

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."

ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL AND N.C.T.C.O.G. (3rd EDITION) SPECIFICATIONS, STANDARDS, AND DETAILS. CITY OF ROCKWALL AMENDMENTS TO N.C.T.C.O.G. SHALL GOVERN.

IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

CITY OF ROCKWALL BENCH MARKS

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'  
 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

# CIVIL ENGINEERING DRAWINGS

FOR

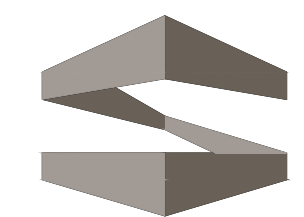
## ORTHOPAEDIC SPECIALISTS OF DALLAS

1301 SUMMER LEE DRIVE

ROCKWALL, TX 75032

RIDGE / SUMMER LEE ADDITION

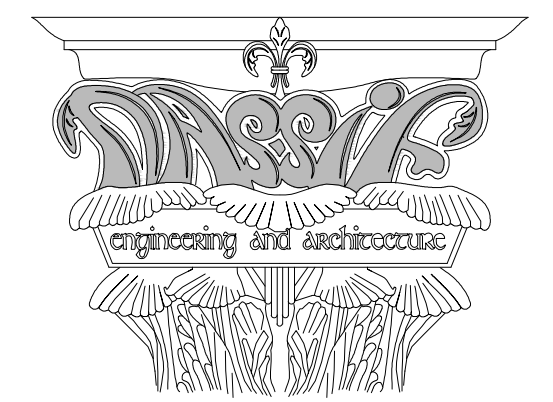
TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R



**STROHMEYER**  
ARCHITECTS INC.

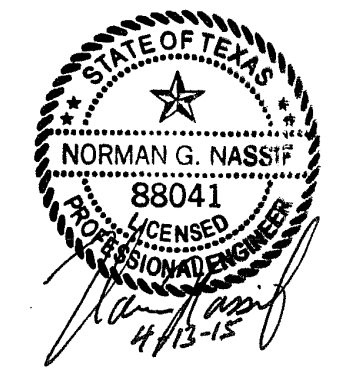
Consultants:

Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
TBAE Registration No. : BR400

Copyright 2015 Nassif Engineering & Architecture, LLC



**ORTHOPAEDIC  
SPECIALISTS  
OF  
DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
 Drawing Date: 4/13/2015  
 Drawn:  
 Checked:  
 Scale: AS SHOWN  
 ACAD File:  
 Copyright 2015 Strohmeier Architects, Inc.

Revisions:  
 1 - 5/26/2015 - Revisions per City of Rockwall Review (4/20/2015)  
 2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)  
 3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)  
 4 - 10/18/2016 - As-Built

Sheet Title:  
**COVER SHEET**

**CV-100**

PROJECT GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO BEGINNING WORK. SHOULD A CONFLICT EXIST BETWEEN THE NEW WORK AND EXISTING UTILITIES, THE CONTRACTOR SHALL NOTIFY ENGINEER FOR RESOLUTION OF CONFLICT PRIOR TO BEGINNING ANY WORK.
- BY SUBMITTING A PRICE BID FOR THIS PROJECT, CONTRACTOR ACKNOWLEDGES THAT HE HAS VISITED THE SITE, IS FAMILIAR WITH EXISTING CONDITIONS, AND HAS INCLUDED ALL NECESSARY WORK ITEMS TO PERFORM THE WORK TO ACHIEVE A COMPLETE WORKING SYSTEM.
- CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RESOLUTION, PRIOR TO INSTALLATION OF WORK, OF ANY RELATED CONFLICTS BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AS REQUIRED FOR THIS PROJECT.
- WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES.
- CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR LAYOUT FOR THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY ITEMS THAT ARE DAMAGED AS A RESULT OF HIS WORK OPERATIONS AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM THE SITE AND DISPOSAL OF THE DEBRIS IN A LAWFUL MANNER.



LOCATION MAP  
SCALE: N.T.S.

### SHEET INDEX

SHEET NO.	TITLE
CV-100	COVER SHEET
--	FINAL PLAT (2 SHEETS)
--	AS-BUILT SURVEY
TS-100	EXISTING TOPOGRAPHIC SURVEY
C-101	SITE PLAN
C-102	SITE PAVING PLAN
C-103	GRADING PLAN
C-104	DRAINAGE AREA MAP (PRE-DEVELOPMENT)
C-104A	DRAINAGE AREA MAP (ALDI PRE-DEVELOPMENT)
C-106	DRAINAGE AREA MAP (POST-DEVELOPMENT)
C-106	STORM DRAINAGE PLAN
C-107	STORM DRAINAGE DETENTION POND CALCULATIONS
C-108	UTILITY PLAN
C-109	EROSION CONTROL PLAN
C-201	DETAILS - PAVEMENT & PAINTED STRIPING
C-202	DETAILS - PAVEMENT & PAINTED STRIPING
C-203	DETAILS - CMU RESIDENTIAL SCREEN & RETAINING WALLS
C-204	DETAILS - CMU RESIDENTIAL SCREEN & RETAINING WALLS
C-205	DETAILS - DUMPSTER ENCLOSURE
C-206	DETAILS - STORM DRAINAGE
LS-101	LANDSCAPING PLAN

CONSTRUCTION START DATE:  
 THE PROBABLE START DATE FOR SITEWORK FOR THIS PROJECT IS JULY 10, 2015.

**OWNER**  
 North Dallas Rockwall Land Investors, LLC  
 1005 W Ralph Hall Parkway, Suite 227  
 Rockwall, TX 75032

**ARCHITECT**  
 Strohmeier Architects, Inc.  
 2701 Sunset Ridge Drive, Suite 607  
 Rockwall, TX 75032  
 Contact: James Strohmeier  
 (214) 497-2057

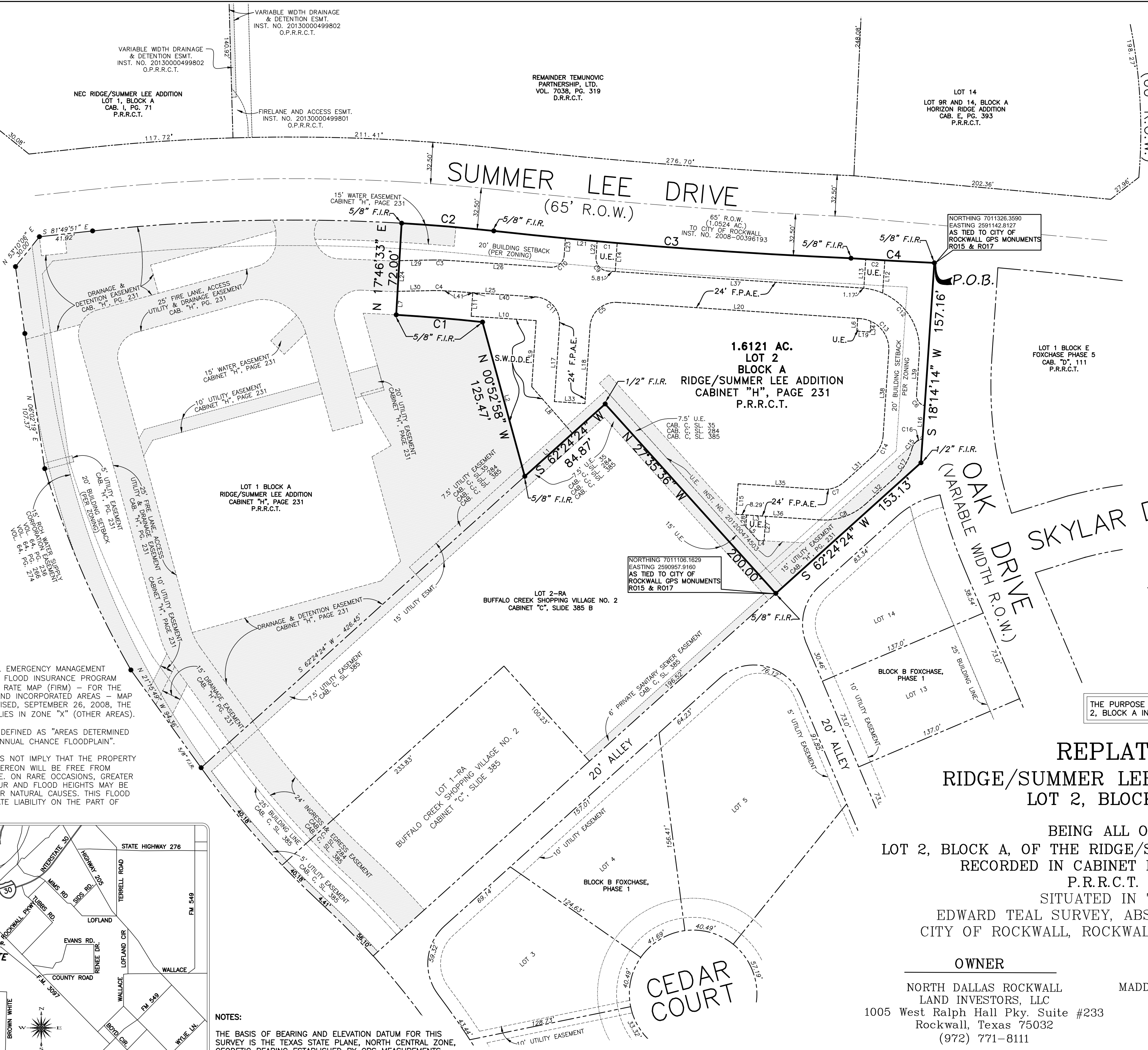
**CIVIL ENGINEER**  
 Nassif Engineering & Architecture, LLC  
 P.O. Box 2237/ 270 Blanchard Road  
 Natchitoches, Louisiana 71457  
 Contact: Norman Nassif  
 (318) 527-4409

