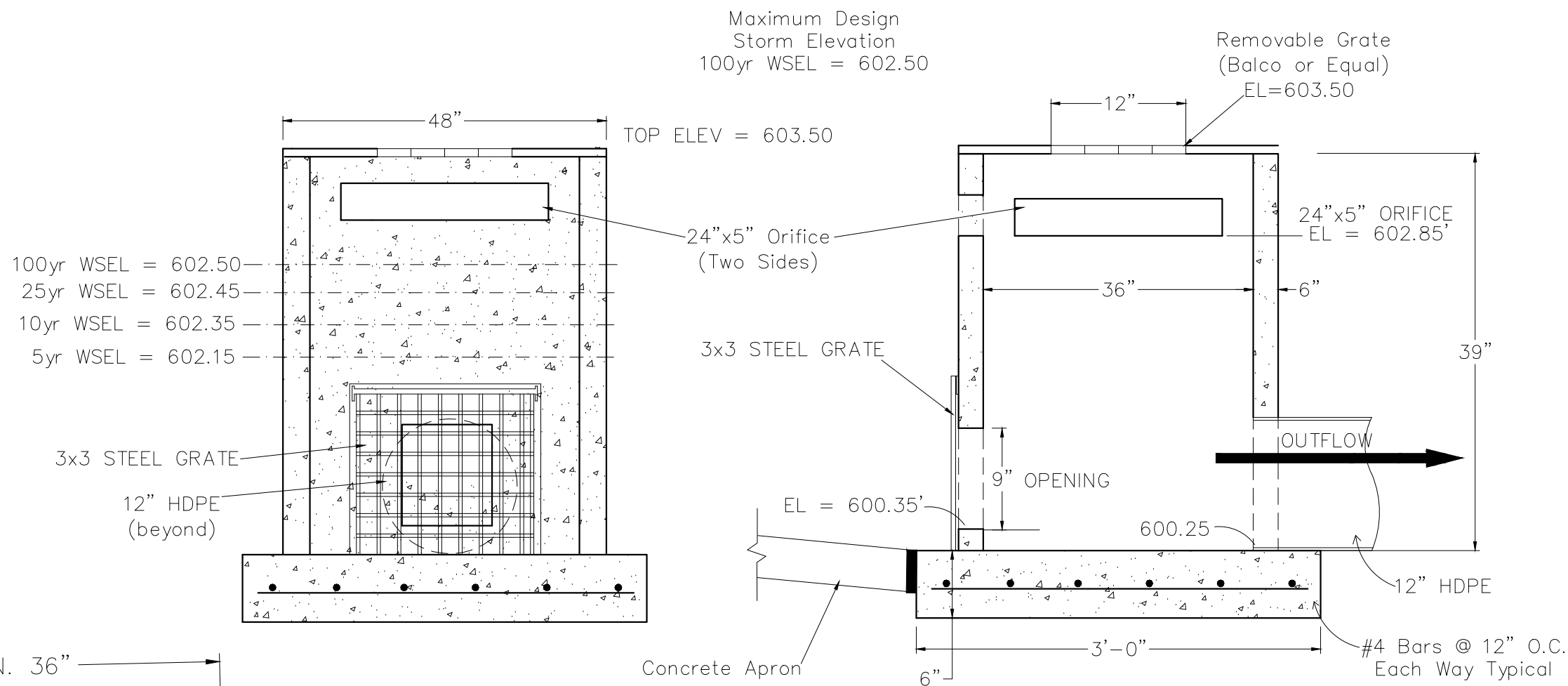
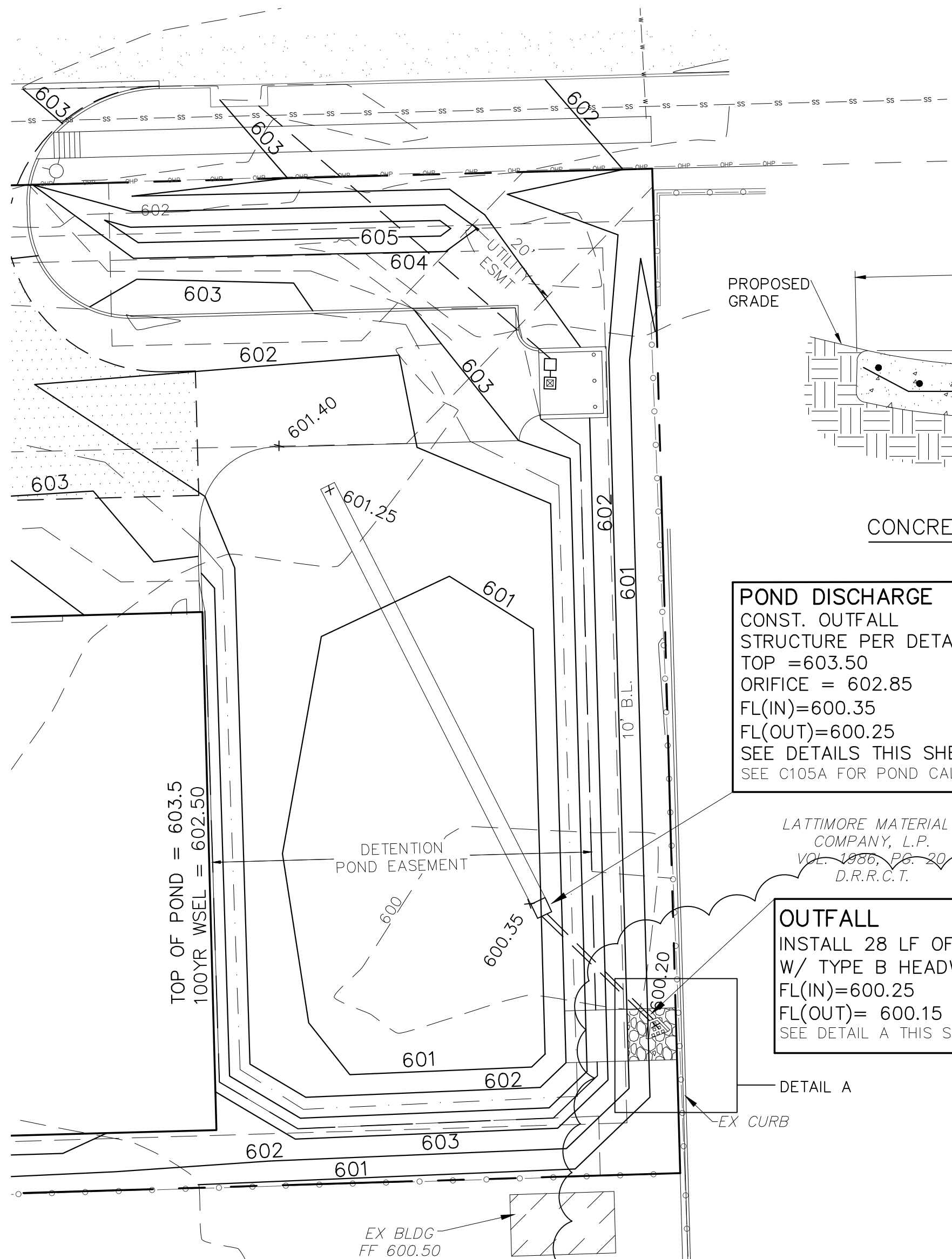
EX 30' PUBLIC ACCESS & DRAINAGE EASEMENT
DOC. NO. 20150000000701
O.P.R.R.C.T.

