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CIVIL CONSTRUCTION PLANS

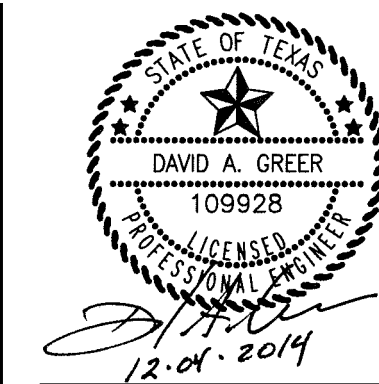
FOR

10,650 SQ. FT. RETAIL BUILDING PLAZA AT ROCKWALL SHOPPING CENTER

LOT 10

ROCKWALL BUSINESS PARK EAST SUBDIVISION

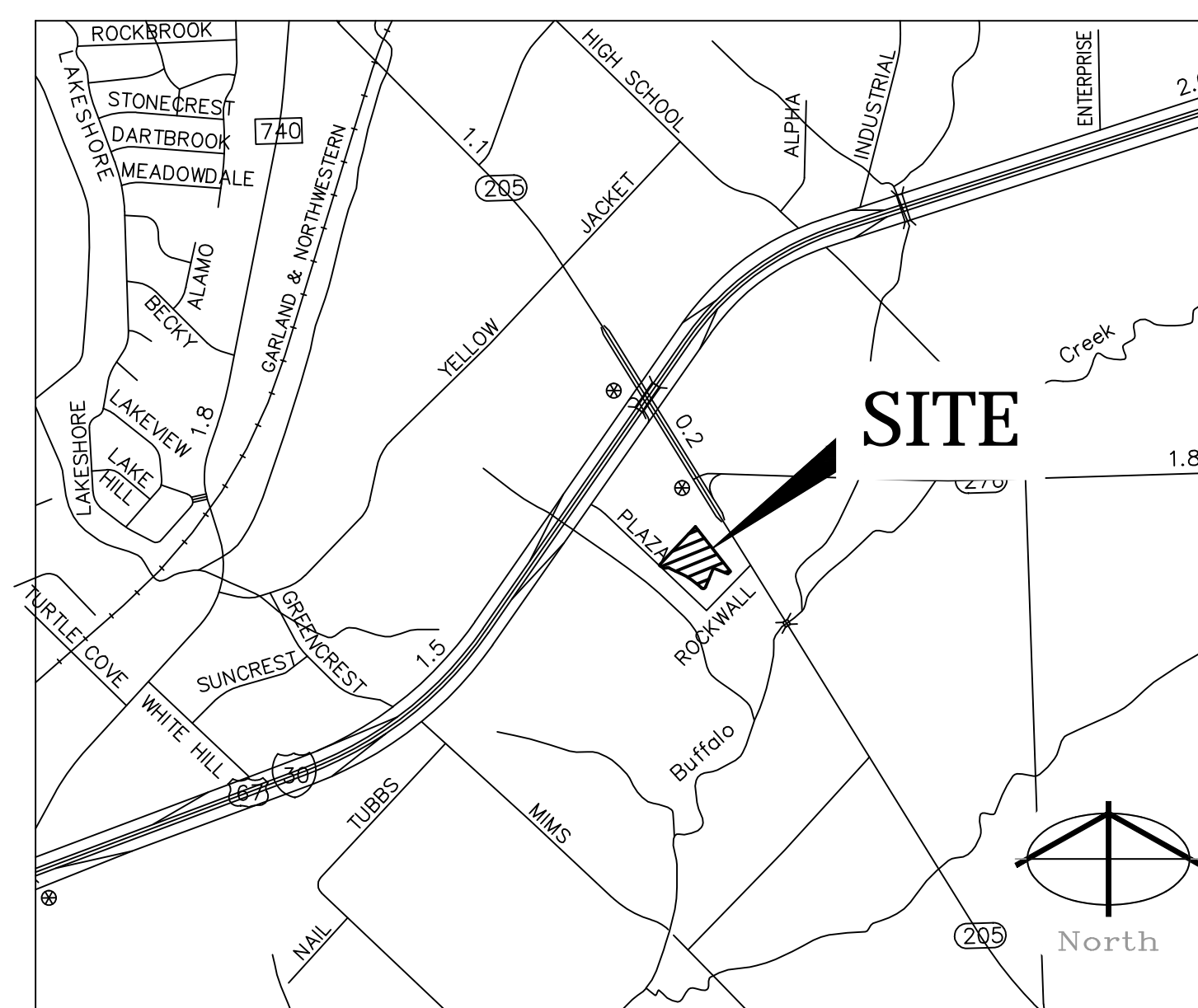
PLAZA AT ROCKWALL SHOPPING CENTER
 ROCKWALL, TEXAS



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Date	Issue
9-26-2014	BD/PERMIT
11-07-2014	CITY COMMENTS
12-04-2014	CITY COMMENTS
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Drawn By:
 Project No.: 14389



VICINITY MAP
 N.T.S.

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

SHEET INDEX	
SHEET NO.	SHEET TITLE
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C-1.0	SITE PLAN
C-1.1	GENERAL NOTES
C-1.2	DEMOLITION PLAN
C-2.1	PAVING PLAN
C-3.1	GRADING PLAN
C-4.1	EXISTING DRAINAGE AREA MAP
C-4.2	EXISTING DRAINAGE AREA MAP
C-4.3	PROPOSED DRAINAGE AREA MAP
C-4.4	STORM DRAINAGE PLAN
C-4.5	STORM DRAINAGE DETAILS
C-5.1	WATER & SEWER PLAN
C-6.1	EROSION CONTROL PLAN
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C-7.1	CONSTRUCTION DETAILS
LA-1	LANDSCAPE PLANTING PLAN
LA-2	LANDSCAPE SPECIFICATIONS AND DETAILS
LA-3	PLAZA LAYOUT AND GRADING PLAN
LA-4	PLAZA DETAILS AND NOTES
TP-1	TREE PRESERVATION PLAN

DEVELOPER:
 THE WOODMONT COMPANY
 CONTACT: KAREN JONES
 2100 W. 7TH STREET
 FT. WORTH, TX
 PH. (817) 732-4000
 FAX. (817) 735-4738

PREPARED BY:
BANNISTER
 ENGINEERING
 1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

RECORD DRAWINGS
 SEPTEMBER 2015

RECORD DRAWING
 TO THE BEST OF OUR KNOWLEDGE, BANNISTER ENGINEERING, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. IN THE EVENT THAT THE ORIGINAL DESIGN WAS MODIFIED IN THE FIELD WITHOUT THE ENGINEER'S KNOWLEDGE, THE SEAL OR SIGNATURE ON THIS DRAWING IS NOT INTENDED TO INDICATE THE ENGINEER'S APPROVAL OR ACCEPTANCE OF ANY SUCH DEVIATIONS FROM THE DESIGN.
 DATE: 09-25-15
 DAVID A. GREER, P.E. 109928

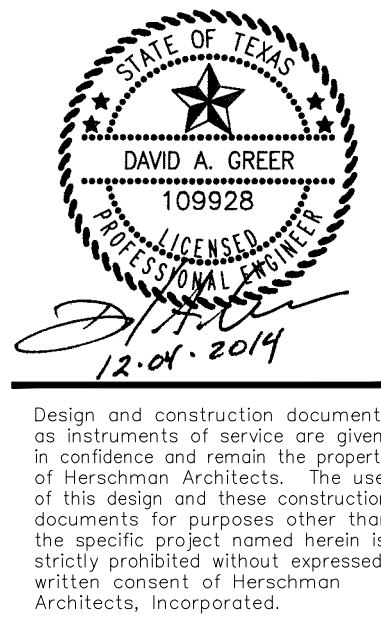
811
 Know what's below.
 Call before you dig.
 (@ least 48 hours prior to digging)

COVER SHEET
 RETAIL BUILDING
 PLAZA AT ROCKWALL SHOPPING CENTER
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX

HERSCHMAN
 ARCHITECTS
 INCORPORATED
 25001 EMERY ROAD, SUITE 400
 CLEVELAND, OH 44128
 TEL (216) 223-3200
 FAX (216) 223-3210
 www.herschmanarchitects.com

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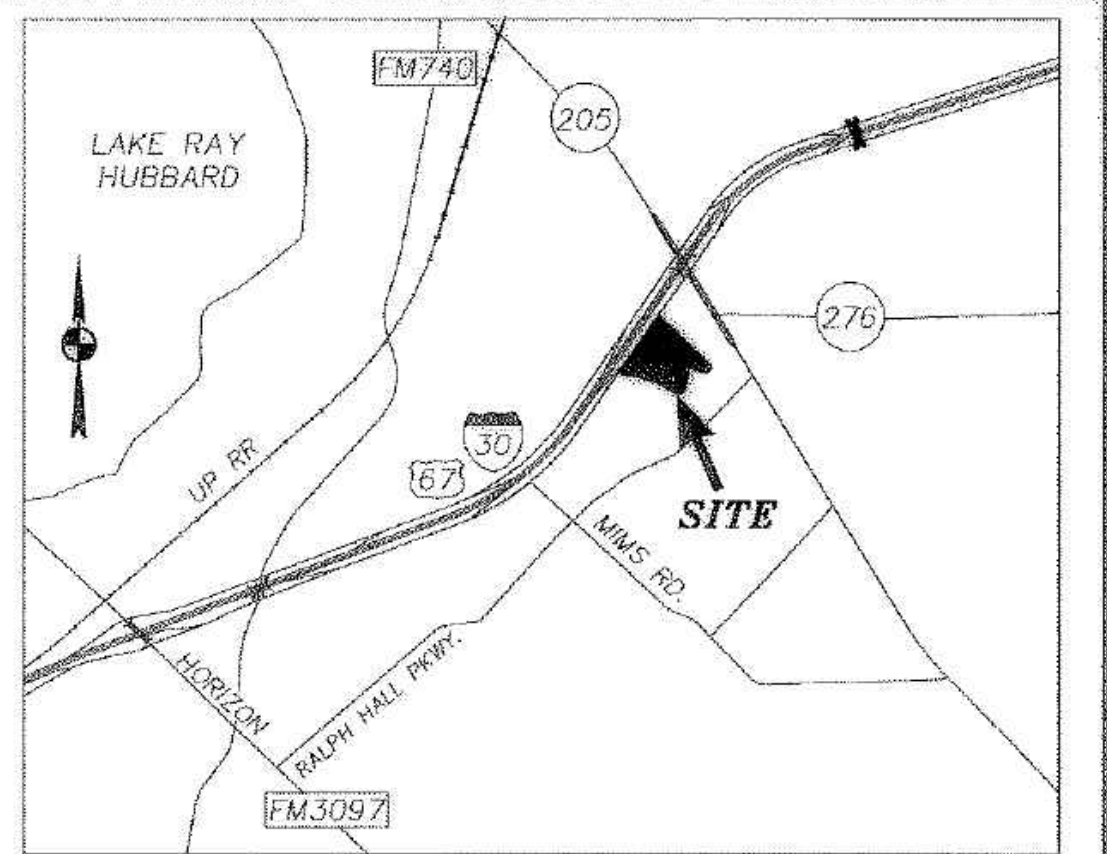
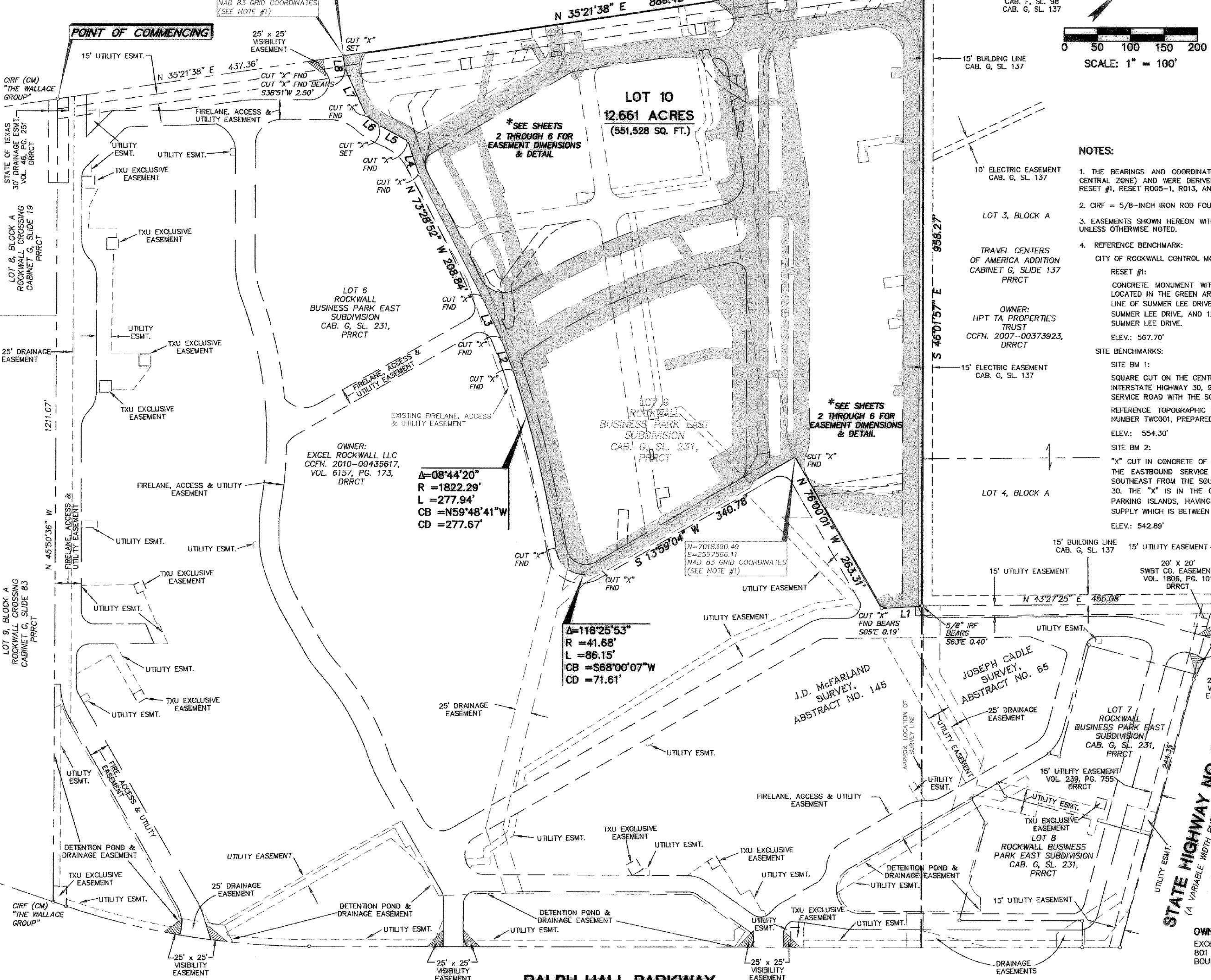
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LINE	BEARING	LENGTH
L1	S40°39'43"W	61.13'
L2	N66°56'25"W	50.26'
L3	N70°41'07"W	68.73'
L4	N64°37'04"W	52.69'
L5	S72°46'32"E	49.30'
L6	S81°03'24"W	24.67'
L7	N70°14'07"W	77.72'
L8	N54°38'22"W	18.49'



VICINITY MAP
(NOT TO SCALE)
MAPSCO 300-D

NOTES:

- THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM (NORTH CENTRAL ZONE) AND WERE DERIVED FROM GPS OBSERVATIONS OF THE CITY OF ROCKWALL CONTROL MONUMENT RESET #1, RESET RO05-1, R013, AND R019.
- CIRF = 5/8-INCH IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "THE WALLACE GROUP"
- EASEMENTS SHOWN HEREON WITHIN LOT 6 WERE DEDICATED BY THE PLAT RECORDED IN CABINET G, SLIDE 231 UNLESS OTHERWISE NOTED.
- REFERENCE BENCHMARK:
CITY OF ROCKWALL CONTROL MONUMENT:
RESET #1:
CONCRETE MONUMENT WITH BRASS CAP STAMPED RESET #1, CITY OF ROCKWALL THE MONUMENT IS LOCATED IN THE GREEN AREA SEPARATING A BANK AND AN OFFICE BUILDING, IN THE SOUTH RIGHT OF WAY LINE OF SUMMER LEE DRIVE, 272' ± WEST OF THE CENTERLINE INTERSECTION OF RIDGE ROAD (FM 740) WITH SUMMER LEE DRIVE, AND 120' ± SOUTH EAST OF THE CENTERLINE INTERSECTION OF LAGO VISTA LANE AND SUMMER LEE DRIVE.
ELEV.: 567.70'
SITE BENCHMARKS:
SITE BM 1:
SQUARE CUT ON THE CENTER OF A CURB INLET ON THE SOUTH SIDE OF THE EASTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30, 925' ± SOUTHWEST OF THE INTERSECTION OF INTERSTATE HIGHWAY 30 EASTBOUND SERVICE ROAD WITH THE SOUTHWEST RIGHT OF WAY LINE OF STATE HIGHWAY 205.
REFERENCE TOPOGRAPHIC SURVEY FOR LOT 9, ROCKWALL BUSINESS PARK EAST SUBDIVISION, PROJECT NUMBER TW0001, PREPARED BY JBI PARTNERS DATED FEBRUARY 2009.
ELEV.: 554.30'
SITE BM 2:
"X" CUT IN CONCRETE OF A PARKING ISLAND 1460' ± SOUTHWEST FROM THE CENTERLINE INTERSECTION OF THE EASTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30 AND STATE HIGHWAY 205, AND 630' ± SOUTHWEST FROM THE SOUTH RIGHT OF WAY OF THE EASTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30. THE "X" IS IN THE CENTER OF THE EASTERMOST PARKING ISLAND OF THE MAIN CONCOURSE OF PARKING ISLANDS, HAVING ARBORS AND 420' ± NORTH OF THE MAIN BUILDINGS WITH STAPLES OFFICE SUPPLY WHICH IS BETWEEN DICK'S SPORTING GOODS AND JC PENNY.
ELEV.: 542.89'

LEGEND

- CIRF 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY + PARTNERS" FOUND UNLESS OTHERWISE NOTED
- DRRCT DEED RECORDS, ROCKWALL COUNTY, TEXAS
- PRRCT PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- CCFN COUNTY CLERK'S FILE NUMBER
- CAB. CABINET
- SL. SLIDE
- (CM) CONTROL MONUMENT
- VOL. VOLUME
- PG. PAGE
- ESMT. EASEMENT
- FND FOUND
- LAND HOOK (DENOTES COMMON OWNERSHIP)
- EXISTING EASEMENTS TO BE ABANDONED BY THIS PLAT (UNLESS OTHERWISE NOTED)
- * SEE SHEETS 7-11

**LOT 10
ROCKWALL BUSINESS
PARK EAST SUBDIVISION**
BEING A REPLAT OF
LOT 9, OF
ROCKWALL BUSINESS PARK EAST SUBDIVISION
LOCATED IN THE
J.D. McFARLAND SURVEY, ABSTRACT NO. 145
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 7, 2010

OWNER:
EXCEL ROCKWALL LLC
801 NORTH 500 WEST, SUITE 201
BOUNTIFUL, UTAH 84010

SURVEYOR:
BURY + PARTNERS-DFW, INC.
5310 HARVEST HILL, SUITE 100
DALLAS, TEXAS 75230
PHONE: (972) 991-0011
CONTACT: DAVID J. DE WEIRD, R.P.L.S.

RALPH HALL PARKWAY
(A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

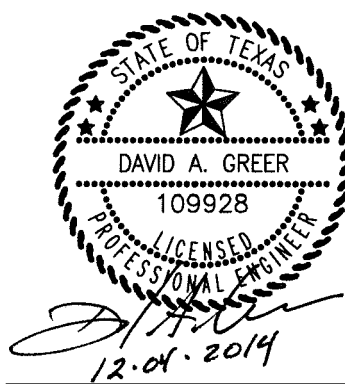
FOR REFERENCE ONLY

PLAT
RETAIL BUILDING
PLAZA AT ROCKWALL SHOPPING CENTER
INTERSTATE HIGHWAY 30
ROCKWALL, TX



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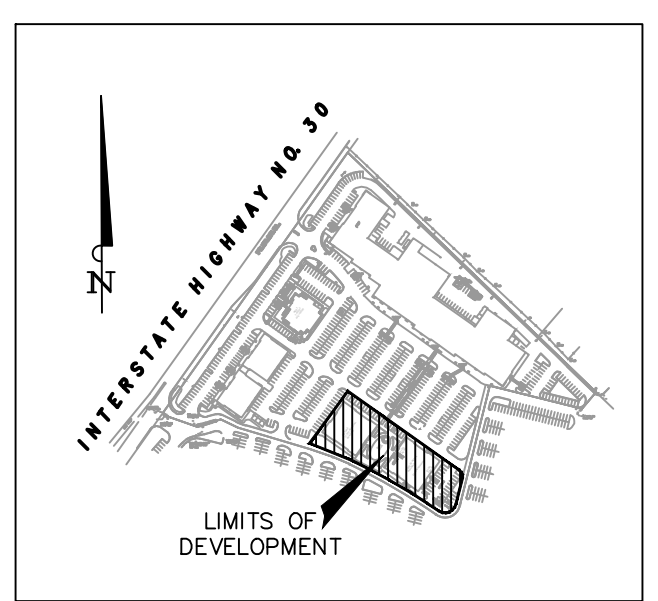
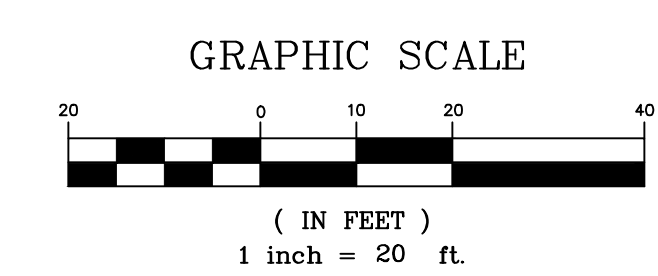
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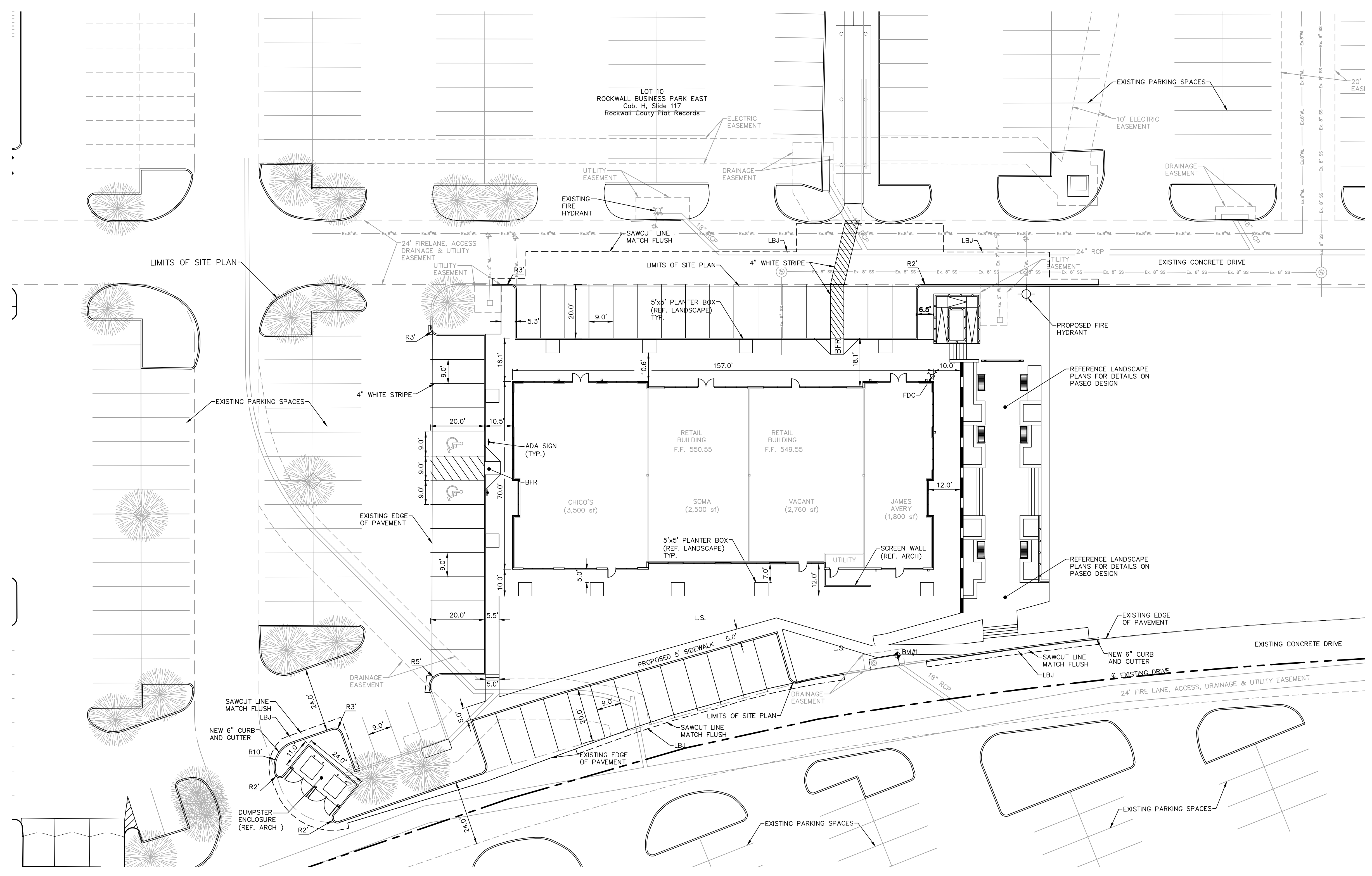
KEY MAP
N.T.S.

- NOTES:
- ALL SIDEWALKS AND/OR CURB RAMPS WITHIN THE ADJACENT PUBLIC RIGHT OF WAY MUST BE BUILT ACCORDING TO APPLICABLE STANDARDS OF THE CITY'S PUBLIC WORKS DEPARTMENT, AND A SIDEWALK PERMIT MUST BE PROCURED FROM THE ENGINEERING DIVISION.
 - ALL OUTDOOR LIGHTING SHALL BE FULLY SHIELDED.
 - THE STORAGE OF WASTE CONTAINERS SHALL MEET THE MINIMUM STANDARDS OF THE CITY'S SOLID WASTE DIVISION.
- BFR - BARRIER FREE RAMP
LS - LANDSCAPE AREA

RECORD DRAWING

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David A. Greer DATE: 09-25-15
DAVID A. GREER, P.E. 109928



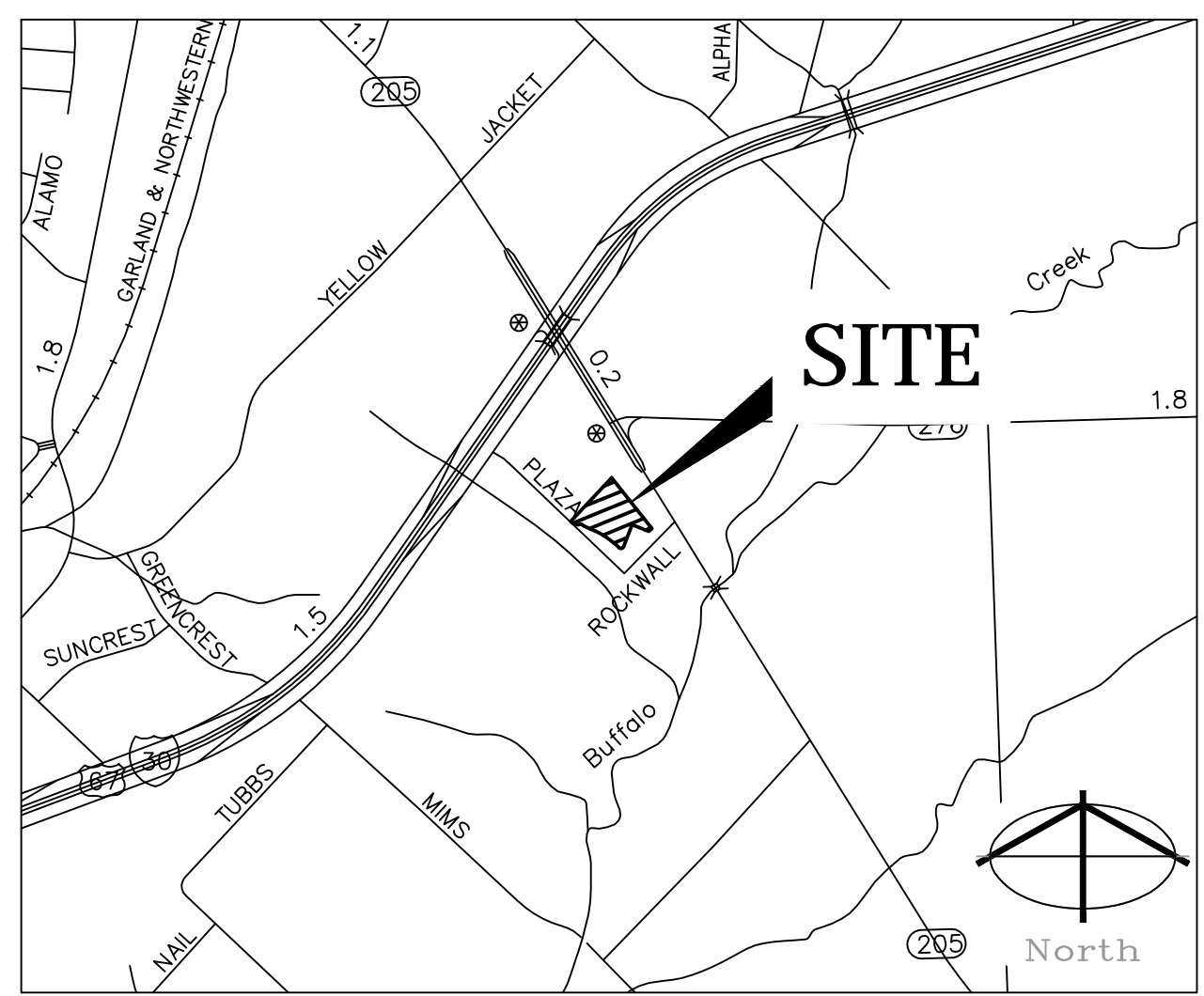
PHASE 1 AND 2 TOTALS:
TOTAL PARKING REQUIRED: 2,014 SPACES (1,740 RETAIL, 274 REST.)
EXISTING PARKING: 1,990 SPACES

CITY OF ROCKWALL SHARED PARKING REQUIREMENT.