**AS-BUILT DRAWINGS**  
 TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

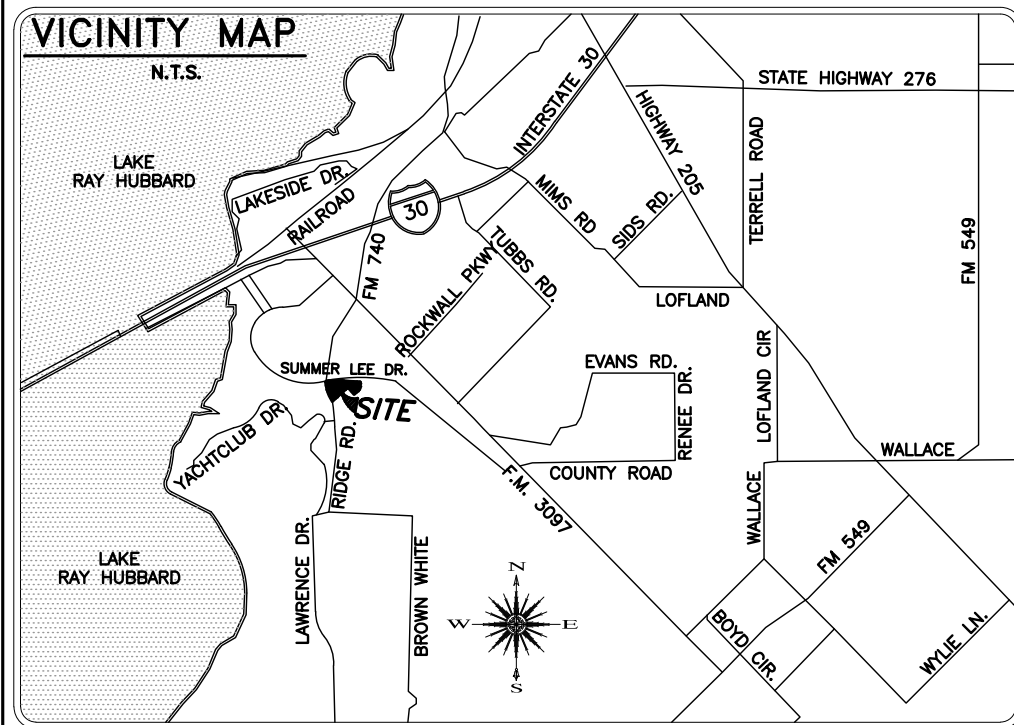
RIDGE ROAD (F.M. 740)  
(VARIABLE WIDTH R.O.W.)

RALPH HALL  
PARKWAY  
(60' R.O.W.)



**FLOOD NOTE:**  
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48397C0040L, MAP REVISED, SEPTEMBER 26, 2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).

ZONE "X"(OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".  
THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



**NOTES:**  
THE BASIS OF BEARING AND ELEVATION DATUM FOR THIS SURVEY IS THE TEXAS STATE PLANE, NORTH CENTRAL ZONE, GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS TAKEN ON SITE.

**Legend of Symbols & Abbreviations**  
F.I.R. = FOUND IRON ROD  
R.O.W. = RIGHT-OF-WAY  
P.O.B. = POINT OF BEGINNING  
U.E. = UTILITY EASEMENT  
F.P.A.E. = FIRE & PUBLIC ACCESS EASEMENT  
S.W.D.D.E. = STORM WATER DETENTION/DRAINAGE EASEMENT  
DOC = DOCUMENT  
VOL. = VOLUME  
PG. = PAGE  
CAB. = CABINET

THE PURPOSE OF THIS REPLAT IS TO ADD EASEMENTS TO LOT 2, BLOCK A IN ORDER TO CREATE A DEVELOPABLE LOT.

**REPLAT  
RIDGE/SUMMER LEE ADDITION  
LOT 2, BLOCK A**

BEING ALL OF  
LOT 2, BLOCK A, OF THE RIDGE/SUMMER LEE ADDITION,  
RECORDED IN CABINET H, SLIDE 231  
P.R.R.C.T.  
SITUATED IN THE  
EDWARD TEAL SURVEY, ABSTRACT NO. 207  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER**  
NORTH DALLAS ROCKWALL  
LAND INVESTORS, LLC  
1005 West Ralph Hall Pky. Suite #233  
Rockwall, Texas 75032  
(972) 771-8111

**SURVEYOR**  
MADDOX SURVEYING & MAPPING INC  
P.O. BOX 2109  
FORNEY, TEXAS 75126  
(972) 564-4416

OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS}  
COUNTY OF ROCKWALL}

That we the undersigned owner's of the land shown on this plat, and designated herein as the **REPLAT OF THE RIDGE/SUMMER LEE ADDITION, LOT 2, BLOCK A** to the City of Rockwall, Texas, and whose name's are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. we further certify that all other parties who have a mortgage or lien interest in the REPLAT OF THE RIDGE/SUMMER LEE ADDITION, LOT 2, BLOCK A have been notified

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall's West regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall's West regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We and our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

UMAR BURNEY  
NORTH DALLAS ROCKWALL LAND INVESTORS, LLC

STATE OF TEXAS  
COUNTY OF ROCKWALL  
Before me, the undersigned authority, on this day personally appeared **UMAR BURNEY**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.  
Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_\_, 2015.

Notary Public in and for the State of Texas

My Commission Expires:

OWNERS CERTIFICATE

STATE OF TEXAS}  
COUNTY OF ROCKWALL}

WHEREAS, North Dallas Rockwall Land Investors, LLC is the owner of a tract of land in the Edward Teal Survey, Abstract No. 207, situated in the City of Rockwall, in Rockwall County, Texas, being all of Lot 2, Block A, of the Ridge/Summer Lee Addition, an addition to The City of Rockwall as recorded in Cabinet H, Slide 231, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for the northeast corner of said Lot 2, Block A, said point also lying on the southerly Right of Way of Summer Lee Drive, (a 65 foot wide Right of Way) and on the westerly Right of Way of Oak Drive (a variable width Right of Way);

THENCE South 18 degrees 14 minutes 14 seconds West along the westerly line of said Oak Drive and along the easterly line of said Lot 2 a distance of 157.16 feet to a 1/2 inch iron rod found for the south corner of said Lot 2, said point also lying on the northerly line of a called 20 foot alley as shown on the plat of Foxchase Phase 1, an addition to The City of Rockwall, as recorded in Cabinet C, Slide 49 of the Plat Records of Rockwall County, Texas;

THENCE South 62 degrees 24 minutes 24 seconds West Departing said Oak Drive and along the northerly line of said Alley a distance of 153.13 feet to a 5/8 inch iron rod found for the most southerly southwest corner of said Lot 2, said point also being the southeast corner of Buffalo Creek Shopping Village, an addition to The City of Rockwall as recorded in Cabinet C, Slide 385 of the Plat Records of Rockwall County, Texas;

THENCE North 27 degrees 35 minutes 36 seconds West departing said Alley and along the common line between said Lot 2 and said Buffalo Creek Shopping Village a distance of 200.00 feet to a 1/2 inch iron rod found for an inner ell corner of said Lot 2, same being the northeast corner of said Buffalo Creek Shopping Village;

THENCE South 62 degrees 24 minutes 24 seconds West continuing along said common line between said Lot 2 and said Buffalo Creek Shopping Village a distance of 84.87 feet to a 5/8 inch iron rod found for the most northerly southwest corner of said Lot 2, same being the south corner of Lot 1, Block A of the aforementioned Ridge/Summer Lee Addition;

THENCE North 00 degrees 52 minutes 58 seconds West along the common line of said Lot 1 and said Lot 2 a distance of 125.47 feet to a 5/8 inch iron rod found for a common corner of said lots and at the beginning of a curve to the left;

THENCE with said curve to the left and continuing along the common line of said Lot 1 and said Lot 2 having a radius of 1375.50 feet, a central angle of 02 degrees 49 minutes 52 seconds, an arc length of 67.97 feet, a chord bearing of North 70 degrees 48 minutes 31 seconds West a distance of, 67.96 feet to a 5/8 inch iron rod found for a common corner of said lots;

THENCE North 17 degrees 46 minutes 33 seconds East continuing along the common line of said Lot 1 and said Lot 2 a distance of 72.00 feet to a 5/8 inch iron rod found for the north corner of said Lot 2 and the northeast corner of said Lot 1, said point also lying on the southerly line of the aforementioned Summer Lee Drive and at the beginning of a curve to the right;

THENCE with said curve to the right and along the southerly line of said Summer Lee Drive having a radius of 1447.50 feet, a central angle of 02 degrees 52 minutes 21 seconds, an arc length of 72.57 feet, a chord bearing of South 70 degrees 47 minutes 16 seconds East a distance of, 72.56 feet to a 5/8 inch iron rod found for corner at the beginning of a reverse curve to the left;

THENCE continuing along the southerly line of said Summer Lee Drive and with said reverse curve to the left having a radius of 4308.50 feet, a central angle of 03 degrees 44 minutes 10 seconds, an arc length of 280.95 feet, a chord bearing of South 71 degrees 13 minutes 11 seconds East a distance of, 280.90 feet to a 5/8 inch iron rod found for corner at the beginning of a compound curve continuing to the left;

THENCE continuing along the southerly line of said Summer Lee Drive and with said compound curve continuing to the left having a radius of 2761.77 feet, a central angle of 01 degrees 21 minutes 31 seconds, an arc length of 65.48 feet, a chord bearing of South 72 degrees 24 minutes 30 seconds East a distance of, 65.48 feet; to the POINT OF BEGINNING containing 70,223 square Feet, or 1.612 acres of land.