EX 24' FIRE LANE & PUBLIC ACCESS EASEMENT
DOC. NO. 20150000000701
O.P.R.R.C.T.

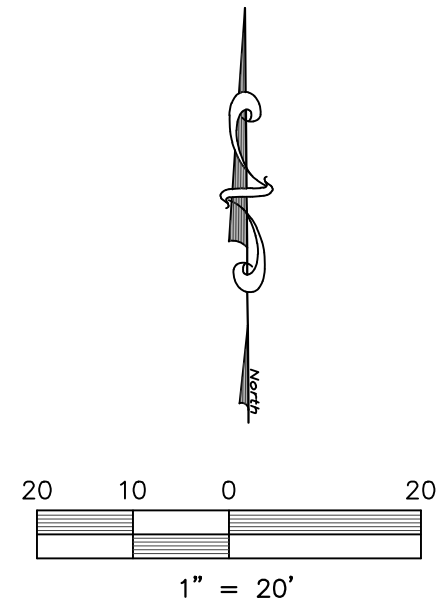
LOT 1, BLOCK A
YETTS ADDITION
CAB. H, SLIDE 254
P.R.R.C.T.

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Summary Detention Pond A Calculations				
			Volume	Elevation
Qallow 100	2.37	cfs	20,255	cf
Qallow 25	1.06	cfs	18,815	cf
Qallow 10	0.80	cfs	17,205	cf
Qallow 5	0.14	cfs	15,245	cf
				602.50
				602.45
				602.35
				602.15



- NOTE:
- ALL DRAINAGE STRUCTURE CONCRETE SHALL BE 4,200 (COMPACTED W/ SHEEP'S FOOT ROLLER) 6 SACK MIX (MACHINE POUR); 6.5 SACK MIX (HAND POUR), REINFORCED WITH #4 STEEL BARS ON 8" CENTERS BOTH WAYS, UNLESS OTHERWISE NOTED.
 - ALL FILL AND LIME SUBGRADE SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE.
 - NO SAND SHALL BE USED UNDER PAVEMENT.



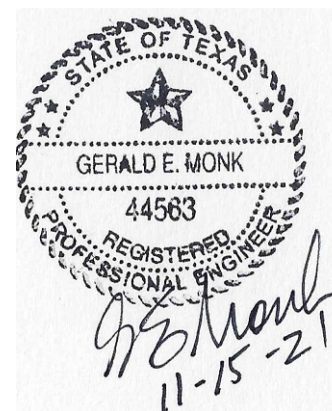
LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or 462.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- lw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- SS-SS = EXISTING SANITARY SEWER LINE
- W-W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T WV = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ = PROPOSED FIRE HYDRANT

revised date:

1/10/22 Revised location of pond outfall

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #: SP2021-000

POND LAYOUT

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by

MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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date:
11/15/21

scale:
1" = 30'

sheet:
C105

Pond Report

Hydraflow Hydrographs by Intelsolve v9.01

Thursday, Nov 11, 2021

Pond No. 1 - Sharp Pond

Pond Data

Contours - User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 600.35 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	600.35	00	0	0
0.65	601.00	4,500	1,463	1,463
1.65	602.00	9,923	7,212	8,674
2.65	603.00	30,325	20,124	28,798
3.15	603.50	31,000	15,331	44,129

Culvert / Orifice Structures

	[A]	[B]	[C]	[PrRsr]
Rise (in)	= 12.00	9.00	0.00	0.00
Span (in)	= 12.00	9.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert EL (ft)	= 600.35	600.36	0.00	0.00
Length (ft)	= 25.00	0.10	0.00	0.00
Slope (%)	= 1.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	.013
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	Yes	No	No

