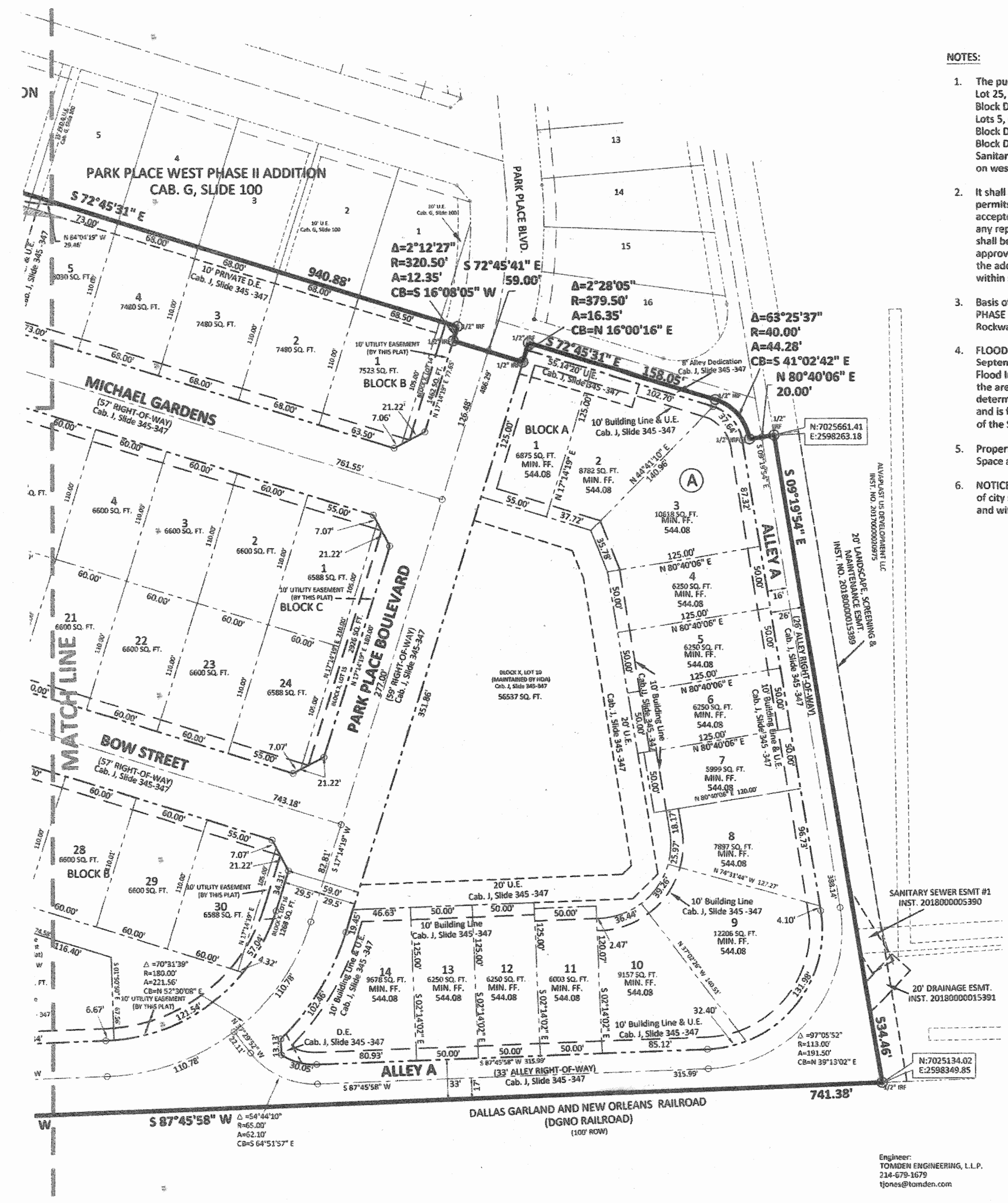
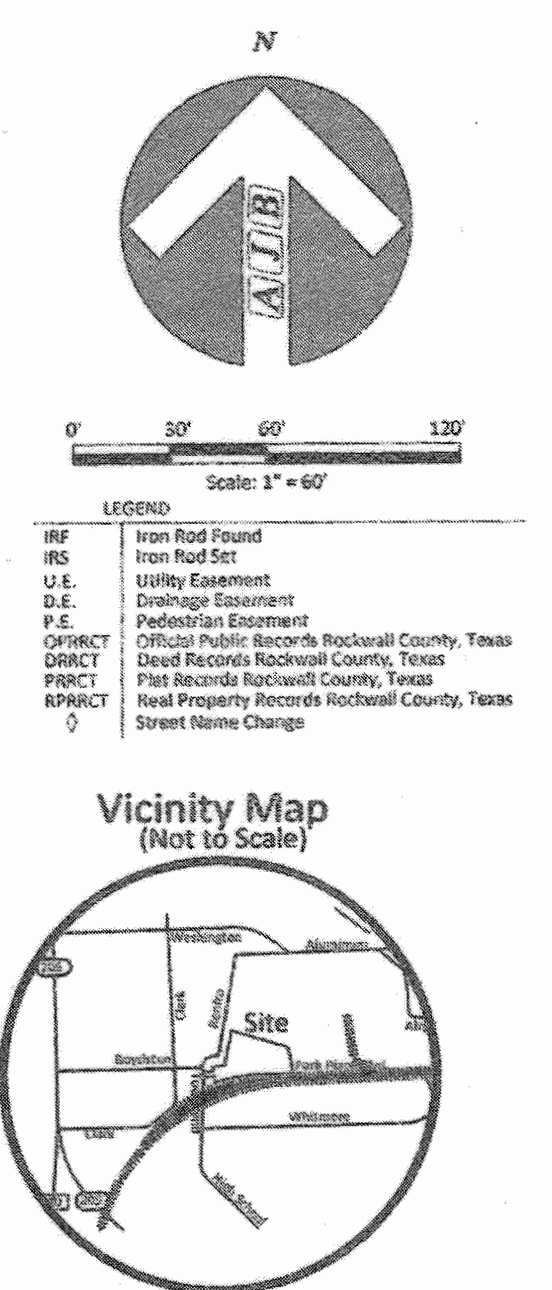


