

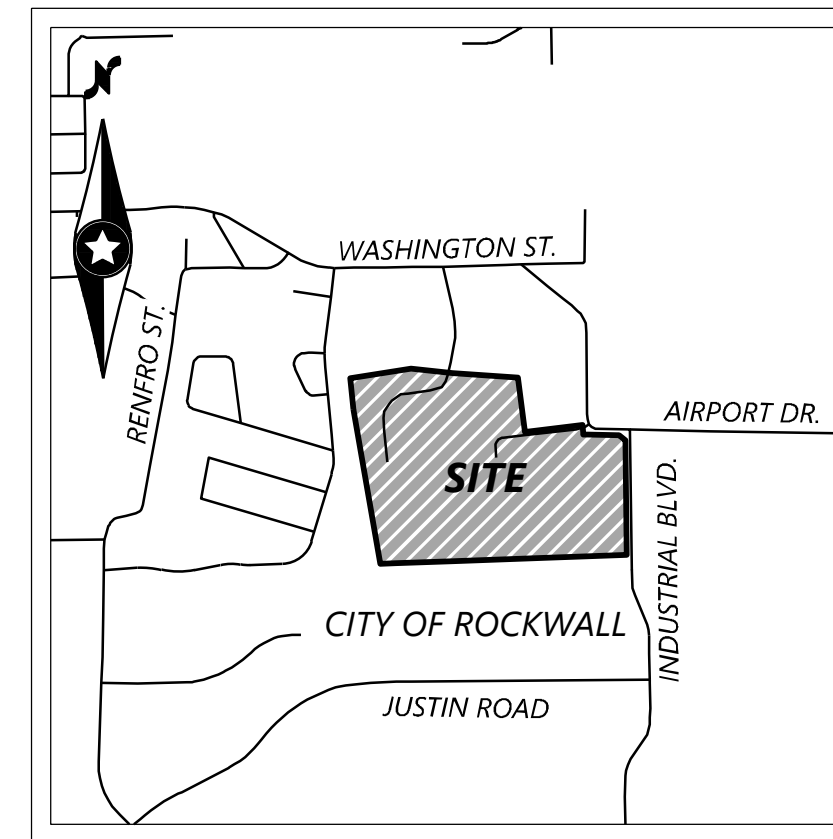
# CIVIL CONSTRUCTION PLANS

## FOR

# SPR DISTRIBUTION CENTER

LOCATED IN  
LOT 2, BLOCK 1  
INDALLOY ADDITION  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS

### VICINITY MAP (NOT TO SCALE)



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**OWNER/DEVELOPER:**  
SPR PACKAGING  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087  
CONTACT: MS. CAROLINA MOLINA  
PHONE: (469) 314-1600

**ENGINEER/SURVEYOR:**

**Westwood**

**Westwood Professional Services, Inc.**  
2901 Dallas Parkway, Suite 400  
Plano, TX 75093  
Phone (214) 473-4640  
Toll Free (888) 937-5150  
FIRM NO. F-11756

westwoodps.com

PROJECT NUMBER: 0036677.00



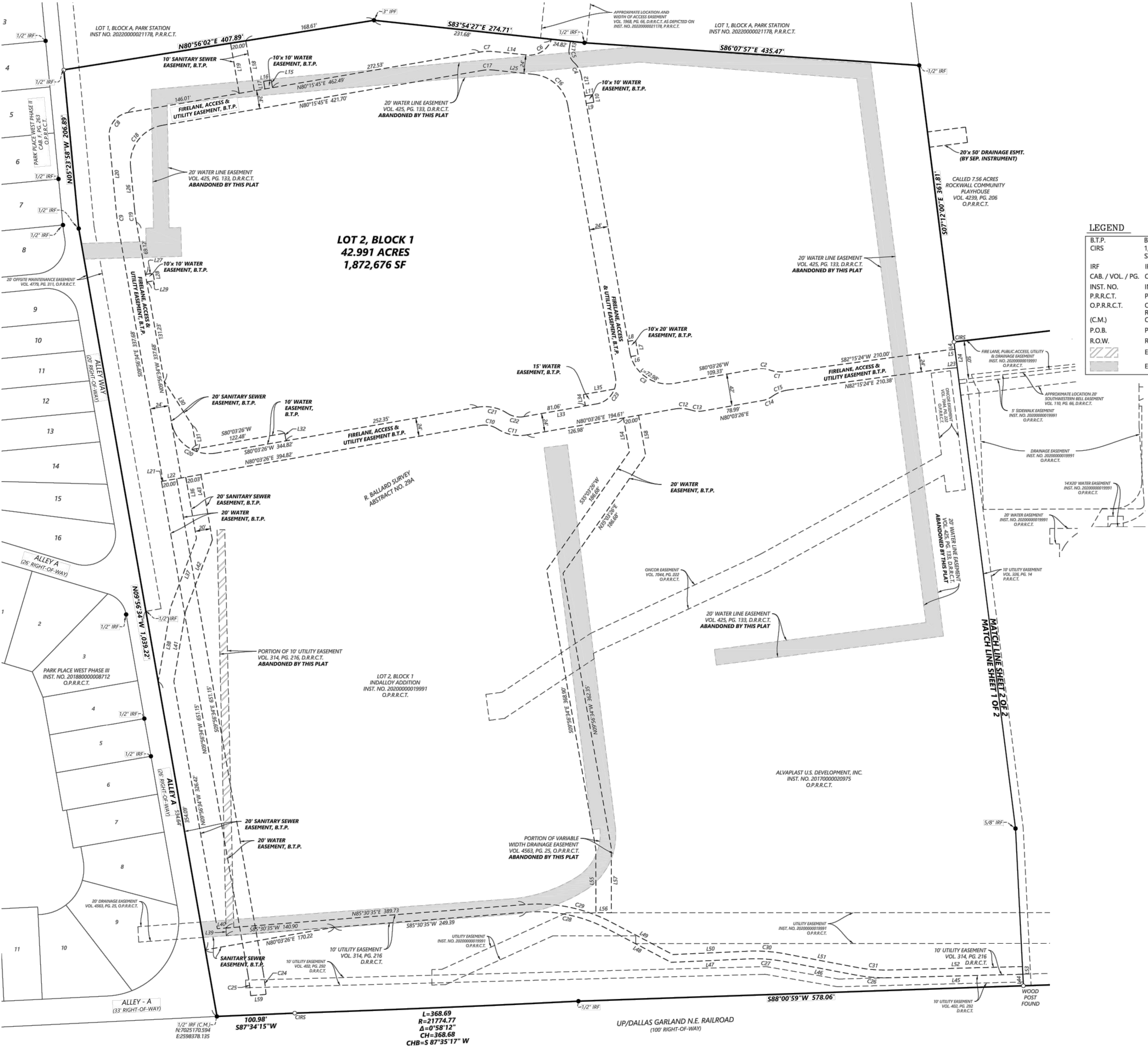
**BENCHMARK LIST:**  
BENCHMARK #1 - X-CUT IN BOX SET ON THE WEST SIDE OF AN INLET LOCATED ON SOUTH SIDE OF AIRPORT ROAD, APPROXIMATELY 300 ± FEET FROM THE SOUTH-WEST INTERSECTION OF AIRPORT ROAD AND WASHINGTON STREET.  
ELEVATION = 559.08'  
BENCHMARK #2 - 5/8-INCH CAPPED IRON ROD SET NEAR THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED HEREON AND BEING APPROXIMATELY 151 ± FEET FROM THE SOUTH CORNER OF A CONCRETE ALLEY.  
ELEVATION = 579.66'

**RECORD DRAWINGS:**  
IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 08-21-2024

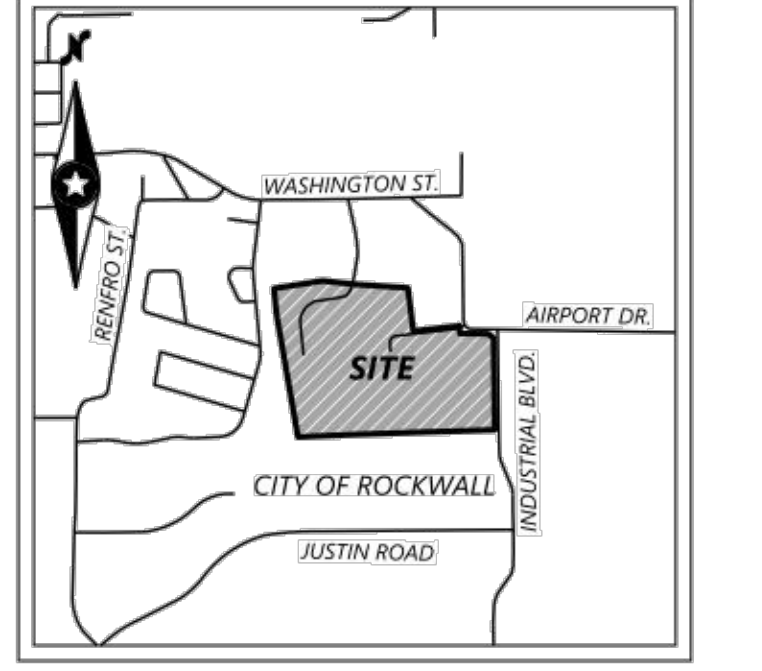
Sheet List Table	
Sheet Number	Sheet Title
CVR	COVER SHEET
FP-1	FINAL PLAT 1
FP-2	FINAL PLAT 2
SP-1.00	APPROVED SITE PLAN
L-1.01	LANDSCAPE PLAN 1
L-1.02	LANDSCAPE PLAN 2
L-1.03	LANDSCAPE PLAN 3
L-1.04	TREESCAPE PLAN
L-1.05	TREESCAPE DETAILS
DM-01	DEMOLITION PLAN
GN-1	CITY OF ROCKWALL GENERAL CONSTRUCTION NOTES 1
GN-2	CITY OF ROCKWALL GENERAL CONSTRUCTION NOTES 2
GN-3	GENERAL NOTES
1.01	PAVING & DIMENSIONAL CONTROL
1.02	STANDARD PAVING DETAILS
2.01	EXISTING DRAINAGE AREA MAP
2.02	PROPOSED DRAINAGE AREA MAP
2.03	DETENTION CALCULATION & DETAILS
3.00	GRADING PLAN
4.01	EROSION CONTROL PLAN
4.02	EROSION CONTROL DETAILS (1 OF 2)
4.03	EROSION CONTROL DETAILS (2 OF 2)
5.01	STORM SEWER PLAN
5.02	STORM PROFILE 1
5.03	STORM PROFILE 2
5.04	STORM PROFILE 3
5.05	STORM SEWER CALCULATIONS
5.06	STORM SEWER DETAILS (1 of 2)
5.07	STORM SEWER DETAILS (2 of 2)
6.01	UTILITY PLAN
6.02	UTILITY PROFILES
6.03	UTILITY DETAILS 1
6.04	UTILITY DETAILS 2

NO.	DATE	REVISION
△	08-31-2023	CITY COMMENTS
△	09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
△	10-19-2023	RFI 035 RESPONSE
△	12-11-2023	REVISED PARKING/GENERATOR
△	08-21-2024	RECORD DRAWINGS





### VICINITY MAP



**LEGEND**

B.T.P.	BY THIS PLAT
CIRS	1/2" IRON ROD WITH PLASTIC CAP SET STAMPED "WESTWOOD PS"
IRF	IRON ROD FOUND
CAB. / VOL. / PG.	CABINET VOLUME PAGE
INST. NO.	INSTRUMENT NUMBER
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
(C.M.)	PLACE OF BEGINNING
P.O.B.	RIGHT-OF-WAY
R.O.W.	EASEMENT ABANDONMENT
	EASEMENT ABANDONMENT

- NOTES:**
1. BASIS OF BEARING: TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011, NAVD 1988.
  2. ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 4837C0040L DATED 09/26/2008 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE A AND ZONE X AS AMENDED BY LOMR UNDER CASE NO. 21-06-10139, WITH AN EFFECTIVE DATE OF 02/07/2022.
  3. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY AND BUILDING PERMITS.
  4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

**Line Table**

Line #	Length	Direction
L1	63.84	S01°33'33"E
L2	12.43	S79°29'46"E
L3	51.84	S49°24'24"E
L4	9.64	S07°12'00"E
L5	11.47	S84°47'18"W
L6	9.69	N80°03'26"E
L7	20.00	N09°56'34"W
L8	10.00	S80°03'26"W
L9	10.00	N80°15'45"E
L10	10.00	N09°56'34"W
L11	10.00	N80°15'45"E
L12	26.61	N09°56'34"W
L13	9.37	N10°04'14"E
L14	41.73	N83°55'16"W
L15	10.00	S09°44'15"E
L16	10.00	S80°15'45"W
L17	10.00	S09°44'15"E
L18	65.84	S09°44'15"E
L19	66.08	S09°44'15"E
L20	96.80	S05°23'58"E
L21	2.00	N80°03'26"E
L22	24.00	N80°03'26"E
L23	11.24	N84°47'18"E
L24	24.01	N07°12'00"W
L25	53.45	N83°55'16"W
L26	56.01	S05°23'58"E
L27	10.00	N80°03'26"E
L28	10.00	S09°56'34"E
L29	10.00	S80°03'26"W
L30	68.03	S32°26'34"E

**Line Table**

Line #	Length	Direction
L31	34.37	S09°56'34"E
L32	10.00	N09°56'34"W
L33	95.98	S80°03'26"W
L34	15.00	N09°56'34"W
L35	40.90	N80°03'26"E
L36	80.70	S09°56'34"E
L37	95.89	S20°36'16"W
L38	97.38	S09°25'46"W
L39	10.02	S01°17'55"E
L40	11.47	S85°30'35"W
L41	91.87	N09°25'46"E
L42	22.06	S28°05'18"
L43	86.16	N09°56'34"W
L44	14.98	N02°53'25"W
L45	173.70	S88°30'36"W
L46	95.32	N79°16'25"W
L47	101.09	S09°44'15"E
L48	93.05	N62°15'25"W
L49	90.34	S62°15'25"E
L50	98.38	N87°27'35"E
L51	95.32	S79°16'25"E
L52	173.46	N88°30'10"E
L53	10.03	S02°53'25"E
L54	44.72	N09°56'34"W
L55	82.52	S00°01'40"E
L56	20.00	N89°58'20"E
L57	84.26	N00°01'40"W
L58	53.00	N09°56'34"W
L59	20.00	S85°21'44"W

**Curve Table**

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	21.83	45.00	027°47'43"	N 83°50'43" W	21.62
C2	15.71	30.00	029°59'41"	N 84°56'42" W	15.53
C3	78.54	50.00	089°59'59"	N 54°56'33" W	70.71
C4	19.94	30.00	038°05'02"	N 28°59'05" W	19.58
C5	20.28	20.00	058°05'50"	N 18°58'41" W	19.42
C6	40.82	30.00	077°57'08"	S 57°06'10" W	37.74
C7	20.43	74.00	015°48'58"	S 88°10'14" W	20.36
C8	44.85	30.00	085°39'43"	S 37°25'53" W	40.79
C9	17.76	224.00	004°32'36"	S 7°40'16" E	17.76
C10	22.46	30.00	042°53'43"	S 78°29'43" E	21.94
C11	40.43	54.00	042°53'43"	S 78°29'43" E	39.49
C12	22.06	45.00	028°05'18"	S 85°53'55" E	21.84
C13	14.71	30.00	028°05'05"	S 85°53'49" E	14.56
C14	13.73	30.00	026°13'31"	N 66°56'40" E	13.61
C15	22.32	45.00	028°25'29"	N 68°02'40" E	22.10
C16	64.56	50.00	073°58'39"	N 46°55'55" W	60.17
C17	13.80	50.00	015°48'58"	S 88°10'14" W	13.76
C18	74.75	50.00	085°39'43"	S 37°25'53" W	67.98
C19	15.86	200.00	004°32'36"	S 7°40'16" E	15.86
C20	67.45	50.00	077°17'27"	S 61°17'50" E	62.45
C21	40.43	54.00	042°53'43"	S 78°29'43" E	39.49
C22	22.46	30.00	042°53'43"	S 78°29'43" E	21.94
C23	47.12	30.00	090°00'00"	N 35°03'26" E	42.43
C24	28.70	310.00	005°18'19"	S 7°17'25" E	28.69
C25	26.85	290.00	005°18'19"	N 7°17'25" W	26.84
C26	43.74	205.00	012°13'25"	N 85°23'08" W	43.65
C27	45.15	195.00	013°16'00"	N 85°54'25" W	45.05
C28	109.70	195.00	032°14'00"	N 78°22'25" W	108.26
C29	115.33	205.00	032°14'00"	S 78°22'25" E	113.81
C30	47.47	205.00	013°16'00"	S 85°54'25" E	47.36
C31	41.60	195.00	012°13'25"	S 85°23'08" E	41.52

OWNER:  
 ALVAPLAST U.S. DEVELOPMENT, L.L.C.  
 1480 JUSTIN ROAD  
 ROCKWALL, TEXAS 75087  
 ENGINEER / SURVEYOR  
**Westwood**  
 Phone (214) 473-4640 2901 Dallas Parkway, Suite 400  
 Toll Free (888) 937-5150 Plano, TX 75093  
 westwoodps.com  
 Westwood Professional Services, Inc.  
 TPE FIRM REGISTRATION NO. F-11758  
 TPCS FIRM REGISTRATION NO. F-1000101

FINAL PLAT  
 OF  
**INDALLOY ADDITION**  
**LOT 2, BLOCK 1**  
 BEING A REPLAT OF LOT 2, BLOCK 1  
 INDALLOY ADDITION  
 42.991 ACRES OF LAND  
 N. BUTLER SURVEY, ABSTRACT NO. 20  
 R. BALLARD SURVEY, ABSTRACT NO. 29A  
 CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

**LEGEND**

B.T.P.	BY THIS PLAT
CIRS	1/2" IRON ROD WITH PLASTIC CAP SET STAMPED "WESTWOOD P5"
IRF	IRON ROD FOUND
CAB. / VOL. / PG.	CABINET VOLUME PAGE
INST. NO.	INSTRUMENT NUMBER
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS CONTROLLING MONUMENT
(C.M.)	PLACE OF BEGINNING
P.O.B.	PLACE OF BEGINNING
R.O.W.	RIGHT-OF-WAY
	EASEMENT ABANDONMENT
	EASEMENT ABANDONMENT

- NOTES:**
- BASIS OF BEARING: TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011, NAVD 1983.
  - ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48397C0040L DATED 09/26/2008 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE A AND ZONE X, AS AMENDED BY LOMR UNDER CASE NO. 21-06-1013P, WITH AN EFFECTIVE DATE OF 02/07/2022.
  - SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDINGS OF UTILITY AND BUILDING PERMITS.
  - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREOF ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

**OWNERS CERTIFICATE AND DEDICATION**

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

WHEREAS Alvaplast U.S. Development, LLC and Alvaplast U.S. Inc. are the sole owners of a 42.991 acre tract of land situated in the R. Ballard Survey, Abstract No. 29A and the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, and being all of Lot 2, Block 1, Indalloy Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 2020000019991, of the Plat Records, Rockwall County, Texas and being all of a tract of land described in Tracts 1 and 2 conveyed to Alvaplast U.S. Development, LLC by deed of record in Instrument No. 2017000020975 of the Official Public Records of Rockwall County, Texas, and being all of a 11.3736 acre tract of land conveyed to Alvaplast U.S. Inc. by deed of record in Instrument Number 2015000002739, of said Official Public Records; said 42.991 acre tract being more particularly described as follows:

**BEGINNING** at a 5/8" iron rod with a yellow plastic cap stamped "POGUE ENG." found at the intersection of the west right-of-way line of Industrial Boulevard, a 65-foot right-of-way and the north right-of-way line of UP/Dallas Garland N.E. Railroad, a 100-foot railroad right-of-way; said point being at the southeast corner of said Lot 2, Block 1;

**THENCE** along the said north line of the UP/Dallas Garland N.E. Railroad and the south line of said Lot 2, Block 1, the following courses and distances:

South 88 degrees 05 minutes 29 seconds West, a distance of 583.91 feet to the wood post found at an angle point;

South 88 degrees 00 minutes 59 seconds West, a distance of 578.06 feet to a 1/2" iron rod found at the beginning of a non-tangent curve to the right; Along said non-tangent curve to the right having a central angle of 00 degrees 58 minutes 12 seconds, a radius of 21,774.77 feet, and an arc length of 368.69 feet (chord bears South 87 degrees 35 minutes 17 seconds West, 368.68 feet) to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD P5" set at the end of said curve;

South 87 degrees 34 minutes 15 seconds West, a distance of 100.98 feet to a 1/2" iron rod found at the southwest corner of said Lot 2, Block 1, and being the southeast corner of Alley A, a variable width alley right-of-way;

**THENCE** departing the said north line of the UP/Dallas Garland N.E. Railroad and the south line of Lot 2, Block 1, along the easterly line of said Alley A and the westerly line of said Lot 2, Block 1, the following courses and distances:

North 09 degrees 56 minutes 34 seconds West, at a distance of 534.64 feet passing a 1/2" iron rod found for reference, continuing in all a total distance of 1,039.22 feet to a 1/2" iron rod found at an angle point;

North 05 degrees 23 minutes 58 seconds West, a distance of 206.89 feet to a 1/2" iron rod found at the southwest corner of Lot 1, Block A, Park Station, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 2022000021178, of said Plat Records, and being at the northwest corner of said Lot 2, Block 1;

**THENCE** departing the said easterly line of said Alley A and the westerly line of said Lot 2, Block 1, along the common line between said Lot 1, Block A and said Lot 2, Block 1, the following courses and distances:

North 80 degrees 56 minutes 02 seconds East, a distance of 407.89 feet to a 3" (pinched) fence corner post at an angle point;

South 83 degrees 04 minutes 27 seconds East, a distance of 274.71 feet to a 1/2" iron rod found at an angle point;

South 86 degrees 07 minutes 57 seconds East, a distance of 435.47 feet to a 1/2" iron rod found for corner in the west line of a called 7.56 acre tract of land conveyed to Rockwall Community Playhouse, by deed of record in Volume 4239, Page 206, of said Official Public Records; said point being at the southeast corner of said Lot 1, Block A, and being at a northeast corner of said Lot 2, Block 1;

**THENCE** South 07 degrees 12 minutes 00 seconds East, departing the said common line between said Lot 1, Block A and Lot 2, Block 1, along the common line between said Lot 2, Block 1 and said Rockwall Community Playhouse tract, a distance of 361.81 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD P5" set at a re-entrant corner of said Lot 2, Block 1 and the southwest corner of said Rockwall Community Playhouse tract;

**THENCE** North 83 degrees 21 minutes 36 seconds East, continuing along the said common line between Lot 2, Block 1 and the Rockwall Community Playhouse tract, a distance of 385.74 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD P5" set at a northeast corner of said Lot 2, Block 1;

**THENCE** South 01 degrees 33 minutes 33 seconds East, departing the said common line between Lot 2, Block 1 and Rockwall Community Playhouse tract, along an east line of said Lot 2, Block 1, a distance of 63.84 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD P5" set at a re-entrant corner of said Lot 2, Block 1; said point being in the south line of Airport Road, a variable width right-of-way;

**THENCE** South 89 degrees 09 minutes 48 seconds East, departing the said east line of Lot 2, Block 1, along the said south line of Airport Road and a north line of said Lot 2, Block 1, a distance of 228.40 feet to a 5/8" iron rod with a yellow plastic cap stamped "POGUE ENG." found at an angle point;

**THENCE** South 79 degrees 29 minutes 46 seconds East, continuing along the said south line of Airport Road and said north line of Lot 2, Block 1, a distance of 12.43 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD P5" set for corner at the west end of a right-of-way corner clip at the intersection of the said south line of Airport Road and the said west line of Industrial Boulevard; said point being at a northeast corner of said Lot 2, Block 1;

**THENCE** South 49 degrees 24 minutes 24 seconds East, departing the said south line of Airport Road and the said north line of Lot 2, Block 1, along said right-of-way corner clip, a distance of 51.84 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD P5" set for corner in the said west line of Industrial Boulevard, at the south end of said corner clip; said point being at a northeast corner of said Lot 2, Block 1;

**THENCE** South 00 degrees 40 minutes 02 seconds East, departing the said right-of-way corner clip, along the said west line of Industrial Boulevard and an east line of said Lot 2, Block 1, a distance of 758.62 feet to the **POINT-OF-BEGINNING**, containing **1,872,676 square feet or 42.991 acres of land.**

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

STATE OF TEXAS  
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as Lot 2, Block 1, Indalloy Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein. I (we) further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at anytime, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- Property owner shall be responsible for all maintenance, repair, and reconstruction of all systems in drainage and detention easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Alvaplast U.S. Inc.  
Alvaplast U.S. Development, LLC

NAME:  
TITLE:

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.  
Given upon my hand and seal of office this \_\_\_ day of \_\_\_\_\_, 2023.

Notary Public in and for the State of Texas  
My Commission Expires:

**SURVEYOR'S CERTIFICATE**

**KNOW ALL MEN BY THESE PRESENTS:**

That I, Jason B. Armstrong, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Ordinance of the City of Rockwall, Texas.

Dated this the \_\_\_ day of \_\_\_\_\_, 2023.

Jason B. Armstrong  
Registered Professional Land Surveyor  
No. 5557

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Jason B. Armstrong, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_ day of \_\_\_\_\_, 2023.

Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL  
PLANNING AND ZONING COMMISSION

PLANNING & ZONING  
Approved

I hereby certify that the above and foregoing plat of an Addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 20\_\_.

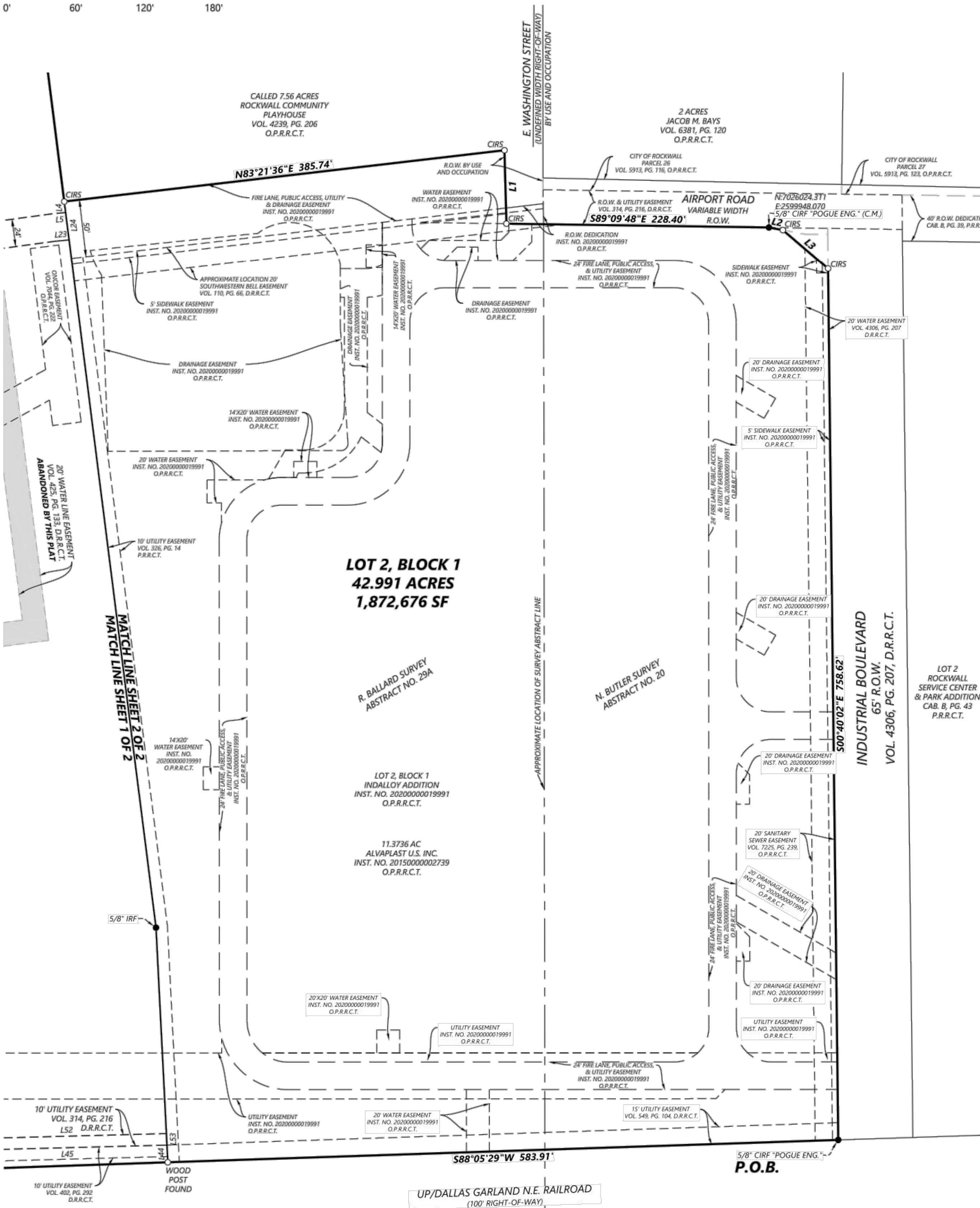
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Witness our hands, this \_\_\_ day of \_\_\_\_\_, 2023.

Mayor, City of Rockwall

City Secretary

City Engineer

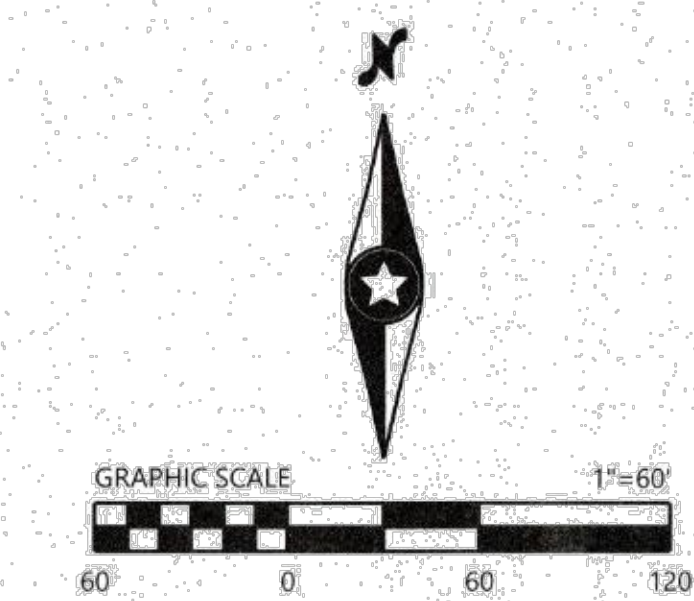
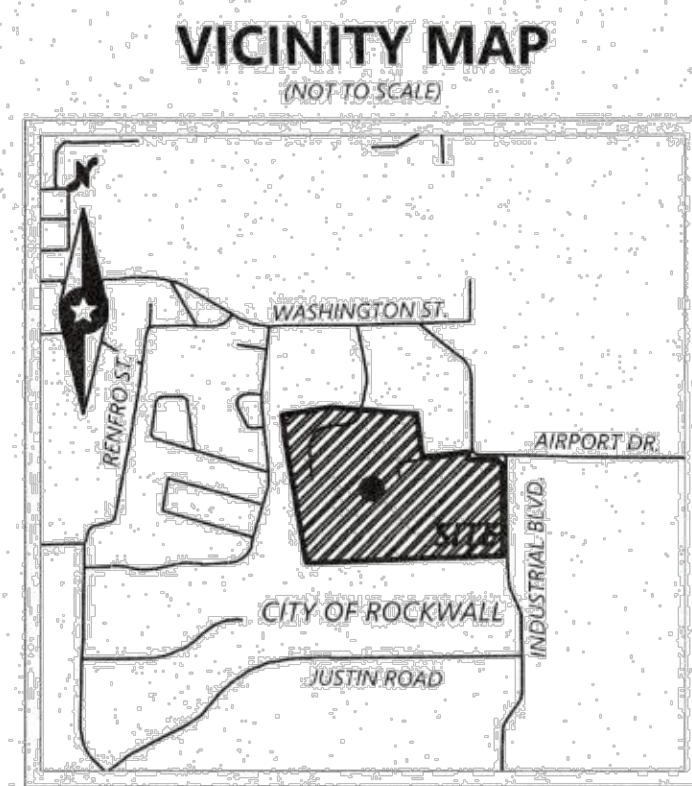
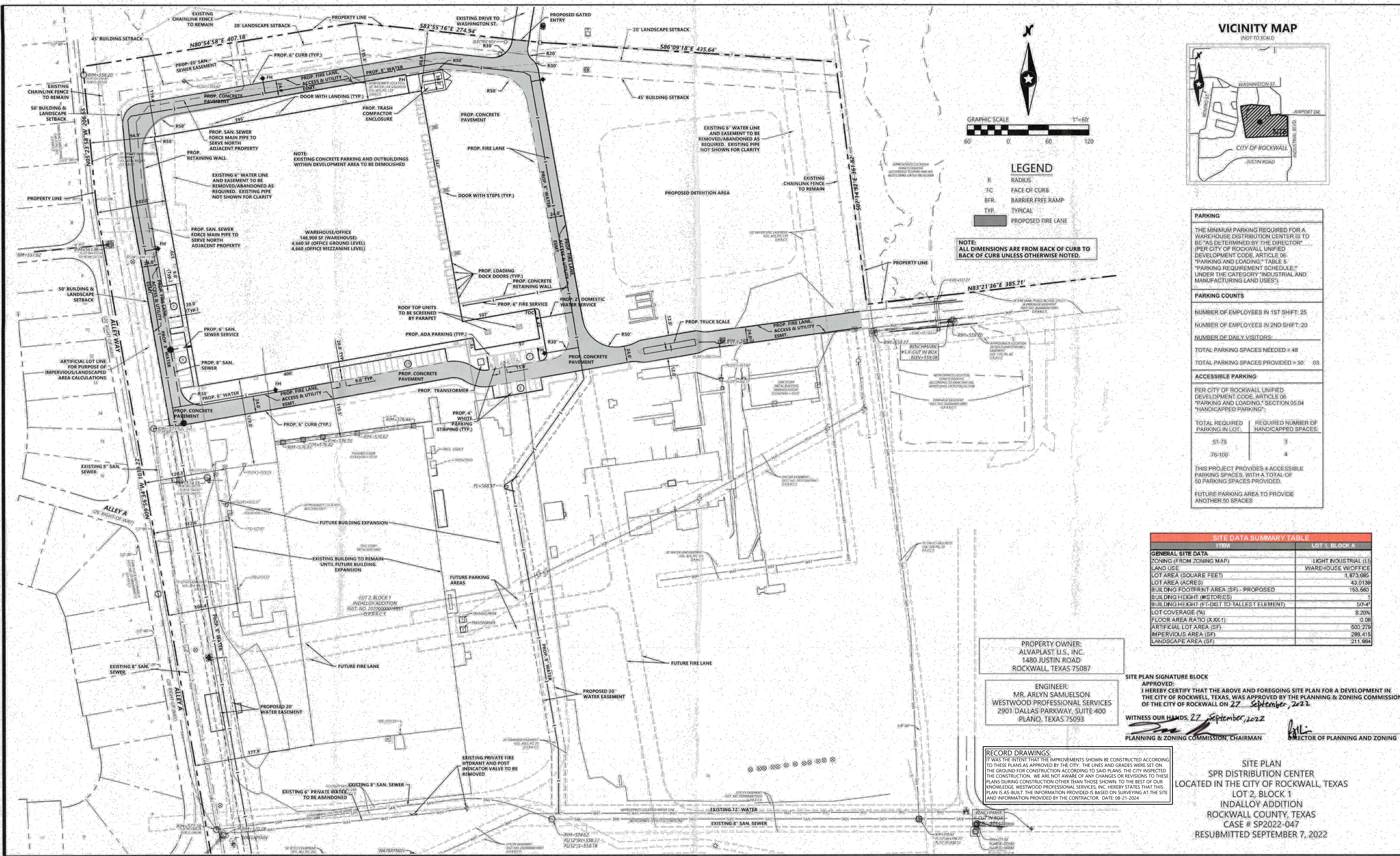


OWNER:  
ALVAPLAST U.S. INC.  
ALVAPLAST U.S. DEVELOPMENT, LLC  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087  
CONTACT: CAROLINA MOLINA  
CMOLINA@SPRPACKAGING.COM  
469-402-1232

ENGINEER / SURVEYOR  
**Westwood**  
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400  
Toll Free (888) 937-5150 Plano, TX 75093  
westwoodps.com

Westwood Professional Services, Inc.  
TYPE FIRM REGISTRATION NO. F-11758  
TYPE FIRM REGISTRATION NO. F-1070301

FINAL PLAT  
OF  
**INDALLOY ADDITION**  
**LOT 2, BLOCK 1**  
BEING A REPLAT OF LOT 2, BLOCK 1  
INDALLOY ADDITION  
42.991 ACRES OF LAND  
N. BUTLER SURVEY, ABSTRACT NO. 20  
R. BALLARD SURVEY, ABSTRACT NO. 29A  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



**LEGEND**

- R RADIUS
- FC FACE OF CURB
- BFR BARRIER FREE RAMP
- TYP TYPICAL
- PROPOSED FIRE LANE

**NOTE:** ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.

**PARKING**

THE MINIMUM PARKING REQUIRED FOR A WAREHOUSE DISTRIBUTION CENTER IS TO BE "AS DETERMINED BY THE DIRECTOR" (PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 06: "PARKING AND LOADING," TABLE 5: "PARKING REQUIREMENT SCHEDULE," UNDER THE CATEGORY "INDUSTRIAL AND MANUFACTURING LAND USES").

**PARKING COUNTS**

NUMBER OF EMPLOYEES IN 1ST SHIFT: 25  
 NUMBER OF EMPLOYEES IN 2ND SHIFT: 20  
 NUMBER OF DAILY VISITORS:  
 TOTAL PARKING SPACES NEEDED = 48  
 TOTAL PARKING SPACES PROVIDED = 50 + 03

**ACCESSIBLE PARKING**

PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 06: "PARKING AND LOADING," SECTION 05.04 "HANDICAPPED PARKING":

TOTAL REQUIRED PARKING IN LOT	REQUIRED NUMBER OF HANDICAPPED SPACES
51-75	3
76-100	4

THIS PROJECT PROVIDES 4 ACCESSIBLE PARKING SPACES, WITH A TOTAL OF 50 PARKING SPACES PROVIDED.

FUTURE PARKING AREA TO PROVIDE ANOTHER 50 SPACES

**SITE DATA SUMMARY TABLE**

ITEM	LOT 1, BLOCK A
<b>GENERAL SITE DATA</b>	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	163,560
BUILDING HEIGHT (#STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	298,415
LANDSCAPE AREA (SF)	211,864

PROPERTY OWNER:  
ALVAPLAST U.S., INC.  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087

ENGINEER:  
MR. ARLYN SAMUELSON  
WESTWOOD PROFESSIONAL SERVICES  
2901 DALLAS PARKWAY, SUITE 400  
PLANO, TEXAS 75093

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON 27 September, 2022.

WITNESS OUR HANDS, 27 September, 2022

*[Signature]*  
PLANNING & ZONING COMMISSION, CHAIRMAN

*[Signature]*  
DIRECTOR OF PLANNING AND ZONING

**RECORD DRAWINGS:**

IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 08-21-2024

**SITE PLAN**  
SPR DISTRIBUTION CENTER  
LOCATED IN THE CITY OF ROCKWALL, TEXAS  
LOT 2, BLOCK 1  
INDALLOY ADDITION  
ROCKWALL COUNTY, TEXAS  
CASE # SP2022-047  
RESUBMITTED SEPTEMBER 7, 2022

DESIGNED:	INITIAL ISSUE: XX/XX/XX
CHECKED:	REVISIONS:
DRAWN:	
HORIZONTAL SCALE:	
VERTICAL SCALE:	

PREPARED FOR:  
**SPR PACKAGING**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY  
NOT TO BE USED FOR  
CONSTRUCTION OR  
BIDDING PURPOSES.  
Engineer: ARLYN SAMUELSON, P.E.  
P.E. No.: 99217  
Date: 09/07/2022

**Westwood**

**SPR DISTRIBUTION CENTER**  
ROCKWALL, TEXAS

**Westwood**  
Phone: (214) 473-4640 2901 Dallas Parkway, Suite 400  
Toll Free: (888) 937-5150 Plano, TX 75093  
westwoodsps.com

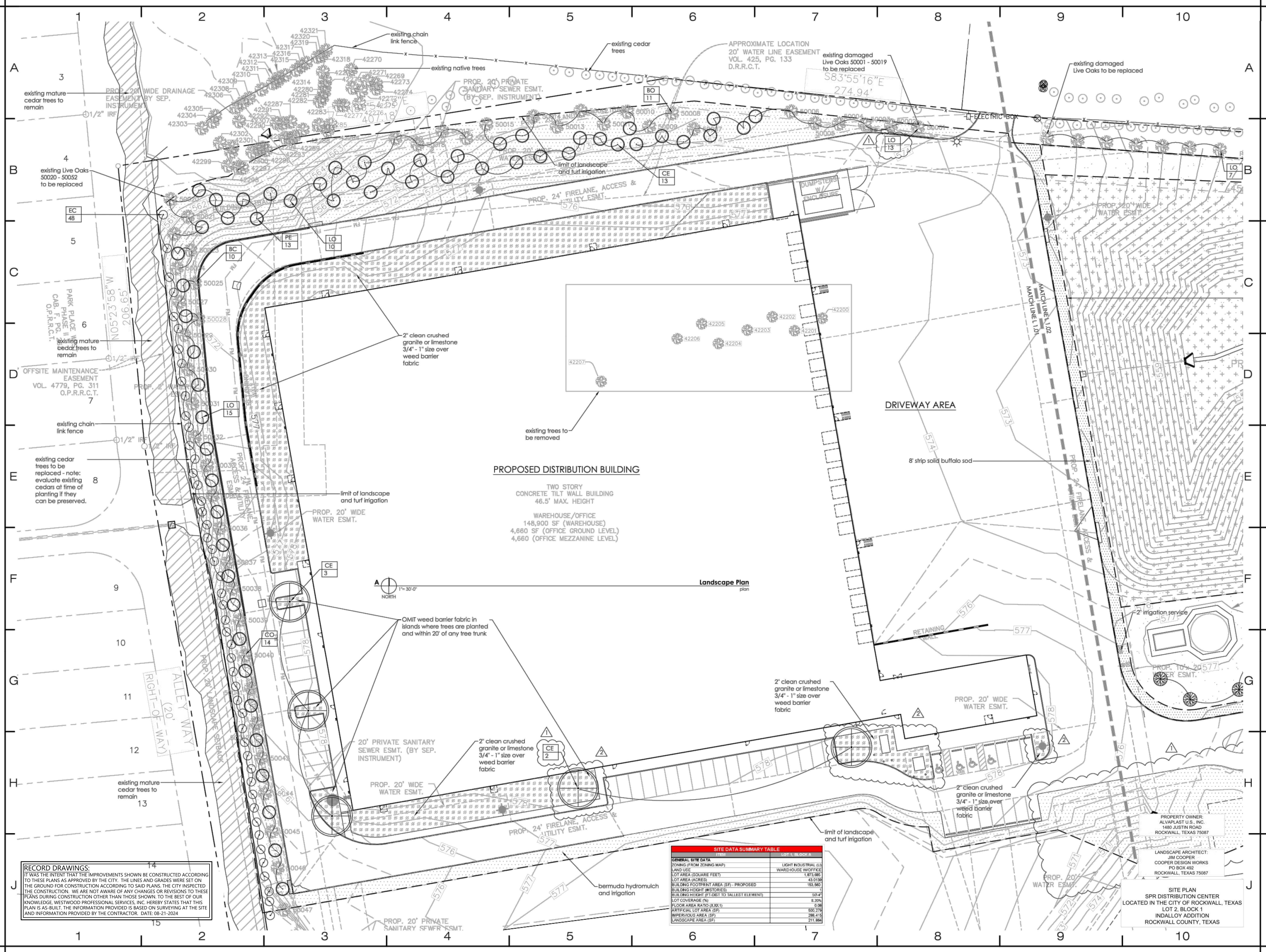
Westwood Professional Services, Inc.  
TELEPHONE REGISTRATION NO. 111758  
TELEVISION REGISTRATION NO. 1001487

**SITE PLAN**

SHEET NUMBER:  
**1.00**

PROJECT NUMBER: 0036677.00 DATE: 08/19/22

SPR DISTRIBUTION CENTER



**PROPOSED DISTRIBUTION BUILDING**

TWO STORY  
CONCRETE TILT WALL BUILDING  
46.5' MAX. HEIGHT  
  
WAREHOUSE/OFFICE  
148,900 SF (WAREHOUSE)  
4,660 SF (OFFICE GROUND LEVEL)  
4,660 (OFFICE MEZZANINE LEVEL)

Landscape Plan  
plan

SITE DATA SUMMARY TABLE	
GENERAL BITE DATA	LOT 1, RECORD A
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,673,865
LOT AREA (ACRES)	43.039
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,660
BUILDING HEIGHT (FEET)	46.5
BUILDING HEIGHT (FT.-DIST TO TALLEST ELEMENT)	50.4'
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (F.A.R.)	0.06
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	286,415
LANDSCAPE AREA (SF)	211,864

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**MJDII Architects, Inc.**  
Architecture • Planning • Consulting  
16775 Address Road, Suite 310  
Richardson, Texas 75081  
Tel: (972) 866-8601  
Fax: (972) 866-8601

**HILL & WILKINSON**  
GENERAL CONTRACTORS  
DESIGN BUILDER  
2703 TELECOM PARKWAY, SUITE 100  
RICHARDSON, TEXAS 75082  
214-293-4300

**JQ** *shaping the built environment*  
STRUCTURAL ENGINEERING  
150 GLASS STREET  
DALLAS, TEXAS 75207  
214-758-9088

**Westwood**  
PARKWAY CENTRE I  
2901 DALLAS PARKWAY, SUITE 400  
PLANO, TEXAS 75093  
972-473-6600

**COOPER DESIGN WORKS**  
LANDSCAPE ARCHITECTURE • PLANNING • URBAN DESIGN  
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519  
cooperdesignworks.com

**PILLAR ELECTRIC GROUP**  
2703 TELECOM PARKWAY, SUITE 100  
RICHARDSON, TEXAS 75082  
469-677-4900

#	DESCRIPTION	DATE
1	City Comments And City Updates	17 Aug 2023
2	Adjust tree loc, add gravel in loc of sod	13 Dec 2023

Seal:  
James A Cooper RLA 1287  
13 December 2023

**SPR**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087  
**SPR DISTRIBUTION CENTER**

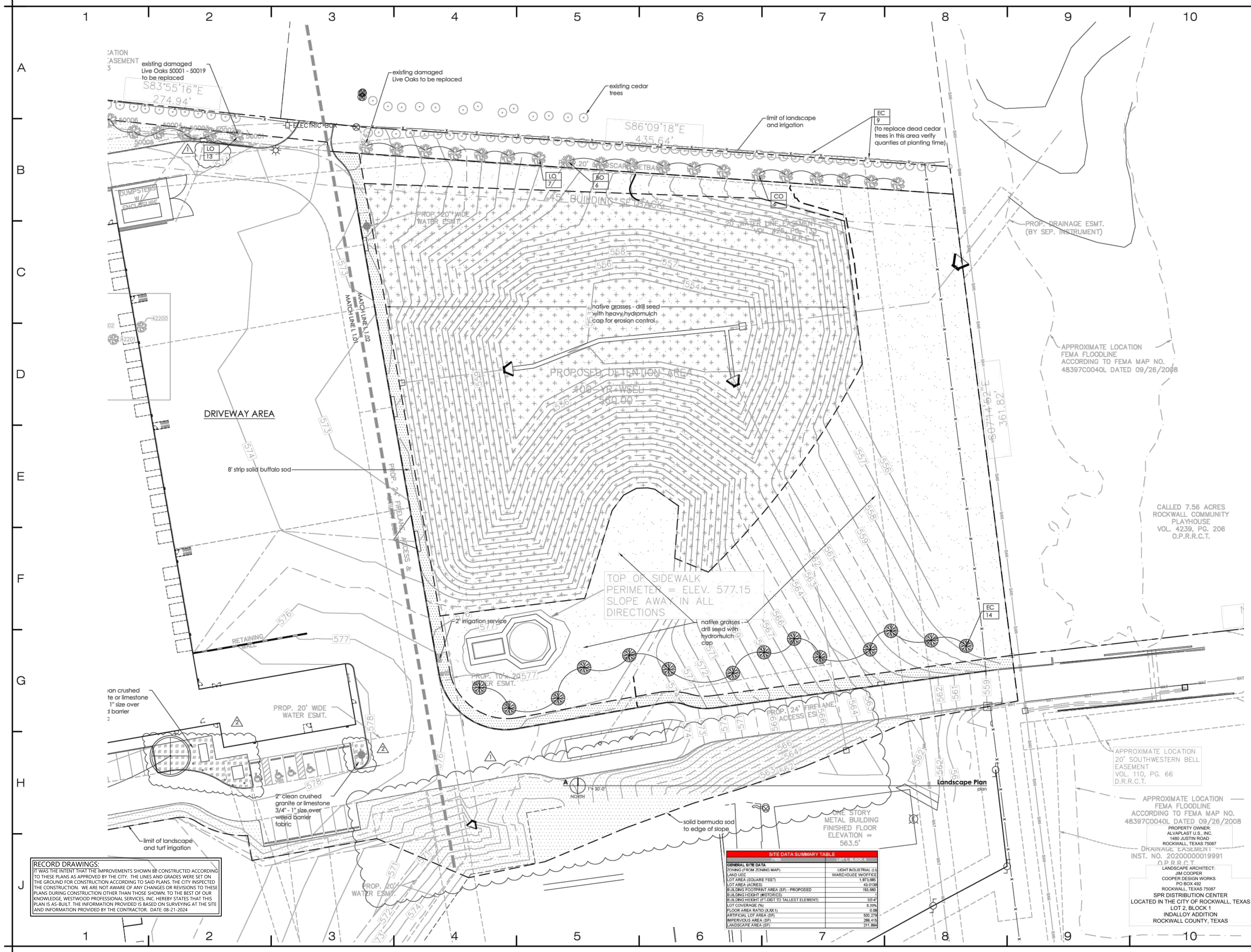
Drawn By: CDW  
Project Number: 22-0013-00  
Date: 24 APRIL 2023  
Issue: PERMIT/CONSTRUCTION  
Approved By: CDW  
Sheet Number:

**L1.01**  
Landscape Plan

PROPERTY OWNER:  
ALVAPLAST U.S., INC.  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:  
JIM COOPER  
COOPER DESIGN WORKS  
PO BOX 492  
ROCKWALL, TEXAS 75087

SITE PLAN  
SPR DISTRIBUTION CENTER  
LOCATED IN THE CITY OF ROCKWALL, TEXAS  
LOT 2, BLOCK 1  
INDALLOY ADDITION  
ROCKWALL COUNTY, TEXAS



EXISTING DAMAGED LIVE OAKS 50001 - 50019 TO BE REPLACED  
 S83°55'16"E  
 274.94'

EXISTING CEDAR TREES  
 S86°09'18"E  
 435.64'

APPROXIMATE LOCATION FEMA FLOODLINE ACCORDING TO FEMA MAP NO. 48397C0040L DATED 09/26/2008

CALLED 7.56 ACRES ROCKWALL COMMUNITY PLAYHOUSE VOL. 4239, PG. 206 O.P.R.R.C.T.