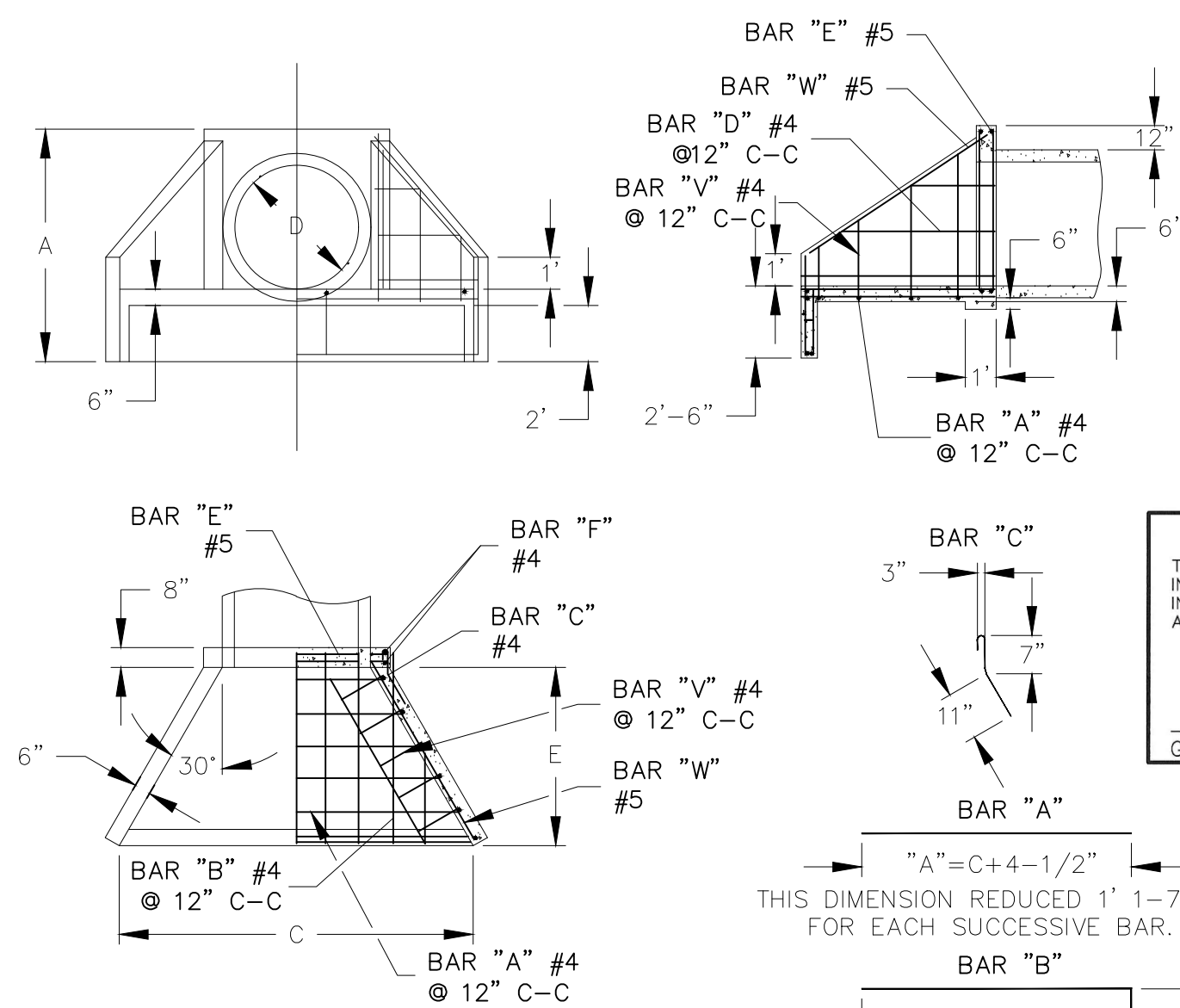
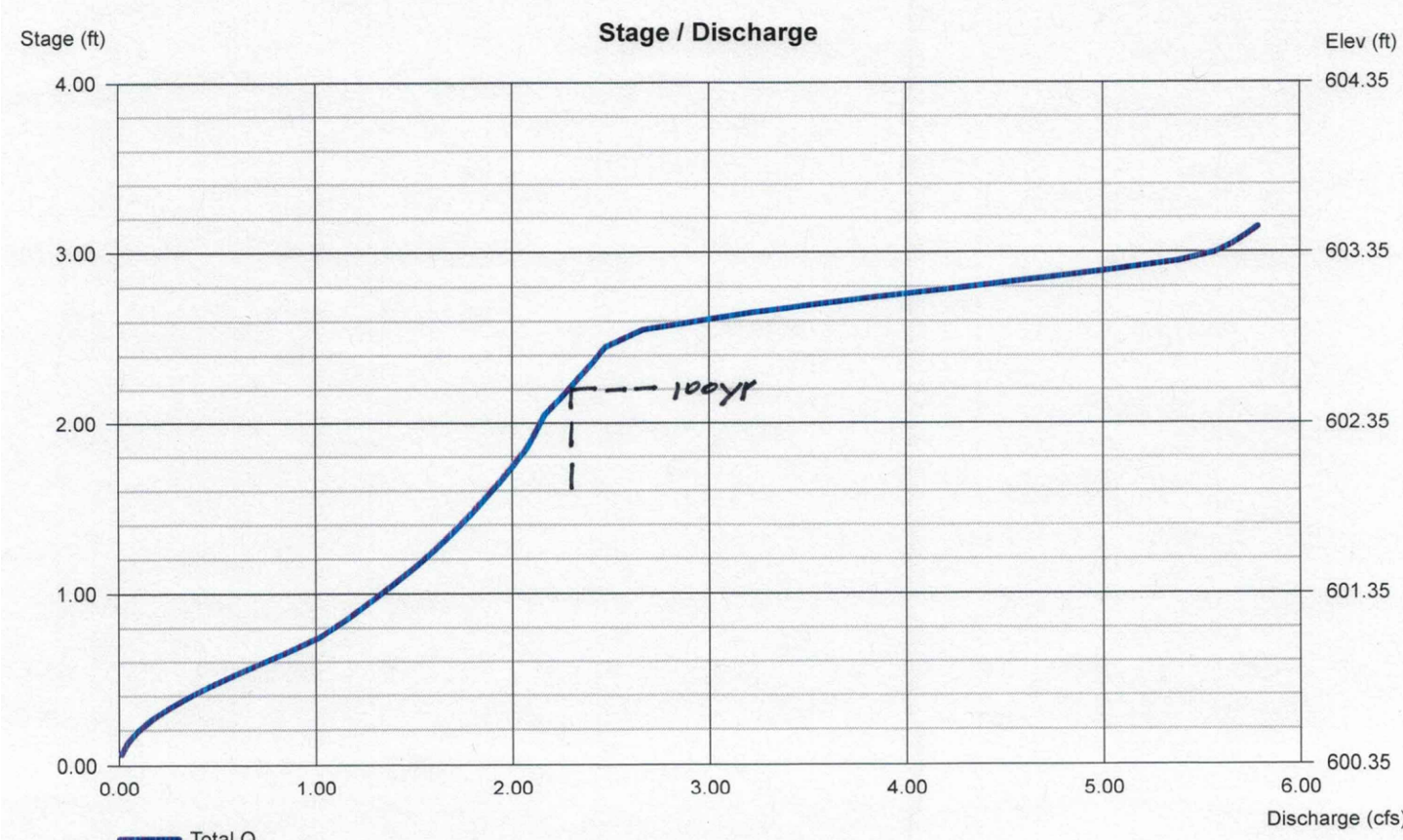
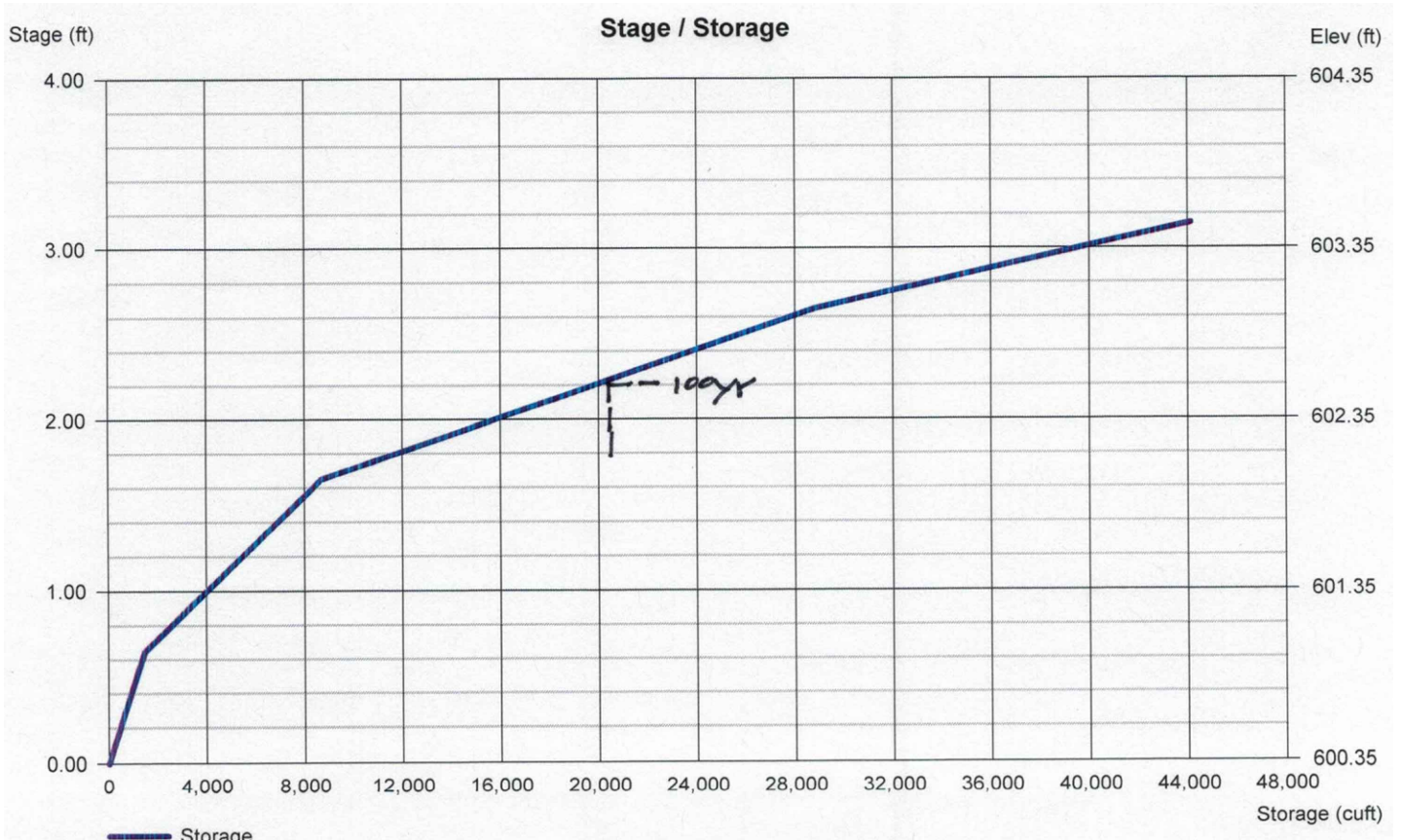
Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 4.00	0.00	0.00	0.00
Crest EL (ft)	= 602.85	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Riser	---	---	---
Multi-Stage	= Yes	No	No	No
Exfil. (in/hr)	= 0.000 (by Contour)	---	---	---
TW Elev. (ft)	= 0.00	---	---	---