Time of Day	Office	Retail	Restaurant	Total
6:00 a.m. - 12:00 noon	1.00x167= 167	0.97x 1,740=1,687	0.50x 274=137	1,824
12:00 noon - 1:00 p.m.	0.90x167= 150	1.00x 1,740=1,740	0.70x 274=192	1,932
1:00 p.m. - 4:00 p.m.	0.97x167= 163	0.97x 1,740=1,687	0.60x 274=164	1,851
4:00 p.m. - 6:00 p.m.	0.47x167= 78	0.82x 1,740=1,427	0.90x 274=246	1,673
6:00 p.m. - 8:00 p.m.	0.07x167= 12	0.89x 1,740=1,548	1.00x 274=274	1,822
8:00 p.m. - 12:00 midnight	0.03x167= 5	0.61x 1,740=1,061	1.00x 274=274	1,335

Per Parking Study - Plaza at Rockwall by Herchman Architects Dated 11-1-2012

BANNISTER ENGINEERING
1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)



VICINITY MAP

SITE SUMMARY TABLE

SITE DATA SUMMARY TABLE:

General Site Data:	
Zoning	Commercial
Land Use	Retail
Lot Area	74,465 sf (1.7095 ac)
Total Building Area (square feet)	10,650 sf
Building Height (stories)	1 story
Lot Coverage	14.3%
Floor Area Ratio	0.143:1
Landscape Area	33,644 sf
Landscape Percentage	45%

ENGINEER: BANNISTER ENGINEERING, LLC
1696 COUNTRY CLUB DRIVE
MANSFIELD, TX 76063
(817) 842-2094

OWNER: EXCEL ROCKWALL, LLC
801 NORTH 500 WEST, SUITE 201
BOUNTIFUL, UTAH 84010

SITE PLAN
for
ROCKWALL BUSINESS PARK EAST SUBDIVISION
INTERSTATE HIGHWAY NO. 30
Lot 10
City of Rockwall
Rockwall County, Texas

SITE PLAN
RETAIL BUILDING
PLAZA AT ROCKWALL SHOPPING CENTER
INTERSTATE HIGHWAY 30
ROCKWALL, TX

HERSCHMAN ARCHITECTS INCORPORATED
25001 EMERY ROAD, SUITE 400
CLEVELAND, OH 44128
TEL (216) 223-3200
FAX (216) 223-3210
www.herschmanarchitects.com

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GENERAL CONSTRUCTION NOTES

- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF ROCKWALL DESIGN STANDARDS. IF NO CITY STANDARD IS AVAILABLE, MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE "NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 3rd EDITION"
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL ITEMS DESCRIBED IN THE PLANS, SPECIFICATIONS, OR THE PROJECT NOTES IN THE PLANS SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID. NO EXTRA PAY WILL BE GIVEN UNLESS AN ITEM IS SPECIFICALLY DESCRIBED IN THE PLANS OR CONTRACT DOCUMENTS AS "PAY BY OWNER". ALL WORK SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS, IF ANY, ARE CONCEPTUAL.
- THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
- BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
- THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CITY INSPECTOR, CONTRACTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO PROVIDE AN INSTALLATION COMPLETE IN EVERY RESPECT. IF THE CONTRACT DOCUMENTS DO NOT SUFFICIENTLY DESCRIBE THE FINAL PRODUCT, THE CONTRACTOR SHALL BRING SUCH TO THE ATTENTION OF THE ENGINEER. UNLESS OTHERWISE SPECIFIED, IT IS THE CONTRACTORS RESPONSIBILITY FOR METHODOLOGY OF CONSTRUCTION TO COMPLETE THE WORK INDICATED OR SPECIFIED. CONTRACTOR IS TO PROVIDE SALES AND PROVIDE MATERIALS AND EQUIPMENT USUALLY FURNISHED WITH SUCH SYSTEMS OR REQUIRED TO COMPLETE THE INSTALLATION, WHETHER SPECIFICALLY MENTIONED OR NOT.
- CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS AND REGULATIONS, AS WELL AS ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL HEALTH AND SAFETY STANDARDS, LAWS, OR REGULATIONS. FAILURE TO COMPLY WITH THE REQUIREMENTS SPECIFIED SHALL BE CONSIDERED JUST AND SUFFICIENT CAUSE FOR OWNER TO STOP WORK.
- CONTRACTOR SHALL COMPLY WITH TEXAS HOUSE BILL 1569, EFFECTIVE SEPTEMBER 1, 1989, TO MAINTAIN A VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES AS WELL AS THE U.S. DEPARTMENT OF LABOR, OSHA, "CONT. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUB PART R, AND AMENDMENTS THERETO. SHEETING, SHORING, BRACING, AND OTHER TRENCH SAFETY COSTS SHALL BE SUBSIDIARY TO THE COST CONSTRUCTION (NO EXTRA PAY).

PAVING AND STRIPING NOTES

- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES REQUIRED FOR THE PROJECT SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (TMUTCD).
- RAISED PAVEMENT MARKERS SHALL BE BONDED TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR TO ENSURE PROPER CLEANING OF THE PAVEMENT SURFACE.
- ALL TRAFFIC STRIPING SHALL BE CHLORINATED RUBBER TRAFFIC PAINT OR APPROVED EQUAL.
- SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH CITY STANDARDS. THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE CITY PRIOR TO INSTALLATION.
- THE PAVING CONTRACTOR SHALL REFER TO THE IRRIGATION PLANS AND M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AND AROUND THE BUILDING AS SHOWN ON THE PLANS.
- FIRE LANES SHALL BE MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX (6) INCHES IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "NO PARKING FIRE LANE" OR "FIRE LANE NO PARKING" SHALL APPEAR IN FOUR (4) INCH WHITE LETTERS AT 20 FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANE.
- CURBS ADJACENT TO FIRE LANES SHALL BE PAINTED BRIGHT RED IN COLOR FROM THE CURB'S GUTTER LINE TO THE TOP, BACK OF CURB.
- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDUMS OR UPDATES.
- THE CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
- ANY EXISTING CONCRETE OR ASPHALT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- THE PAVING CONTRACTOR AND THE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTORS TO ENSURE THAT ALL UTILITY SERVICE CONNECTIONS AND CONDUITS ARE IN PLACE PRIOR TO BEGINNING ANY PAVING ACTIVITIES.

GRADING NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING ALL ASSOCIATED FEES FOR ANY REQUIRED GRADING PERMITS FROM THE CITY.
- THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.
- ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. ADD 6-INCHES TO SPOT GRADES SHOWN, FOR TOP OF CURB ELEVATIONS.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR FIELD ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE ARE ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING, IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES TO DETERMINE THEIR BID. ANY DEVIATION FROM A BALANCED CUT AND FILL SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND ANY VARIANCE SHALL BE SPECIFICALLY ITEMIZED ON THE BID. THE CONTRACTOR IS EXPECTED TO CONSTRUCT THE PROJECT PER THE APPROVED GRADING PLAN. DISCREPANCIES IN EARTHWORK QUANTITIES AFTER BEGINNING CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL AND STRUCTURAL PLANS AND SPECIFICATIONS FOR ALL BUILDING PADS.
- THE CONTRACTOR SHALL EXTEND THE BUILDING PAD PREPARATION 5- FEET BEYOND THE SLAB.
- ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR USING A SHEEP'S FOOT ROLLER.

WATER AND SANITARY SEWER NOTES

- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WHERE PROPOSED UTILITIES ARE BEING CONNECTED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES.
- ALL UTILITY CONSTRUCTION, WATER TAPS, VALVES, MANHOLES, AND SERVICES SHALL BE INSTALLED BY THE CONTRACTOR AFTER APPROVAL FROM THE CITY AND SHALL CONFORM TO ALL GUIDELINES AND REGULATIONS SET FORTH BY THE CITY FOR WATER AND SANITARY SEWER CONSTRUCTION.
- ALL FIRE LINES AND APPURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS. DESIGN AND INSTALLATION OF ALL FIRE PROTECTION SYSTEMS SHALL BE DONE BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
- ALL WATER MAINS 6"-12" DIA. SHALL MAINTAIN A MINIMUM COVER OF 48" UNDER UNPAVED FINISHED GRADE & 42" UNDER PROPOSED OR EXISTING PAVEMENT. ALL SEWER MAINS SHALL MAINTAIN A MINIMUM COVER OF 42".
- ALL SANITARY SEWER LINES SHALL BE A MINIMUM OF PVC (SDR-35) PIPE. ALL SANITARY SEWER LINES DEEPER THAN 10 FEET SHALL BE SDR-26. ALL WATER LINES SHALL BE CLASS 200 DR14.
- THE CONTRACTOR SHALL SEQUENCE CONSTRUCTION TO AVOID INTERRUPTION OF WATER AND SANITARY SEWER SERVICE TO SURROUNDING AREAS.
- EXISTING AND/OR PROPOSED WATER MAINS SHALL BE LOWERED BELOW OR ABOVE PROPOSED SANITARY AND STORM SEWER LINES TO MAINTAIN A MINIMUM OF 2.0 FEET OF VERTICAL SEPARATION. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 9'-FEET (OUTSIDE TO OUTSIDE) SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS.
- EXISTING MANHOLE TOPS, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER UTILITY APPURTENANCES SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES AS SHOWN ON GRADING PLAN. S.S. MANHOLES IN UNPAVED AREAS SHALL BE ADJUSTED TO BE 6" ABOVE GRADE.
- FOR EACH SEWER AND WATER CROSSING, CONTRACTOR SHALL CENTER ONE JOINT OF SEWER PIPE ON THE EXISTING OR PROPOSED WATER MAIN.
- FIRE HYDRANT CONNECTIONS SHALL BE 4'-7" FROM THE BACK OF CURB / FIRELANE AND NO LESS THAN 18", OR NO MORE THAN 48" ABOVE GRADE.
- ALL VALVES AND FITTINGS SHALL HAVE MEGALUG ANCHORS.
- THE CONTRACTOR SHALL INSTALL CONCRETE COLLARS (OR OTHER APPROVED MEANS) ON THE UNDERGROUND UTILITIES, TO PREVENT GROUND WATER FROM MIGRATING IN THE UTILITY TRENCH, BELOW THE BUILDING SLAB.
- ALL WATER AND SANITARY SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING, UNLESS OTHERWISE NOTED, AND THE END OF THESE SERVICES SHALL BE TIGHTLY PLUGGED OR CAPPED. SEE M.E.P. OR ARCHITECTURAL PLANS FOR CONTINUATION.
- ALL WATER LINES SHALL BE CLASS 200 DR14.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND PERMANENT SOIL STABILIZATION IS ACHIEVED.
- CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED (OR SODDED), IRRIGATED, AND MAINTAINED UNTIL PERMANENT STABILIZATION OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING. LANDSCAPE AREAS OUTSIDE OF PARKING SHALL BE STABILIZED IMMEDIATELY AFTER PARKING PLACEMENT. FAILURE TO BEGIN STABILIZATION OF THESE AREAS MAY RESULT IN DELAYS FOR BUILDING PAD.
- THE CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL POINTS OF CONSTRUCTION ACCESS TO THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE. SEDIMENTS TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROL DEVICES SHALL BE REPAIRED OR REPLACED AS INSPECTION DEMES NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.

TRAFFIC CONTROL NOTES


- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, AT LEAST 48 HOURS PRIOR TO ANY WORK IN A PUBLIC RIGHT-OF-WAY, SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS.
- ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
- THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
- ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL PERMANENT TRAFFIC CONTROL MEASURES, SIGNS, AND PAVEMENT MARKINGS REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.
- TRAFFIC BARRICADES WILL BE REQUIRED AT ALL PROPOSED DRIVEWAY CONNECTIONS TO STREETS. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN IN THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
- CONTRACTOR SHALL OBTAIN LANE CLOSURE PERMITS WHEN LANE CLOSURES ARE REQUIRED.
- CONTRACTOR SHALL COVER STREET EXCAVATIONS WITH ADEQUATELY ANCHORED STEEL PLATES DURING NONWORKING HOURS AND OPEN LANES OF TRAFFIC FLOW.
- APPROVED COPIES OF "TRAFFIC CONTROL PLANS" AND LANE/SIDEWALK CLOSURE PERMITS SHALL BE AVAILABLE FOR INSPECTION AT JOB SITE AT ALL TIMES.

GAS, ELECTRIC, TELEPHONE NOTES:

- CONTRACTOR SHALL CONTACT FRANCHISE UTILITY COMPANIES PRIOR TO CONSTRUCTION, IN ORDER TO LOCATE AND/OR DISCONNECT EXISTING SERVICES, AND TO COORDINATE NEW SERVICE.
- ANY PROPOSED FRANCHISE UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE CONCEPTUAL ONLY. THE CONTRACTOR SHALL COORDINATE THE EXACT DESIGN, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH THE INDIVIDUAL UTILITY PROVIDERS AND THE PROJECT OWNER.
- THE CONTRACTOR SHALL INCLUDE IN THE BASE BID, ALL ASSOCIATED COSTS TO INSTALL FRANCHISE UTILITY (GAS, ELEC, PHONE, CABLE) SERVICE TO THE PROPOSED BUILDING. THE CONTRACTOR SHALL ESTABLISH ADEQUATE LEAD TIME IN THEIR CONSTRUCTION SCHEDULE FOR COORDINATING AND PROCURING FRANCHISE UTILITY SERVICES.

ACCESSIBILITY NOTES

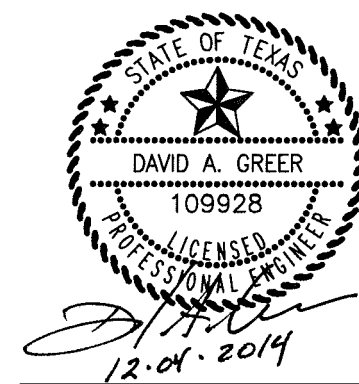
- IT IS THE ENGINEER'S INTENT THAT SURFACES AT ACCESSIBLE PARKING SPACES, AT DROP OFF AND PICK UP AREAS, ALONG ACCESSIBLE ROUTES, AND AT BUILDING ENTRANCES OR EXITS ARE CONSTRUCTED SUCH THAT THOSE SURFACES SHALL HAVE A SLOPE NOT GREATER THAN 2.00% IN ANY DIRECTION AND NOT LESS THAN 1.00% IN THE DIRECTION OF STORM WATER RUNOFF. HOWEVER, LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTES MAY BE INCREASED TO NOT MORE THAN 5.00% IF SO INDICATED BY THE ENGINEER'S GRADING PLAN.
- IN CASE OF DISCREPANCY WITH SPOT ELEVATIONS OR ELEVATION CONTOURS, THE ENGINEER'S INTENT DESCRIBED IN THIS NOTE SHALL GOVERN. THE CONTRACTOR SHALL CONSTRUCT THE IMPROVEMENTS IN COMPLIANCE WITH THE ENGINEER'S INTENT AS DESCRIBED IN THIS NOTE UNLESS THE CONTRACTOR HAS COORDINATED WITH THE ENGINEER AND RECEIVED WRITTEN AUTHORIZATION TO PROCEED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS A PART OF THE CONTRACTOR'S CONSTRUCTION OVSIGHT, TO THOROUGHLY REVIEW ALL PROPOSED SLOPES AND ELEVATIONS PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLAN DISCREPANCIES OR DISCREPANCIES BETWEEN THE PLANS AND THE RULE DESCRIBED IN "ACCESSIBILITY NOTE 1"; PRIOR TO CONSTRUCTION, AND THE CONTRACTOR SHALL ALLOW THE ENGINEER TIME TO REVIEW THE PLANS AND MAKE REVISIONS IF NECESSARY.
- THE ENGINEER'S PLANS HAVE BEEN PREPARED WITHOUT THE BENEFIT OF DETAILS REGARDING THE THRESHOLD TO BE INSTALLED AT BUILDING INGRESS/EGRESS LOCATIONS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE ARCHITECT OF THE BUILDING TO ENSURE THAT ELEVATION DIFFERENCES BETWEEN THE BUILDING'S FINISHED FLOOR, THE THRESHOLD, AND THE FLATWORK ADJACENT TO THE BUILDING ARE IN COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY REQUIREMENTS.
- THE CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL LOCATIONS.
- IT IS IMPERATIVE THAT THE CONTRACTOR COORDINATE ACCESSIBILITY CONCERNS WITH THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTING THE IMPROVEMENTS. IF THE CONTRACTOR FAILS TO ADEQUATELY COORDINATE WITH THE ENGINEER AND THE ARCHITECT PRIOR TO CONSTRUCTING IMPROVEMENTS, ANY EXTRA COSTS TO RECTIFY ACCESSIBILITY ISSUES WILL BE AT CONTRACTOR'S SOLE EXPENSE, AND THE CONTRACTOR SHALL, WITH NO EXTRA PAY, PERFORM RE-WORK SUCH AS DEMOLITION, REMOVAL, RE-GRADING, AND REPLACEMENT OF ANY CONCRETE, ASPHALT, COMPACTED EARTH OR OTHER SURFACES, AND ALL OTHER RELATED IMPROVEMENTS, WHICH HAVE BEEN CONSTRUCTED BY CONTRACTOR OR CONTRACTOR'S SUB-CONTRACTOR THAT DO NOT COMPLY WITH ALL APPLICABLE CODES AND ACCESSIBILITY REQUIREMENTS.

RECORD DRAWING	
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	DATE: 09-25-15
DAVID A. GREER, P.E. 109928	

BENCHMARKS

BM#1: BRASS CAP ON CURB INLET N: 7018174.91 E: 2597215.39	ELEV.=543.92
BM#2: BRASS DISK ON AREA INLET N: 7018140.75 E: 2597447.86	ELEV.=541.39

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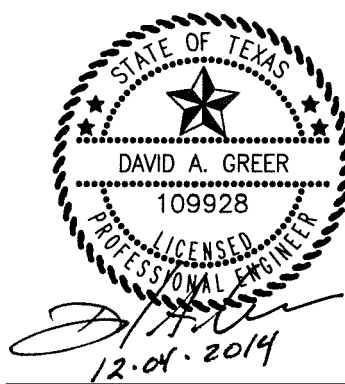
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Date	Issue
9-26-2014	BD/PERMIT
11-07-2014	CITY COMMENTS
12-04-2014	CITY COMMENTS

Drawn By:

Project No.: 14389

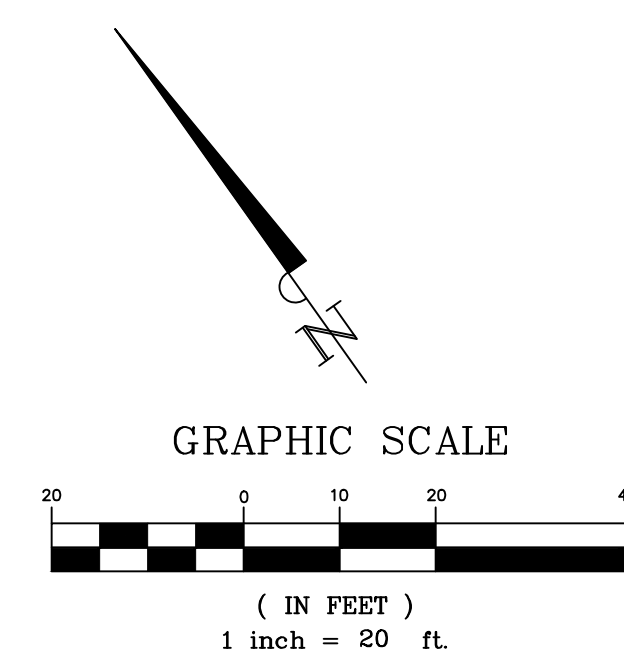
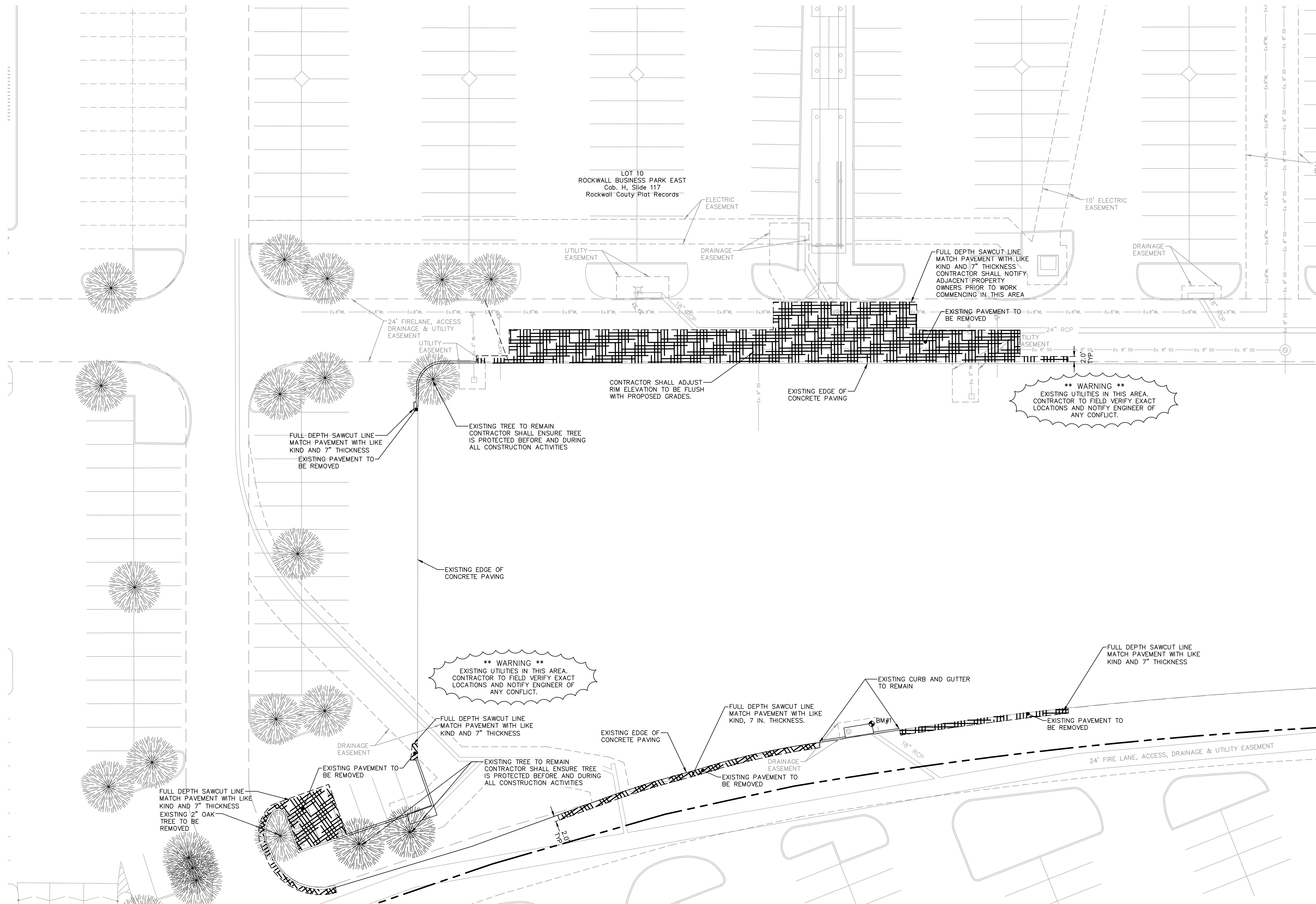
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LEGEND

	CONTRACTOR TO REMOVE EXISTING CONCRETE DRIVES
	SAWCUT LINE

- NOTES**
- CONTRACTOR IS RESPONSIBLE TO REMOVE ITEMS INDICATED ON THIS PLAN. THIS INCLUDES DEMOLISHING AND REMOVAL OF INDICATED IMPROVEMENTS. ITEMS TO BE DEMOLISHED INCLUDE, BUT ARE NOT LIMITED TO, BUILDINGS, STRUCTURES, PAVEMENTS, UTILITIES, EQUIPMENT, AND MISCELLANEOUS ITEMS. CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE WITH THE SITE PRIOR TO BIDDING THE PROJECT TO FIELD VERIFY EXTENTS OF THE WORK. CONTACT THE ARCHITECT TO MAKE ARRANGEMENTS FOR VISITING THE SITE.
 - REFER TO SHEET C-1.1 FOR ADDITIONAL NOTES.
 - REFER TO PAVING, STORM DRAIN, UTILITY, AND LANDSCAPE PLANS FOR ADDITIONAL DETAILS.
 - CONTRACTOR SHALL HAUL OFF AND DISPOSE IN A LAWFUL MANNER ALL DEBRIS AND TRASH GENERATED FROM REMOVAL OF BUILDINGS, PAVEMENT, UTILITIES, EQUIPMENT, TREES, AND ETC.
 - FOR ALL UTILITIES TO BE ABANDONED, CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY OWNER AND WHERE POSSIBLE CAP THE UTILITY AT THE PROPERTY LINE.
 - THE ENTIRE SITE IS TO BE SOEDED. NO HYDRO-MULCH AND NO OPTION FOR THE GENERAL CONTRACTOR TO PROVIDED ONE OR THE OTHER.
 - SEE LANDSCAPE PLAN FOR TREES TO BE REMOVED.
- ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ACCURACY OF DESIGN.