TOP OF SIDEWALK PERIMETER = ELEV. 577.15 SLOPE AWAY IN ALL DIRECTIONS

APPROXIMATE LOCATION 20' SOUTHWESTERN BELL EASEMENT VOL. 110, PG. 66 D.R.R.C.T.

APPROXIMATE LOCATION FEMA FLOODLINE ACCORDING TO FEMA MAP NO. 48397C0040L DATED 09/26/2008

PROPERTY OWNER: ALVAPLAST U.S., INC.  
 1480 JUSTIN ROAD  
 ROCKWALL, TEXAS 75087  
 DRAINAGE EASEMENT INST. NO. 2020000019991 O.P.R.R.C.T.  
 LANDSCAPE ARCHITECT: JIM COOPER  
 COOPER DESIGN WORKS  
 PO BOX 492  
 ROCKWALL, TEXAS 75087  
 SPR DISTRIBUTION CENTER  
 LOCATED IN THE CITY OF ROCKWALL, TEXAS  
 LOT 2, BLOCK 1  
 IN DALLOU ADDITION  
 ROCKWALL COUNTY, TEXAS

**RECORD DRAWINGS:**  
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SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	LOT 2, BLOCK 1
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE/WORKSPACE
LOT AREA (SQUARE FEET)	1,873,986
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	183,860
BUILDING HEIGHT (STORIES)	1
BUILDING HEIGHT (FEET TO TALLEST ELEMENT)	57.4'
LOT COVERAGE (%)	9.82%
FLOOR AREA RATIO (FAR)	0.09
ARTIFICIAL LOT AREA (SF)	500,279
PREVIOUS LOT AREA (SF)	298,415
LANDSCAPE AREA (SF)	211,864

**MJDII Architects, Inc.**  
 Architecture • Planning • Consulting  
 16775 Addison Road, Suite 310 Dallas, Texas 75201 Tel: (972) 866-8600 Fax: (972) 866-8601

**HILL & WILKINSON GENERAL CONTRACTORS**  
 DESIGN BUILDER  
 2703 TELECOM PARKWAY, SUITE 100  
 ROCKWALL, TEXAS 75087  
 214-200-4300

**JQ** shaping the built environment  
 STRUCTURAL ENGINEERING  
 150 GLASS STREET  
 DALLAS, TEXAS 75207  
 214-758-8088

**Westwood**  
 PARKWAY CENTRE 1  
 2901 DALLAS PARKWAY, SUITE 400  
 PLANO, TEXAS 75093  
 214-472-4640

**COOPER DESIGN WORKS**  
 LANDSCAPE ARCHITECTURE • PLANNING • URBAN DESIGN  
 PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519  
 cooperdesignworks.com

**PILLAR ELECTRIC GROUP**  
 2703 TELECOM PARKWAY, SUITE 100  
 ROCKWALL, TEXAS 75087  
 469-277-4600

#	DESCRIPTION	DATE
1	City Comments And City Updates	17 Aug 2023
2	Adjust tree loc, add gravel in lieu of sod	13 Dec 2023

Seal:  
 James A Cooper RLA 1287  
 13 December 2023

**SPR DISTRIBUTION CENTER**  
 1480 JUSTIN ROAD  
 ROCKWALL, TEXAS 75087  
 SPR DISTRIBUTION CENTER

Drawn By: CDW  
 Project Number: 22-0013-00  
 Date: 24 APRIL 2023  
 Issue: PERMIT/CONSTRUCTION  
 Approved By: CDW  
 Sheet Number:

**L1.02**  
 Landscape Plan

1 2 3 4 5 6 7 8 9 10

A  
B  
C  
D  
E  
F  
G  
H  
J

**MJDII Architects, Inc.**  
Architecture • Planning • Consulting  
16775 Addison Road, Suite 310 Dallas, Texas 75201  
Tel: (972) 866-8600 Fax: (972) 866-8601

**HILL & WILKINSON**  
GENERAL CONTRACTORS  
DESIGN BUILDER  
2703 TELECOM PARKWAY, SUITE 100  
RICHARDSON, TEXAS 75082  
214-290-4300

**JQ** shaping the built environment  
STRUCTURAL ENGINEERING  
150 GLASS STREET  
DALLAS, TEXAS 75207  
214-758-9088

**Westwood**  
PARKWAY CENTRE 1  
2801 DALLAS PARKWAY, SUITE 400  
PLANO, TEXAS 75093  
214-472-4640

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LANDSCAPE ARCHITECTURE • PLANNING • URBAN DESIGN  
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519  
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469-277-4900

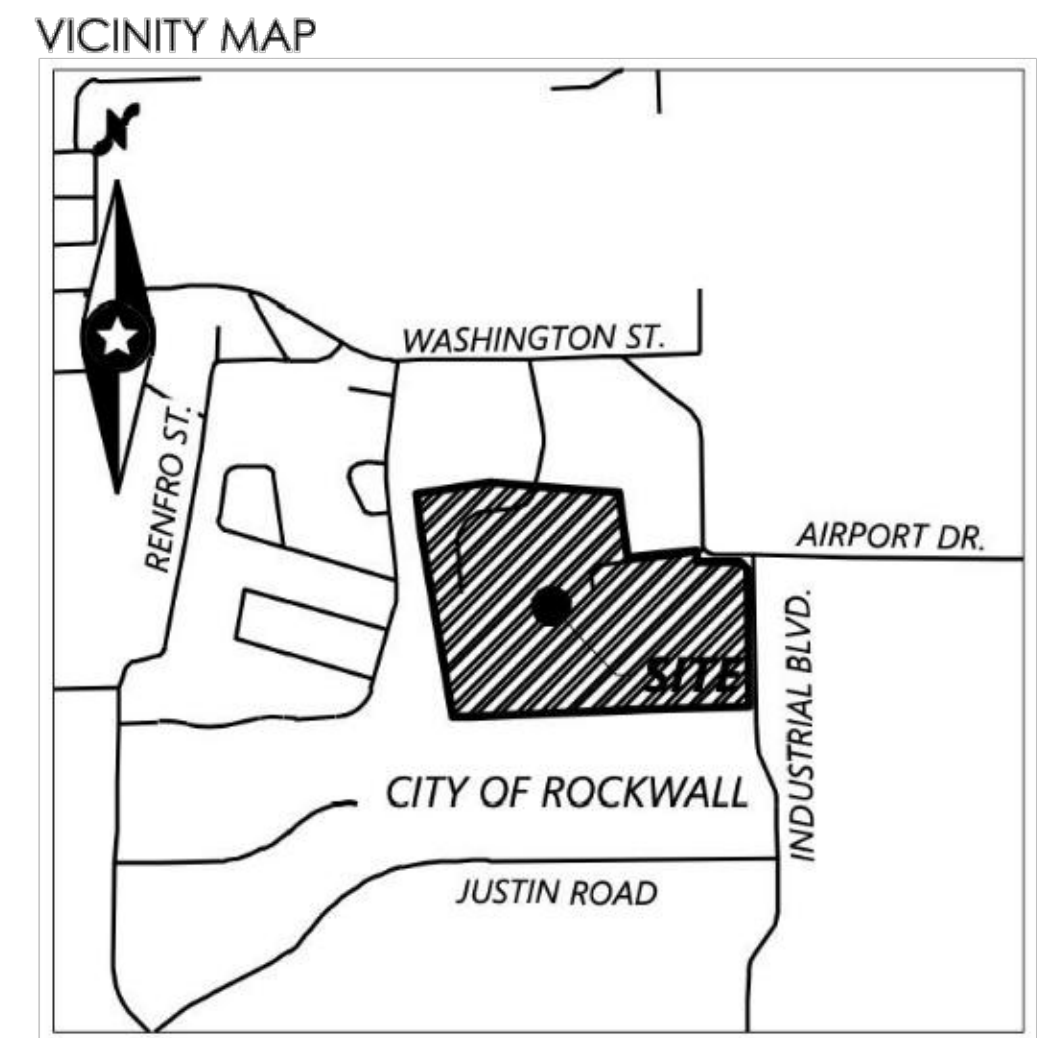
#	DESCRIPTION	DATE
1	City Comments And City Updates	17 Aug 2023
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Seal:  
James A Cooper RLA 1287  
13 December 2023

**SPR**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087  
**SPR DISTRIBUTION CENTER**

Drawn By: CDW  
Project Number: 22-0013-00  
Date: 24 APRIL 2023  
Issue: PERMIT/CONSTRUCTION  
Approved By: CDW  
Sheet Number:

**L1.03**  
Landscape Plan



**Landscape Calculations:**

**Parking Lot Landscaping:**

Parking Area (Double Row):	4958 SF
Interior Landscape Area Required 5%:	249 SF
Interior Landscape Area Provided:	250 SF

Parking lot trees provided at terminus of rows and islands.

**Detention Pond Landscaping:**

Detention Pond Area:	160,537 SF
Native Grass Seed/Sod Provided:	160,537 SF
Ornamental Grasses Required:	214 (5) Gallon Plants
160,537 SF / 1 Plant per 750 SF = 214	
Ornamental Grasses Provided:	

(14) 3" Cedar trees are substituted for ornamental grasses.

**Abutting Residential Buffer:**

Landscape buffer abutting residential development is existing.

**Landscape Notes:**

An automatic irrigation system will be provided comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
<b>GENERAL SITE DATA</b>	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#/STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX 1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	288,415
LANDSCAPE AREA (SF)	211,864

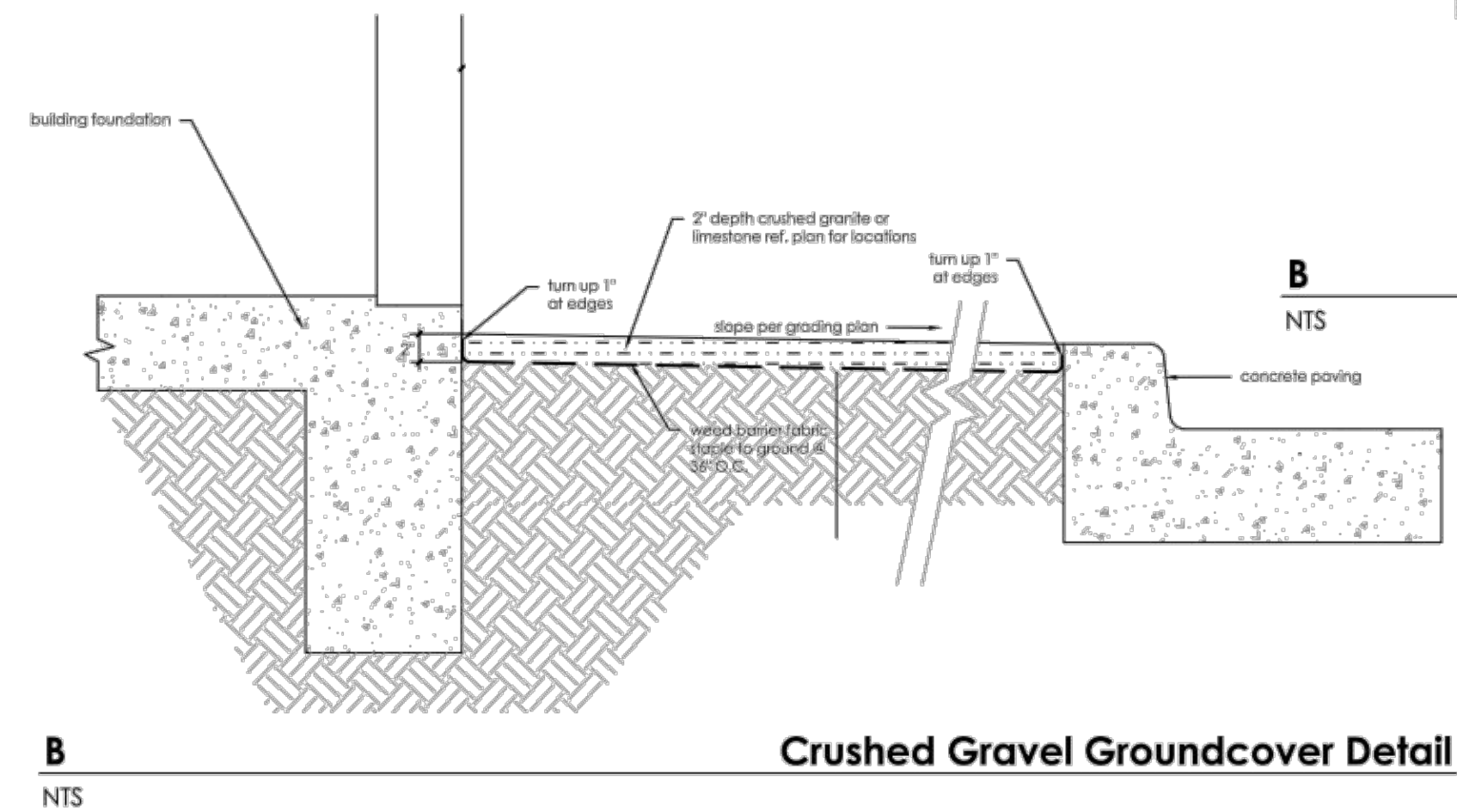
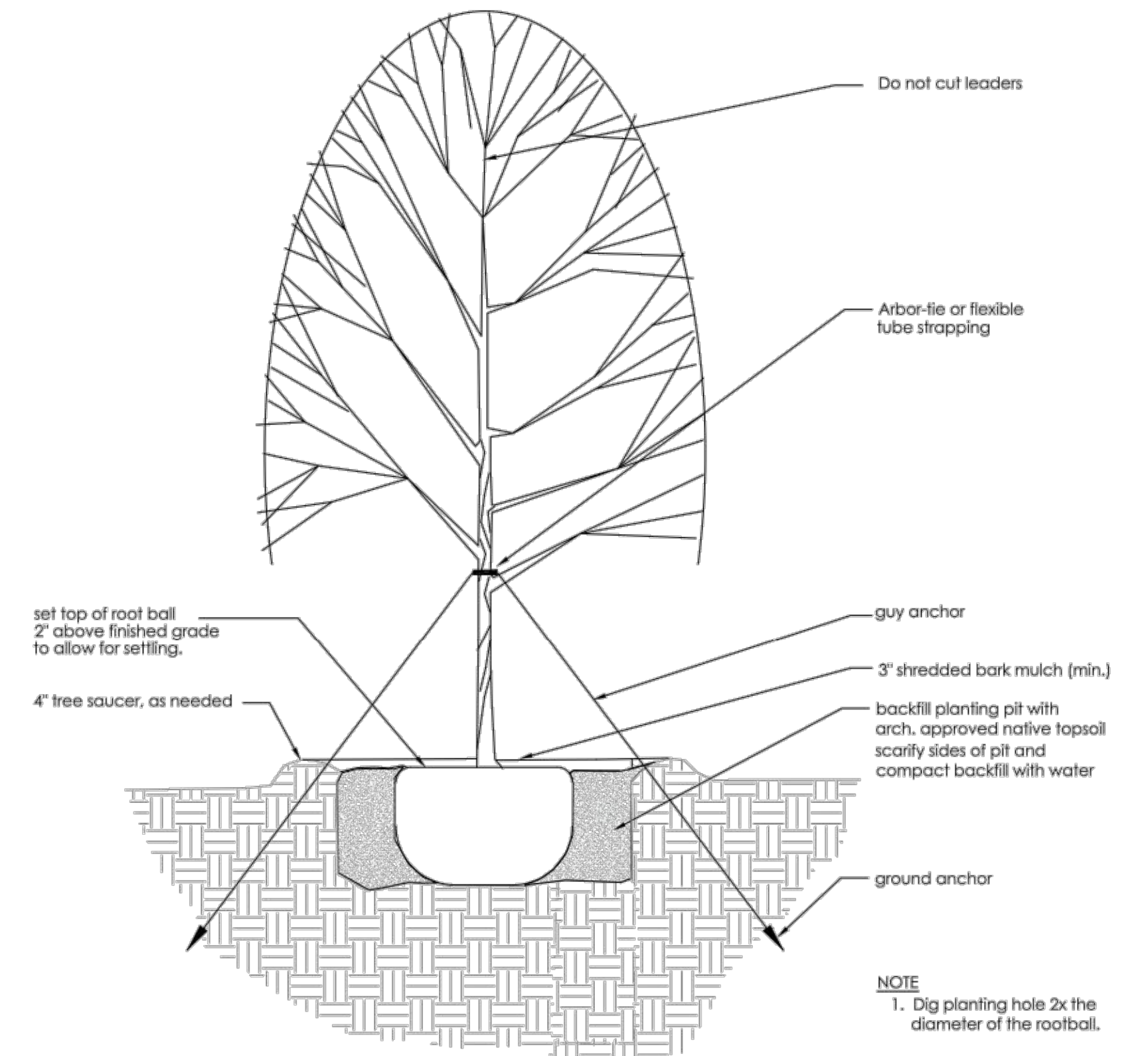
**PLANT SCHEDULE**

**Large Shade And Evergreen Trees**

	SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION AT PLANTING
Indicates new buffer tree to be added.	FE BO LO EC CO	13 23 45 10 20	Native Pecan Bur Oak Live Oak Bald Cypress Chinquapin Oak	Carya illinoensis Quercus macrocarpa Quercus virginiana Taxodium distichum Quercus muhlenbergi	Buffer trees. 4" Caliper 12'-14' Ht./ 4'-5' spread, container grown straight trunk.
Indicates existing buffer tree to be replaced.	EC	71	Eastern Red Cedar	Juniper virginiana	3" Caliper 7'-8' Ht./ 3'-4' spread, container grown full to ground.
Indicates new tree to be added.	CE	5	Cedar Elm	Ulmus crassifolia	4" Caliper 12'-14' Ht./ 5'-6' spread, container grown straight trunk.

**Shrubs and Groundcovers**

	SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION AT PLANTING
		159,580 SF	Texas/Oklahoma Roadside Mix Evering Pinnaroo Little Bluestem Purple Three-awn Sideoats Grama Buffalo Grass	Native America Seed Co. Cenothera speciosa Schizachyium scoparium Aristida purpurea Bouteloua curtipendula Bouteloua dactyloides	See specifications for seed quantities. Drill seed and hydromulch cover per supplier recommendation. Submit product data or sample.
		85,347			Heavy hydromulch cap for erosion control. Alternate No. 1 - erosion control blanket in lieu of hydromulch cap.
		6,773 SF	Solid Buffalo Sod	Bouteloua dactyloides	Add 1" organic compost filled 3" depth into topsoil. Fine grade prior to installation
		36,624 SF	Bermuda Hydromulch	Cynodon dactylon	Fine grade prior to installation
		22,380 SF	Crushed Gravel		2' depth over weed barrier fabric. Clean crushed granite or limestone 3/4"-1" size.



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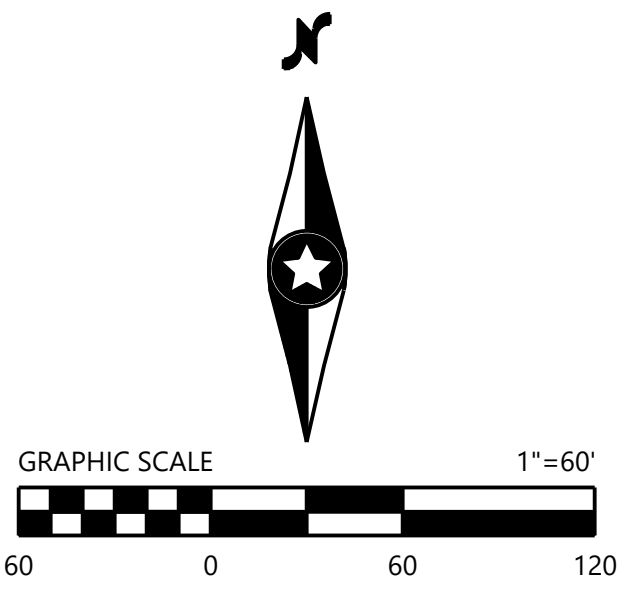
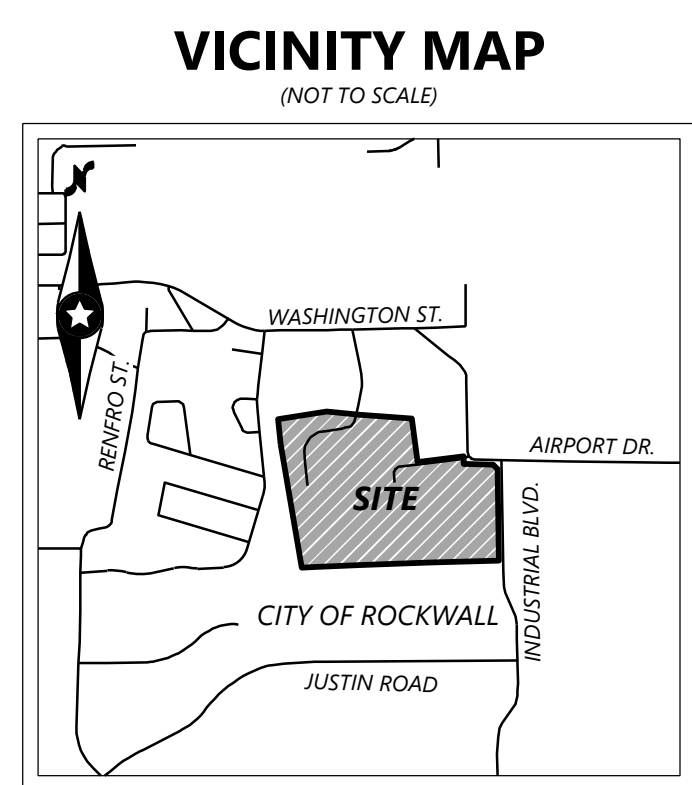
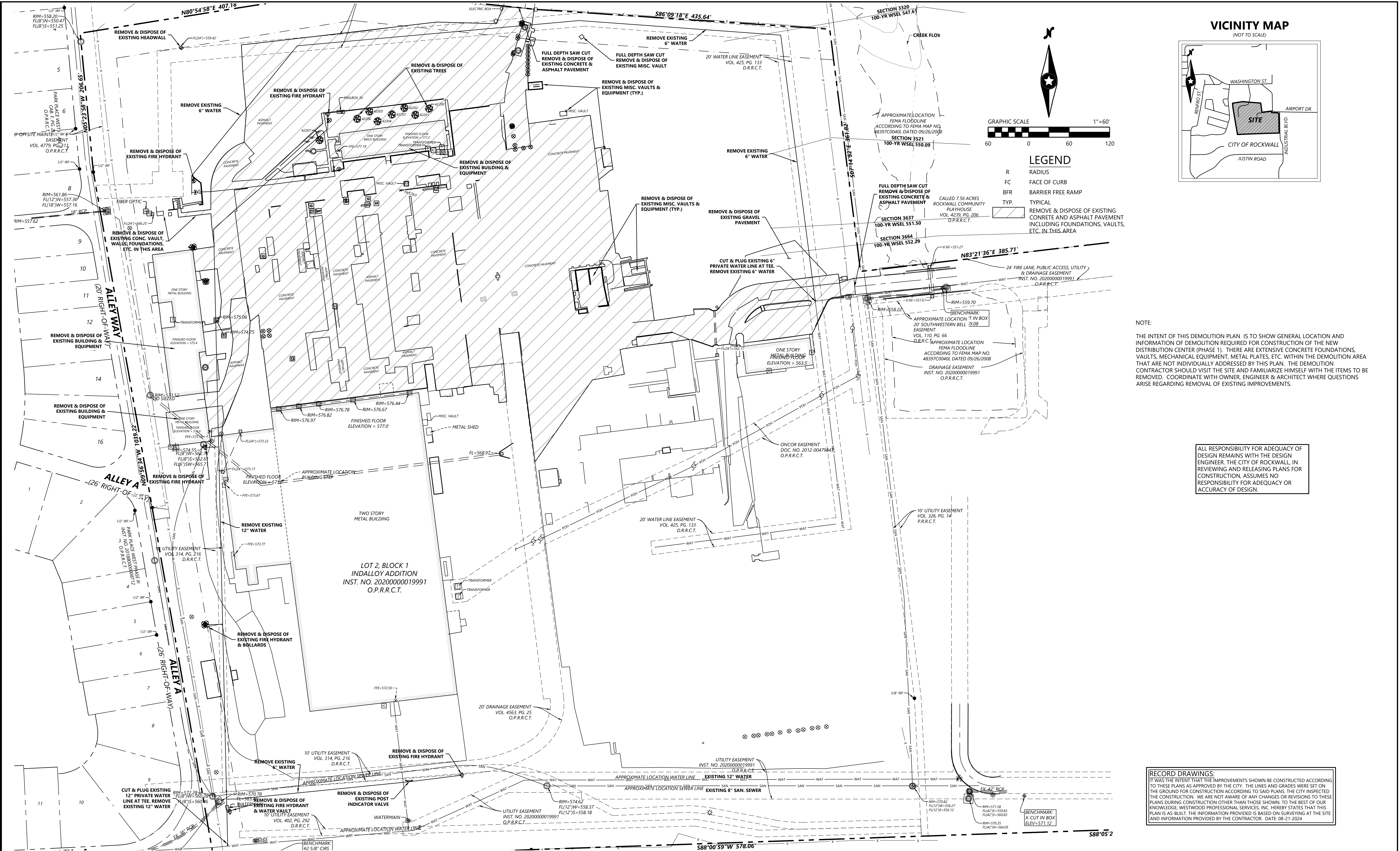






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N:\0036677\001 PROJECT DATA\DWG\CIVIL\0036677.00-DEM.DWG



**LEGEND**

R	RADIUS
FC	FACE OF CURB
BFR	BARRIER FREE RAMP
TYP.	TYPICAL
[Hatched Box]	REMOVE & DISPOSE OF EXISTING CONCRETE AND ASPHALT PAVEMENT INCLUDING FOUNDATIONS, VAULTS, ETC. IN THIS AREA

**NOTE:**

THE INTENT OF THIS DEMOLITION PLAN IS TO SHOW GENERAL LOCATION AND INFORMATION OF DEMOLITION REQUIRED FOR CONSTRUCTION OF THE NEW DISTRIBUTION CENTER (PHASE 1). THERE ARE EXTENSIVE CONCRETE FOUNDATIONS, VAULTS, MECHANICAL EQUIPMENT, METAL PLATES, ETC. WITHIN THE DEMOLITION AREA THAT ARE NOT INDIVIDUALLY ADDRESSED BY THIS PLAN. THE DEMOLITION CONTRACTOR SHOULD VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE ITEMS TO BE REMOVED. COORDINATE WITH OWNER, ENGINEER & ARCHITECT WHERE QUESTIONS ARISE REGARDING REMOVAL OF EXISTING IMPROVEMENTS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**RECORD DRAWINGS:**

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DESIGNED: \_\_\_\_\_

CHECKED: \_\_\_\_\_

DRAWN: \_\_\_\_\_

HORIZONTAL SCALE: \_\_\_\_\_

VERTICAL SCALE: \_\_\_\_\_

INITIAL ISSUE: 08/18/2023

REVISIONS:

▲	08-31-2023	CITY COMMENTS
▲	09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
▲	10-19-2023	RFI 035 RESPONSE
▲	12-11-2023	REVISED PARKING/GENERATOR
▲	08-21-2024	RECORD DRAWINGS

PREPARED FOR:

**SPR PACKAGING**

1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



**SPR DISTRIBUTION CENTER**

ROCKWALL, TEXAS

**Westwood**

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Westwood Professional Services, Inc.  
TYPE FIRM REGISTRATION NO. F-11758  
TYPE FIRM REGISTRATION NO. 1007401

SHEET NUMBER: **DM-01**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

SPR DISTRIBUTION CENTER

**GENERAL ITEMS**

- 1. All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- 2. Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- 3. The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/engr.asp>
- 4. All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- 5. Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- 6. The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- 7. All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- 8. All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- 9. The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- 10. A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

**EROSION CONTROL & VEGETATION**

- 1. The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- 2. Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- 3. All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- 4. If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- 5. All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- 6. The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- 7. CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- 8. CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- 9. All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- 10. All adjacent streets/alleys shall be kept clean at all times
- 11. CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- 12. Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- 13. During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- 14. Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- 15. All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- 16. During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

**TRAFFIC CONTROL**

- 1. All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- 2. When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- 3. All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- 4. All traffic control plans must be prepared, signed, and sealed by an individual that is licensed as a professional engineer in the State of Texas. All traffic control plans and copies of work zone certification must be submitted for review and approval a minimum of three (3) weeks prior to the anticipated temporary traffic control.
- 5. The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- 6. Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- 7. All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- 8. Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am - 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- 9. No traffic signs shall be taken down without permission from the City.
- 10. No street/roadway will be allowed to be fully closed.

**UTILITY LINE LOCATES**

- 1. It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and .or any other underground utilities not on record or not shown on the plans.
- 2. The CONTRACTOR shall be responsible for damages to utilities
- 3. CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- 4. All utilities shall be placed underground.
- 5. CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- 6. The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call - 811 - line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- 7. Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - a. No more than 500 linear feet of trench may be opened at one time.
  - b. Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - c. Applicable safety regulations shall be complied with.
- 11. This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- 12. All underground lines shall be installed, inspected, and approved prior to backfilling.
- 13. All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

**WATER LINE NOTES**

- 1. The CONTRACTOR shall maintain existing water service at all times during construction.
- 2. Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- 3. Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- 4. CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- 5. CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- 6. All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- 7. Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- 8. All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- 9. All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- 10. Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- 11. All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- 12. All joints are to be megalug joints with thrust blocking.
- 13. Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- 14. CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- 15. All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

**WASTEWATER LINE NOTES**

- 1. The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- 2. Wastewater line for 4-inch through 15-inch shall be Green PVC - SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC - PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- 3. Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- 4. Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- 5. CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- 6. All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- 7. Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- 8. All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- 9. All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- 10. All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal. ConShield must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- 11. All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- 12. If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- 13. CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.



**GENERAL CONSTRUCTION NOTES**  
Sheet 1 of 2  
October 2020

**CITY OF ROCKWALL**  
**ENGINEERING DEPARTMENT**

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VERTICAL SCALE:

INITIAL ISSUE: 08/18/2023  
REVISIONS:  
08-31-2023 CITY COMMENTS  
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TPELS FIRM REGISTRATION NO. 10074301

**CITY OF ROCKWALL GENERAL**  
**CONSTRUCTION NOTES 1**

**GN-1**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

**DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES**

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

**PAVING AND GRADING**

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

**DRAINAGE / STORM SEWER NOTES**

- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
- All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
- All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

**RETAINING WALLS**

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
- All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

**FINAL ACCEPTANCE AND RECORD DRAWINGS/AS-BUILTS**

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
- Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
- The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
- Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."



**GENERAL CONSTRUCTION NOTES**  
Sheet 2 of 2  
October 2020

**CITY OF ROCKWALL**  
**ENGINEERING DEPARTMENT**

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HORIZONTAL SCALE:  
VERTICAL SCALE:

INITIAL ISSUE: 08/18/2023  
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**CITY OF ROCKWALL GENERAL**  
**CONSTRUCTION NOTES 2**

SHEET NUMBER:

**GN-2**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

PAVING AND DRAINAGE GENERAL NOTES:

- 1. ALL WORK UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AS ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, AND THE CITY OF ROCKWALL STANDARD CONSTRUCTION SPECIFICATIONS. COPIES OF NCTCOG SPECIFICATIONS CAN BE OBTAINED BY CONTACTING NCTCOG @ 616 SIX FLAGS DRIVE, SUITE 200, ARLINGTON, TEXAS 76005-5888. (817) 640-3300
2. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE TYPE IA, CLASS 'C', 3600 PSI (MIN 6.5 SACK MIX) STRENGTH AT 28 DAYS. CONCRETE FOR INLET AND DRAINAGE STRUCTURES SHALL BE TYPE I, CLASS 'F', 4200 PSI (MIN 7.0 SACK MIX) STRENGTH AT 28 DAYS.
3. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEAN OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. THEY MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING AND GRADING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE THROUGHOUT THE CONSTRUCTION OF THIS PROJECT.
5. CONTRACTOR SHALL MAINTAIN ONE SET OF "RECORD DRAWINGS" ON SITE WHICH WILL BE SUBMITTED TO THE OWNER OR ENGINEER UPON COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL INDICATE THE LOCATION OF ALL SUBTERRANEAN UTILITY IMPROVEMENTS AND/OR RELOCATIONS. THEY SHALL ALSO INCLUDE DIMENSIONAL TIES TO ALL MANHOLES, CULVERTS, INLETS, JUNCTION BOXES, FIRE HYDRANTS, ETC.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND BEING IN COMPLIANCE WITH ALL FEDERAL (O.S.H.A. STANDARDS AND REGULATIONS), STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
7. BARRICADING AND PROJECT SIGNS SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS" ON TxDOT ROADWAYS AND "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI" FOR PRIVATE WORK AND WITHIN CITY ROW. BARRICADES AND PROJECT SIGNS SHALL ALSO MEET CITY CODE.
8. UNLESS OTHERWISE NOTED, THE STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
A. CLASS III, RCP C-76 (CIRCULAR), C-506 (PRIVATE ARCH), C-507 (PRIVATE ELLIPTICAL)
B. ADS N-12, ADS N-12 WT FOR WATER TIGHT APPLICATIONS (PRIVATE)
C. CONTECH ALUMINIZED ULTRA FLO (PRIVATE)
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
9. RCP STORM SEWER JOINT MATERIALS MAY BE OF THE FOLLOWING (ASTM C-990):
A. RAM-NECK
B. CON-SEAL
C. CEMENT GROUT
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
10. STORM SEWER CONNECTIONS FOR NEW INTERCEPTING MAINS SHALL BE FACTORY WYES FOR 48" AND SMALLER PIPE.
11. ALL HEADWALLS SHALL BE POURED IN PLACE, UNLESS OTHERWISE SPECIFIED.
12. GRADING OF ALL HANDICAPPED SPACES AND ROUTES SHALL CONFORM TO STATE, LOCAL AND FEDERAL REGULATIONS. THE MAXIMUM CROSS FALL SHALL BE 2% (1" IN 50') AND THE MAXIMUM SLOPE FOR INGRESS/EGRESS ALONG THE ROUTE SHALL BE 5% (1" IN 20'), AND A 2% MAXIMUM SLOPE IN ANY DIRECTION MUST BE MAINTAINED WITHIN THE FIRST 5' FROM ANY ENTRY OR EXIT OF A BUILDING OR LANDING AREA.
13. FINAL PAVING, CURB AND SIDEWALK ELEVATIONS SHALL BE PLACED AT THE PROPOSED GRADE ELEVATIONS WITHIN PLUS OR MINUS 0.05 FEET.
14. ANY CONCRETE, ROCK, DEBRIS OR MATERIAL DEEMED UNSUITABLE FOR SUB-GRADE BY THE ENGINEER OR CITY SHALL BE DISPOSED OF OFF SITE OUTSIDE THE CITY LIMITS AT THE CONTRACTOR'S EXPENSE.
15. TRENCH BACK FILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND NCTCOG ITEM 504 AND 504.6 AND SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH NCTCOG ITEM 504 TO A MINIMUM OF 95 PERCENT STANDARD PROCTOR DENSITY UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE CITY STANDARD SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
16. EMBEDMENT FOR PIPES SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504 UNLESS OTHERWISE SHOWN ON THESE PLANS OR NOTED IN THE STANDARD CITY SPECIFICATIONS. CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM OF THE CRUSHED STONE BEDDING. IF ROCK IS ENCOUNTERED, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF TRENCH SHALL BE BACK FILLED WITH QUALITY TOPSOIL.
17. IF REQUIRED BY CONSTRUCTION, POWER POLES TO BE BRACED AND/OR RELOCATED AT THE CONTRACTOR'S EXPENSE.
18. REFER TO THE GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND RELATED MOISTURE CONTENT.
19. DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
20. TREES SHALL REMAIN AND BE PROTECTED UNLESS SPECIFIED OTHERWISE ON THE LANDSCAPE PLAN OR APPROVED BY THE OWNER AND THE CITY.
21. REFER TO THE ARCHITECTURAL AND M.E.P. PLANS FOR COORDINATION OF ALL UTILITY CONNECTIONS (ROOF DRAIN COLLECTION, WATER, SEWER, ETC.).
22. REFER TO THE PAVING AND DRAINAGE PLANS FOR ADDITIONAL INFORMATION RELATED TO SAID CONSTRUCTION.
23. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL SUBMIT BOND AND THREE WAY CONTRACTS TO THE CITY AND OWNER AS REQUIRED.
24. DETENTION SYSTEM MUST BE INSTALLED, SODDED AND FUNCTIONING BEFORE PAVEMENT MAY BE PLACED.

WATER AND SANITARY SEWER GENERAL NOTES:

- 1. ALL WORK UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AS ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, AND THE CITY OF ROCKWALL STANDARD CONSTRUCTION SPECIFICATIONS. COPIES OF NCTCOG SPECIFICATIONS CAN BE OBTAINED BY CONTACTING NCTCOG @ 616 SIX FLAGS DRIVE, SUITE 200, ARLINGTON, TEXAS 76005-5888. (817) 640-3300
2. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE TYPE IA, CLASS 'C', 3600 PSI (6.5 SACK MIN) STRENGTH AT 28 DAYS. CONCRETE FOR INLET AND DRAINAGE STRUCTURES SHALL BE TYPE I, CLASS 'F', 4200 PSI (7 SACK MIN) STRENGTH AT 28 DAYS.
3. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEAN OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. THEY MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING AND GRADING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE THROUGHOUT THE CONSTRUCTION OF THIS PROJECT.
5. CONTRACTOR SHALL MAINTAIN ONE SET OF "RECORD DRAWINGS" ON SITE WHICH WILL BE SUBMITTED TO THE OWNER OR ENGINEER UPON COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL INDICATE THE LOCATION OF ALL SUBTERRANEAN UTILITY IMPROVEMENTS AND/OR RELOCATIONS. THEY SHALL ALSO INCLUDE DIMENSIONAL TIES TO ALL MANHOLES, CULVERTS, INLETS, JUNCTION BOXES, FIRE HYDRANTS, ETC.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND BEING IN COMPLIANCE WITH ALL FEDERAL (O.S.H.A. STANDARDS AND REGULATIONS), STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
7. BARRICADING AND PROJECT SIGNS SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS" ON TxDOT ROADWAYS AND "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI" FOR PRIVATE WORK OR WITHIN CITY ROW. BARRICADES AND PROJECT SIGNS SHALL ALSO MEET CITY CODE.
8. ALL WATER MAINS 12" IN DIAMETER SHALL BE PVC C-900, DR 14, CLASS 200 (DR 18, CLASS 150 IF 8 INCHES OR LESS).
9. ALL WATER MAINS UNLESS OTHERWISE NOTED SHALL HAVE A MINIMUM COVER OF 48 INCHES (4" THRU 8"); 60 INCHES (10" THRU 12"); 72 INCHES (14 INCHES AND LARGER) TO THE TOP OF PIPE BELOW FINISHED GRADES.
10. ALL WATER SERVICES TO BE INSTALLED IN ACCORDANCE TO CITY REQUIREMENTS.
11. ALL SANITARY SEWER PIPE TO BE PVC SDR-35, UNLESS OTHERWISE NOTED.
12. CONTRACTOR TO TEST WATER AND SANITARY SEWER LINES IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
13. ALL METER BOXES TO BE LOCATED IN NON-TRAFFIC AREAS.
14. FIRE HYDRANTS SHALL BE PLACED 3 FEET FROM THE BACK OF CURB LOCATED AS SHOWN ON THE PLANS. THE FIRE HYDRANT SHALL BE CITY APPROVED AND PAINTED TO BE COLOR CODED PER CITY REQUIREMENTS.
15. ALL DUCTILE IRON FITTINGS SHALL BE OF THE MECHANICAL JOINT TYPE OR SLIP JOINT AND SHALL BE CLASS D, OR CLASS 250 ON SIZES 12 INCHES AND SMALLER IN ACCORDANCE WITH A.W.W.A. SPECIFICATIONS C-110-64 AND C-111-64.
16. CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, BENDS AND FIRE HYDRANTS PER STANDARD CITY SPECIFICATIONS. PAYMENT FOR CONCRETE BLOCKING SHALL BE SUBSIDIARY TO PIPE INSTALLATION AND SHALL BE INCLUDED IN THE BID PRICE THEREOF.
17. ANY CONCRETE, ROCK, DEBRIS OR MATERIAL DEEMED UNSUITABLE FOR SUB-GRADE BY THE ENGINEER SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
18. TRENCH BACK FILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504 AND 504.6 AND SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH NCTCOG ITEM 504 TO A MINIMUM OF 95 PERCENT STANDARD PROCTOR DENSITY UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE CITY STANDARD SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
19. EMBEDMENT FOR PIPES SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504 UNLESS OTHERWISE SHOWN ON THESE PLANS OR NOTED IN THE STANDARD CITY SPECIFICATIONS. CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM OF THE CRUSHED STONE BEDDING. IF ROCK IS ENCOUNTERED, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF TRENCH SHALL BE BACK FILLED WITH QUALITY TOPSOIL.
20. CLASS "B" EMBEDMENT SHALL BE USED FOR RCP PIPE. (CITY STD.)
21. CLASS "B-3" EMBEDMENT SHALL BE USED FOR PVC PIPE. (CITY STD.)
22. CLASS "B-3" EMBEDMENT SHALL BE USED FOR DUCTILE IRON PIPE.
23. CLASS "B-2" EMBEDMENT SHALL BE USED FOR ADS PIPE.
24. IF REQUIRED BY CONSTRUCTION, POWER POLES TO BE BRACED AND/OR RELOCATED AT THE CONTRACTOR'S EXPENSE.
25. REFER TO THE GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND RELATED MOISTURE CONTENT.
26. TREES SHALL REMAIN AND BE PROTECTED UNLESS SPECIFIED OTHERWISE ON THE LANDSCAPE PLAN OR APPROVED BY THE OWNER AND THE CITY.

WATER AND SANITARY SEWER GENERAL NOTES CONT.:

- 28. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES FLOW LINES PRIOR TO BEGINNING CONSTRUCTION.
29. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACK FILL. AFTER CURB AND PAVING IS COMPLETE, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR PAVING WITH TWO CHISELED 6" CUTS (2" SEPARATION) IN ACCORDANCE WITH STANDARD CITY SPECIFICATIONS.
30. THE CONTRACTOR TO INSTALL THE WATER SERVICES TO A POINT 2 FEET FROM BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING HAS BEEN COMPLETED AND THE FINE GRADING BEHIND THE CURB AND PAVING AREAS. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB OR PAVING WITH A CHISELED 6" CUT IN ACCORDANCE WITH STANDARD CITY SPECIFICATIONS AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS"
31. VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER FINAL GRADING AND ALIGNMENT HAS BEEN COMPLETED, THE CONTRACTOR SHALL POUR A CONCRETE PAD BLOCK (24"x24"x6") AROUND ALL VALVES AS TO PROVIDE THE FINISHED GRADE OF THE PAD TO BE EQUAL TO THE FINISHED GRADES ADJACENT TO THE VALVES.
32. WHEN WATER AND SANITARY SEWER MAINS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER THAN NINE (9) FEET TO EACH OTHER IN ALL DIRECTIONS AS MEASURED FROM THE OUTSIDE OF THE PIPES. PARALLEL LINES SHALL BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED OR MAINTAINED, THE FOLLOWING GUIDELINES SHALL APPLY:
A. WHERE A SANITARY SEWER PARALLELS A WATER LINE, THE SEWER SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC PIPE MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING FOR BOTH THE PIPE AND JOINTS OF 150 PSI. THE VERTICAL SEPARATION SHALL BE A MINIMUM OF 2 FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATER.
B. WHERE A SANITARY SEWER CROSSES A WATERLINE AND THE SEWER IS CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI, AN ABSOLUTE MINIMUM DISTANCE OF SIX INCHES BETWEEN OUTSIDE DIAMETERS SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF SEWER PIPE MUST BE
C. WHERE A SANITARY SEWER CROSSES UNDER A WATERLINE AND THE CENTERED ON THE WATERLINE. SEWER IS CONSTRUCTED OF ABS TRUSS PIPE, SIMILAR SEMI-RIGID PLASTIC COMPOSITE PIPE, CLAY PIPE OR CONCRETE PIPE WITH GASKETED JOINTS, A MINIMUM OF TWO FOOT SEPARATION DISTANCE SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
D. WHERE A SEWER CROSSES OVER A WATERLINE ALL PORTIONS OF THE SEWER WITHIN NINE FEET OF THE WATERLINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC PIPE WITH A PRESSURE RATING OF AT LEAST 150 PSI USING APPROPRIATE ADAPTERS. IN LIEU OF THIS PROCEDURE, THE NEW CONVEYANCE MAY BE ENCASED IN A JOINT OF 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE FEET INTERVALS WITH SPACERS OR BE FILLED TO THE SPRING LINE WITH WASHED SAND. THE ENCASMENT PIPE SHOULD BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEAL.
E. THE SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO BE INSTALLED PARALLEL TO AN EXISTING SEWER THAT SHOWS NO EVIDENCE OF LEAKAGE AND THE WATERLINE IS INSTALLED ABOVE THE SEWER A MINIMUM OF TWO FEET VERTICALLY AND FOUR FEET HORIZONTALLY. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBPARAGRAPHS (A) OR (D) OF THIS PARAGRAPH.
F. THE SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO CROSS OVER (BY TWO FEET OR MORE) EXISTING SEWER SHOWING NO EVIDENCE OF LEAKAGE. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THEN THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBSECTIONS (C) OF (D) OF THIS PARAGRAPH.
33. REFER TO THE WATER AND SEWER PLANS FOR ADDITIONAL INFORMATION RELATED TO SAID CONSTRUCTION.
34. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL SUBMIT BOND AND THREE WAY CONTRACTS TO THE CITY AND OWNER AS REQUIRED.
35. FIRE SPRINKLER LINE TO BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
36. ALL UTILITIES INSTALLED OUTSIDE OF AN EASEMENT SHALL BE INSTALLED BY A LICENSED PLUMBER AND INSPECTED BY THE CITY CODE ENFORCEMENT.
37. REFER TO THE ARCHITECTURAL AND M.E.P. PLANS FOR COORDINATION OF ALL UTILITY CONNECTIONS (ROOF DRAIN COLLECTION, WATER, SEWER, ETC.).

NOTE: IN THE EVENT OF A CONFLICT WITH CITY NOTES AND/OR DETAILS WITH THIS SHEET, THE CITY STANDARDS SHALL PREVAIL.

GRADING GENERAL NOTES:

- 1. CONTRACTOR SHALL REMOVE TOP SOIL (4"-6" TYP.) PRIOR TO SITE EXCAVATION AND PLACEMENT OF FILL. TOP SOIL SHALL BE STOCK PILED AT A LOCATION ACCEPTABLE TO THE OWNER FOR RE-USE DURING FINAL GRADING OF LANDSCAPE AREAS.
2. ALL AREAS TO RECEIVE FILL SHALL FIRST BE SCARIFIED TO A DEPTH OF 8 INCHES AND RE-COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT BETWEEN OPTIMUM AND 3% ABOVE OPTIMUM.
3. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN DEPTH.
4. EACH LIFT OF FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT BETWEEN OPTIMUM AND 3% ABOVE OPTIMUM.
5. COMPACTION OF ALL FILL AREAS TO BE MONITORED AND TESTED BY A QUALIFIED SOIL TESTING LABORATORY SUPPLIED BY THE OWNER. COMPACTION TESTS SHALL BE PERFORMED AT A RATE OF ONE TEST PER 10,000 SF OF FILL AREA FOR EACH LIFT. REFER TO NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) SPECIFICATIONS FOR FREQUENCY OF COMPACTION TESTING IN BACKFILL OF UTILITY TRENCHES.
6. FILL MATERIAL SHALL BE FREE OF ROCK OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION OR OTHER DELETERIOUS MATTER.
7. REFERENCE GEOTECHNICAL REPORT FOR THIS PROJECT FOR ADDITIONAL GRADING/ EARTHWORK REQUIREMENTS AND/OR MODIFICATIONS TO THE ABOVE NOTES. IN THE EVENT THAT A CONFLICT EXISTS THE GEOTECHNICAL REPORT SHALL GOVERN.