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrRsr cfs	Wt A cfs	Wt B cfs	Wt C cfs	Wt D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	600.35	0.00	0.00	0.00	---	0.00	---	---	---	---	---	0.00
0.65	1,463	601.00	0.84	0.84	---	---	0.00	---	---	---	---	---	0.84
1.65	8,674	602.00	1.93	1.93	---	---	0.00	---	---	---	---	---	1.93
2.65	28,798	603.00	3.21	2.43	---	---	0.77	---	---	---	---	---	3.21
3.15	44,129	603.50	5.78	1.18	---	---	4.60	---	---	---	---	---	5.78

Note: Culvert/Orifice outfalls are analyzed under inlet and outlet control. Weir risers are checked for orifice conditions.



- NOTES:
- SEE TABLE FOR DIMENSIONS.
 - ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4".
 - ALL REINFORCING STEEL SHALL HAVE 2" MIN COVER.

TYPE B HEADWALL

N.T.S.

CONCRETE HEADWALL DIMENSIONS					
HEADWALL SIZE	A	B	C	D	E
12"	2'-6"	2'-11"	4' 7/8"	12"	2'-0"

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

OUTFALL DETAIL A

NOT TO SCALE

6" BAFFLES PER DETAIL

8"-12" LS ROCK, GROUTED

EX CURB

EX BLDG FF 600.50

DETENTION POND EASEMENT

TOP OF POND = 603.5

100YR WSEL = 602.50

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Pond A

Overall Detention Pond Modified Rational

Present Conditions		
Q=CIA		By-Pass Acreage
A=	1.88	1.53
C=	0.35	
Tc=	20.00	
I100=	8.30	
Q100=	5.46	

Future Conditions	Offsite Condition	ByPass	Q Allow
A= 1.88	-	0.350	
A (adj) 1.53			
C= 0.90	0.350	0.90	
Tc 10.00	20	10.00	
H100= 9.80	8.30	9.80	
Q100= 13.49	-	3.09	2.37 CFS

Flow for Storm Duration			(Developed)	Flow for Storm Durations (Offsite)			
Time	I	C	Q (cfs)	Time	I	C	Q (cfs)
10 min	9.80	0.90	13.495	10 min	9.80	0.35	
15 min	9.00	0.90	12.393	15 min	9.00	0.35	
20 min	8.30	0.90	11.429	20 min	8.30	0.35	
30 min	6.90	0.90	9.501	30 min	6.90	0.35	
40 min	5.80	0.90	7.987	40 min	5.80	0.35	
50 min	5.00	0.90	6.885	50 min	5.00	0.35	
60 min	4.50	0.90	6.197	60 min	4.50	0.35	
70 min	4.00	0.90	5.508	70 min	4.00	0.35	
80 min	3.70	0.90	5.095	80 min	3.70	0.35	
90 min	3.50	0.90	4.820	90 min	3.50	0.35	
100 min	3.40	0.90	4.682	100 min	3.40	0.35	
110 min	3.20	0.90	4.406	110 min	3.20	0.35	

Storage Calculations

10 min			CF
Inflow	8,097	Storage	6,672
Outflow	1,425		
15 min			
Inflow	11,154	Storage	9,373
Outflow	1,781		
20 min			
Inflow	13,715	Storage	11,578
Outflow	2,137		
30 min			
Inflow	17,102	Storage	14,253
Outflow	2,849		
40 min			
Inflow	19,168	Storage	15,606
Outflow	3,562		
50 min			
Inflow	20,655	Storage	16,381
Outflow	4,274		
60 min			
Inflow	22,307	Storage	17,321
Outflow	4,986		
70 min			
Inflow	23,134	Storage	17,435
Outflow	5,699		
80 min			
Inflow	24,456	Storage	18,045
Outflow	6,411		
90 min			
Inflow	26,025	Storage	18,902
Outflow	7,123		
100 min			
Inflow	28,091	Storage	20,255
Outflow	7,836		
110 min			
Inflow	26,438	Storage	17,891
Outflow	8,548		

Summary Detention Pond A Calculations					
			Volume		Elevation
Qallow 100	2.37	cfs	20,255	cf	602.50
Qallow 25	1.06	cfs	18,815	cf	602.45
Qallow 10	0.80	cfs	17,205	cf	602.35
Qallow 5	0.14	cfs	15,245	cf	602.15

Overall Detention Pond Modified Rational

Present Conditions		
Q=CIA	By-Pass Acreage	New Acreage
A=	1.88	0.350
C=	0.35	1.53
Tc=	20.00	
I25	6.30	
Q25	4.15	

Future Conditions	Offsite Condition	ByPass	Q Allow
A=	-	0.35	
A (adj)			
C=	0.350	0.90	
Tc	20	10.00	
I25	8.30	9.80	
Q25	-	3.09	1.06 cfs

Flow for Storm Duration			(Developed)		Flow for Storm Durations (Offsite)			
Time	I	C	Q (cfs)		Time	I	C	Q (cfs)
10 min	8.30	0.90	11.429		10 min	8.30	0.35	-
15 min	7.50	0.90	10.328		15 min	7.50	0.35	-
20 min	6.60	0.90	9.088		20 min	6.60	0.35	-
30 min	5.50	0.90	7.574		30 min	5.50	0.35	-
40 min	4.60	0.90	6.334		40 min	4.60	0.35	-
50 min	4.00	0.90	5.508		50 min	4.00	0.35	-
60 min	3.50	0.90	4.820		60 min	3.50	0.35	-
70 min	3.30	0.90	4.544		70 min	3.30	0.35	-
80 min	3.10	0.90	4.269		80 min	3.10	0.35	-
90 min	2.90	0.90	3.993		90 min	2.90	0.35	-
100 min	2.70	0.90	3.718		100 min	2.70	0.35	-
110 min	2.50	0.90	3.443		110 min	2.50	0.35	-