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NOTES:

1. The purpose of this Amending Plat is to combine Lots 11 & 12, Block C into 1-Lot 25, Block C, abandon a portion of 20' Drainage easement located on Lot 2, Block D & abandon a portion of 10' Private Drainage easement located on Lots 5, 6 & 7, Block B and dedicated portion of Drainage easement on Lot 1, Block D & dedicated a portion of 10' Drainage easement on Lots 5, 6 & 7, Block D. Abandoning Sanitary Sewer Easement on Lot 13, Block D and adding Sanitary Sewer Easement on Lot 13, Block D. Added to 10' Landscape located on west line of Block B "10' Landscape, Building Line & Utility Easement".
2. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
3. Basis of Bearings: Bearings are based on the Final Plat of PARK PLACE WEST PHASE III ADDITION recorded in Cabinet J, Slide 345 - 347, Plat Records Rockwall County, Texas.
4. FLOOD STATEMENT: According to Community Panel No. 48397C0040L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "A" which is the area of 100-year flood with base flood elevations and flood hazard factors determined. The location of Flood Zone "A" shown hereon is approximate and is for informational purposes only and shall not create liability on the part of the Surveyor as to it's accuracy.
5. Property owner/HOA is responsible for all maintenance and repair of Open Space and Drainage Easements.
6. NOTICE: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.

The purpose of this Amending Plat is to combine 2 lots into 1 lot, abandon easements and dedicate easements.

Case No.: P2019-018
 AMENDING PLAT
 PARK PLACE WEST PHASE III ADDITION
 BEING 86 LOTS ON 24.439 ACRES OF LAND LOCATED
 IN THE R. BALLARD SURVEY, ABSTRACT NO. 29
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 BEING A REPLAT OF PARK PLACE PHASE III ADDITION, RECORDED IN
 CABINET J, SLIDE 345 - 347, PLAT RECORDS, ROCKWALL COUNTY, TEXAS
 AND LOCATED IN B. J. LEWIS SURVEY, ABSTRACT NO. 225
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
 COLUMBIA DEVELOPMENT COMPANY, L.L.C.
 805 PARK PLACE BLVD.
 ROCKWALL, TEXAS 75087 972-222-2439
 info@cdco.com

Scale: 1" = 60'	Checked By: A.L. Bedford
Date: April 18, 2019	P.L.: Croyer/Spradling
Technician: Bedford	Job No.: 688-001
Drawn By: Bedford	GF No.:

Sheet:
 2
 Of: 4



Engineer:
 TOMDEN ENGINEERING, L.L.P.
 214-678-1279
 tjones@tomden.com

TBPLS REG#0118200