SURVEYORS CERTIFICATE

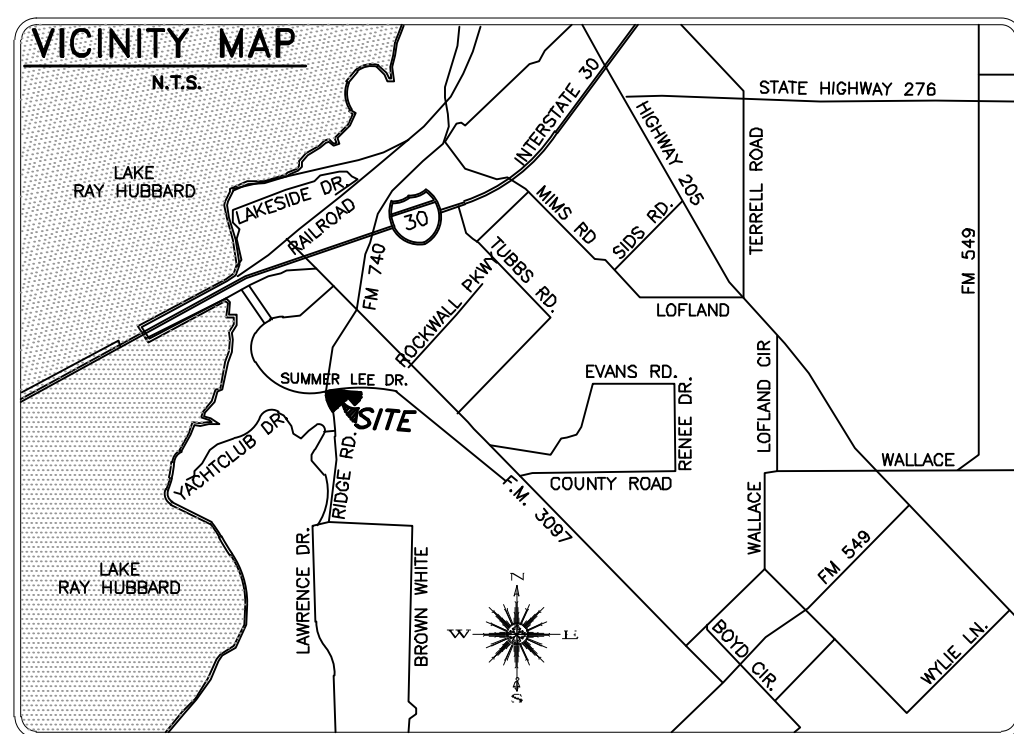
I, HEREBY CERTIFY, THAT I PREPARED THIS SURVEY PLAT SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND BY ME AND THAT ALL CORNERS ARE MARKED, AND THAT ALL DIMENSIONS SHOWN THEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND FURTHERMORE THERE ARE NO ENCROACHMENTS, PROTRUSIONS, IMPROVEMENTS, EASEMENTS, RIGHT-OF-WAY, OR 100 YEAR FLOOD PLAIN AFFECTING THE PROPERTY EXCEPT AS SHOWN THEREON.

WITNESS UNDER MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

THE PURPOSE OF THIS REPLAT IS TO ADD EASEMENTS TO LOT 2, BLOCK A IN ORDER TO CREATE A DEVELOPABLE LOT.

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 62°24'24" W	50.42'
L2	N 00°52'58" W	125.47'
L3	S 71°45'46" E	15.00'
L4	N 72°35'36" W	4.63'
L5	N 27°35'36" W	14.45'
L6	N 18°14'14" E	10.00'
L7	S 17°46'33" W	18.47'
L8	S 26°45'46" E	48.57'
L9	S 18°14'14" W	52.01'
L10	S 71°45'46" E	51.08'
L11	N 18°14'14" E	18.50'
L12	S 18°14'14" W	25.68'
L13	S 18°14'14" W	22.79'
L14	S 18°14'14" W	22.43'
L15	N 18°14'14" E	24.00'
L16	S 18°14'14" W	25.90'
L17	N 18°14'14" E	60.94'
L18	N 18°14'14" E	60.94'
L19	N 71°45'46" W	10.50'
L20	N 71°45'46" W	191.00'
L21	S 70°16'05" E	25.01'
L22	N 18°14'14" E	12.70'
L23	N 18°14'14" E	13.35'
L24	N 17°46'33" E	24.08'
L25	S 71°45'46" E	71.66'
L26	S 71°45'46" E	81.68'
L27	N 18°14'14" E	19.28'
L28	N 18°14'14" E	9.28'
L29	S 76°49'05" E	26.19'
L30	S 76°49'05" E	28.11'
L31	N 62°24'24" E	29.90'
L32	N 62°24'24" E	29.90'
L33	N 71°45'46" W	24.00'
L34	N 18°14'14" E	8.44'
L35	N 71°45'46" W	66.10'
L36	N 71°45'46" W	66.10'
L37	S 71°45'46" E	199.98'
L38	N 18°14'14" E	66.21'
L39	N 18°14'14" E	32.82'
L40	S 71°45'46" E	49.58'
L41	N 71°45'46" W	22.09'



EASEMENT CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	4308.50'	0°12'37"	15.82'	S 70°32'22" E	15.82'
C2	2761.77'	0°18'40"	15.00'	S 72°07'34" E	15.00'
C3	124.00'	5°03'19"	10.94'	N 74°17'25" W	10.94'
C4	100.00'	5°03'19"	8.82'	N 74°17'25" W	8.82'
C5	20.00'	90°00'00"	31.42'	S 63°14'14" W	28.28'
C6	8.00'	82°49'09"	11.56'	S 23°10'21" E	10.58'
C7	24.00'	45°49'50"	19.20'	N 85°19'19" E	18.69'
C8	48.00'	45°49'50"	38.39'	N 85°19'19" E	37.38'
C9	10.00'	90°25'02"	15.78'	S 26°33'15" E	14.19'
C10	10.00'	91°30'10"	15.97'	N 63°34'17" E	14.33'
C11	20.00'	90°00'00"	31.42'	N 26°45'46" W	28.28'
C12	48.00'	90°00'00"	75.40'	N 26°45'46" W	67.88'
C13	24.00'	90°00'00"	37.70'	N 26°45'46" W	33.94'
C14	24.00'	44°10'10"	18.50'	N 40°19'19" E	18.05'
C15	10.00'	41°22'00"	7.22'	S 49°27'49" W	7.06'
C16	15.00'	18°11'31"	4.76'	S 79°14'34" W	4.74'
C17	48.00'	33°37'34"	28.17'	N 45°35'37" E	27.77'

BOUNDARY CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1375.50'	2°49'52"	67.97'	N 70°48'31" W	67.96'
C2	1447.50'	2°52'21"	72.57'	S 70°47'16" E	72.56'
C3	4308.50'	3°44'10"	280.95'	S 71°13'11" E	280.90'
C4	2761.77'	1°21'31"	65.48'	S 72°24'30" E	65.48'

APPROVED

*I hereby certify that the above and foregoing plat of REPLAT OF THE RIDGE/SUMMER LEE ADDITION LOT 2, BLOCK A to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2015.*