Storage Calculations

10 min			CF
Inflow	6,857	Storage	6,222
Outflow	635		
15 min			
Inflow	9,295	Storage	8,501
Outflow	794		
20 min			
Inflow	10,906	Storage	9,953
Outflow	953		
30 min			
Inflow	13,632	Storage	12,362
Outflow	1,270		
40 min			
Inflow	15,202	Storage	13,614
Outflow	1,588		
50 min			
Inflow	16,524	Storage	14,619
Outflow	1,905		
60 min			
Inflow	17,350	Storage	15,128
Outflow	2,223		
70 min			
Inflow	19,085	Storage	16,545
Outflow	2,540		
80 min			
Inflow	20,490	Storage	17,632
Outflow	2,858		
90 min			
Inflow	21,564	Storage	18,389
Outflow	3,175		
100 min			
Inflow	22,307	Storage	18,815
Outflow	3,493		
110 min			
Inflow	20,655	Storage	16,845
Outflow	3,810		

Overall Detention Pond Modified Rational

Present Conditions		
Q=CIA	By-Pass Acreage	New Acreage
A=	1.88	
C=	0.35	1.53
Tc=	20.00	
I10	5.90	
Q10=	3.88	

Future Conditions	Offsite Condition	ByPass	Q Allow
A= 1.88	-	0.35	
A (adj) 1.53			
C= 0.90	0.350	0.90	
Tc 10.00	20	10.00	
H10 7.10	8.30	9.80	
Q10= 12.01	-	3.09	0.80 cfs

Flow for Storm Duration		(Developed)		Flow for Storm Durations (Offsite)			
Time	I	C	Q (cfs)	Time	I	C	Q (cfs)
10 min	7.10	0.90	9.777	10 min	7.10	0.35	-
15 min	6.50	0.90	8.951	15 min	6.50	0.35	-
20 min	5.90	0.90	8.124	20 min	5.90	0.35	-
30 min	4.80	0.90	6.610	30 min	4.80	0.35	-
40 min	4.00	0.90	5.508	40 min	4.00	0.35	-
50 min	3.50	0.90	4.820	50 min	3.50	0.35	-
60 min	3.00	0.90	4.131	60 min	3.00	0.35	-
70 min	2.80	0.90	3.856	70 min	2.80	0.35	-
80 min	2.60	0.90	3.580	80 min	2.60	0.35	-
90 min	2.50	0.90	3.443	90 min	2.50	0.35	-
100 min	2.40	0.90	3.305	100 min	2.40	0.35	-
110 min	2.30	0.90	3.167	110 min	2.30	0.35	-

Storage Calculations

10 min			CF
Inflow	5,866	Storage	5,389
Outflow	477		
15 min			
Inflow	8,055	Storage	7,459
Outflow	596		
20 min			
Inflow	9,749	Storage	9,033
Outflow	716		
30 min			
Inflow	11,897	Storage	10,943
Outflow	954		
40 min			
Inflow	13,219	Storage	12,026
Outflow	1,193		
50 min			
Inflow	14,459	Storage	13,027
Outflow	1,431		
60 min			
Inflow	14,872	Storage	13,202
Outflow	1,670		
70 min			
Inflow	16,194	Storage	14,285
Outflow	1,908		
80 min			
Inflow	17,185	Storage	15,038
Outflow	2,147		
90 min			
Inflow	18,590	Storage	16,204
Outflow	2,386		
100 min			
Inflow	19,829	Storage	17,205
Outflow	2,624		
110 min			
Inflow	19,003	Storage	16,140
Outflow	2,863		

Overall Detention Pond Modified Rational

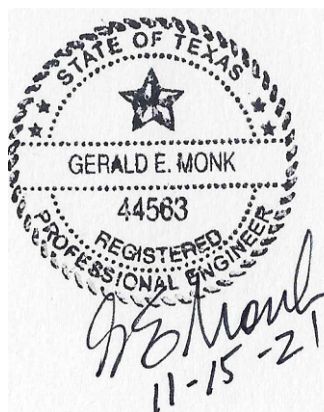
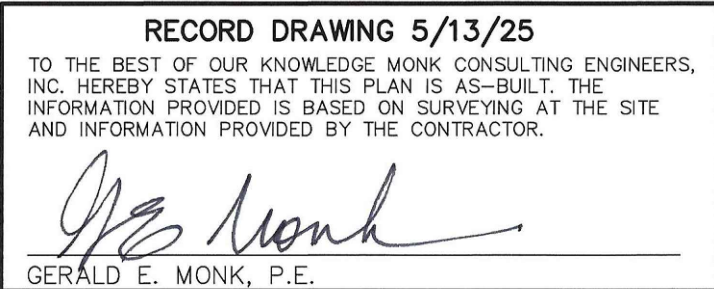
Present Conditions		
Q=CIA	By-Pass Acreage	New Acreage
A=	1.88	0.350
C=	0.35	1.53
Tc=	20.00	
I5	4.90	
Q5=	3.22	

Future Conditions	Offsite Condition	ByPass	Q Allow
A= 1.88	-	0.35	
A (adj) 1.53			
C= 0.90	0.350	0.90	
Tc 10.00	20	10.00	
I5 6.10	8.30	9.80	
Q5= 10.32	-	3.09	0.14 cfs

Flow for Storm Duration		(Developed)		Flow for Storm Durations (Offsite)			
Time	I	C	Q (cfs)	Time	I	C	Q (cfs)
10 min	6.10	0.90	8.400	10 min	9.80	0.35	-
15 min	5.50	0.90	7.574	15 min	9.00	0.35	-
20 min	4.90	0.90	6.747	20 min	8.30	0.35	-
30 min	4.10	0.90	5.646	30 min	6.90	0.35	-
40 min	3.40	0.90	4.682	40 min	5.80	0.35	-
50 min	2.80	0.90	3.856	50 min	5.00	0.35	-
60 min	2.60	0.90	3.580	60 min	4.50	0.35	-
70 min	2.40	0.90	3.305	70 min	4.00	0.35	-
80 min	2.30	0.90	3.167	80 min	3.70	0.35	-
90 min	2.10	0.90	2.892	90 min	3.50	0.35	-
100 min	1.90	0.90	2.616	100 min	3.40	0.35	-
110 min	1.80	0.90	2.479	110 min	3.20	0.35	-

