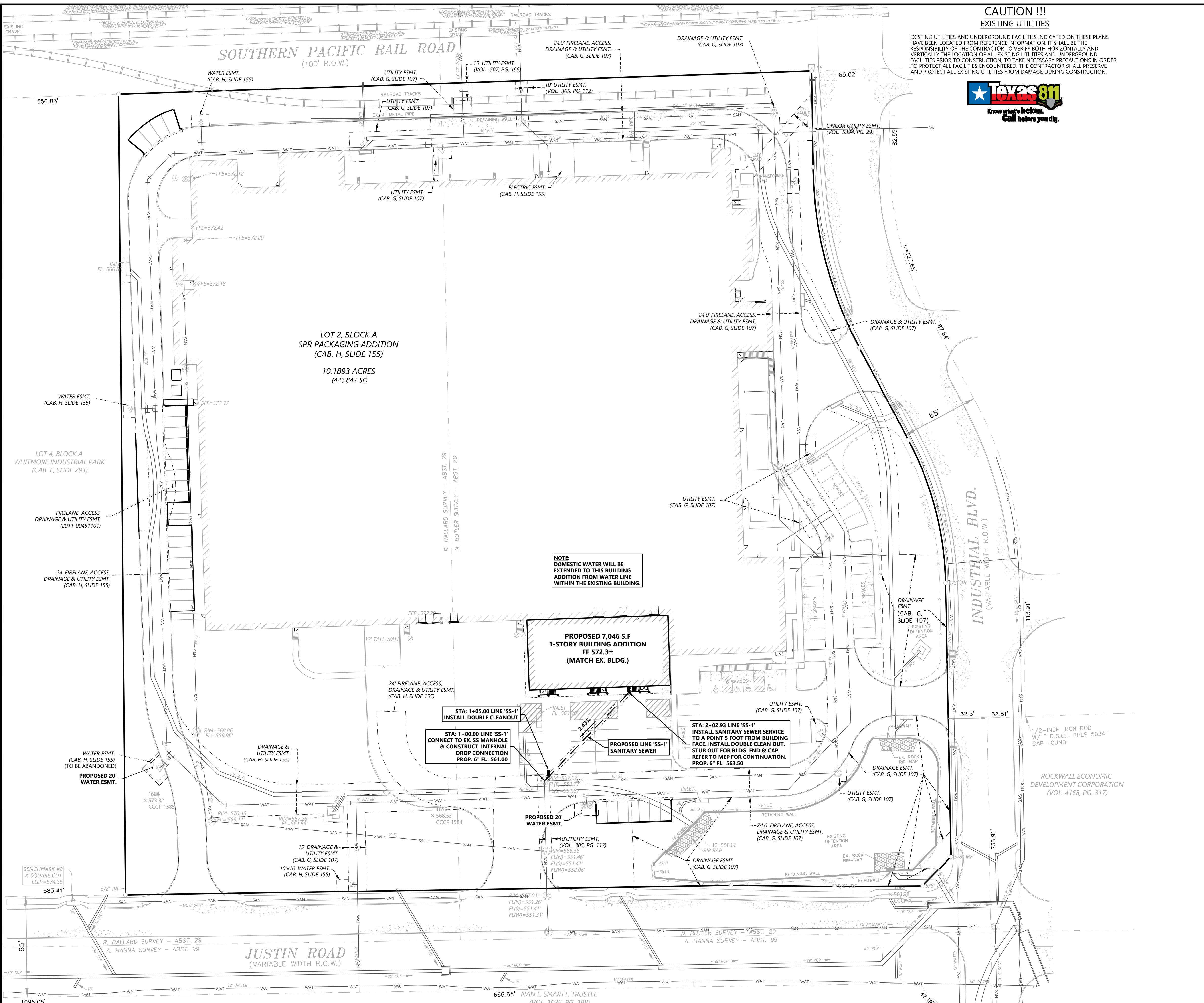


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**CAUTION !!!**  
EXISTING UTILITIES

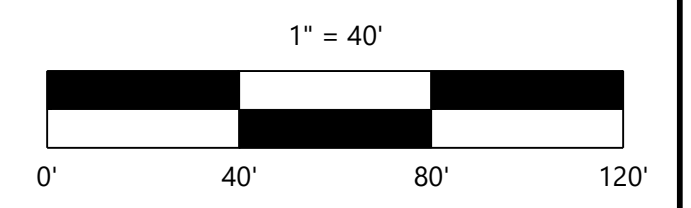
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



**BENCH MARK LIST:**

**BENCHMARK #1**  
X-CUT FOUND ON THE TOP OF CURB OF THE SOUTHERN CURB RETURN AT EAST SIDE OF INDUSTRIAL BLVD. 590'± SOUTH FROM CENTERLINE OF RAILROAD.  
ELEVATION = 564.27

