

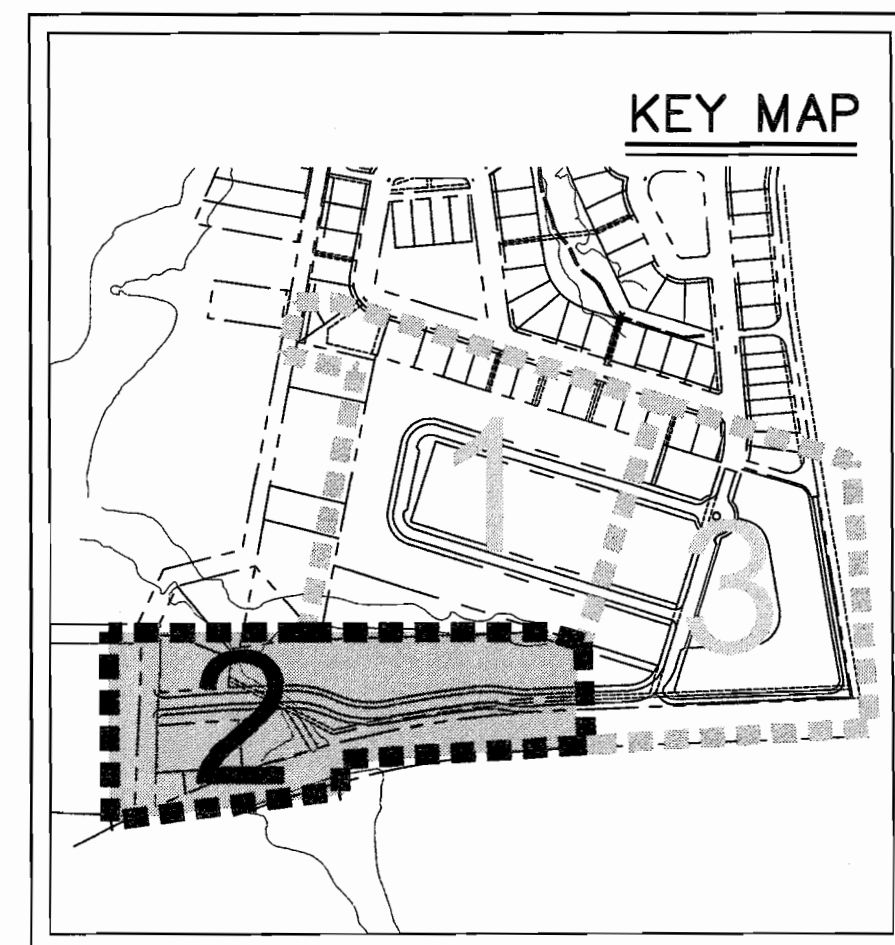
NOTES

1. SEE SHEET C1 FOR GENERAL NOTES AND GRADING NOTES.
2. SEE SHEETS C17 FOR ENLARGED VIEW OF DETENTION AREA.
3. SEE SHEET C36 FOR EROSION CONTROL DETAILS AND NOTES.
4. CUT AND FILL SLOPES SHALL BE 4:1 TYPICAL UNLESS OTHERWISE SHOWN.
5. LOT GRADING SHALL BE LIMITED.
6. EXCESS EXCAVATION MAY BE PLACED ON-SITE ONLY AT THE DIRECTION OF THE OWNER.
7. GRADING PLAN SHALL BE SUBMITTED WITH THE BUILDING PERMIT FOR EACH LOT AND APPROVED BY THE ENGINEER.
8. MINIMUM FINISHED FLOOR ELEVATIONS ARE TO BE TWO FEET ABOVE ADJACENT 100-YEAR FLOODPLAIN ACTUAL FINISHED FLOOR OF HOUSES TO BE DETERMINED BY HOMEBUILDER.
9. SEE SHEETS C17.1 AND C18.1 FOR FLOODPLAIN SECTIONS