Storage Calculations

<u>10 min</u>			CF
Inflow	5,040	Storage	4,958
Outflow	82		
<u>15 min</u>			
Inflow	6,816	Storage	6,713
Outflow	103		
<u>20 min</u>			
Inflow	8,097	Storage	7,973
Outflow	123		
<u>30 min</u>			
Inflow	10,162	Storage	9,998
Outflow	165		
<u>40 min</u>			
Inflow	11,236	Storage	11,031
Outflow	206		
<u>50 min</u>			
Inflow	11,567	Storage	11,320
Outflow	247		
<u>60 min</u>			
Inflow	12,889	Storage	12,601
Outflow	288		
<u>70 min</u>			
Inflow	13,880	Storage	13,551
Outflow	329		
<u>80 min</u>			
Inflow	15,202	Storage	14,832
Outflow	370		
<u>90 min</u>			
Inflow	15,615	Storage	15,204
Outflow	412		
<u>100 min</u>			
Inflow	15,698	Storage	15,245
Outflow	453		
<u>110 min</u>			
Inflow	14,872	Storage	14,378
Outflow	494		



CASE #: SP2021-000

POND CALCULATIONS

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by

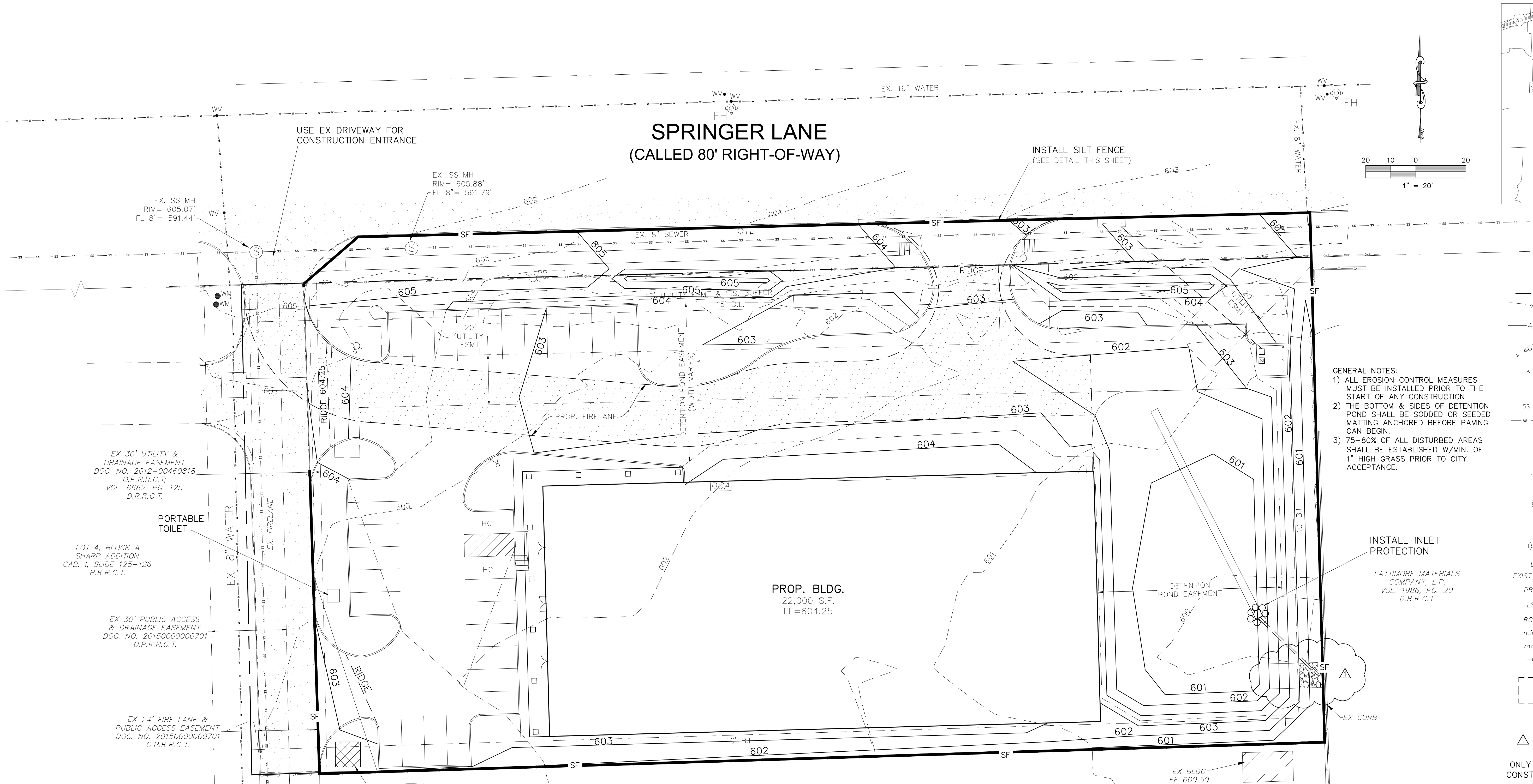
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 1/15/21 scale: 1" = 30'

C105A

TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'