**BENCHMARK #2**  
X-CUT SET AT THE SOUTHEAST CORNER OF CURB INLET LOCATED IN NORTH SIDE OF JUSTIN ROAD 40'± WEST OF SOUTHWEST CORNER OF SITE.  
ELEVATION = 574.55



- PROVIDE CONDUIT AND POWER TO SITE LIGHTING AS REQUIRED. COORDINATE WITH MEP/ARCH AND LOCAL FRANCHISE UTILITY COMPANY AS REQUIRED.
- PROVIDE CONDUIT AND POWER TO SIGN AS REQUIRED. COORDINATE WITH MEP/ARCH AND LOCAL FRANCHISE UTILITY COMPANY AS REQUIRED.
- PROPOSED TELEPHONE SERVICE LINE. COORDINATE WITH LOCAL FRANCHISE UTILITY COMPANY FOR SERVICE AS REQUIRED.
- PROPOSED GAS SERVICE LINE. COORDINATE WITH LOCAL FRANCHISE UTILITY COMPANY FOR SERVICE AS REQUIRED.
- PROPOSED ELECTRIC SERVICE LINE. COORDINATE WITH LOCAL FRANCHISE UTILITY COMPANY FOR SERVICE AS REQUIRED.

PROVIDE CONDUIT AS REQUIRED FOR PHONE, ELECTRICAL, GAS, IRRIGATION & LIGHTING. COORDINATE WITH LANDSCAPE, MEP & FRANCHISE UTILITY COMPANIES FOR LOCATIONS NUMBER & SIZES OF CONDUITS AND SERVICES.

THE SERVICE WOULD REQUIRE THAT THE DEVELOPER PROVIDE THE STANDARD 2-4" PVC CONDUITS WITH PULL STRINGS FROM THE TELEPHONE EQUIPMENT TO THE RIGHT-OF-WAY OR UTILITY EASEMENT UNDER AREAS OF THE PAVEMENT. PVC CONDUITS NEED TO BE EXPOSED OR TURNED UP AT THE RIGHT-OF-WAY OR UTILITY EASEMENT. ALL 90° BENDS IN THE CONDUITS SHOULD BE LONG RADIUS. A BACKBOARD IN THE BUILDING SHALL CONSIST OF STANDARD 4'-8" x 3'-4" SHEET OF PLYWOOD MOUNTED AT THE TERMINATION POINT. ALSO, AN ELECTRICAL OUTLET AND #6 SOLID INSULATED GROUND WIRE FROM THE GROUND BAR OF THE POWER PANEL TO PLYWOOD BACKBOARD WITH A 6' COIL OF WIRE LEFT AT THE BACKBOARD WILL BE REQUIRED AT THE BUILDING.

**NOTE:**  
DOMESTIC WATER WILL BE EXTENDED TO THIS BUILDING ADDITION FROM WATER LINE WITHIN THE EXISTING BUILDING.

- STA: 1+05.00 LINE 'SS-1' INSTALL DOUBLE CLEANOUT
- STA: 1+00.00 LINE 'SS-1' CONNECT TO EX. SS MANHOLE & CONSTRUCT INTERNAL DROP CONNECTION PROP. 6" FL=561.00
- PROPOSED LINE 'SS-1' SANITARY SEWER
- STA: 2+02.93 LINE 'SS-1' INSTALL SANITARY SEWER SERVICE TO A POINT 5' FOOT FROM BUILDING FACE. INSTALL DOUBLE CLEAN OUT. STUB OUT FOR BLDG. END & CAP. REFER TO MEP FOR CONTINUATION. PROP. 6" FL=563.50

**RECORD DRAWINGS:**

IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLANS IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 10-09-2020

DESIGNED:	AW5
CHECKED:	AW5
DRAWN:	WTV
HORIZONTAL SCALE:	40'
VERTICAL SCALE:	8' or 4'

INITIAL ISSUE: 11-08-2019

REVISIONS:

03-16-2020	SITE REVISIONS
10-09-2020	RECORD DRAWINGS

PREPARED FOR:  
**PROSS DESIGN GROUP, INC.**  
5310 HARVEST HILL ROAD, SUITE 180  
DALLAS, TEXAS 75230



**INK ROOM & LOCKER ROOM ADDITION**  
ROCKWALL, TEXAS

**Westwood**

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Westwood Professional Services, Inc.  
TPE FIRM REGISTRATION NO. F-11756  
TPELS FIRM REGISTRATION NO. 10074301

SHEET NUMBER:  
**5.01**

UTILITY PLAN

PROJECT NUMBER: 0014830-01 DATE: 11-08-2019

INK ROOM & LOCKER ROOM ADDITION