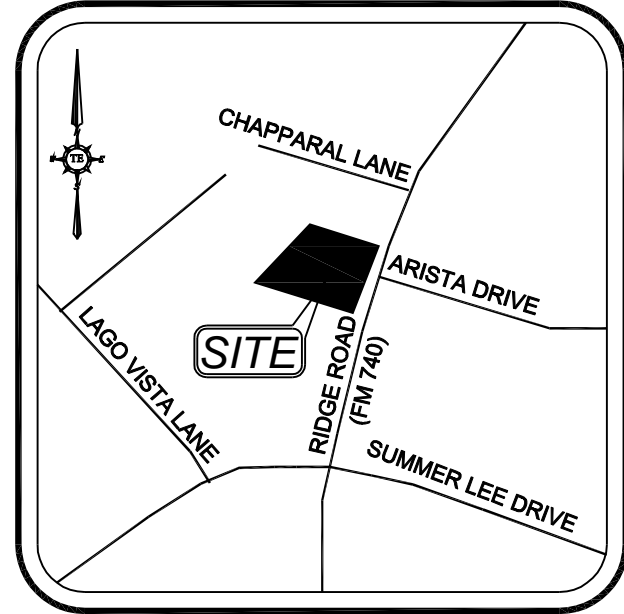
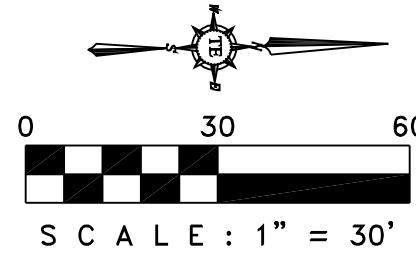


MEDICAL OFFICES DEVELOPMENT

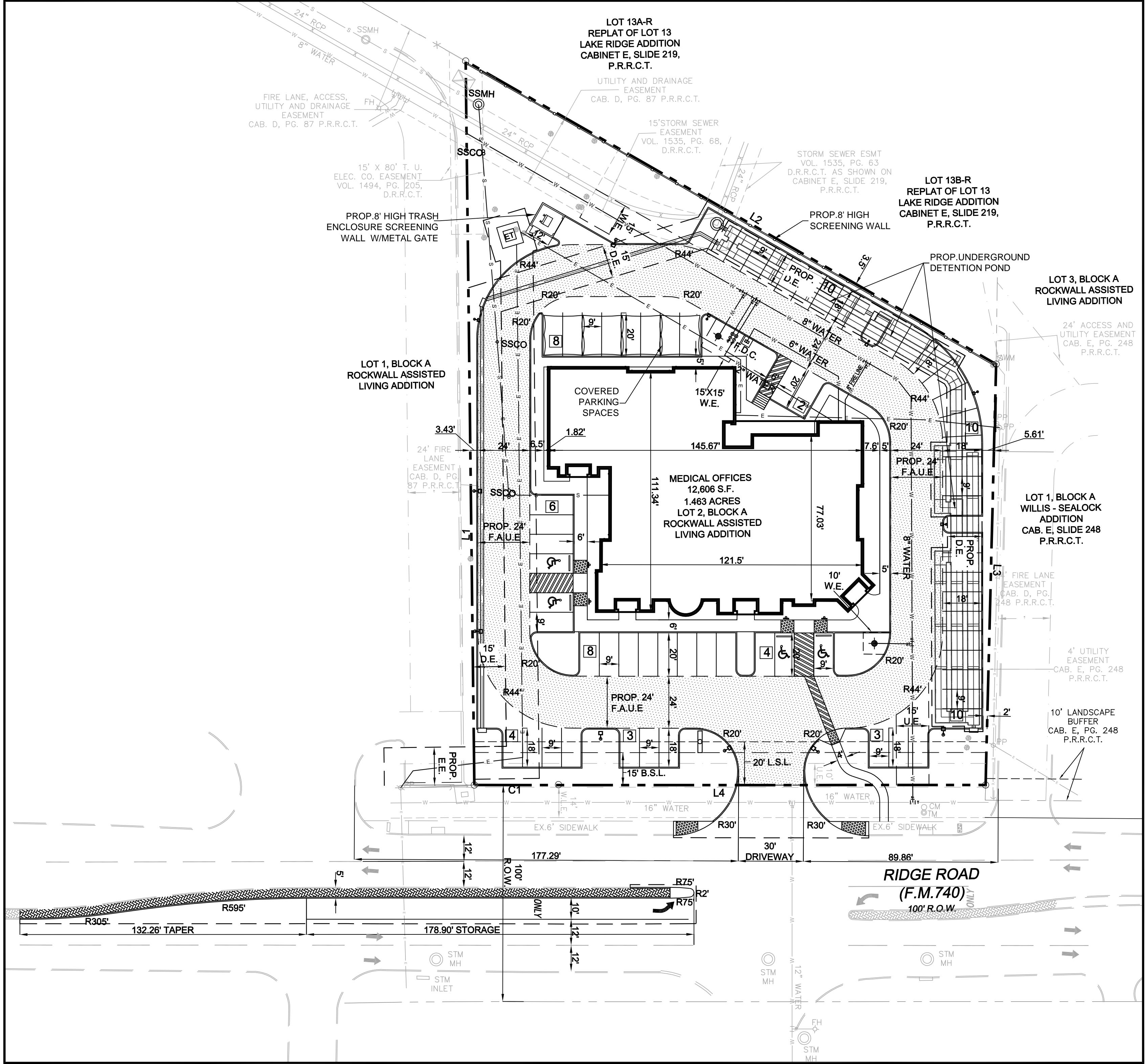
1.46 ACRES PORTION OF
 LOT 2, BLOCK "A" ROCKWALL ASSISTED LIVING ADDITION
 CITY OF ROCKWALL, ROCKWALL COUNTY, TX



VICINITY MAP
 N.T.S.