*This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.*

*Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.*

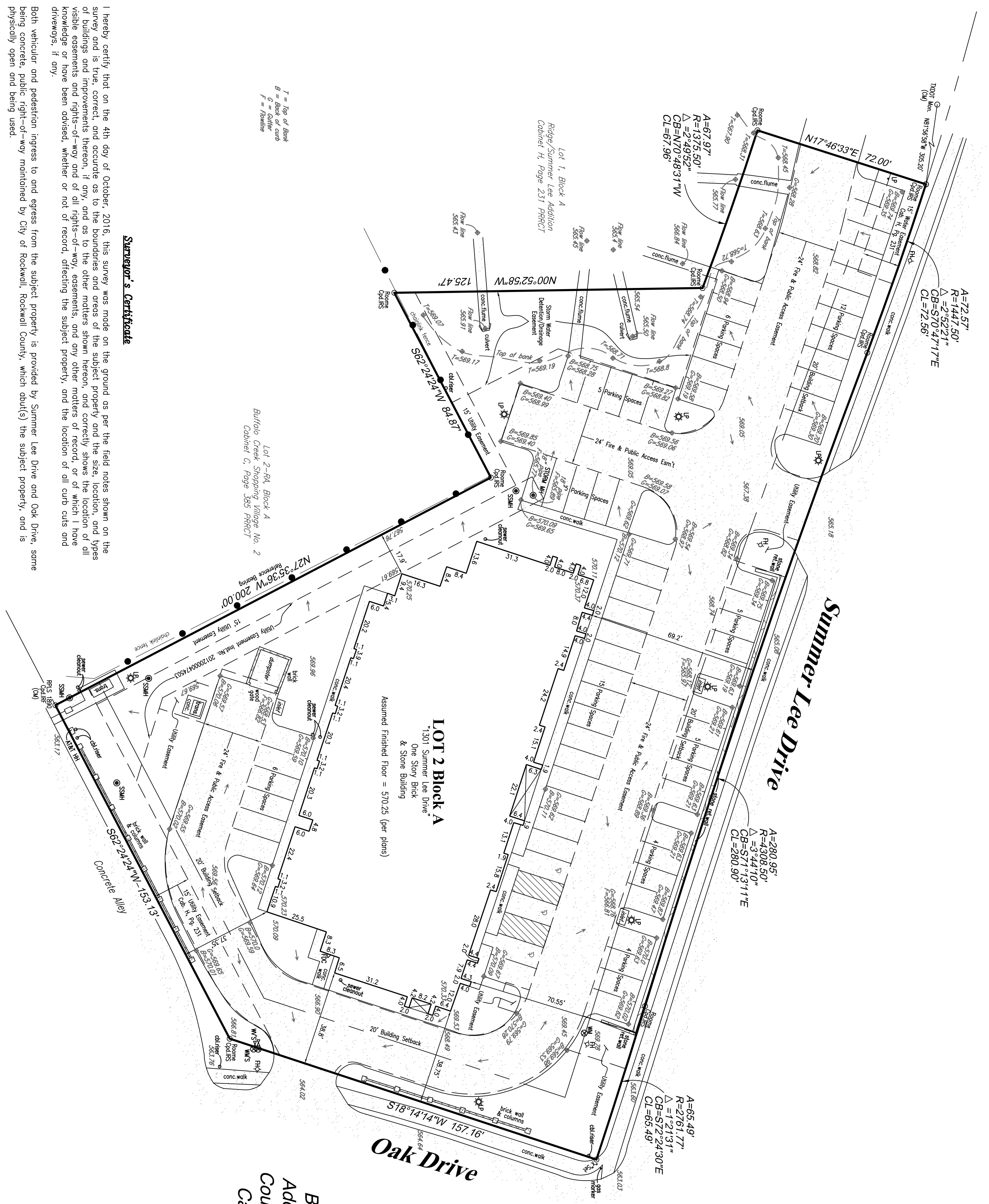
\_\_\_\_\_  
Director of Planning

\_\_\_\_\_  
City Engineer

# REPLAT RIDGE/SUMMER LEE ADDITION LOT 2, BLOCK A

BEING ALL OF  
LOT 2, BLOCK A, OF THE RIDGE/SUMMER LEE ADDITION,  
RECORDED IN CABINET H, SLIDE 231  
P. R. R. C. T.  
SITUATED IN THE  
EDWARD TEAL SURVEY, ABSTRACT NO. 207  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER	SURVEYOR
NORTH DALLAS ROCKWALL LAND INVESTORS, LLC 1005 West Ralph Hall Pky. Suite #233 Rockwall, Texas 75032 (972) 771-8111	MADDOX SURVEYING & MAPPING INC P.O. BOX 2109 FORNEY, TEXAS 75126 (972) 564-4416



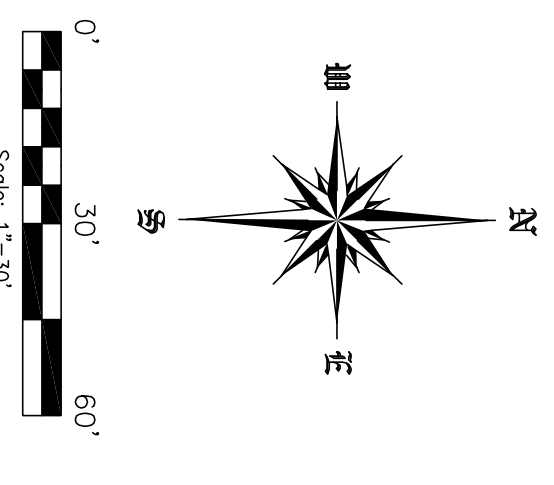
T = Top of Bank  
B = Back of curb  
F = Finish

Lot 2-R4, Block A  
Buffalo Creek Shopping Village No. 2  
Cabinet C, Page 385 PRPCT

**LOT 2 Block A**  
1301 Summer Lee Drive  
One Story Brick  
& Stone Building  
Assumed Finished Floor = 570.25 (per plans)

**Legend**

Code/RS	Roome Copied from Plat Set
PRPCT	Plat Records Rockwall County Texas
T0001 Mon.	14001 Monument Found
CU	Controlling Monument
Code/IF	Copied from Road Found
IP	Light Pole
WM	Water Meter
WV	Water Valve
GM	Gas Meter
FM	Fire Hydrant
SSM	Sanitary Sewer Manhole
AT&T HH	AT&T Hand Hole
CH	Cable Rest
FD	Fire Department Connection
CC	Ceasurment
CC	Crackmark Face



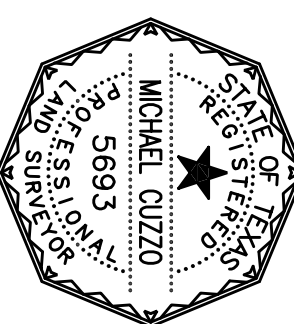
**Surveyor's Certificate**

I hereby certify that on the 4th day of October, 2016, this survey was made on the ground as per the field notes shown on the survey and is true, correct, and accurate as to the boundaries and areas of the subject property and the size, location, and types of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge or have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

Both vehicular and pedestrian ingress to and egress from the subject property is provided by Summer Lee Drive and Oak Drive, some being concrete public right-of-way maintained by City of Rockwall, Rockwall County, which abut(s) the subject property, and is physically open and being used.

This survey complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.

*Michael Cuzzo*  
Registered Professional Land Surveyor, No. 5693



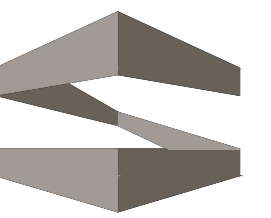
**Legal Description**  
Being Lot 2, Block A of Replat Ridge/Summer Lee Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet I, Page 387 of the Plat Records of Rockwall County, Texas.

**Asbuilt/Grade Survey**  
**1301 Summer Lee Drive**  
Being Lot 2, Block A  
Replat Ridge/Summer Lee Addition  
City of Rockwall  
Rockwall County, Texas  
October 2016



**Roome**  
Land Surveying  
2000 Avenue G, Suite 810  
Plano, Texas 75074  
Phone (972) 423-4372 / Fax (972) 423-7523  
www.roomesurveying.com / Firm No. 10013100

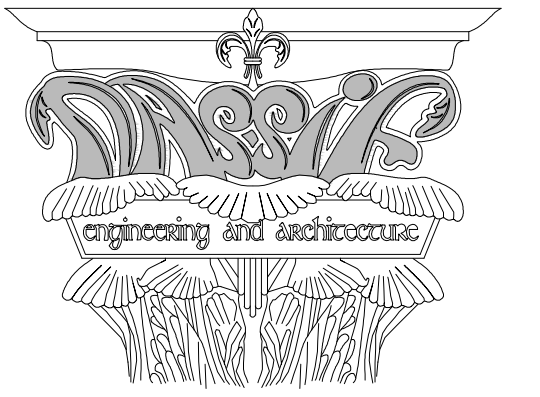
Notes: 1) CM is a controlling monument; 2) Surveyor's signature will appear in red ink; 3) Basis of bearing per the plat of Ridge/Summer Lee Addition recorded in Cabinet I, Page 357 of the Plat Records of Rockwall County, Texas; 4) No portion of the subject property lies within a Special Flood Hazard Area inundated by 100-year flood per Map No. 48397C0040 L of the FEMA Flood Insurance Rate Maps for Rockwall County, Texas and incorporated Areas dated September 26, 2008 (Zone X); 5) This survey was performed without the benefit of a title commitment.



**STROHMEYER**  
ARCHITECTS INC.

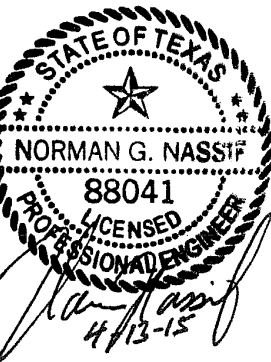
Consultants:

Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
TBAE Registration No. : BR400

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& Architecture, LLC



**ORTHOPAEDIC  
SPECIALISTS  
OF  
DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117

Drawing Date: 4/13/2015

Drawn:

Checked:

Scale: AS SHOWN

ACAD File:

Copyright 2015 Strohmeier  
Architects, Inc.