LANDSCAPING GENERAL NOTES:

- 1. ALL MATERIALS FOR TURF GRASS PROVIDED SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, AS ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, AND THE CITY SPECIFICATIONS AND AS NOTED IN THE PLANS AND CONTRACT DOCUMENTS.
2. BERMUDA GRASS SEED. TURF GRASS SEED SHALL BE "CYNODON DACTYLON" (COMMON BERMUDA GRASS). THE SEED SHALL BE HARVESTED WITHIN ONE YEAR PRIOR TO PLANTING, FREE OF JOHNSON GRASS, FIELD BIND WEED, DODDER SEED, AND FREE OF OTHER WEED SEED TO THE LIMITS ALLOWABLE UNDER THE FEDERAL SEED ACT AND APPLICABLE SEED LAWS. THE SEED SHALL NOT BE A MIXTURE. THE SEED SHALL BE HULLED, EXTRA FANCY GRADE, TREATED WITH FUNGICIDE AND HAVE A GERMINATION AND PURITY THAT SHALL PRODUCE, AFTER ALLOWANCE FOR FEDERAL SEED ACT TOLERANCES, A PURE LIVE SEED CONTENT OF NOT LESS THAN 85% USING THE FORMULA: PURITY PERCENT TIME (GERMINATION PERCENT TIMES PLUS HARD OR SOUND SEED FIVE PERCENT). SEED SHALL BE LABELED IN ACCORDANCE WITH U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS.
A. CERTIFICATE SUBMITTAL. PRIOR TO PLANTING, PROVIDE THE OWNER AND ENGINEER WITH THE STATE OF TEXAS CERTIFICATE STATING ANALYSIS OF PURITY AND GERMINATION OF SEED.
3. RYE GRASS SEED. TURF GRASS SEED SHALL BE "LOLIUM MULTIFLORUM" (ITALIAN OR ANNUAL RYE GRASS). THE SEED SHALL BE HARVESTED WITHIN ONE YEAR PRIOR TO PLANTING AND SHALL BE FREE OF PERENNIAL RYE GRASS SEED, OTHER GRASS SEED AND WEED SEED TO THE LIMITS ALLOWABLE UNDER THE FEDERAL SEED ACT AND APPLICABLE SEED LAWS. SEED SHALL BE AT LEAST 95% PURE AND SHALL HAVE A 90% MINIMUM GERMINATION RATE.
A. CERTIFICATE SUBMITTAL. PRIOR TO PLANTING, PROVIDE THE OWNER AND ENGINEER WITH THE STATE OF TEXAS CERTIFICATE STATING ANALYSIS OF PURITY AND GERMINATION OF SEED.
4. TIMES OF HYDROMULCHING SHALL BE AS FOLLOWS:
A. SEPTEMBER 1 TO APRIL 1 - RYE GRASS SEED SHALL BE APPLIED.
B. APRIL 2 TO AUGUST 31 - BERMUDA GRASS SEED SHALL BE APPLIED.
5. ALL DISTURBED ROW TO BE SODDED BEFORE PROJECT ACCEPTANCE.

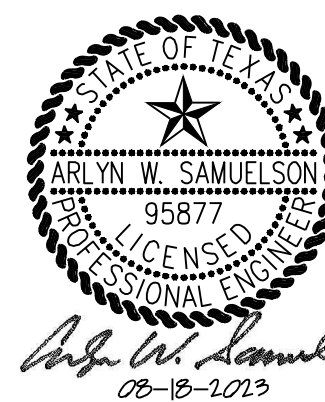
RECORD DRAWINGS: IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLAN IS AS BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 08-21-2024

Table with 2 columns: Action and User. Includes rows for DESIGNED: AWS, CHECKED: AWS, DRAWN: SWY, HORIZONTAL SCALE, and VERTICAL SCALE.

Table with 2 columns: Date and Description. Includes rows for INITIAL ISSUE: 08/18/2023, REVISIONS, and a list of revisions from 08-31-2023 to 08-21-2024.

PREPARED FOR:

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1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087



SPR DISTRIBUTION CENTER
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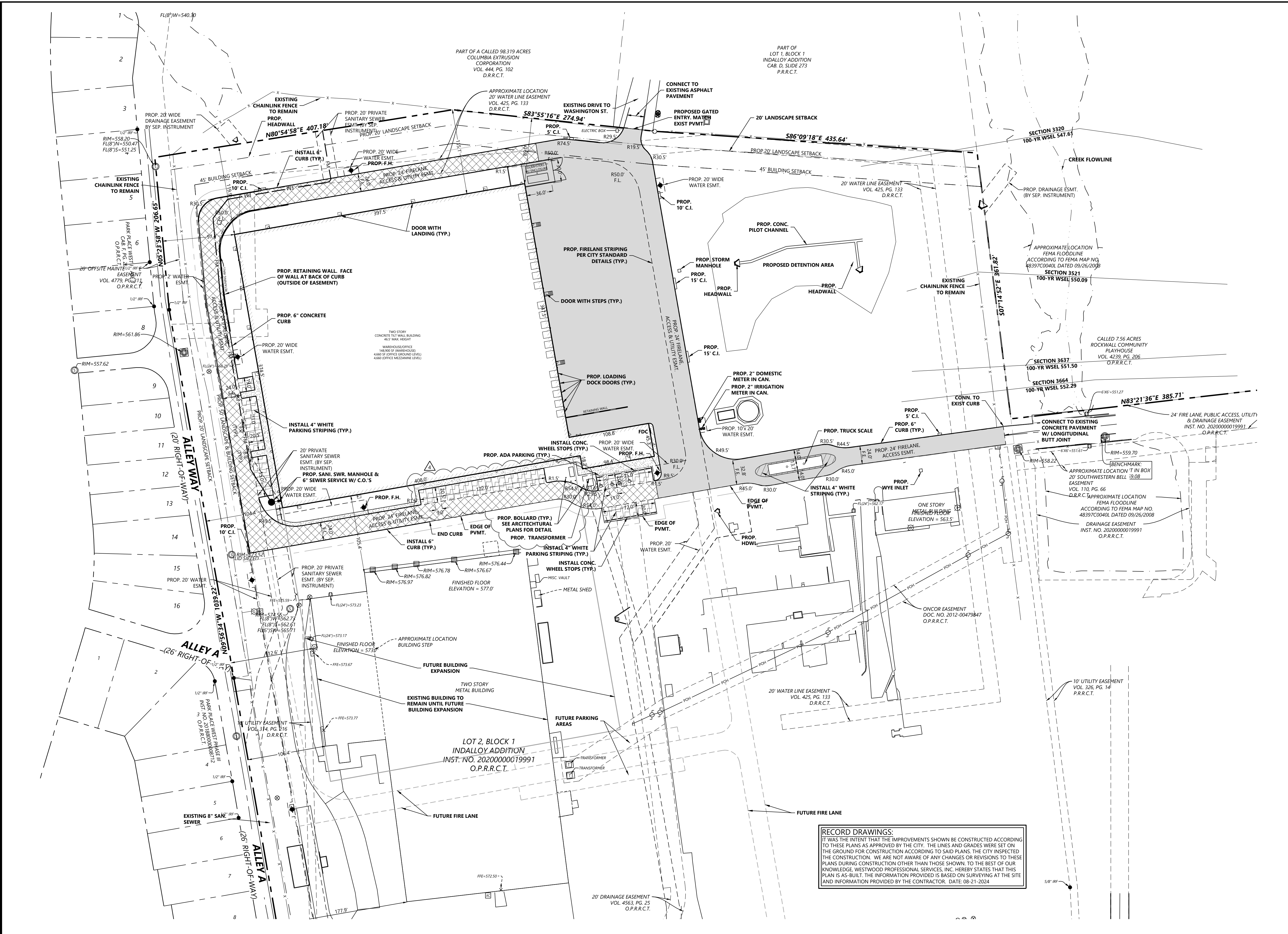
Westwood Professional Services, Inc.
TBE FIRM REGISTRATION NO. F-11758
TBSL FIRM REGISTRATION NO. 10074301

GENERAL NOTES

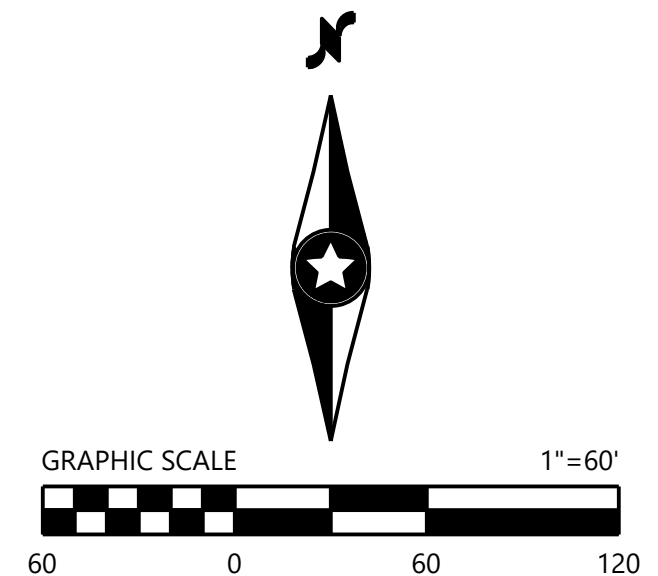
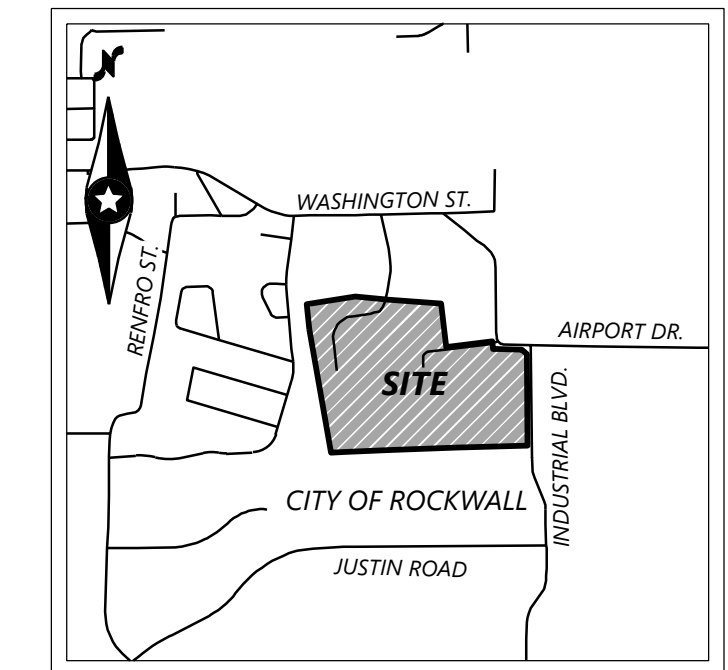
GN-3

SHEET NUMBER:

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023



### VICINITY MAP



### LEGEND

- EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING STORM MANHOLE
  - PROPOSED FIRE HYDRANT
  - PROPOSED FIRE DEPT. CONNECTION
  - PROPOSED WASTEWATER MH
  - PROPOSED CLEAN OUT
  - RADIUS
  - FACE OF CURB
  - F.L.
  - FACE OF CURB TO EDGE OF PAVEMENT
  - LA.
  - BFR
  - TYP.
- 8" CLASS "P1", 4000 PSI 6.5 SACK/CY CONCRETE PAVEMENT W/ #4 BARS @ 18" O.C.E.W. AND 8" LIME STABILIZED SUBGRADE.
  - 7" CLASS "C", 3600 PSI 6.5 SACK/CY CONCRETE PAVEMENT W/ #3 BARS @ 18" O.C.E.W. AND 8" LIME STABILIZED SUBGRADE.
  - 6" CLASS "C", 3600 PSI 6.5 SACK/CY CONCRETE PAVEMENT W/ #3 BARS @ 18" O.C.E.W. AND 6" LIME STABILIZED SUBGRADE.
  - PRIVATE SIDEWALK PAVEMENT 4" CLASS "A" 3,000 PSI 5.5 SACK/CY CONCRETE W/ #3 BARS @ 24" O.C.E.W.

**NOTE:**

- ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.
- NO PAVING OR BUILDING FOUNDATION MAY BE PLACED UNTIL DETENTION IS INSTALLED TO PLAN, VEGETATION INSTALLED IN DETENTION POND, AND OUTFALL INSTALLED PER PLAN.
- ALL PAVING CONNECTIONS TO EXISTING PAVING SHALL USE CITY STD. LONGITUDINAL BUTT JOINT DETAIL.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**BENCHMARK LIST:**

BENCHMARK #1 - X-CUT IN BOX SET ON THE WEST SIDE OF AN INLET LOCATED ON SOUTH SIDE OF AIRPORT ROAD, APPROXIMATELY 300 FEET FROM THE SOUTHWEST INTERSECTION OF AIRPORT ROAD AND WASHINGTON STREET.  
ELEVATION = 559.08'

BENCHMARK #2 - 5/8-INCH CAPPED IRON ROD SET NEAR THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED HEREON AND BEING APPROXIMATELY 151 FEET FROM THE SOUTH CORNER OF A CONCRETE ALLEY.  
ELEVATION = 579.66'

**RECORD DRAWINGS:**

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DESIGNED:	INITIAL ISSUE: 08/18/2023
CHECKED:	REVISIONS:
DRAWN:	08-31-2023 CITY COMMENTS
HORIZONTAL SCALE:	09-27-2023 REVISED OIL/SAND SEPARATOR SIZE
VERTICAL SCALE:	10-19-2023 RFI 035 RESPONSE
	12-11-2023 REVISED PARKING/GENERATOR
	08-21-2024 RECORD DRAWINGS

PREPARED FOR:

**SPR PACKAGING**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



**SPR DISTRIBUTION CENTER**  
ROCKWALL, TEXAS

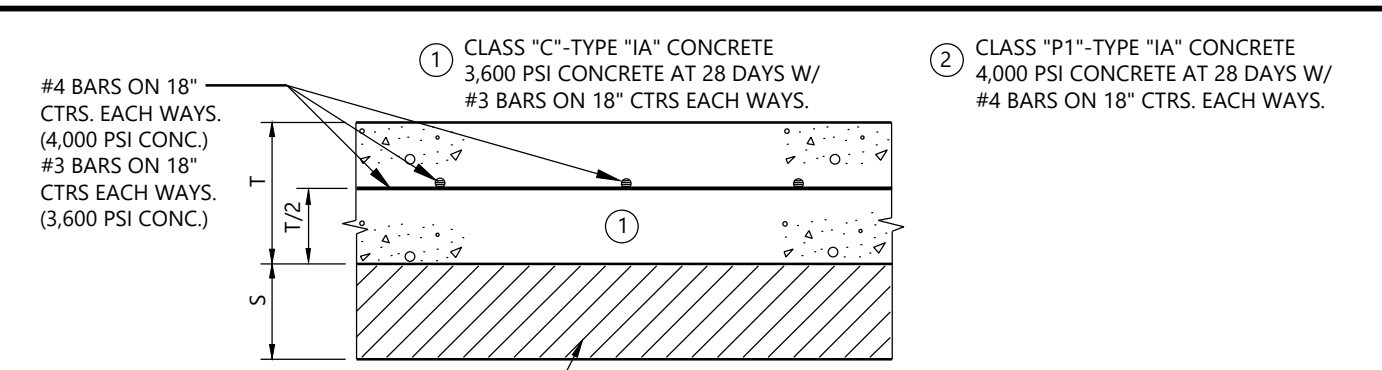
**Westwood**  
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400  
Toll Free (888) 937-5150 Plano, TX 75093  
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Westwood Professional Services, Inc.  
TYPE FIRM REGISTRATION NO. F-11758  
TYPE FIRM REGISTRATION NO. 10074301

SHEET NUMBER: **1.01**

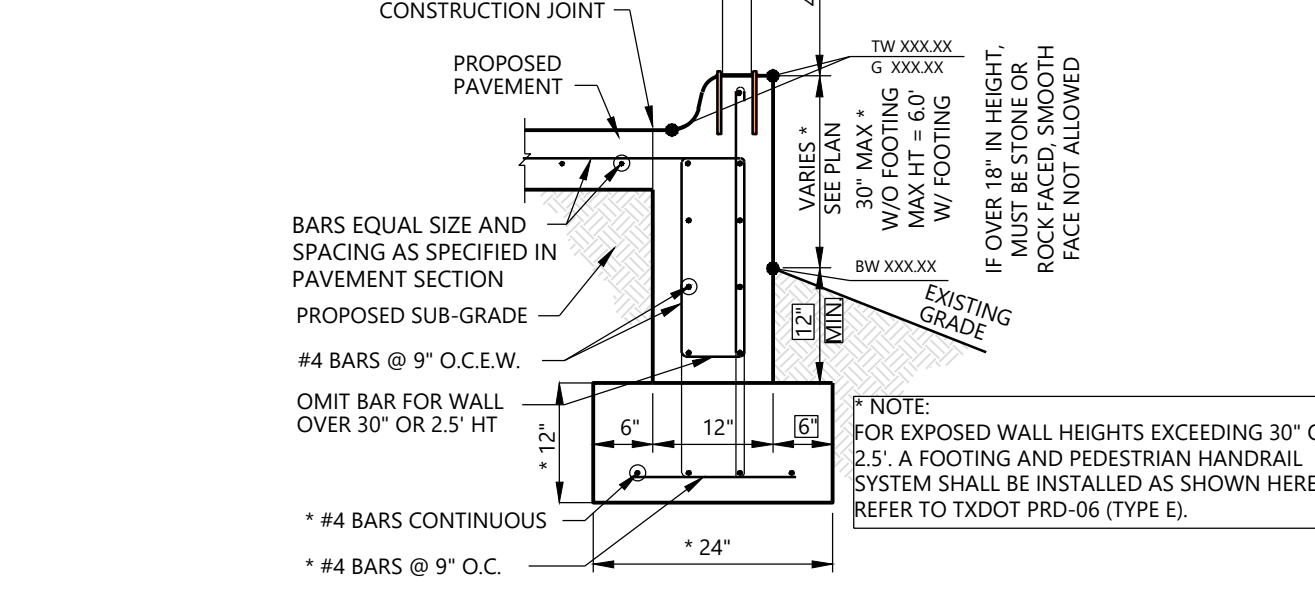
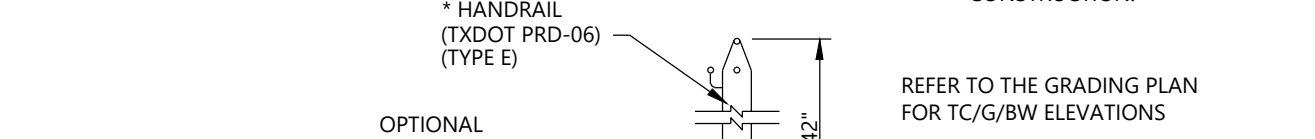
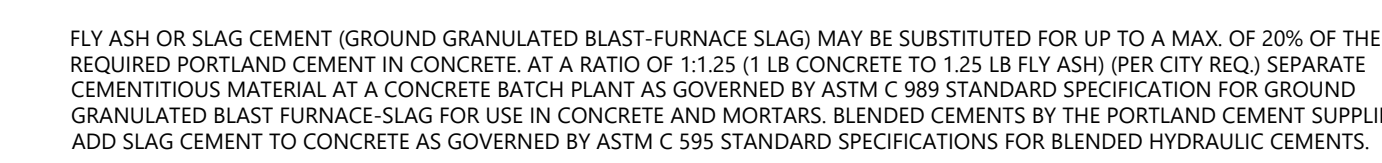
**PAVING & DIMENSIONAL CONTROL**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023



SCARIFY AND COMPACT SUB GRADE AT A MINIMUM OF 95% MAX. DRY DENSITY (STD. PROCTOR) AT A MOISTURE LANE. (HEAVY DUTY) & TRUCK LOADING AREA ABOVE OPTIMUM. LIME STABILIZE SUB-GRADE (TXDOT ITEM 260), 8% (BY DRY UNIT WEIGHT) FOR BASE BID. MINIMUM LIME CONTENT SHALL BE DETERMINED WITH A PROJECT SPECIFIC LIME SERIES.

FLY ASH OR SLAG CEMENT (GROUND GRANULATED BLAST-FURNACE SLAG) MAY BE SUBSTITUTED FOR UP TO A MAX. OF 20% OF THE REQUIRED PORTLAND CEMENT IN CONCRETE. AT A RATIO OF 1:1.25 (1 LB FLY ASH) (PER CITY REQ.) SEPARATE CEMENTITIOUS MATERIAL AT A CONCRETE BATCH PLANT AS GOVERNED BY ASTM C 899 STANDARD SPECIFICATION FOR GROUND GRANULATED BLAST FURNACE SLAG FOR USE IN CONCRETE AND MORTARS. BLENDED CEMENTS BY THE PORTLAND CEMENT SUPPLIER TO ADD SLAG CEMENT TO CONCRETE AS GOVERNED BY ASTM C 595 STANDARD SPECIFICATIONS FOR BLENDED HYDRAULIC CEMENTS.



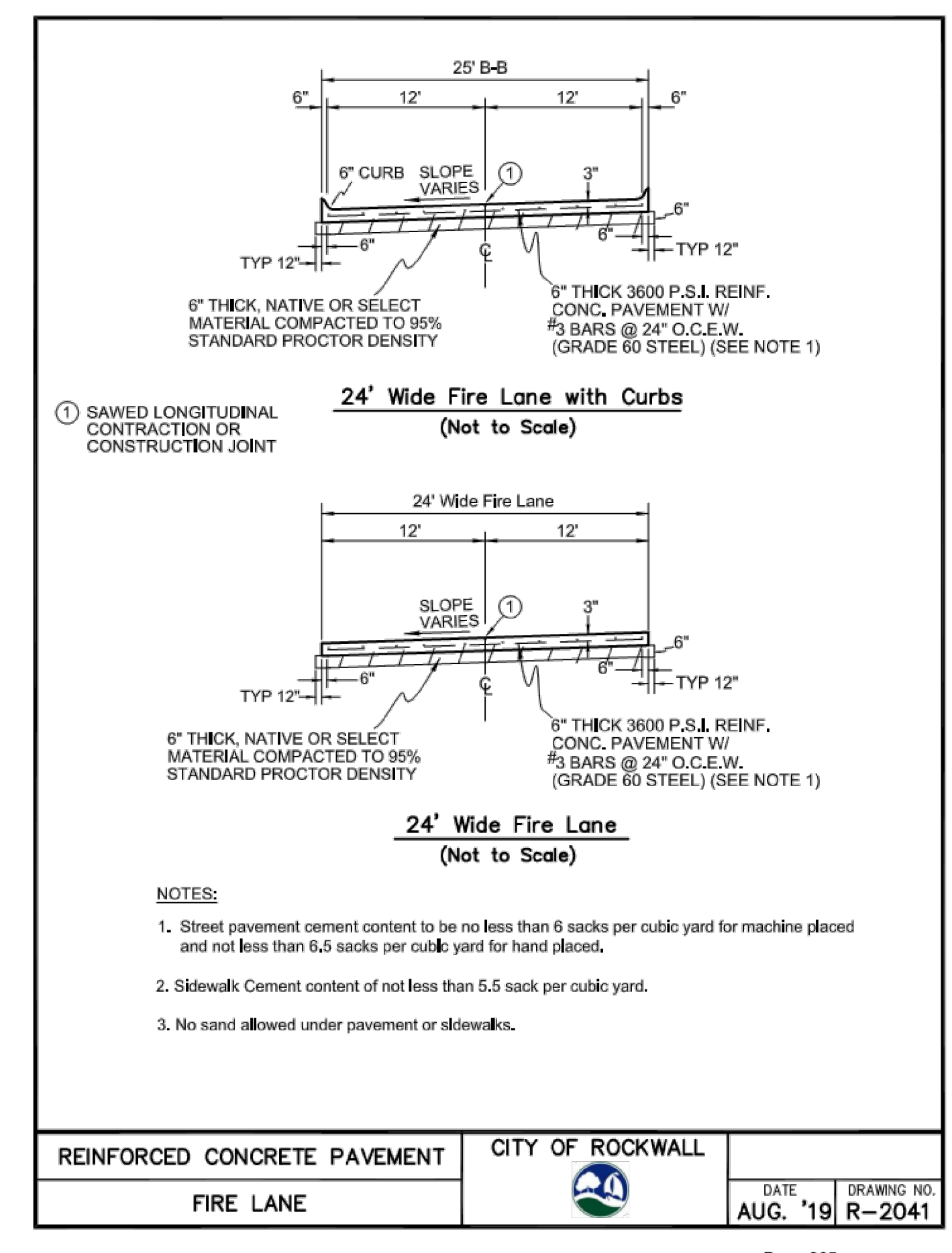
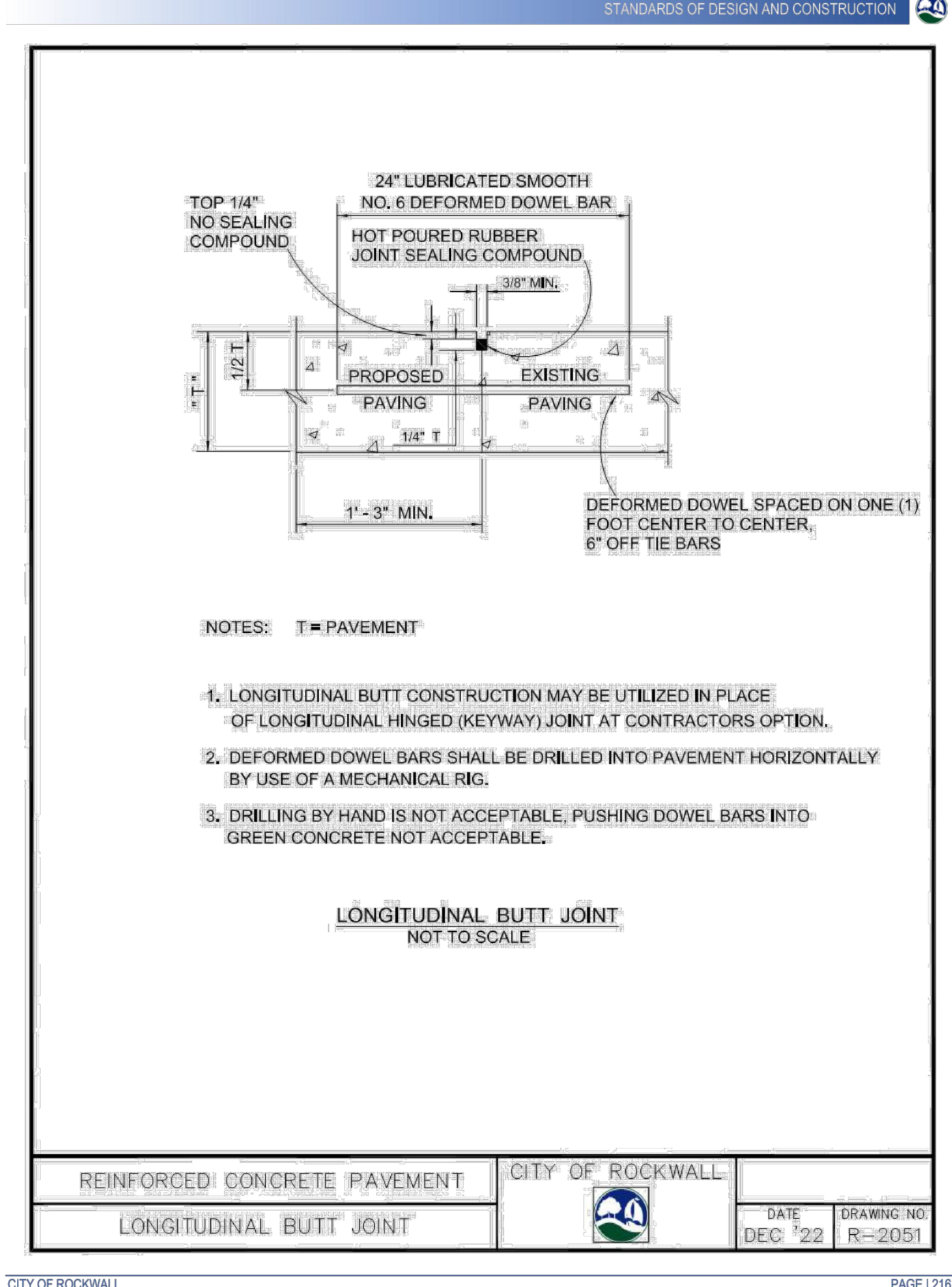
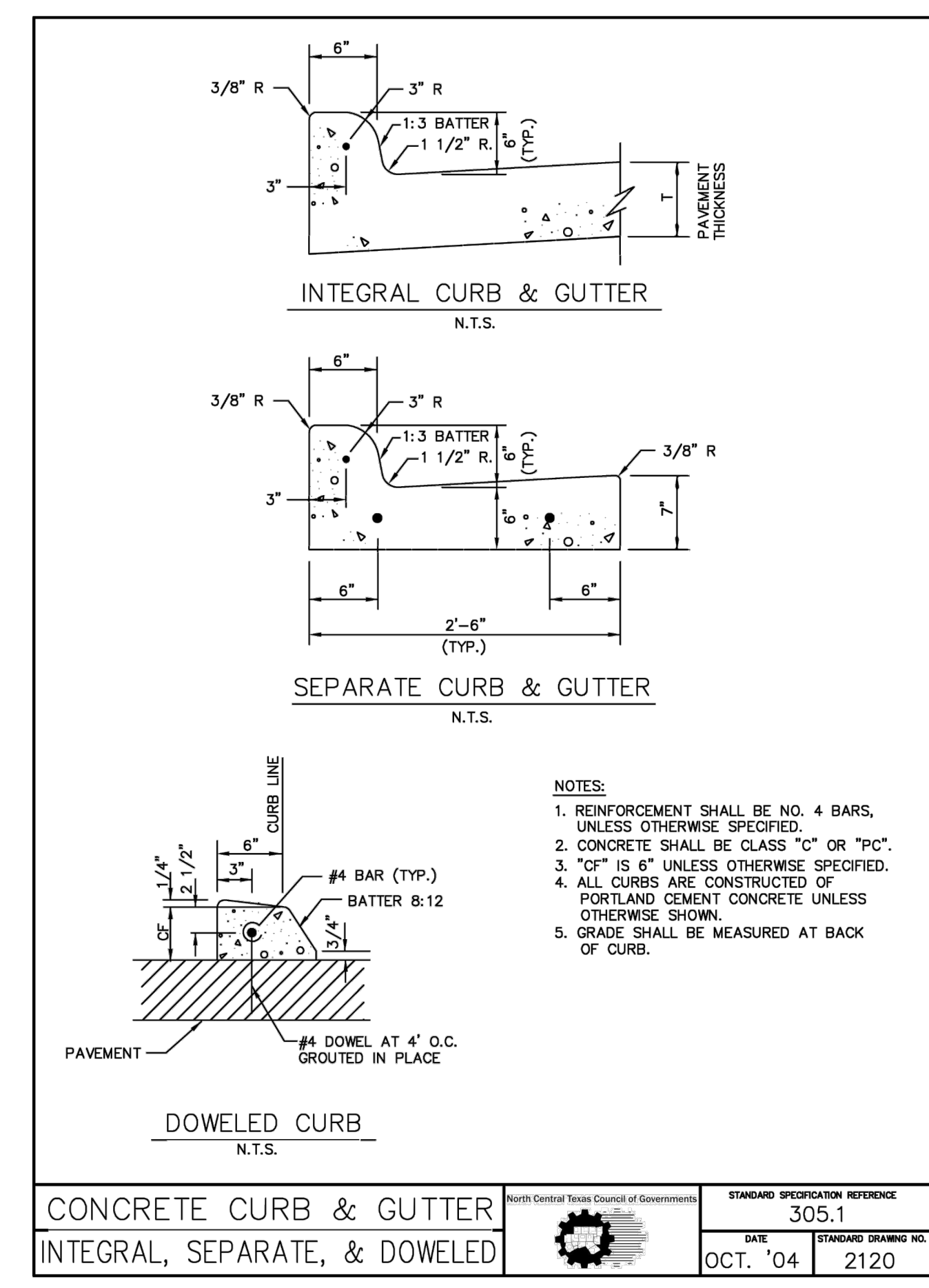
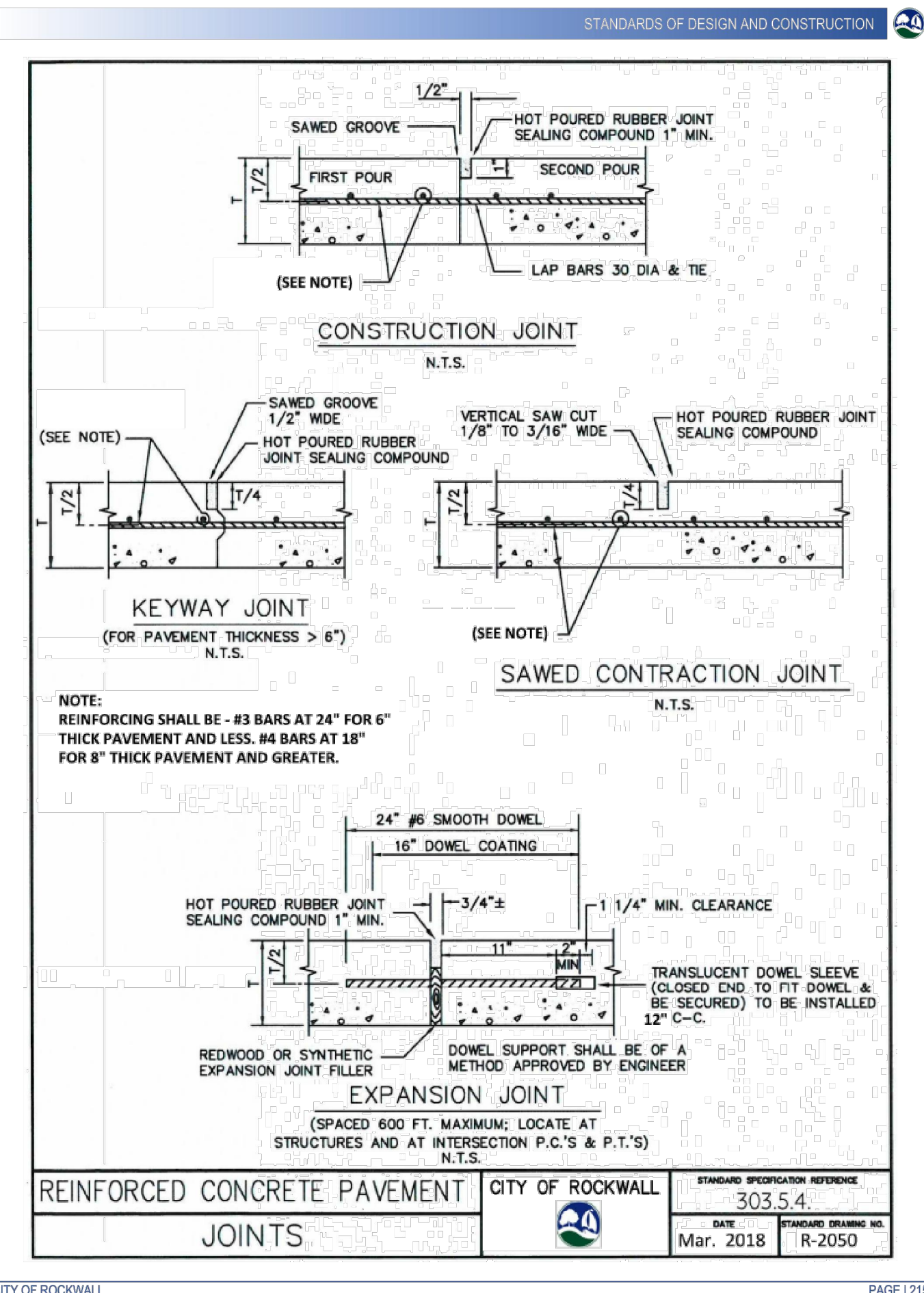
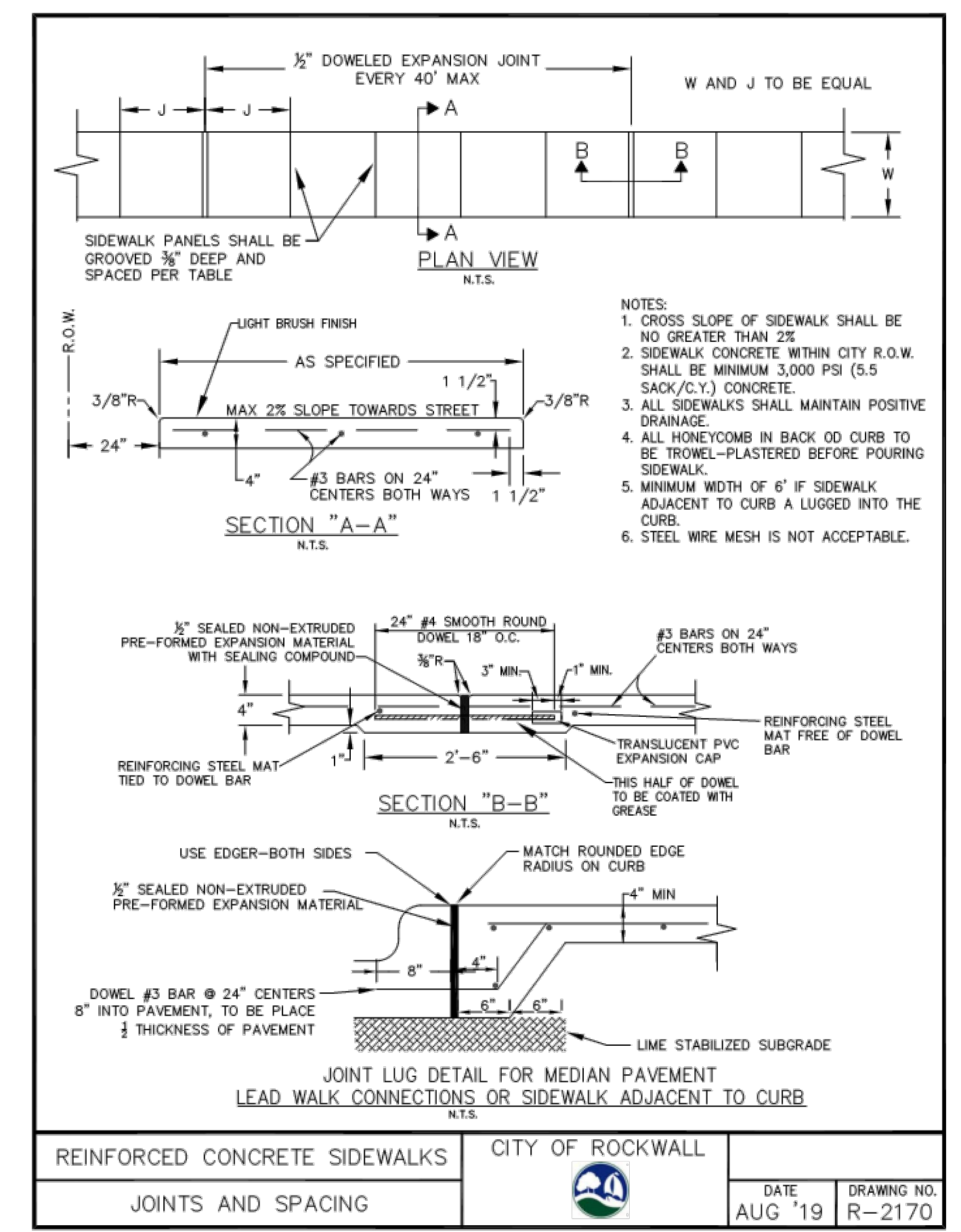
HEIGHT	BASE	BELOW GRADE	BACKFILL BOTTOM	BACKFILL TOP
A	B	C*	D	E
1'	1'-0"	0'-6"	1'-0"	2'-6"
2'	1'-0"	0'-6"	1'-0"	2'-6"
3'	1'-6"	1'-0"	1'-0"	2'-6"
4'	2'-0"	1'-4"	1'-6"	4'-0"
5'	2'-6"	1'-8"	1'-6"	4'-0"
6'	3'-0"	2'-2"	1'-6"	4'-0"

**NOTE:** DESIGN OF RETAINING WALL TO BE BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF TEXAS. DESIGN TO BE INCLUDED IN THE CONSTRUCTION CONTRACT. NO SEPARATE REIMBURSEMENT FOR THIS ITEM. COORDINATE WALL MATERIAL WITH OWNER.

DIMENSIONS SHOWN FOR BUDGETING PURPOSES ONLY.

**RECORD DRAWINGS:**  
IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 08-21-2024

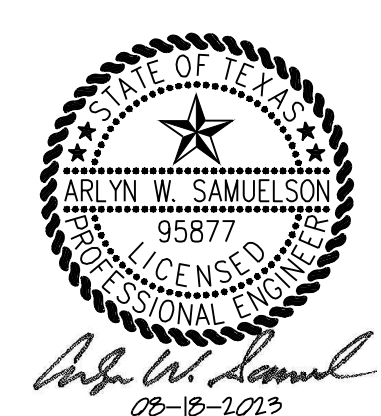
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DESIGNED: AWS  
CHECKED: AWS  
DRAWN: SWW  
HORIZONTAL SCALE:  
VERTICAL SCALE:

INITIAL ISSUE: 08/18/2023  
REVISIONS:  
08-31-2023 CITY COMMENTS  
09-27-2023 REVISED OIL/SAND SEPARATOR SIZE  
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08-21-2024 RECORD DRAWINGS

PREPARED FOR:  
**SPR PACKAGING**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



**SPR DISTRIBUTION CENTER**  
ROCKWALL, TEXAS

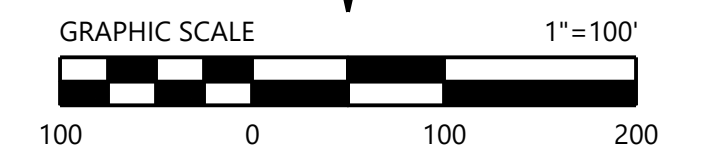
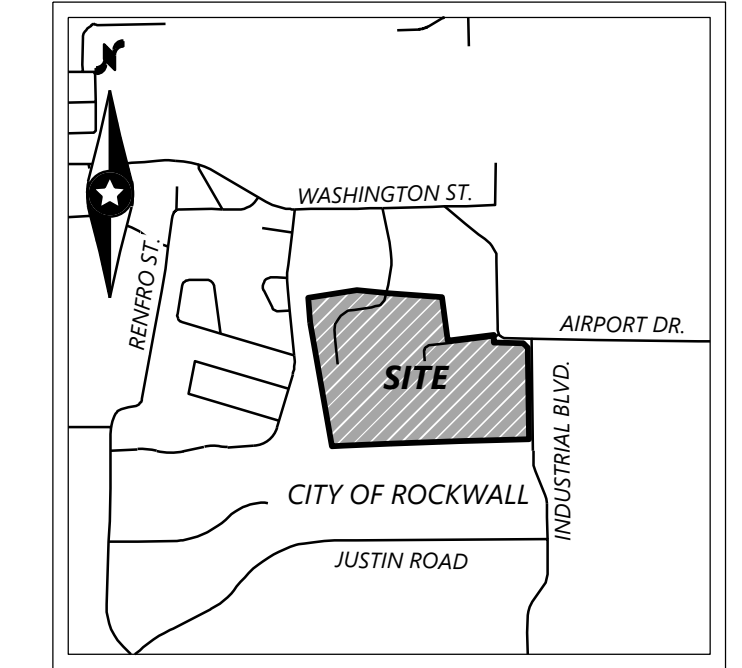
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TPE FIRM REGISTRATION NO. F-11758  
TPE FIRM REGISTRATION NO. 10074301

STANDARD PAVING DETAILS

1.02

VICINITY MAP  
(NOT TO SCALE)



LEGEND

- PROP. FLOW ARROW
- EXISTING 5' CONTOUR INTERVAL
- EXISTING 1' CONTOUR INTERVAL
- DRAINAGE AREA DIVIDE
- DRAINAGE AREA
- DESIGN POINT

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Drainage Area Table / Calculations						
Drainage Area #	Area (Ac)	Tc (Min)	C	I <sub>100</sub> Dev.	Q <sub>100</sub>	Description
A1	1.40	10.00	0.90	9.80	12.33	To Exist. Drop Inlet
A2	6.23	10.00	0.90	9.80	54.95	To Exist. Headwall
B1	2.38	10.00	0.90	9.80	21.01	To Exist. Channel
C1	8.55	10.00	0.90	9.80	75.43	To Exist. Creek
D1	2.87	10.00	0.90	9.80	25.32	To Exist. Drop Inlet
E1	2.25	10.00	0.90	9.80	19.85	To Exist. Detention Pond
F1	0.34	10.00	0.90	9.80	3.00	To Exist. Drop Inlet
F2	0.88	10.00	0.90	9.80	7.76	To Exist. Drop Inlet
G1	2.23	10.00	0.90	9.80	19.67	To Exist. Drop Inlet
G2	0.86	10.00	0.90	9.80	7.59	To Exist. Drop Inlet
G3	3.89	10.00	0.90	9.80	34.31	To Exist. Drop Inlet
H1	0.31	10.00	0.90	9.80	2.70	To Exist. Drop Inlet
H2	0.19	10.00	0.90	9.80	1.65	To Exist. Drop Inlet

**DRAINAGE CRITERIA - RATIONAL METHOD**  
 Q = C \* I \* A, CFS  
 C = WEIGHTED RUNOFF COEFFICIENT, DIMENSIONLESS  
 I = AVERAGE RAINFALL INTENSITY, IN/HR  
 A = DRAINAGE BASIN AREA, ACRES

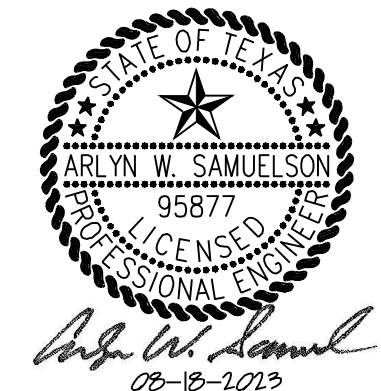
DRAINAGE RUNOFF NOTES:

- AREA A1 CORRESPONDS TO DRAINAGE AREA D4 ON THE DRAINAGE AREA MAP FOR PARK PLACE-WEST PHASE II. THIS AREA WAS DESIGNED FOR FULLY DEVELOPED FLOW. ALLOWABLE RUNOFF FOR SUBJECT SITE (UNDETAINED) IS 12.25 CFS.
- AREA A2 IS CURRENTLY COLLECTED IN A 36" STORM SEWER THAT RUNS UNDER THE EXISTING COLUMBIA BUILDING AND DISCHARGES TO AN EXISTING DROP INLET IN PARK PLACE-WEST PHASE II. THE PARK PLACE-WEST PHASE II STORM SEWER IS NOT DESIGNED TO ACCEPT THIS FLOW. AREA A2 WILL BE COLLECTED IN A NEW STORM SEWER PIPE AND ROUTED TO THE PROPOSED DETENTION POND.
- AREA B1 CORRESPONDS TO DRAINAGE AREA B4 ON THE DRAINAGE AREA MAP FOR PARK PLACE-WEST PHASE II. THIS AREA WAS DESIGNED FOR PARTIALLY DEVELOPED AND PARTIALLY UNDEVELOPED FLOW. TOTAL FLOW FOR AREA B4 PER THE PARK PLACE DRAINAGE AREA MAP IS 25.85 CFS. AREA B-1 IS 2.66 AC., OR 56% OF THE ORIGINAL AREA B4. ALLOWABLE RUNOFF FOR SUBJECT SITE (UNDETAINED) IS 25.85 CFS \* 0.56 = 14.48 CFS.
- AREAS G1 THRU G3 CORRESPOND TO DRAINAGE AREAS M5, M7 AND AREA MAP FOR PARK PLACE-WEST PHASE III. THESE AREAS WERE DESIGNED FOR PARTIALLY DEVELOPED AND PARTIALLY UNDEVELOPED FLOW. ALLOWABLE RUNOFF FOR SUBJECT SITE (UNDETAINED) IS 61.57 CFS.
- SEE PROPOSED DRAINAGE AREA MAP, SHEET 2.02 FOR COMPARISON POST-DEVELOPED FLOW RATES AT THE DEFINED DESIGN POINTS



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DESIGNED:	INITIAL ISSUE:	PREPARED FOR:
CHECKED:	REVISIONS:	SPR PACKAGING
DRAWN:	08-31-2023 CITY COMMENTS	1480 JUSTIN ROAD
HORIZONTAL SCALE:	09-27-2023 REVISED OIL/SAND SEPARATOR SIZE	ROCKWALL, TEXAS 75087
VERTICAL SCALE:	10-19-2023 RFI 035 RESPONSE	
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 TSPS FIRM REGISTRATION NO. F-11758  
 TSPS FIRM REGISTRATION NO. 10074301

EXISTING DRAINAGE  
AREA MAP

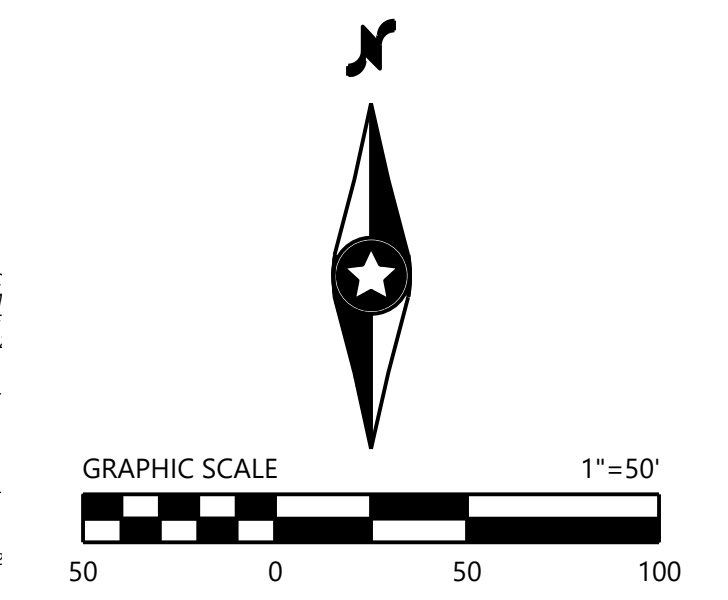
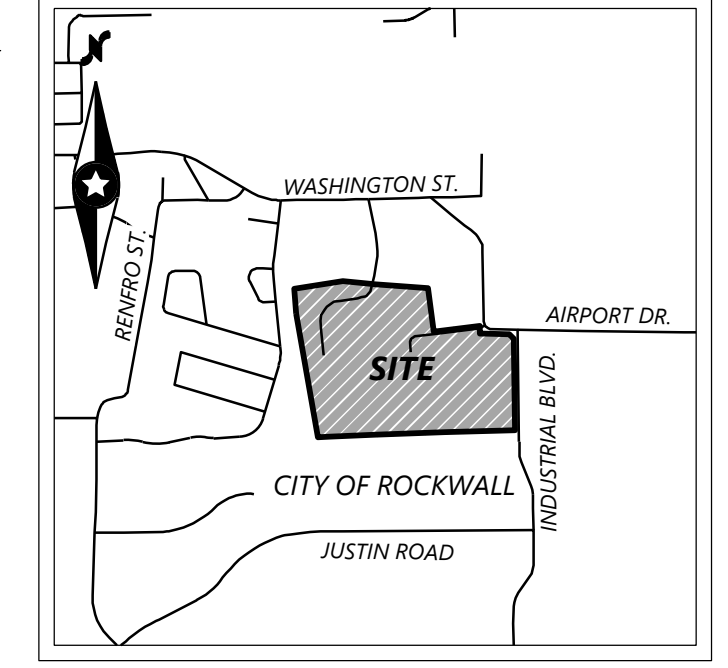
PROJECT NUMBER: 0036677.00

SHEET NUMBER:  
**2.01**  
DATE: 12/11/2023





**VICINITY MAP**  
(NOT TO SCALE)



- LEGEND**
- STORM DRAIN LINE WITH INLET
  - PROPOSED FLOW ARROW
  - EXISTING 5' CONTOUR INTERVAL
  - EXISTING 1' CONTOUR INTERVAL
  - DRAINAGE AREA DIVIDE
  - DRAINAGE AREA
  - DESIGN POINT

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Drainage Area Table / Calculations						
Drainage Area #	Area (Ac)	T <sub>p</sub> (Min)	C	I <sub>100</sub> Dev	C <sub>100</sub>	Description
A1	0.74	10.00	0.90	9.80	6.53	To Prop. Curb Inlet
A2	0.13	10.00	0.90	9.80	1.15	To Roof Collection
A3	0.18	10.00	0.90	9.80	1.59	To Roof Collection
A4	0.18	10.00	0.90	9.80	1.59	To Roof Collection
A5	0.16	10.00	0.90	9.80	1.39	To Exist. Drop Inlet
B1	0.18	10.00	0.90	9.80	1.59	To Roof Collection
B2	0.18	10.00	0.90	9.80	1.59	To Roof Collection
B3	0.18	10.00	0.90	9.80	1.59	To Roof Collection
B4	0.21	10.00	0.90	9.80	1.85	To Roof Collection
B5	0.60	10.00	0.90	9.80	5.29	To Prop. Curb Inlet
B6	0.71	10.00	0.90	9.80	6.26	Sheet flow to existing channel
C1	0.52	10.00	0.90	9.80	4.59	To Prop. Curb Inlet
C2	0.94	10.00	0.90	9.80	8.29	To Prop. Curb Inlet
C3	5.18	10.00	0.90	9.80	45.69	To Prop. Headwall
C4	1.29	10.00	0.90	9.80	11.38	To Prop. Curb Inlet
C5	1.49	10.00	0.90	9.80	13.14	To Prop. Curb Inlet
C6	2.02	10.00	0.90	9.80	17.82	Detention Pond
C7	2.00	10.00	0.90	9.80	17.64	Sheet flow to creek
C8	0.24	10.00	0.90	9.80	2.12	To Prop. Curb Inlet
C9	1.45	10.00	0.90	9.80	12.76	To Prop. Drop Inlet
D1	2.87	10.00	0.90	9.80	25.32	To Exist. Drop Inlet
H1	0.33	10.00	0.90	8.30	2.48	To Exist. Drop Inlet
H2	0.14	10.00	0.90	8.30	1.02	To Exist. Drop Inlet

100-Year Flow Rate Summary		
Design Point	Pre-Project (CFS)	Post-Project (CFS)
A	15.03	14.73
B	21.01	18.17
C	75.43	*73.02
D	25.32	25.32
E	19.85	19.85
F	10.76	10.76
G	61.57	61.57

\* INCLUDES DETENTION DISCHARGE OF 55.38 CFS PLUS SHEET FLOW FROM PROPOSED DRAINAGE AREA C7, 17.64 CFS

NOTE: DESIGN POINTS E, F & G NOT SHOWN FOR CLARITY. NO CHANGES ARE PROPOSED IN THESE AREAS.

