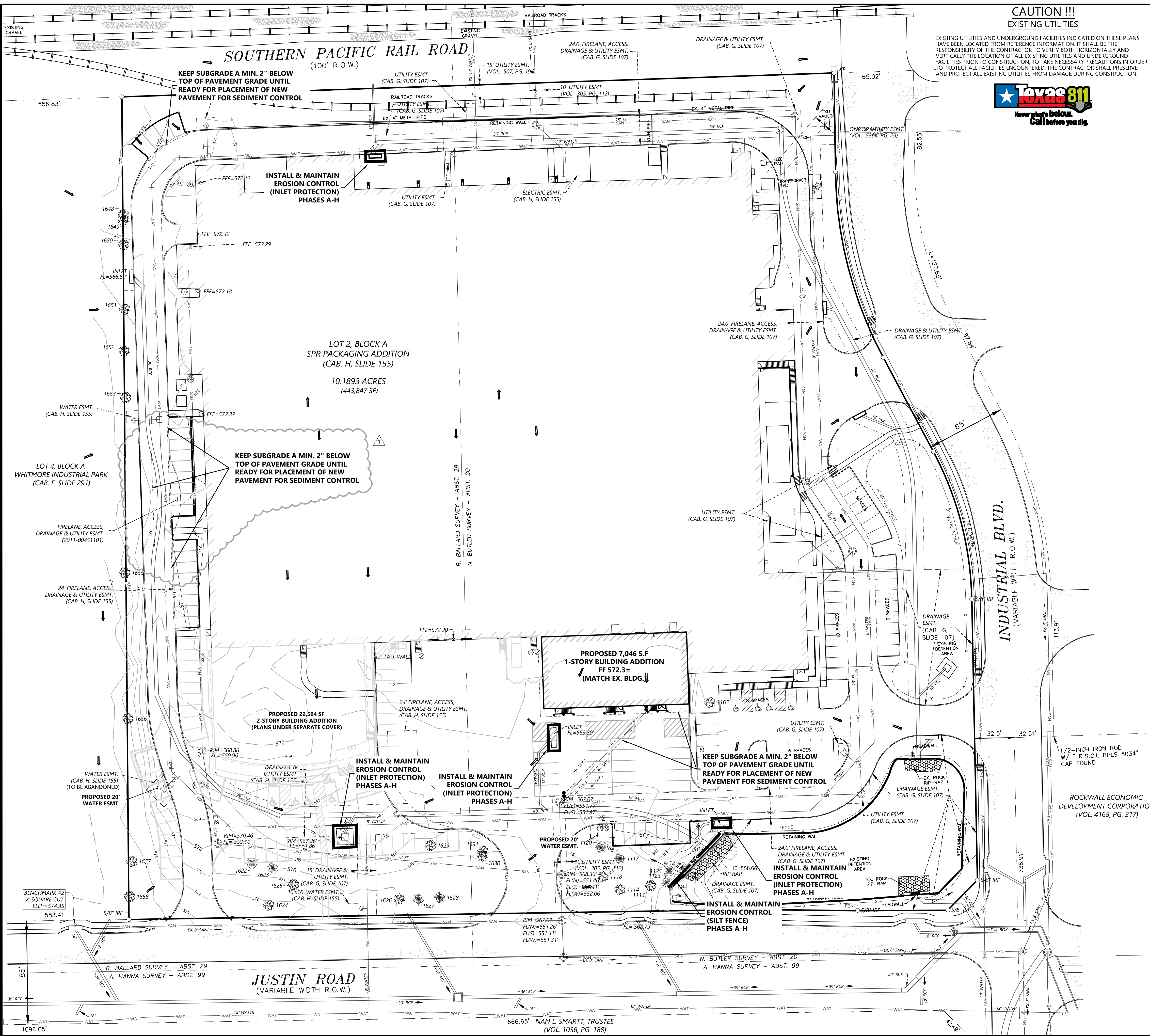


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CAUTION !!!
EXISTING UTILITIES

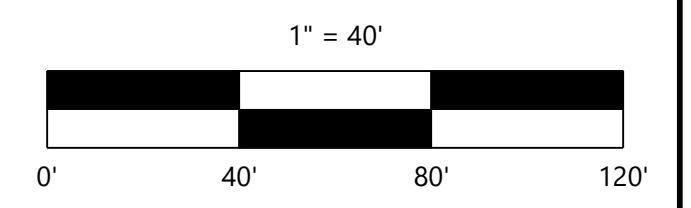
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



Point #	Description
1113	CYPRESS 6" 10S
1114	CYPRESS 6" 15S
1117	CEDAR 10" 25S
1118	CYPRESS 6" 15S
1120	CEDAR 12" 30S
1123	CEDAR 8" 20S
1125	CEDAR 8" 20S
1127	CEDAR 8" 20S
1165	UNKNOWN 8" 20S
1622	CEDAR 6" 20S
1623	CEDAR 6" 20S
1624	UNKNOWN 6" 20S
1625	CEDAR ELM 6" 20S
1626	HACKBERRY 27" 50S
1627	CEDAR 6" 15S