Revisions:

- 1 - 5/26/2015 - Revisions per City of Rockwall Review (4/20/2015)
- 2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)
- 3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)
- 4 - 10/18/2016 - As-Builts

Sheet Title:

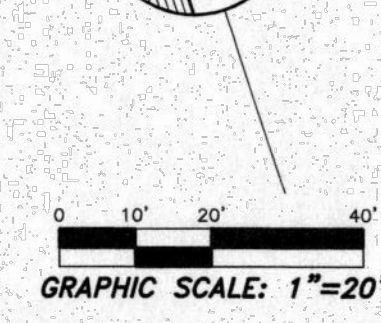
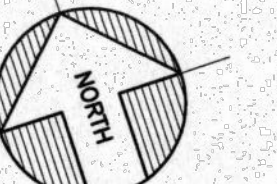
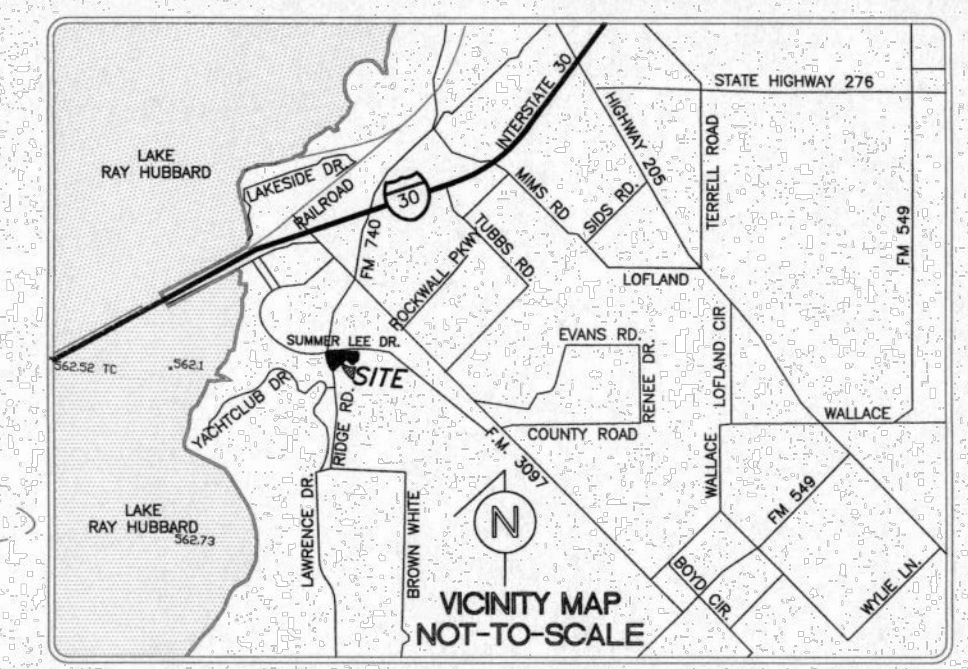
**EXISTING TOPOGRAPHIC  
SURVEY**

**TS-100**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

~ BOUNDARY CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	1447.50'	02°52'22"	72.57'	S 70°47'16" E	72.57'
C2	4308.50'	03°44'10"	280.95'	S 71°13'11" E	280.90'
C3	2761.77'	01°21'30"	65.47'	S 72°24'30" E	65.47'



- LEGEND**
- F.H. FIRE HYDRANT
  - CH. SET CHISELED "X" SET
  - F.F. CHISELED "X" FOUND
  - F.A. IRON ROD FOUND (SIZE AS NOTED)
  - O.S. IRON ROD SET (SIZE AS NOTED)
  - O.P. OVERHEAD UTILITY POLE W/ GUY
  - U.P. UNDERGROUND ELECTRIC OR TELEPHONE
  - L.P. LIGHT POLE
  - S.M. SANITARY SEWER MANHOLE
  - C.C. SAN. SWR. CLEAN OUT
  - G.V. GAS VALVE
  - W.V. WATER VALVE
  - T. TREE

**SURVEY PLAT**

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, MADE A CAREFUL AND ACCURATE SURVEY ON THE GROUND OF FOLLOWING DESCRIBED PROPERTY.

BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND BEING ALL OF LOT 2 OF BLOCK A OF RIDGE/SUMMER LEE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "H", PAGE 231 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

**FLOOD NOTE**

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48397C0040L, MAP REVISED, SEPTEMBER 26, 2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).

ZONE "X" (OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**CERTIFICATION:**

TO: NORTH DALLAS ROCKWALL LAND INVESTORS, LLC; NORTHSTAR BANK OF TEXAS, ITS SUCCESSORS & ASSIGNS; ALDI (TEXAS) L.L.C., A TEXAS LIMITED LIABILITY COMPANY; CHICAGO TITLE INSURANCE COMPANY (OF NO. CTS629-82914001130LS).

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 11(c), 13 & 14 OF TABLE A THEREOF; PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

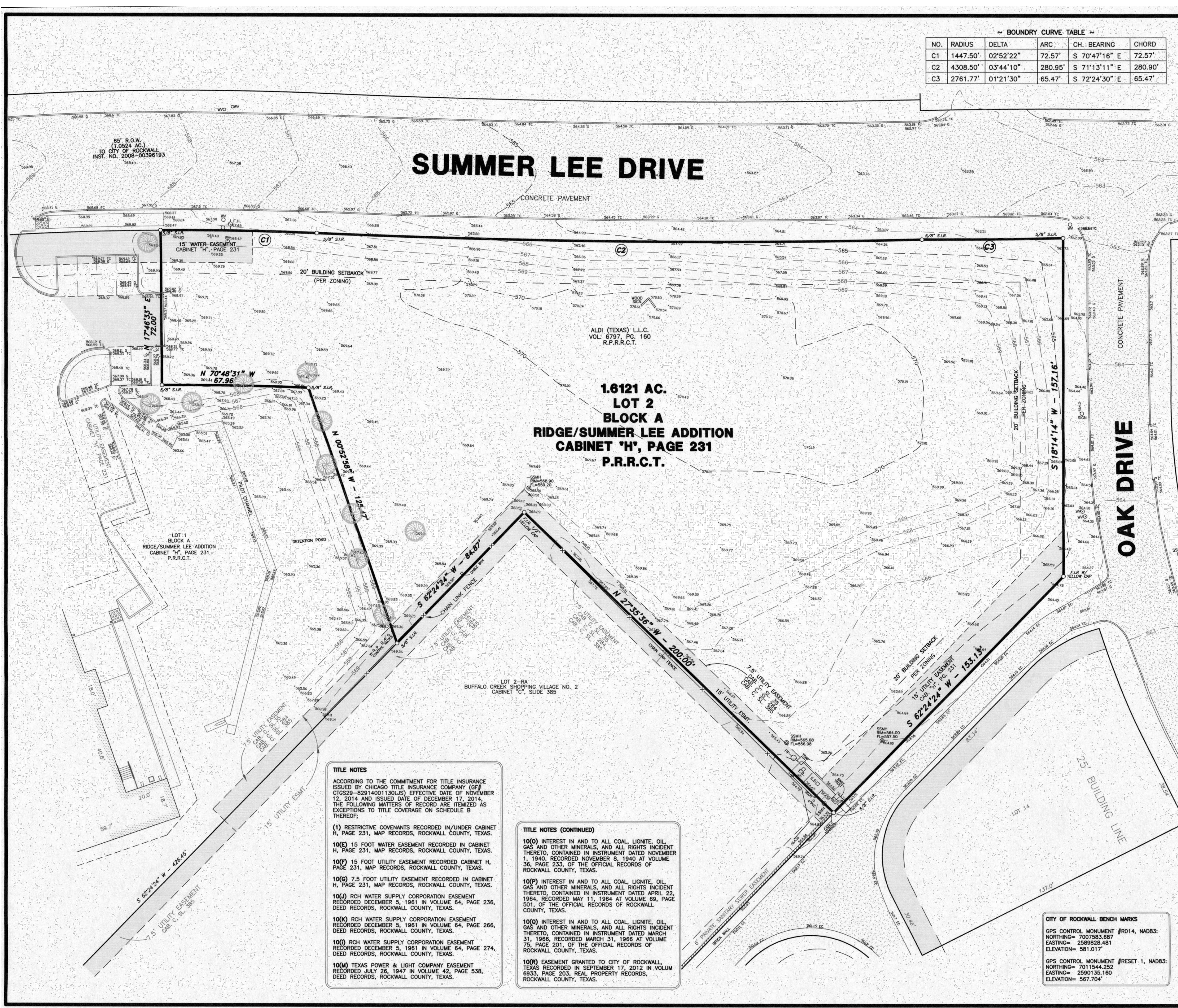
DAVID PETREE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1890

**ALTA/ACSM LAND TITLE SURVEY**  
**1.6121 ACRE PARCEL**  
**LOT 2 - BLOCK A**  
**RIDGE/SUMMER LEE ADDITION**  
**EDWARD TEAL SURVEY, ABSTRACT NO. 207**  
**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

BLUE SKY SURVEYING & MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4000

DATE: FEBRUARY 05, 2015  
SCALE: 1"=20'

DRP@PETREE@BLUESKYSURVEYING.COM  
TPI'S REGISTRATION NO. 10105700



**TITLE NOTES**

ACCORDING TO THE COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY (CFI CTS629-82914001130LS) EFFECTIVE DATE OF NOVEMBER 12, 2014 AND ISSUED DATE OF DECEMBER 17, 2014, THE FOLLOWING MATTERS OF RECORD ARE ITEMIZED AS EXCEPTIONS TO TITLE COVERAGE ON SCHEDULE B THEREOF:

(1) RESTRICTIVE COVENANTS RECORDED IN/UNDER CABINET H, PAGE 231, MAP RECORDS, ROCKWALL COUNTY, TEXAS.

10(E) 15 FOOT WATER EASEMENT RECORDED IN CABINET H, PAGE 231, MAP RECORDS, ROCKWALL COUNTY, TEXAS.

10(F) 15 FOOT UTILITY EASEMENT RECORDED IN CABINET H, PAGE 231, MAP RECORDS, ROCKWALL COUNTY, TEXAS.