LEGEND	
EXISTING BOUNDARY	
EXISTING CONCRETE PVMT.	
EXISTING POWER POLE	
EXISTING FIRE HYDRANT	
EXISTING STORM INLET	
EXISTING SCREEN WALL	
EXISTING LIGHT POLE	
EXISTING ELECTRICAL BOX	
EXISTING CABLE MARKER	
EXISTING TELEPHONE MANHOLE	
EXISTING TREES	
EXISTING CHAIN LINK FENCE	
EXISTING WATER METER	
BOUNDARY LINE	
PROPOSED CURB	
PROPOSED FIRE HYDRANT	
PROP. STORM INLET	
PROP. SCREENING WALL	
PROP. SITE LIGHT POLE	
PROP. FIRE LANE	
PROP. SEWER MANHOLE	
PROP. SEWER CLEAN OUT	
PROP. SEWER LINE	
PROP. WATER LINE	
PROP. WATER METERS	
PROP. FIRE DEPARTMENT CONNECTIONS	
PROP. MONUMENT SIGN	
PROP. HANDICAP PAVEMENT LOGO	
PROP. HANDICAP SIGN	

OWNER/APPLICANT AJ SQUARED L.L.C. 3018 RIDGE ROAD ROCKWALL, TX 75032 CONTACT: DR. KETAN PAREKH TEL: 469-338-2397	ENGINEER TRIANGLE ENGINEERING LLC 1503 ASTORIA DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: 214-609-9271
SURVEYOR A&W SURVEYORS 2220 GUS THOMASSON RD MESQUITE, TX 75150 CONTACT: JOHN TURNER, R.P.L.S. (972) 681-4975	



- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL AND NCTCOG 3RD EDITION.
 - A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P, PG. 128 - 137, AND ANY AMENDMENTS THERETO.
 - ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

SITE DATA TABLE	
PHYSICAL ADDRESS	TO BE DETERMINE
GROSS SITE AREA	1.463 ACRES OR 63,728 SQ.FT.
NET AREA	1.463 ACRES OR 63,728 SQ.FT.
ZONING	PD-18 (GENERAL RETAIL) W/SCENIC OVERLAY DISTRICT.
CURRENT USE	VACANT
PROPOSED USE	MEDICAL OFFICES
LOT COVERAGE DATA	
BUILDING COVERAGE	19.78% / 12606 SQ.FT.
IMPERVIOUS COVERAGE	49,236 SQ.FT.
PERVIOUS COVERAGE	14,492 SQ.FT.
PARKING SUMMARY	
1 SPACE/200 GFA	63
REQUIRED	68
TOTAL PARKING	63
BUILDING DATA	
BUILDING	1
PEAK HEIGHT	30'-00"
TOTAL SQUARE FOOTAGE	12,606 SQ.FT.

LEGEND	
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.
DRAINAGE EASEMENT	D.E.
WATERLINE EASEMENT	W.E.
SEWER CLEAN OUT	SSCO
GAS METER	GM
ELECTRICAL TRANSFORMER	ET
FIRE HYDRANT	FH
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	STMH
BUILDING SETBACK	B.S.L.
LANDSCAPE SETBACK	L.S.L.
PRESSURE REDUCING VALVE	PRV
PROP. FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE DEPARTMENT CONNECTION	F.D.C.
POST INDICATOR VALVE	PIV
PEDESTRIAN ACCESS ESMT.	P.A.E.

BOUNDARY LINE CURVE DATA		
CURVE NO.	RADIUS	3874.83'
	LENGTH	39.13'
	DELTA	0°34'43"
	CHORD BEARING	S16°37'56"W
	CHORD DISTANCE	39.13'

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	N 74°09'28" W	334.28'
L2	N 46°16'17" E	282.04'
L3	S 72°02'12" E	194.40'
L4	S 16°31'13" W	196.97'

ASBUILT DRAWINGS:
 TO THE BEST OF OUR KNOWLEDGE TRIANGLE ENGINEERING LLC, HEREBY STATES THAT THIS PLAN IS ASBUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

KARTAVYA S. PATEL P.E. NO. 97534

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."

TRIANGLE ENGINEERING, LLC.
 TX TYPE FIRM # 11525
 1503 ASTORIA DRIVE, ALLEN, TX 75013
 PHONE: 214-609-9271

No.	DATE	DESCRIPTION
1	05/25/2015	FINAL ASBUILT SUBMITTAL

06/25/2015

MEDICAL OFFICE
3018 RIDGE ROAD
ROCKWALL, TEXAS

SHEET #	3
	REVISION #

CASE # SP2014-003