Point #	Description
1628	CEDAR 6" 15S
1629	HACKBERRY 10" 20S
1630	HACKBERRY 12" 30S
1631	HACKBERRY 12" 30S
1648	HACKBERRY 8" 20S
1649	HACKBERRY 10" 15S
1650	HACKBERRY 8" 20S
1651	HACKBERRY 18" 30S
1652	HACKBERRY 15" 20S
1653	HACKBERRY 9" 25S
1654	BOIS D ARC 30" 70S
1655	HACKBERRY 12" 25S
1656	HACKBERRY 8" 20S
1657	HACKBERRY 8" 20S
1658	MULBERRY 27" 50S

ADA ROUTE
NOTE:
MAXIMUM SLOPE FOR ALL ADA PATHS 5%; MAX. CROSS FALL IS 2%; FOR THE FIRST FIVE FOOT FROM THE DOOR A 2% SLOPE (MAX.) MUST BE MAINTAINED



BENCH MARK LIST:
BENCHMARK #1
X-CUT FOUND ON THE TOP OF CURB OF THE SOUTHERN CURB RETURN AT EAST SIDE OF INDUSTRIAL BLVD. 590± SOUTH FROM CENTERLINE OF RAILROAD. ELEVATION = 564.27
BENCHMARK #2
X-CUT SET AT THE SOUTHEAST CORNER OF CURB INLET LOCATED IN NORTH SIDE OF JUSTIN ROAD 40± WEST OF SOUTHWEST CORNER OF SITE. ELEVATION = 574.35

DISTURBED AREA = 0.30 ACRES

EROSIONS CONTROL GENERAL NOTES:
1. REFER TO SHEET A-02 FOR THE EROSION CONTROL DETAILS AND POLLUTION PREVENTION PLAN NOTES/SPECIFICATIONS/ REQUIREMENTS
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL MEASURES OF THIS EROSION CONTROL PLAN (SWPPP) AND COMPLYING WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS REGARDING THE SWPPP.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THESE MEASURES INCLUDING WATERING, MOWING AND GENERAL MAINTENANCE UNLESS OTHERWISE RELIEVED OF THESE DUTIES BY THE OWNER.

VEGETATION NOTES:
1. ALL DISTURBED AREAS NOT BEING RE-DISTURBED WITHIN A MINIMUM OF 14 DAYS MUST BE COVERED AND STABILIZED.
2. THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
3. NO PUBLIC ACCEPTANCE UNTIL (FINAL STABILIZATION) VEGETATION IS ESTABLISHED ON ALL DISTURBED AREAS.
4. FINAL STABILIZATION IS DEFINED AS A UNIFORM PERENNIAL VEGETATIVE COVER AT A MINIMUM OF 70% RESTORATION OF THE NATIVE OR NATURAL PREEXISTING BACKGROUND COVER FOR THE AREA.

CONSTRUCTION ACTIVITIES:
THE CONSTRUCTION ACTIVITY INCLUDED IN THIS PLAN WILL INCLUDE THE FOLLOWING CONSTRUCTION PHASES:
A. CLEARING AND GRUBBING
B. STOCK PILING
C. ROUGH GRADING
D. UTILITY INSTALLATION/EXCAVATION OF TRENCHES
E. FINAL OR FINISH GRADING
F. PAVEMENT INSTALLATION
G. BUILDING CONSTRUCTION
H. PREPARATION OF SEEDING AND PLANTING

RECORD DRAWINGS:
IT WAS THE INTENT THAT THE IMPROVEMENTS SHOWN BE CONSTRUCTED ACCORDING TO THESE PLANS AS APPROVED BY THE CITY. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY INSPECTED THE CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION OTHER THAN THOSE SHOWN. TO THE BEST OF OUR KNOWLEDGE, WESTWOOD PROFESSIONAL SERVICES, INC. HEREBY STATES THAT THIS PLANS IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. DATE: 10-09-2020

DESIGNED: AWS
CHECKED: AWS
DRAWN: WTW
HORIZONTAL SCALE: 40'
VERTICAL SCALE: 8' or 4'

INITIAL ISSUE: 11-08-2019
REVISIONS:
03-16-2020 SITE REVISIONS
10-09-2020 RECORD DRAWINGS

PREPARED FOR:
PROSS DESIGN GROUP, INC.
5310 HARVEST HILL ROAD, SUITE 180
DALLAS, TEXAS 75230



INK ROOM & LOCKER ROOM ADDITION
ROCKWALL, TEXAS

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Westwood Professional Services, Inc.
TYPE FIRM REGISTRATION NO. F-11756
TYPE FIRM REGISTRATION NO. 10014301

EROSION CONTROL PLAN

4.01

PROJECT NUMBER: 0014830-01 DATE: 11-08-2019

INK ROOM & LOCKER ROOM ADDITION