LEGEND

---	= PROPERTY LINE
460	= EXISTING CONTOURS
-460-	= PROPOSED CONTOURS
x 463.00 TC or x 462.50	= PROPOSED SPOT GRADES tc = TOP OF CURB ep = EDGE OF PAVEMENT tw = TOP OF WALL bw = BOTTOM OF WALL (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
SS-SS	= EXISTING SANITARY SEWER LINE
W-W	= EXISTING WATER LINE
FH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
T WV	= EX. WATER VALVE
S	= EXISTING SEWER MANHOLE
B-B	= BACK OF CURB TO BACK OF CURB
EXIST. or EX.	= EXISTING
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
	= PROPOSED FIRE HYDRANT
- - - -	= PROPOSED FIRELANE

revised date: 1/10/22 Revised location of pond outfall

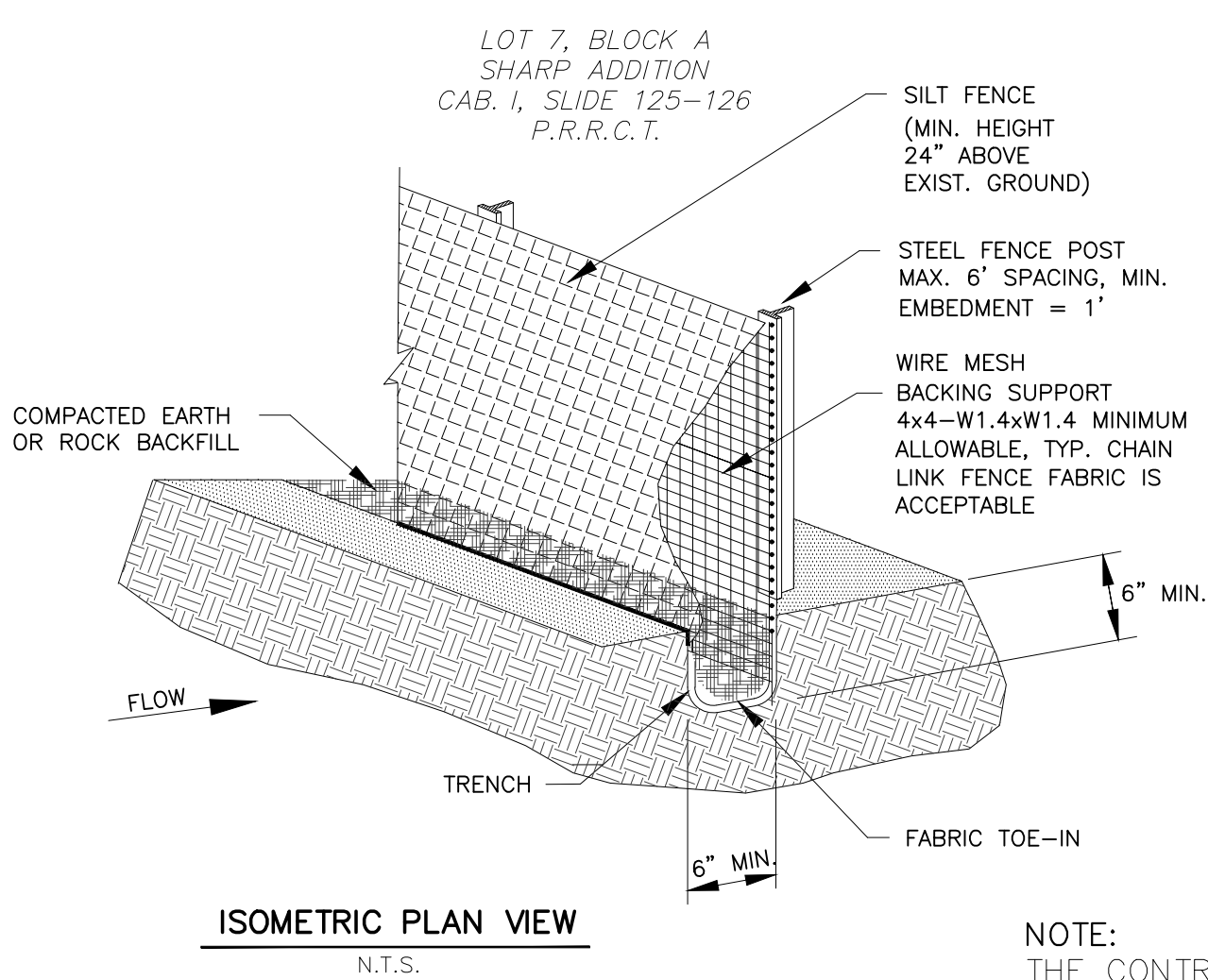
ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 5) ALL CURB INLETS MUST BE PROTECTED TO PREVENT SEDIMENT FROM ENTERING STORM SYSTEM.
 - 6) ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION
 - 7) THERE ARE NO ONSITE OR ADJACENT SURFACE WATERS OR WETLANDS
 - 8) 75-80% OF ALL DISTURBED AREA TO HAVE A MIN. 1" TALL GRASS ESTABLISHED PRIOR TO ENGINEERING ACCEPTANCE.
 - 9) ALL CITY R.O.W. MUST BE SODDED IF DISTURBED.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, LLC OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

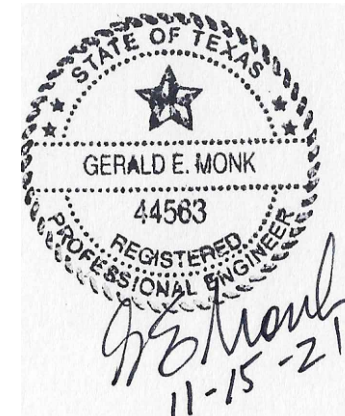


SILT FENCE

- SILT FENCE GENERAL NOTES:**
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

RECORD DRAWING 5/13/25
TO THE BEST OF OUR KNOWLEDGE MONK CONSULTING ENGINEERS, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.
Gerald E. Monk
GERALD E. MONK, P.E.



CASE #: SP2021-000

EROSION CONTROL PLAN

SHARP INSULATION

SHARP ADDITION
LOT 8, BLOCK A, 1.91 ACRES
City of Rockwall, Rockwall County, Texas

owner
SHARP INSULATION
2578 HWY 276, Rockwall, Texas 75032
(214)392-0689

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG No.: F-2567
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date: 11/15/21	scale: 1" = 30'	sheet: C106
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TEMP BENCHMARK:
TOP OF EX. INLET
LOCATED EAST OF PROP.
ENTRANCE ALONG
SPRINGER ROAD
ELEVATION = 603.26'