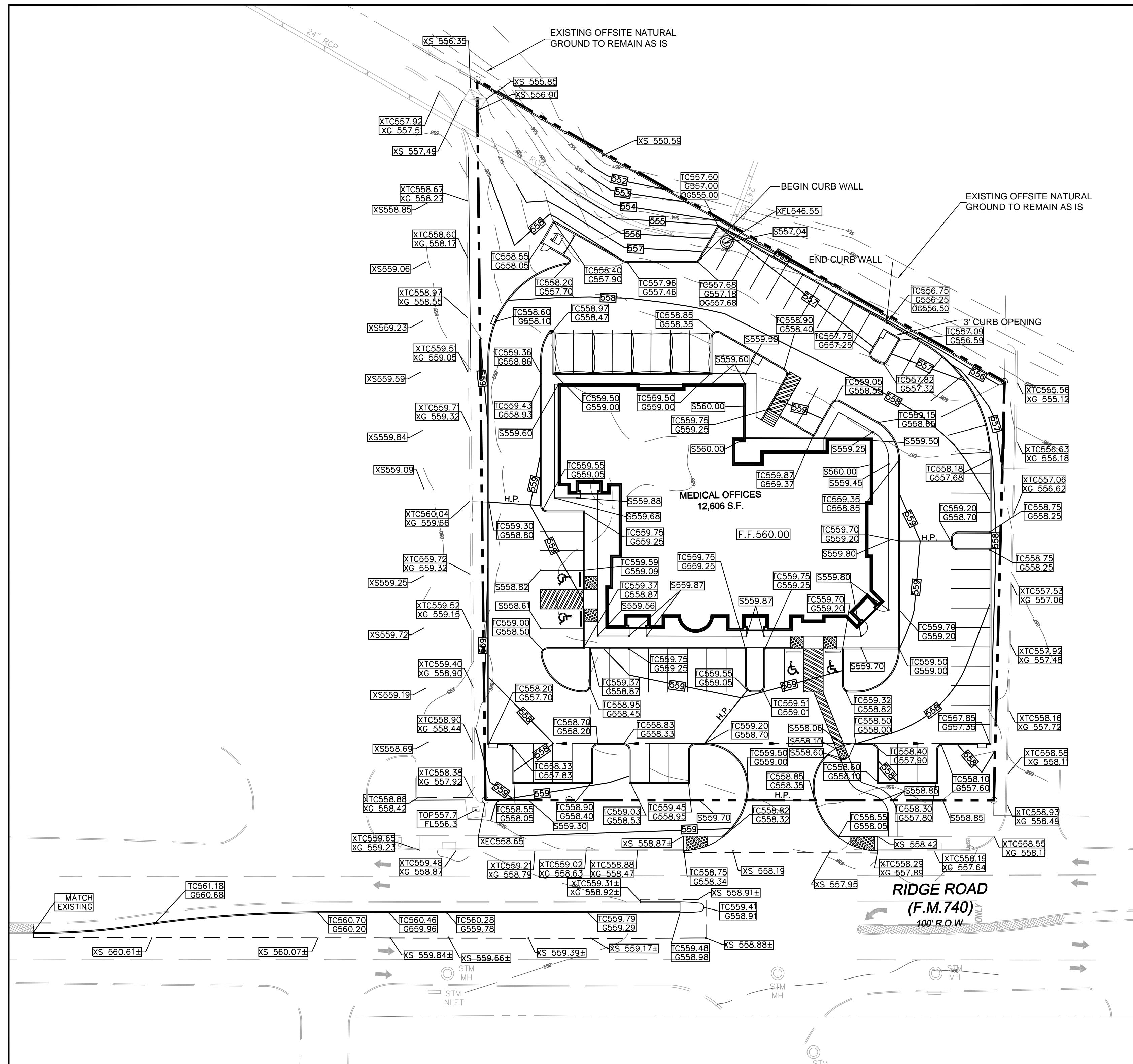
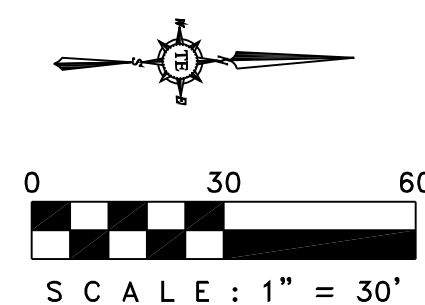


MEDICAL OFFICES DEVELOPMENT

1.46 ACRES PORTION OF
LOT 2, BLOCK "A" ROCKWALL ASSISTED LIVING ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY, TX