RECORD DRAWING

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DAVID A. GREER DATE: 09-25-15
DAVID A. GREER, P.E. 109928

BENCHMARKS

BM#1: BRASS CAP ON CURB INLET N: 7018174.91 E: 2597215.39	ELEV.=543.92
BM#2: BRASS DISK ON AREA INLET N: 7018140.75 E: 2597447.86	ELEV.=541.39

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REGISTRATION # F-10599 (TEXAS)

DEMOLITION PLAN
RETAIL BUILDING
PLAZA AT ROCKWALL SHOPPING CENTER
INTERSTATE HIGHWAY 30
ROCKWALL, TX

HERSCHMAN ARCHITECTS INCORPORATED
25001 EMERY ROAD, SUITE 400
CLEVELAND, OH 44128
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C-1.2

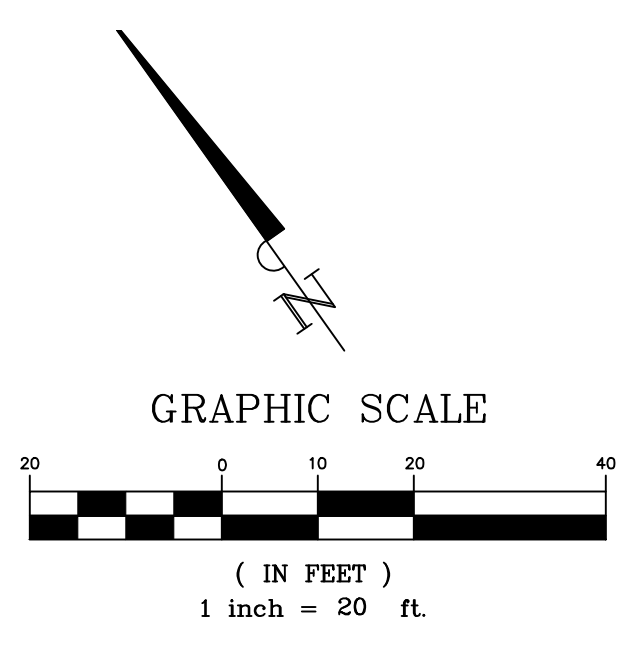
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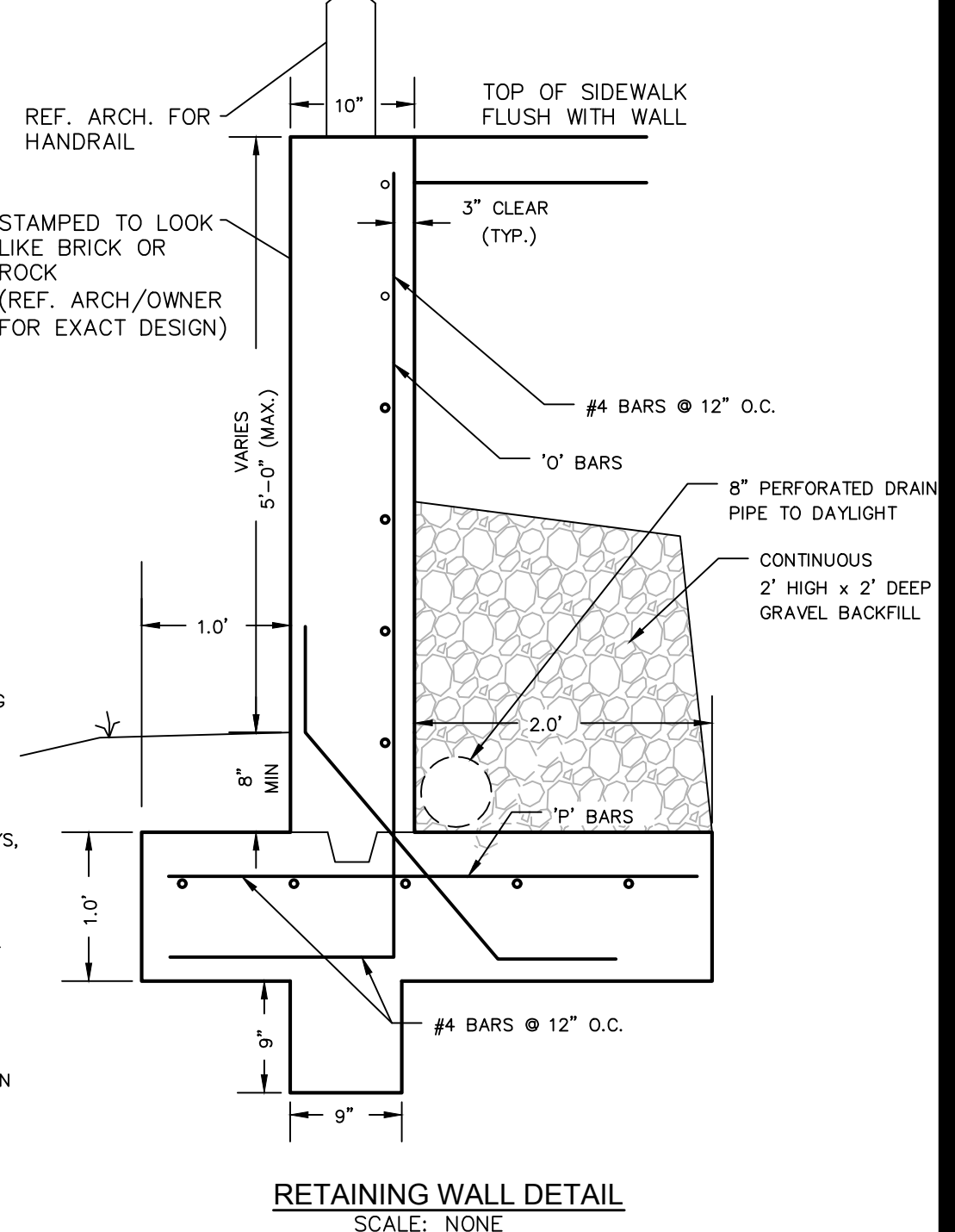
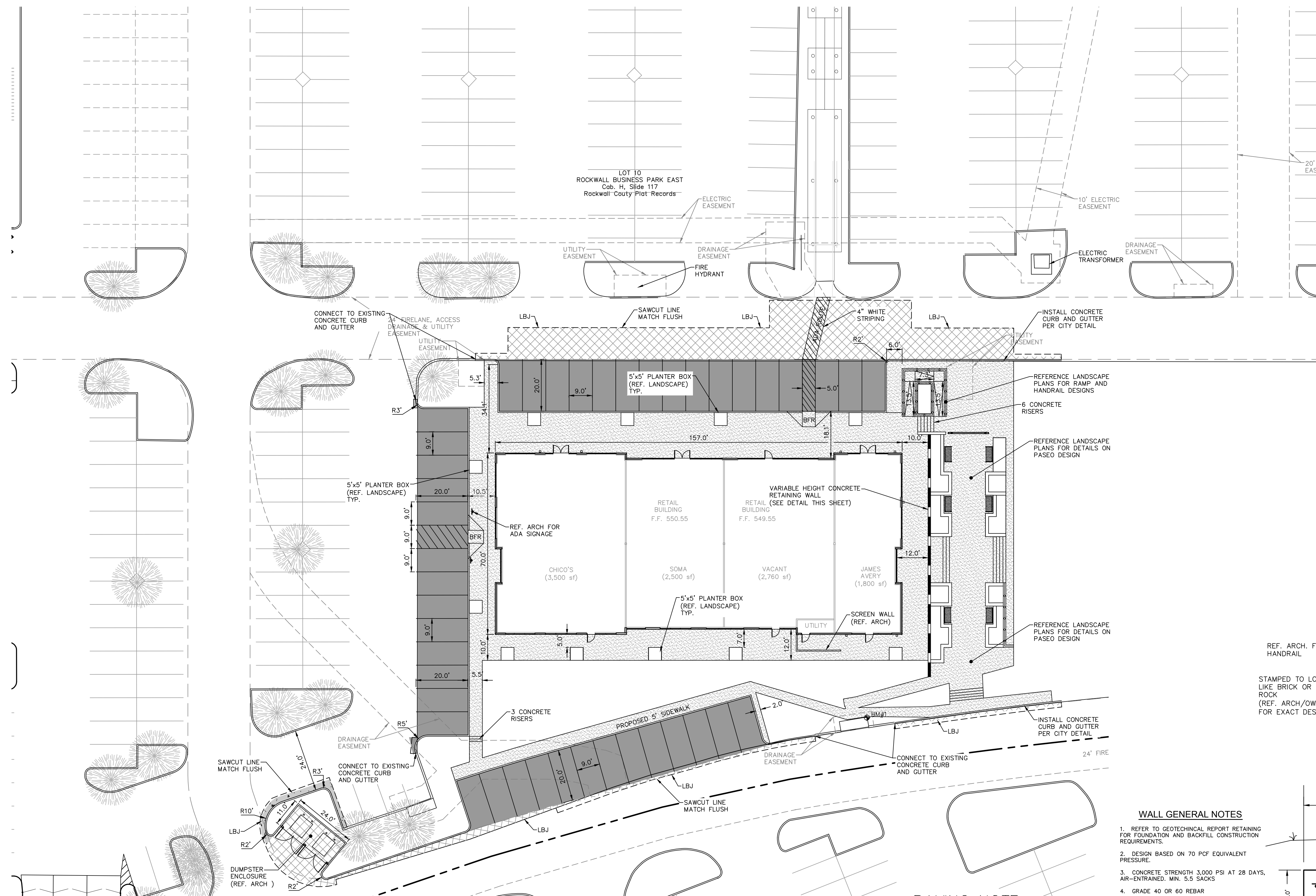
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LEGEND

	7" FIRE LANE CONCRETE PAVEMENT PER CITY STANDARDS 3,600 psi ~ MINIMUM 6.5 SACK
	6" CONCRETE PAVEMENT 3,600 psi ~ MINIMUM 6.5 SACK
	5" CONCRETE PAVEMENT 3,600 psi ~ MINIMUM 6.5 SACK
	4" SIDEWALK/FLATWORK 3,000 psi ~ MINIMUM 5.5 SACK
LBJ	LONGITUDINAL BUTT JOINT
	DENOTES BLUE PLACARD HANDICAP STALLS
---	FULL-DEPTH SAWCUT

- ### NOTES
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - SEE ARCHITECTURAL PLANS FOR ALL SIDEWALKS AND FLATWORK ADJACENT TO BUILDING.
 - REFER TO SHEET C-7.1 FOR DETAILS.
 - CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
 - CONTRACTOR SHALL REFERENCE ALL IRRIGATION, MEP SITE PLANS, AND CIVIL ENGINEERING UTILITY PLANS FOR INFORMATION REGARDING SLEEVES BENEATH PAVEMENT.
 - FIRELANE STRIPING TO BE INSTALLED AT ALL NECESSARY AREAS IF REMOVED OR NEEDED TO BE MAINTAINED.



- ### WALL GENERAL NOTES
- REFER TO GEOTECHNICAL REPORT RETAINING FOR FOUNDATION AND BACKFILL CONSTRUCTION REQUIREMENTS.
 - DESIGN BASED ON 70 PCF EQUIVALENT PRESSURE.
 - CONCRETE STRENGTH 3,000 PSI AT 28 DAYS, AIR-ENTRAINED, MIN. 5.5 SACKS.
 - GRADE 40 OR 60 REBAR.
 - PROVIDE VERTICAL CONSTRUCTION/CONTROL JOINTS AT 12 FEET, O.C.
 - PROVIDE PERFORATED DRAIN TO DAYLIGHT OR WEEP HOLES AT 6 FEET, O.C.
 - CONTRACTOR SHALL ENGAGE LICENSED STRUCTURAL ENGINEER TO CERTIFY WALL DESIGN PRIOR TO CONSTRUCTION.
 - RETAINING WALL WILL REQUIRE A LETTER FROM DESIGN ENGINEER (SIGNED/SEALED) THAT THE WALL WAS INSPECTED AND BUILT PER DESIGN PRIOR TO ENGINEERING ACCEPTANCE.

PAVING NOTE

ALL PAVEMENT SHALL BE CONSTRUCTED PER PROJECT GEOTECHNICAL REPORT PREPARED BY TOLONAY-WONG ENGINEERS, Inc (PROJECT# 10.63.011, DATED AUGUST, 2010)

7" PORTLAND CEMENT CONCRETE PAVING SHALL BE USED FOR THE FIRE LANE AND DUMPSTER APRON AND 6" PORTLAND CEMENT CONCRETE PAVING SHALL BE USED FOR DRIVE AISLES. 5" PORTLAND CEMENT CONCRETE SHALL BE USED FOR PARKING AREAS. CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3,600 PSI (PARKING LOTS) AND 3,600 PSI (FIRE LANE, TRUCK AND DUMPSTER AREAS). IT SHOULD CONTAIN A MINIMUM OF 5 ± 1 PERCENT ENTRAINED AIR AND SHALL BE REINFORCED WITH MINIMUM #3 BARS @ 18" O.C.E.W.

REF. GEOTECH REPORT FOR SUBGRADE PREPARATION. (NO SAND UNDER PAVING)

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David A. Greer DATE: 12-25-15
DAVID A. GREER, P.E. 109928

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PAVING PLAN
 RETAIL BUILDING
 PLAZA AT ROCKWALL SHOPPING CENTER
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX

HERSCHMAN ARCHITECTS INCORPORATED

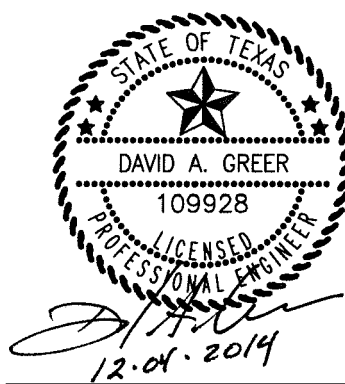
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C-2.1

BANNISTER ENGINEERING

1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

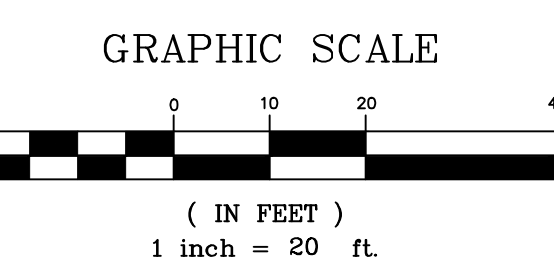
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Date	Issue
9-26-2014	BD/PERMIT
11-07-2014	CITY COMMENTS
12-04-2014	CITY COMMENTS

Drawn By: _____
Project No.: 14389



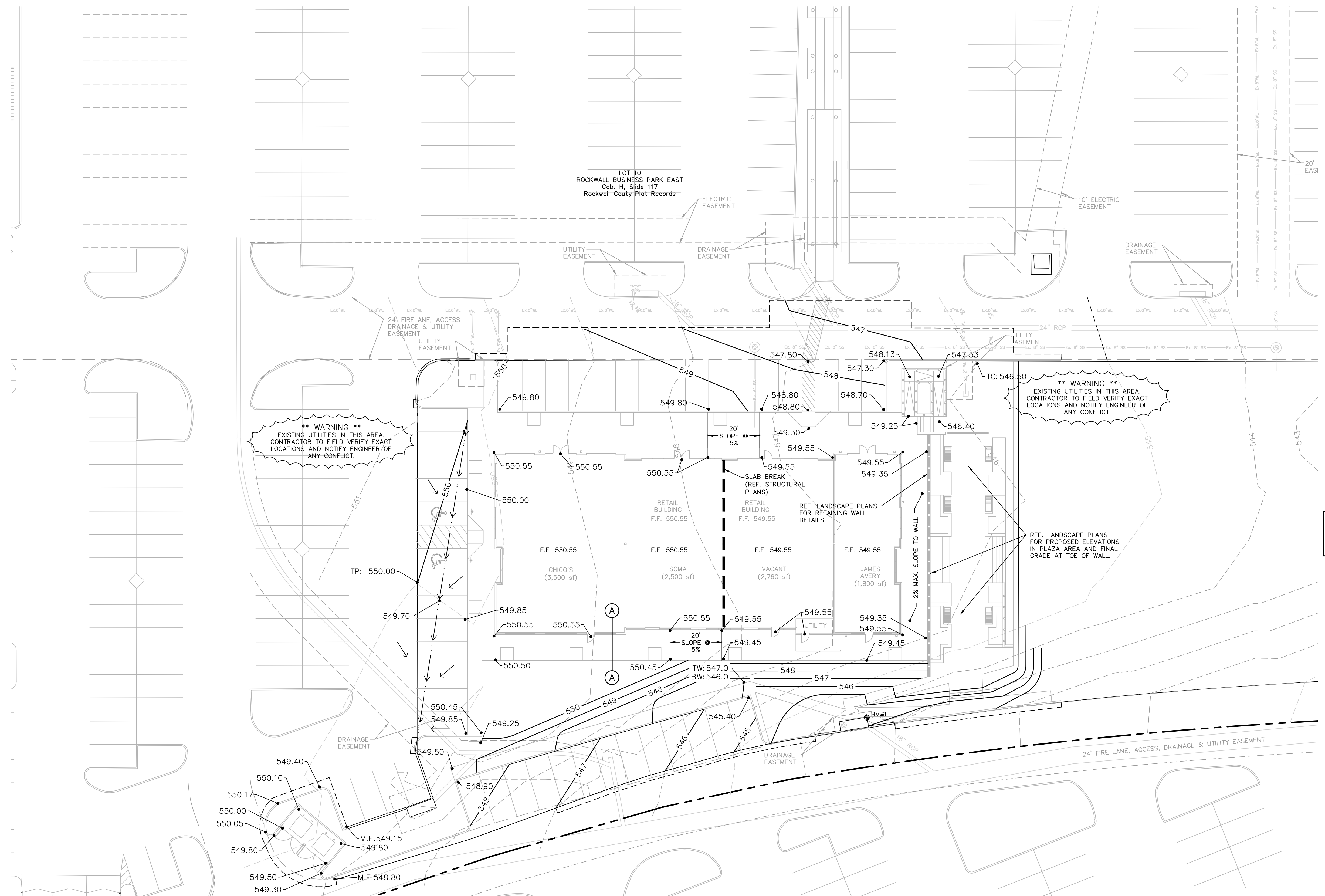
GRADING LEGEND

- ADA ACCESS ROUTE
- EXISTING CONTOUR
- PROPOSED CONTOURS
- DIRECTION OF FLOW
- TOP OF PAVEMENT OR PROPOSED GRADE
- MATCH EXISTING

NOTES:

- ALL SLOPES WITHIN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS. ALL SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5.0% LONGITUDINALLY AND 2.0% IN CROSS-SLOPE.
- ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT (GUTTER LINE) UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB.
- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
- MAXIMUM SLOPE SHALL BE 3:1.

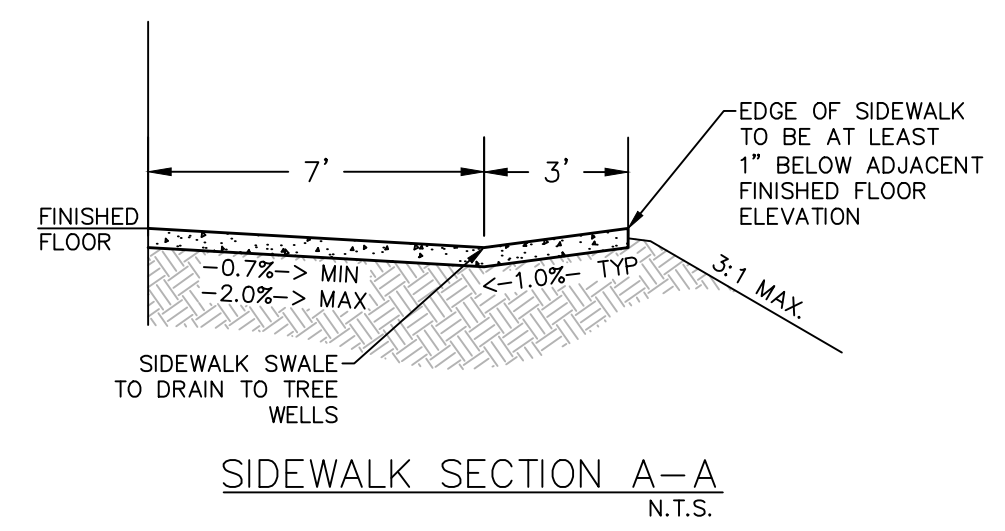
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**** WARNING ****
EXISTING UTILITIES IN THIS AREA. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS AND NOTIFY ENGINEER OF ANY CONFLICT.

**** WARNING ****
EXISTING UTILITIES IN THIS AREA. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS AND NOTIFY ENGINEER OF ANY CONFLICT.

REF. LANDSCAPE PLANS FOR PROPOSED ELEVATIONS IN PLAZA AREA AND FINAL GRADE AT TOE OF WALL.



RECORD DRAWING

TO THE BEST OF OUR KNOWLEDGE, BANNISTER ENGINEERING, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THE INFORMATION PROVIDED IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. IN THE EVENT THAT THE ORIGINAL DESIGN WAS MODIFIED IN THE FIELD WITHOUT THE ENGINEER'S KNOWLEDGE, THE SEAL OR SIGNATURE ON THIS DRAWING IS NOT INTENDED TO INDICATE THE ENGINEER'S APPROVAL OR ACCEPTANCE OF ANY SUCH DEVIATIONS FROM THE DESIGN.

DAVID A. GREER DATE: 09-25-15
DAVID A. GREER, P.E. 109928

BENCHMARKS

BM#1: BRASS CAP ON CURB INLET N: 7018174.91 E: 2597215.39	ELEV. = 543.92
BM#2: BRASS DISK ON AREA INLET N: 7018140.75 E: 2597447.86	ELEV. = 541.39



Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

GRADING PLAN
 RETAIL BUILDING
 PLAZA AT ROCKWALL SHOPPING CENTER
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX



HERSCHMAN ARCHITECTS
INCORPORATED

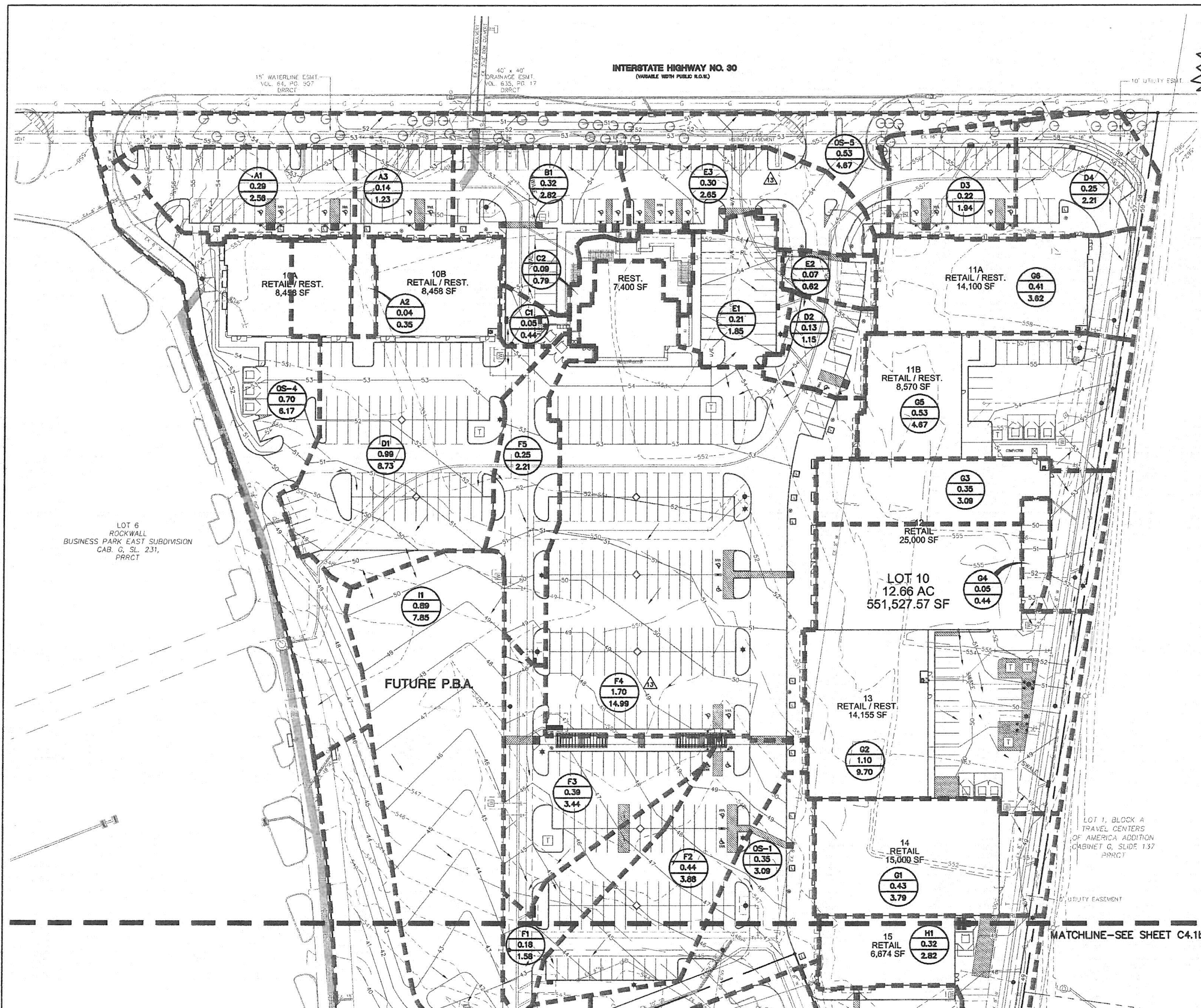
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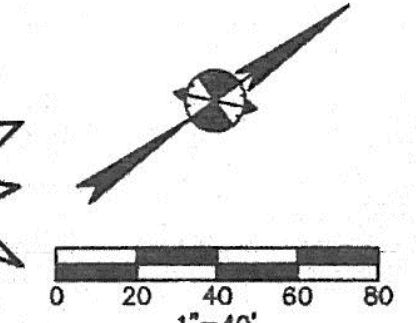
BANNISTER ENGINEERING

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CAUTION!!
CONTRACTOR IS TO CONTACT TEXAS ONE-CALL SYSTEM (1-800-245-1546) OR OTHER UTILITY LOCATING SERVICES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITIES. BURY & PARTNERS IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES IN THE PROJECT AREA NOR FOR DEPICTING THE EXACT LOCATIONS OF UTILITIES ON THESE DRAWINGS.



LEGEND

A1	1.00	DRAINAGE AREA DESIGNATION
1.00	8.00	DRAINAGE AREA (ACRES)
---	---	DRAINAGE AREA BOUNDARY
→	→	DIRECTION OF FLOW

DRAINAGE AREA CALCULATIONS

DRAINAGE AREA	AREA (ACRES)	Tp (MIN)	C (ULT.)	100 (IN/HR)	Q100 (CFS)
A1	0.29	10	0.90	9.80	2.56
A2	0.04	10	0.90	9.80	0.35
A3	0.14	10	0.90	9.80	1.23
B1	0.32	10	0.90	9.80	2.82
C1	0.05	10	0.90	9.80	0.44
C2	0.09	10	0.90	9.80	0.79
D1	0.99	10	0.90	9.80	8.73
D2	0.13	10	0.90	9.80	1.15
D3	0.22	10	0.90	9.80	1.94
D4	0.25	10	0.90	9.80	2.21
E1	0.21	10	0.90	9.80	1.85
E2	0.07	10	0.90	9.80	0.62
E3	0.30	10	0.90	9.80	2.65
E4	0.06	10	0.90	9.80	0.53
E5	0.06	10	0.90	9.80	0.53
E6	0.03	10	0.90	9.80	0.28
F1	0.18	10	0.90	9.80	1.58
F2	0.44	10	0.90	9.80	3.68
F3	0.39	10	0.90	9.80	3.44
F4	1.70	10	0.90	9.80	14.99
F5	0.25	10	0.90	9.80	2.21
G1	0.43	10	0.90	9.80	3.79
G2	1.10	10	0.90	9.80	9.70
G3	0.35	10	0.90	9.80	3.09
G4	0.05	10	0.90	9.80	0.44
G5	0.53	10	0.90	9.80	4.67
G6	0.41	10	0.90	9.80	3.62
H1	0.32	10	0.90	9.80	2.82
I1	0.89	10	0.90	9.80	7.85
OS-1	0.35	10	0.90	9.80	3.09
OS-2	0.55	10	0.90	9.80	4.85
OS-3	0.55	10	0.90	9.80	4.85
OS-4	0.70	10	0.90	9.80	6.17
OS-5	0.53	10	0.90	9.80	4.67

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CITY OF ROCKWALL CONTROL MONUMENT RESET #1 = 557.70'
CONCRETE MONUMENT WITH BRASS CAP STAMPED RESET #1, CITY OF ROCKWALL. THE MONUMENT IS LOCATED IN GREEN AREA SEPARATING A BANK AND AN OFFICE BUILDING, IN THE SOUTH RIGHT OF WAY LINE OF SUMMER LEE DRIVE, 272'± WEST OF THE CENTERLINE INTERSECTION OF RIDGE ROAD (CA 740) WITH SUMMER LEE DRIVE, AND 120'± SOUTHEAST OF THE CENTERLINE INTERSECTION OF LAO VISTA AND SUMMER LEE DRIVE.

BM #1 = 554.30'
SQUARE OUT ON THE CENTER OF A CURB INLET ON THE SOUTH SIDE OF EASTBOUND SERVICE ROAD FOR INTERSTATE HIGHWAY 30, 925'± SOUTHWEST OF THE INTERSECTION OF INTERSTATE HIGHWAY 30 EASTBOUND SERVICE ROAD WITH THE SOUTHWEST RIGHT OF WAY LINE STATE HIGHWAY 205.

BM #2 = 542.89'
"X" CUT IN CONCRETE OF A PARKING ISLAND 1460'± SOUTHWEST FROM THE CENTERLINE INTERSECTION OF THE EASTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30 AND STATE HIGHWAY 205, AND 830'± SOUTHWEST FROM THE SOUTH RIGHT OF WAY OF THE EASTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30. THE "X" IS IN THE CENTER OF THE EASTERMOST PARKING ISLAND OF THE MAIN CONCOURSE OF PARKING ISLANDS, HAVING ARBORS AND 420'± NORTH OF THE MAIN BUILDINGS WITH STABLES OFFICE SUPPLY WHICH IS IN BETWEEN THE DICKS SPORTING GOODS AND JC PENNY.

REFERENCE TOPOGRAPHIC SURVEY FOR LOT 6, ROCKWALL BUSINESS PARK EAST SUBDIVISION, PROJECT NUMBER 1W0001, PREPARED BY JBI PARTNERS DATED FEBRUARY 2009.

RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OR GOVERNING AUTHORITY. TO THE BEST OF THE ENGINEERS KNOWLEDGE THE PLANS REFLECT REVISIONS MADE DURING CONSTRUCTION BASED ON A VISUAL SITE OBSERVATION BY THE ENGINEER AND INFORMATION PROVIDED BY:
W.B. KIBLER CONSTRUCTION CO, LTD
9722 ABERNATHY
DALLAS, TEXAS 75220
CONTACT: PHIL GULSVIG

RECORD DRAWING
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DA Greer DATE: 09.25.15
DAVID A. GREER, P.E. 109928

ARCHITECT:
RUNYON Architects AND ASSOCIATES INC
2508 HIGHLANDER WAY, SUITE 100
CARROLLTON, TEXAS 75006
972-233-7705
WWW.RUNYONARCH.COM

M.E.P. ENGINEER:
ROBERT D. ANDERSON, INC.
11836 Judd Court, Inc.
Dallas, Texas 75243
T 972.669.0915 F 972.669.0917

LANDSCAPE ARCHITECT:
T.H. PRITCHETT / Associates
Landscape Architects
1218 Camino Lago
Irving, Texas 75039
T 972.869.3535 F 214.687.2580

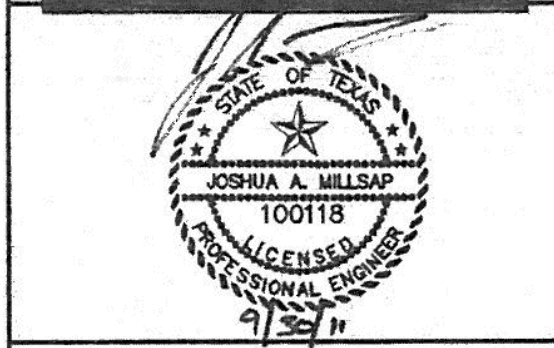
STRUCTURAL ENGINEER:
HUNT & JOINER
1825 Market Center Blvd.
Suite 620
Dallas, Texas 75207
T 214.760.7000 F 214.760.7050

CIVIL ENGINEER:
Bury & Partners
ENGINEERING SOLUTIONS
5310 Harvest Hill Road, Suite 100
Dallas, Texas 75256
Tel: (972)991-9011 Fax: (972)991-0279
Texas Registration #F-1048

**ROCKWALL PLAZA
PHASE II
SHELL BUILDINGS 10-15
ROCKWALL, TEXAS 75087**

ISSUE	DATE	DESCRIPTION
12	JAN 05/24/11	AS BUILT DRAWINGS
13	JAN 09/29/11	OLIVE GARDEN
14	JAN 09/29/11	AS BUILT DRAWINGS (OLIVE GARDEN DRAINAGE)

RAA Project #: 1010
Project Manager: MWL



C4.1a
DRAINAGE AREA
MAP



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11-07-2014	CITY COMMENTS
12-04-2014	CITY COMMENTS

Drawn By:
Project No.: 14389

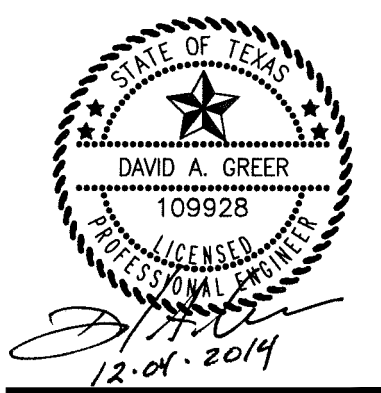
EXISTING DRAINAGE AREA MAP
RETAIL BUILDING
PLAZA AT ROCKWALL SHOPPING CENTER
INTERSTATE HIGHWAY 30
ROCKWALL, TX



HERSCHMAN ARCHITECTS INCORPORATED
25001 EMERY ROAD, SUITE 400
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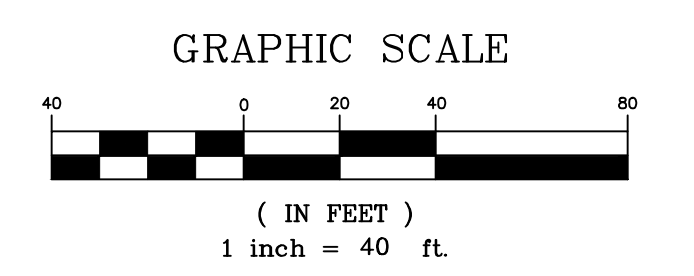
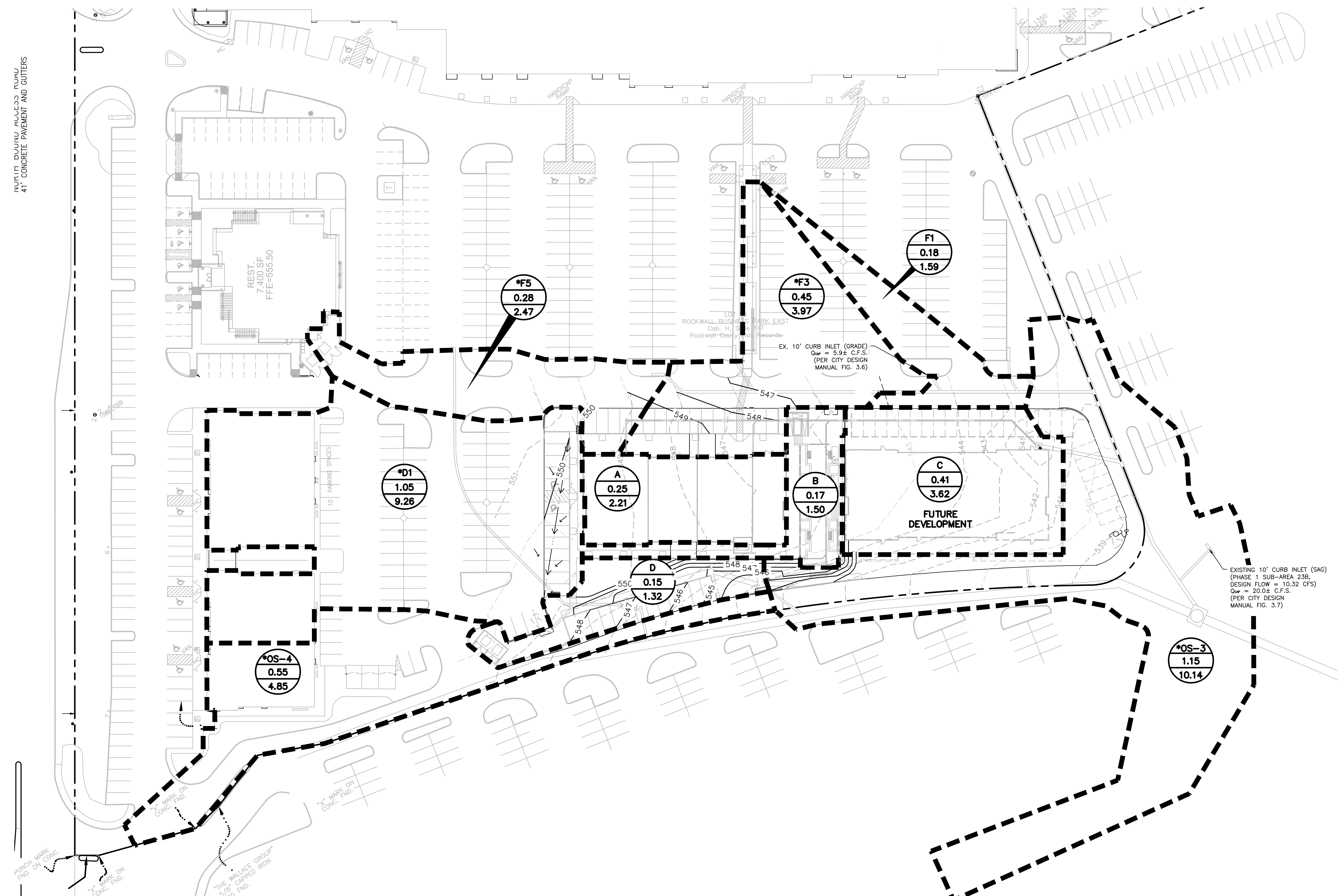
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LEGEND

- 550 — PROPOSED CONTOUR
- - - 550 - - - EXISTING CONTOUR
- - - - - AREA DIVIDE
- (A-1) 0.03 0.26 DRAINAGE AREA LABEL
- DIRECTION OF FLOW

NOTES

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David A. Greer DATE: 09.25.15
DAVID A. GREER, P.E. 109928

DRAINAGE CALCULATIONS

DRAINAGE AREA	AREA (ACRES)	C	CA	Tc (MIN)	I100	Q100 (CFS)	NOTES (DRAINAGE AREA)
*D1	1.05	0.9	0.95	10	9.800	9.26	TO EXISTING 10' CURB INLET (*D1)
F1	0.18	0.9	0.21	10	9.800	1.59	TO EXISTING 10' CURB INLET (F1)
*F3	0.45	0.9	0.41	10	9.800	3.97	TO EXISTING 10' CURB INLET (*F3)
*F5	0.28	0.9	0.25	10	9.800	2.47	TO EXISTING 5' CURB INLET (*F5)
*OS-3	1.15	0.9	1.04	10	9.800	10.14	TO EXISTING 10' CURB INLET (*OS-3)
*OS-4	0.55	0.9	0.50	10	9.800	4.85	TO EXISTING 10' CURB INLET (*OS-4)
A	0.25	0.9	0.23	10	9.800	2.21	TO PROPOSED ROOF DRAINS
B	0.17	0.9	0.15	10	9.800	1.50	TO EXISTING 10' CURB INLET (*OS-4)
C	0.41	0.9	0.37	10	9.800	3.62	TO FUTURE STORM SYSTEM (INTERIM TO EX. DROP INLET)
D	0.15	0.9	0.14	10	9.800	1.32	TO EXISTING 10' CURB INLET (*OS-4)
TOTAL	4.64					40.92	

* INDICATES EXISTING DRAINAGE AREAS THAT HAVE BEEN MODIFIED BY THIS PROJECT

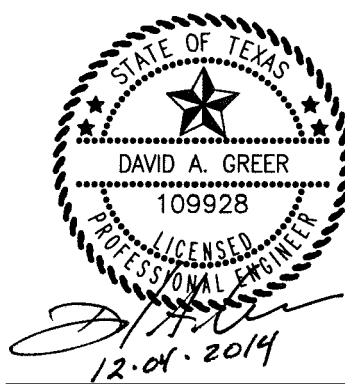
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PROPOSED DRAINAGE AREA MAP
 RETAIL BUILDING
 PLAZA AT ROCKWALL SHOPPING CENTER
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX

HERSCHMAN ARCHITECTS INCORPORATED
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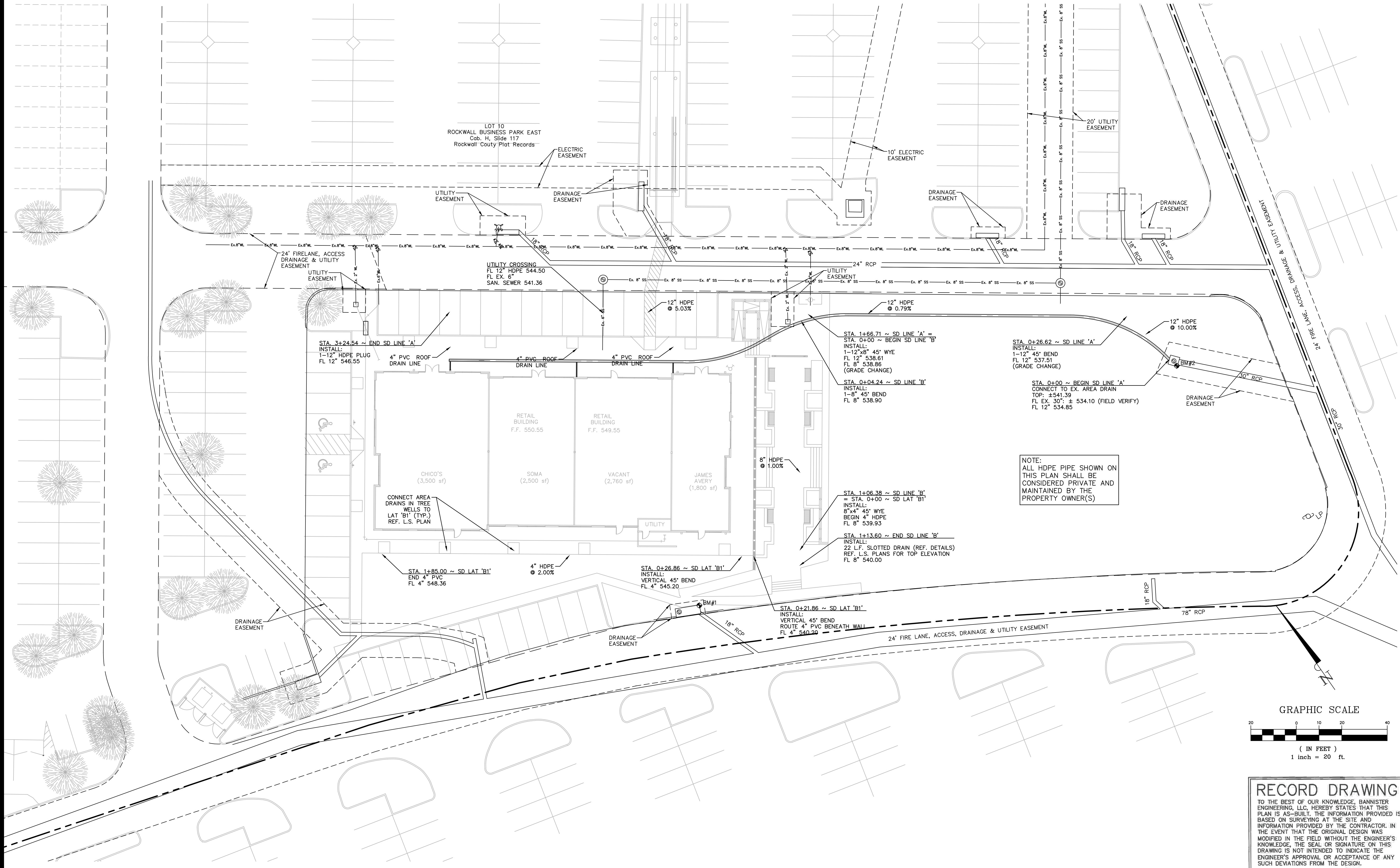
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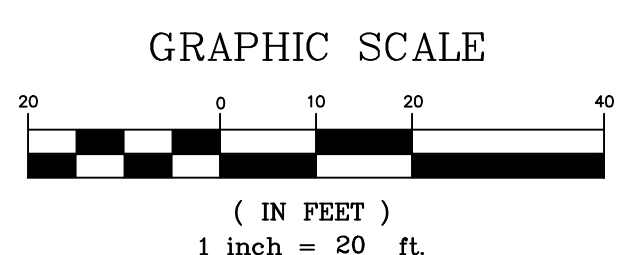
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Drawn By: _____
Project No.: 14389



NOTE:
ALL HDPE PIPE SHOWN ON THIS PLAN SHALL BE CONSIDERED PRIVATE AND MAINTAINED BY THE PROPERTY OWNER(S)



RECORD DRAWING
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DA Greer DATE: 09.25.15
DAVID A. GREER, P.E. 109928

BENCHMARKS

BM#1: BRASS CAP ON CURB INLET N: 7018174.91 E: 2597215.39	ELEV.=543.92
BM#2: BRASS DISK ON AREA INLET N: 7018140.75 E: 2597447.86	ELEV.=541.39

BANNISTER ENGINEERING
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LEGEND

	STORM DRAIN LINE
	ROOF/AREA DRAIN LINE

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STORM DRAINAGE PLAN
RETAIL BUILDING
PLAZA AT ROCKWALL SHOPPING CENTER
INTERSTATE HIGHWAY 30
ROCKWALL, TX

HERSCHMAN ARCHITECTS
INCORPORATED
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GAGE OF PIPE	DIAMETER OF PIPE	12"	15"	18"	24"	30"	36"
16		X	X	X	X	X	X
14		X	X	X	X	X	X
12		N.A.	N.A.	N.A.	N.A.	X	X

GRATE TYPE	"A"
VERT	2-1/2" 1-3/4"
VERT	6" 1-3/4"
TRAP	2-1/2" 2-1/4"
TRAP	6" 3"

VERT=VERTICAL
TRAP=TRAPEZOIDAL

MANUFACTURING TOLERANCES

1. VERTICAL BOW ± 3/8"
2. HORIZONTAL BOW ± 5/8"
3. TWIST ± 1/2"

SLOTTED DRAIN NOTES

1. ULTRA FLO PIPE SHALL BE SPIRAL RIB CONFORMING TO AASHTO M36, TYPE IR.
2. GRATE MATERIAL SHALL CONFORM TO THE DETAILS SHOWN AND CONFORM TO ASTM A-36, OR A570, GRADE 36. HOT DIP GALVANIZED PER ASTM A-123.
3. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.

CONTECH CONSTRUCTION PRODUCTS INC.

ULTRA FLO SLOTTED DRAIN

DATE: 09-25-15
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]

RECORD DRAWING

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David A. Greer DATE: 09-25-15
DAVID A. GREER, P.E. 109928

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Call before you dig.
(@ least 48 hours prior to digging)

STORM DRAINAGE DETAILS
RETAIL BUILDING
PLAZA AT ROCKWALL SHOPPING CENTER
INTERSTATE HIGHWAY 30
ROCKWALL, TX



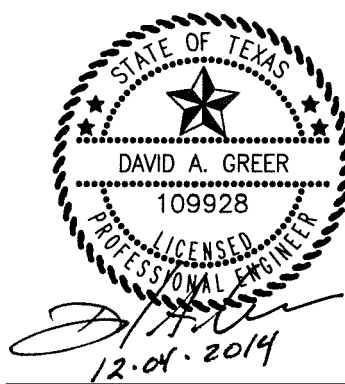
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C-4.5

BANNISTER ENGINEERING

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REGISTRATION # F-10599 (TEXAS)

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Date	Issue
9-26-2014	BD/PERMIT
11-07-2014	CITY COMMENTS
12-04-2014	CITY COMMENTS

Drawn By: _____
Project No.: 14389

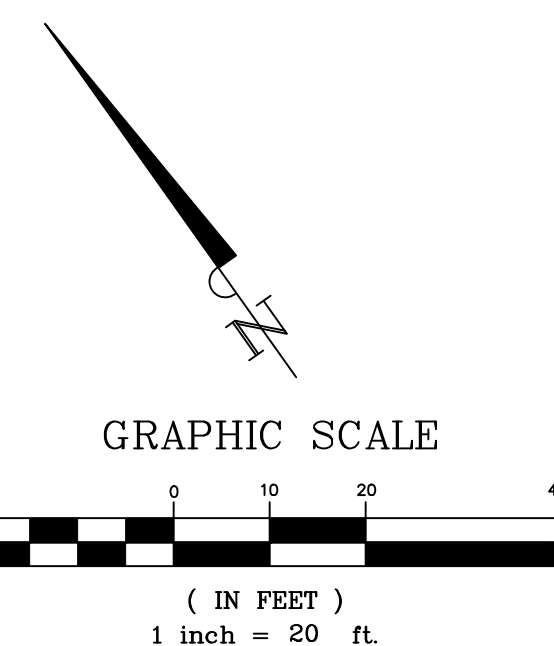
WATER & SEWER PLAN
 RETAIL BUILDING
 PLAZA AT ROCKWALL SHOPPING CENTER
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX



HERSCHMAN ARCHITECTS
INCORPORATED

25001 EMERY ROAD, SUITE 400
CLEVELAND, OH 44128
TEL (216) 223-3200
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LEGEND

WTR—WTR	EXISTING WATER LINE
—	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER
SS—SS	EXISTING SANITARY SEWER

- NOTES**
- MATERIALS FOR WATER LINES 12" OR LESS SHALL BE AWWA C900 PVC, CLASS 200.
 - MATERIALS FOR SANITARY SEWER SHALL BE PVC COMPLYING WITH ASTM 303 OR F794
 - MINIMUM COVER FOR WATER & SANITARY SEWER SHALL COMPLY WITH THE CITY OF ROCKWALL DESIGN MANUAL
 - FIRE HYDRANTS SHALL BE LOCATED 4'-7' BEHIND CURB LINE WITH 3' CLEARANCE AROUND & NOT LAID IN A RADIUS.
 - ANY WATER OR SANITARY SEWER SERVICE LOCATED OUTSIDE OF A STREET, ALLEY OR EASEMENT SHALL BE INSTALLED BY A PLUMBER & BE INSPECTED BY BUILDING INSPECTION.
 - FIRE HYDRANT SPACING SHALL BE 400' MAXIMUM ALONG ALL FIRE LANES AND APPROVED ROADWAYS FOR SPRINKLED STRUCTURE
 - FIRE SPRINKLER SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
 - ANY WATER OR SANITARY SEWER SERVICE LOCATED OUTSIDE OF A STREET, ALLEY OR EASEMENT SHALL BE INSTALLED BY A PLUMBER AND BE INSPECTED BY BUILDING INSPECTION.
 - CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL FRANCHISE UTILITY COMPANIES AND ENSURING ALL NECESSARY UTILITIES ARE AVAILABLE FOR THIS PROJECT. THE CONTRACTOR SHALL REFERENCE MEP FOR SPECIFIC INFORMATION REGARDING SITE ELECTRICAL, GAS, DATA, COMMUNICATION, ETC... DESIGN OF FRANCHISE UTILITIES IS NOT THE RESPONSIBILITY OF THE CIVIL ENGINEER. THEREFORE, ANY FRANCHISE UTILITIES DEPICTED OF THIS PLAN ARE CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES OR TO INDICATE FINAL FRANCHISE UTILITY LAYOUTS OR LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE FRANCHISE UTILITY COMPANIES, THE OWNER, AND THE MEP ENGINEER TO ENSURE PROPER AND ADEQUATE INSTALLATION OF ALL NECESSARY FRANCHISE UTILITIES TO SERVE THE PROJECT.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ACCURACY OF DESIGN.

RECORD DRAWING

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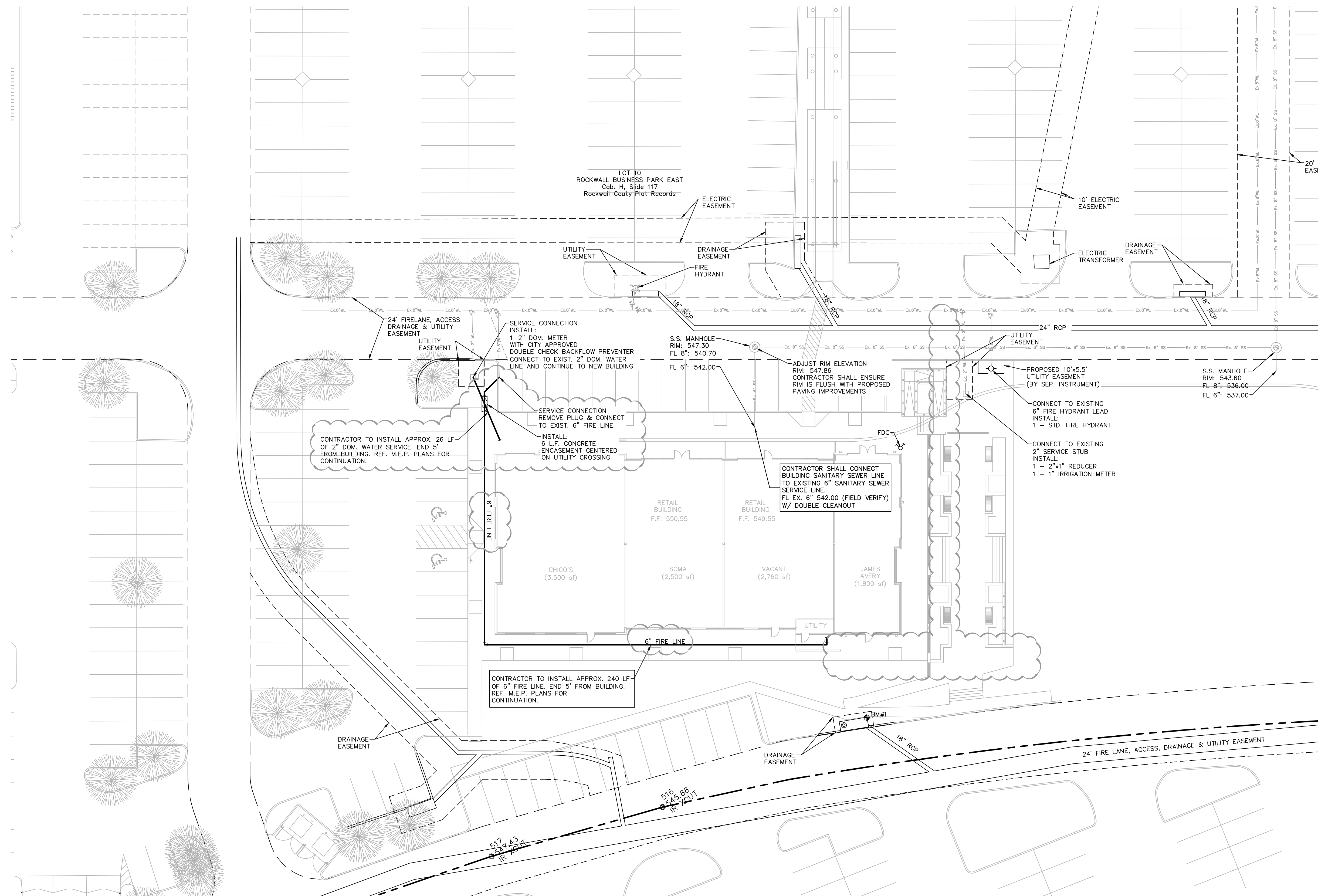
DAVID A. GREER DATE: 09-25-15
DAVID A. GREER, P.E. 109928

BENCHMARKS

BM#1: BRASS CAP ON CURB INLET N: 7018174.91 E: 2597215.39	ELEV.=543.92
BM#2: BRASS DISK ON AREA INLET N: 7018140.75 E: 2597447.86	ELEV.=541.39



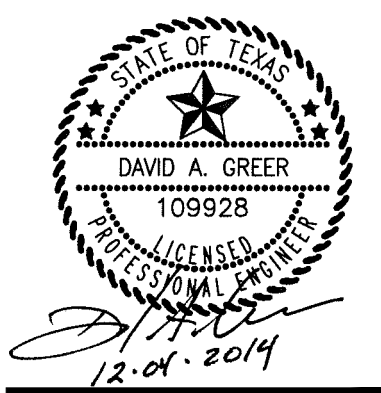
Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)



BANNISTER ENGINEERING

1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

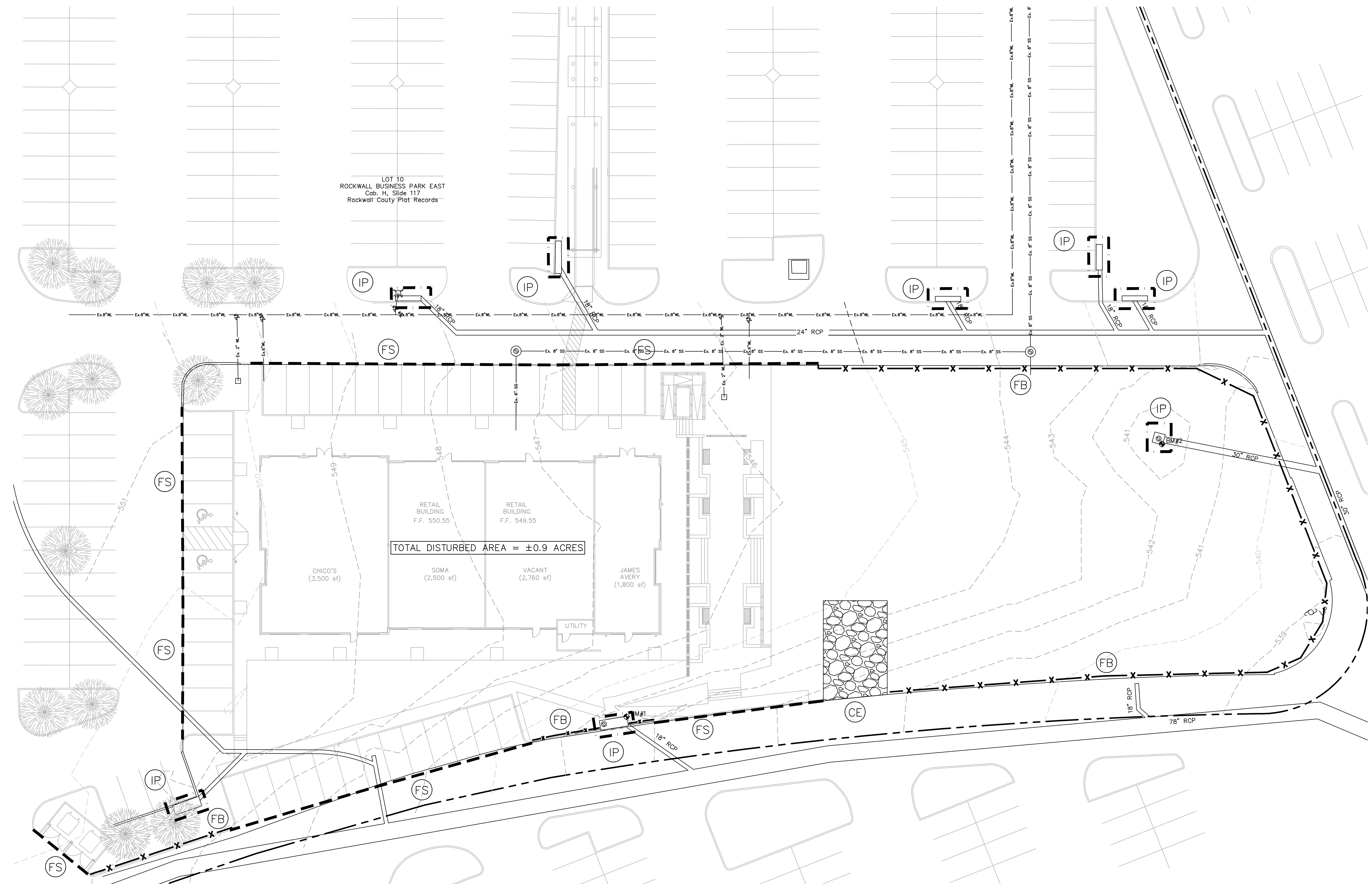
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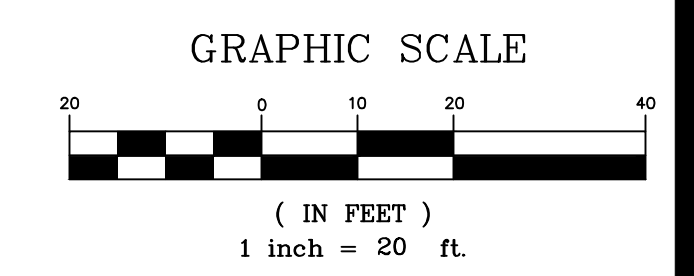
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12-04-2014	CITY COMMENTS

Drawn By:
 Project No.: 14389



TOTAL DISTURBED AREA = ±0.9 ACRES



LEGEND

- DIRECTION OF FLOW
- X FILTER BARRIER
- ⊙ FB FILTER BARRIER
- ▨ CE CONSTRUCTION ENTRANCE
- ⊙ WP CONCRETE WASHOUT PIT
- ⊙ IP INLET PROTECTION
- - - FS FILTER SOCK

NOTES

- CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.