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	08-21-2024 RECORD DRAWINGS

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TSP# FIRM REGISTRATION NO. F-11758  
TSP# FIRM REGISTRATION NO. 10074301

**PROPOSED DRAINAGE AREA MAP**

SHEET NUMBER: **2.02**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

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### Hydrograph Report

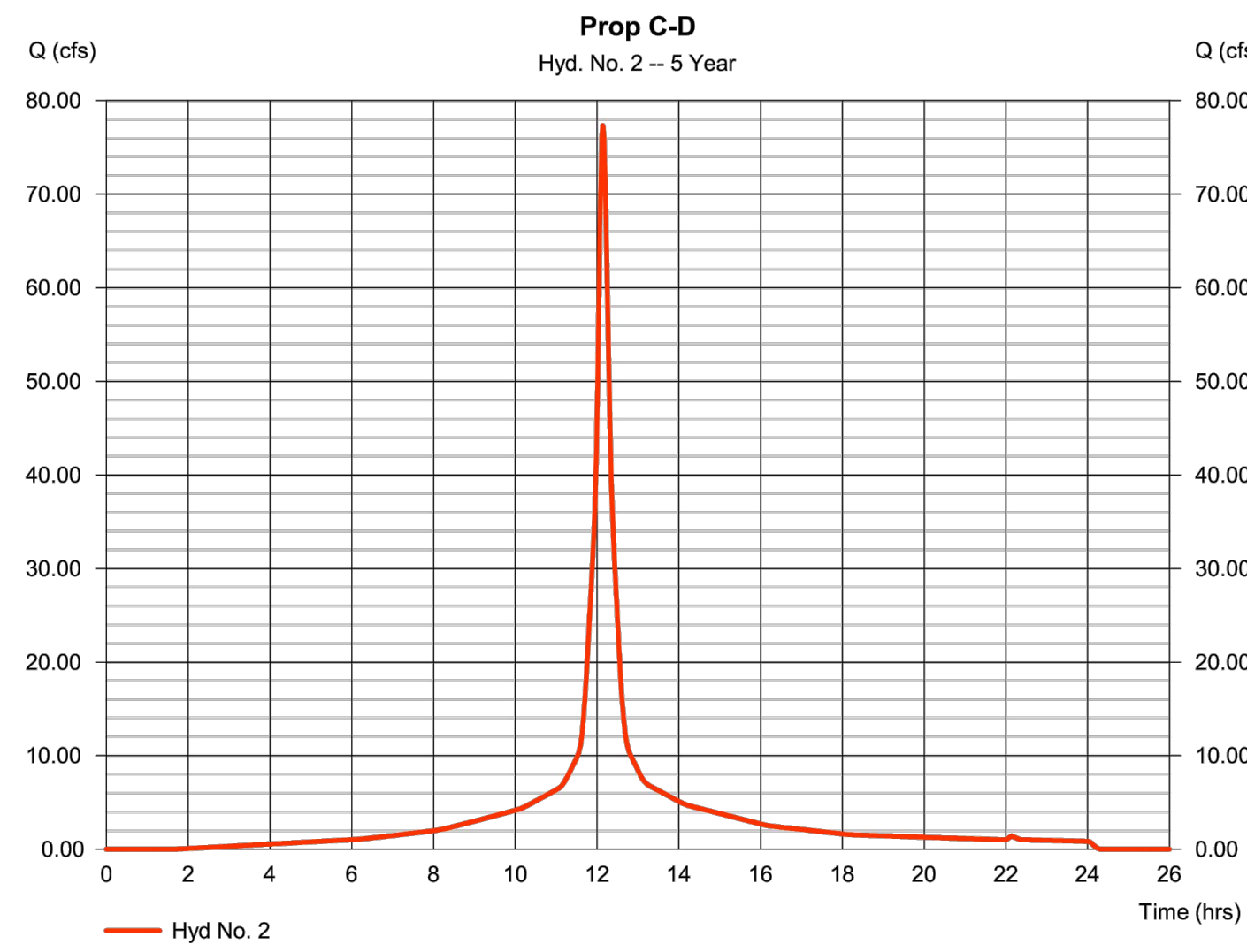
4

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021 Thursday, 11 / 17 / 2022

#### Hyd. No. 2

Prop C-D			
Hydrograph type	= SCS Runoff	Peak discharge	= 77.34 cfs
Storm frequency	= 5 yrs	Time to peak	= 12.13 hrs
Time interval	= 1 min	Hyd. volume	= 322,051 cuft
Drainage area	= 17,990 ac	Curve number	= 96*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 12.60 min
Total precip.	= 5.48 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(10,900 x 98) + (4,560 x 98) + (2,030 x 80) + (0,500 x 94)] / 17,990



### Hydrograph Report

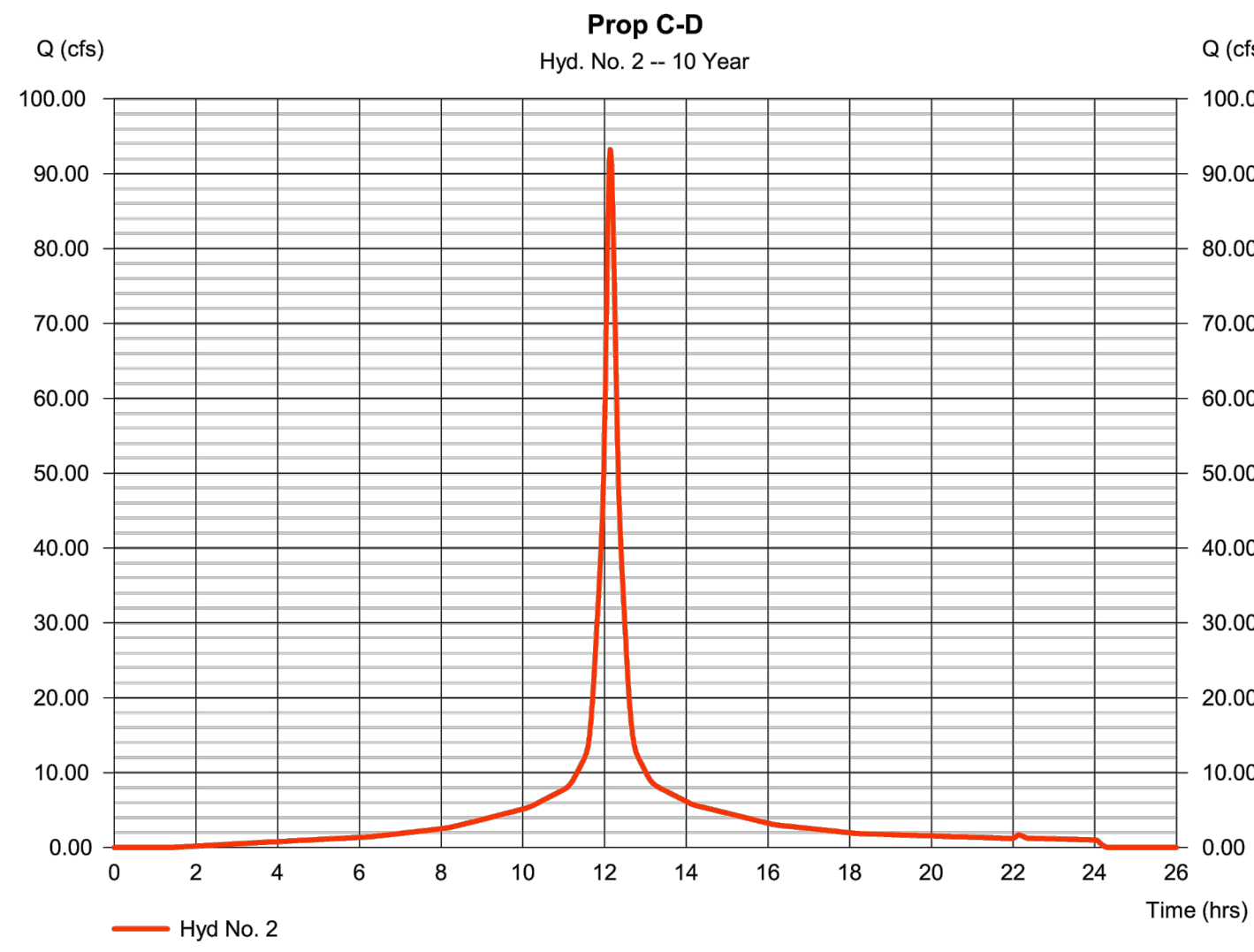
6

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021 Thursday, 11 / 17 / 2022

#### Hyd. No. 2

Prop C-D			
Hydrograph type	= SCS Runoff	Peak discharge	= 93.23 cfs
Storm frequency	= 10 yrs	Time to peak	= 12.13 hrs
Time interval	= 1 min	Hyd. volume	= 391,817 cuft
Drainage area	= 17,990 ac	Curve number	= 96*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 12.60 min
Total precip.	= 6.57 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(10,900 x 98) + (4,560 x 98) + (2,030 x 80) + (0,500 x 94)] / 17,990



### Hydrograph Report

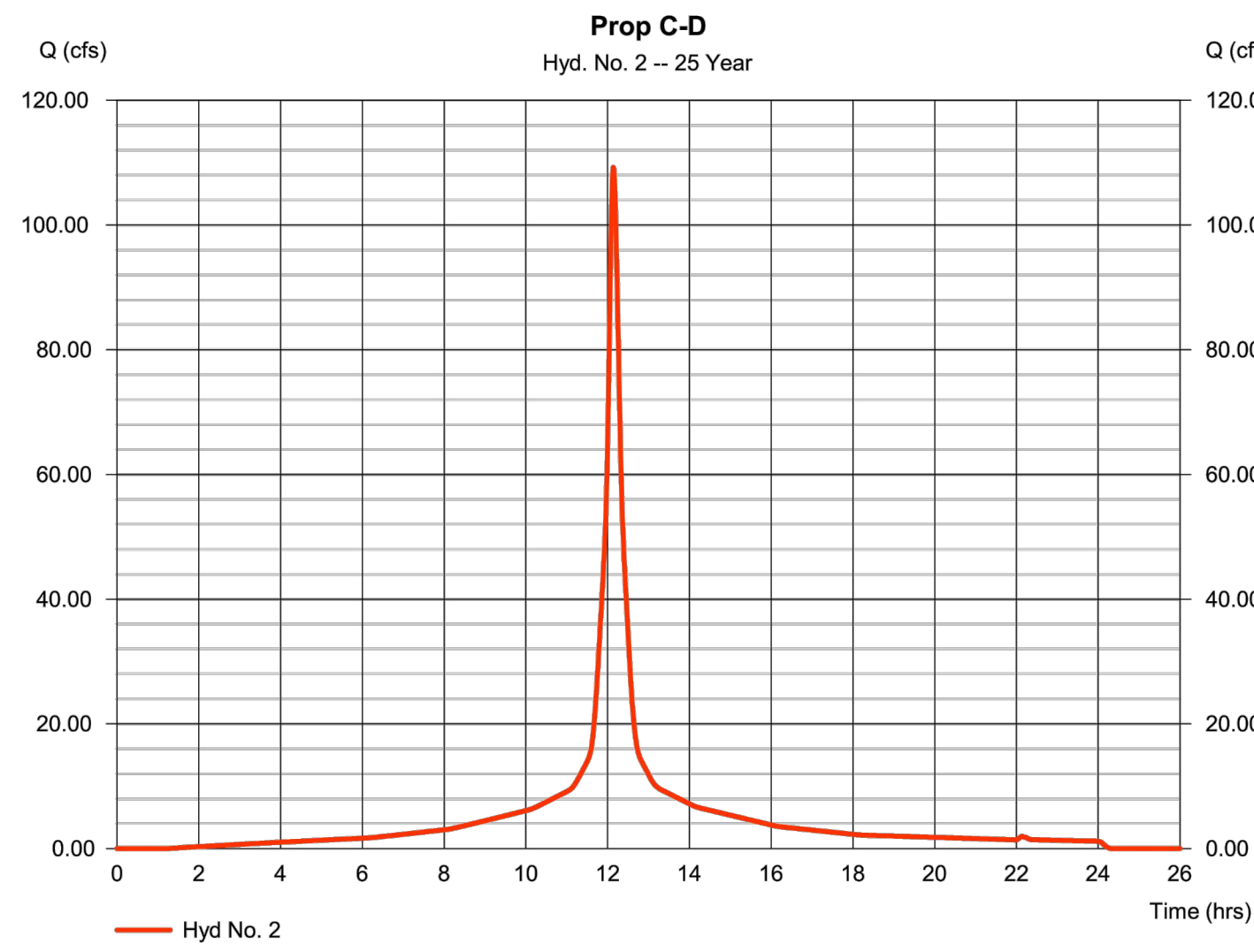
8

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021 Thursday, 11 / 17 / 2022

#### Hyd. No. 2

Prop C-D			
Hydrograph type	= SCS Runoff	Peak discharge	= 109.22 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.13 hrs
Time interval	= 1 min	Hyd. volume	= 462,306 cuft
Drainage area	= 17,990 ac	Curve number	= 96*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 12.60 min
Total precip.	= 7.67 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(10,900 x 98) + (4,560 x 98) + (2,030 x 80) + (0,500 x 94)] / 17,990



### Hydrograph Report

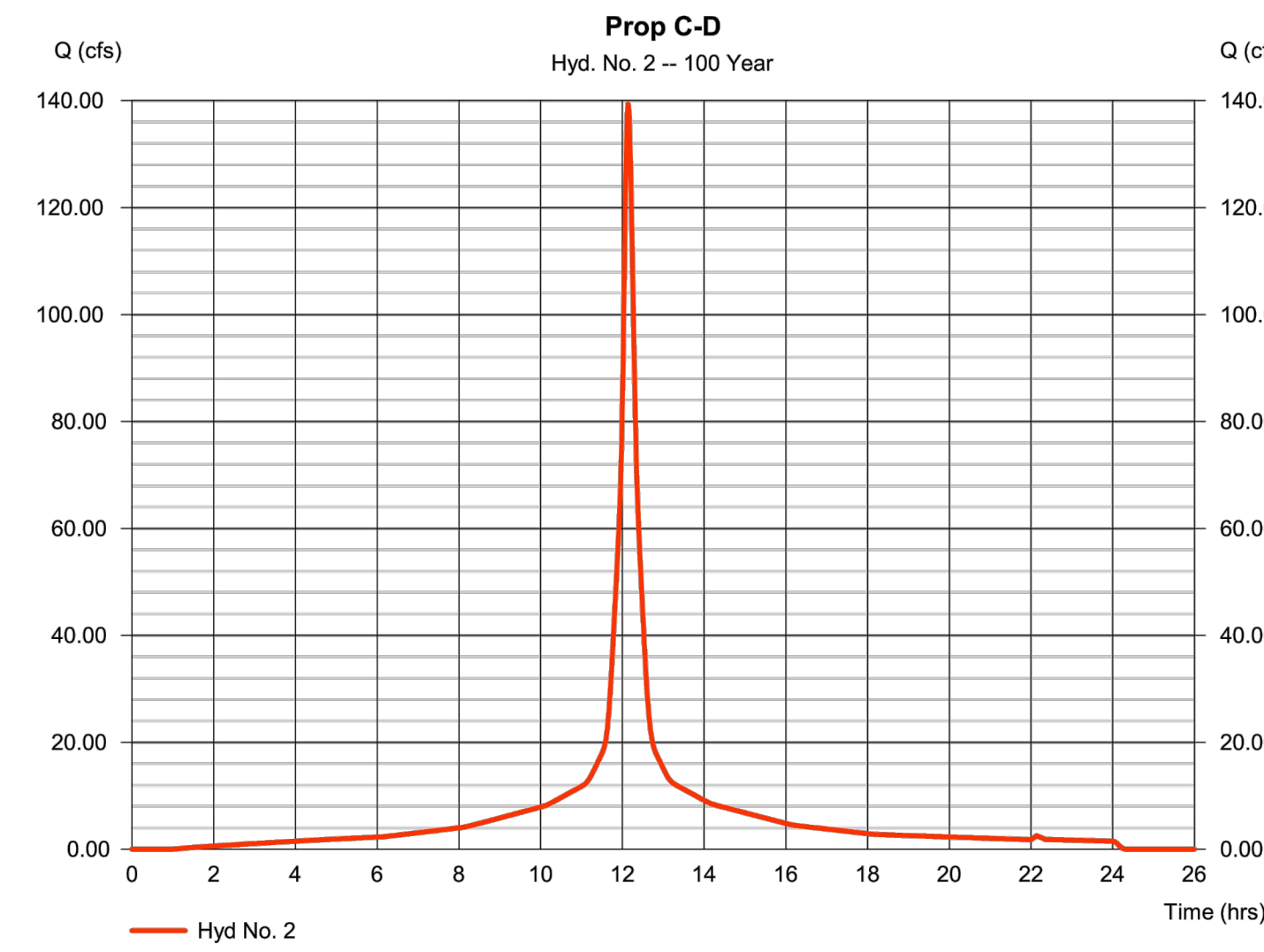
10

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021 Thursday, 11 / 17 / 2022

#### Hyd. No. 2

Prop C-D			
Hydrograph type	= SCS Runoff	Peak discharge	= 139.37 cfs
Storm frequency	= 100 yrs	Time to peak	= 12.13 hrs
Time interval	= 1 min	Hyd. volume	= 595,727 cuft
Drainage area	= 17,990 ac	Curve number	= 96*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 12.60 min
Total precip.	= 9.75 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

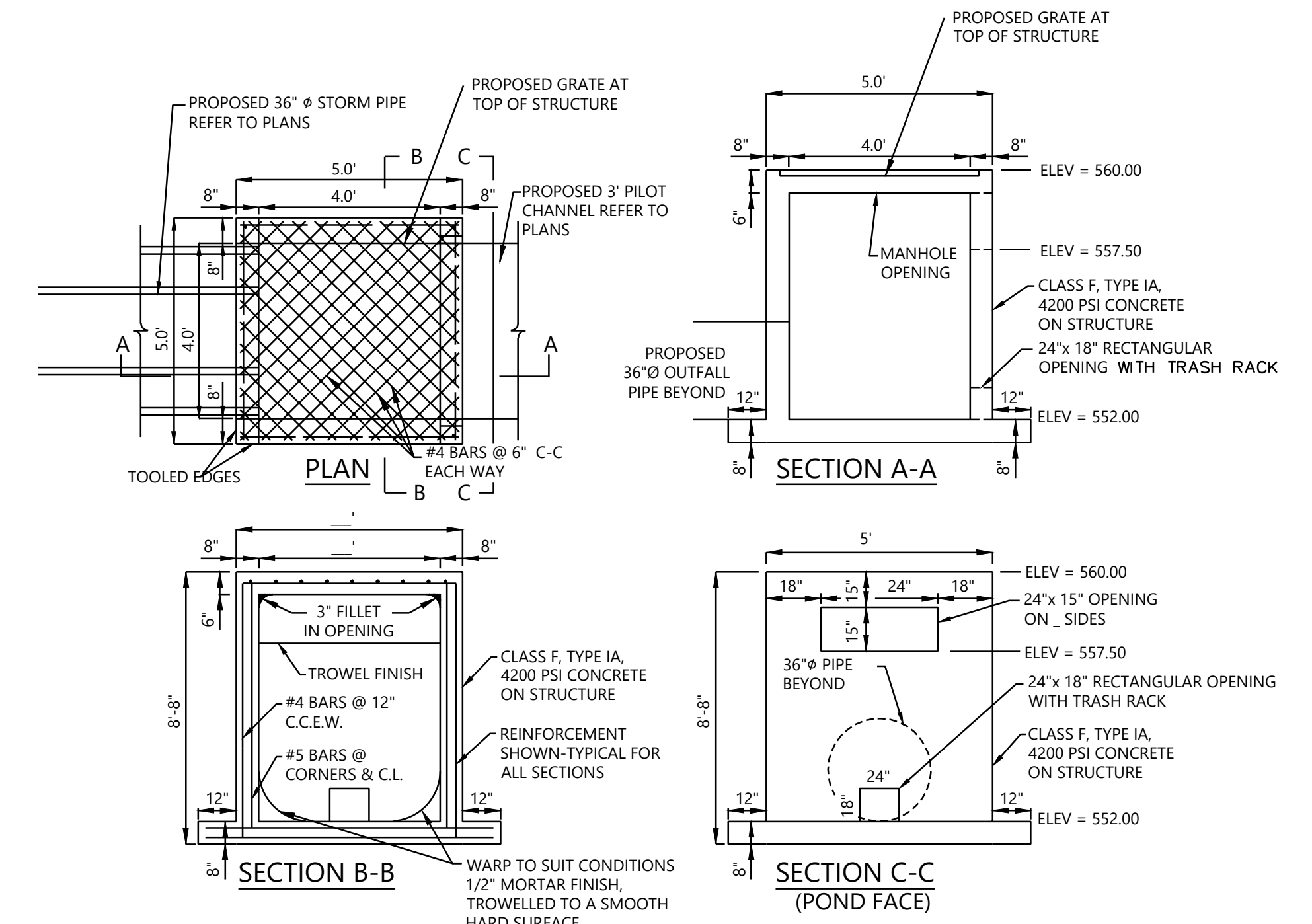
\* Composite (Area/CN) = [(10,900 x 98) + (4,560 x 98) + (2,030 x 80) + (0,500 x 94)] / 17,990



DETENTION POND STAGE/STORAGE/DISCHARGE TABLE							
ELEV (FT)	STAGE (FT)	CONTOUR AREA (SF)	INCR. STORAGE (CF)	TOTAL STORAGE (CF)	DISCHARGE (CFS)	TOTAL STORAGE (AC-FT)	Notes
552.00	0.00	25	0	0	0.00	0.00	
553.00	1.00	6857	2432	2432	6.81	0.06	
554.00	2.00	13120	9819	12251	16.15	0.28	
555.00	3.00	15379	14234	26485	21.67	0.61	
556.00	4.00	17798	16572	43057	26.04	0.99	
557.00	5.00	20416	19090	62147	29.78	1.43	
557.21	5.21	21007	4497	66644	30.49	1.53	5yr WSE
558.00	6.00	23231	17309	83953	35.50	1.93	
558.07	6.07	23437	1696	85649	36.24	1.97	10yr WSE
558.75	6.75	25442	16852	102501	44.82	2.35	25yr WSE
559.00	7.00	26179	6140	108641	47.37	2.49	
560.00	8.00	29252	27726	136367	55.38	3.13	100yr WSE

Event	Existing (cfs)	Proposed (cfs)	Pond (cfs)	Elev. (ft)
5-yr	32.41	77.34	30.49	557.21
10-yr	39.85	93.23	36.24	558.07
25-yr	47.31	109.22	44.82	558.75
100-yr	61.32	139.37	55.38	560.00

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GENERAL NOTES:  
 1. LAYERS OF REINFORCED STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACES SHALL HAVE A COVER OF 3" TO THE CENTER OF BARS, UNLESS OTHERWISE NOTED.  
 2. EXCAVATION FOR MANHOLE TO BE INCLUDED IN THE UNIT PRICE BID FOR MANHOLE.

**RECORD DRAWINGS:**  
 IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 08-21-2024

01  
2.03

OUTLET STRUCTURE  
NOT TO SCALE

DESIGNED:	INITIAL ISSUE:
CHECKED:	REVISIONS:
DRAWN:	08-31-2023 CITY COMMENTS
HORIZONTAL SCALE:	09-27-2023 REVISED OIL/SAND SEPARATOR SIZE
VERTICAL SCALE:	10-19-2023 RFI 035 RESPONSE
	12-11-2023 REVISED PARKING/GENERATOR
	08-21-2024 RECORD DRAWINGS

PREPARED FOR:

**SPR PACKAGING**  
 1480 JUSTIN ROAD  
 ROCKWALL, TEXAS 75087

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 TPE FIRM REGISTRATION NO. F-11758  
 TPE FIRM REGISTRATION NO. 10074301

SHEET NUMBER:  
**2.03**

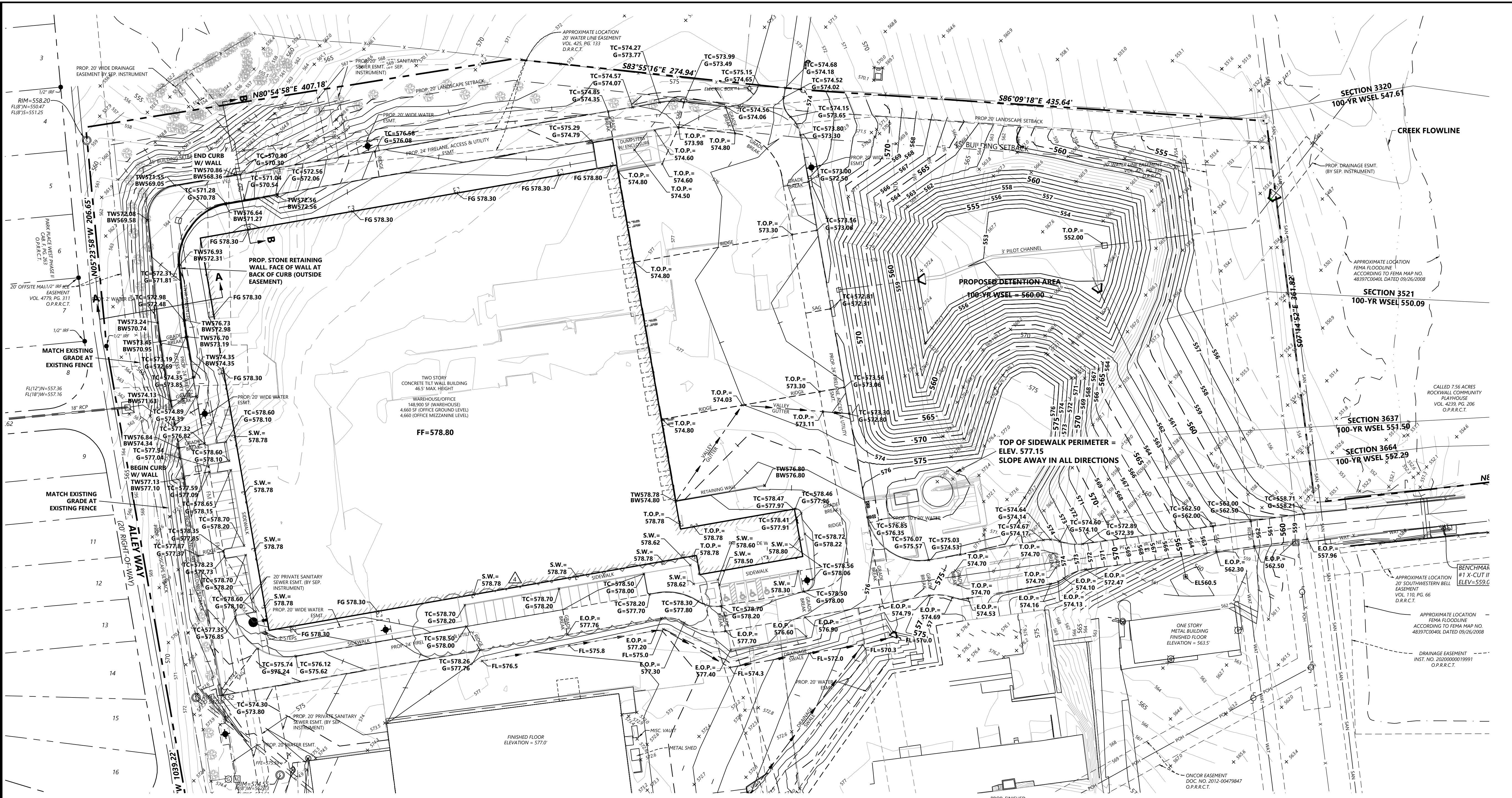
**DETENTION CALCULATION & DETAILS**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

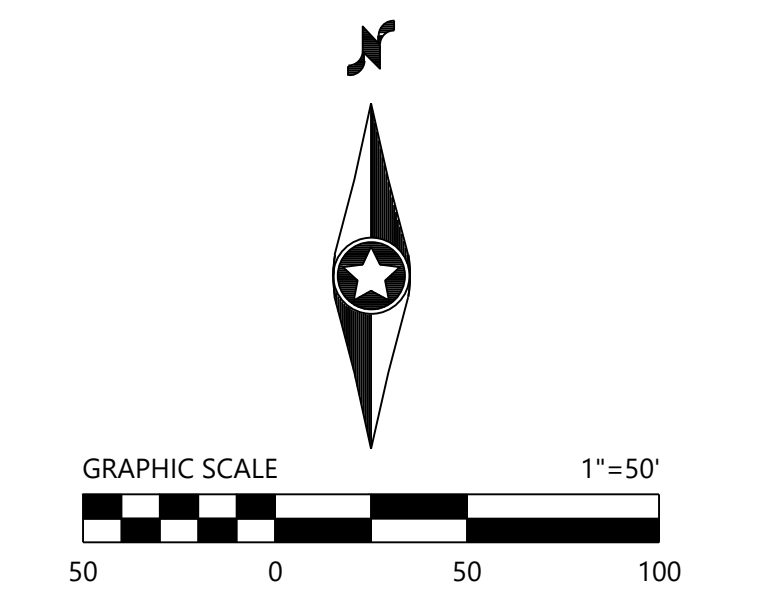
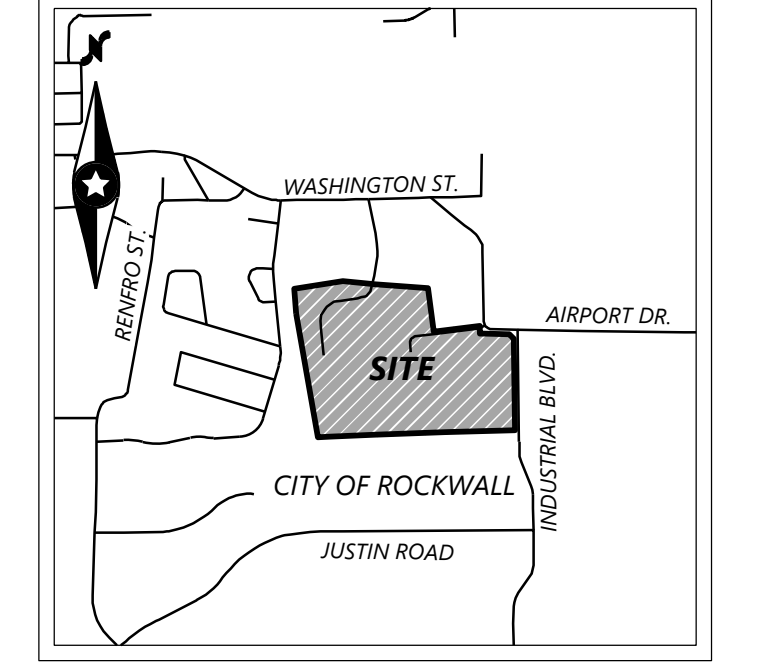
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**VICINITY MAP**  
(NOT TO SCALE)

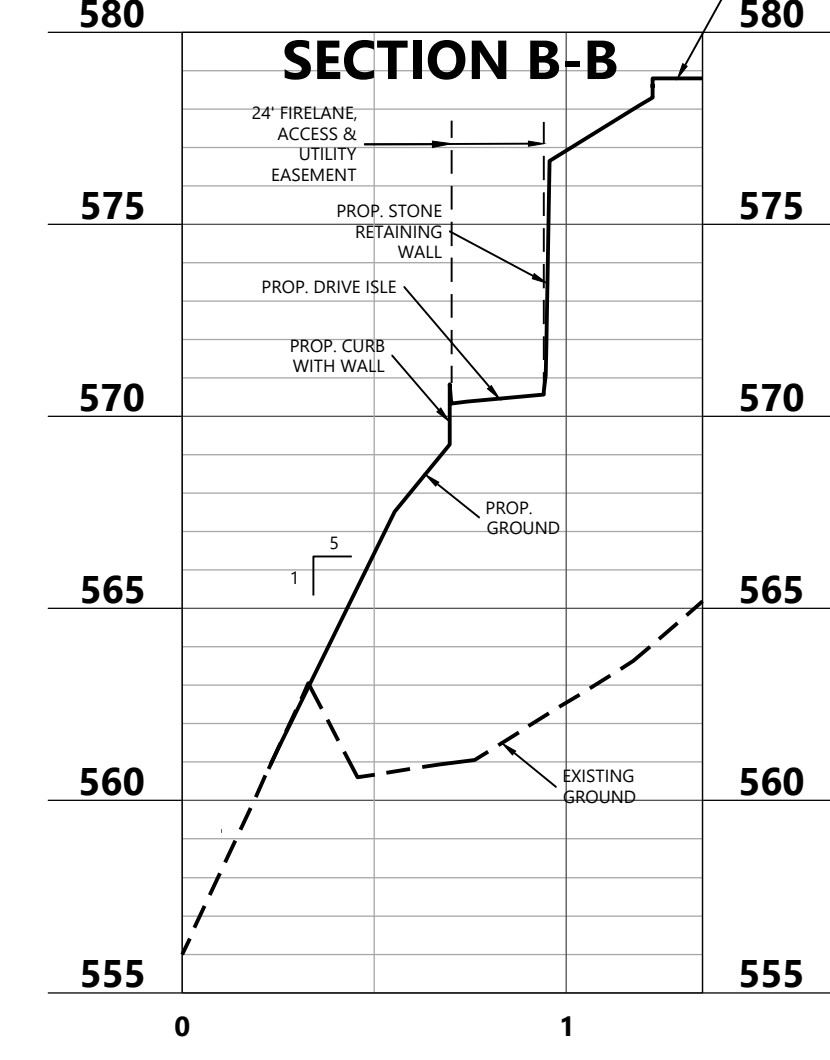
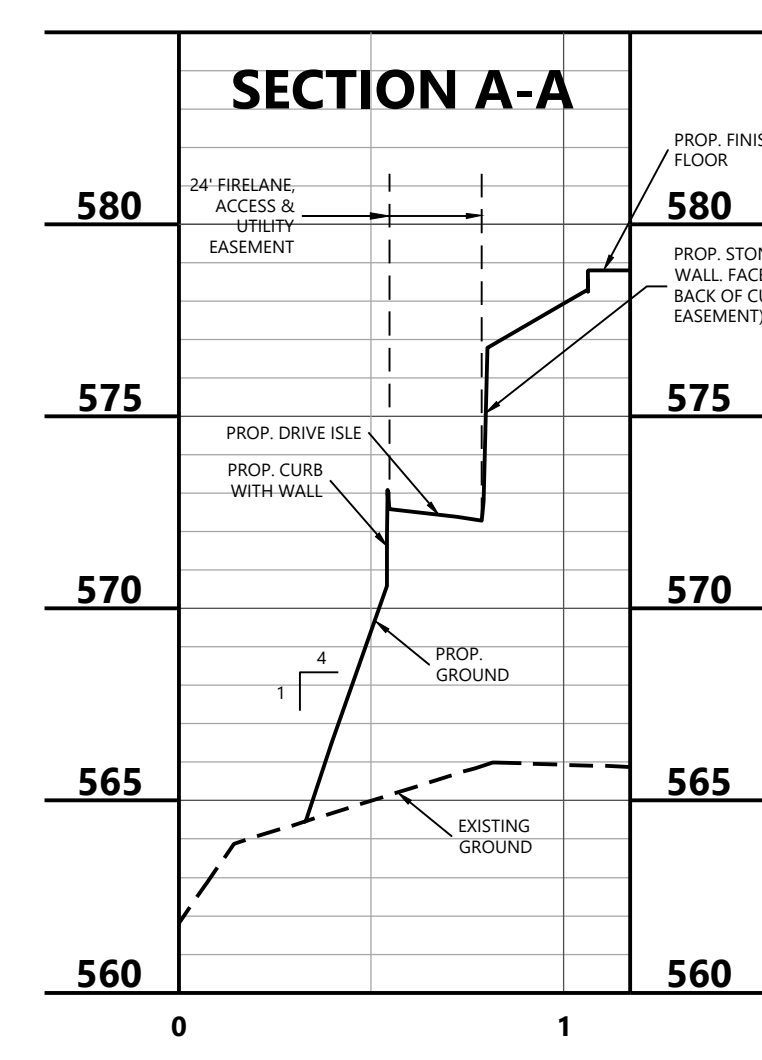


**LEGEND**

- PROPOSED PROPERTY LINE
- PROPOSED INDEX CONTOUR ELEVATION
- PROPOSED INTERVAL CONTOUR ELEVATION
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED TOP AND BOTTOM OF WALL ELEVATION
- PROPOSED TOP OF CURB AND GUTTER ELEVATION
- PROPOSED EDGE OF PAVEMENT ELEVATION
- PROPOSED TOP OF PAVEMENT ELEVATION
- PROPOSED INLET THROAT ELEVATION
- PROPOSED TOP OF SIDEWALK ELEVATION
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED FLOW LINE ELEVATION
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- EXISTING INDEX CONTOUR
- EXISTING INTERVAL CONTOUR
- EXISTING SPOT ELEVATION

**BENCH MARK LIST:**

- BENCHMARK #1 - X-CUT IN BOX SET ON THE WEST SIDE OF AN INLET LOCATED ON SOUTH SIDE OF AIRPORT ROAD, APPROXIMATELY 300 ± FEET FROM THE SOUTHWEST INTERSECTION OF AIRPORT ROAD AND WASHINGTON STREET. ELEVATION = 559.08
- BENCHMARK #2 - 5/8-INCH CAPPED IRON ROD SET NEAR THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED HEREON AND BEING APPROXIMATELY 151 ± FEET FROM THE SOUTH CORNER OF A CONCRETE ALLEY. ELEVATION = 579.66



**ADA ROUTE**  
NOTE: MAXIMUM SLOPE FOR ALL ADA PATHS 5%; MAX. CROSS FALL IS 2%; FOR THE FIRST FIVE FEET FROM THE DOOR A 2% SLOPE (MAX.) MUST BE MAINTAINED

**GEOTECHNICAL REPORT**  
NOTE: WORK SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY D & S ENGINEERING LABS DOUGLAS GREENWOOD, P.E. DATED: MAY 24, 2022

**RECORD DRAWINGS:**  
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HORIZONTAL SCALE:	09-27-2023 REVISED OIL/SAND SEPARATOR SIZE	ROCKWALL, TEXAS 75087
VERTICAL SCALE:	10-19-2023 RFI 035 RESPONSE	
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**GRADING PLAN**  
3.00

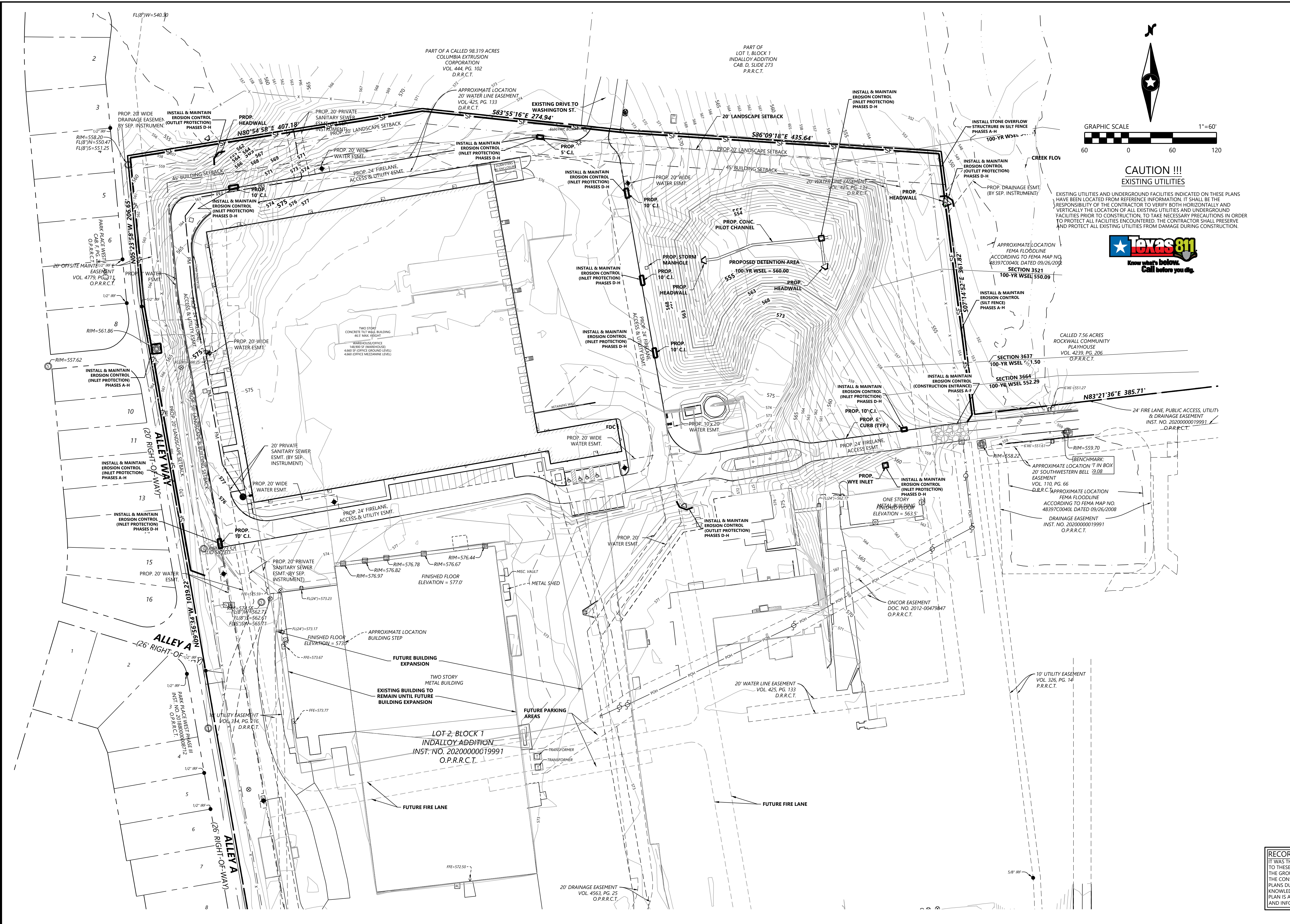
PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

SHEET NUMBER:

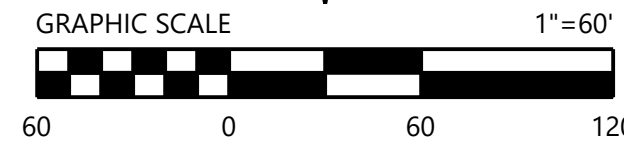
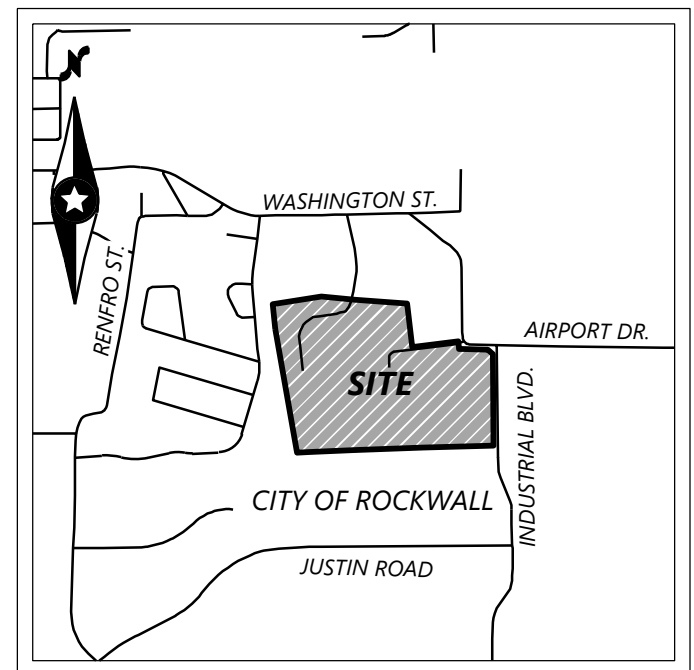
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### VICINITY MAP



**CAUTION !!!**  
EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



### LEGEND

- STORM DRAIN LINE WITH INLET
- PROP. FLOW ARROW
- EXISTING 5' CONTOUR INTERVAL
- EXISTING 1' CONTOUR INTERVAL
- SILT FENCE
- SILT FENCE OR CURLEX
- BIROLL PROTECTION
- SANDBAG PROTECTION
- INLET PROTECTION
- ROCK FILTER DAM

### EROSION CONTROL GENERAL NOTES:

1. REFER TO SHEET 4.02 FOR THE EROSION CONTROL DETAILS AND POLLUTION PREVENTION PLAN NOTES/SPECIFICATIONS/REQUIREMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL MEASURES OF THIS EROSION CONTROL PLAN (SWPPP) AND COMPLYING WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS REGARDING THE SWPPP.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THESE MEASURES INCLUDING WATERING, MOWING AND GENERAL MAINTENANCE UNLESS OTHERWISE RELIEVED OF THESE DUTIES BY THE OWNER.

### VEGETATION NOTES:

1. ALL DISTURBED AREAS NOT BEING RE-DISTURBED WITHIN A MINIMUM OF 14 DAYS MUST BE COVERED AND STABILIZED.
2. THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
3. NO PUBLIC ACCEPTANCE UNTIL (FINAL STABILIZATION) VEGETATION IS ESTABLISHED ON ALL DISTURBED AREAS.
4. FINAL STABILIZATION IS DEFINED AS A UNIFORM PERENNIAL VEGETATIVE COVER AT A MINIMUM OF 70% RESTORATION OF THE NATIVE OR NATURAL PREEXISTING BACKGROUND COVER FOR THE AREA.

