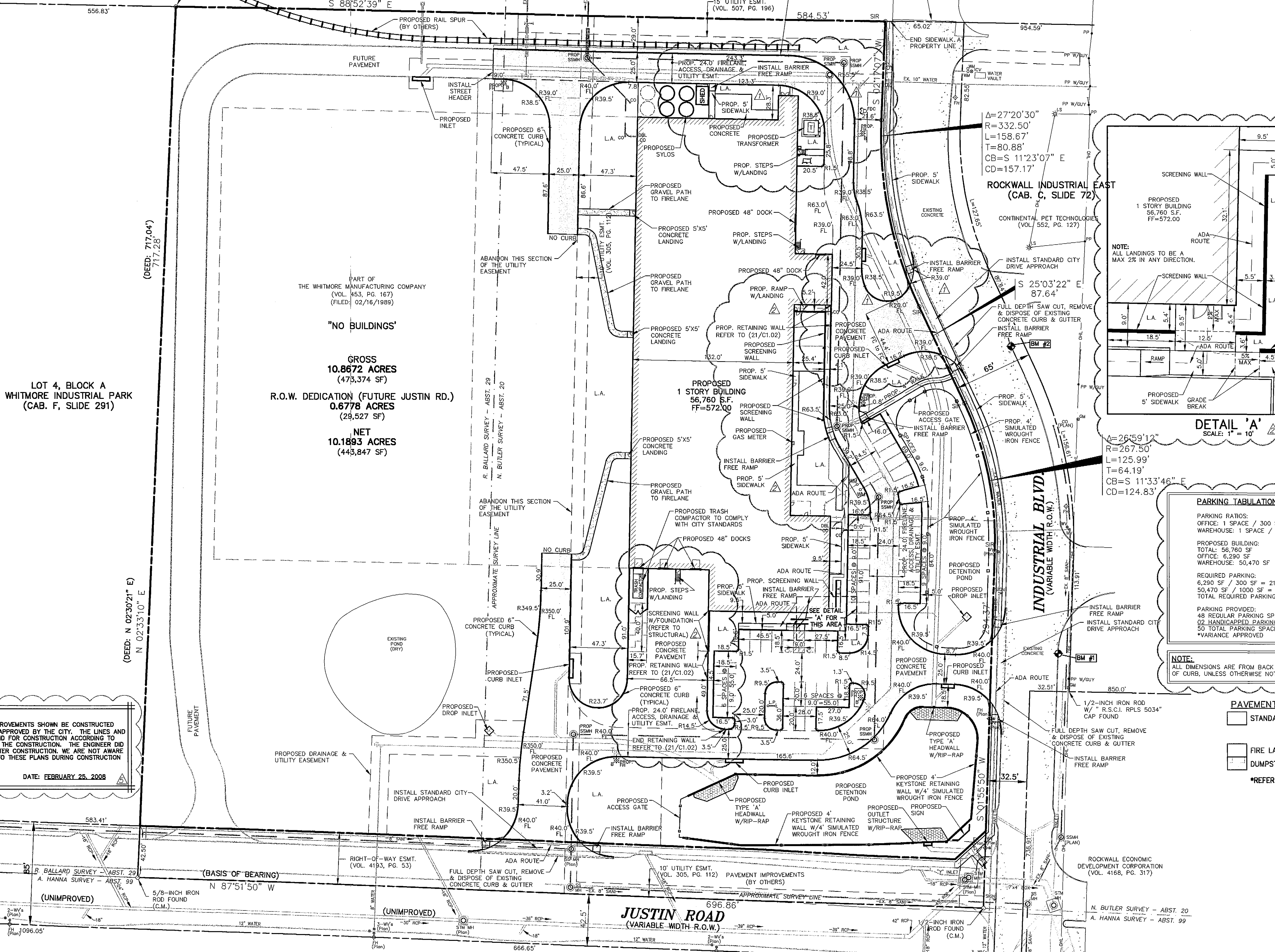
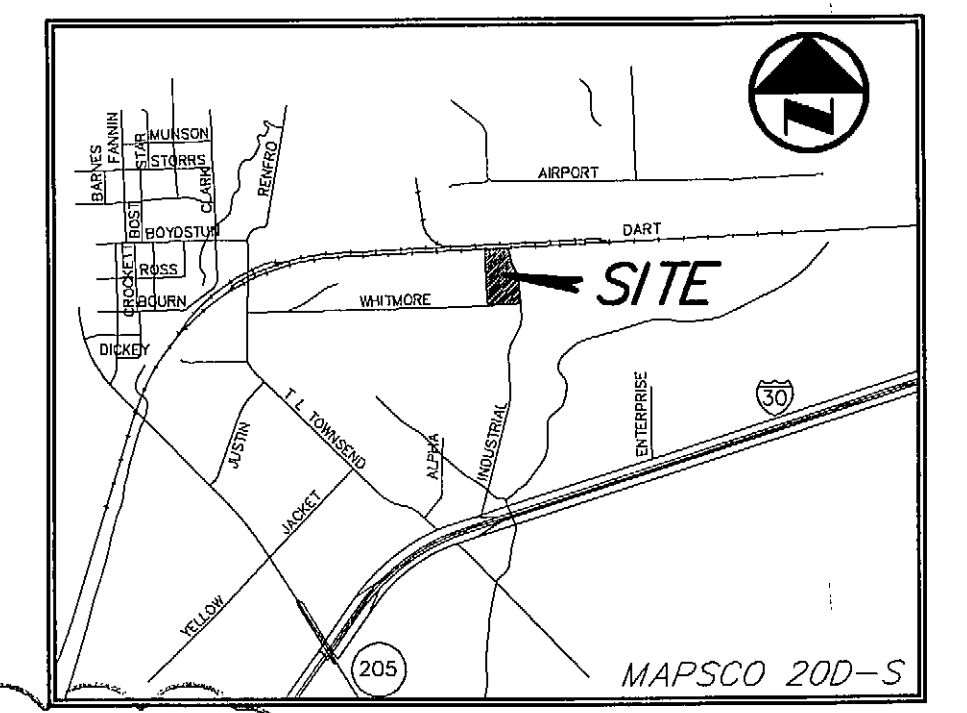