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DA Greer DATE: 09-25-15
 DAVID A. GREER, P.E. 109928

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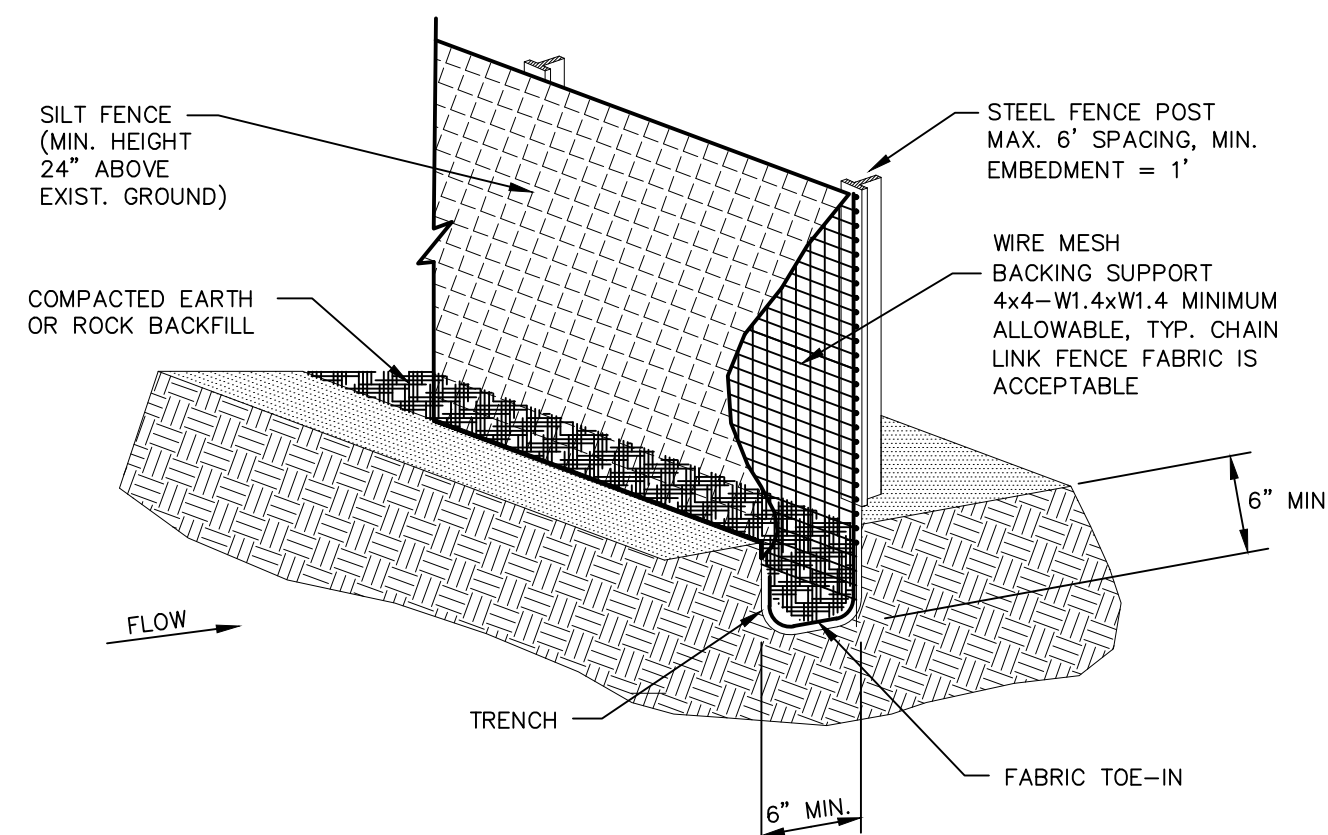
BANNISTER ENGINEERING
 1096 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
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EROSION CONTROL PLAN
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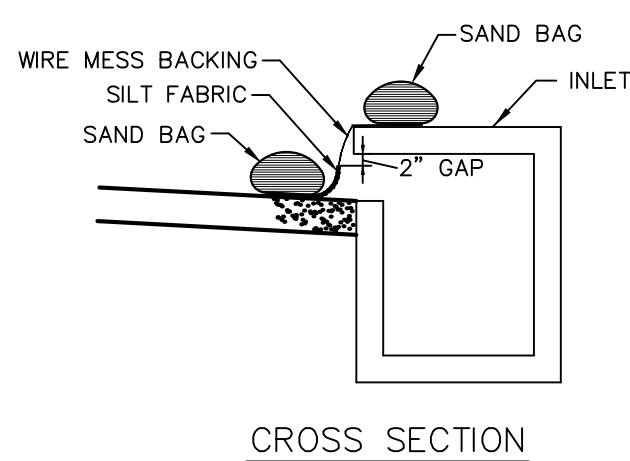


SILT FENCE GENERAL NOTES:

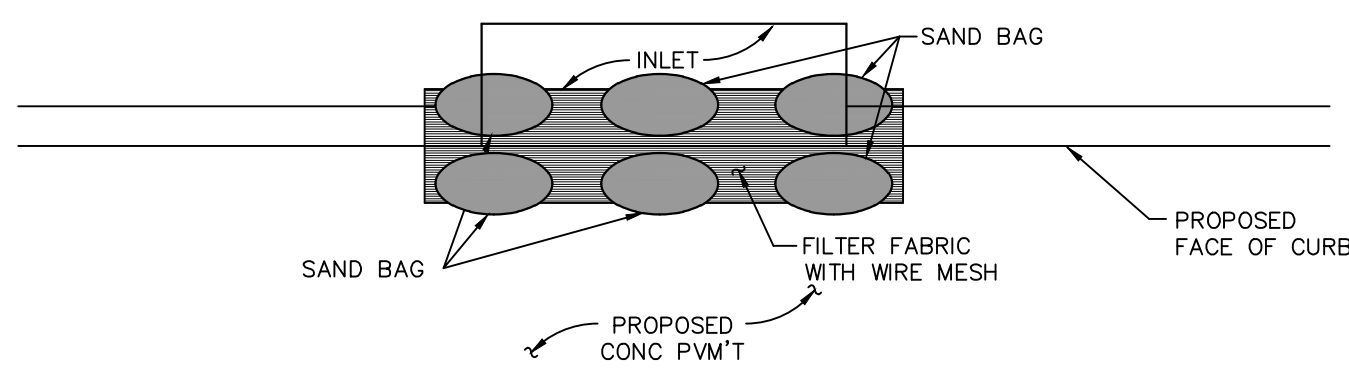
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2\"/>

CONSTRUCTION OF A FILTER BARRIER

(SF) N.T.S.

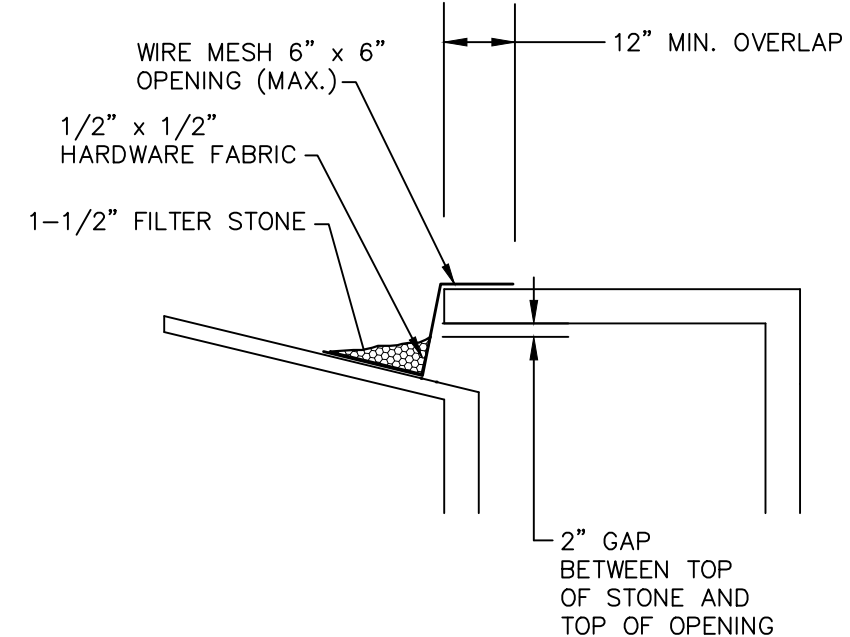


CROSS SECTION



CURB INLET PROTECTION

(IP) N.T.S.

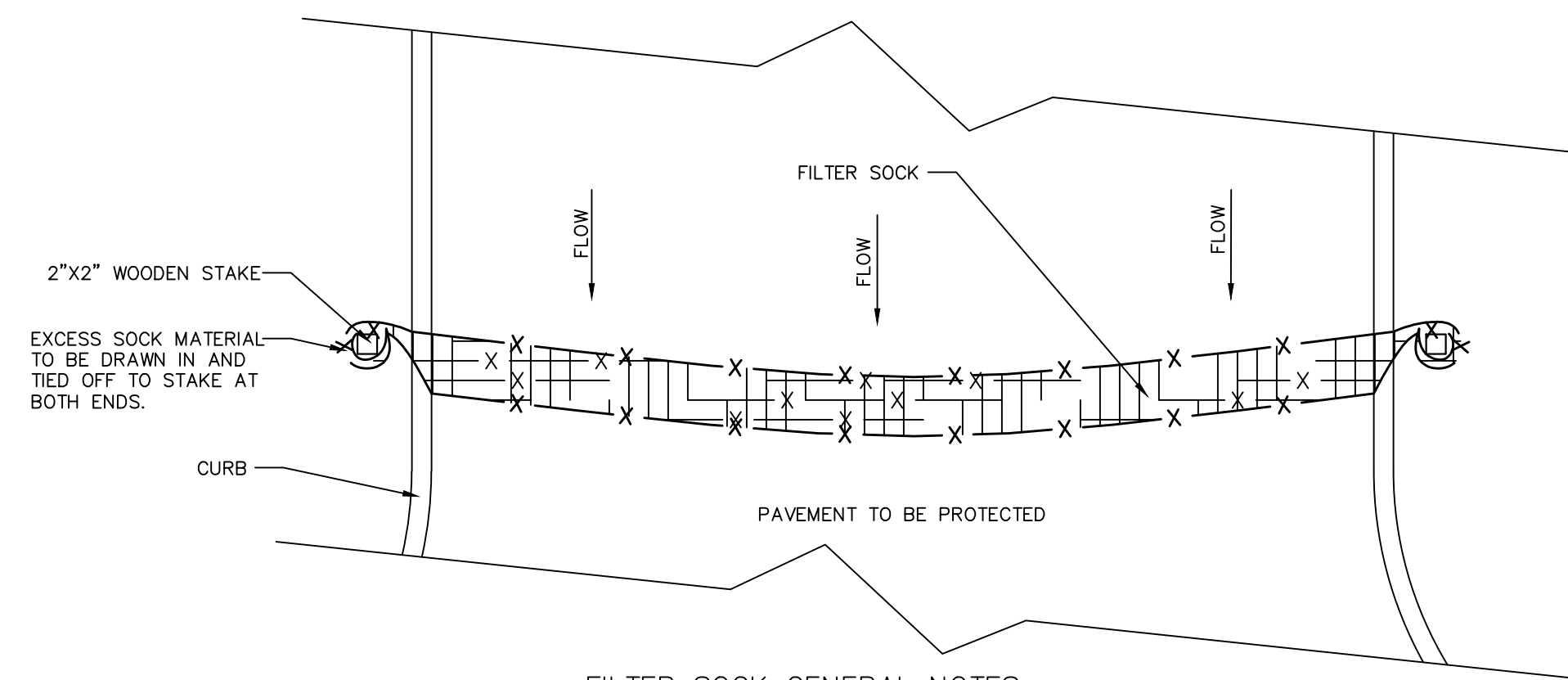


CURB INLET PROTECTION NOTES:

1. WITHIN FORTY-EIGHT (48) HOURS OF POURING THE BLOCKOUT AND TOP, PLACE WIRE MESH WITH 12\"/>

CURB INLET PROTECTION

(IP) N.T.S.

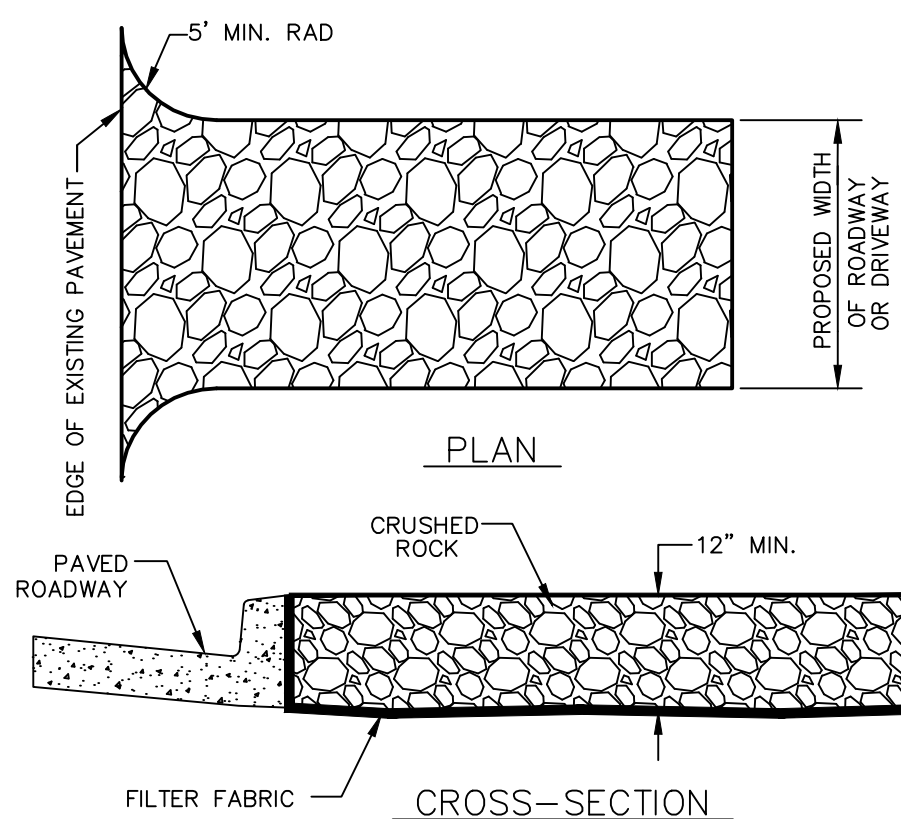


FILTER SOCK GENERAL NOTES:

1. ALL MATERIAL TO MEET MANUFACTURER SPECIFICATIONS
2. FILTER SOCK TO BE FILTREXX INLET SOXX OR APPROVED EQUAL
3. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2\"/>

FILTER SOCK INSTALLATION

(FS) N.T.S.

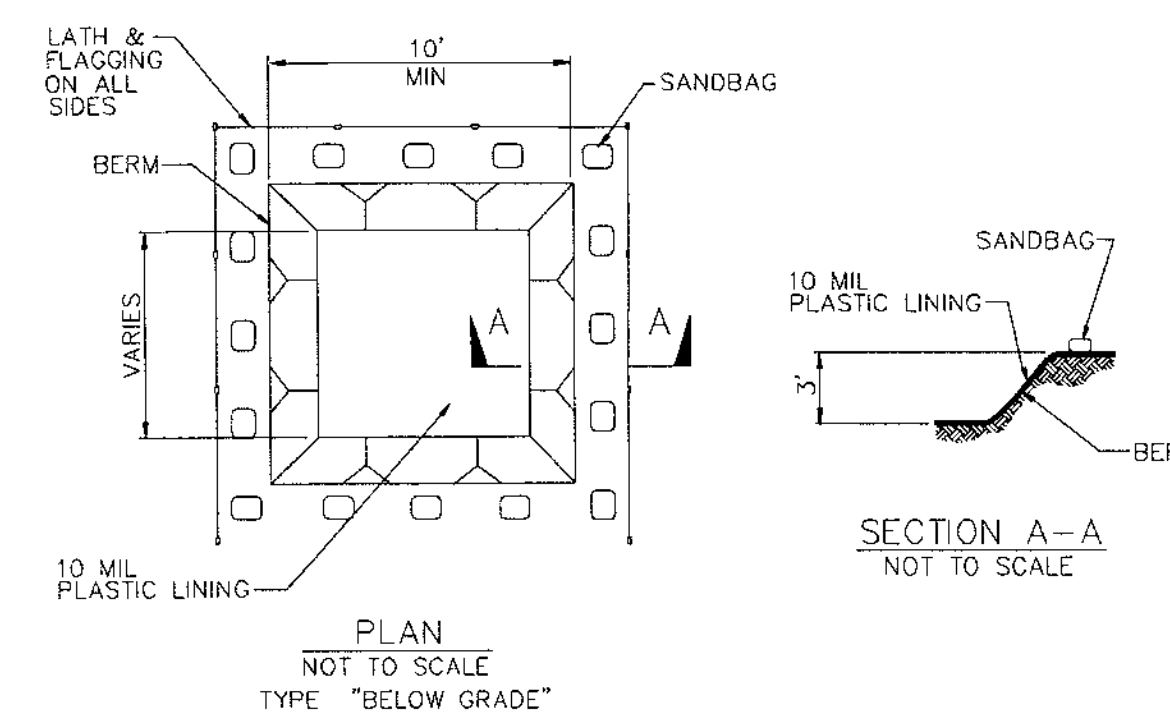


CONSTRUCTION ENTRANCE NOTES:

1. STONE SIZE - 4 TO 6 INCHES CRUSHED ROCK (NO CRUSHED CONCRETE ALLOWED).
2. LENGTH - PER CITY OR NCTCOG STANDARDS.
3. THICKNESS - NOT LESS THAN 12 INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY, MUST BE REMOVED IMMEDIATELY.
7. DRAINAGE - ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. CONTRACTOR TO COORDINATE EXACT LOCATION OF THIS DETAIL.

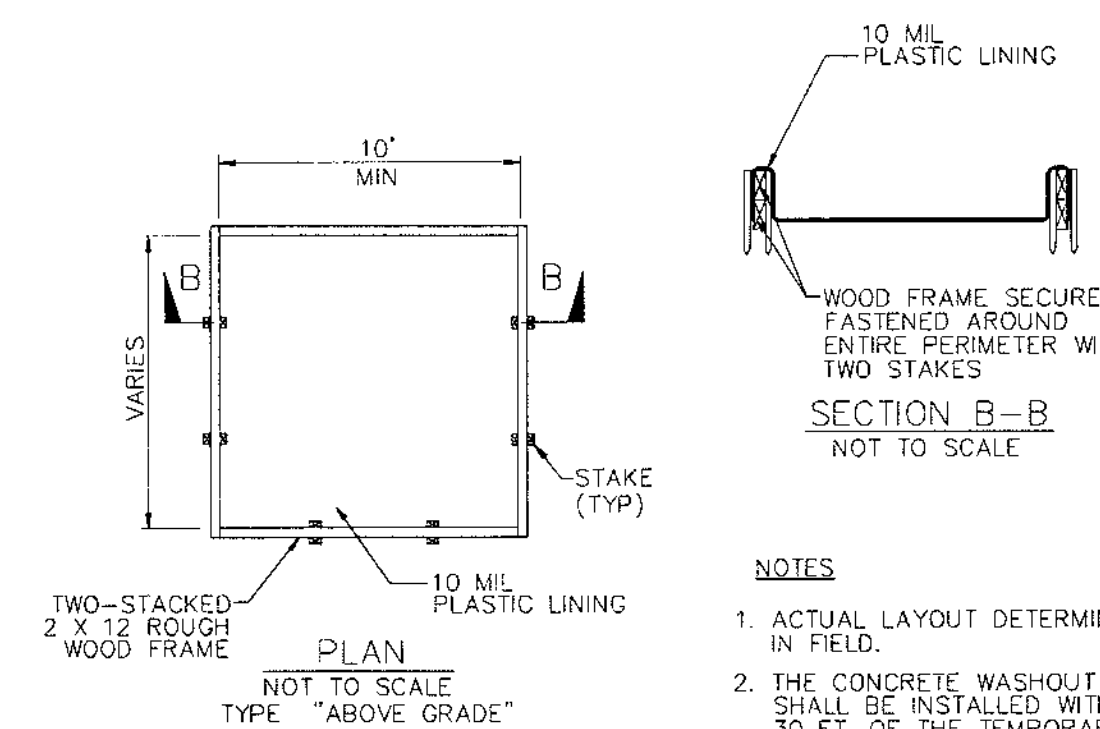
CONSTRUCTION ENTRANCE

(CE) N.T.S.



SECTION A-A NOT TO SCALE

PLAN NOT TO SCALE TYPE \"BELOW GRADE\"



SECTION B-B NOT TO SCALE

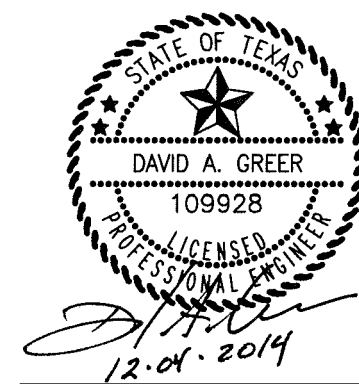
PLAN NOT TO SCALE TYPE \"ABOVE GRADE\"

NOTES:

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

WASHOUT PIT

(WF) N.T.S.



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Date	Issue
9-26-2014	• BID/PERMIT
11-07-2014	• CITY COMMENTS
12-04-2014	• CITY COMMENTS