GRADING GENERAL NOTE

1. ALL SURPLUS EXCAVATION AND WASTE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND IT SHALL BE HIS SOLE RESPONSIBILITY TO REMOVE SUCH SURPLUS EXCAVATION AND WASTE MATERIAL FROM THE SITE TO A PUBLIC DUMP SITE APPROVED FOR THE DISPOSAL OF SUCH MATERIALS. IF SURPLUS EXCAVATION IS REMOVED FROM THIS SITE TO ANOTHER PROPERTY, IT SHALL BE PLACED ON SUCH PROPERTY WITH THE WRITTEN CONSENT OF THE OWNER(S) OF SUCH PROPERTY. A COPY OF SUCH WRITTEN CONSENT SHALL BE PROVIDED TO THE OWNER. IF THE CONTRACTOR WISHES TO DISPOSE OF SURPLUS EXCAVATION ON-SITE, IT SHALL BE ONLY WITH THE PRIOR APPROVAL OF THE OWNERS PROJECT REPRESENTATIVE AND CARE SHOULD BE TAKEN TO AVOID BLOCKING NATURAL DRAINAGE AND INCREASING STEEP SLOPES. IF ANY OF THE HAULED EXCAVATION MATERIAL IS TAKEN TO ANOTHER LOCATION WITHIN THE CITY OF ORE CITY LIMITS, THE OWNER OF THE PROPERTY IS REQUIRED TO OBTAIN A LOT GRADING PERMIT BEFORE MATERIAL IS DELIVERED.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN STAKING AND TO VERIFY PROJECT ELEVATIONS. "MATCH EXISTING" SHALL BE UNDERSTOOD TO APPLY TO BOTH VERTICAL ELEVATION AND HORIZONTAL ALIGNMENT.
3. THE CONTRACTOR SHALL PREPARE ALL LANDSCAPE AREAS INCLUDING STREET RIGHT-OF-WAY AREAS TO AN ACCEPTABLE SUBGRADE CONDITION IN ACCORDANCE WITH THE LANDSCAPE PLANS. IF THE CONTRACTOR IS NOT EMPLOYED TO PROVIDE AND INSTALL LANDSCAPING, HE SHALL PREPARE A FINISHED AND COMPACTED SUBGRADE IN THE LANDSCAPING AREAS 4" BELOW NOMINAL FINISH GRADE AS SHOWN ON THE PLANS AND SHALL ADD 2" OF TOPSOIL TO BRING LANDSCAPING SUB-GRADE AS PROVIDED TO THE LANDSCAPING CONTRACTOR, TO 2" BELOW NOMINAL FINISH GRADE.
4. NO SLOPES TO EXCEED 3H:1V WITHOUT SLOPE STABILIZATION.
5. ALL FILL IS TO BE COMPLETED TO 95% SHEEP'S FOOT ROLLER.

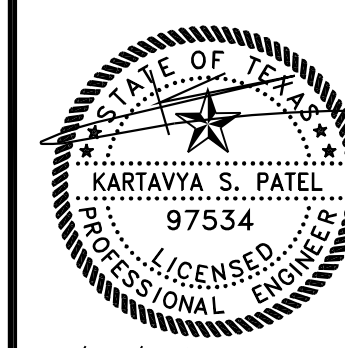
BENCHMARKS

TOP OF THE STORM DRAIN MAN HOLE LOCATED AT SOUTH EAST PROPERTY CORNER.
ELEVATION: 557.70'

LEGEND	
SPOT ELEVATION AT FINISHED GRADE	S 559.70
TOP OF CURB	TC 559.35
GUTTER	G 558.85
OUTSIDE GRADE	OG 555.00
EX. CURB	XTC 558.85
EX. GUTTER	XG 558.85
EX. SPOT ELEVATION	XS 550.59
EXISTING CONTOURS	557
PROPOSED CONTOURS	556
PROPOSED SWALE	



No.	DATE	DESCRIPTION
1	05/25/2015	FINAL ASBUILT SUBMITTAL



06/25/2015

MEDICAL OFFICE
3018 RIDGE ROAD
ROCKWALL, TEXAS

GRADING PLAN	
PROJECT No:	13-035
DATE:	06/25/2015
DRAWN BY:	KP
CHECKED BY:	KP
SHEET #	5
REVISION #	

ASBUILT DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE TRIANGLE ENGINEERING LLC., HEREBY STATES THAT THIS PLAN IS ASBUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR.

KARTAVYA S. PATEL P.E. NO. 97534