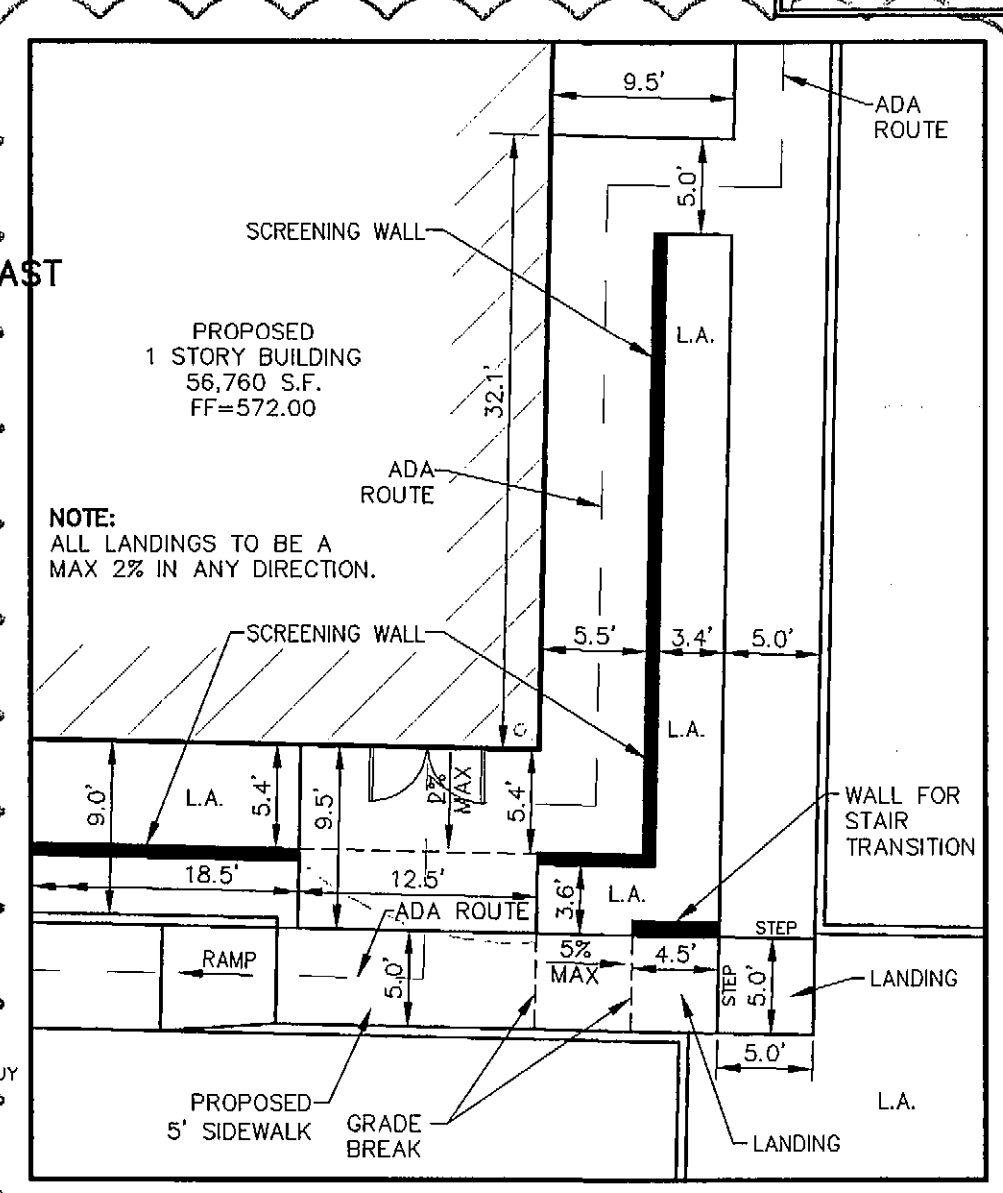
DALLAS AREA RAPID TRANSIT (100' R.O.W.)