Drawn By: _____
Project No.: 14389

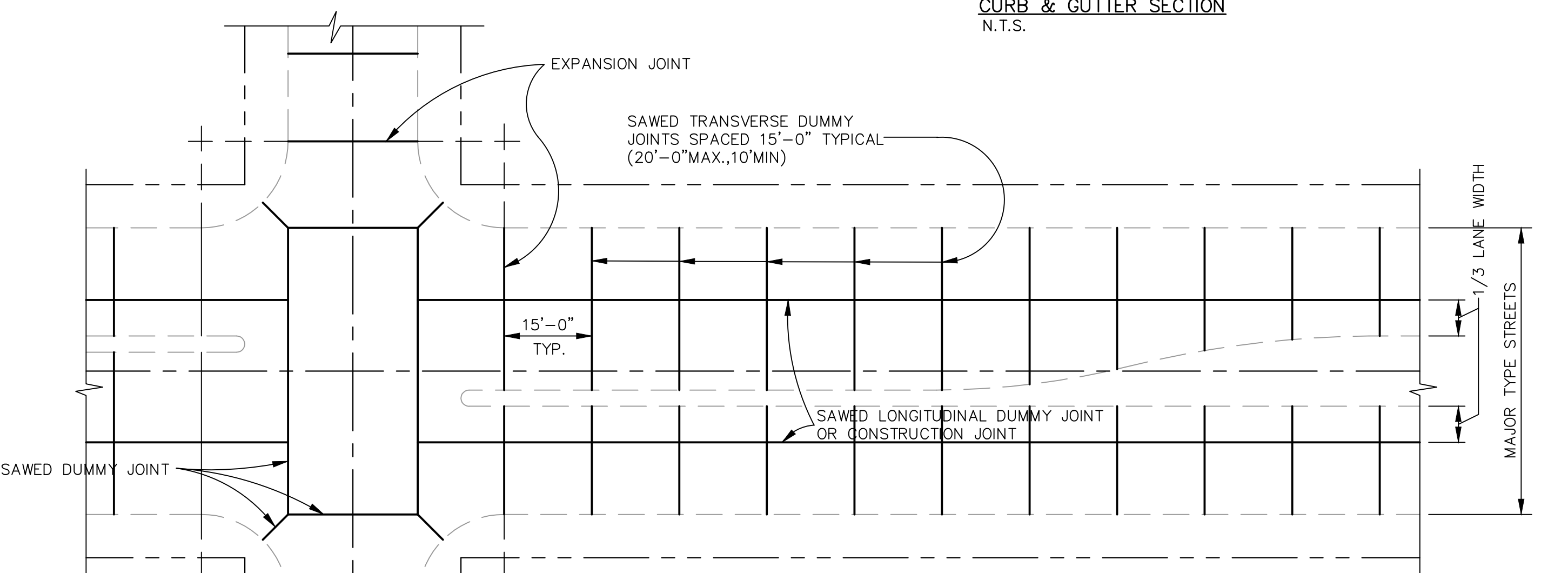
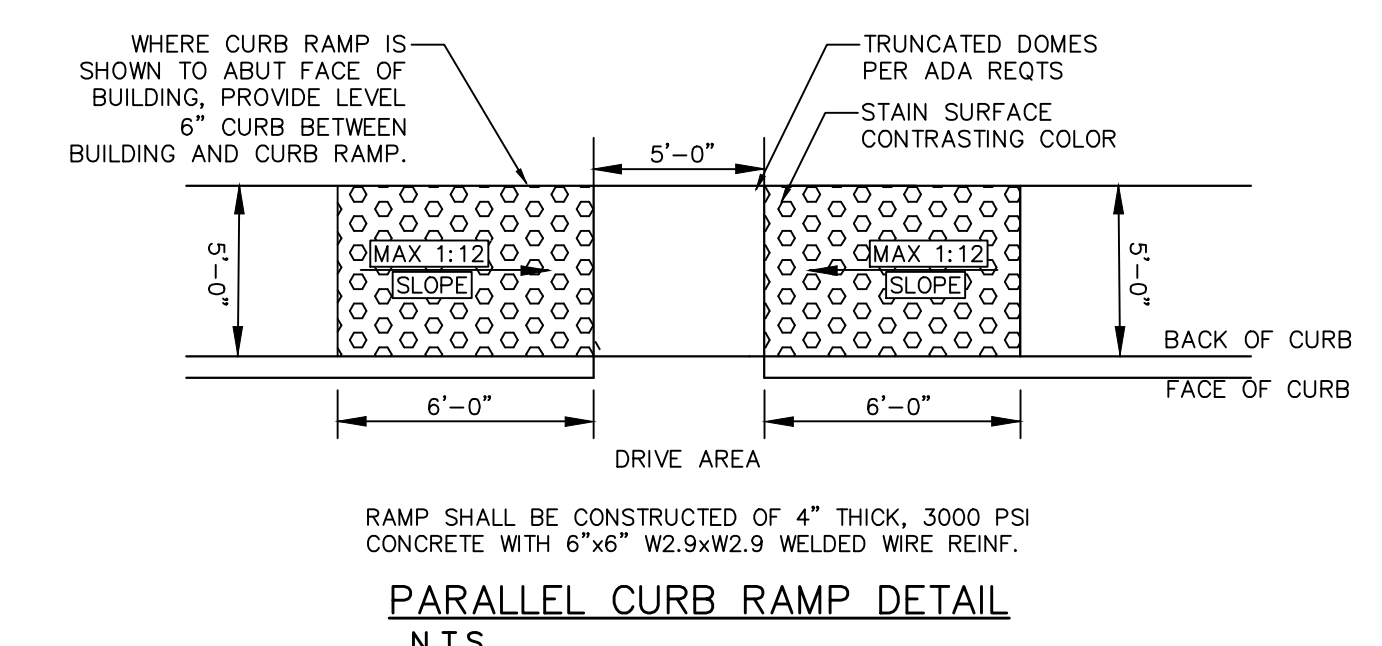
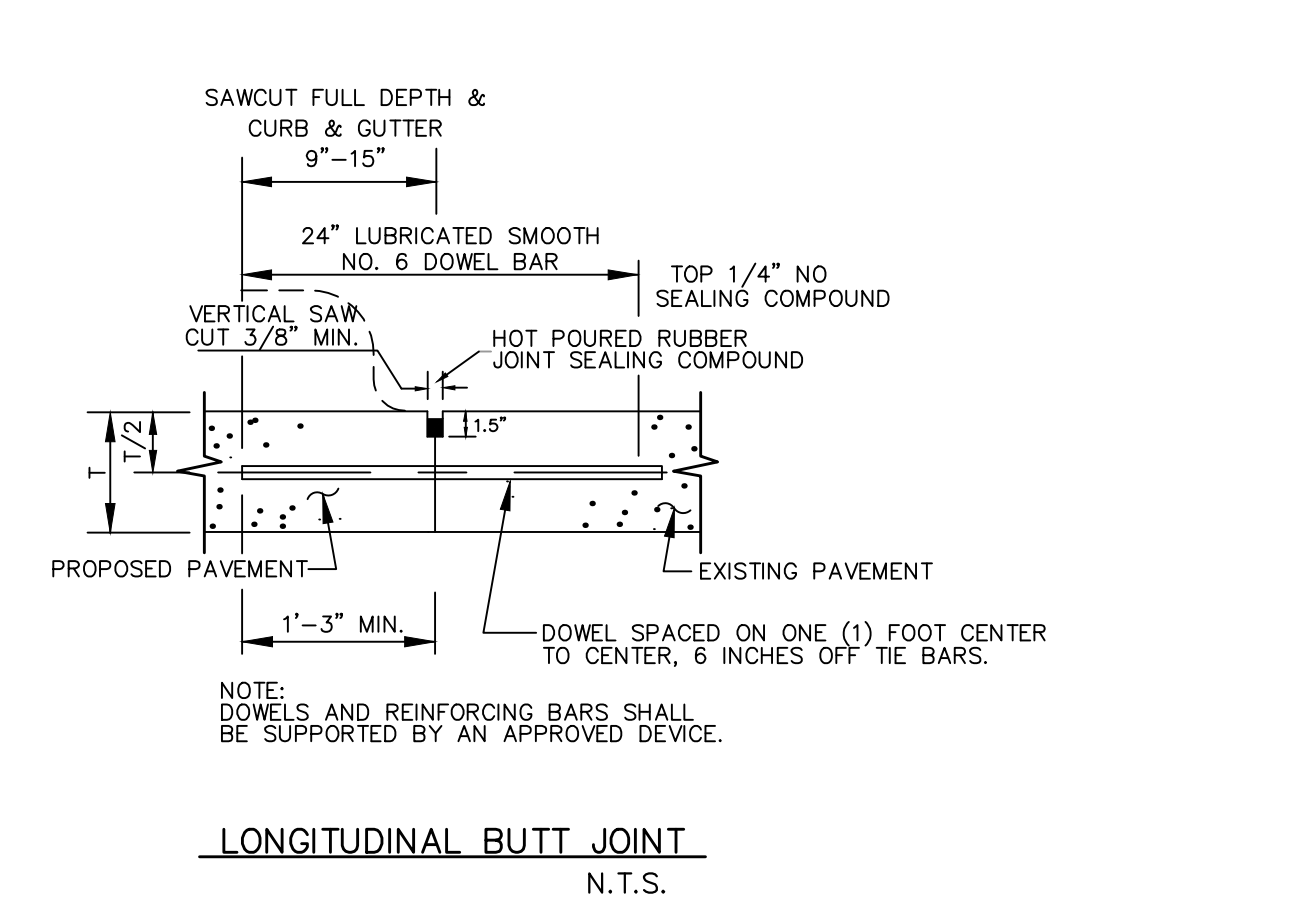
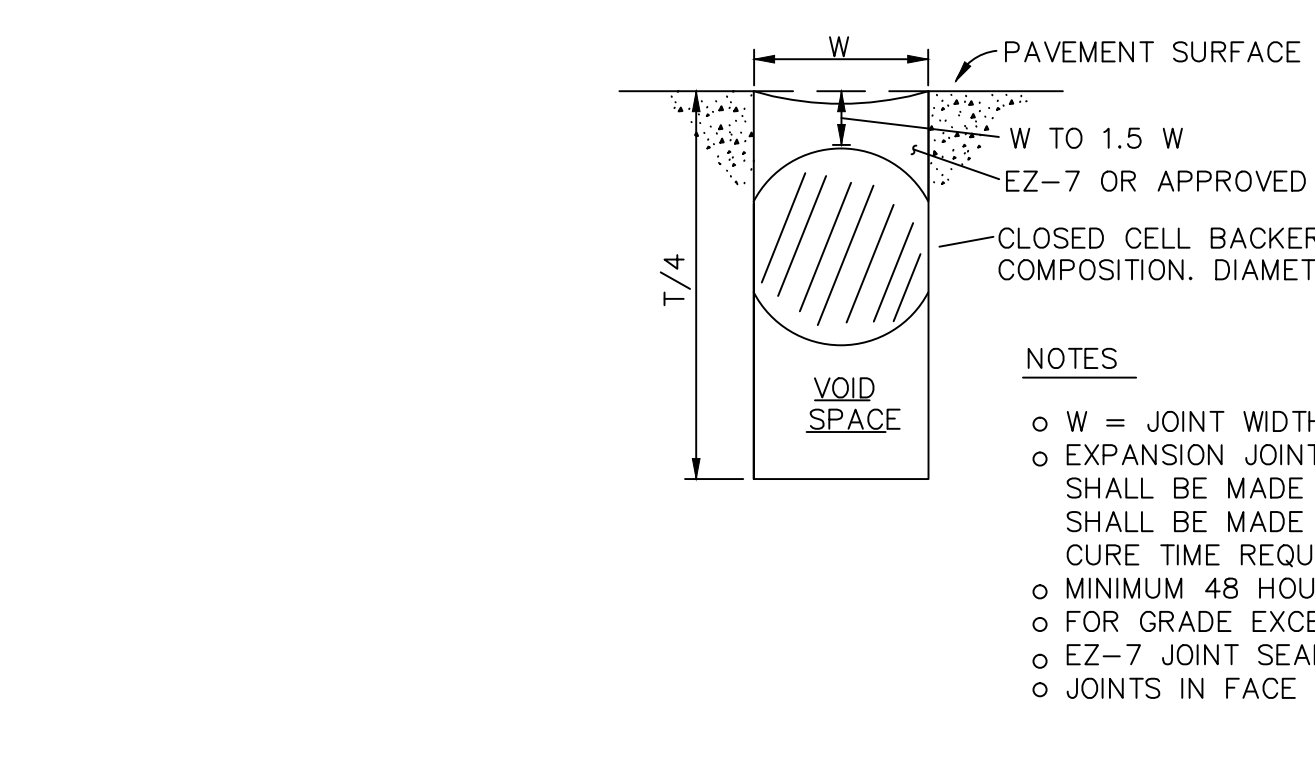
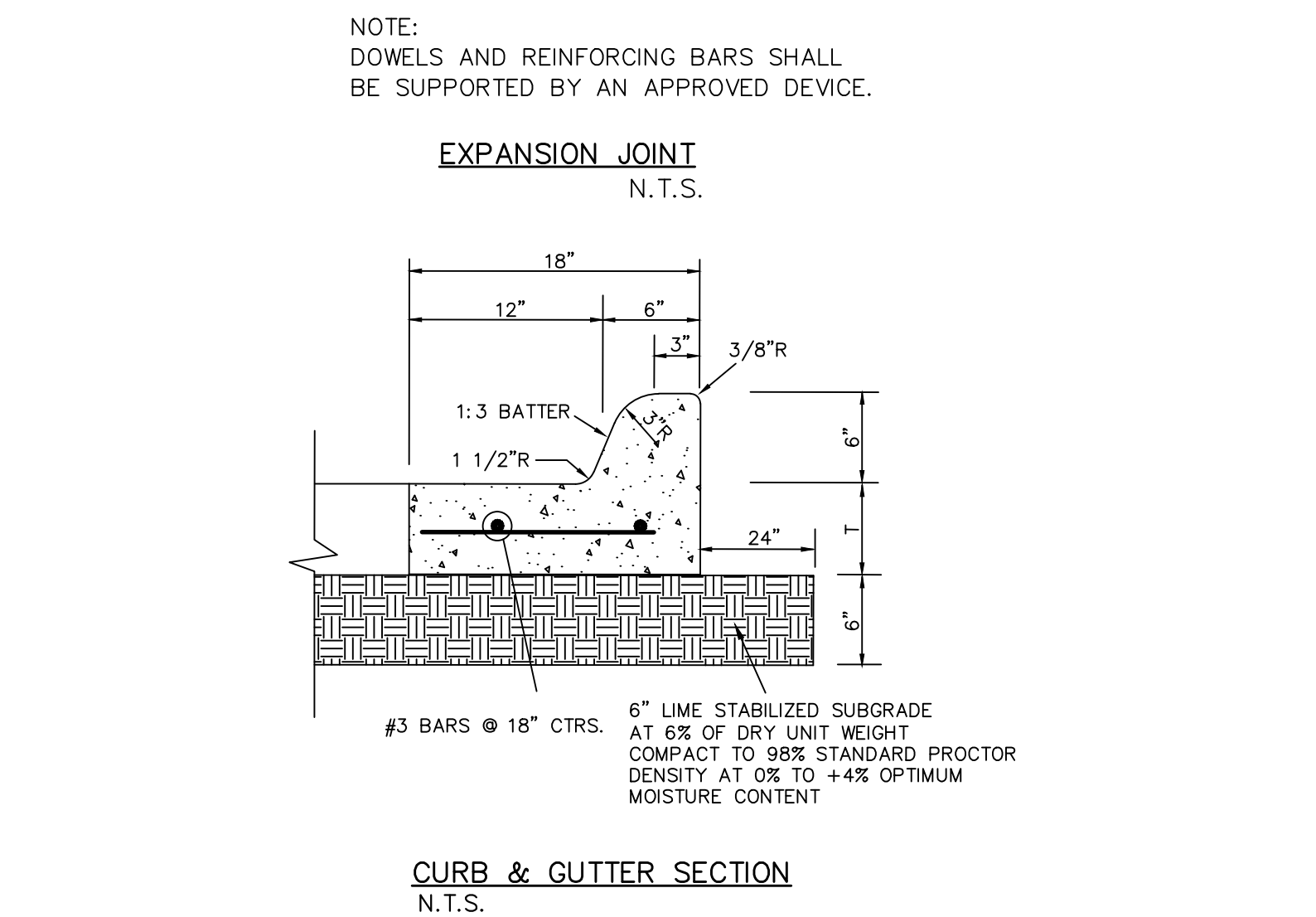
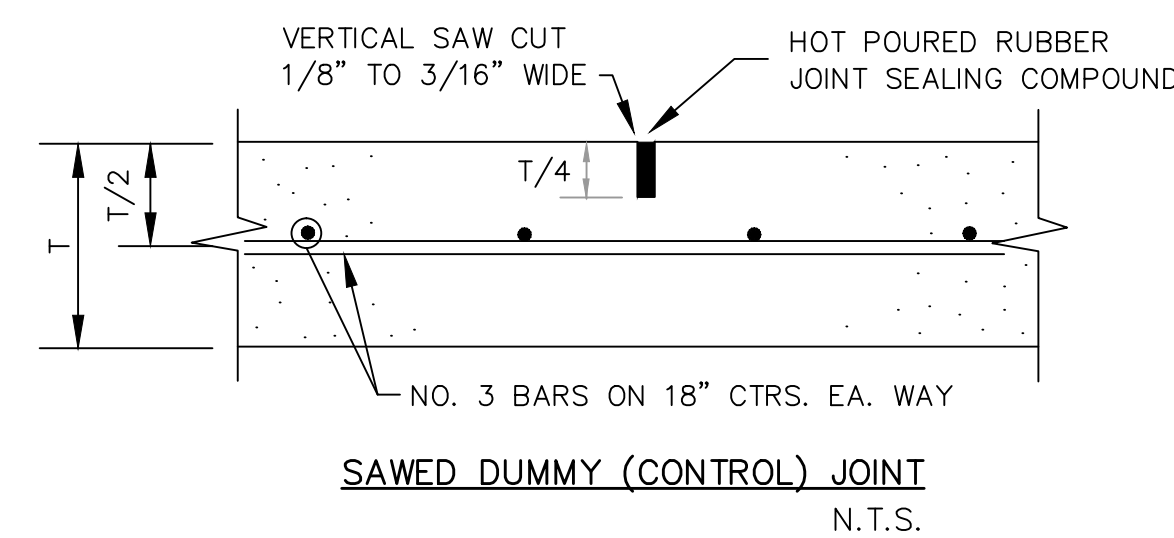
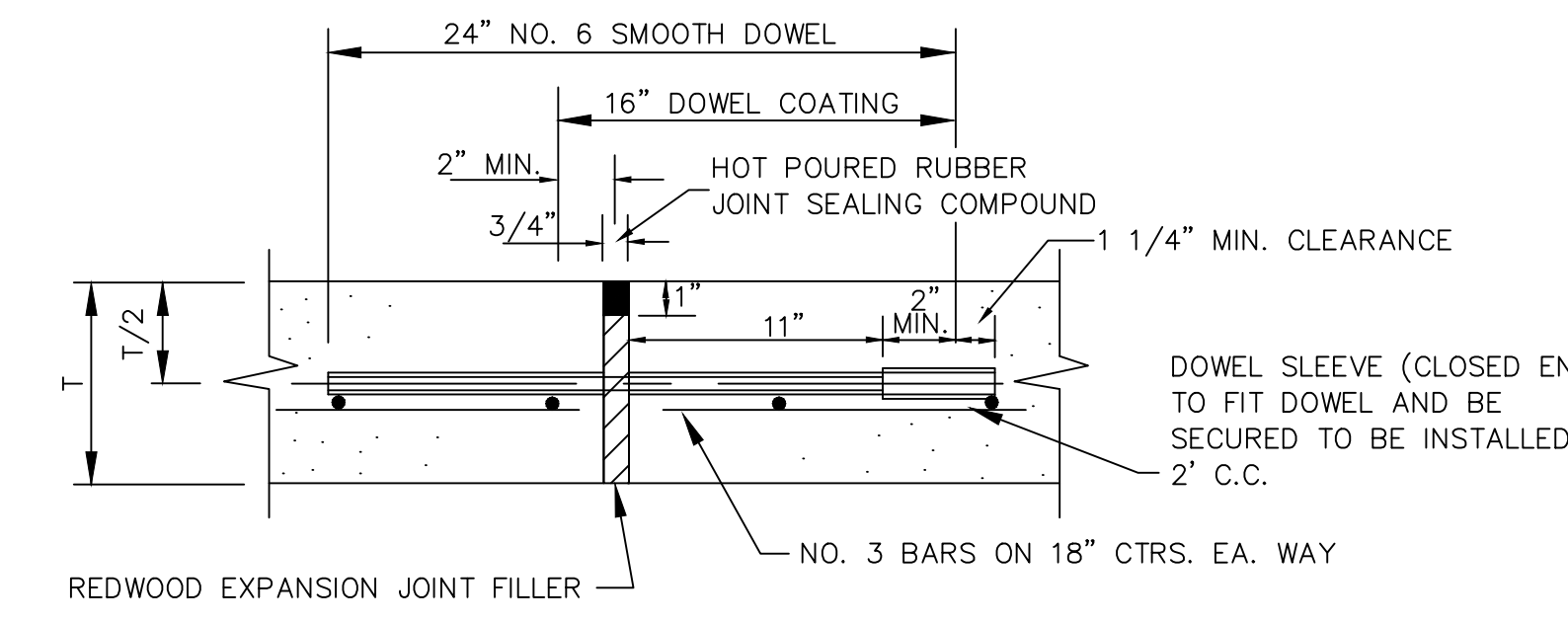
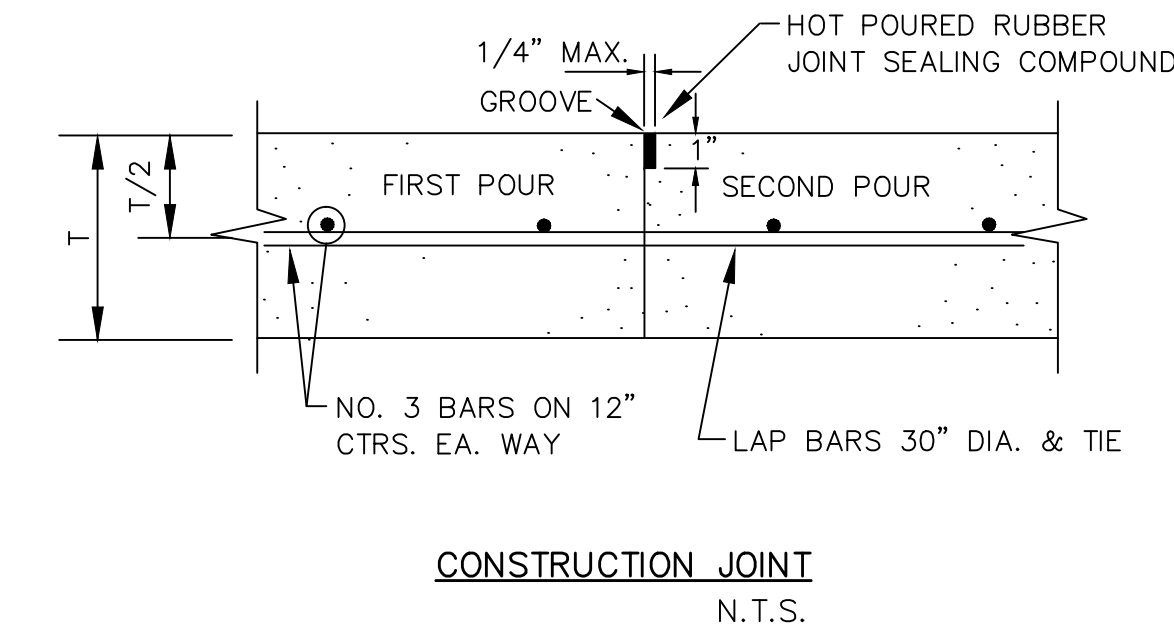
EROSION CONTROL DETAILS
 RETAIL BUILDING
 PLAZA AT ROCKWALL SHOPPING CENTER
 INTERSTATE HIGHWAY 30
 ROCKWALL, TX

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 DAVID A. GREER, P.E. DATE: 09-25-15 109928



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NOTES:
1. NO. 3 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
4. DRILLED BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.
5. ALL LBJ SHALL BE INSTALLED PER THE CITY STANDARDS.

SPACING DIAGRAM FOR JOINTS

- IDENTICAL FOR STREETS (CONCRETE PAVEMENT OR BASE) AND ALLEYS EXCEPT THAT EXPANSION JOINTS FOR ALLEYS SHALL BE PLACED AT THE END OF THE RETURN IN LINE WITH THE PROPERTY LINE.
- SPACING OF EXPANSION JOINTS SHALL NOT EXCEED 150 FEET.
- ALL EXPANSION JOINT DOWEL BARS SHALL BE HELD FIRMLY IN PLACE PARALLEL WITH THE PAVEMENT SURFACE WITH WIRE BASKETS MODIFIED TO MOLD AROUND THE REDWOOD EXPANSION BOARD.
- FOR ALL LONGITUDINAL CONSTRUCTION JOINTS PROVIDE TIE BARS AS FOLLOWS:
 - #3 BARS ON 12" C-C FOR PAVEMENT THICKNESS < 9 IN.
 - #4 BARS ON 12" C-C FOR PAVEMENT THICKNESS > 9 IN. AND < 12 IN.
 - ALL TIE BARS SHALL BE 24" MIN. LENGTH AND CENTERED ON THE LONGITUDINAL JOINT.

SAWED TRANSVERSE DUMMY JOINTS SPACED 15'-0" TYPICAL (20'-0" MAX., 10' MIN)

SAWED LONGITUDINAL DUMMY JOINT OR CONSTRUCTION JOINT

MAJOR TYPE STREETS

1/3 LANE WIDTH

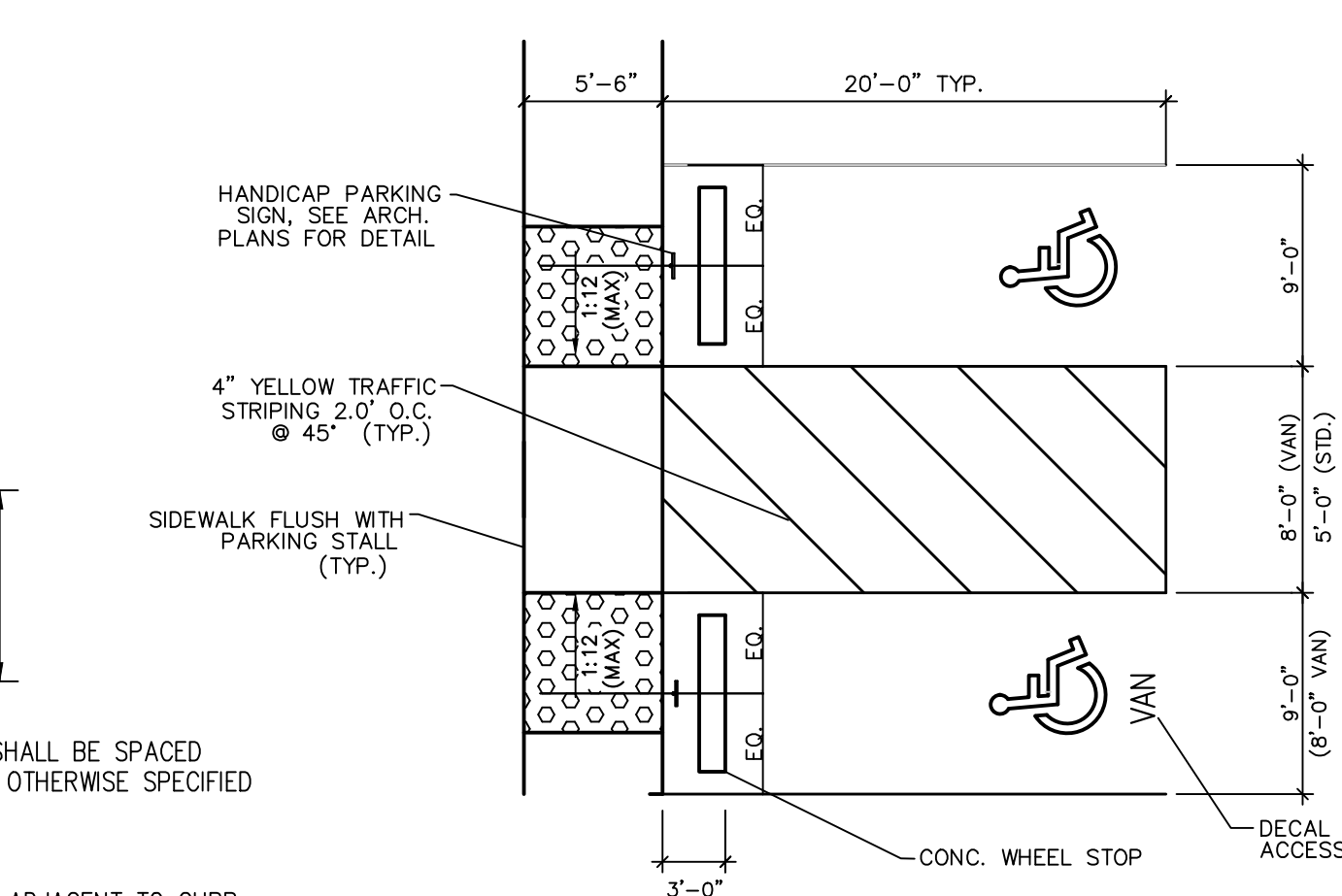
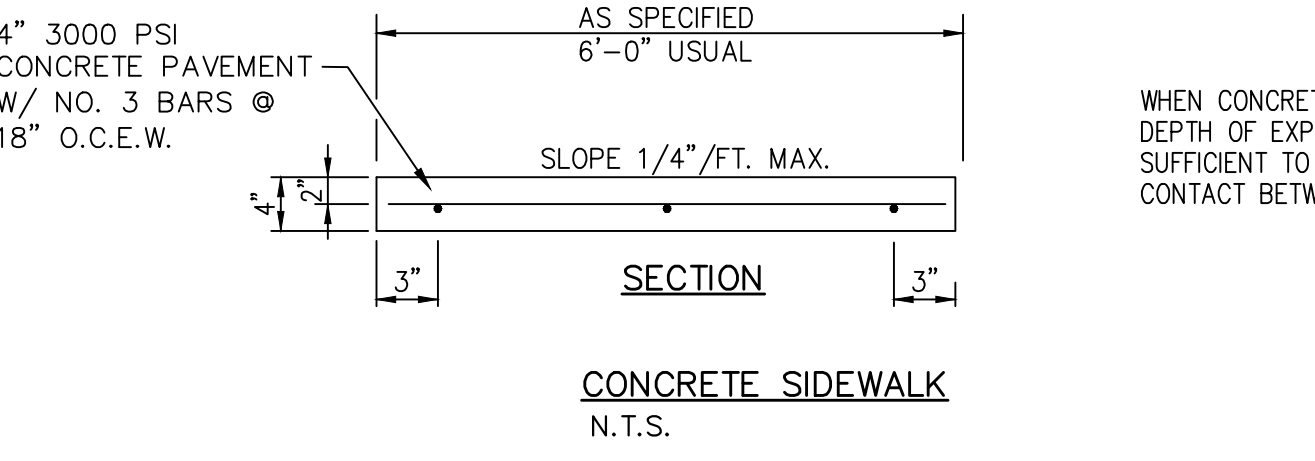
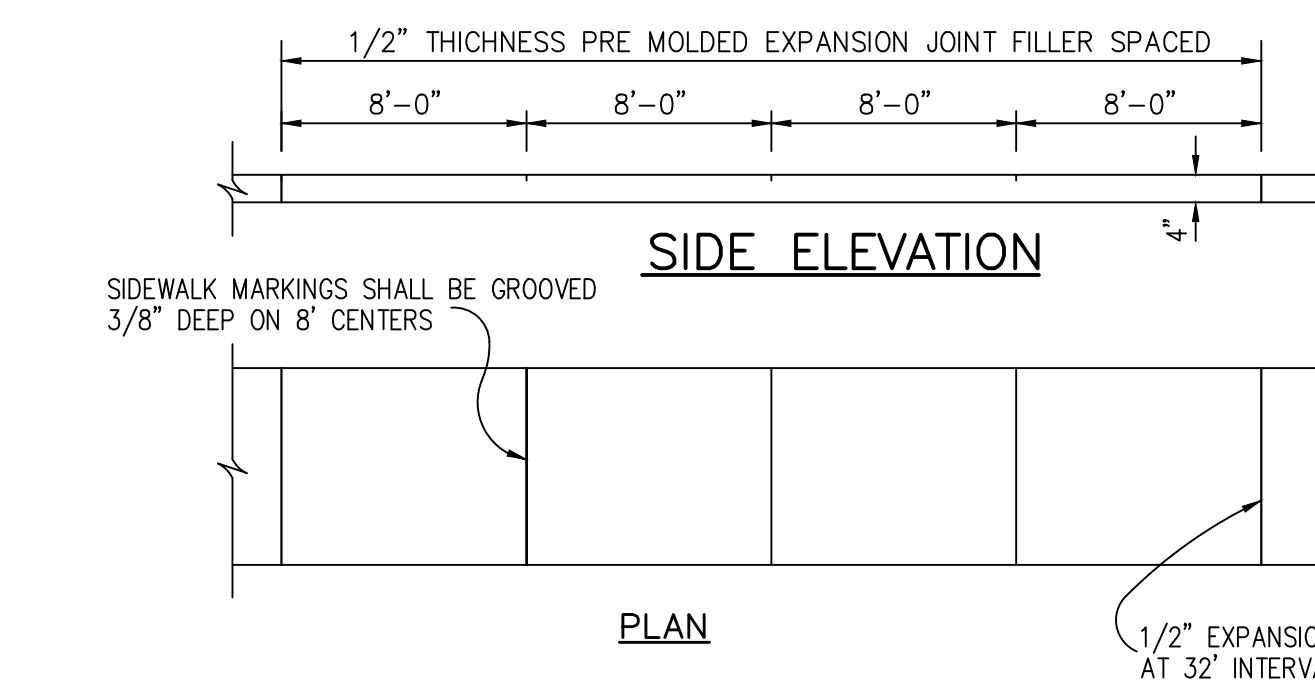
15'-0" TYP.