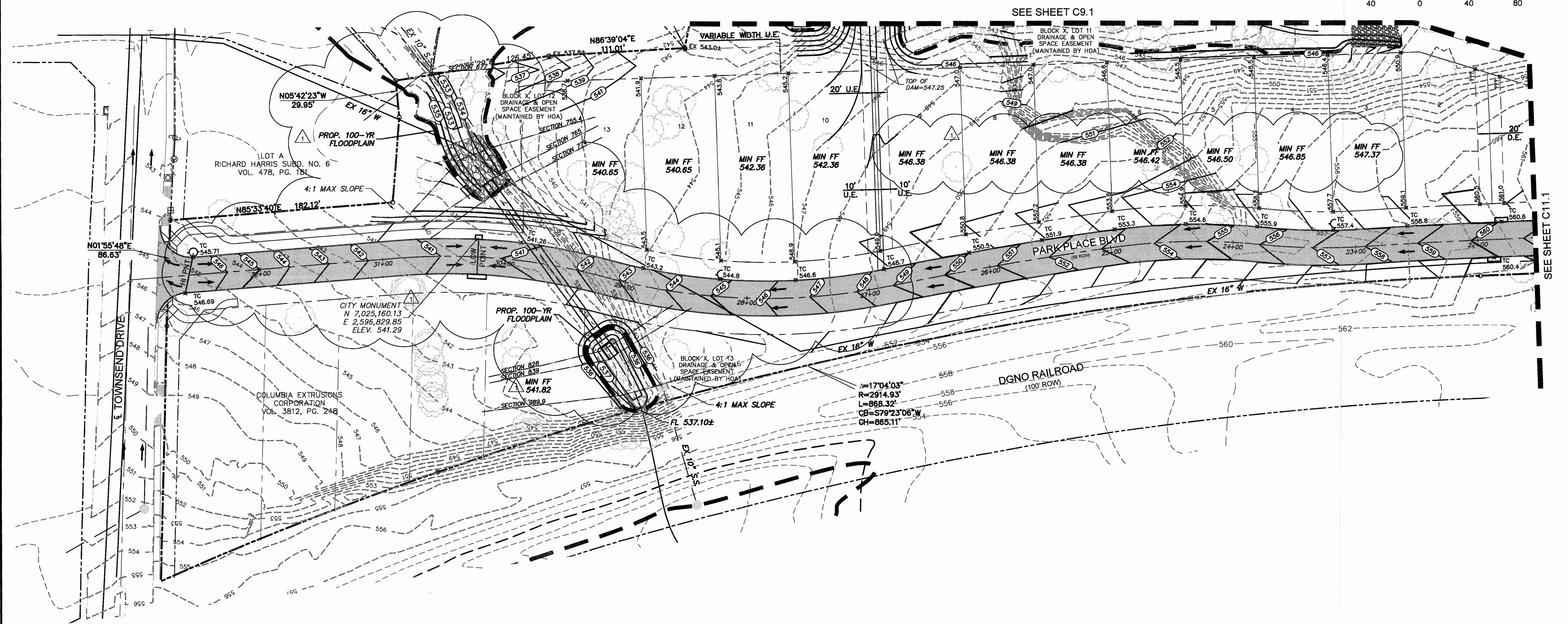
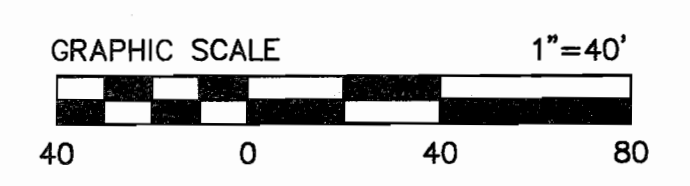
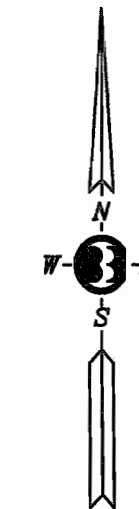
LEGEND

- - - 550 - - EX. CONTOUR INTERVAL
- (550) — PROP. MAJOR CONTOUR
- (550) — PROP. MINOR CONTOUR
- ✕ 500.0 PROP. FINISHED GRADE
- ← PROP. STORM DRAINAGE FLOW
- ← PROP. DRAINAGE FLOW DIRECTION
- ▭ PROPOSED STORM INLET
- ✕ EX 531.3 EXISTING GRADE
- ✕ TC 541.8 TOP OF CURB GRADE

KEY MAP



CAUTION: EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION.



SEE SHEET C9.1

SEE SHEET C11.1

CONSTRUCTION RECORDS
 DATE: 10.10.2019 BY: TPJ
 THIS DRAWING INDICATES THE WORK COMPLETED PER INFORMATION SUPPLIED BY THE CONTRACTOR. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION HAS NOT BEEN VERIFIED. ACTUAL ON THE GROUND SURVEY VERIFICATION WAS NOT PERFORMED EXCEPT AS SPECIFICALLY NOTED. TOMDEN ENGINEERING, L.L.P. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE INCORPORATED AS A RESULT OF ERRONEOUS INFORMATION PROVIDED BY OTHERS.
 TOMDEN ENGINEERING, L.L.P.

THIS SHEET SUPPLEMENTS ORIGINAL SHT C10 AND SHALL BE USED FOR THE CONSTRUCTION OF THE CLOUDED INFORMATION ONLY. BINKLEY BARFIELD SHALL BE RESPONSIBLE FOR ALL OTHER DESIGN INFORMATION SHOWN.

BENCHMARKS
 BM ON THE SOUTH EDGE OF PAVEMENT OF WASHINGTON STREET AT THE INTERSECTION OF ALUMINUM PLANT ROAD. ELEVATION = 542.91'
 BM ON THE EAST EDGE OF PAVEMENT OF RENRO STREET APPROXIMATELY 340' SOUTH OF THE INTERSECTION ON HARTMAN. ELEVATION = 535.43'

DESIGNED BY: TPJ	CHECKED BY: ADC	DATE: 10.04.2019	SCALE: AS SHOWN
DRAWN BY: TPJ	DATE: 10.04.2019	SCALE: AS SHOWN	

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PARK PLACE WEST - PHASE III
 R. BALLARD SURVEY ABSTRACT NO. 29
 ROCKWALL, ROCKWALL COUNTY, TEXAS

GRADING PLAN AREA II

Sheet No: **C10.1**
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