### CONSTRUCTION ACTIVITIES:

- THE CONSTRUCTION ACTIVITY INCLUDED IN THIS PLAN WILL INCLUDE THE FOLLOWING CONSTRUCTION PHASES:
- A. CLEARING AND GRUBBING
  - B. STOCK PILING
  - C. ROUGH GRADING
  - D. UTILITY INSTALLATION/EXCAVATION OF TRENCHES
  - E. FINAL OR FINISH GRADING
  - F. PAVEMENT INSTALLATION
  - G. BUILDING CONSTRUCTION
  - H. PREPARATION OF SEEDING AND PLANTING

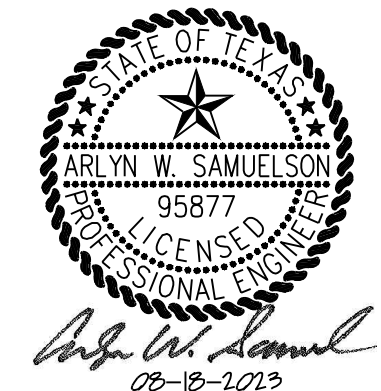
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08-21-2024	RECORD DRAWINGS

PREPARED FOR:  
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TSPS FIRM REGISTRATION NO. 10074301

## EROSION CONTROL PLAN

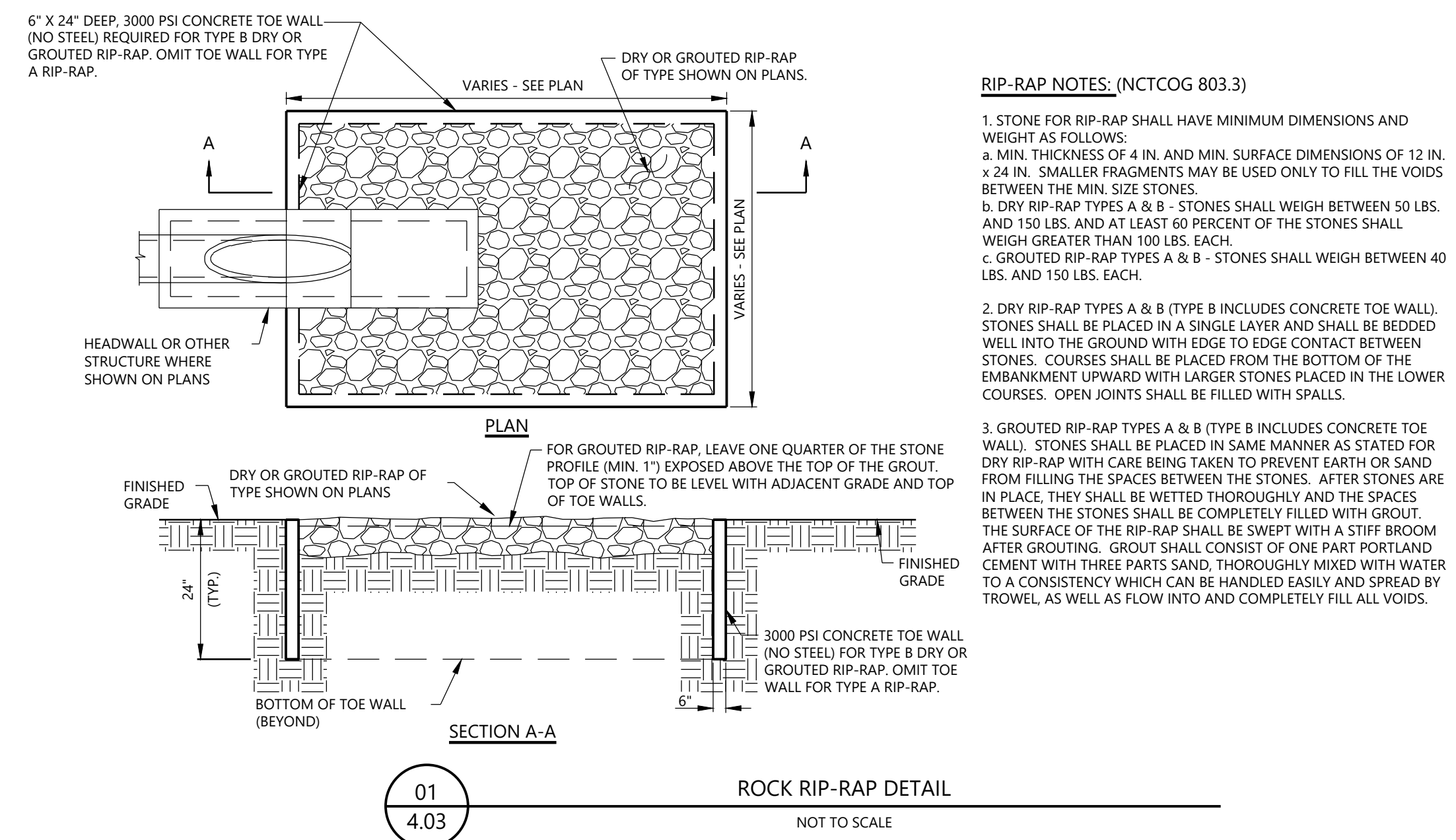
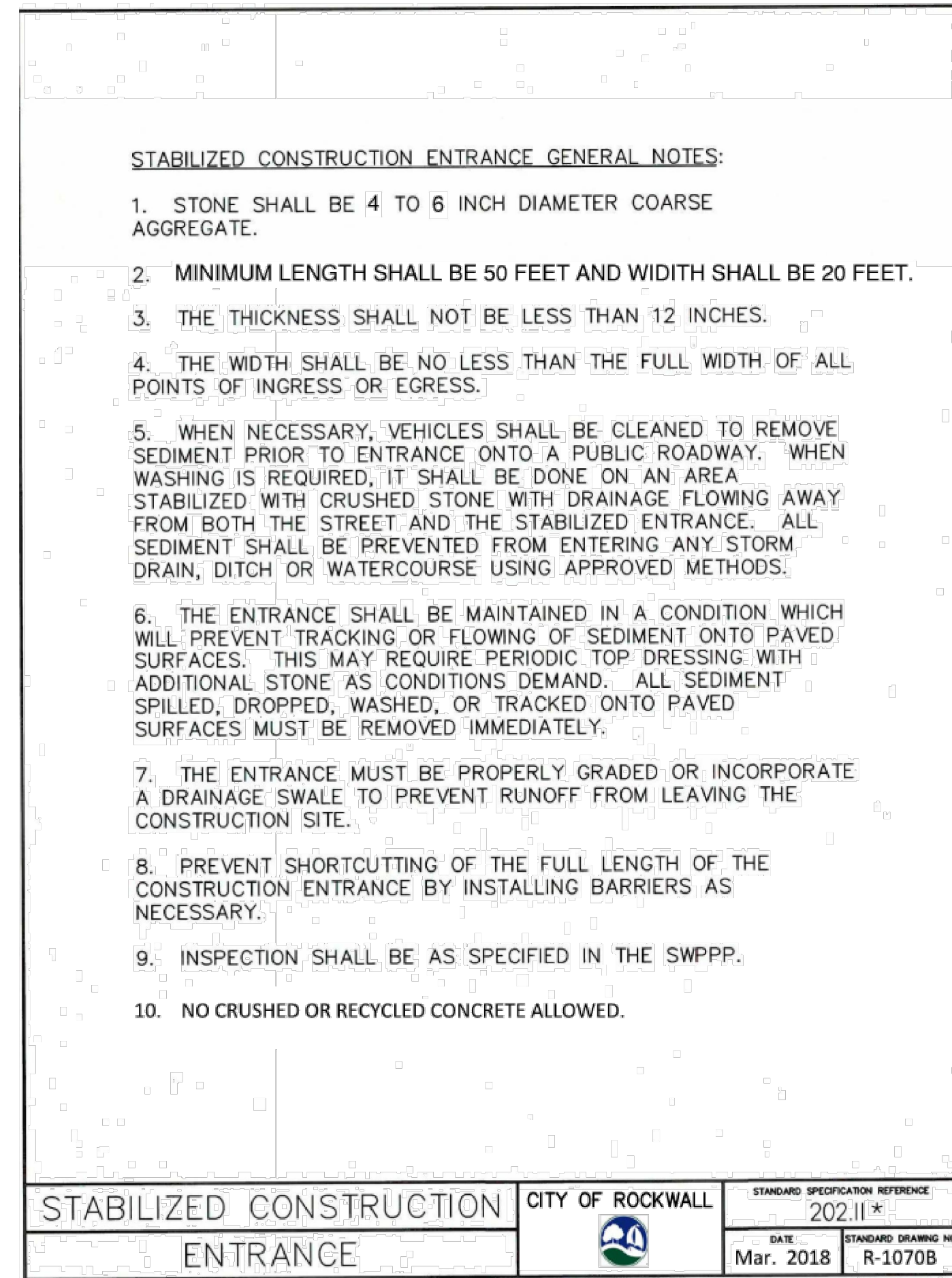
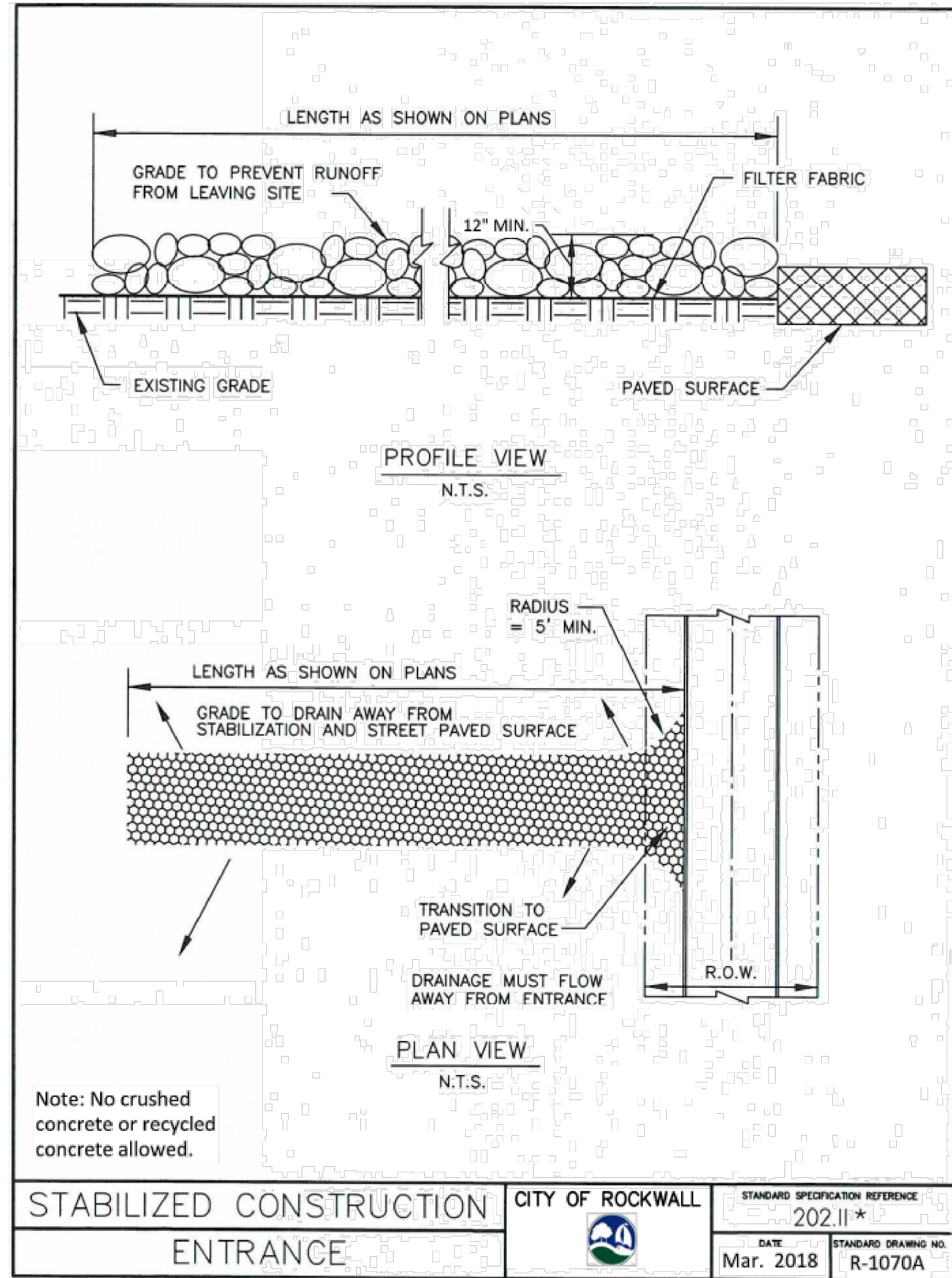
# 4.01

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

SHEET NUMBER:

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**RIP-RAP NOTES: (NCTCOG 803.3)**

- STONE FOR RIP-RAP SHALL HAVE MINIMUM DIMENSIONS AND WEIGHT AS FOLLOWS:
  - MIN. THICKNESS OF 4 IN. AND MIN. SURFACE DIMENSIONS OF 12 IN. x 24 IN. SMALLER FRAGMENTS MAY BE USED ONLY TO FILL THE VOIDS BETWEEN THE MIN. SIZE STONES.
  - DRY RIP-RAP TYPES A & B - STONES SHALL WEIGH BETWEEN 50 LBS. AND 150 LBS. AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH GREATER THAN 100 LBS. EACH.
  - GRouted RIP-RAP TYPES A & B - STONES SHALL WEIGH BETWEEN 40 LBS. AND 150 LBS. EACH.
- DRY RIP-RAP TYPES A & B (TYPE B INCLUDES CONCRETE TOE WALL) STONES SHALL BE PLACED IN A SINGLE LAYER AND SHALL BE BEDDED WELL INTO THE GROUND WITH EDGE TO EDGE CONTACT BETWEEN STONES. COURSES SHALL BE PLACED FROM THE BOTTOM OF THE EMBANKMENT UPWARD WITH LARGER STONES PLACED IN THE LOWER COURSES. OPEN JOINTS SHALL BE FILLED WITH SPALLS.
- GRouted RIP-RAP TYPES A & B (TYPE B INCLUDES CONCRETE TOE WALL) STONES SHALL BE PLACED IN SAME MANNER AS STATED FOR DRY RIP-RAP WITH CARE BEING TAKEN TO PREVENT EARTH OR SAND FROM FILLING THE SPACES BETWEEN THE STONES. AFTER STONES ARE IN PLACE, THEY SHALL BE WETTED THOROUGHLY AND THE SPACES BETWEEN THE STONES SHALL BE COMPLETELY FILLED WITH GROUT. THE SURFACE OF THE RIP-RAP SHALL BE SWEEPED WITH A STIFF BROOM AFTER GROUTING. GROUT SHALL CONSIST OF ONE PART PORTLAND CEMENT WITH THREE PARTS SAND, THOROUGHLY MIXED WITH WATER TO A CONSISTENCY WHICH CAN BE HANDLED EASILY AND SPREAD BY TROWEL, AS WELL AS FLOW INTO AND COMPLETELY FILL ALL VOIDS.

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NOTE: IN THE EVENT OF A CONFLICT WITH CITY NOTES AND/OR DETAILS WITH THIS SHEET, THE CITY STANDARDS SHALL PREVAIL.

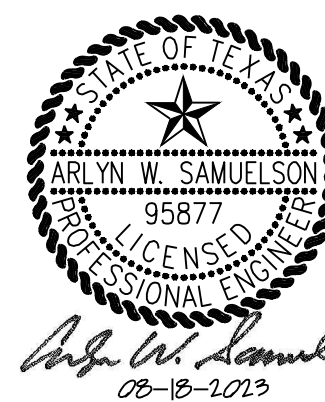
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DESIGNED: AWS  
CHECKED: AWS  
DRAWN: SWY  
HORIZONTAL SCALE:  
VERTICAL SCALE:

INITIAL ISSUE: 08/18/2023  
REVISIONS:  
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**EROSION CONTROL  
DETAILS (2 OF 2)**

SHEET NUMBER:

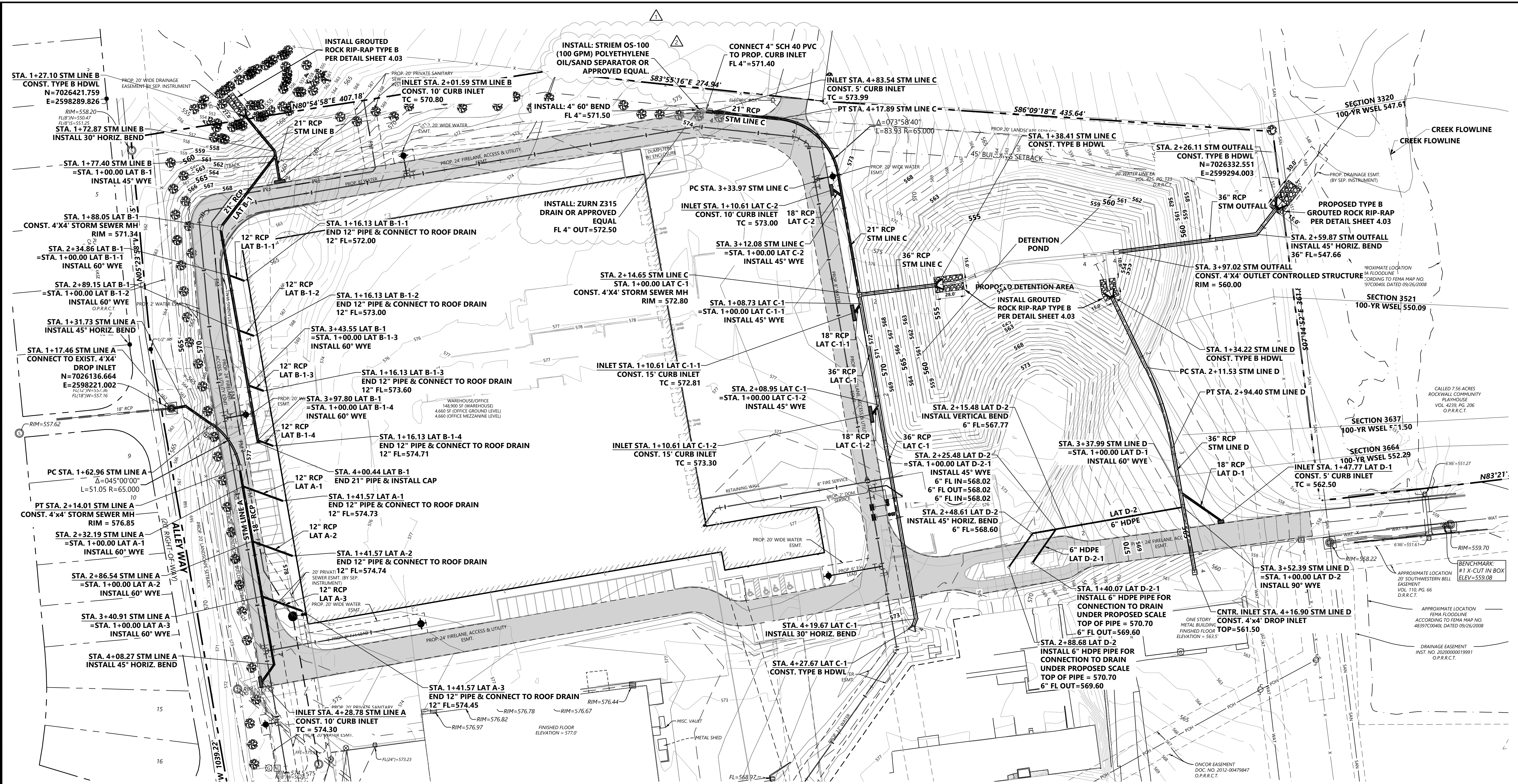
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PROJECT NUMBER: 0096677-08

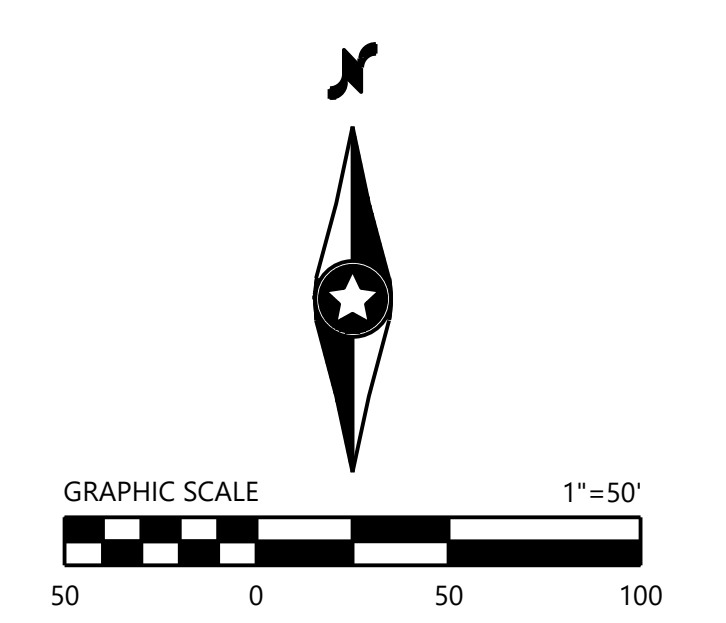
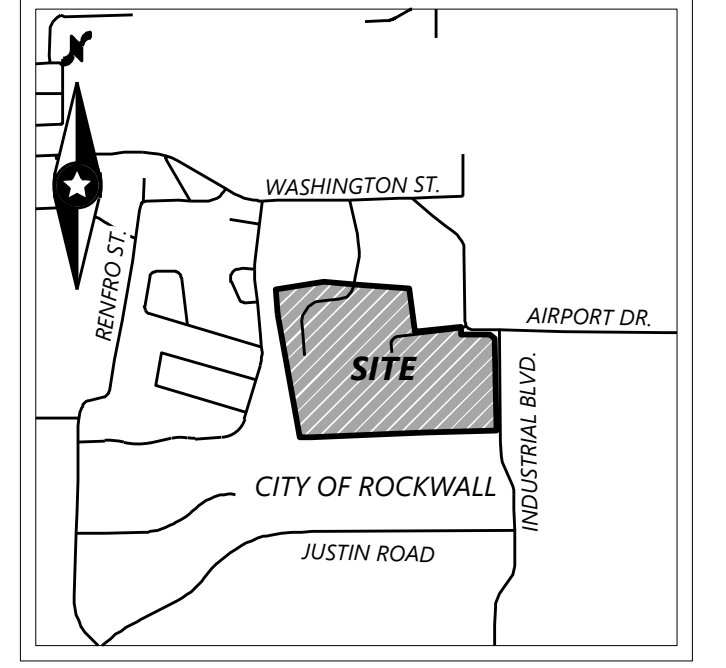
DATE: 12/11/2023

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### VICINITY MAP



- #### LEGEND
- EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING TELE. MANHOLE
  - EXISTING LIGHT POLE
  - EXISTING GAS METER
  - EXISTING GUY ANCHOR
  - EXISTING POWER POLE
  - EXISTING SANITARY SEWER MH
  - EXISTING WATER LINE
  - EXISTING OVERHEAD POWER
  - EXISTING SANITARY SEWER MAIN
  - STORM DRAIN LINE WITH INLET
  - PROP. FLOW ARROW
  - PROPOSED WATER MAIN
  - PROPOSED FH
  - PROPOSED SANITARY SEWER MAIN
  - PROPOSED SANITARY SEWER MH

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NOTE:  
ALL STORM PIPES AND STORM STRUCTURES ARE PRIVATE.

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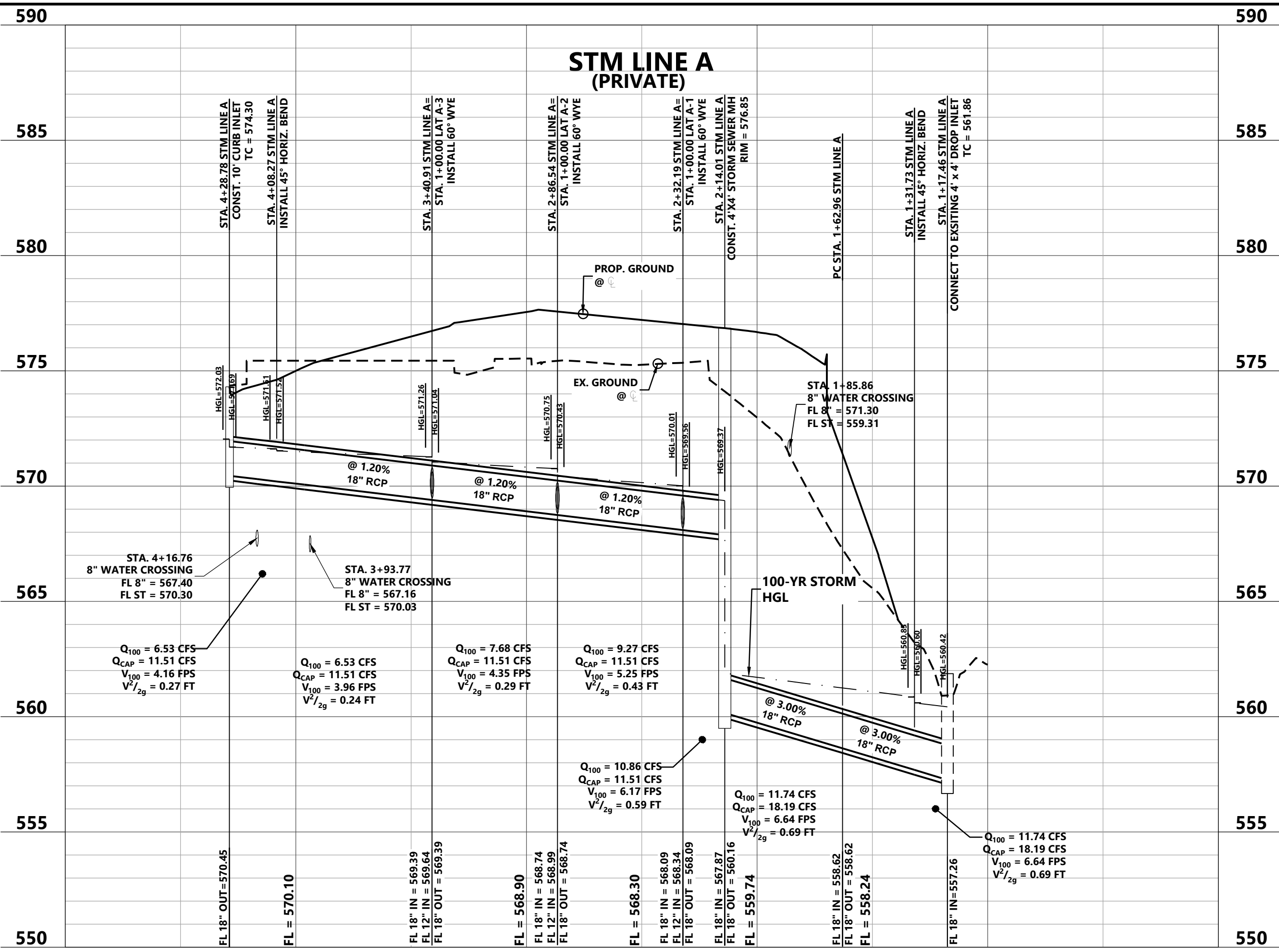
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TYPE FIRM REGISTRATION NO. F-11756  
TIFLS FIRM REGISTRATION NO. 10074301

SHEET NUMBER: **5.01**

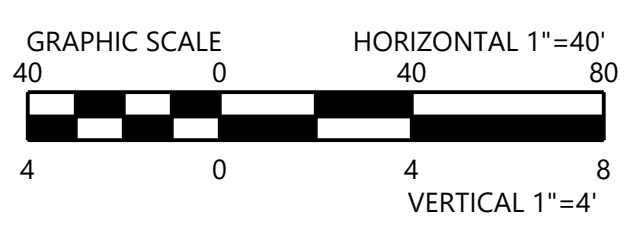
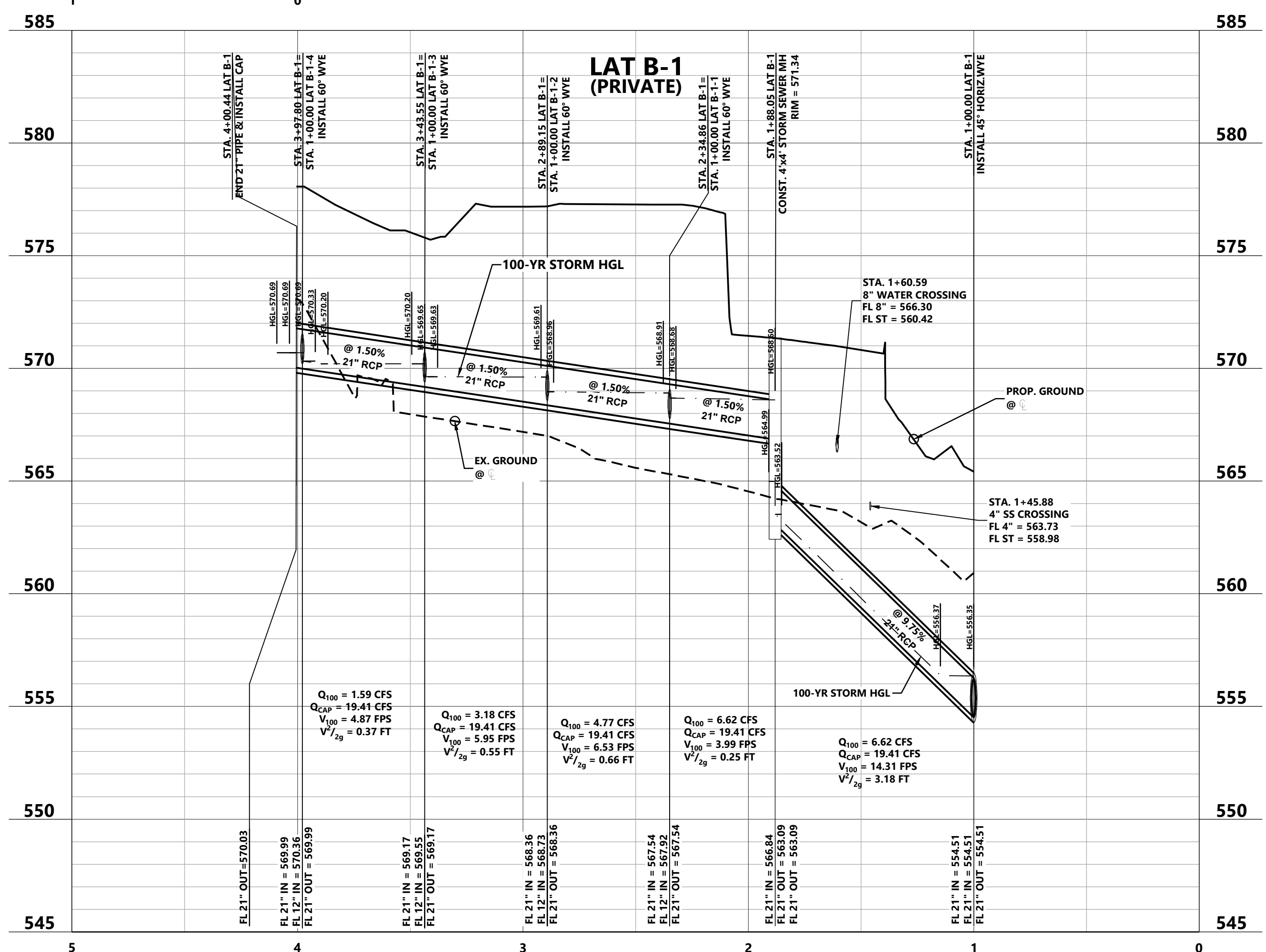
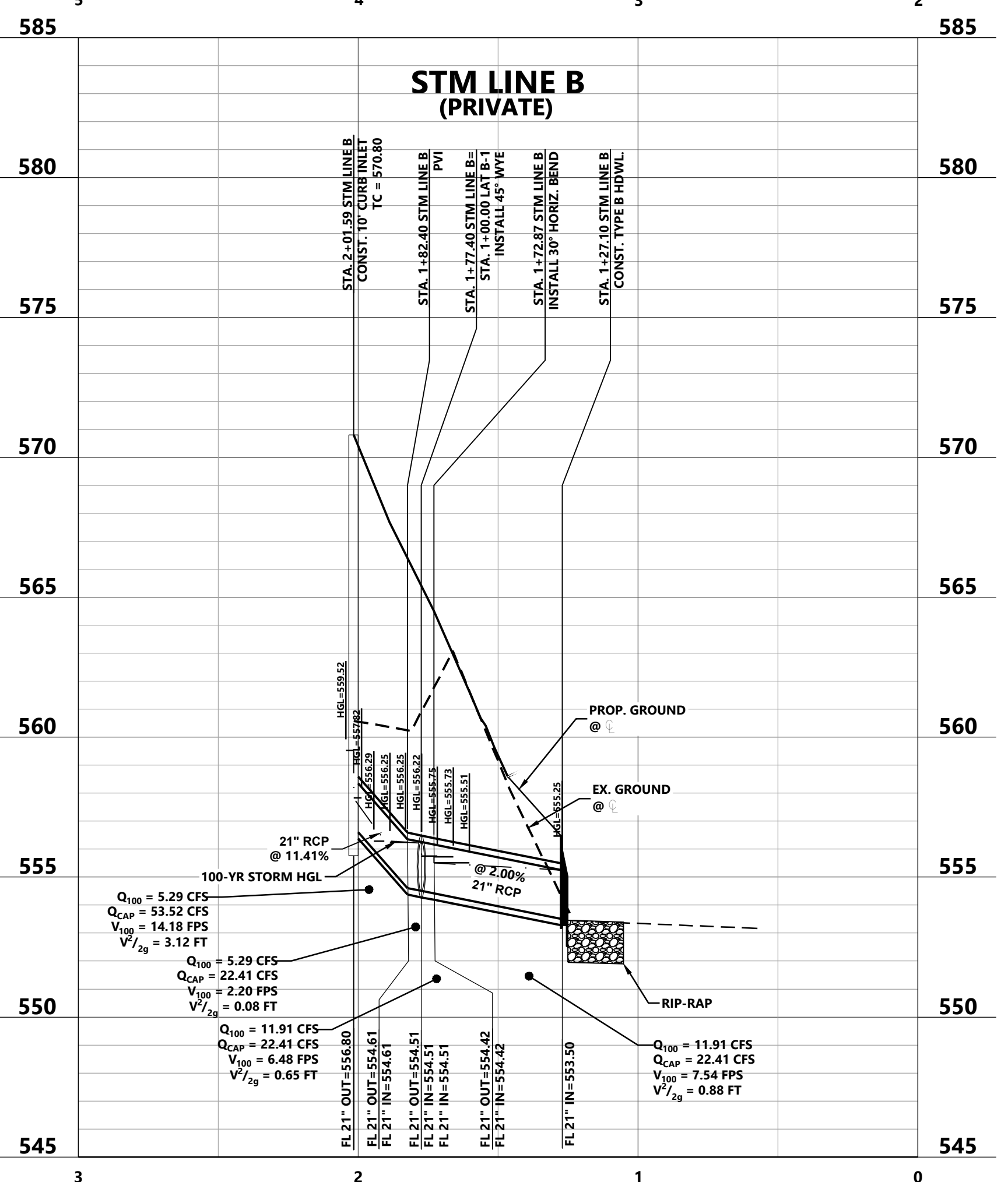
**STORM SEWER PLAN**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

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SEE SHEET 5.05 FOR HYDRAULIC CALCULATIONS

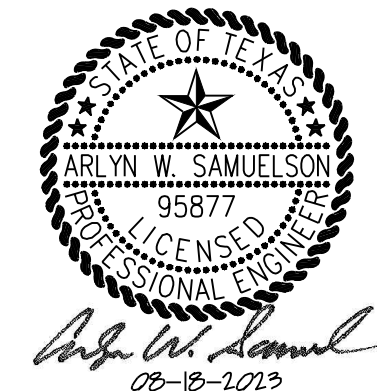


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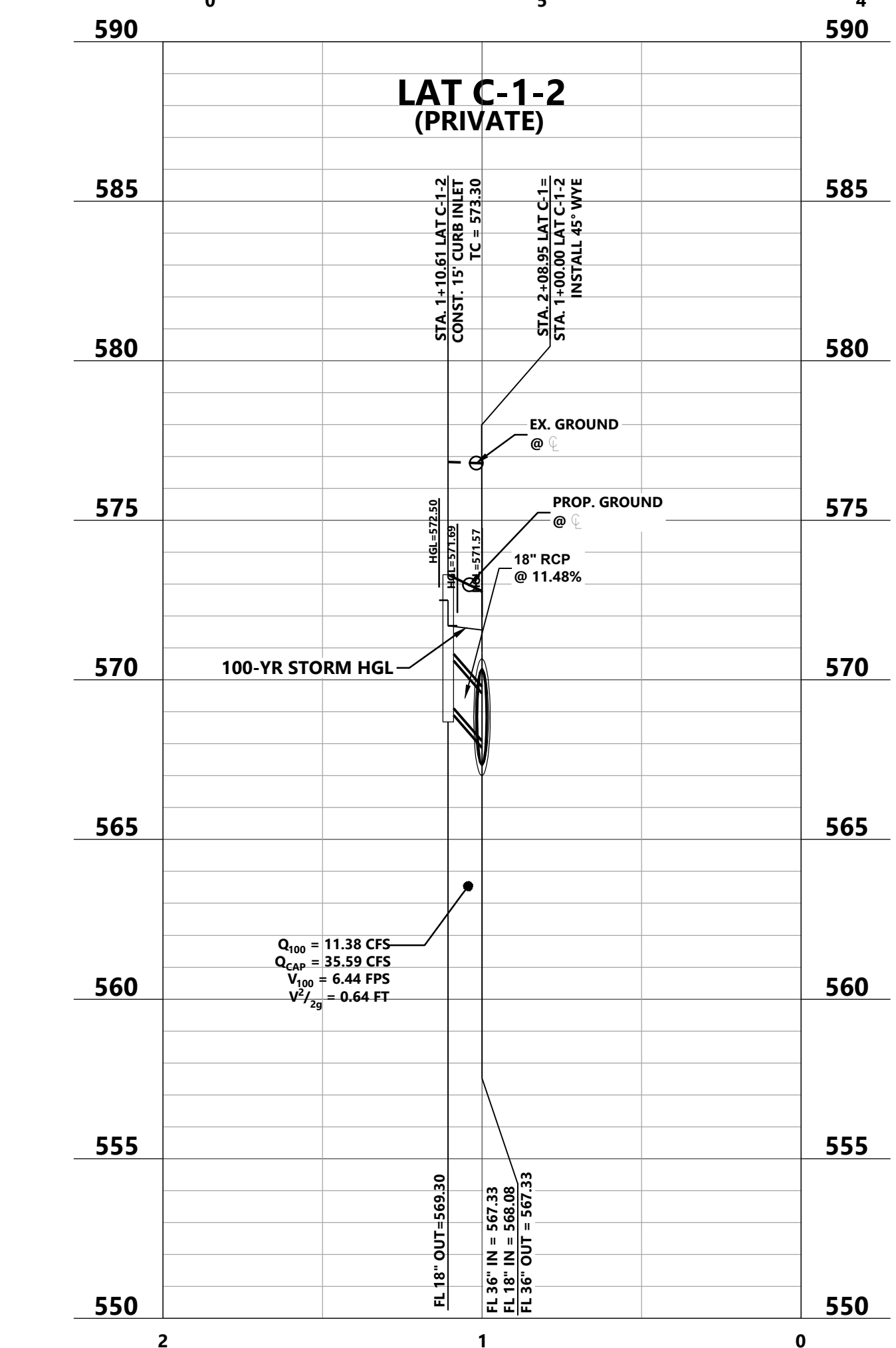
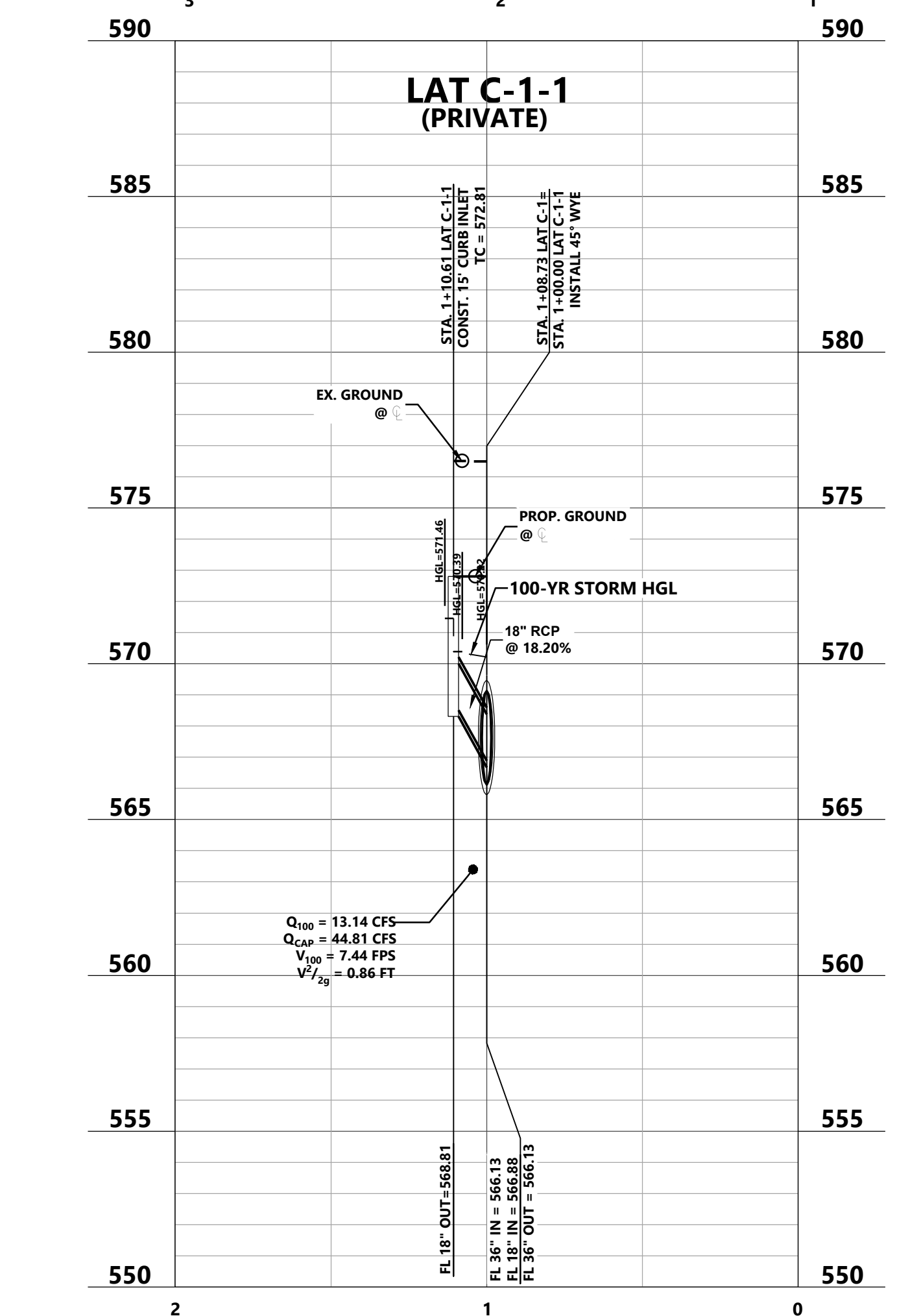
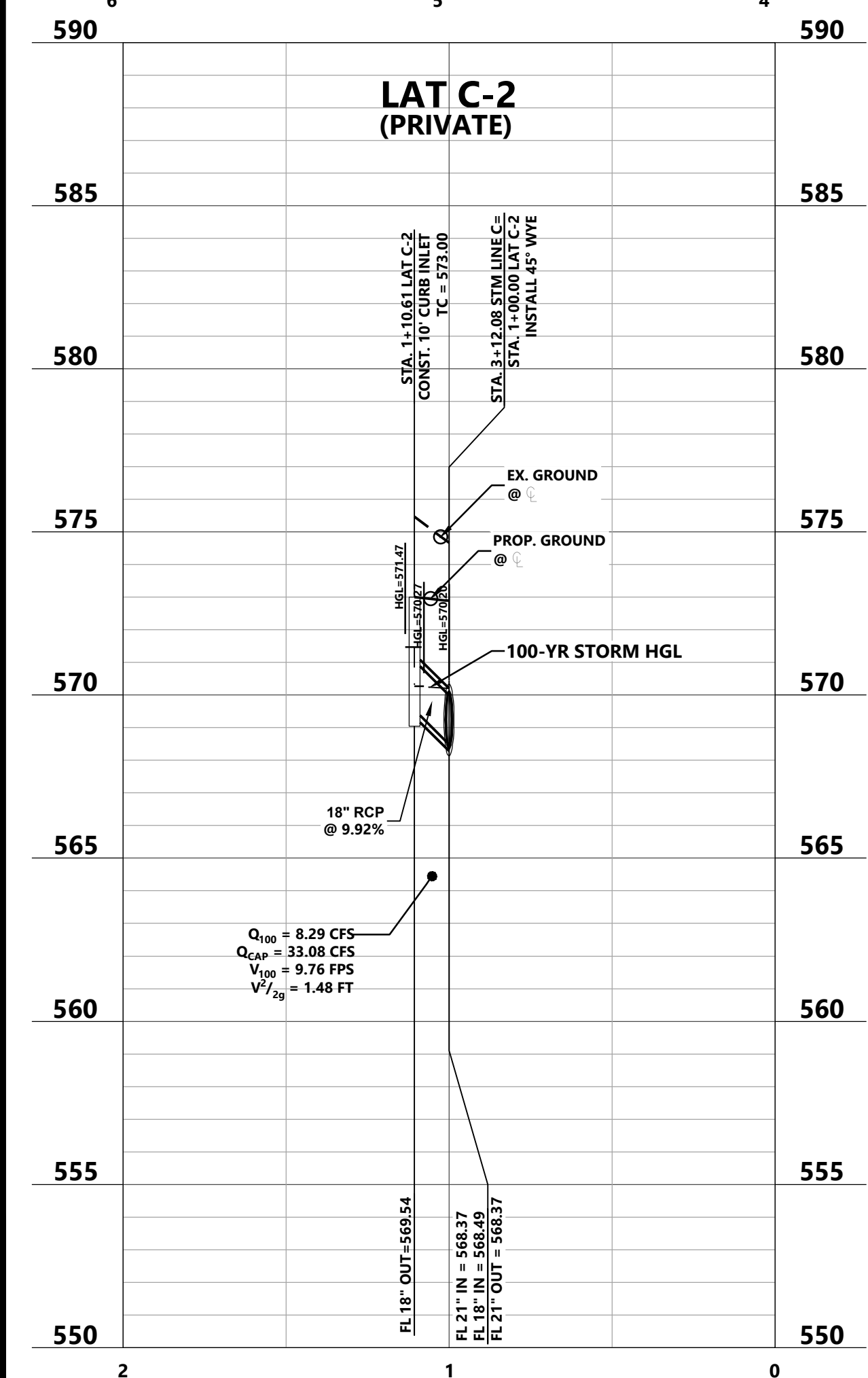
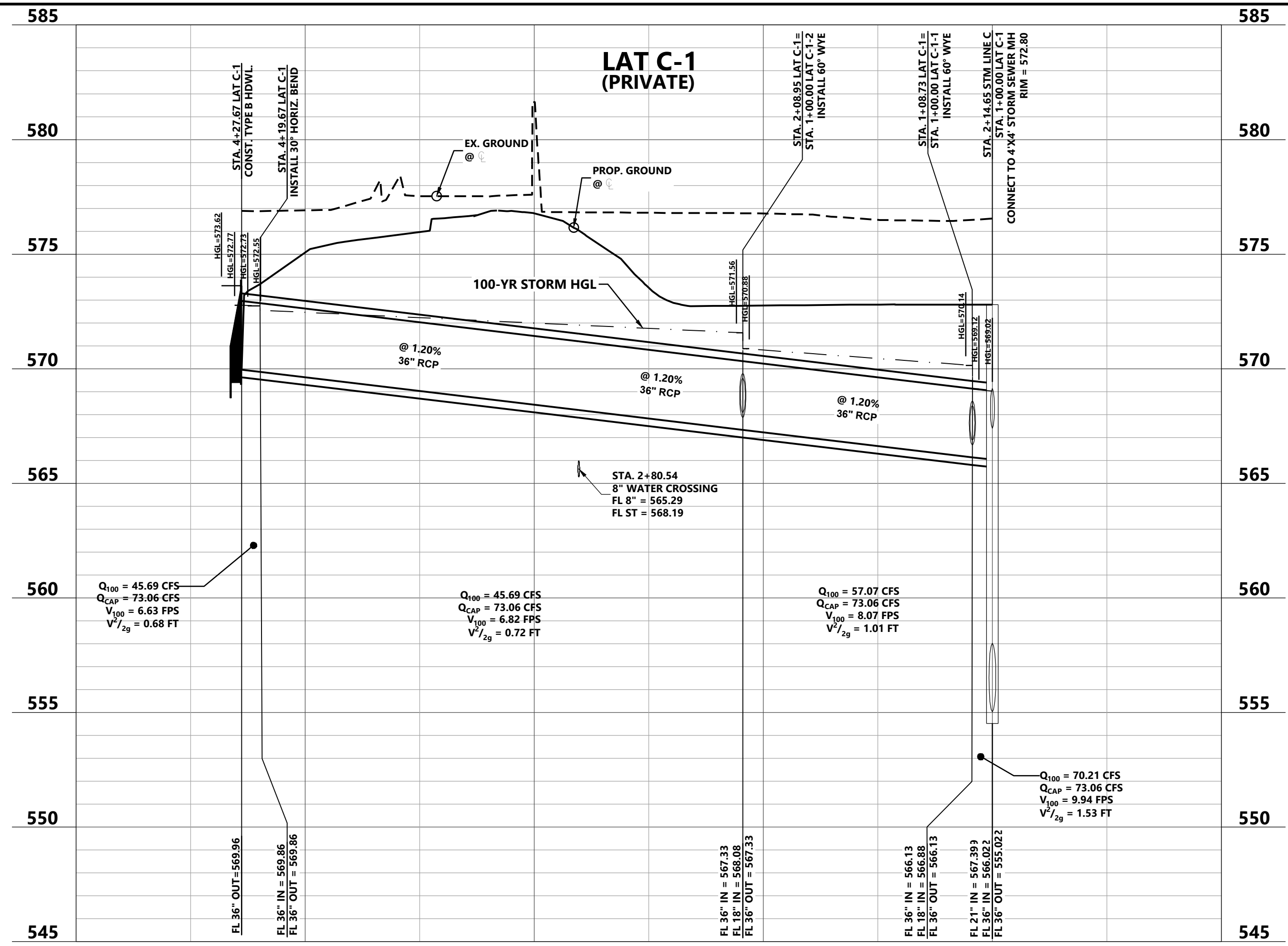
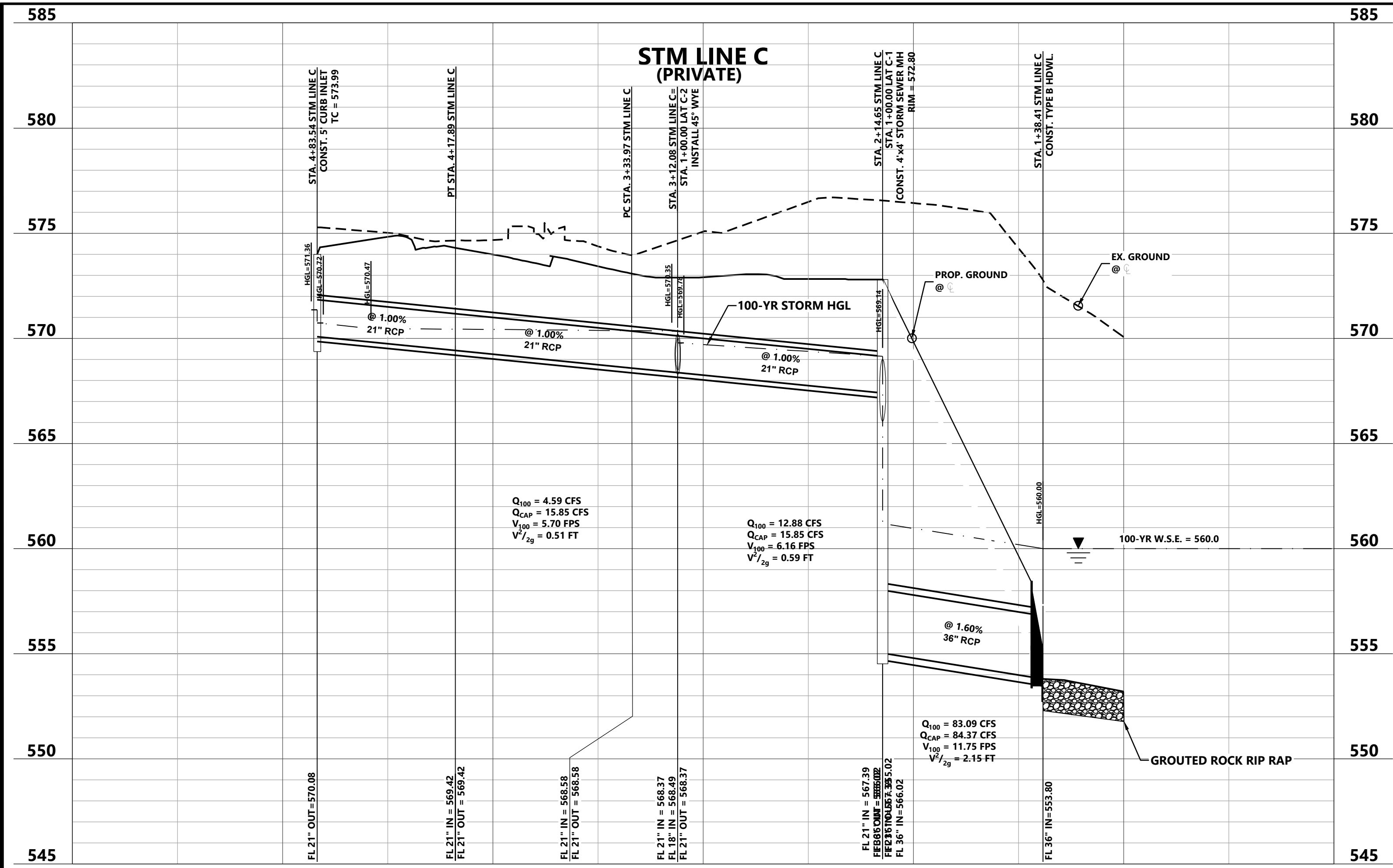
**STORM PROFILE 1** **5.02**