10(G) 7.5 FOOT UTILITY EASEMENT RECORDED IN CABINET H, PAGE 231, MAP RECORDS, ROCKWALL COUNTY, TEXAS.

10(J) RCH WATER SUPPLY CORPORATION EASEMENT RECORDED DECEMBER 5, 1981 IN VOLUME 64, PAGE 236, DEED RECORDS, ROCKWALL COUNTY, TEXAS.

10(K) RCH WATER SUPPLY CORPORATION EASEMENT RECORDED DECEMBER 5, 1981 IN VOLUME 64, PAGE 266, DEED RECORDS, ROCKWALL COUNTY, TEXAS.

10(L) RCH WATER SUPPLY CORPORATION EASEMENT RECORDED DECEMBER 5, 1981 IN VOLUME 64, PAGE 274, DEED RECORDS, ROCKWALL COUNTY, TEXAS.

10(M) TEXAS POWER & LIGHT COMPANY EASEMENT RECORDED JULY 26, 1947 IN VOLUME 42, PAGE 538, DEED RECORDS, ROCKWALL COUNTY, TEXAS.

**TITLE NOTES (CONTINUED)**

10(N) INTEREST IN AND TO ALL COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, AND ALL RIGHTS INCIDENT THEREOF, CONTAINED IN INSTRUMENT DATED NOVEMBER 1, 1940, RECORDED NOVEMBER 8, 1940 AT VOLUME 36, PAGE 233, OF THE OFFICIAL RECORDS OF ROCKWALL COUNTY, TEXAS.

10(O) INTEREST IN AND TO ALL COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, AND ALL RIGHTS INCIDENT THEREOF, CONTAINED IN INSTRUMENT DATED MARCH 31, 1986, RECORDED MARCH 31, 1986 AT VOLUME 75, PAGE 201, OF THE OFFICIAL RECORDS OF ROCKWALL COUNTY, TEXAS.

10(P) INTEREST IN AND TO ALL COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, AND ALL RIGHTS INCIDENT THEREOF, CONTAINED IN INSTRUMENT DATED APRIL 22, 1964, RECORDED MAY 11, 1964 AT VOLUME 69, PAGE 501, OF THE OFFICIAL RECORDS OF ROCKWALL COUNTY, TEXAS.

10(Q) INTEREST IN AND TO ALL COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, AND ALL RIGHTS INCIDENT THEREOF, CONTAINED IN INSTRUMENT DATED APRIL 22, 1964, RECORDED MAY 11, 1964 AT VOLUME 69, PAGE 501, OF THE OFFICIAL RECORDS OF ROCKWALL COUNTY, TEXAS.

10(R) EASEMENT GRANTED TO CITY OF ROCKWALL, TEXAS RECORDED IN SEPTEMBER 17, 2012 IN VOLUME 69.33, PAGE 203, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

**CITY OF ROCKWALL BENCH MARKS**

GPS CONTROL MONUMENT #RD14, NAD83:  
NORTHING= 7007583.687  
EASTING= 2269628.481  
ELEVATION= 581.017

GPS CONTROL MONUMENT #RESET 1, NAD83:  
NORTHING= 7011544.252  
EASTING= 2269035.160  
ELEVATION= 567.704

**FOR REFERENCE ONLY - NOT TO SCALE**

\*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.\*

ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL AND N.C.T.C.O.G. (3rd EDITION) SPECIFICATIONS, STANDARDS, AND DETAILS. CITY OF ROCKWALL AMENDMENTS TO N.C.T.C.O.G. SHALL GOVERN.

IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

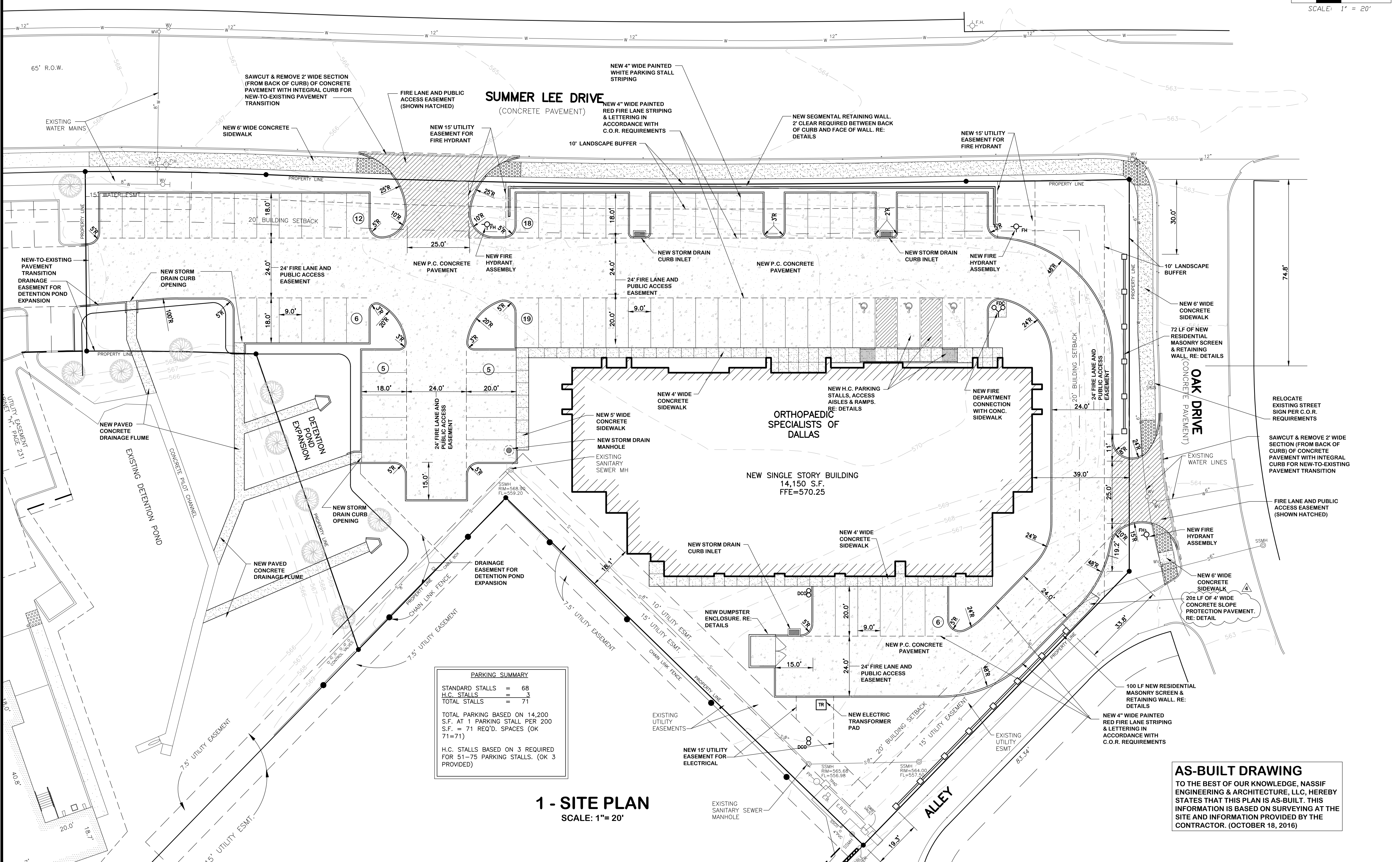
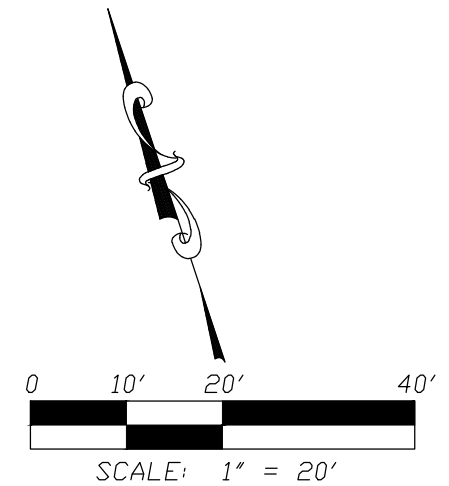
CITY OF ROCKWALL BENCH MARKS

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

NOTE: DIMENSIONS SHOWN ON THIS DRAWING ARE FROM FACE OF CURB TO FACE OF CURB WHERE APPLICABLE

REFER TO BOUNDARY SURVEY FOR PROPERTY LINE DIMENSIONS



**PARKING SUMMARY**

STANDARD STALLS	=	68
H.C. STALLS	=	3
TOTAL STALLS	=	71

TOTAL PARKING BASED ON 14,200 S.F. AT 1 PARKING STALL PER 200 S.F. = 71 REQ'D. SPACES (OK 71=71)

H.C. STALLS BASED ON 3 REQUIRED FOR 51-75 PARKING STALLS. (OK 3 PROVIDED)

**1 - SITE PLAN**  
SCALE: 1"= 20'

**AS-BUILT DRAWING**

TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)



Consultants:  
Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
TBAE Registration No. : BR400  
Copyright 2015 Nassif Engineering & Architecture, LLC

**ORTHOPAEDIC SPECIALISTS OF DALLAS**  
ROCKWALL, TX 75032

Project Number: 15-117  
Drawing Date: 4/13/2015  
Drawn:  
Checked:  
Scale: AS SHOWN  
ACAD File:  
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- Revisions:
- 1 - 5/26/2015 - Revisions per City of Rockwall Review (4/20/2015)
  - 2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)
  - 3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)
  - 4 - 10/18/2016 - As-Built

Sheet Title:  
**SITE PLAN**  
**C-101**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."

ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL AND N.C.T.C.O.G. (3rd EDITION) SPECIFICATIONS, STANDARDS, AND DETAILS. CITY OF ROCKWALL AMENDMENTS TO N.C.T.C.O.G. SHALL GOVERN.

IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

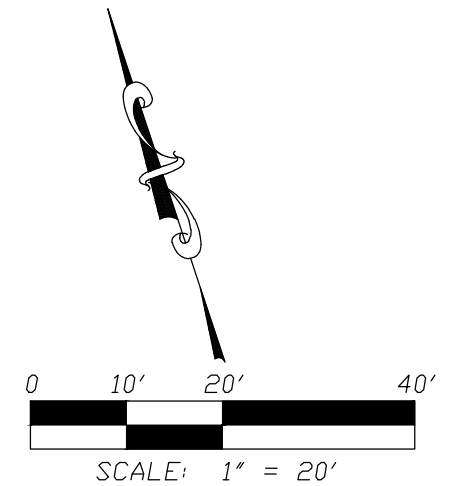
CITY OF ROCKWALL BENCH MARKS  
 GPS CONTROL MONUMENT #R014, NAD83:  
 NORTHING= 7007583.687  
 EASTING= 2589828.481  
 ELEVATION= 581.017

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 NORTHING= 7007583.687  
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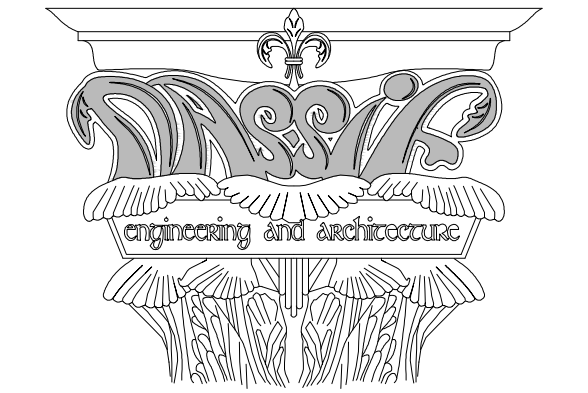
NOTE: DIMENSIONS SHOWN ON THIS DRAWING ARE FOR PAVEMENT LAYOUT AND ARE TO BACK OF CURB WHERE APPLICABLE

PAVEMENT JOINT LEGEND

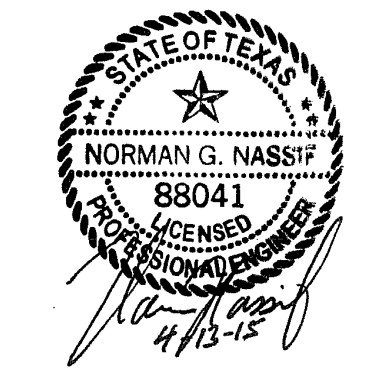
- LBJ "LONGITUDINAL BUTT" JOINT PER CITY OF ROCKWALL REQUIREMENTS/DETAIL
  - LCJ "KEYWAY JOINT" PER N.C.T.C.O.G. REQUIREMENTS. RE: DWG. 2050
  - EJ "EXPANSION JOINT" PER N.C.T.C.O.G. REQUIREMENTS. RE: DWG. 2050
- ALL OTHER JOINTS (NOT LABELED) SHALL BE N.C.T.C.O.G. "CONSTRUCTION JOINT" OR "SAWED CONTRACTION JOINT". RE: DWG. 2050
- NOTE: REINFORCEMENT SIZE & SPACING REQUIREMENTS SHOWN ON DETAILS SHALL BE REPLACED WITH REQUIREMENTS SHOWN ON PAVEMENT DETAILS IN THIS SET OF DRAWINGS (WHICH IS MORE STRINGENT). RE: DWG. C-201 FOR PAVEMENT DETAILS.



Consultants:  
 Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
 TBAE Registration No. : BR400  
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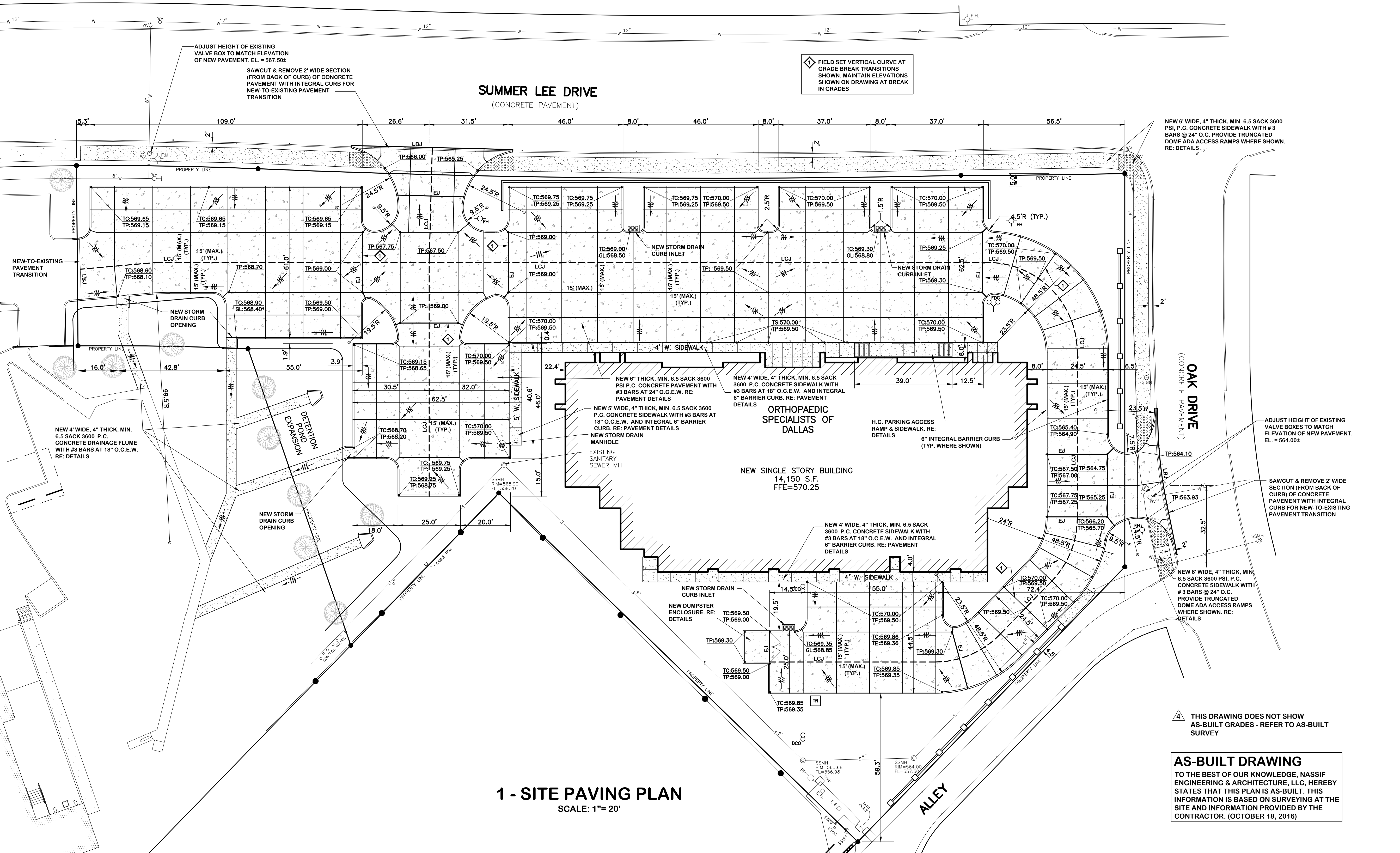
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 4 - 10/18/2016 - As-Built