SAWED TRANSVERSE DUMMY JOINTS SPACED 15' TYPICAL (20' MAX)

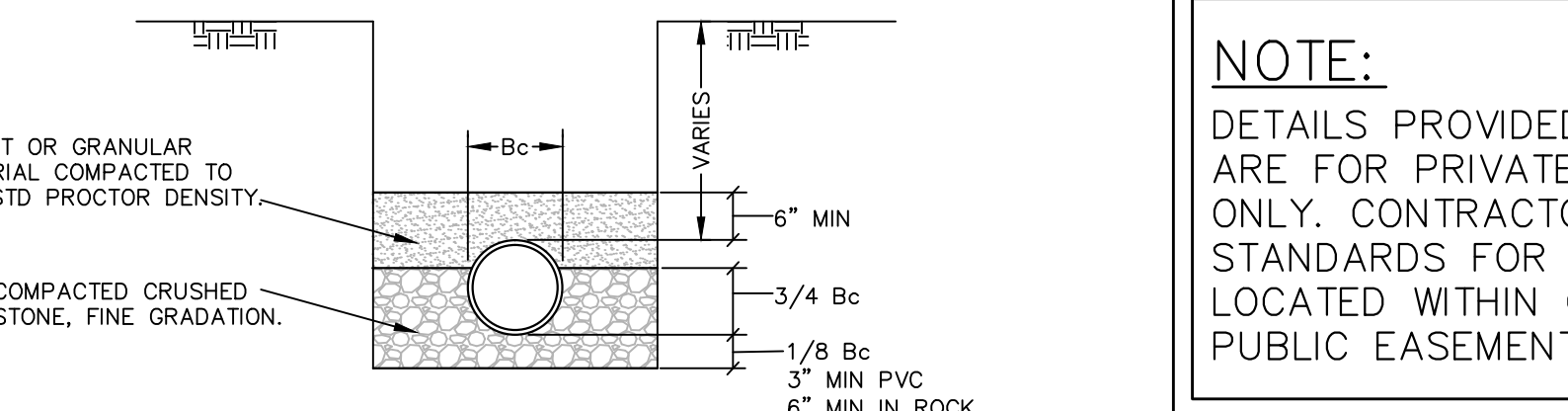
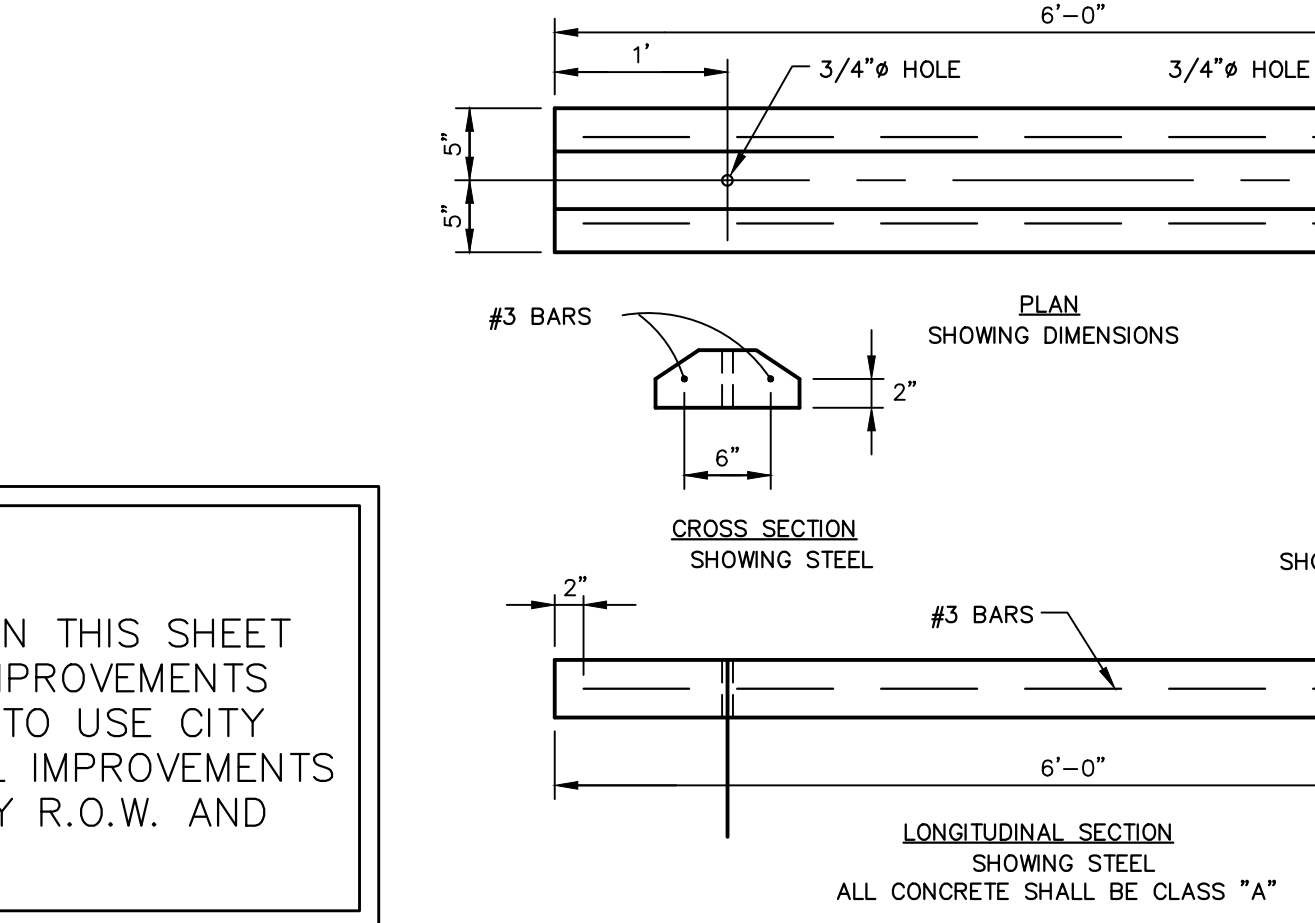
CONSTRUCTION JOINT OR SAWED LONGITUDINAL DUMMY JOINT ALONG C.L. OF ALL SINGLE ROADWAY SECTIONS EXCEPT PAVEMENT LESS THAN 14' WIDE.

ADDITIONAL SIMILAR JOINT ON 10'-0" CENTERS EACH SIDE C.L. FOR ROADWAY SECTIONS WIDER THAN 30'.

LOCAL & COLLECTOR TYPE STREETS

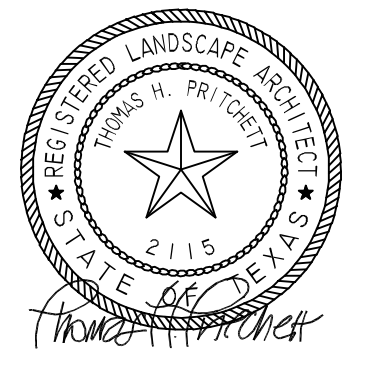


WARNING: PAVING SLOPES IN EXCESS OF TWO PERCENT (2%) IN ANY DIRECTION WILL BE CAUSE FOR REJECTION OF HC PARKING STALLS. CONTRACTOR TO VERIFY SPOT ELEVATIONS PRIOR TO PAVING AND TO ENSURE COMPLIANCE.



NOTE:
DETAILS PROVIDED ON THIS SHEET ARE FOR PRIVATE IMPROVEMENTS ONLY. CONTRACTOR TO USE CITY STANDARDS FOR ALL IMPROVEMENTS LOCATED WITHIN CITY R.O.W. AND PUBLIC EASEMENTS.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. REG. 215 ON 11/02/04



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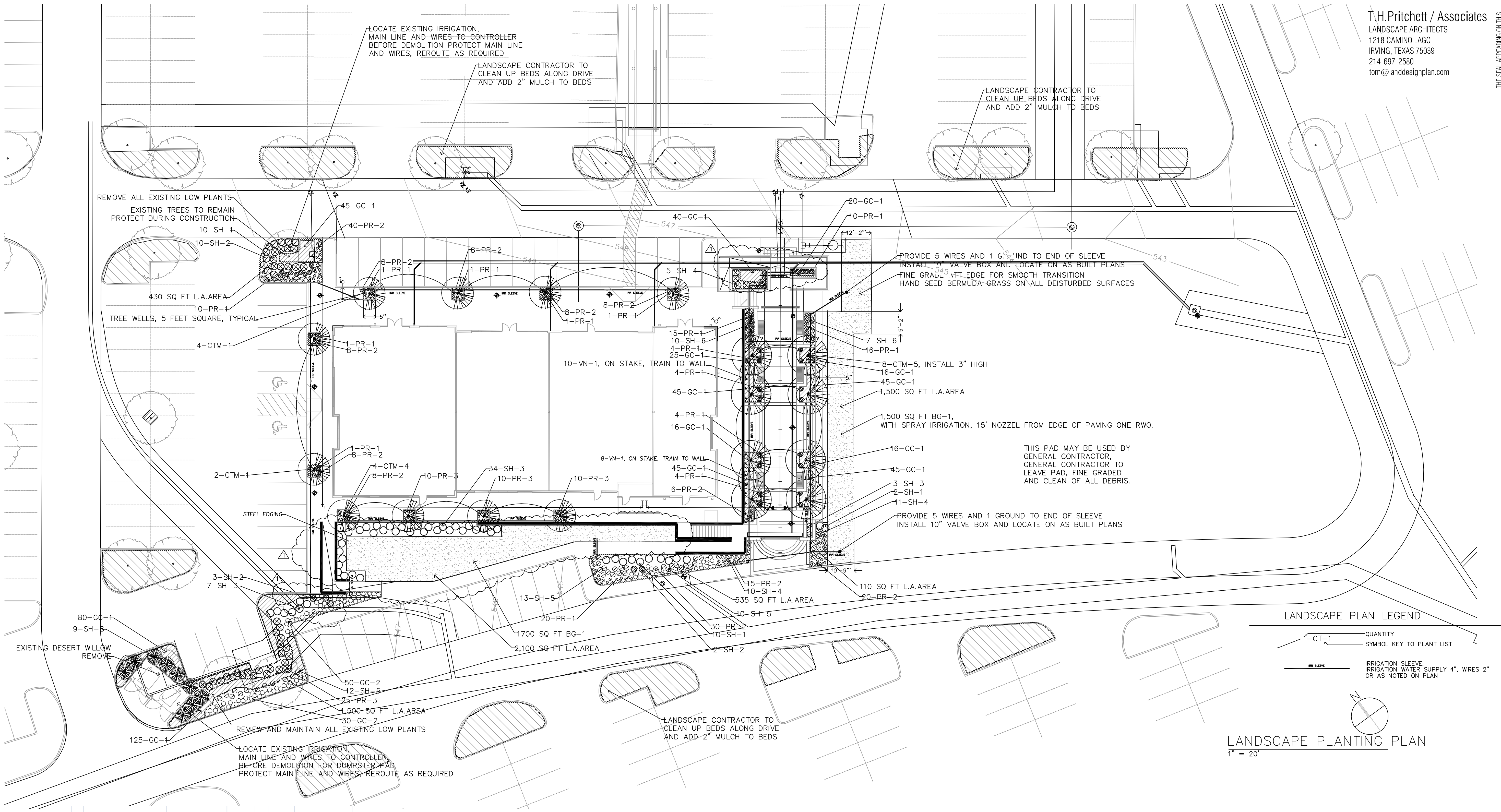
Date	Issue
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09-26-2014, BUILDING PERMIT

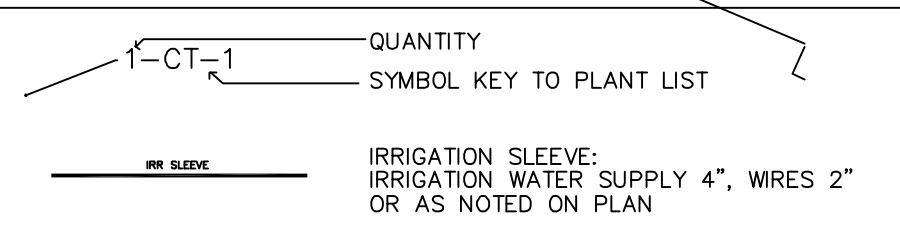
11-10-2014, LANDSCAPE AND MITIGATION REVISION

Drawn By: T.H.P.

Project No.: T.B.A.



LANDSCAPE PLAN LEGEND



LANDSCAPE PLANTING PLAN
 1" = 20'

TREE MITIGATION CHART	11/10/2014	MITIGATION	TOTAL	NORTH AND SOUTH AREA OF PH III
PHASE III SUBMITTALS	AREA NO 5	INCHES	TOTAL	AREA NO 5
EVERGREEN TREES	TOTAL	PROVIDED	INCHES	TOTAL
4" CALIPER TREES	0	0	0	0
DECIDUOUS TREES	0	0	0	0
4" CALIPER TREES	0	0	0	0
MITIGATION TREES	8	12	12	30
5.5" CALIPER TREES	8	44	44	40
ORNAMENTAL TREES	0	6	6	0
SHRUBS/HEDGES	166	20%	33.2	180
GROUND COVERS	627	10%	62.7	446
PERENNIALS	306	0.1	30.6	380
VINES	18	20%	3.6	0
TOTAL ROCKWALL PLAZA III AREA NO 5	186.1			254.6
TOTAL MITIGATION INCHES	11/10/2014	8/12/2010		
PHASE IV WILL INSTALL REMAINING MITIGATION PLANTS			68.5	INCHES DUE

LANDSCAPE IRRIGATION WARRANTEE

1. LANDSCAPE CONTRACTOR SHALL WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE COMPLETED WORK.
 2. IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR NEW ITEMS.

IRRIGATION AFFIDAVIT

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATIVE (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

CITY OF ROCKWALL MAINTENANCE NOTE;

MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS. REQUIRED BUFFER YARD AREAS AND MATERIALS AND REQUIRED SCREENING MATERIALS. SAID AREAS MUST BE MAINTAINED AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. MAINTENANCE WILL INCLUDE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE UDC. ALL SUCH PLANTS SHALL BE REPLACED WITHIN (6) SIX MONTHS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. A PROPERTY/HOMEOWNERS ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE OF COMMON AREAS.

ROOT BARRIERS AT UTILITIES AND PAVING EDGES

1. NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC. CABLE, STORM, ECT.
 2. ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED
 3. DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS AT EACH TREE ON SIDE OF PAVING OR UTILITY. INCLUDE 4" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP. BARRIER TO EXTEND 1" ABOVE GRADE.

SELECTED PLANT LIST

EVERGREEN TREES	COMMON NAME	BOTANICAL NAME	SIZE
E-1	LIVE OAK	QUERCUS VIRGINIANA	45 GAL 3.0"-3.5" CAL 10-12 FT. HIGH, MATCHED FULL ROUND HEADS
E-2	ELDERICA PINE	PINUS ELDERICA	45 GAL 3.0"-3.5" CAL 10-12 FT. HIGH, MATCHED FULL ROUND HEADS
DECIDUOUS TREES			
D-1	CEDAR ELM	ULMAS CRASSIFOLIA	45 GAL 3.0"-3.5" CAL 10-12 FT. HIGH, MATCHED FULL ROUND HEADS
D-2	THORNLESS HONEYLOCUST	GLEDITSIA TRICANTHOSUS	45 GAL 3.0"-3.5" CAL 10-12 FT. HIGH, MATCHED FULL ROUND HEADS
D-3	BAUD CYPRESS	TAXODIUM DISTICHUM	45 GAL 3.0"-3.5" CAL 10-12 FT. HIGH, MATCHED FULL ROUND HEADS
MITIGATION TREES			
CTM-1	CEDAR ELM	ULMAS CRASSIFOLIA	SINGLE TRUNK, 100 GAL 5-5.5" CAL., 16-18 FT CANOPY HEIGHT
CTM-2	CEDAR ELM	ULMAS CRASSIFOLIA	SINGLE TRUNK, 200 GAL 6-6.5" CAL., 16-18 FT CANOPY HEIGHT
CTM-3	BAUD CYPRESS	TAXODIUM DISTICHUM	SINGLE TRUNK, 100 GAL 5-5.5" CAL., 16-18 FT CANOPY HEIGHT
CTM-4	LIVE OAK	QUERCUS VIRGINIANA	SINGLE TRUNK, 100 GAL 5-5.5" CAL., 16-18 FT CANOPY HEIGHT
CTM-5	LIVE OAK, UP RIGHT CANOPY	QUERCUS VIRGINIANA	SINGLE TRUNK, 100 GAL 5-5.5" CAL., 16-18 FT CANOPY HEIGHT
CTM-6	CREPE MYRTLE, MATCHES WHITE	LAGERSTROMIA INDICA, MATCHES	65 GAL 4.0-4.5" CAL 10-12 HIGH, SINGLE TRUNK TREES, CLEAR 6 FEET
CTM-7	CREPE MYRTLE, TUSACRORA	LAGERSTROMIA INDICA, RED	65 GAL 4.0-4.5" CAL 10-12 HIGH, MULTI TRUNK TREES, CLEAR 6 FEET
SHRUBS, HEDGES			
SH-1	KNOCK OUT ROSE, DOUBLE RED	ROSEACE, KNOCK OUT SPECIES, RED	5 GAL 16" HIGH, FULL HEAD, PLANT 1" HIGH AND MULCH
SH-2	CALIFORNIA FAN PALM	WASHINGTONIA FILIFERA	5 GAL
SH-3	SOFT LEAF YUCCA	YUCCA GLORIOSA, SOFT LEAF	5 GAL
SH-4	DWARF BURFORD HOLLY	ILEX CORNUTA, BURFORD	5 GAL
SH-5	TEXAS RED YUCCA	HESPERALOE PARVIFOLIA	5 GAL
SH-6	DWARF YALPON HOLLY	ILEX VOMITORIA, NANA	5 GAL
SH-7	BARBARBOR JUNIPER	JUNIPERUS HORIZONTALIS BARBARBOR	1 GAL
SH-8	NELLIE R. STEVENS	ILEX OPACA, NELLIE R. STEVENS	45 GAL 5-6 FT HIGH, FULL TO THE GROUND
GROUND COVERS			
GC-1	PURPLE WINTER CREEPER	ELONIUMUS FORTUNE COLORATA	1 GAL
GC-2	HAMELI GRASS	PENNESETUM ALDOPICURIDES HAMELI	1 GAL
GC-3	GIANT URPOPE	LIROPE MUSCARI GIGANTICA	3 GAL FULL LOW, DOUBLE FLOWER
PERENNIALS			
PR-1	DAYLILY, RED LIPSTICK	HEMEROCALLIS, TETRUS, RED	1 GAL EVERGREEN VARIETY
PR-2	LANTANA, PURPLE	LANTANA CAMARA, PURPUREA	1 GAL
PR-3	AUTUMN SAGE, PURPLE	SALVIA GREGGA, PURPLE	1 GAL
PR-4	DRIFT ROSE, RED	ROSE SPECIES, DRIFT ROSE, RED	1 GAL
VINES			
VN-1	FIG IVY	FICUS PUMILA	1 GAL ON STAKE
GRASS			
BG-1	BERMUDA GRASS	BERMUDA SPECIES, COMMON	SOLID SOD
BG-2	BERMUDA GRASS	BERMUDA SPECIES, COMMON	HYDROMOLCH, 100% COVERAGE 30 DAYS

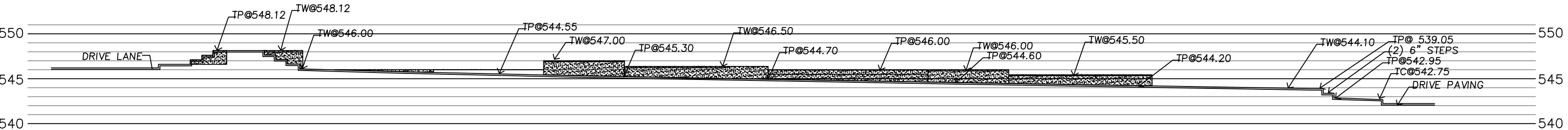
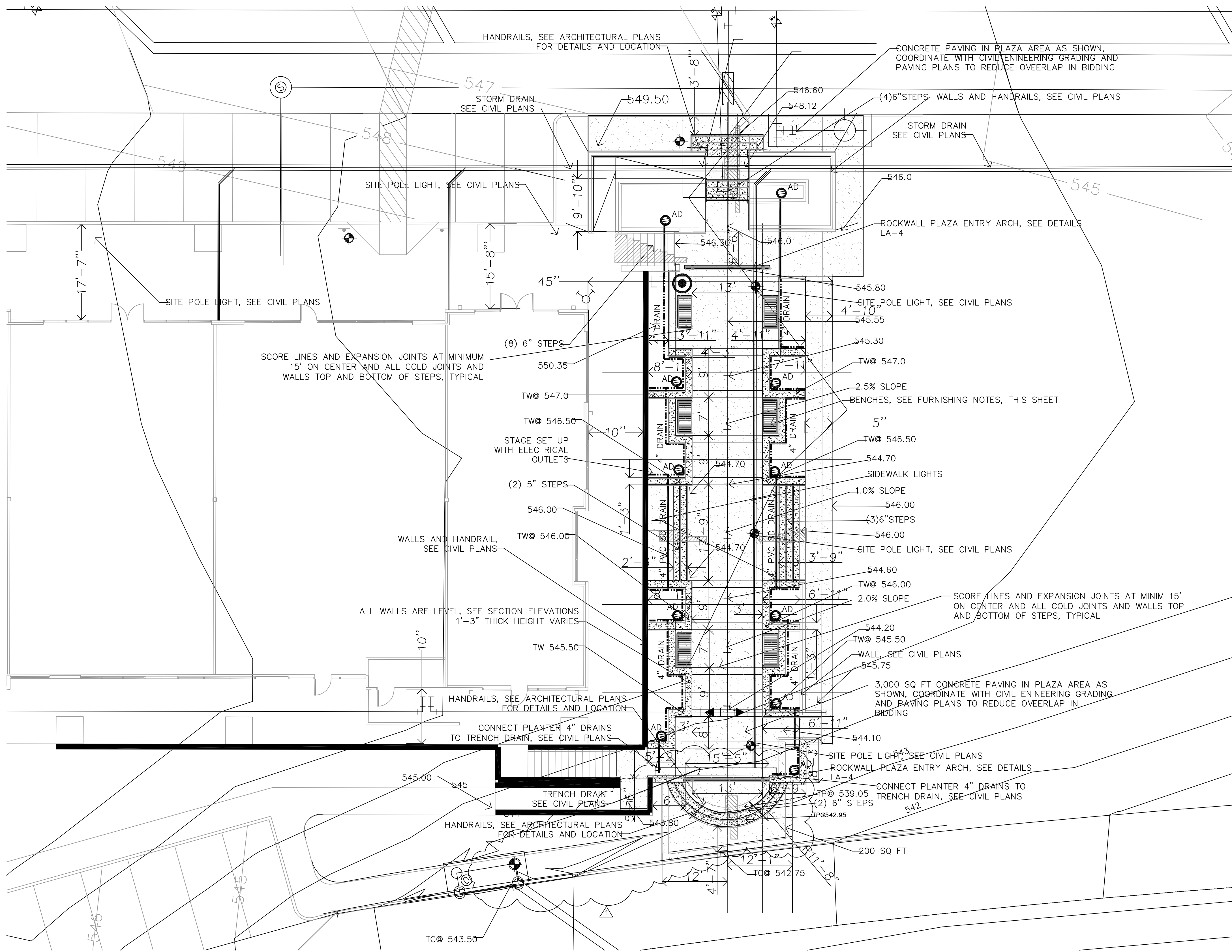
CITY OF ROCKWALL LANDSCAPE STANDARDS

SITE DESIGN CRITERIA	REQUIRED	PROVIDED
A. TOTAL GROSS AREA OF THE SITE		180,138.02 SQ. FT.
B. SCREENING OF SITE LOADING DOCKS ON ALL REQUIRED TREES	NONE	NONE
C. ACCEPTABLE LANDSCAPE PLANT MATERIAL MINIMUM 4.0" CALIPER OR GREATER	YES	YES
D. PROTECTION OF ALL LANDSCAPE AREAS BY CONCRETE CURBS OR CURB STOPS	YES	YES
E. IRRIGATION REQUIREMENT, ALL REQUIRED NEW LANDSCAPE AREAS TO BE IRRIGATED WITH UNDER GROUND IRRIGATION SYSTEM	YES	YES
F. RIGHT OF WAY STREET LANDSCAPE BUFFER AREA BETWEEN R.O.W AND ROAD WAY SURFACES TO BE SEEDED.	YES	YES
G. STREET LANDSCAPE BUFFER REQUIRED IN 20 FOOT WIDE BUFFER, (3) CANOPY AND (4) ACCENT TREE PER 100 FEET RIDGE ROAD	9 CANOPY TREE 12 ACCENT TREE	10 CANOPY TREE 12 ACCENT TREE
H. YELLOW JACKET ROAD 280.00 FT		
I. PARKING LOT LANDSCAPING, MINIMUM 5% OF THE PARKING LOT SHALL BE LANDSCAPE AREA. ALL PARKING SPACES SHALL BE WITHIN 50 FEET OF A LARGE TREE. ADDITIONAL PARKING LOT TREES	YES	YES
J. SCREENING OF DUMPSTER AND WALLED BEHIND WALL WITH GATES, REQUIRED	YES	YES
K. THE REQUIRED LANDSCAPE AREA ON SITE. THE REQUIRED AREA FOR THE LOT IS 15% COMMERCIAL USES. SITE IS APPROX. SITE AREA = 107,210 SQ. FT.	16,082 SQ FT	30,500 SQ FT. 28.4%
L. PARKING LOTS SHALL PROVIDE 1 TREE PER 10 PARKING SPACES. (44) PARKING SPACES, TREES ALLOCATED PER AREA.	5 TREE	5 TREE

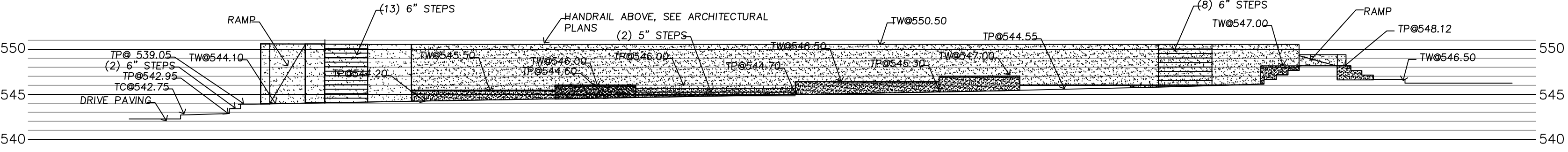
ROCKWALL PLAZA III LAYOUT PLAN
 11,500 SQ. FT. RETAIL BUILDING
 PLAZA AT ROCKWALL
 HIGHWAY I-30
 ROCKWALL, TEXAS



25001 EMERY ROAD, SUITE 400
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 FAX (216) 223-3210
 www.herschmanarchitects.com



ELEVATION OF PLAZA SOUTH SIDE



ELEVATION OF PLAZA NORTH SIDE

- LEGEND GRADING AND DRAINAGE**
- SPOT GRADE
 - TOP OF WALL GRADE
 - SURFACE DRAIN 4\"/>
- FURNISHING SCHEDULE**
- ALL ITEMS SPECIFIED ARE TO BE MANUFACTURED BY KEYSTONE RIDGE DESIGNS 1-800-284-8208
- LT LITTER RECEPTACLES, MIDTOWN, MT-3-22, MATTE BLACK, 22 GAL. ROUND
- BENCH, PULLMAN, P-26, 6 FOOT WITH BACK, MATTE BLACK, WITH BOLT DOWN

T.H.Pritchett / Associates
 LANDSCAPE ARCHITECTS
 1218 CAMINO LAGO
 IRVING, TEXAS 75039
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 tom@landdesignplan.com



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Date	Issue
09-26-2014	BUILDING PERMIT
11-10-2014	DRAIN REVISION PER CITY COMMENTS

Drawn By: T.H.P.
 Project No.: T.B.A.