SHEET NUMBER:

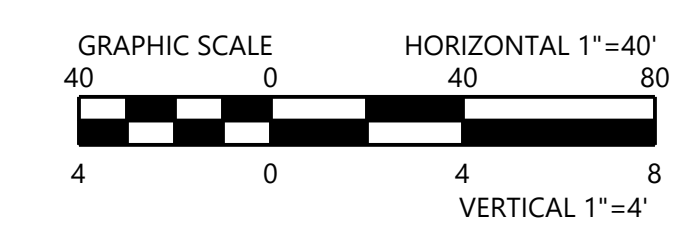
PROJECT NUMBER: 0036677.00 DATE: 12/11/2023



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SEE SHEET 5.05 FOR HYDRAULIC CALCULATIONS



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

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N:\0036677\001\PROJECT DATA\DWG\CIVIL\036677-ST.DWG

DESIGNED:	INITIAL ISSUE:
CHECKED:	REVISIONS:
DRAWN:	08-31-2023 CITY COMMENTS
HORIZONTAL SCALE:	09-27-2023 REVISED OIL/SAND SEPARATOR SIZE
VERTICAL SCALE:	10-19-2023 RFI 035 RESPONSE
	12-11-2023 REVISED PARKING/GENERATOR
	08-21-2024 RECORD DRAWINGS

PREPARED FOR:  
**SPR PACKAGING**  
 1480 JUSTIN ROAD  
 ROCKWALL, TEXAS 75087

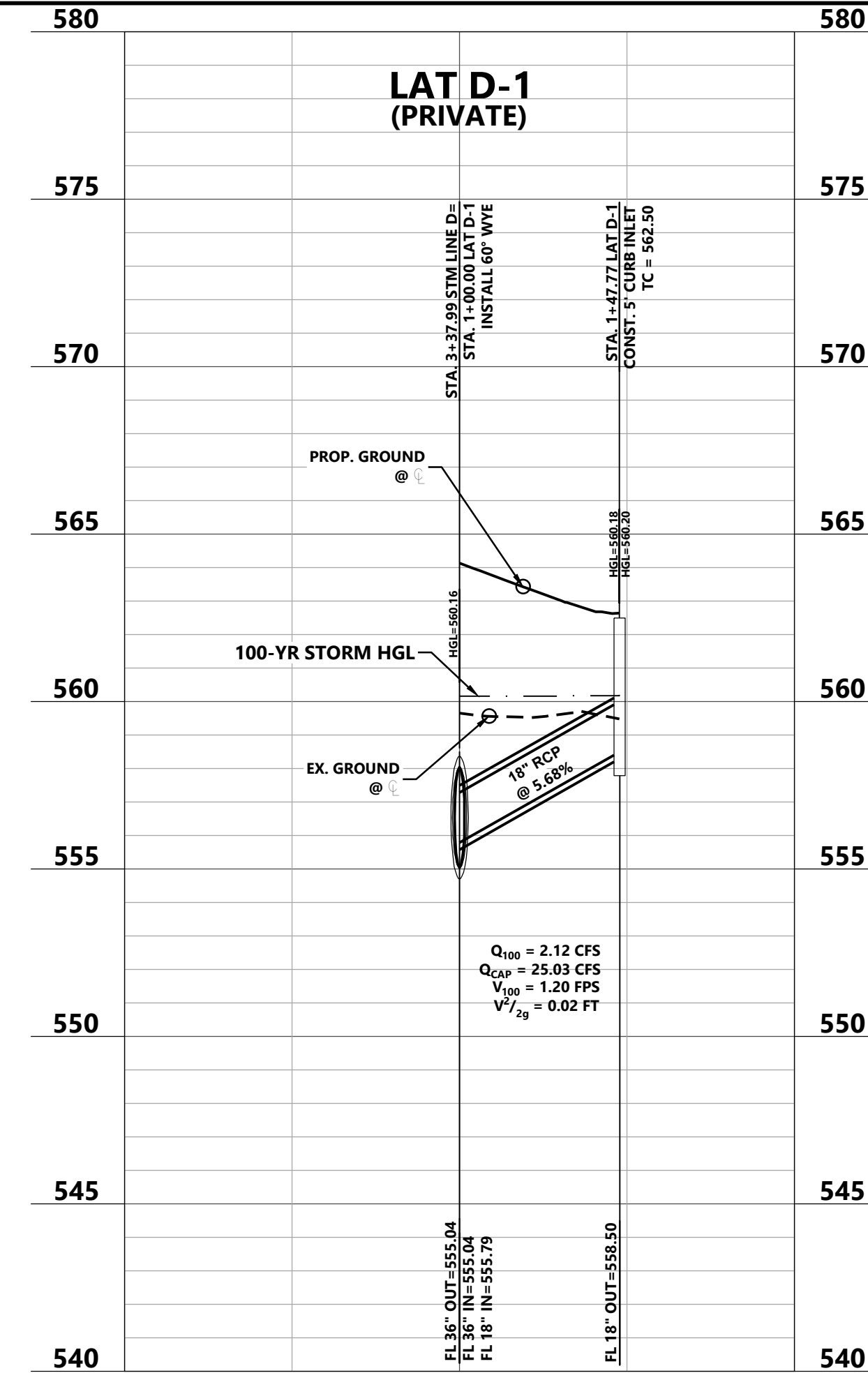
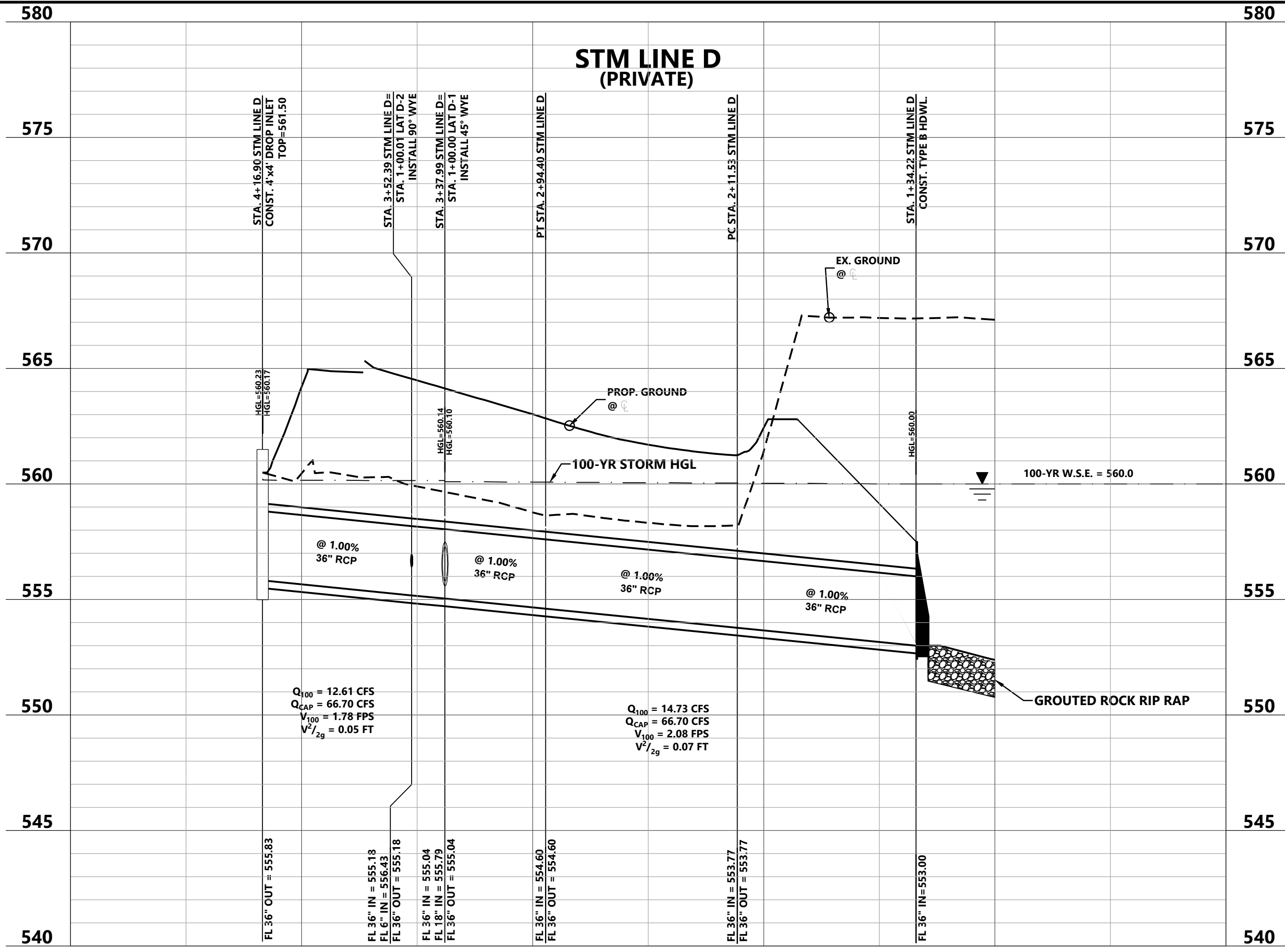


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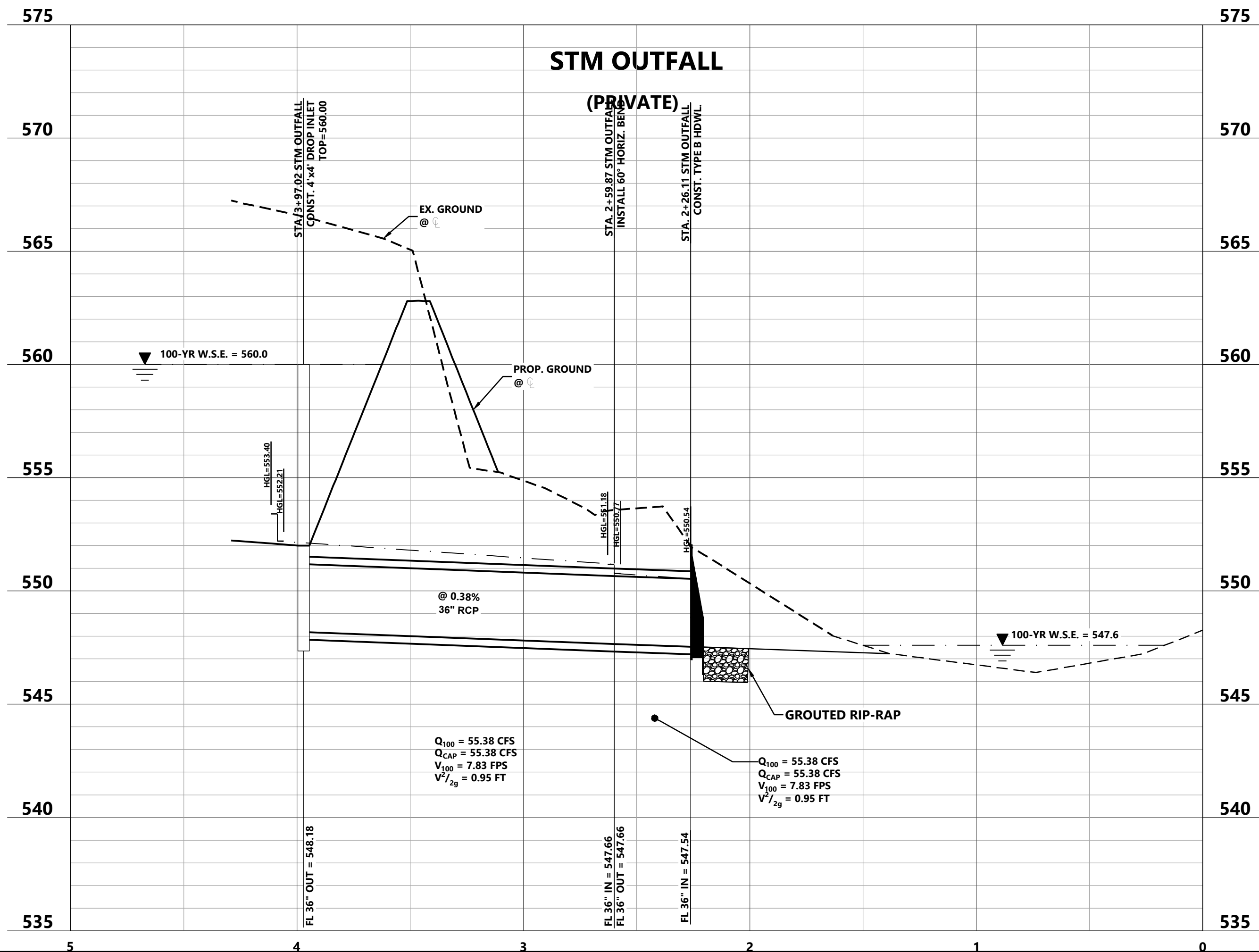
**Westwood**  
 Phone (214) 473-4640 2901 Dallas Parkway, Suite 400  
 Toll Free (888) 937-5150 Plano, TX 75093  
 westwoodps.com  
 Westwood Professional Services, Inc.  
 TSP FIRM REGISTRATION NO. F-11758  
 TSP FIRM REGISTRATION NO. 10074301

SHEET NUMBER:  
**5.03**  
 PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

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CHECKED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
HORIZONTAL SCALE: \_\_\_\_\_  
VERTICAL SCALE: \_\_\_\_\_

INITIAL ISSUE:	REVISIONS:
08-31-2023	CITY COMMENTS
09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
10-19-2023	RFI 035 RESPONSE
12-11-2023	REVISED PARKING/GENERATOR
08-21-2024	RECORD DRAWINGS

PREPARED FOR:  
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ROCKWALL, TEXAS 75087



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TSPS FIRM REGISTRATION NO. F-11758  
TSPS FIRM REGISTRATION NO. 10074301

**STORM PROFILE 3**

**5.04**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023

Table with columns: Line ST, Station, Q (cfs), Pipe Type, Size, Design Slope, Upstream Junction Type, Connect or FL, Dwn HGL, Up HGL, Up HGL w/ Jump, Dwn FL, Up FL, V (fps), V^2/2g (ft), S, Q\_ave (cfs), D\_n (ft), D\_p (ft), V\_p (fps), V\_p^2/2g (ft), Partial Station, Partial Elevation. Includes data for lines A11, A12, A1A1, A1A2, A1A3, B, B1(1), B1(2), B1-1, B1-2, B1(2), B1-1, B1-2, D, D-1.

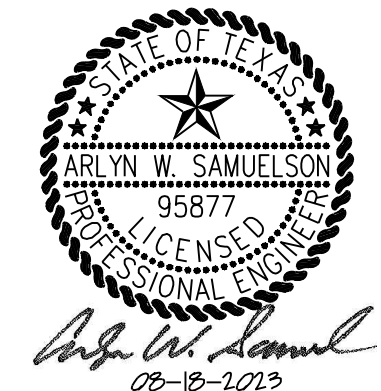
Table with columns: Line ST, Station, Q (cfs), Pipe Type, Size, Design Slope, Upstream Junction Type, Connect or FL, Dwn HGL, Up HGL, Up HGL w/ Jump, Dwn FL, Up FL, V (fps), V^2/2g (ft), S, Q\_ave (cfs), D\_n (ft), D\_p (ft), V\_p (fps), V\_p^2/2g (ft), Partial Station, Partial Elevation. Includes data for lines B1-1, B1-2, B1(2), B1-1, B1-2, D, D-1, D-2, D-3, D-4, D-5, D-6, D-7, D-8, D-9, D-10, D-11, D-12, D-13, D-14, D-15, D-16, D-17, D-18, D-19, D-20, D-21, D-22, D-23, D-24, D-25, D-26, D-27, D-28, D-29, D-30, D-31, D-32, D-33, D-34, D-35, D-36, D-37, D-38, D-39, D-40, D-41, D-42, D-43, D-44, D-45, D-46, D-47, D-48, D-49, D-50, D-51, D-52, D-53, D-54, D-55, D-56, D-57, D-58, D-59, D-60, D-61, D-62, D-63, D-64, D-65, D-66, D-67, D-68, D-69, D-70, D-71, D-72, D-73, D-74, D-75, D-76, D-77, D-78, D-79, D-80, D-81, D-82, D-83, D-84, D-85, D-86, D-87, D-88, D-89, D-90, D-91, D-92, D-93, D-94, D-95, D-96, D-97, D-98, D-99, D-100.

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08-21-2024 RECORD DRAWINGS

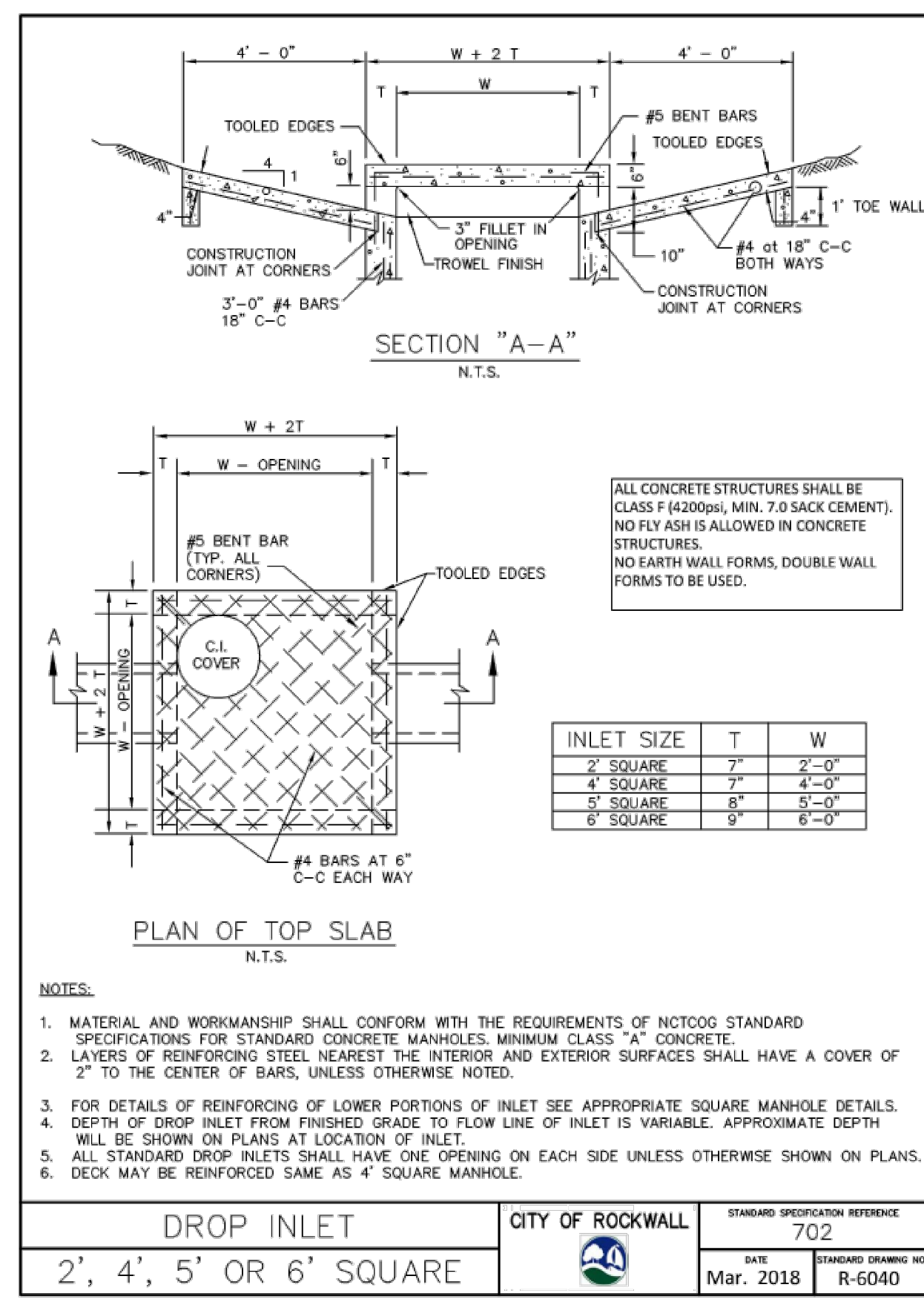
PREPARED FOR:
SPR PACKAGING
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087



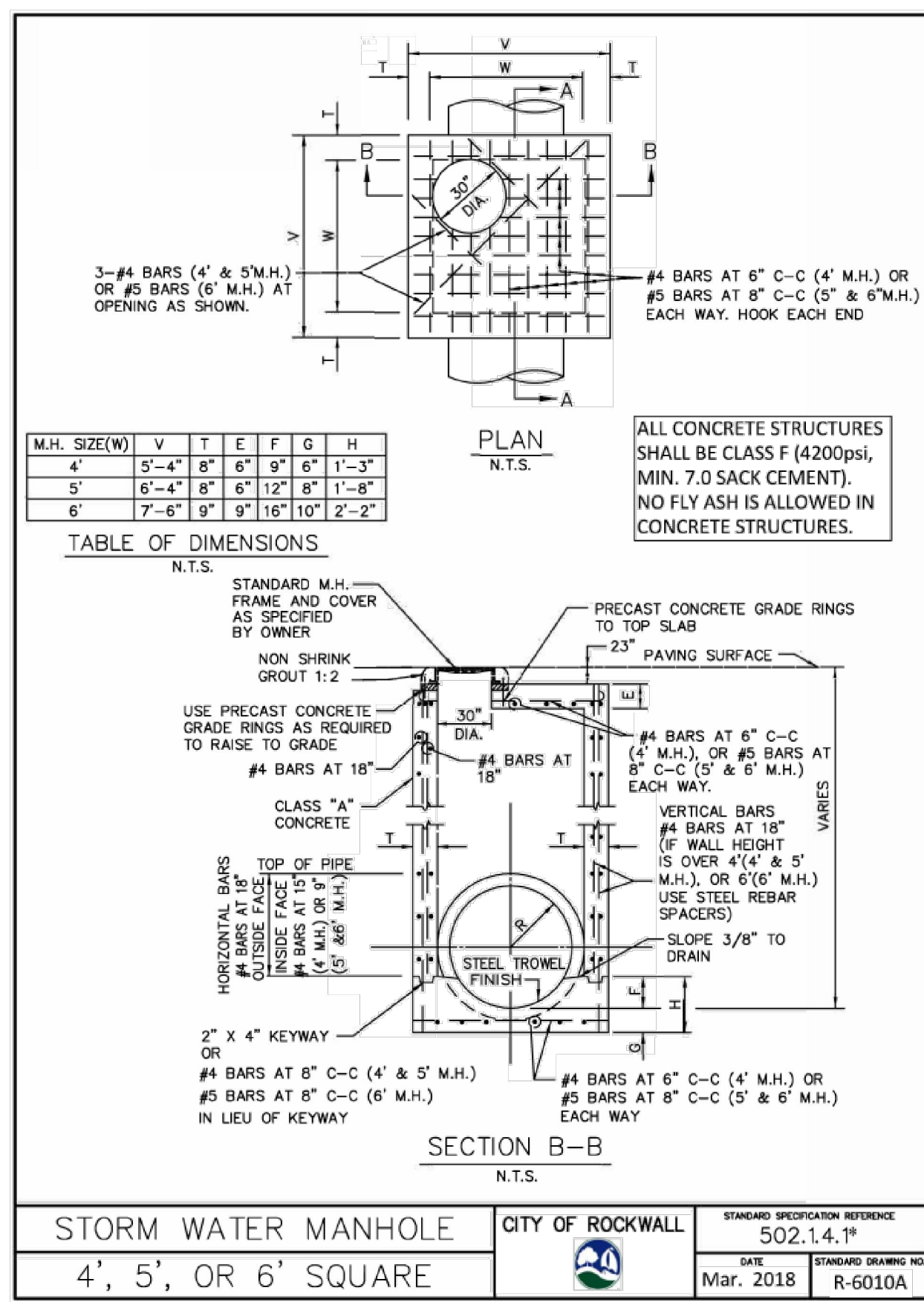
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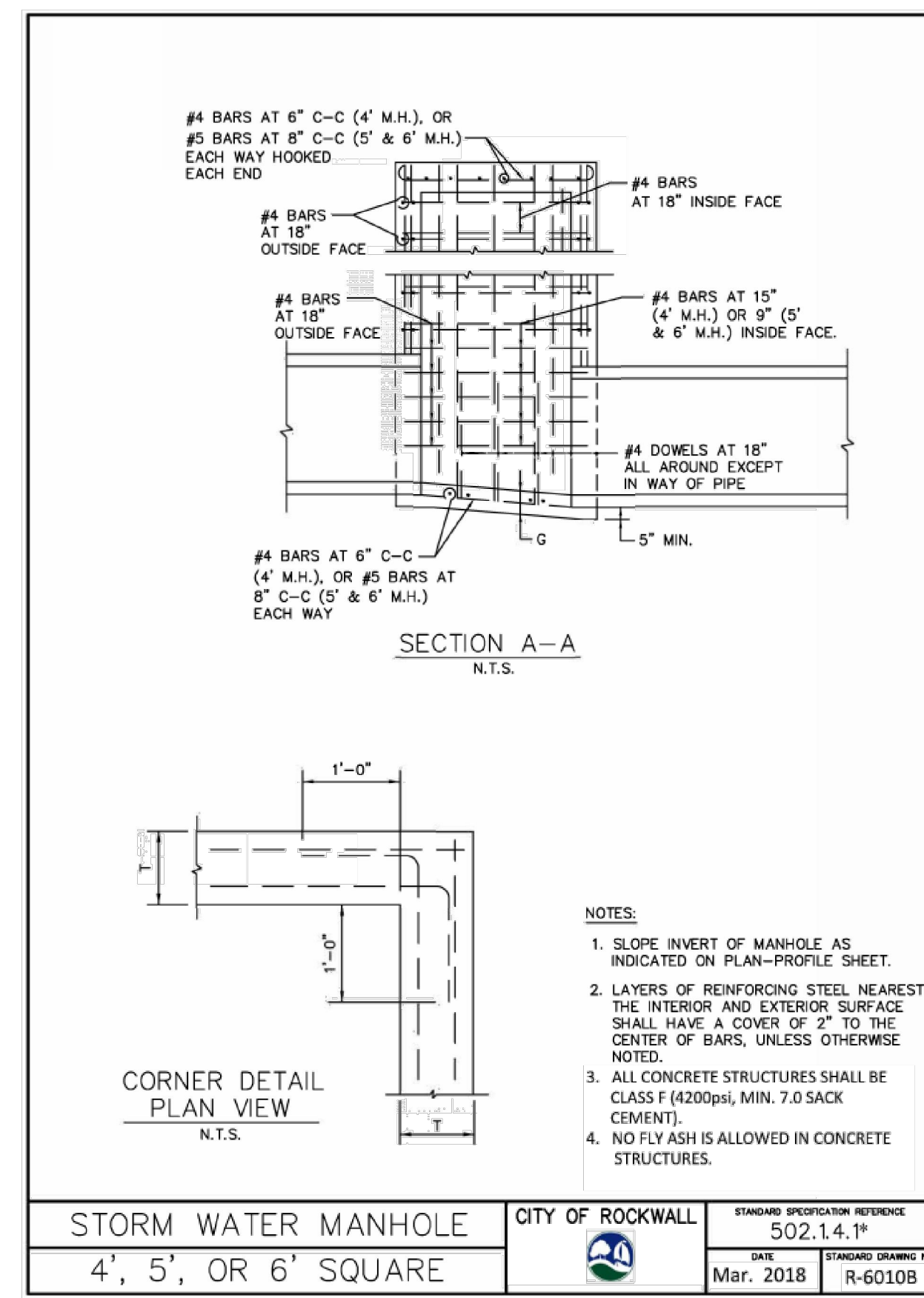
STORM SEWER CALCULATIONS
5.05
PROJECT NUMBER: 0036677.00 DATE: 12/11/2023
SHEET NUMBER: 5.05



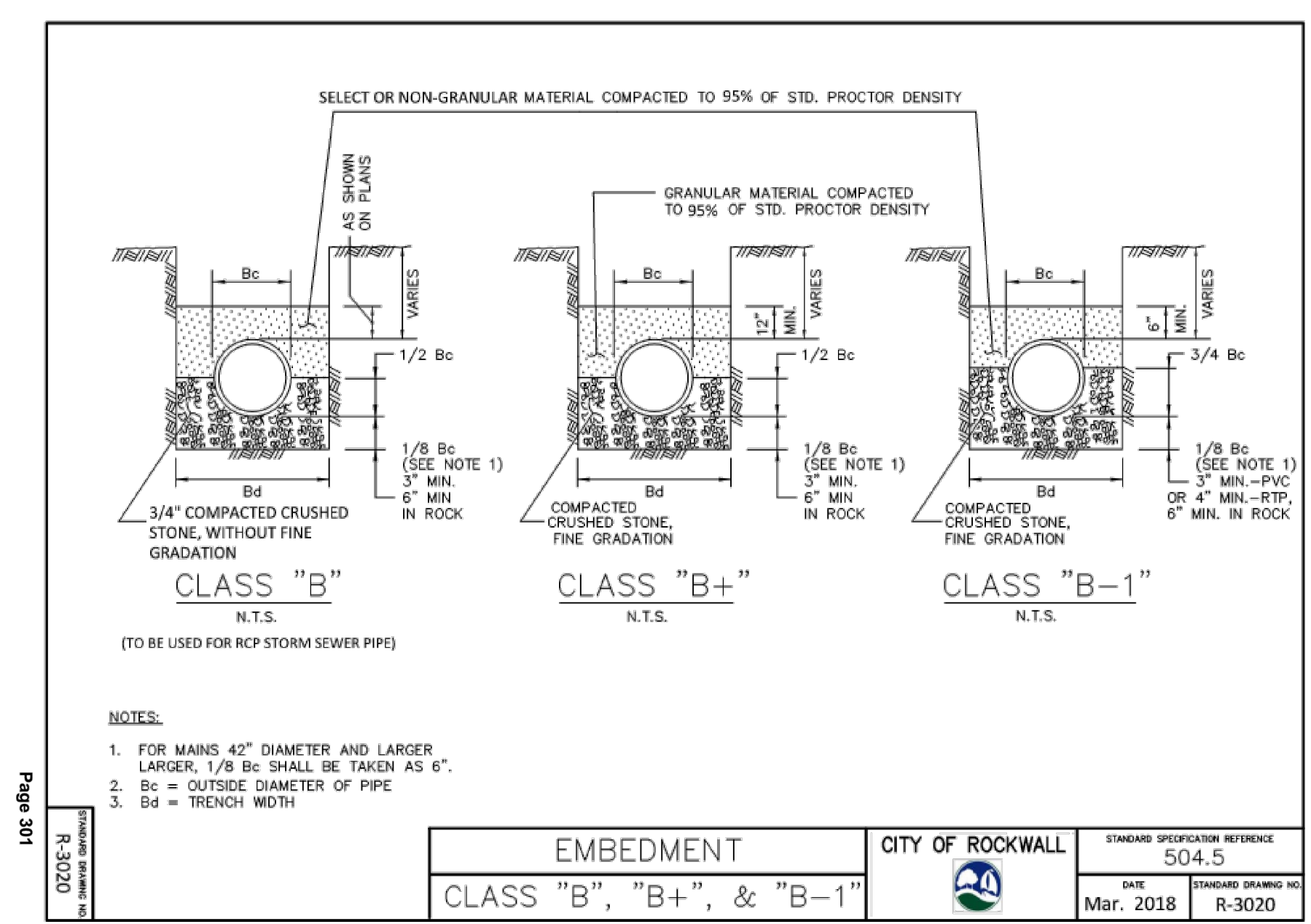
<b>DROP INLET</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 702
2', 4', 5' OR 6' SQUARE		DATE: Mar. 2018 STANDARD DRAWING NO.: R-6040



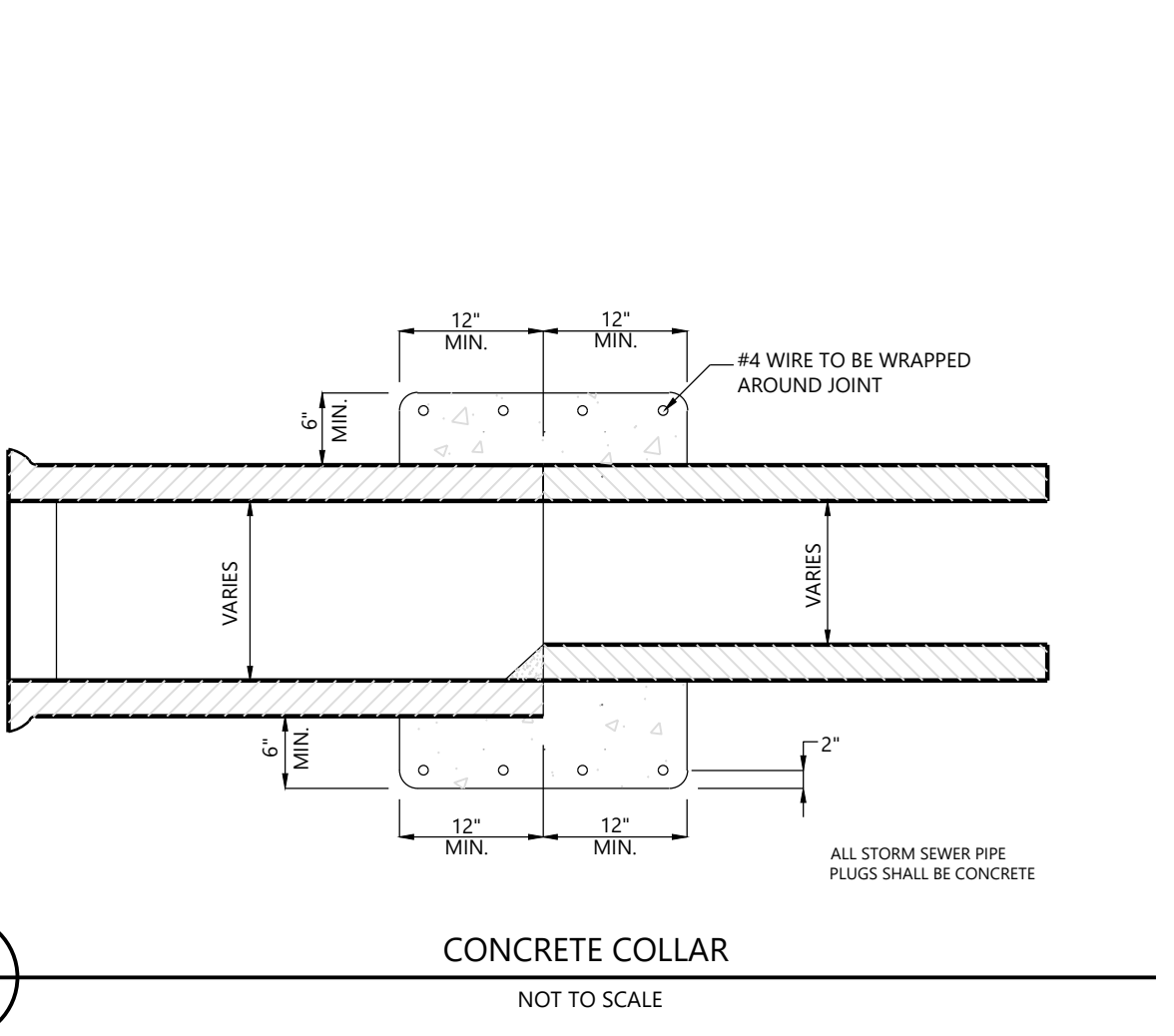
<b>STORM WATER MANHOLE</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 502.1.4.1*
4', 5', OR 6' SQUARE		DATE: Mar. 2018 STANDARD DRAWING NO.: R-6010A



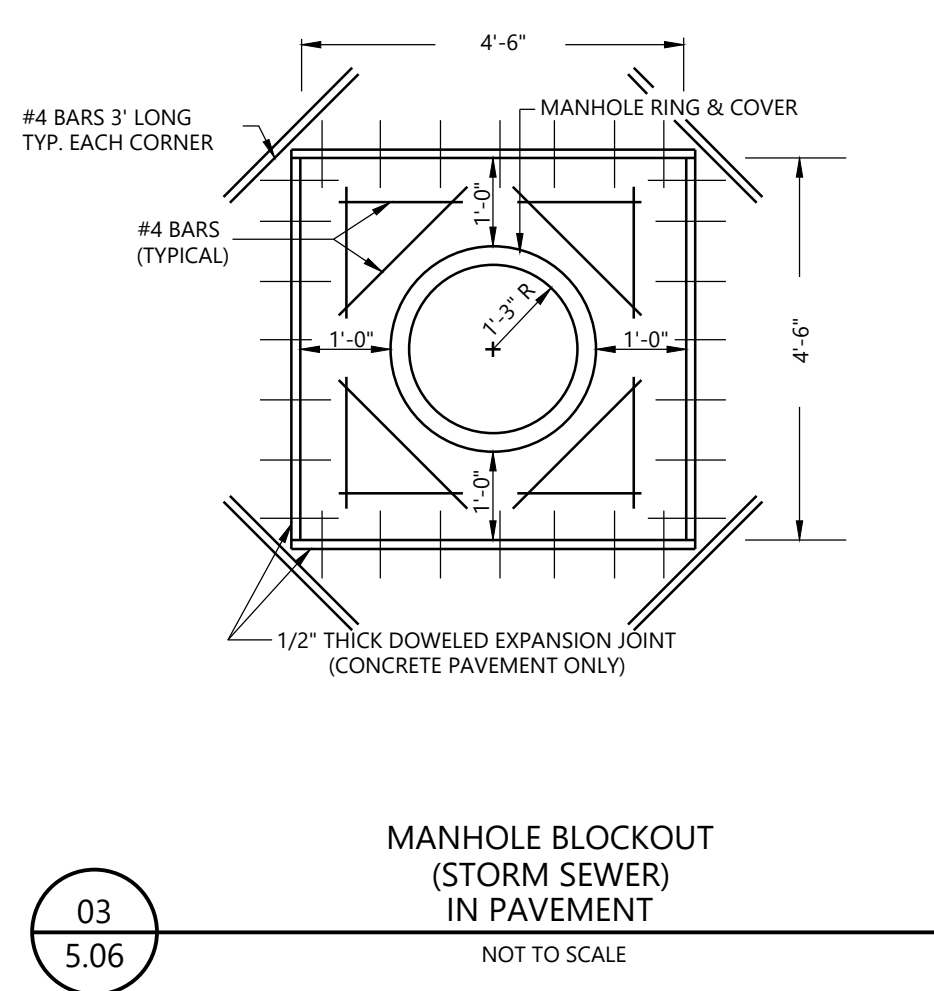
<b>STORM WATER MANHOLE</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 502.1.4.1*
4', 5', OR 6' SQUARE		DATE: Mar. 2018 STANDARD DRAWING NO.: R-6010B



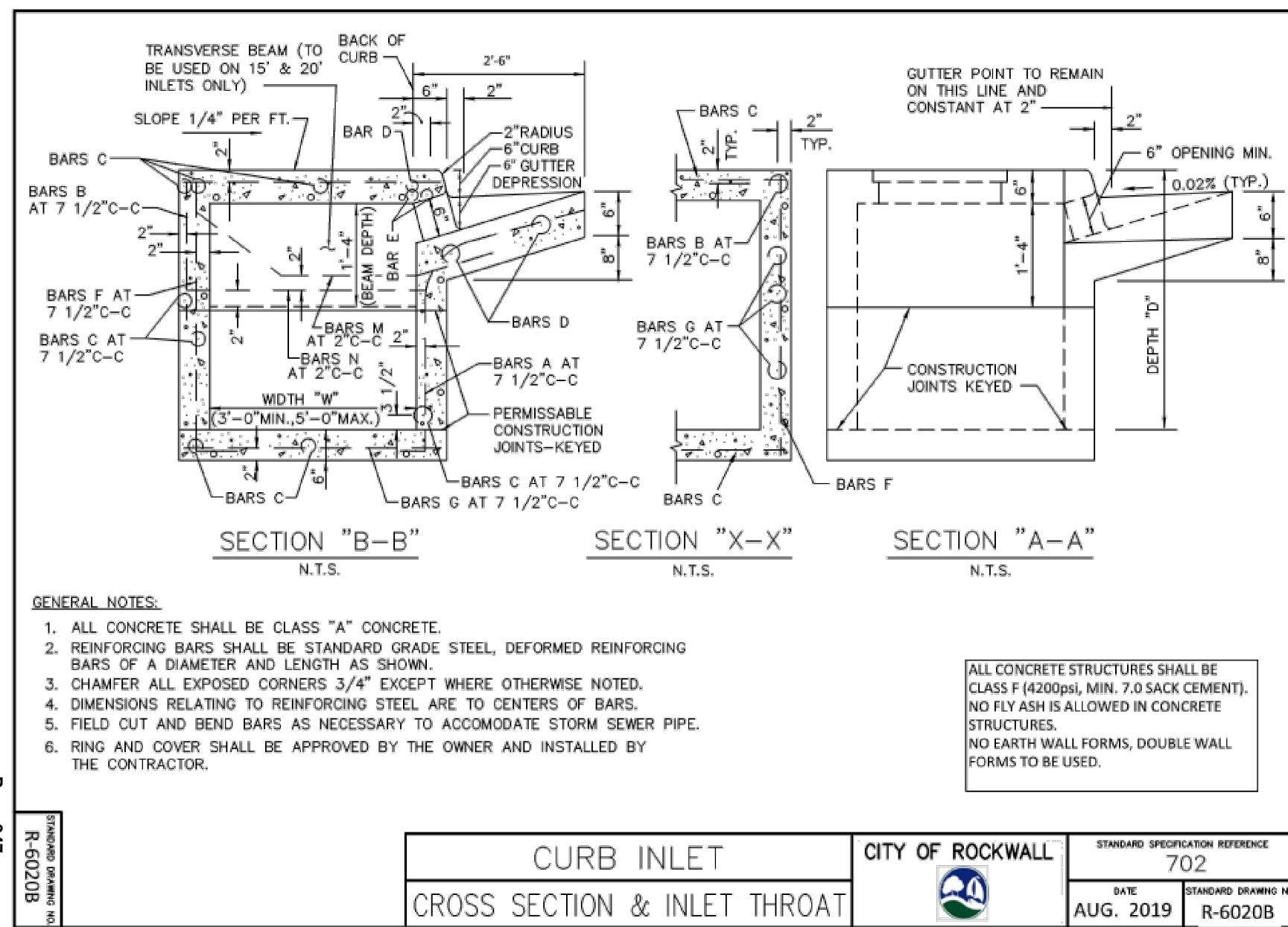
<b>EMBEDMENT</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 504.5
CLASS "B", "B+", & "B-1"		DATE: Mar. 2018 STANDARD DRAWING NO.: R-3020



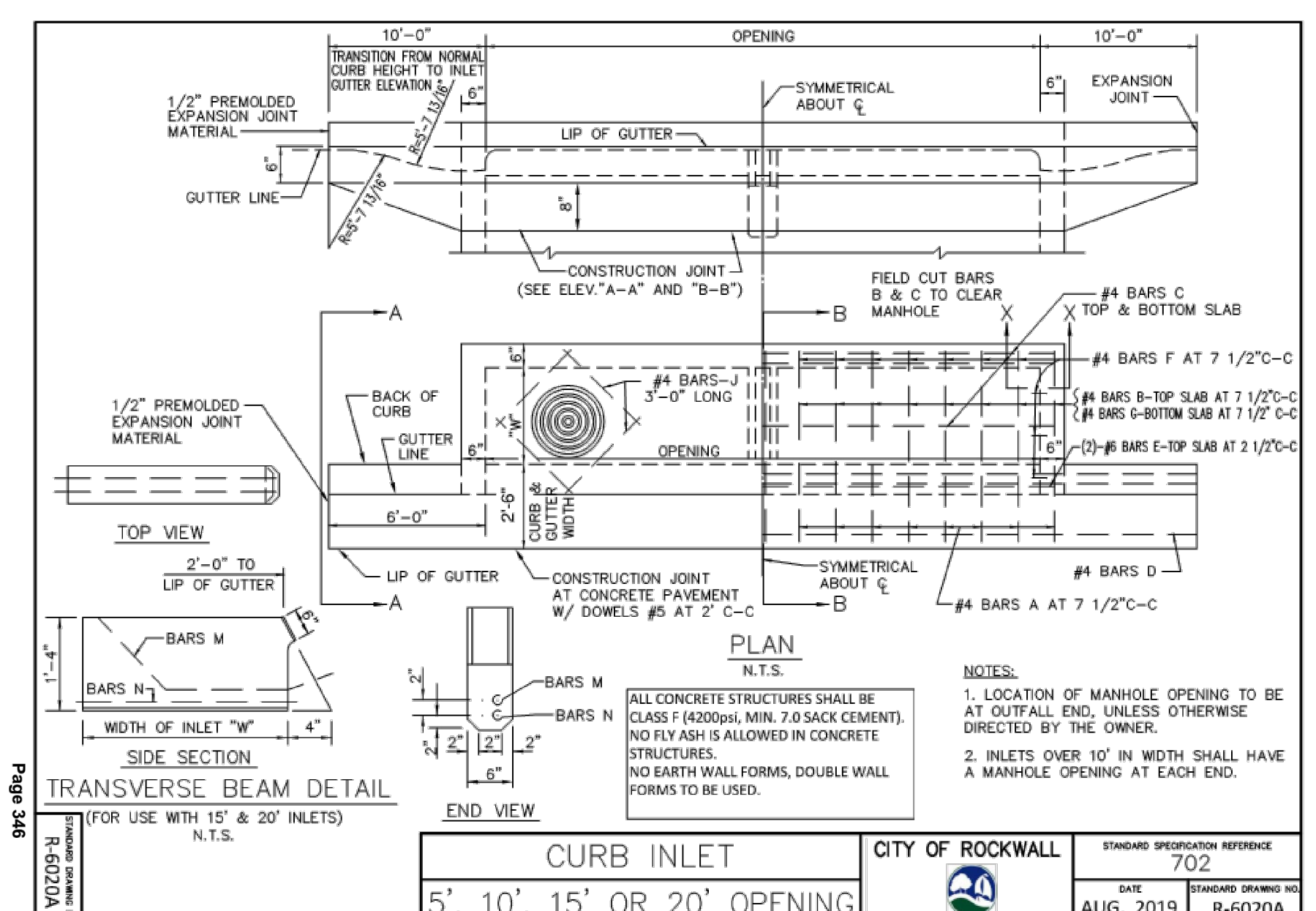
<b>CONCRETE COLLAR</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 502.1.4.1*
NOT TO SCALE		DATE: Mar. 2018 STANDARD DRAWING NO.: R-6010B