LOT 4, BLOCK A WHITMORE INDUSTRIAL PARK (CAB. F, SLIDE 291)

"NO BUILDINGS" GROSS 10.8672 ACRES (473,374 SF) R.O.W. DEDICATION (FUTURE JUSTIN RD.) 0.6778 ACRES (29,527 SF) NET 10.1893 ACRES (443,847 SF)

ROCKWALL INDUSTRIAL EAST (CAB. C, SLIDE 72)



PARKING TABULATION:

PARKING RATIOS: OFFICE: 1 SPACE / 300 SF WAREHOUSE: 1 SPACE / 1000 SF PROPOSED BUILDING: TOTAL: 56,760 SF OFFICE: 6,290 SF WAREHOUSE: 50,470 SF REQUIRED PARKING: 6,290 SF / 300 SF = 21 50,470 SF / 1000 SF = 51 TOTAL REQUIRED PARKING = 72 PARKING PROVIDED: 42 REGULAR PARKING SPACES 02 HANDICAPPED PARKING SPACES 50 TOTAL PARKING SPACES PROVIDED *VARIANCE APPROVED

PAVEMENT LEGEND

STANDARD PAVEMENT - 5" CLASS 'C' 3600 PSI FOR PARKING AREAS 7" CLASS 'C' 3600 PSI FOR DRIVE AISLES 6" CLASS 'C' 3600 PSI FOR TRUCK DOCK AREAS FIRE LANE PAVEMENT - MIN. 6" CLASS 'C' 3600 PSI MIN. 6 SACK FOR MACHINE PLACE DUMPSTER PAD AND APRON - MIN. 8" CLASS 'C' 3600 PSI *REFER TO 01/C1.02 FOR ADDITIONAL DETAILS ON PAVEMENT SECTIONS

ADA ROUTE

NOTE: MAXIMUM SLOPE FOR ALL ADA PATHS 5% MAX. CROSS FALL IS 2%; FOR THE FIRST FIVE FEET FROM THE DOOR A 2% SLOPE (MAX.) MUST BE MAINTAINED

BENCH MARK LIST:

BENCHMARK #1 X-CUT FOUND ON THE TOP OF CURB OF THE SOUTHERN CURB RETURN AT EAST SIDE OF INDUSTRIAL BLVD. 590± SOUTH FROM CENTERLINE OF RAILROAD ELEVATION = 564.27 BENCHMARK #2 X-CUT FOUND ON THE TOP OF CURB OF THE SOUTHERN CURB RETURN AT EAST SIDE OF INDUSTRIAL BLVD. 330± SOUTH FROM CENTERLINE OF RAILROAD ELEVATION = 568.39

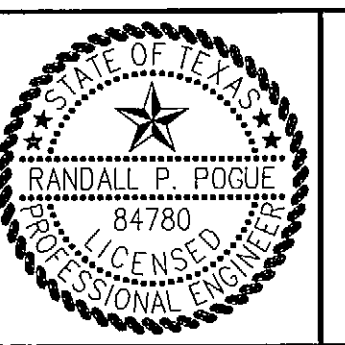
RECORD DRAWINGS: IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. THE ENGINEER DID NOT VERIFY LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. RANDALL P. POGUE, P.E. TX LIC. NO. 84780 DATE: FEBRUARY 25, 2008

Table with columns: NO., DATE, REVISION / DESCRIPTION. Includes entries for RECORD DRAWINGS, FIRE HYDRANT DETAILS REVISIONS, CITY WATER MAIN RELOCATION, and SITE PLAN REVISIONS.

OWNER: THE WHITMORE MANUFACTURING COMPANY, P.O. BOX 9300, ROCKWALL, TEXAS 75083. MR. RAY SCHWERTNER (972) 771-1000 PHONE (972) 722-2108 FAX

DEVELOPER: SPR VENTURE, INC., 5720 SPERLING, SUITE 630, DALLAS, TEXAS 75240. MR. STEVEN ROSENBERG (214) 862-8680 PHONE (972) 385-0279 FAX

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RANDALL P. POGUE, PE 84780 ON 01-25-2007 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



POGUE ENGINEERING & DEVELOPMENT COMPANY, INC. 1515 HERITAGE DRIVE, SUITE 105, MCKINNEY, TEXAS 75069. (214) 544-8880 PHONE (214) 544-8882 FAX www.PogueEngineering.com

SITE PLAN SPR PACKAGING BLOCK A, LOT 1, SPR PACKAGING ADDITION NWC OF INDUSTRIAL BLVD. @ JUSTIN ROAD CITY OF ROCKWALL, TEXAS SHEET NO. C1.01

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