ROCKWALL PLAZA III LAYOUT PLAN
 11,500 SQ. FT. RETAIL BUILDING
 PLAZA AT ROCKWALL
 HIGHWAY I-30
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PLAZA LAYOUT AND GRADING PLAN
 1" = 10'

LA-3

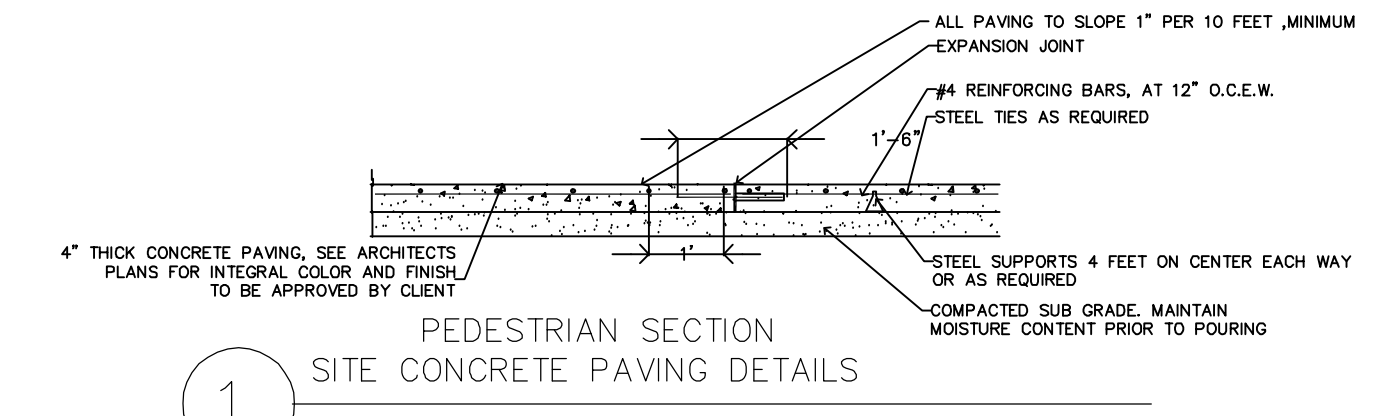
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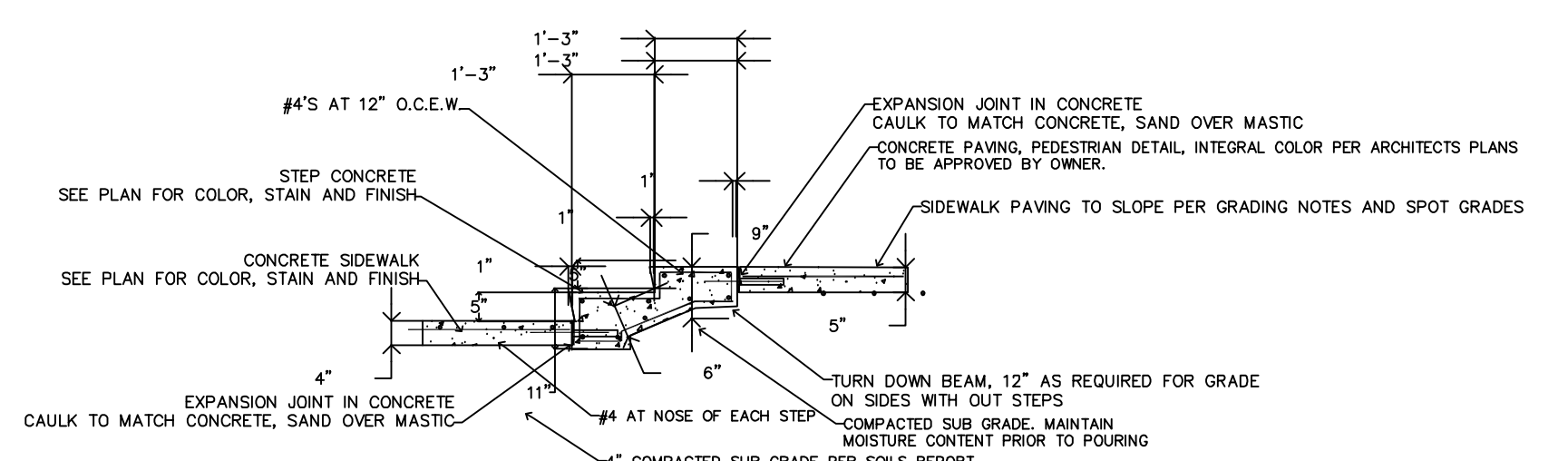
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Date	Issue
09-26-2014	BUILDING PERMIT

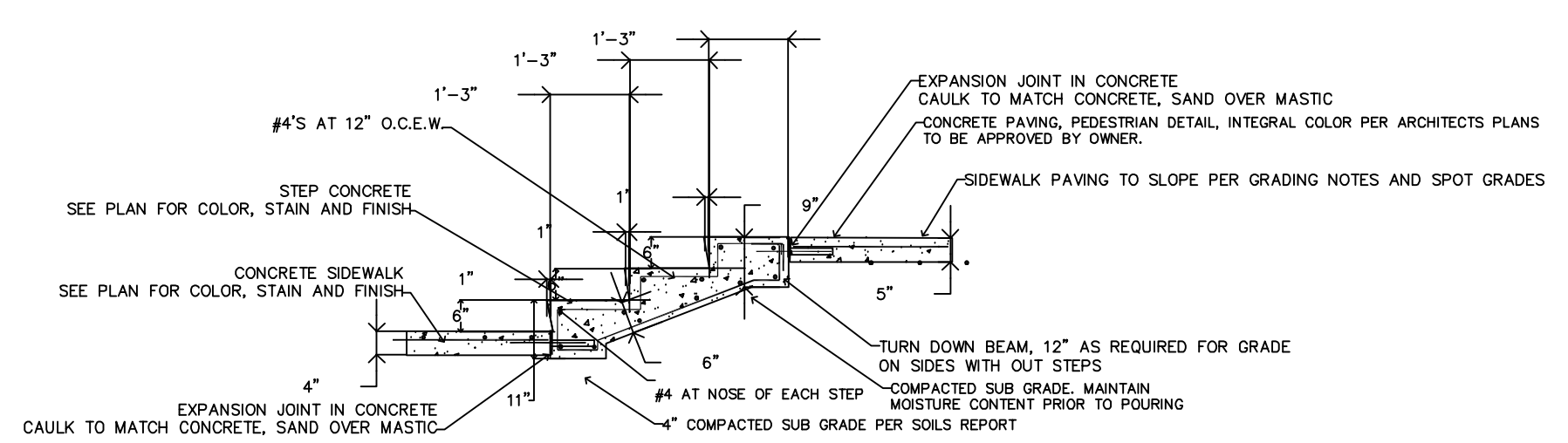
Drawn By: T.H.P.
 Project No.: T.B.A.



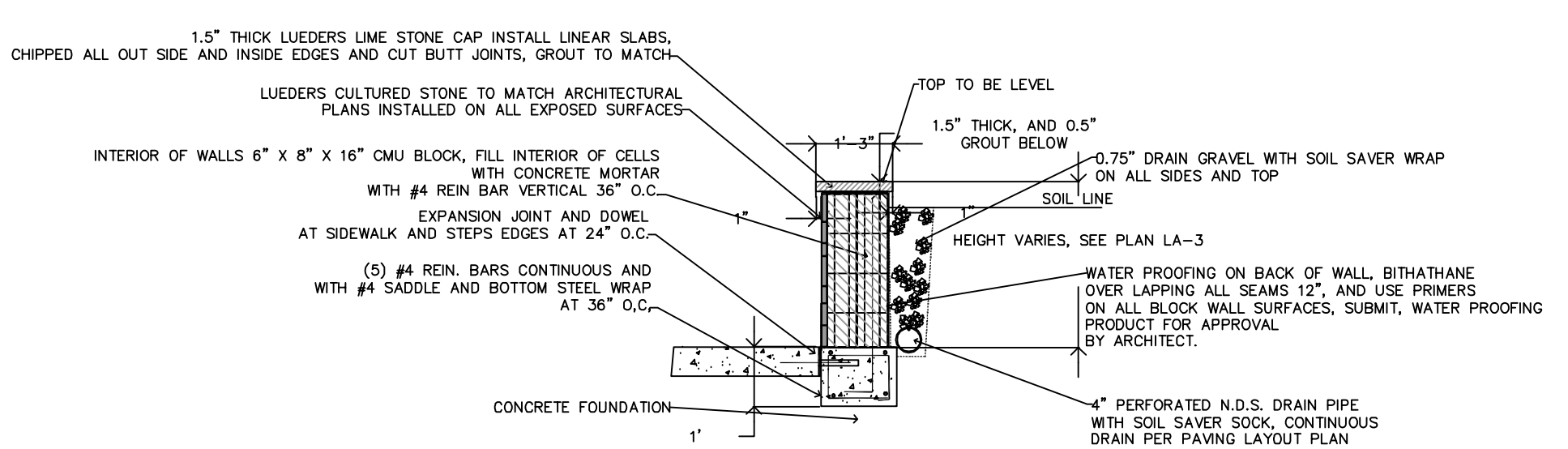
1 SITE CONCRETE PAVING DETAILS
 N.T.S.
 EXPANSION JOINT NOTES:
 1. CAULK TOP WITH CAULK TO MATCH STONE PAVING. INSTALL OVER 1\"/>



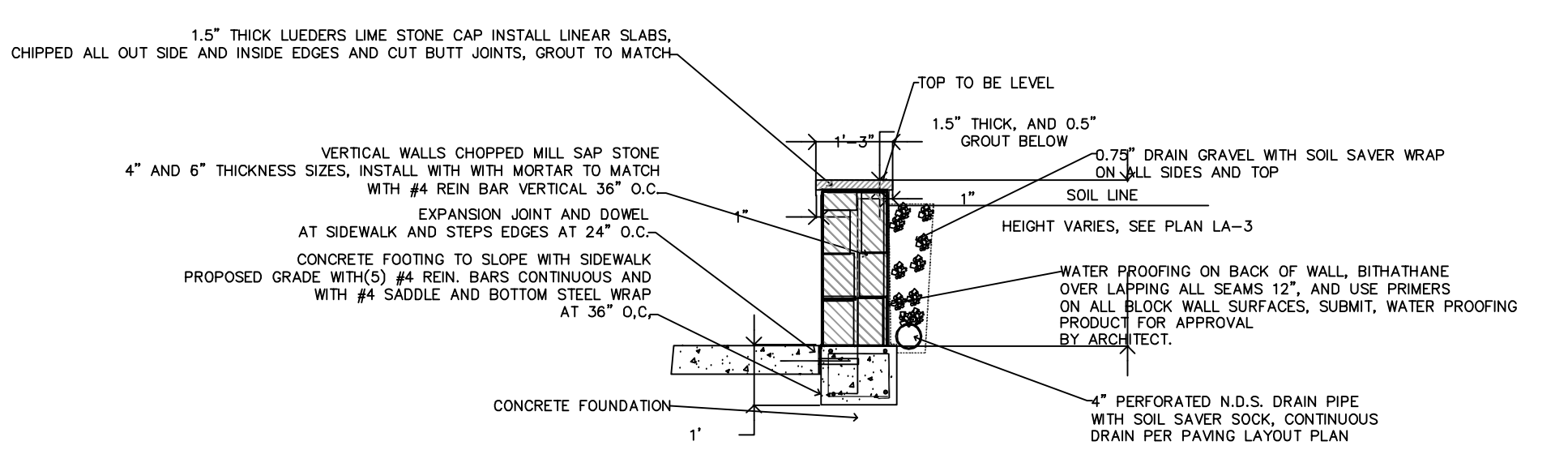
**2 CONCRETE (2) 5\"/>
 N.T.S.
 EXPANSION JOINT NOTES:
 1. CAULK TOP WITH CAULK TO MATCH STONE PAVING. INSTALL OVER 1\"/>**



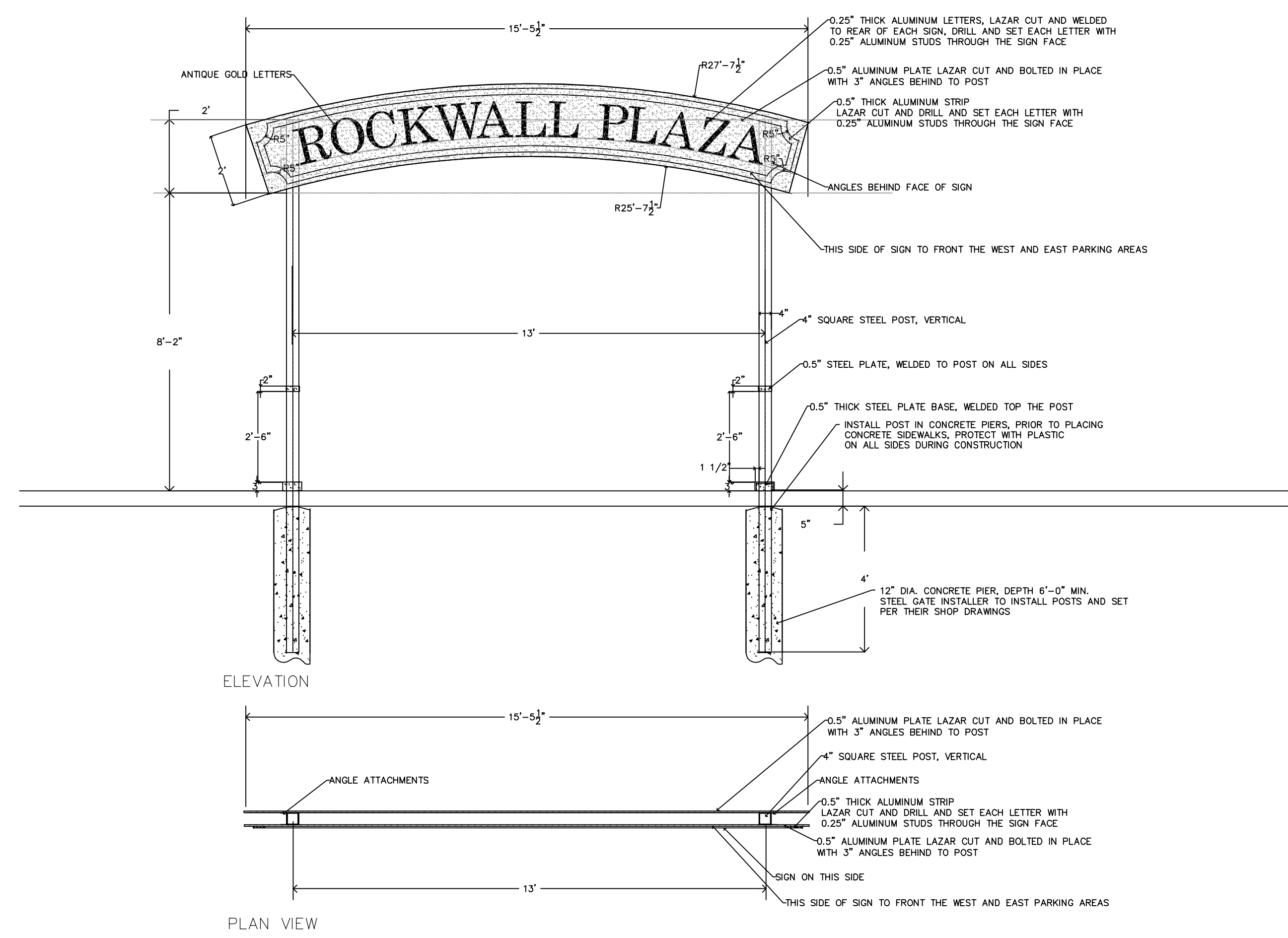
**3 CONCRETE (3) 6\"/>
 N.T.S.
 EXPANSION JOINT NOTES:
 1. CAULK TOP WITH CAULK TO MATCH STONE PAVING. INSTALL OVER 1\"/>**



4 PLAZA LOW WALL DETAIL SECTION, BASE BID
 N.T.S.
 EXPANSION JOINT NOTES:
 1. CAULK TOP WITH CAULK TO MATCH STONE PAVING. INSTALL OVER 1\"/>



5 PLAZA LOW WALL DETAIL SECTION, ALTERNATE BID LA-1
 N.T.S.
 EXPANSION JOINT NOTES:
 1. CAULK TOP WITH CAULK TO MATCH STONE PAVING. INSTALL OVER 1\"/>



1 PLAZA ENTRY ARCH, STEEL AND ALUMINUM
 N.T.S.
 1. ALL STEEL AND ALUMINUM TO BE AS PER SIZE DESCRIBED. GRIND SMOOTH ALL WELDS, PRIOR TO PRIME COAT OF PAINT.
 2. SIGN LETTERS TO BE ANTIQUE GOLD SATIN FINISHED EXTERIOR ENAMEL.
 3. ALL SIDES OF THE POSTS AND FRONT AND BACK SIGN BACK GROUND COLOR TO BE DARK BROWN, SATIN FINISHED OR APPROVED SAMPLE. DO NOT USE BLACK.
 4. PRIME TWO COATS AND APPLY TWO COATS. EXTERIOR FLAT ENAMEL PAINT ALL SIDES OF EXPOSED STEEL OR ALUMINUM. COLOR SPECIFIED, AFTER INSTALLATION, GRIND WELDS AND FIELD PRIME AND PAINT.

CONCRETE CONSTRUCTION NOTES

- All concrete construction shall be in accordance with the latest building code of the City of ROCKWALL, Texas and any other codes of applicable regulatory agencies. The soils report furnished by the owner or general contractor shall override all notes and details on this plan if the requirement exceeds what is shown on the drawings.
- All concrete detailing and construction shall be in accordance with ACI 318.
- All concrete reinforcing steel shall conform to ASTM A615, Grade 60. #3 bars may conform to Grade 40 as contractors option.
- All concrete shall be normal weight sand and aggregate with 28-day compressive strength as follows:
 Drilled Piers 3000 psi
 All Other Concrete 3000 psi
- All concrete (except drilled piers) shall be delivered to the job site at a slump of 3" +/- 1". No additional water shall be added to the concrete at the job site. All concrete (except drilled piers) shall utilize a high range water reducer (superplasticizer) conforming to ASTM C-494, Type F and as air entrainment admixture conforming to ASTM C-260. All admixtures shall be used in accordance with the manufacturer's recommendations.
- Proportions of ingredients for concrete shall be selected by past field experience or based on laboratory trial mixes to produce placability, durability, specified strength, and properties as specified. The mix design shall be submitted to the Landscape Architect for approval.
- Immediately following placement, concrete shall be protected from premature drying, hot and cold temperatures, rain, flowing water, and mechanical injury. Approved methods of curing include: ponding continuous sprinkling, continuous wet mats, and liquid membrane forming compounds.
- Contraction joints may be formed, tooled, or sawed approximately equal to 1/3 the thickness of the member. The distance between contraction joints in all elements shall not exceed 5 feet or as per plan. Construction joints shown on these drawings shall be made and located to least impair the strength and structure. Reinforcement shall be continuous across joints.
- Reinforcement splices shall be 24" overlap of all reinforcing steel bars and mesh. Where necessary, top bars shall be spliced at mid-span between piers and bottom bars shall be spliced over supports.
- When pouring the drilled piers, care shall be taken to avoid overflows of concrete at the top of the shaft. The shaft size must remain constant to the underside of the supported slab, beam, or wall.
- Temporary construction and final grading must slope away from all concrete elements. All grading materials near the same elements to be compacted to minimize water infiltration. Install backfill around all concrete immediately after concrete is cast. If rain occurs before backfill is placed the excavations must be pumped immediately and kept dry at all times.
- Colored concrete placed on the site shall be protected as above and covered with plastic to protect color finish. Cure as per manufacturers recommendations and specifications. Trained concrete color placement sub contractor shall have no less than ten years experience in finishing concrete that has been colored. All workers and finishers shall be trained.
- Sample color finishes for all concrete shall be placed on site for owner approval before placing concrete on site as shown on these drawings.
- Contractor to finish all concrete pods for electric transformers in conformance with T.U. Electric

PLAZA DETAILS AND NOTES
 N.T.S.

ROCKWALL PLAZA III LAYOUT PLAN
 11,500 SQ. FT. RETAIL BUILDING
 PLAZA AT ROCKWALL
 HIGHWAY I-30
 ROCKWALL, TEXAS



LA-4

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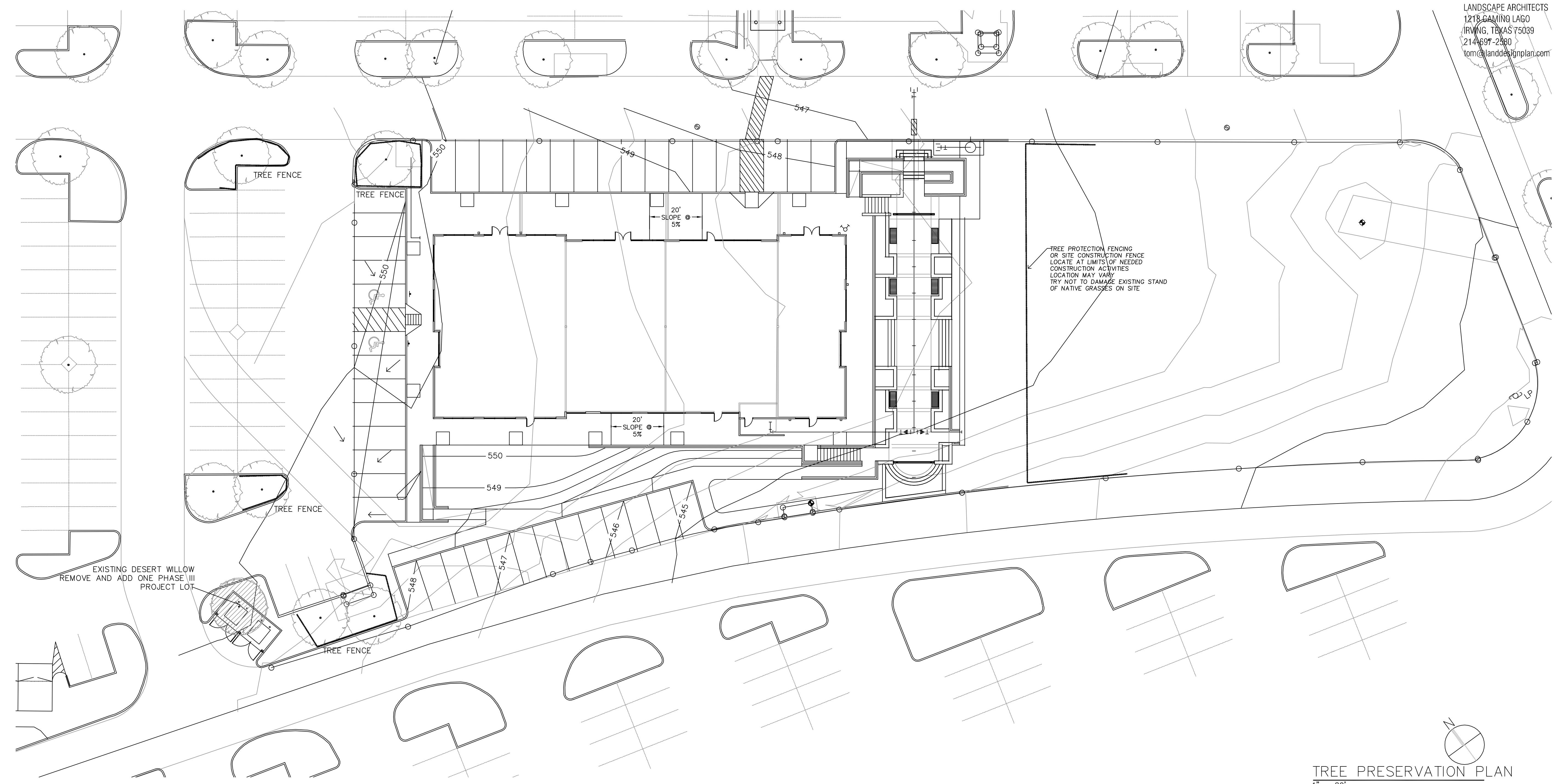
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T.H. PRITCHETT, R.L.A. NO. 2115 ON 09/26/2014



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Date	Issue
09-26-2014	BUILDING PERMIT

Drawn By: T.H.P.
 Project No.: T.B.A.



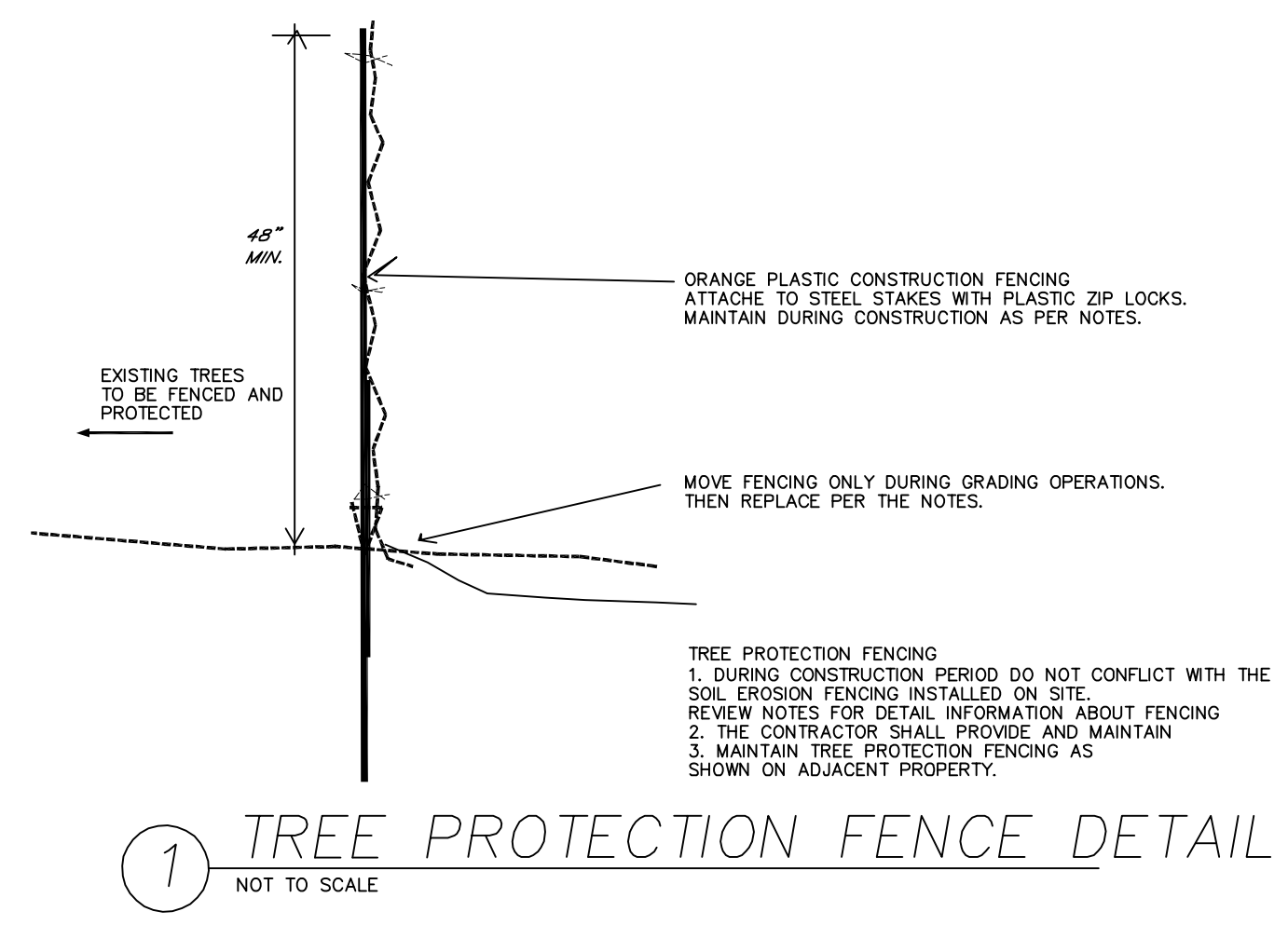
TREE PRESERVATION PLAN
 1" = 20'

TREE PRESERVATION NOTES

1. TO REVIEW THE TREE PRESERVATION LEGEND AND CITY NOTES PLEASE REVIEW SHEET LA-3 OF THIS SET
2. TO REVIEW THE TREE SURVEY MITIGATION CHART PLEASE REVIEW SHEET LA-3 OF THIS SET
3. ALSO REVIEW TREE PRESERVATION DETAILS & SPECIFICATION SHEET LA-3 OF THIS SET.

TREE PRESERVATION SYMBOLS

- EXISTING ROCKWALL RETAIL PHASE II TREES ON SITE AND NOTED TO BE REMOVED AND MITIGATED ON THE SITE. SEE NOTES THIS SHEET LA-3 FOR CHARTS CITY PERMIT REQUIRED FOR ANY TREE REMOVAL.
- EXISTING ROCKWALL PHASE II TREES ON SITE AND NOTED TO BE REMAIN. SEE NOTES THIS SHEET L2.02 FOR CHART CITY PERMIT REQUIRED FOR ANY TREE REMOVAL.
- TREE FENCE
- PROTECTIVE FENCING SEE DETAIL 1. INSTALL AT BACK OF CURB ON EXISTING ISLANDS WITHIN 75 FEET OF CONSTRUCTION ZONE



1 TREE PROTECTION FENCE DETAIL
 NOT TO SCALE

Job: Rockwall, Marviner V/A STANDARD'S LOAD STANDARD TEMPLATE 2010
 Drawn: B.P.P.

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CITY OF ROCKWALL
 CASE NO. SP2013-003