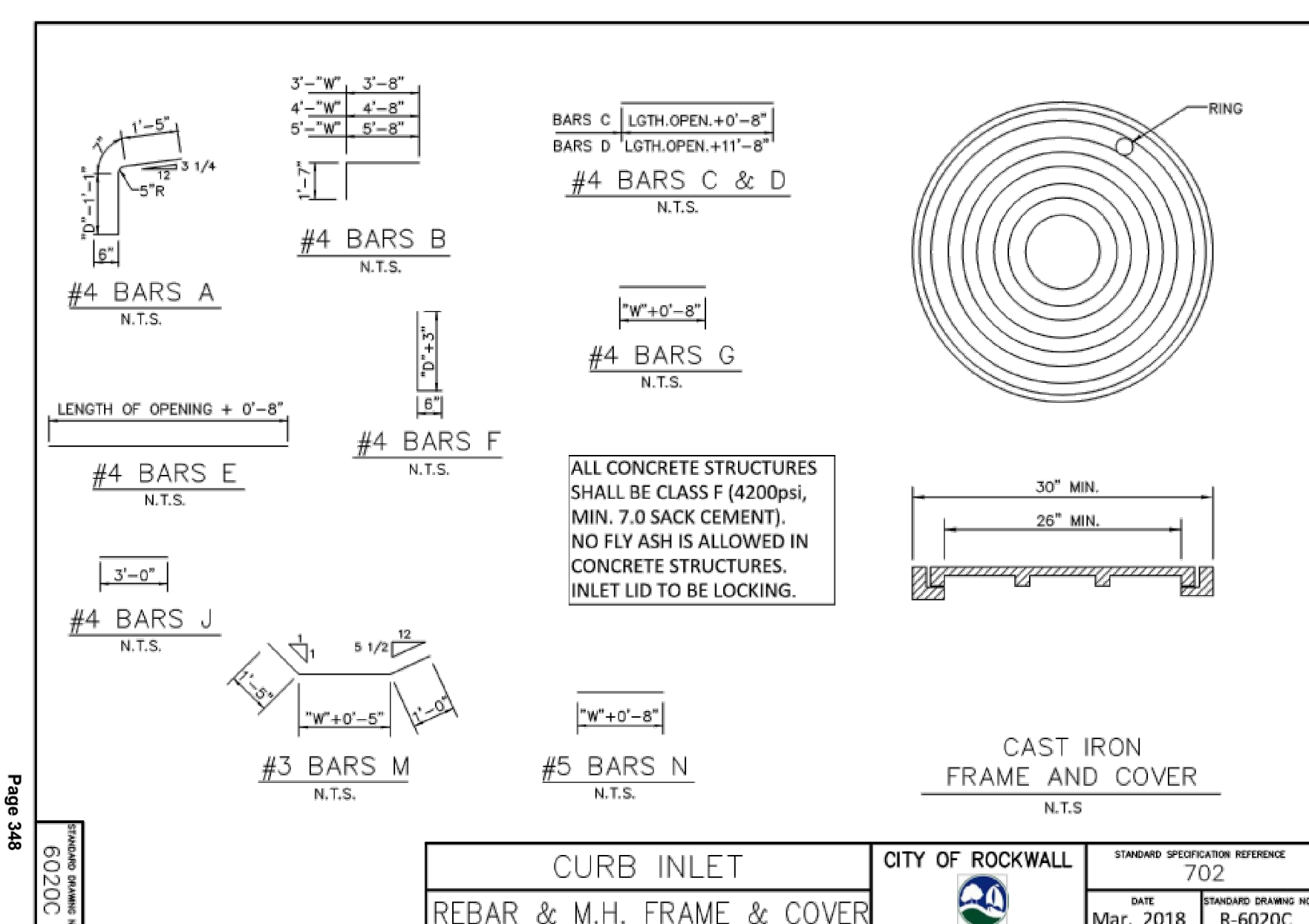
<b>MANHOLE BLOCKOUT (STORM SEWER) IN PAVEMENT</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 504.5
NOT TO SCALE		DATE: Mar. 2018 STANDARD DRAWING NO.: R-3020



<b>CURB INLET</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 702
CROSS SECTION & INLET THROAT		DATE: AUG. 2019 STANDARD DRAWING NO.: R-6020B



<b>CURB INLET</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 702
5', 10', 15' OR 20' OPENING		DATE: AUG. 2019 STANDARD DRAWING NO.: R-6020A



<b>CURB INLET</b>	<b>CITY OF ROCKWALL</b>	STANDARD SPECIFICATION REFERENCE 702
REBAR & M.H. FRAME & COVER		DATE: Mar. 2018 STANDARD DRAWING NO.: R-6020C

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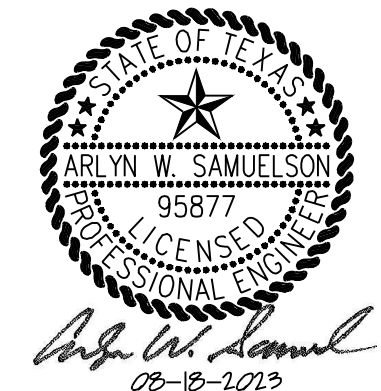
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DESIGNED:	AW5
CHECKED:	AW5
DRAWN:	SWY
HORIZONTAL SCALE:	
VERTICAL SCALE:	

INITIAL ISSUE:	08/18/2023
REVISIONS:	
08-31-2023	CITY COMMENTS
09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
10-19-2023	RFI 035 RESPONSE
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08-21-2024	RECORD DRAWINGS

PREPARED FOR:  
**SPR PACKAGING**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



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**STORM SEWER DETAILS (1 OF 2)**

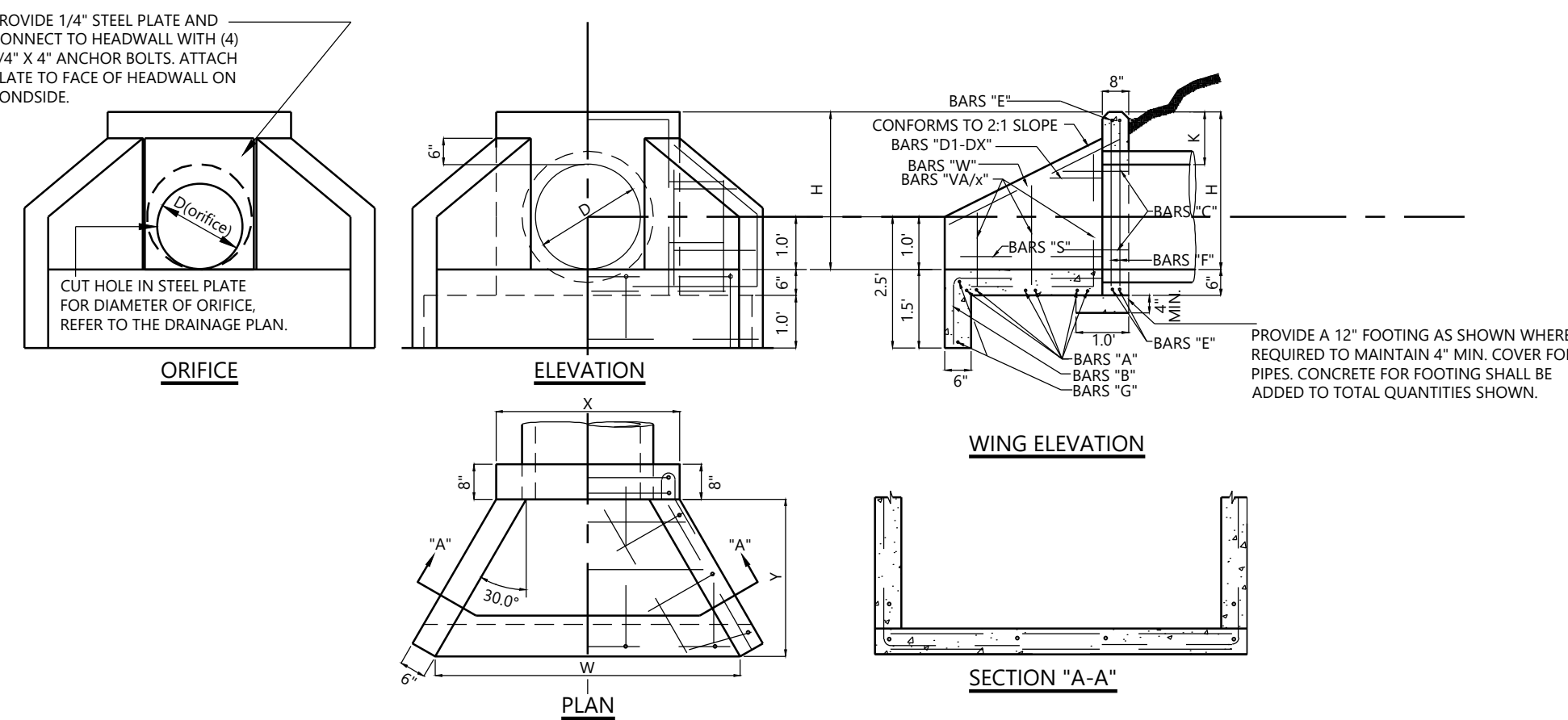
SHEET NUMBER:  
**5.06**  
DATE: 12/11/2023

PROJECT NUMBER: 0036677.00

OUTLET FROM PIPE HEADWALLS NEED TO HAVE ADEQUATE EROSION PROTECTION  
 USE FORMULA  $L=0.37 VD$  L=LENGTH OF APRON (ft), V=OUTLET VELOCITY FLOW (fps),  
 D=DIAMETER OF PIPE (ft)  
 A) 2 - 5 fps SOD PROTECTION AT THE OUTLET.  
 B) 5 - 8 fps DRY RIP-RAP (TYPE B, 2.1.6 (B)(1-3)) NCTCOG  
 C) 8 - 11 fps GROUDED RIP-RAP (TYPE D, 2.1.6 (B)(1-3)) NCTCOG  
 D) 11 - 18 fps GROUDED RIP-RAP (TYPE B, 2.1.6 (B)(1-3)) NCTCOG  
 E) >18 fps ADEQUATE ENERGY DISSIPATORS

OUTLET FROM PIPE HEADWALLS NEED TO HAVE ADEQUATE EROSION PROTECTION  
 USE FORMULA  $L=0.37 VD$  L=LENGTH OF APRON (ft), V=OUTLET VELOCITY FLOW (fps),  
 D=DIAMETER OF PIPE (ft)  
 A) 2 - 5 fps SOD PROTECTION AT THE OUTLET.  
 B) 5 - 8 fps DRY RIP-RAP (TYPE A, 2.1.6 (B)(1-3)) NCTCOG (NO TOEWALL FOR TYPE "A")  
 C) 8 - 11 fps GROUDED RIP-RAP (TYPE D, 2.1.6 (B)(1-3)) NCTCOG (NO TOEWALL FOR TYPE "A")  
 D) 11 - 18 fps GROUDED RIP-RAP (TYPE A, 2.1.6 (B)(1-3)) NCTCOG  
 E) >18 fps ADEQUATE ENERGY DISSIPATORS

PROVIDE 1/4" STEEL PLATE AND  
 CONNECT TO HEADWALL WITH (4)  
 1/4" X 4" ANCHOR BOLTS. ATTACH  
 PLATE TO FACE OF HEADWALL ON  
 POND SIDE.



PIPE SIZE	K	X	H	Y	W	REMARKS
12"	12"	2'-6"	2'-0"	2'-10"	4'-7"	-
18"	12"	3'-1"	2'-6"	3'-10"	6'-4"	-
21"	12"	3'-6"	2'-9"	4'-4"	7'-2"	-
24"	12"	3'-9"	3'-0"	4'-10"	8'-2"	-
36"	12"	4'-11"	4'-0"	6'-10"	11'-8"	-
42"	12"	5'-6"	4'-6"	7'-10"	13'-5"	-
48"	15"	6'-1"	5'-3"	9'-4"	15'-9"	-
54"	15"	6'-8"	5'-9"	10'-4"	17'-5"	-
60"	15"	7'-3"	6'-3"	11'-4"	19'-2"	-
66"	15"	7'-10"	6'-9"	12'-4"	20'-11"	-
72"	15"	8'-5"	7'-3"	13'-4"	22'-8"	-

BAR DESIGNATION	"A"	"B"	"C"	"D1-Dx"	"E"	"F"	"G"	"S"	"W"
12"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (2'-0")	8-#4 @ (2'-2")	4-#3 @ (2'-8")	12-#4 @ (8")	4-#5 @ (1'-8")
18"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (2'-7")	8-#4 @ (2'-8")	4-#3 @ (4'-5")	12-#4 @ (1'-10")	4-#5 @ (2'-11")
21"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (3'-2")	8-#4 @ (3'-2")	4-#3 @ (6'-2")	12-#4 @ (3'-0")	4-#5 @ (4'-2")
24"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (3'-2")	8-#4 @ (3'-2")	4-#3 @ (6'-2")	12-#4 @ (3'-0")	4-#5 @ (4'-2")
36"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (4'-4")	8-#4 @ (4'-2")	4-#3 @ (9'-8")	12-#4 @ (5'-4")	4-#5 @ (6'-8")
42"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (4'-11")	8-#4 @ (4'-8")	4-#3 @ (11'-5")	12-#4 @ (6'-5")	4-#5 @ (7'-11")
48"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (5'-6")	8-#4 @ (5'-5")	4-#3 @ (13'-2")	12-#4 @ (7'-7")	4-#5 @ (9'-3")
54"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (6'-1")	8-#4 @ (5'-11")	4-#3 @ (14'-10")	12-#4 @ (8'-9")	4-#5 @ (10'-5")
60"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (6'-8")	8-#4 @ (6'-5")	4-#3 @ (16'-7")	12-#4 @ (9'-11")	4-#5 @ (11'-8")
66"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (7'-3")	8-#4 @ (6'-11")	4-#3 @ (18'-4")	12-#4 @ (11'-1")	4-#5 @ (13'-0")
72"	#4 @ 12"	#3 @ 18"	#4 @ 12"	#3 @ 12"	8-#5 @ (7'-10")	8-#4 @ (7'-5")	4-#3 @ (21'-1")	12-#4 @ (12'-3")	4-#5 @ (14'-4")

01  
5.07

TYPE 'B' HEADWALL

NOT TO SCALE

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DESIGNED: AWS  
 CHECKED: AWS  
 DRAWN: SWW  
 HORIZONTAL SCALE:  
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 TSPS FIRM REGISTRATION NO. F-11752  
 TSPS FIRM REGISTRATION NO. 10074301

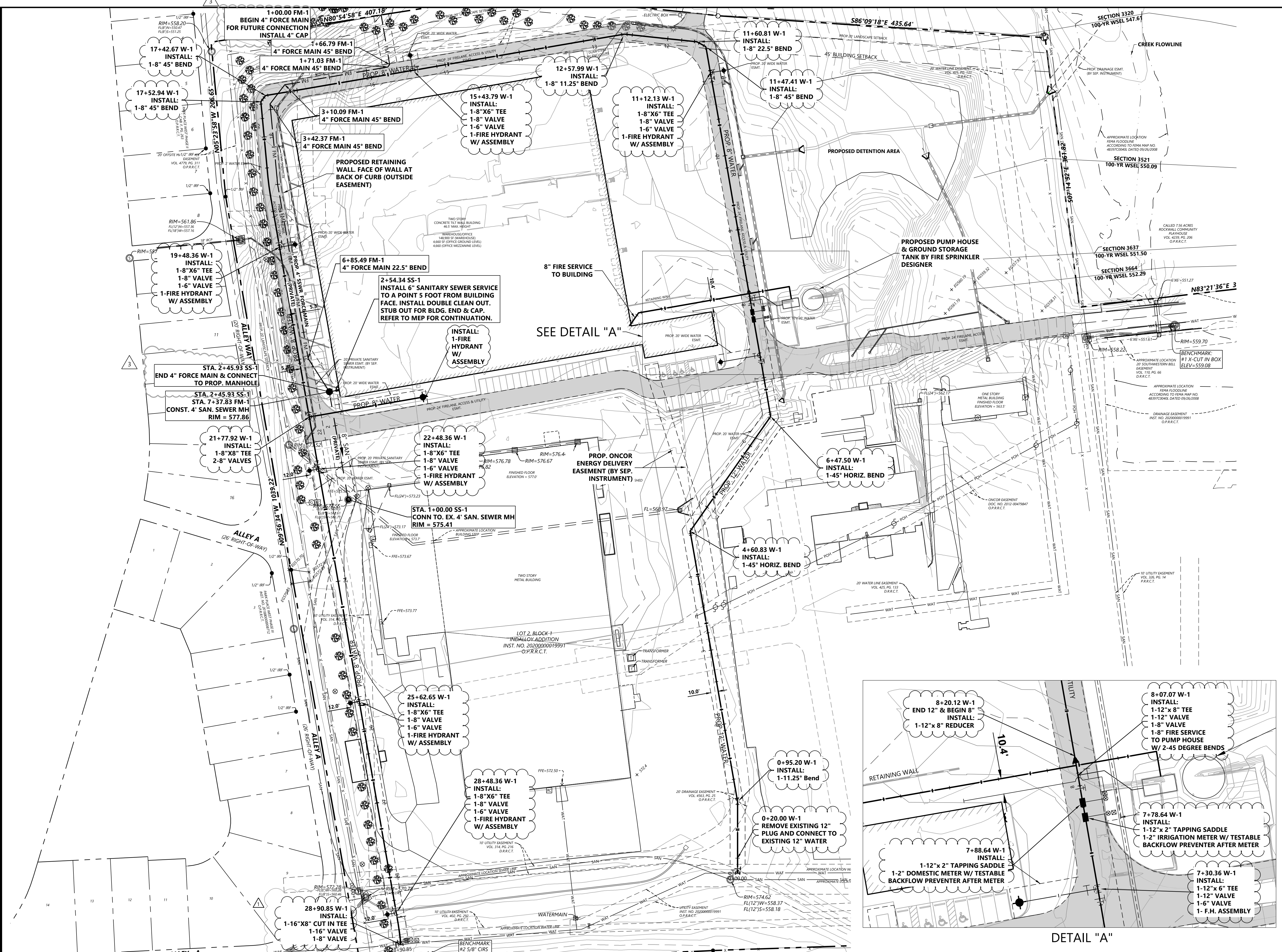
STORM SEWER DETAILS (2  
 OF 2)

SHEET NUMBER:

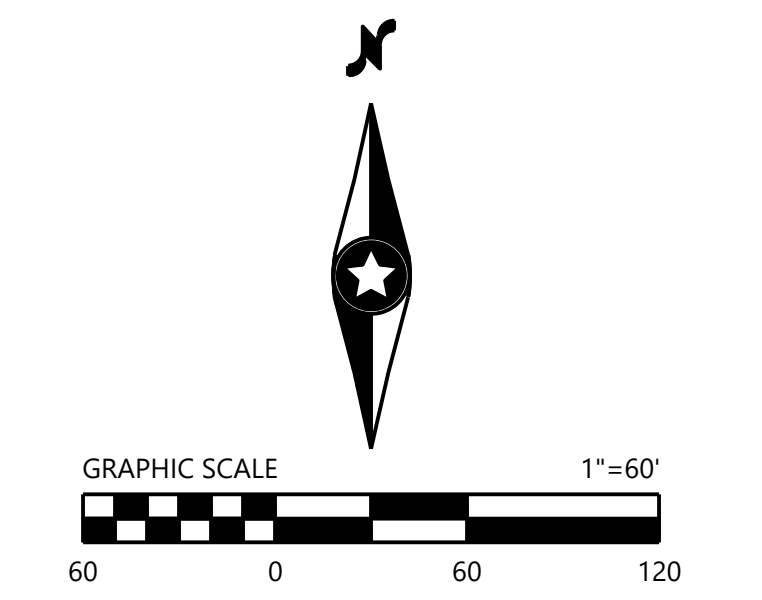
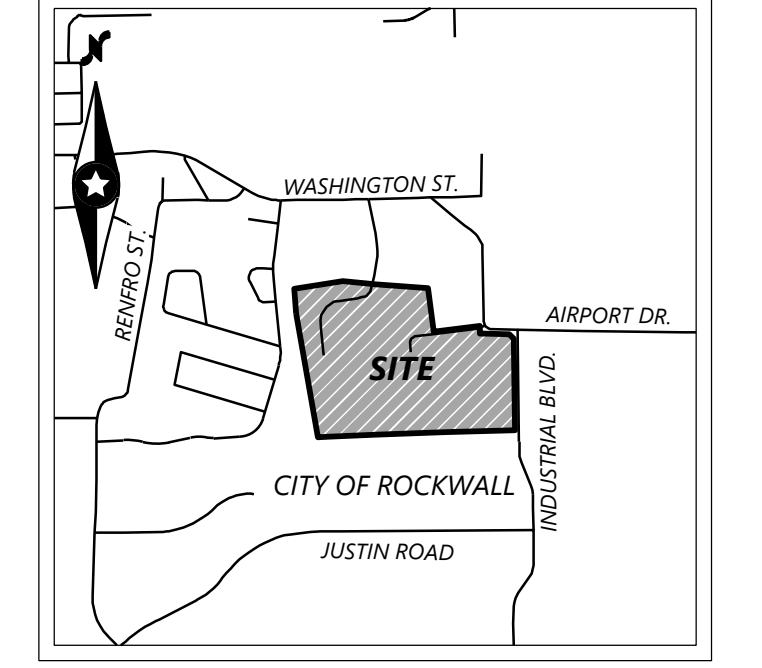
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PROJECT NUMBER: 0036677-00

DATE: 12/11/2023



**VICINITY MAP**  
(NOT TO SCALE)

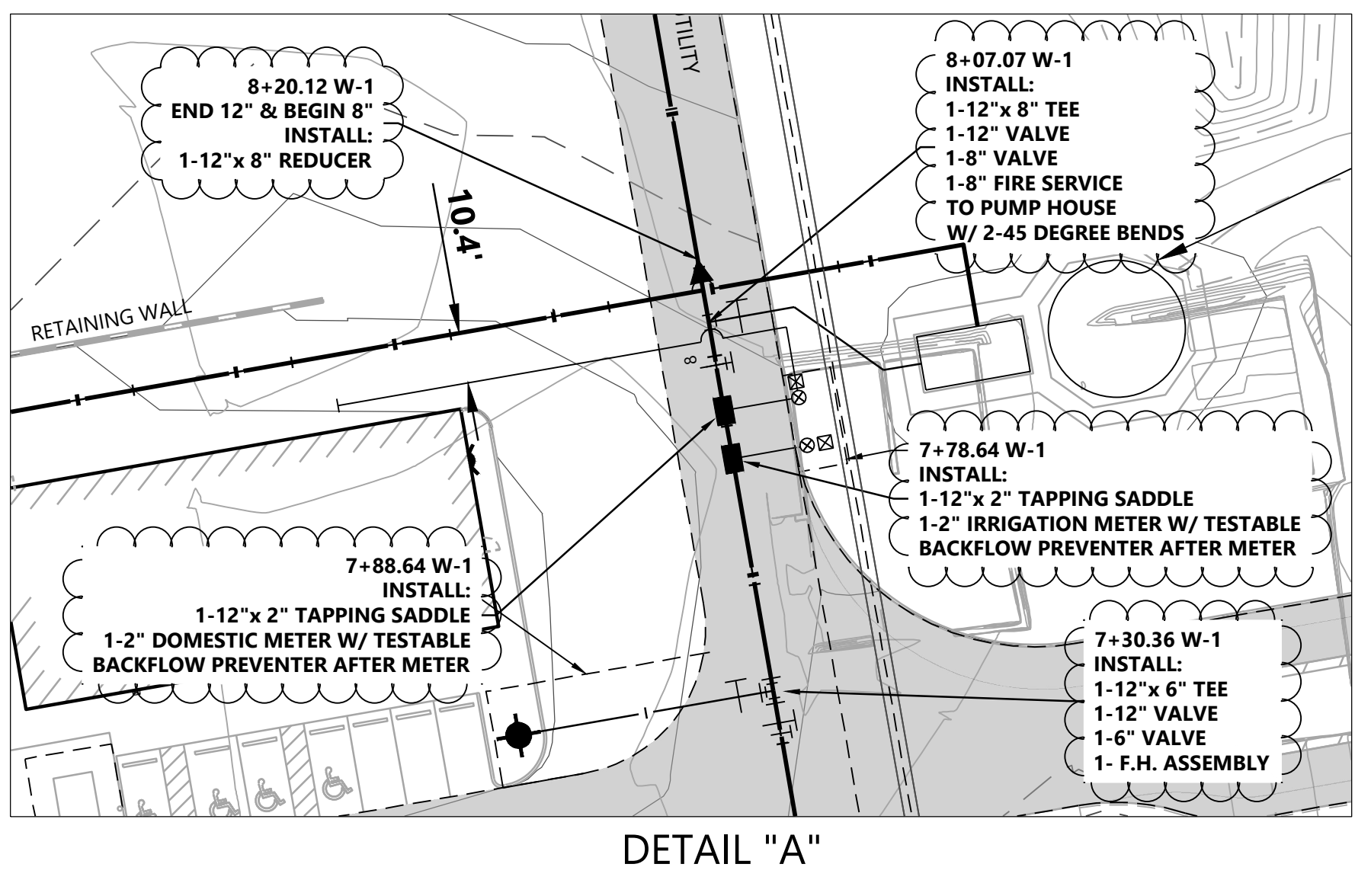


- LEGEND**
- EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY SEWER MAIN
  - EXISTING WATER LINE
  - PROPOSED WATER MAIN
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER VALVE
  - PROPOSED FIRE DEPT. CONNECTION
  - PROPOSED WASTEWATER MAIN
  - PROPOSED WASTEWATER MH
  - PROPOSED CLEAN OUT
  - PROPOSED WATER METER
  - PROPOSED BACKFLOW PREVENTER

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**NEW WATER CROSSING OVER A NEW WASTEWATER LINE**  
ONE SEGMENT OF WATERLINE PIPE SHALL BE CENTERED OVER THE WASTEWATER LINE SUCH THAT THE JOINTS OF THE WATERLINE PIPE ARE EQUIDISTANT AND AT LEAST NINE FEET HORIZONTALLY FROM THE CENTERLINE OF THE WASTEWATER LINE. THE WATERLINE SHALL BE AT LEAST TWO FEET ABOVE THE WASTEWATER LINE. THE WASTEWATER PIPE SHALL HAVE A MINIMUM PIPE STIFFNESS OF 115 PSI @ 5.0% DEFLECTION. ALSO, THE WASTEWATER PIPE SHALL HAVE A PRESSURE RATING FOR BOTH PIPE AND JOINTS OF 150 PSI. IF THE PRESSURE RATING IS NOT MET, THE WASTEWATER LINE SHALL BE EMBEDDED IN CEMENT STABILIZED SAND (MINIMUM OF 10% CEMENT PER CUBIC YARD OF CEMENT STABILIZED SAND MIXTURE, BASED ON LOOSE DRY WEIGHT VOLUME - A MINIMUM OF 2.5 BAGS OF CEMENT/CY OF MIXTURE). THE CEMENT STABILIZED BEDDING SHALL BE A MINIMUM OF 6 INCHES ABOVE AND ONE QUARTER OF THE PIPE DIAMETER ON EITHER SIDE AND BELOW THE WASTEWATER PIPE, MINIMUM 4 INCHES) FOR THE TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12 INCHES BEYOND THE JOINT ON EACH END.

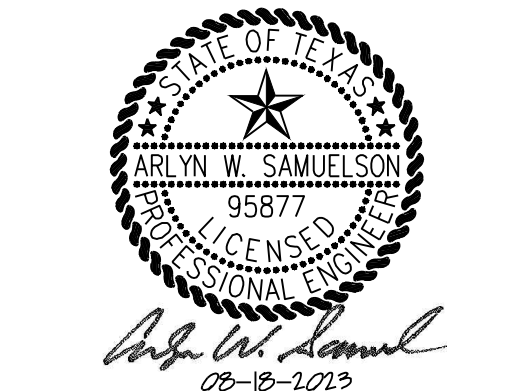
**RECORD DRAWINGS:**  
IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 08-21-2024



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	
VERTICAL SCALE:	

INITIAL ISSUE:	
REVISIONS:	
08-31-2023	CITY COMMENTS
09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
10-19-2023	RFI 035 RESPONSE
12-11-2023	REVISED PARKING/GENERATOR
08-21-2024	RECORD DRAWINGS

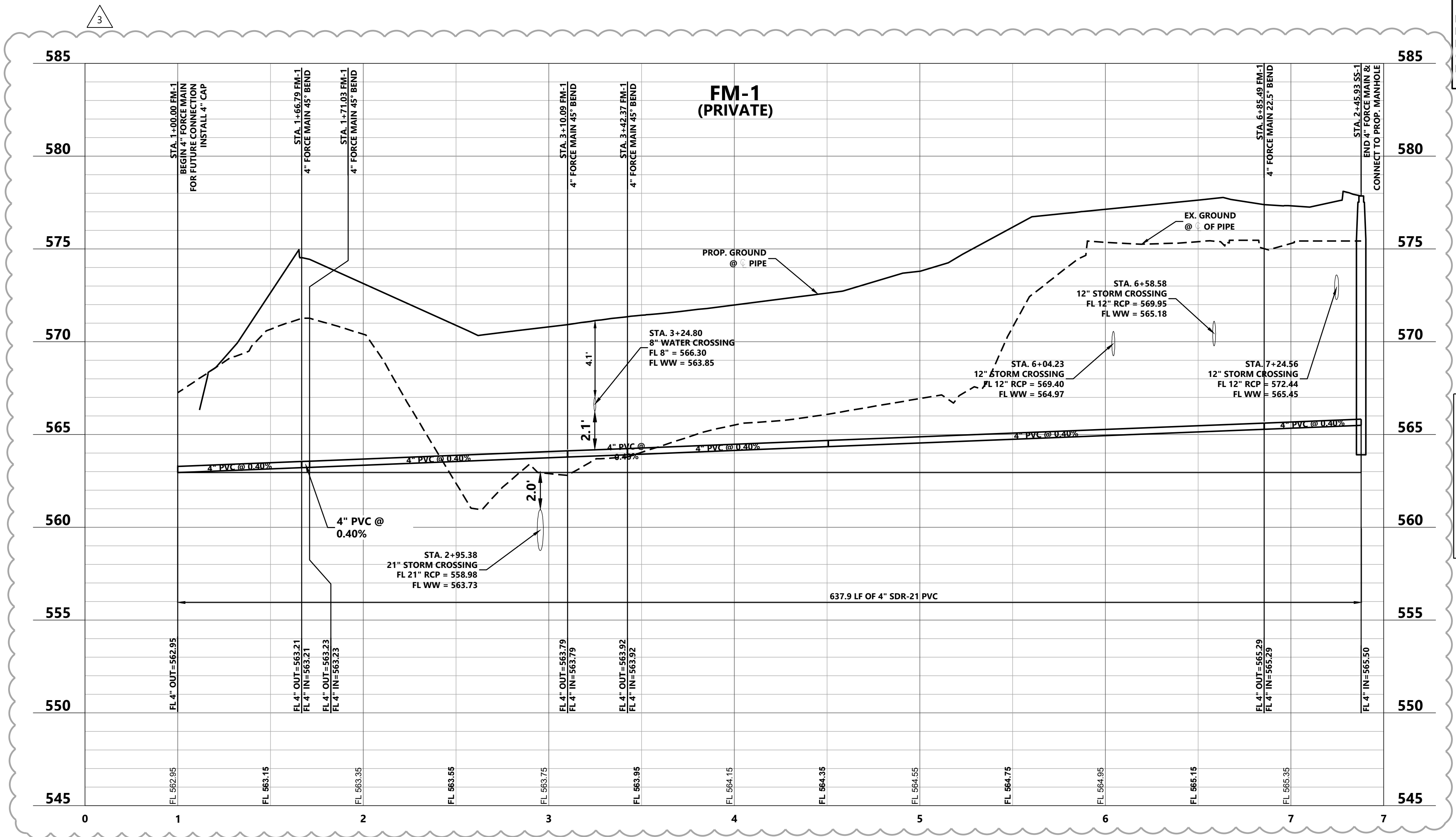
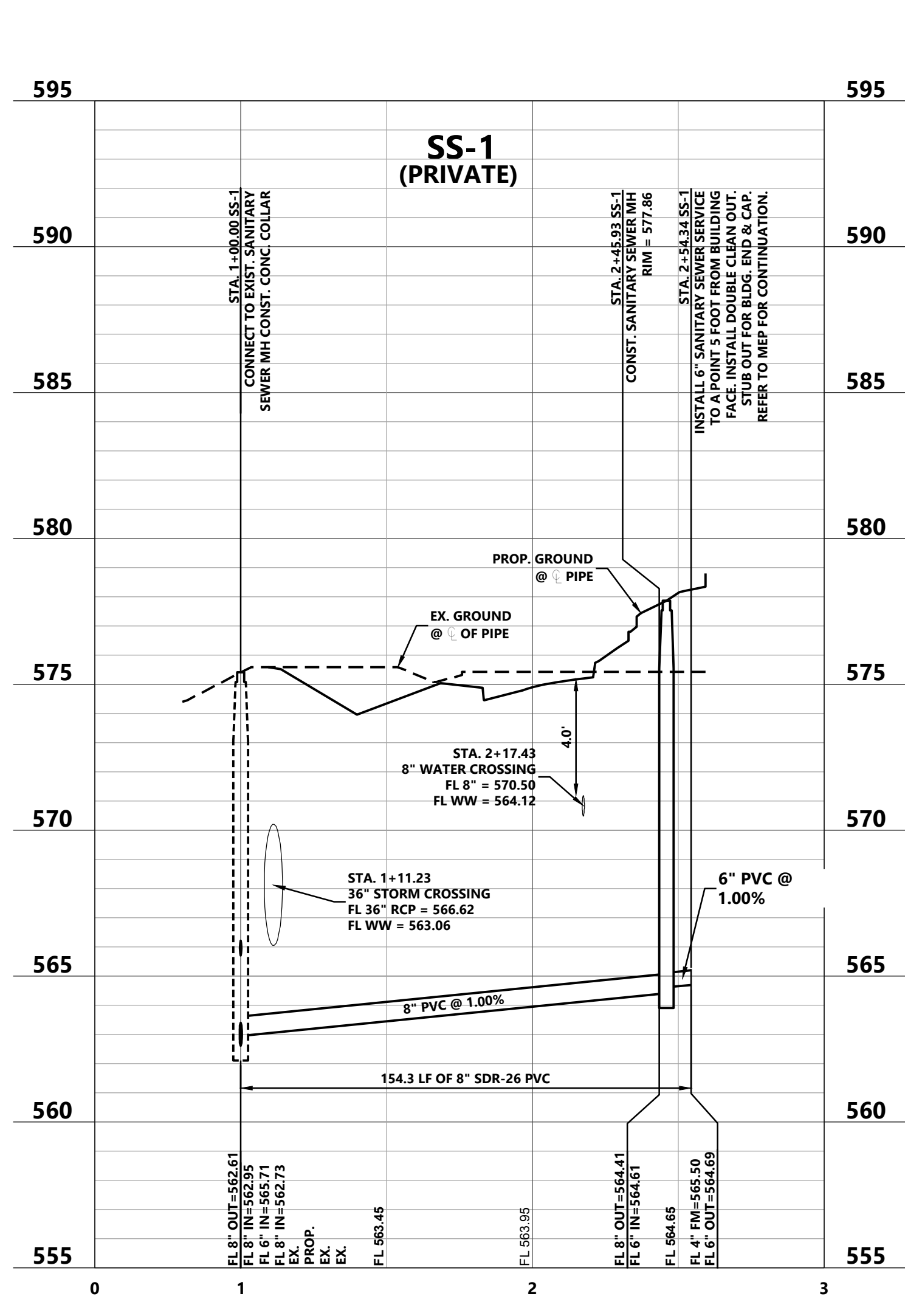
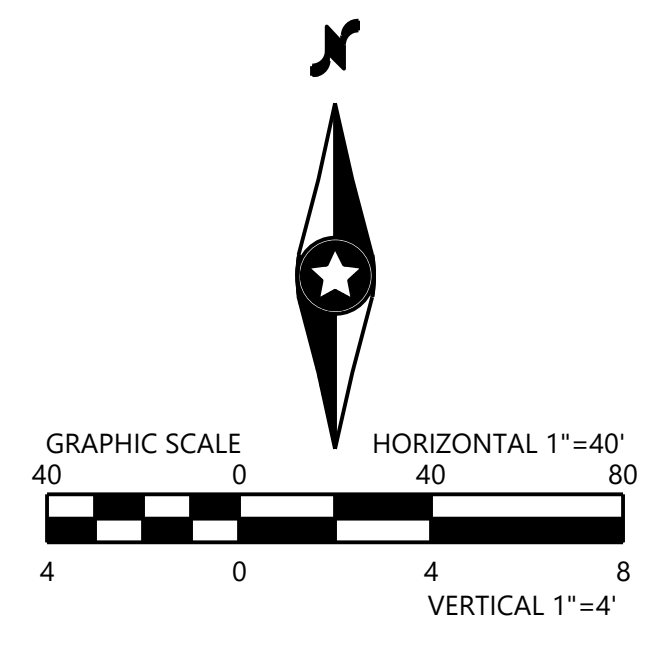
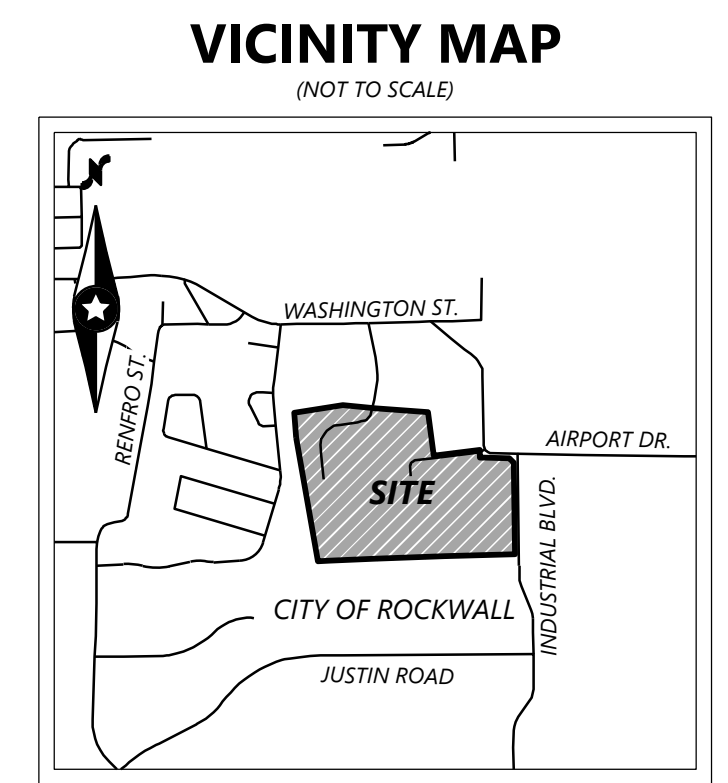
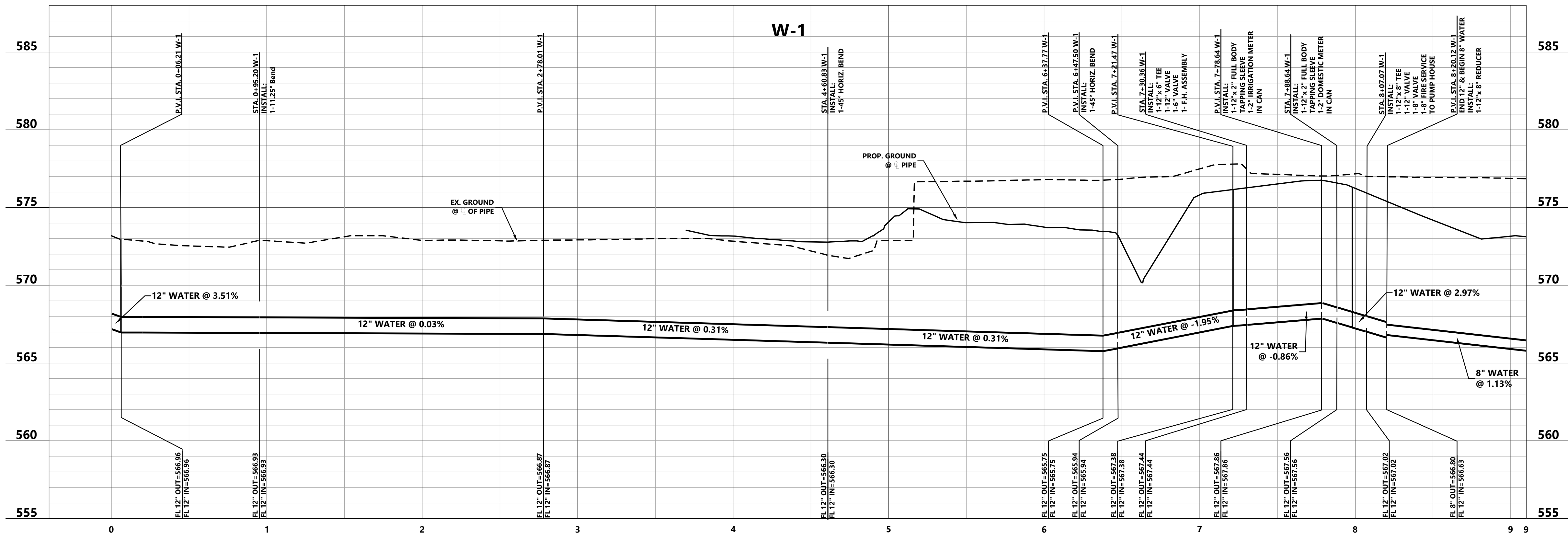
PREPARED FOR:  
**SPR PACKAGING**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



**SPR DISTRIBUTION CENTER**  
ROCKWALL, TEXAS

**Westwood**  
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Toll Free (888) 937-5150 Plano, TX 75093  
westwoodps.com  
Westwood Professional Services, Inc.  
TSPS FIRM REGISTRATION NO. F-11758  
TSPS FIRM REGISTRATION NO. 10074301

**UTILITY PLAN**  
6.01  
PROJECT NUMBER: 0036677.00 DATE: 12/11/2023  
SHEET NUMBER:



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DESIGNED: \_\_\_\_\_

CHECKED: \_\_\_\_\_

DRAWN: \_\_\_\_\_

HORIZONTAL SCALE: \_\_\_\_\_

VERTICAL SCALE: \_\_\_\_\_

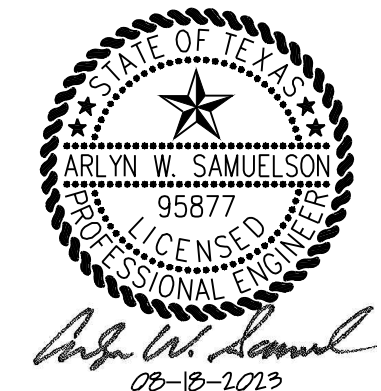
INITIAL ISSUE REVISIONS:

08-31-2023	CITY COMMENTS
09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
10-19-2023	RFI 035 RESPONSE
12-11-2023	REVISED PARKING/GENERATOR
08-21-2024	RECORD DRAWINGS

PREPARED FOR:

**SPR PACKAGING**

1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087



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ROCKWALL, TEXAS

**Westwood**

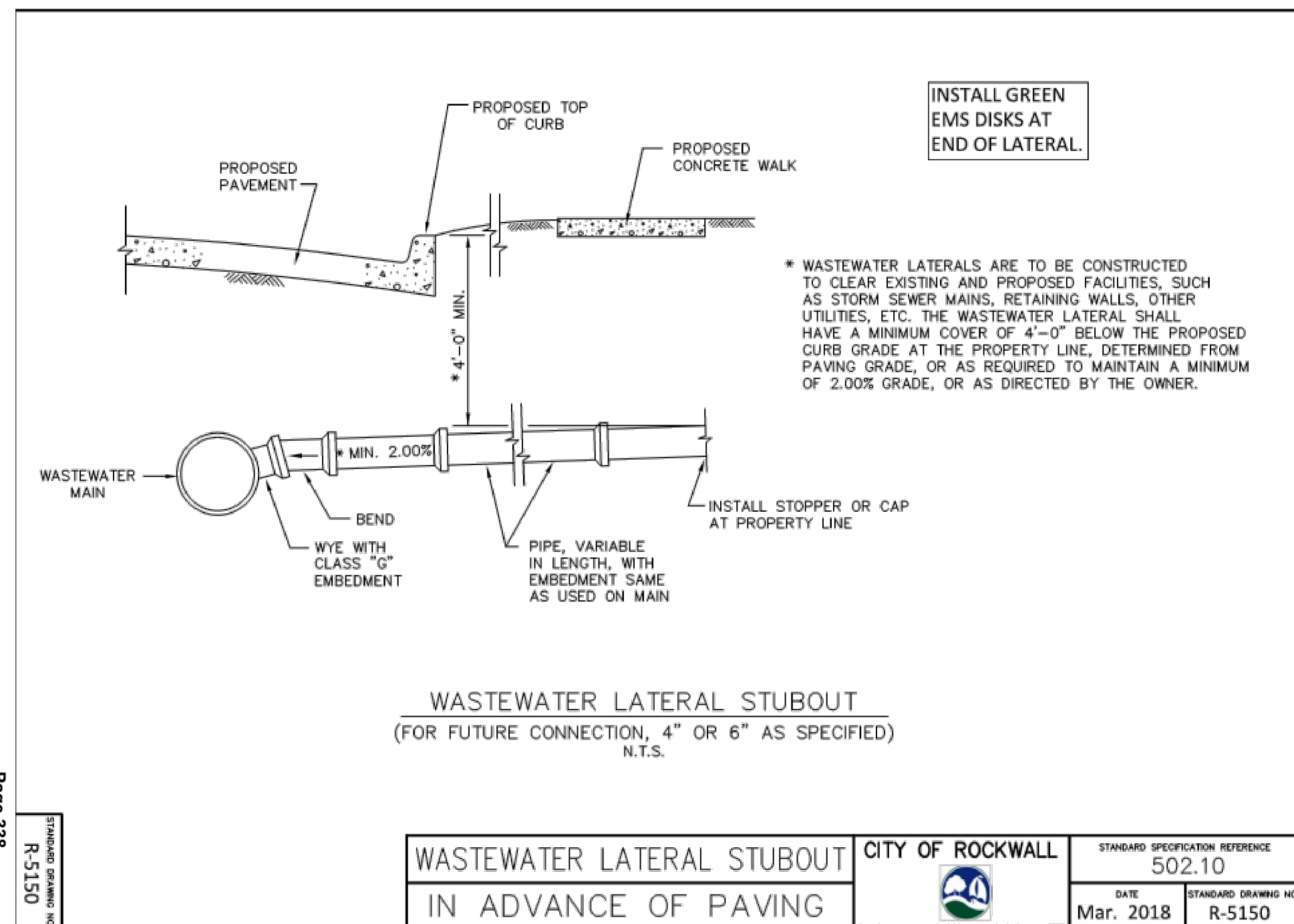
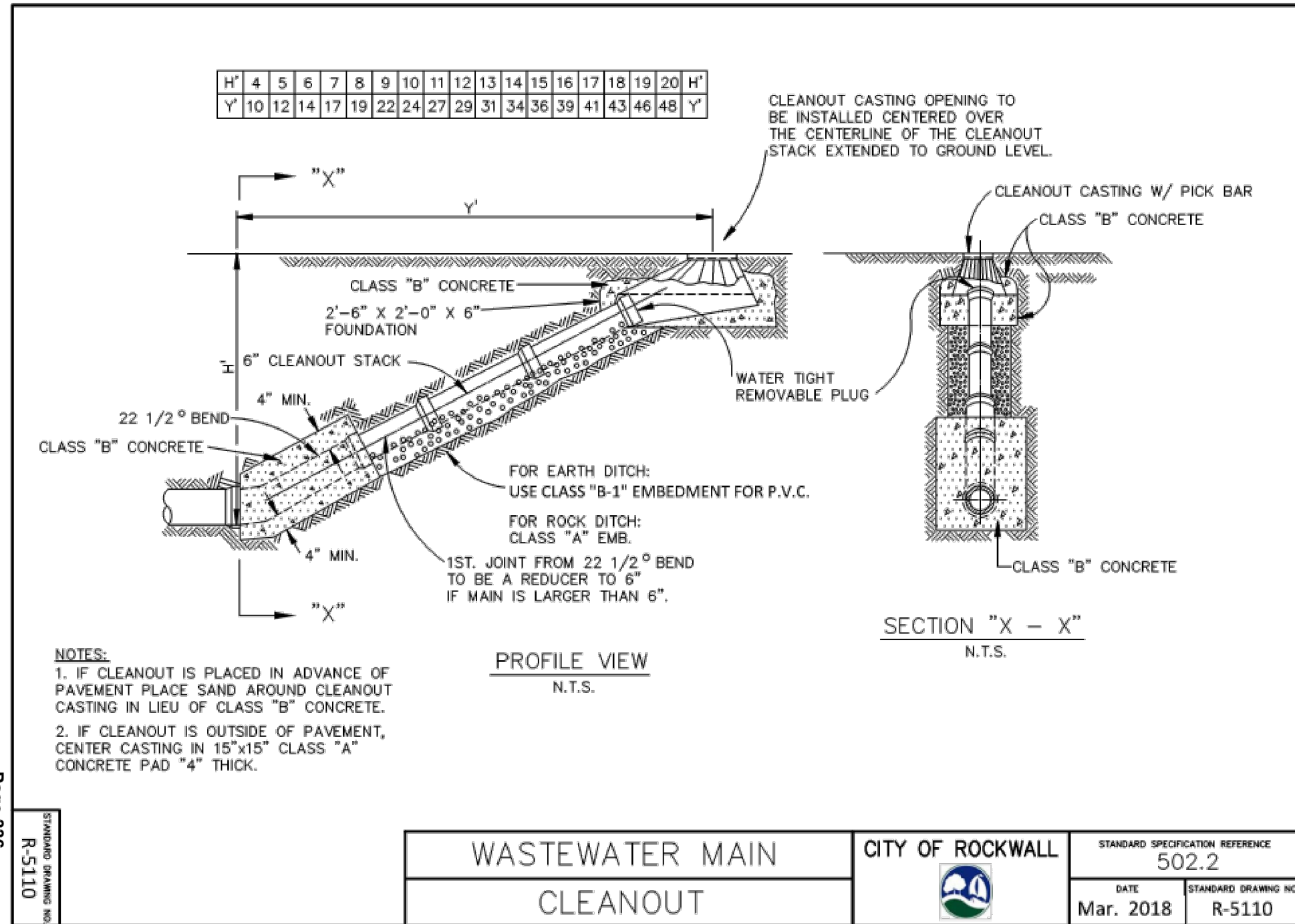
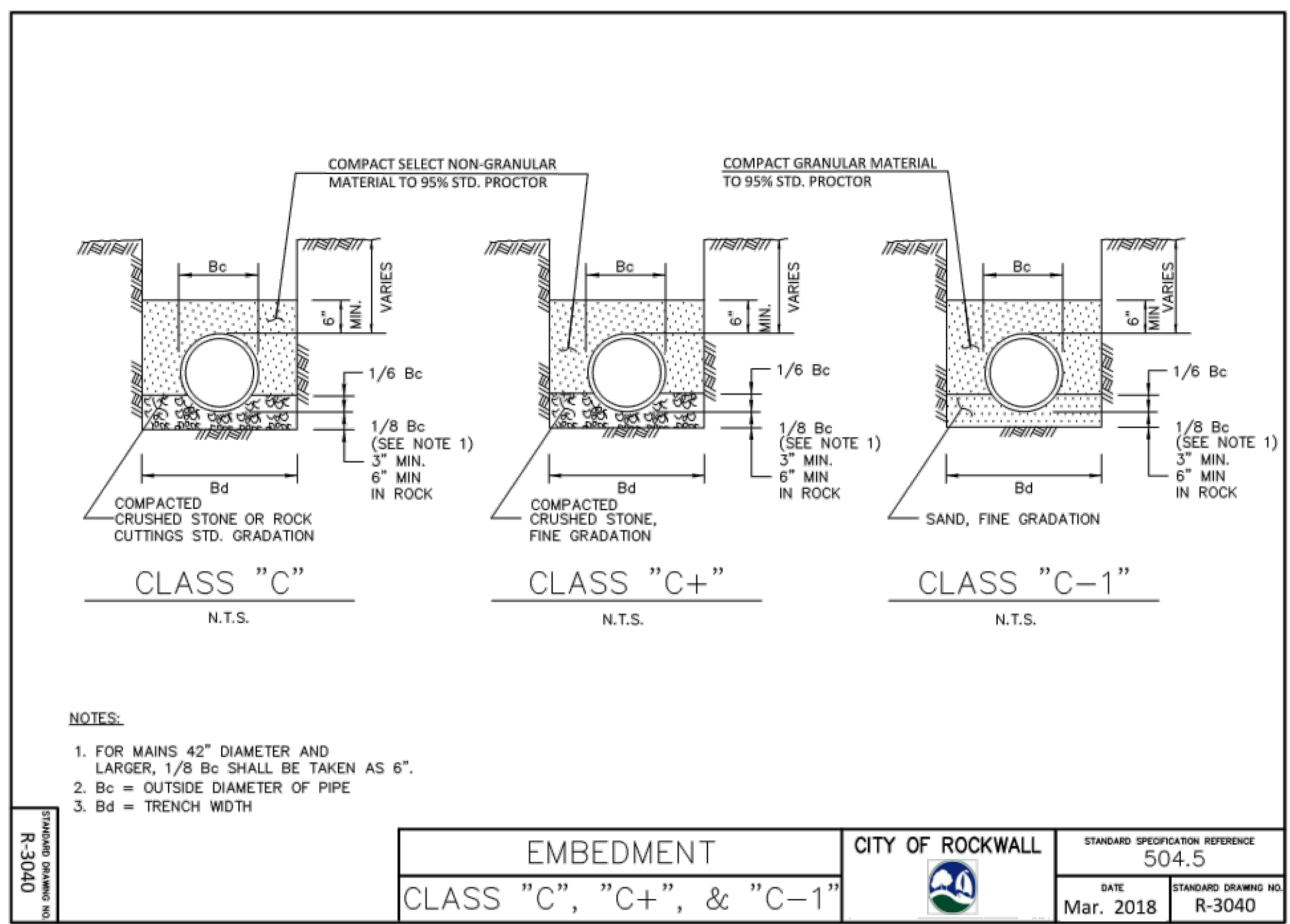
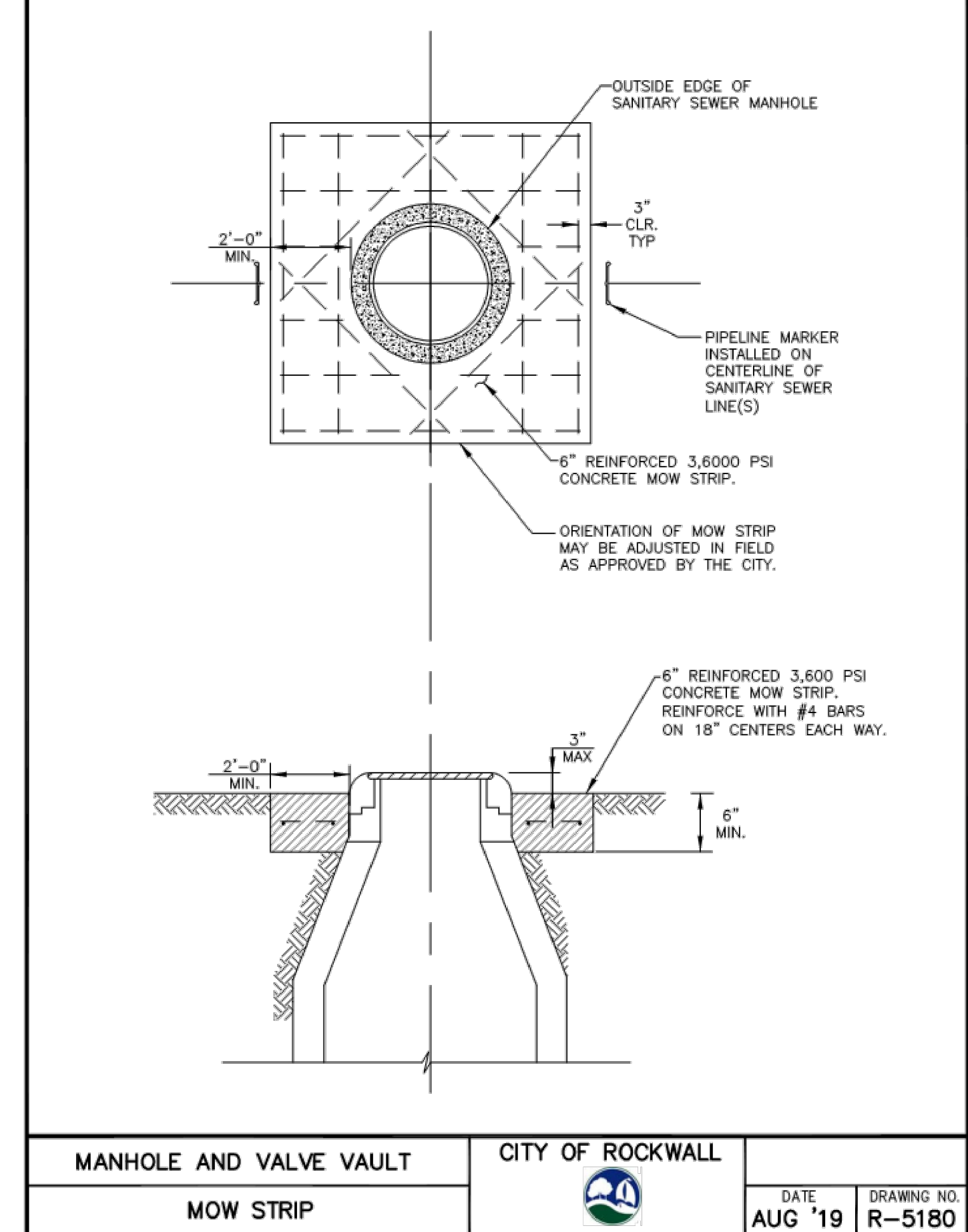
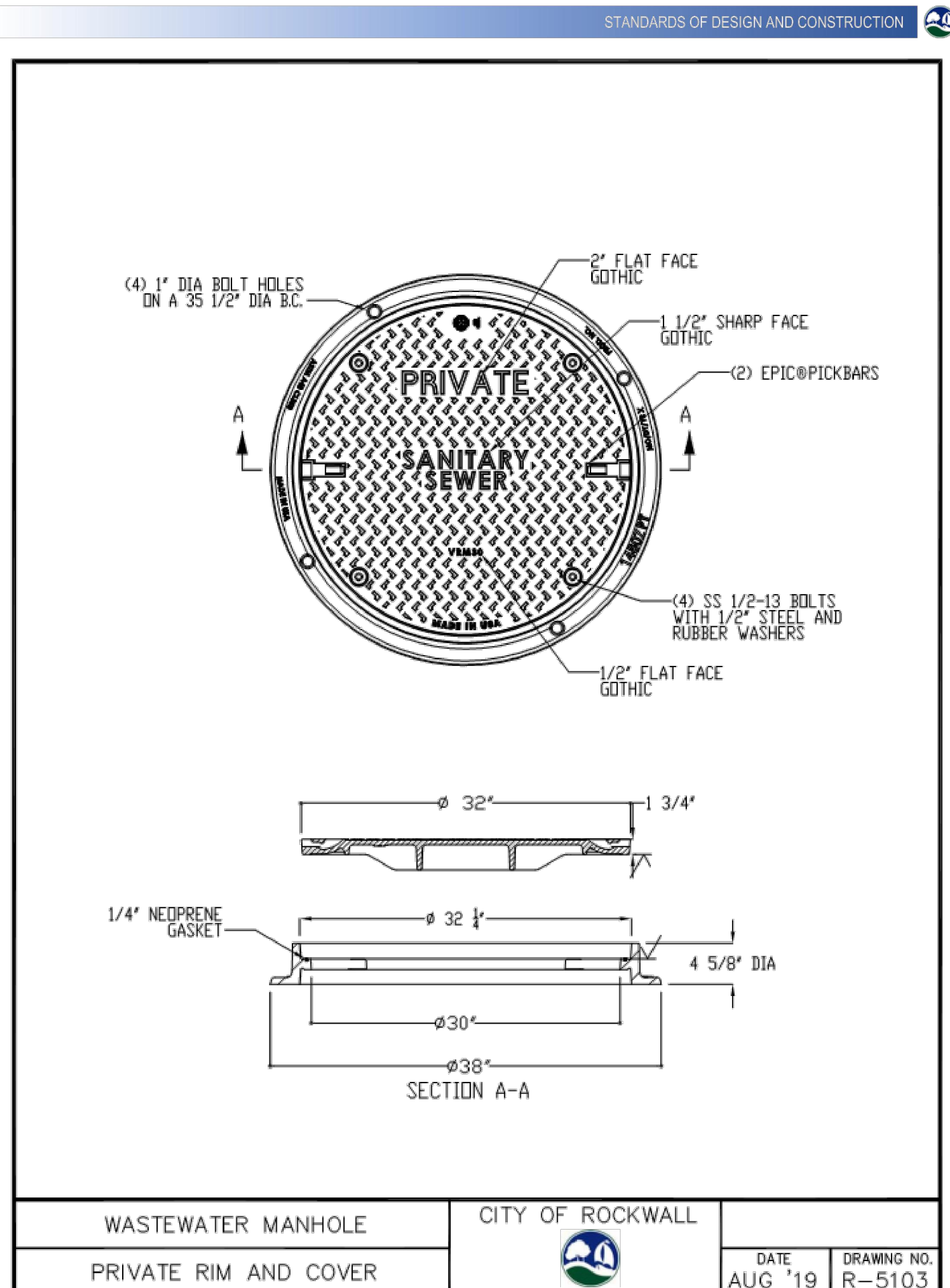
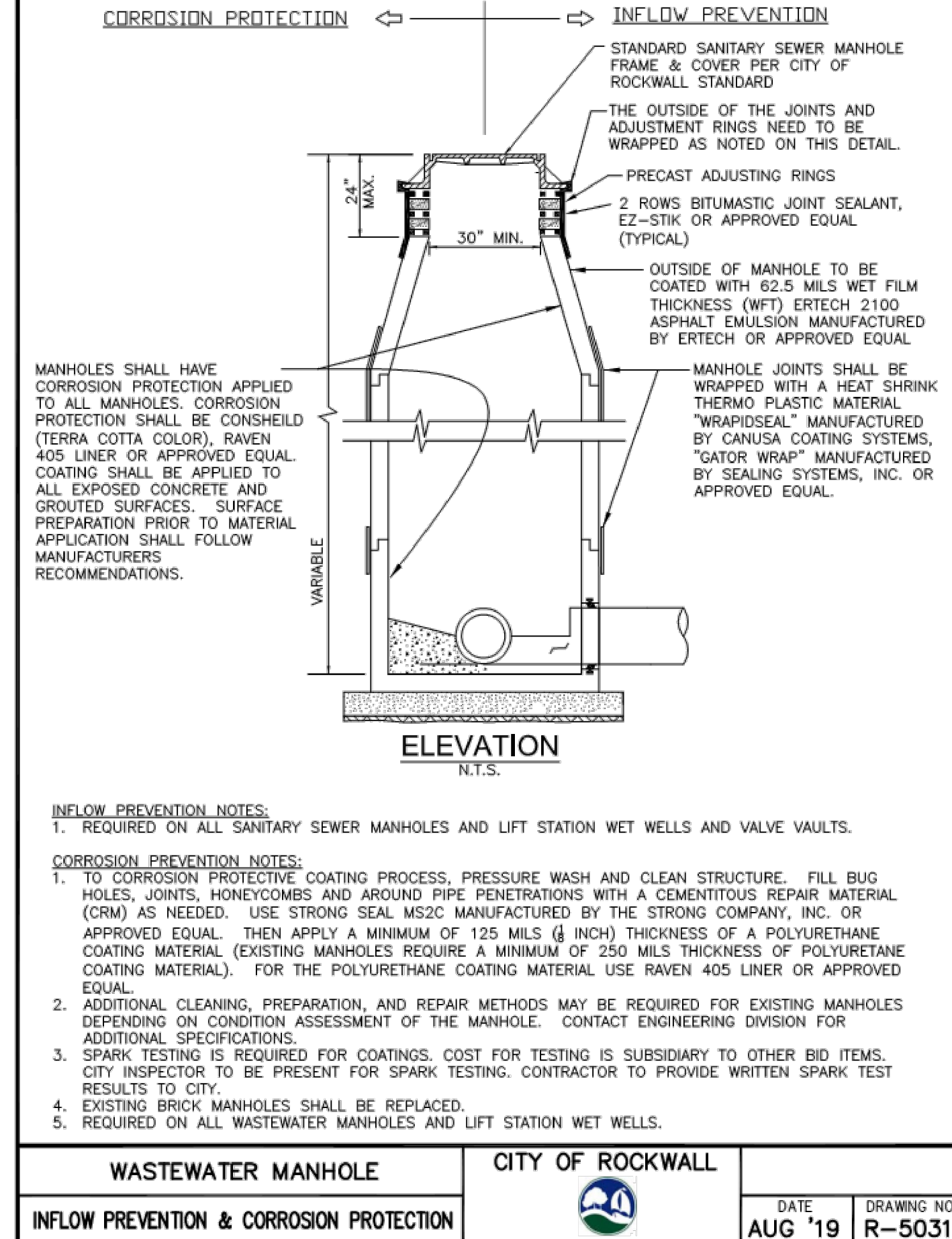
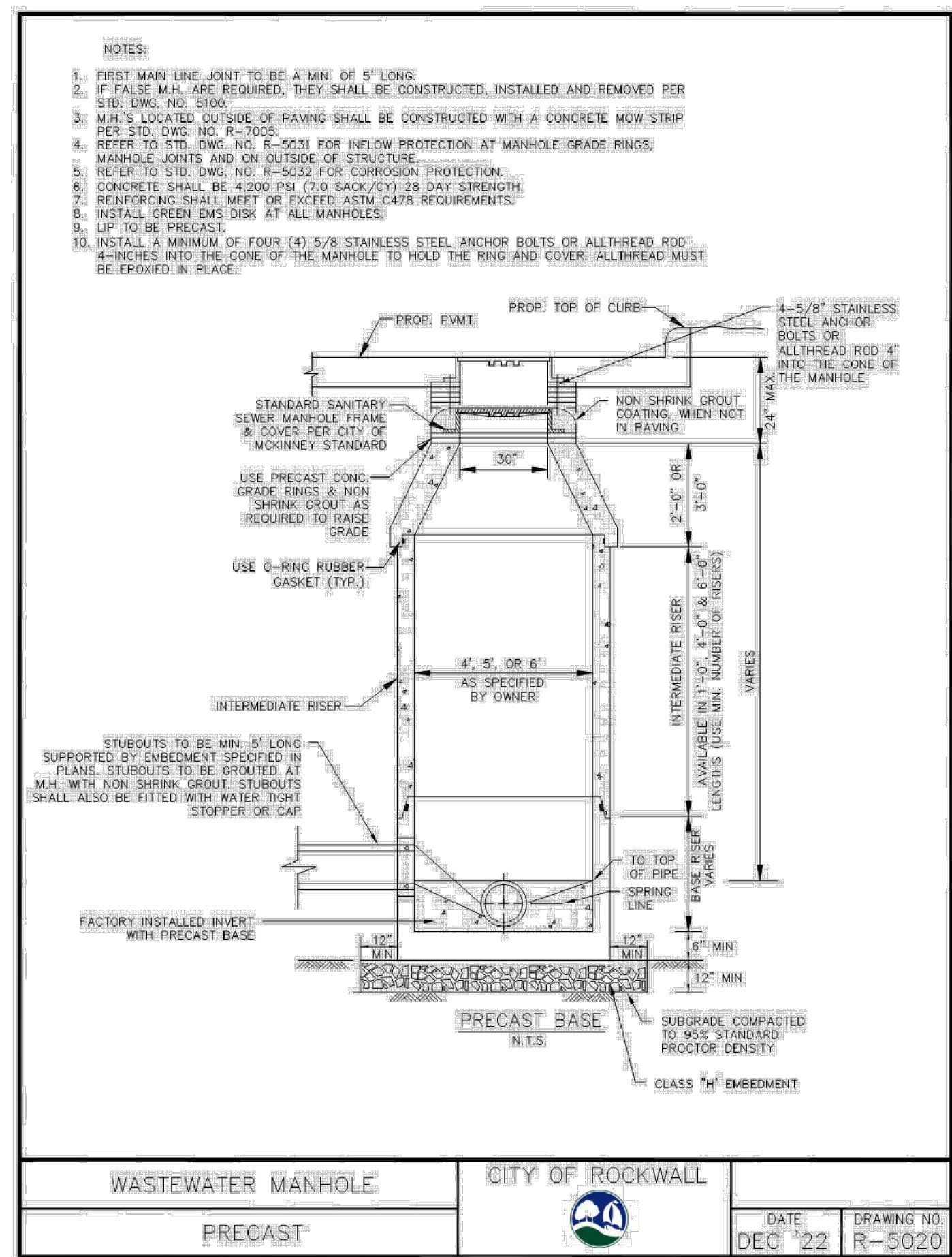
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400  
Toll Free (888) 937-5150 Plano, TX 75093  
Westwoodps.com

Westwood Professional Services, Inc.  
TSP FIRM REGISTRATION NO. F-11756  
TSPS FIRM REGISTRATION NO. 10074301

**UTILITY PROFILES**

SHEET NUMBER: **6.02**

PROJECT NUMBER: 0036677.00 DATE: 12/11/2023



**RECORD DRAWINGS:**

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DESIGNED:	AWS
CHECKED:	AWS
DRAWN:	SWV
HORIZONTAL SCALE:	
VERTICAL SCALE:	

INITIAL ISSUE:	08/18/2023
REVISIONS:	
08-31-2023	CITY COMMENTS
09-27-2023	REVISED OIL/SAND SEPARATOR SIZE
10-19-2023	RFI 035 RESPONSE
12-11-2023	REVISED PARKING/GENERATOR
08-21-2024	RECORD DRAWINGS

PREPARED FOR:

**SPR PACKAGING**

1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087

**Westwood**

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Toll Free: (888) 937-5150      Plano, TX 75093  
westwoodps.com

**Westwood Professional Services, Inc.**  
TYPE FIRM REGISTRATION NO. F-11758  
TYPE FIRM REGISTRATION NO. 10074301

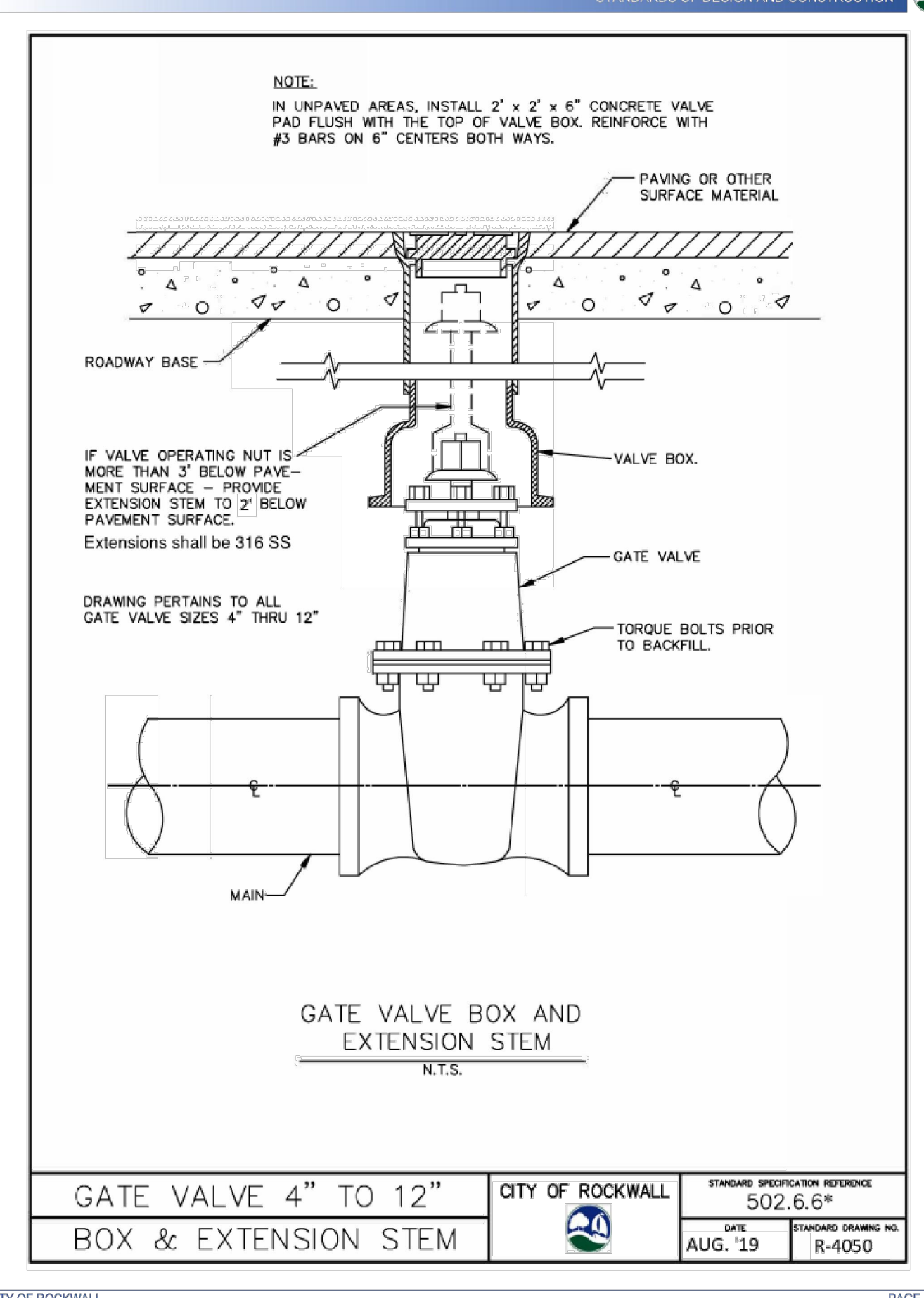
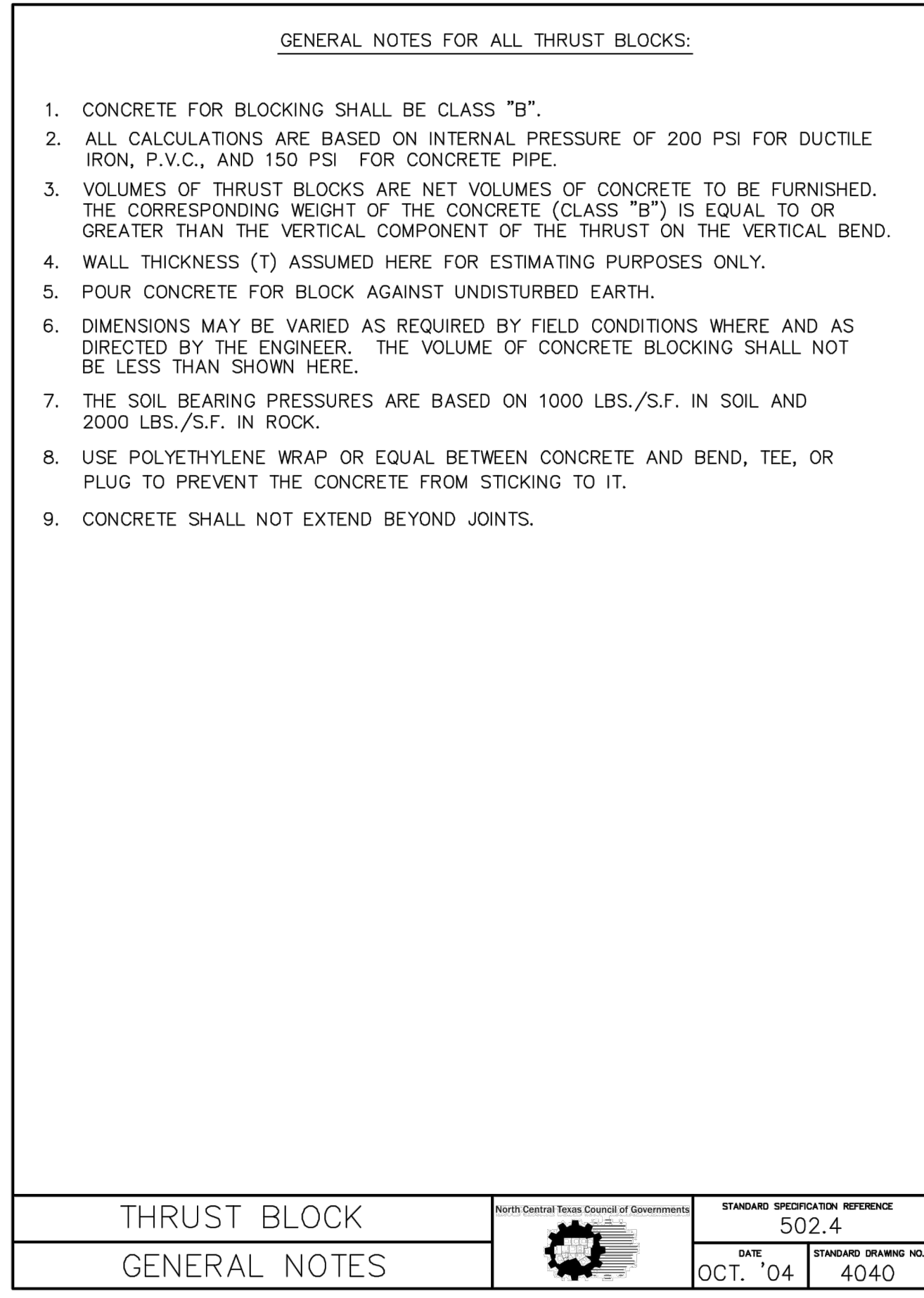
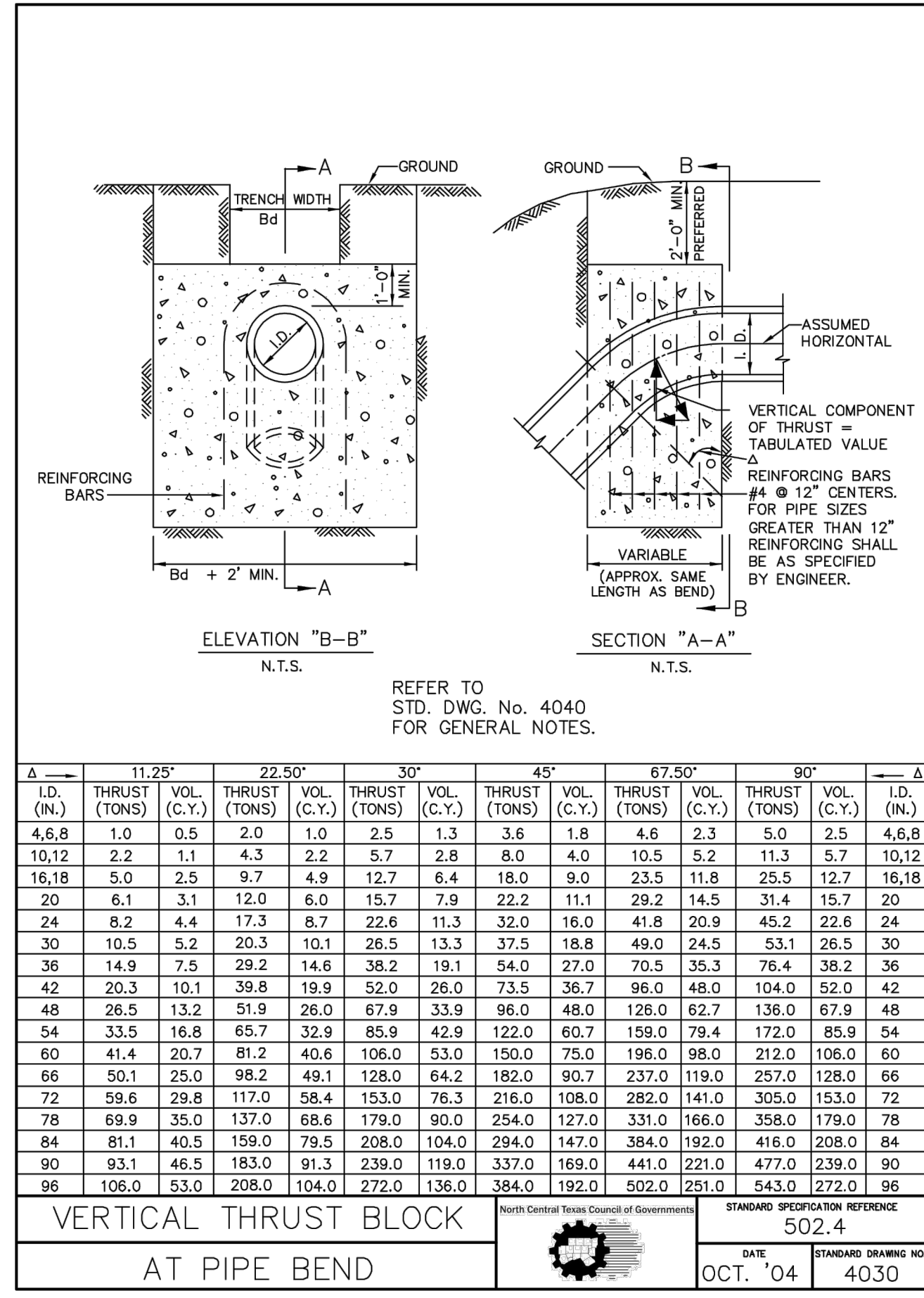
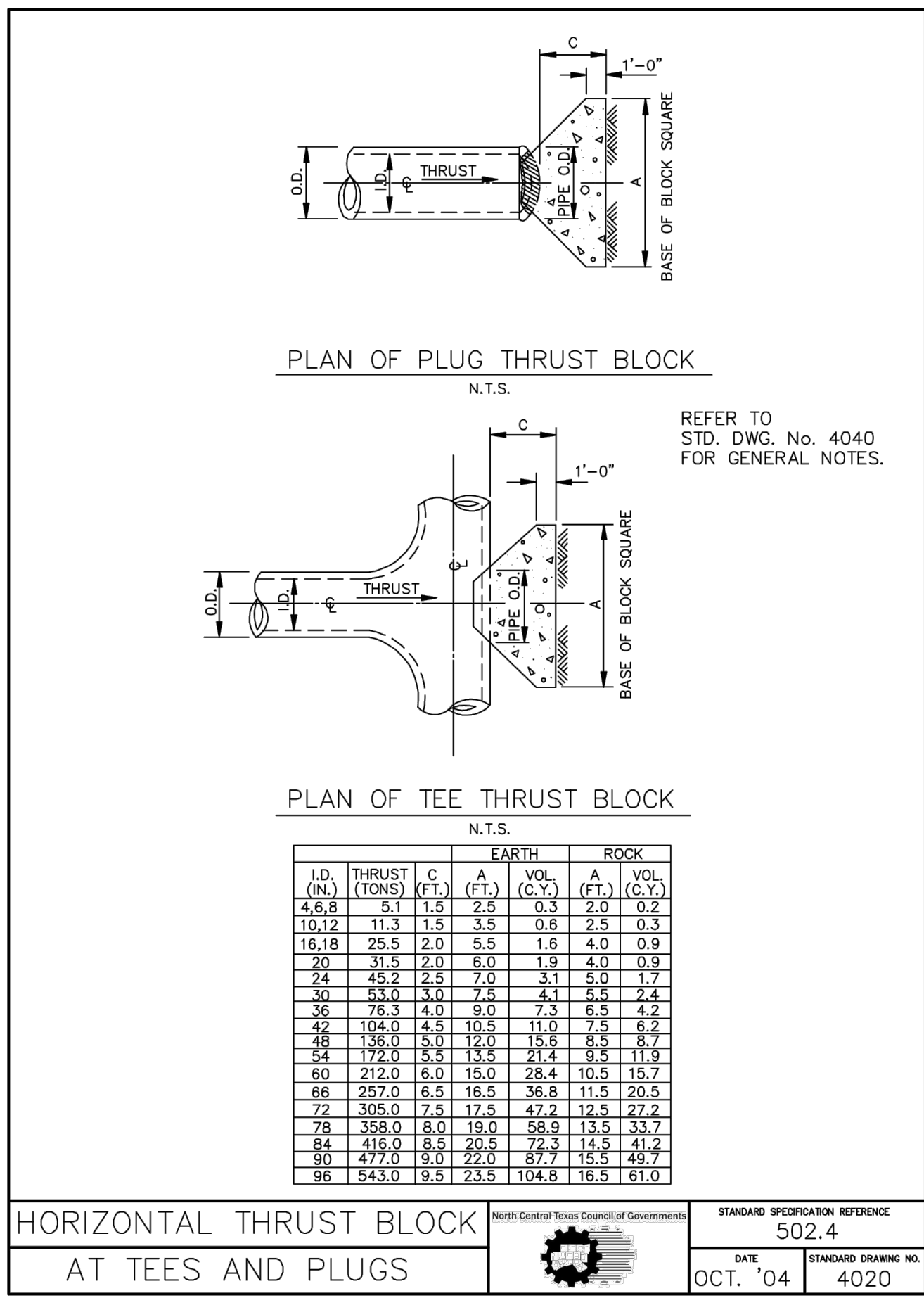
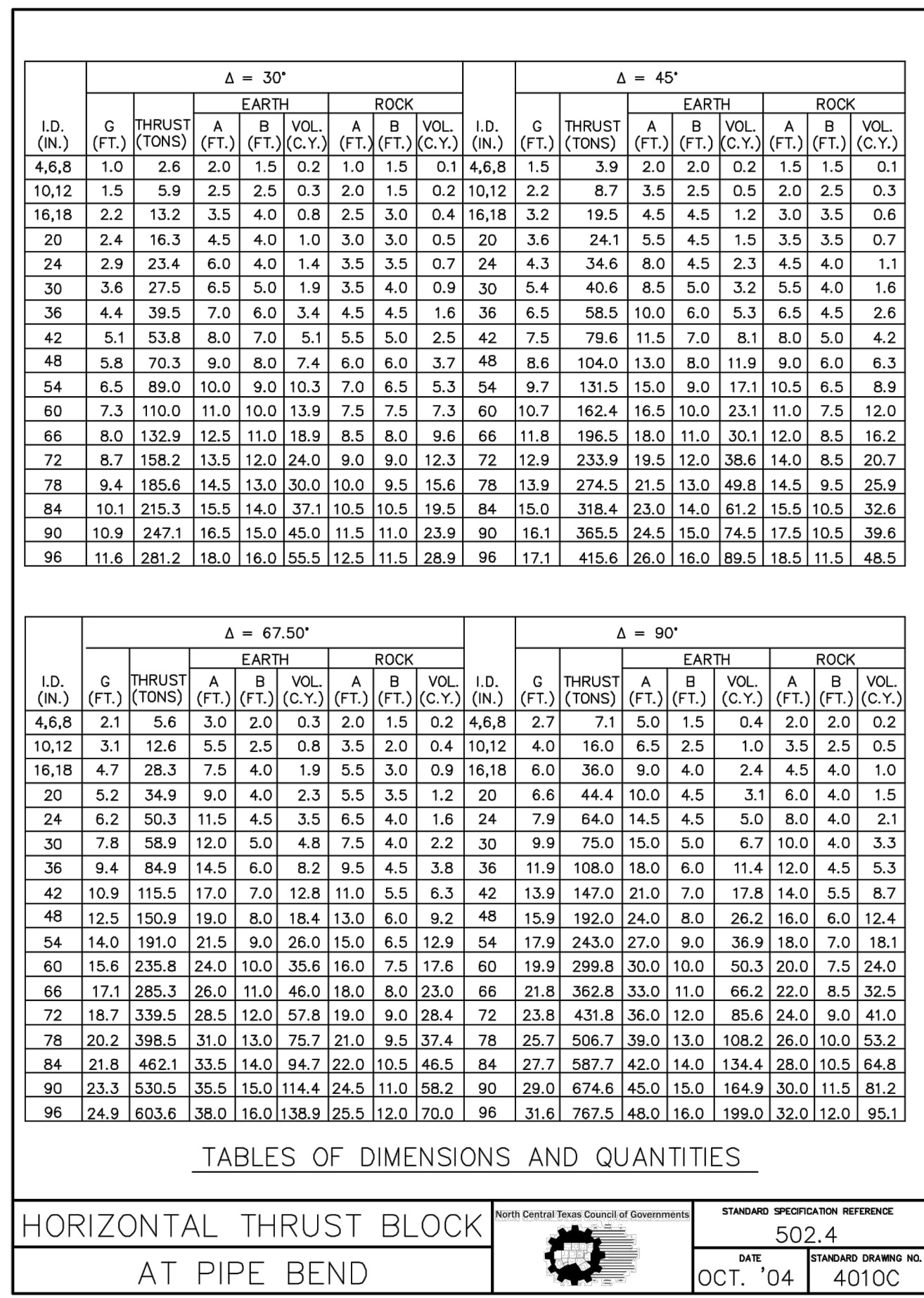
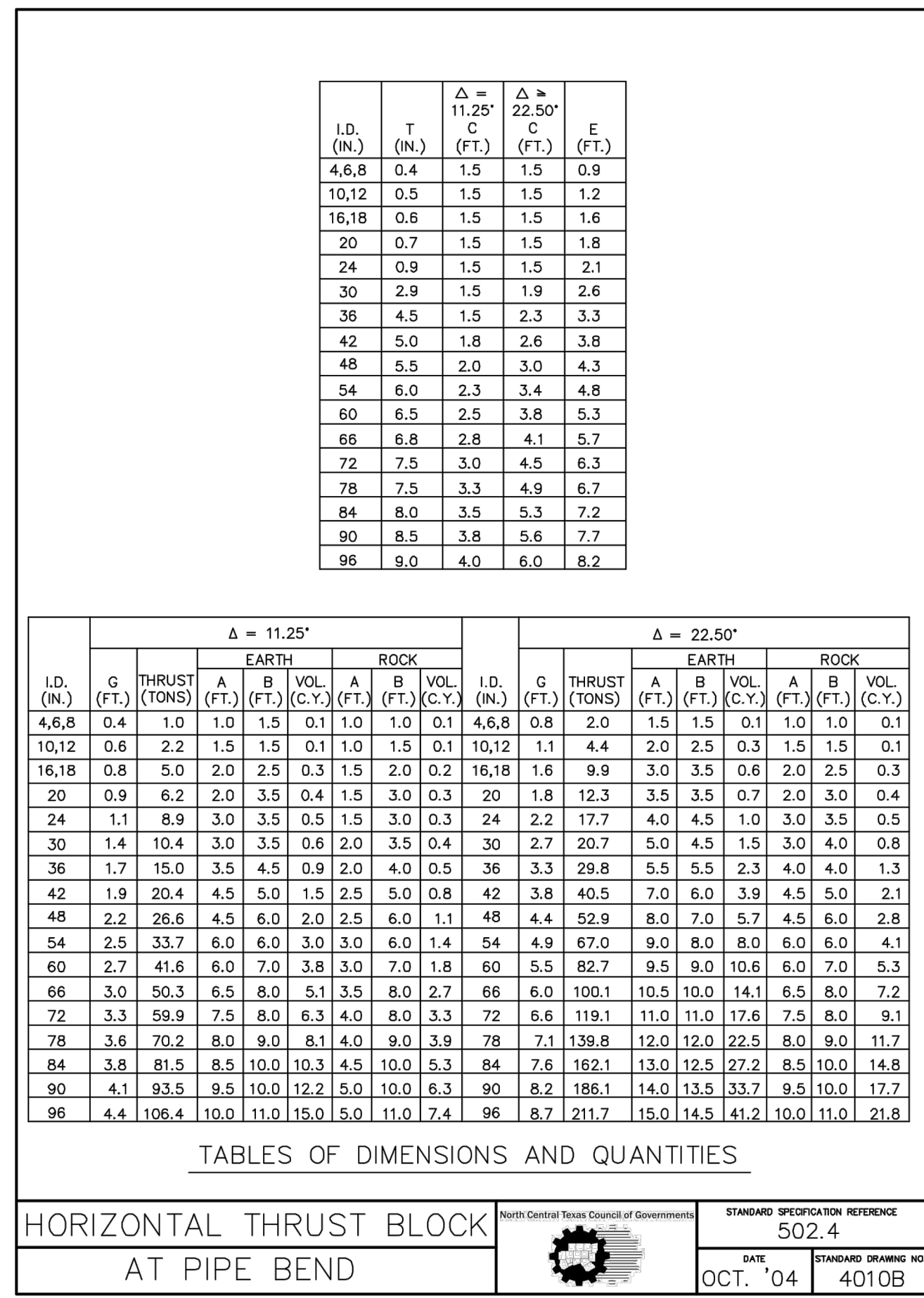
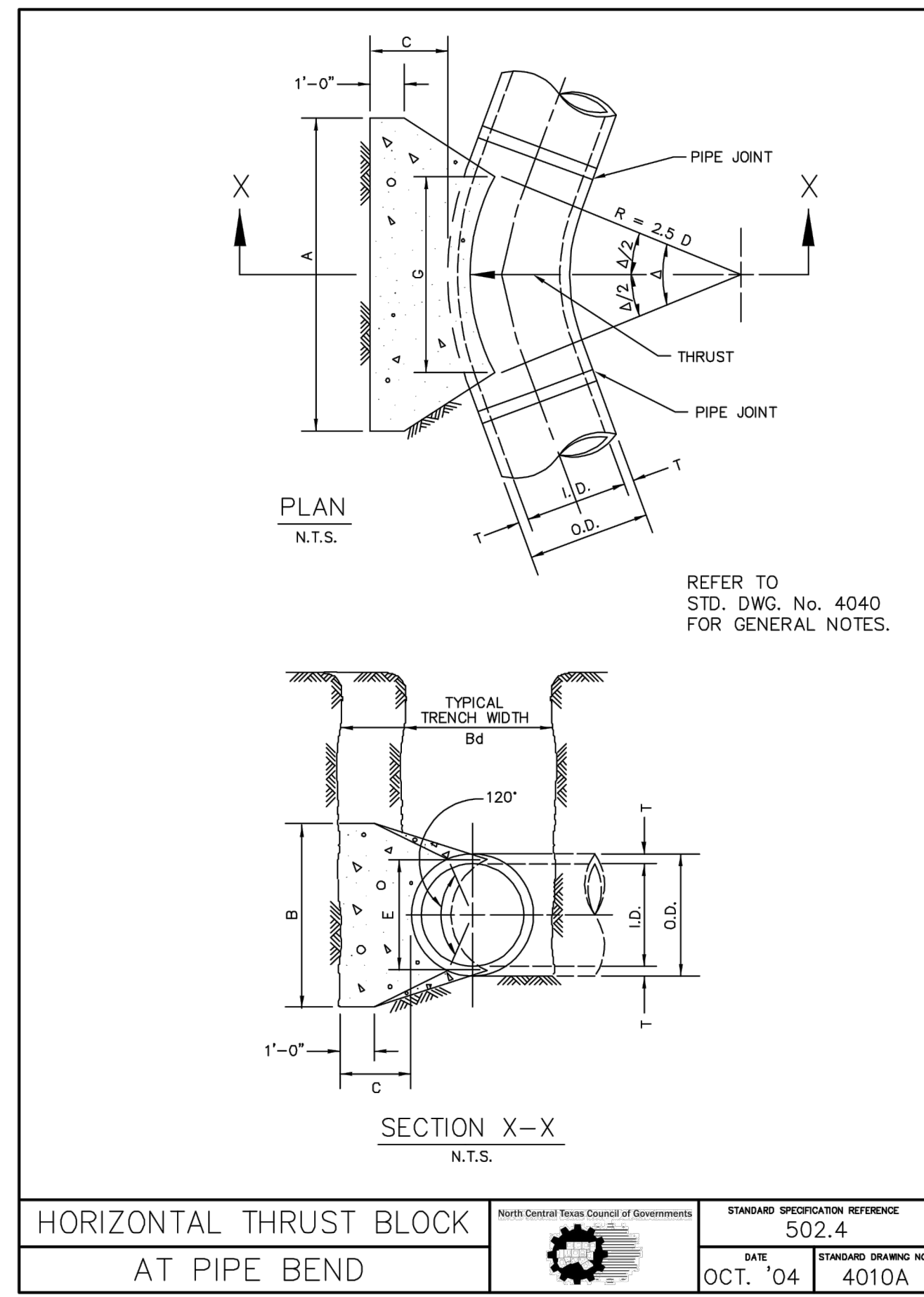
SHEET NUMBER: **6.03**

UTILITY DETAILS 1

PROJECT NUMBER: 0036677.00

DATE: 12/11/2023





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DESIGNED:	AW5
CHECKED:	AW5
DRAWN:	SWY
HORIZONTAL SCALE:	
VERTICAL SCALE:	

INITIAL ISSUE:	08/18/2023
REVISIONS:	
08-31-2023	CITY COMMENTS
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12-11-2023	REVISED PARKING/GENERATOR
08-21-2024	RECORD DRAWINGS

PREPARED FOR:

**SPR PACKAGING**  
1480 JUSTIN ROAD  
ROCKWALL, TEXAS 75087

**SPR DISTRIBUTION CENTER**  
ROCKWALL, TEXAS

WESTWOOD PROFESSIONAL SERVICES, INC.  
11111 WESTWOOD DRIVE  
PLANO, TEXAS 75075  
95877  
08-10-2023

**Westwood**  
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400  
Toll Free (888) 937-5150 Plano, TX 75093  
westwoodps.com

Westwood Professional Services, Inc.  
TYPE FIRM REGISTRATION NO. F-11758  
TYPE FIRM REGISTRATION NO. 10074301

CITY OF ROCKWALL

STANDARD SPECIFICATION REFERENCE  
502.6.6\*

DATE: AUG. '19  
STANDARD DRAWING NO.: R-4050

SHEET NUMBER:  
**6.04**

PROJECT NUMBER: 0036677-001  
DATE: 12/11/2023