Sheet Title:  
**SITE PAVING PLAN**

**C-102**



**1 - SITE PAVING PLAN**  
 SCALE: 1" = 20'

**AS-BUILT DRAWING**  
 TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

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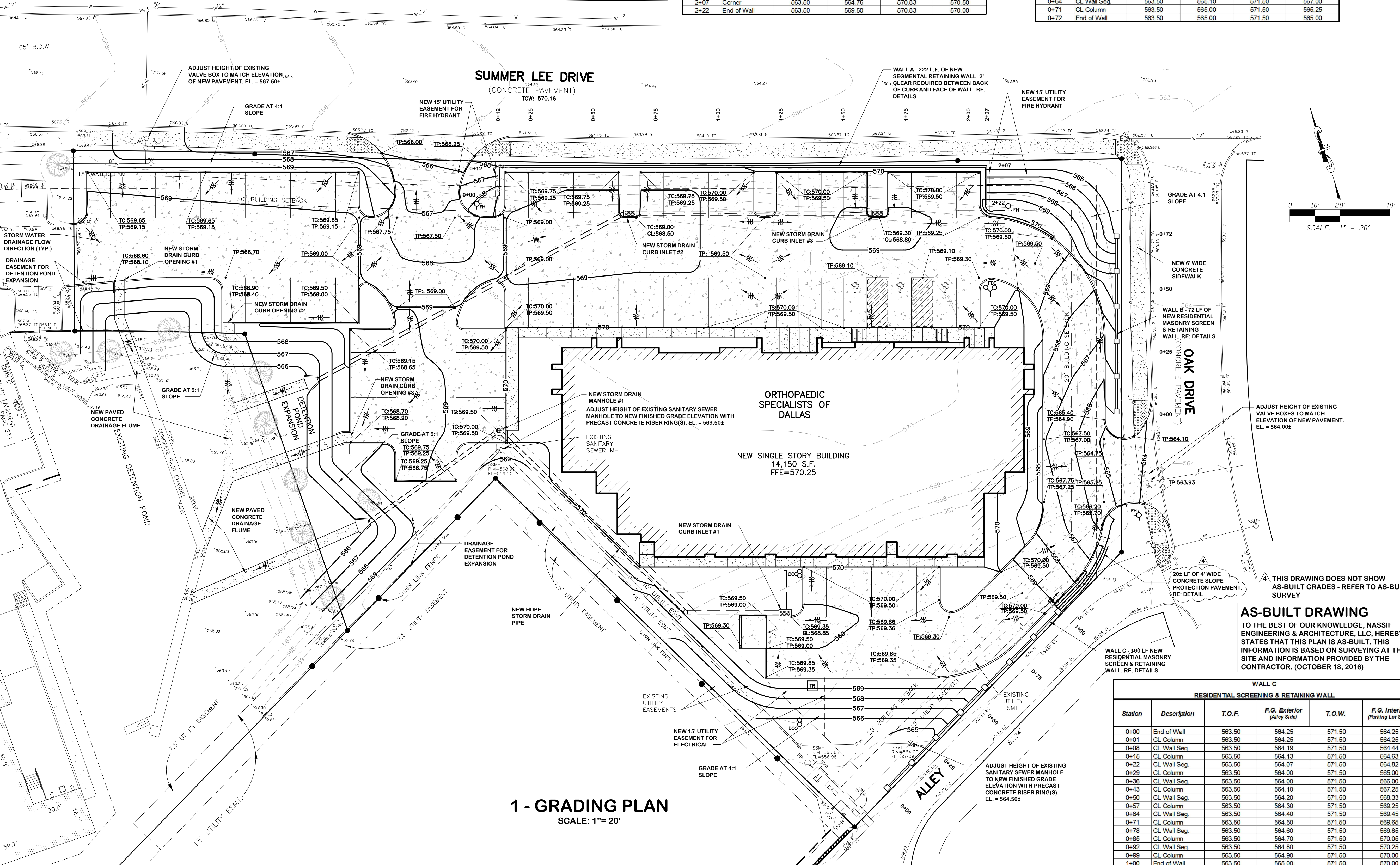
IN ACCORDANCE WITH FIRM MAP 48397C004L, PANEL 004L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOD PLAN. (MAP ZONE A).

CITY OF ROCKWALL BENCH MARKS  
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 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

TC: TOP OF CURB ELEVATION  
 TS: TOP OF SIDEWALK ELEVATION  
 TP: TOP OF FINISHED PAVEMENT ELEVATION  
 GL: GUTTER LINE ELEVATION (\* DOES NOT INCLUDE ANY REQUIRED SUMP AT STRUCTURE)  
 FG: FINISHED GRADE ELEVATION  
 TOW: TOP OF WALL ELEVATION  
 TOF: TOP OF FOUNDATION FOOTING ELEV.  
 FL: PAVEMENT FLOW LINE ELEVATION  
 TG: TOP OF GRATE ELEVATION

WALL A					
SEGMENTAL RETAINING WALL					
Station	Description	T.O.F.	F.G. Exterior (Sidewalk & Landscaping Areas)	T.O.W.	F.G. Interior (Parking Lot Side)
0+00	End of Wall	563.50	569.00	570.83	569.00
0+12	Corner	563.50	566.00	570.83	570.00
0+25		563.50	565.92	570.83	570.25
0+50		563.50	565.78	570.83	570.25
0+75		563.50	565.60	570.83	570.25
1+00		563.50	565.44	570.83	570.25
1+25		563.50	565.29	570.83	570.25
1+50		563.50	565.12	570.83	570.50
1+75		563.50	564.96	570.83	570.50
2+00		563.50	564.80	570.83	570.50
2+07	Corner	563.50	564.75	570.83	570.50
2+22	End of Wall	563.50	569.50	570.83	570.00

WALL B					
RESIDENTIAL SCREENING & RETAINING WALL					
Station	Description	T.O.F.	F.G. Exterior (Oak Street Sidewalk Side)	T.O.W.	F.G. Interior (Parking Lot Side)
0+00	End of Wall	563.50	566.00	571.50	566.00
0+01	CL Column	563.50	565.00	571.50	566.10
0+08	CL Wall Seg.	563.50	565.90	571.50	566.50
0+15	CL Column	563.50	565.80	571.50	566.95
0+22	CL Wall Seg.	563.50	565.70	571.50	567.38
0+29	CL Column	563.50	565.60	571.50	567.80
0+36	CL Wall Seg.	563.50	565.50	571.50	568.30
0+43	CL Column	563.50	565.40	571.50	568.90
0+50	CL Wall Seg.	563.50	565.30	571.50	569.50
0+57	CL Column	563.50	565.20	571.50	569.75
0+64	CL Wall Seg.	563.50	565.10	571.50	569.00
0+71	CL Column	563.50	565.00	571.50	569.25
0+72	End of Wall	563.50	565.00	571.50	565.00

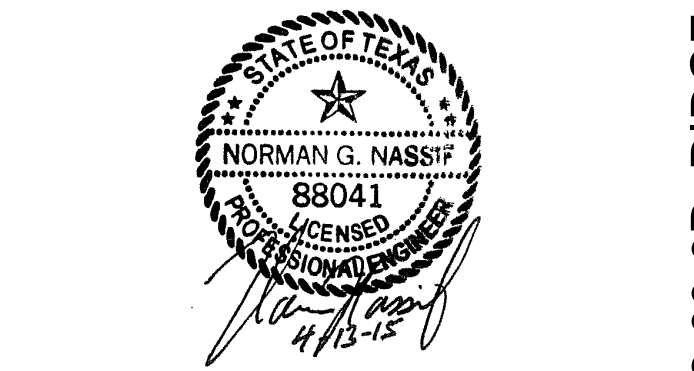
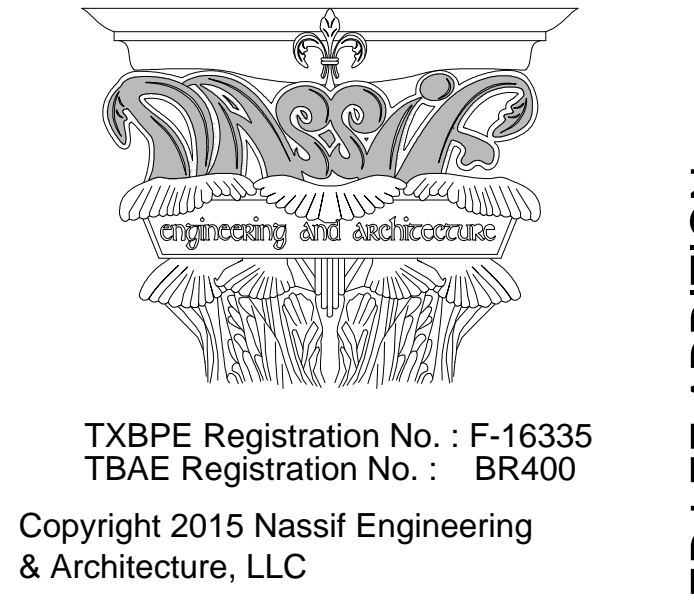


1 - GRADING PLAN  
 SCALE: 1"= 20'

WALL C					
RESIDENTIAL SCREENING & RETAINING WALL					
Station	Description	T.O.F.	F.G. Exterior (Alley Side)	T.O.W.	F.G. Interior (Parking Lot Side)
0+00	End of Wall	563.50	564.25	571.50	564.25
0+01	CL Column	563.50	564.25	571.50	564.25
0+08	CL Wall Seg.	563.50	564.19	571.50	564.44
0+15	CL Column	563.50	564.13	571.50	564.63
0+22	CL Wall Seg.	563.50	564.07	571.50	564.82
0+29	CL Column	563.50	564.00	571.50	565.00
0+36	CL Wall Seg.	563.50	564.00	571.50	566.00
0+43	CL Column	563.50	564.10	571.50	567.25
0+50	CL Wall Seg.	563.50	564.20	571.50	568.33
0+57	CL Column	563.50	564.30	571.50	569.25
0+64	CL Wall Seg.	563.50	564.40	571.50	569.45
0+71	CL Column	563.50	564.50	571.50	569.85
0+78	CL Wall Seg.	563.50	564.60	571.50	569.85
0+85	CL Column	563.50	564.70	571.50	570.05
0+92	CL Wall Seg.	563.50	564.80	571.50	570.25
0+99	CL Column	563.50	564.90	571.50	570.00
1+00	End of Wall	563.50	565.00	571.50	570.00



Consultants:  
 Nassif Engineering & Architecture, LLC



**ORTHOPAEDIC SPECIALISTS OF DALLAS**  
 ROCKWALL, TX 75032

Project Number: 15-117  
 Drawing Date: 4/13/2015  
 Drawn:  
 Checked:  
 Scale: AS SHOWN  
 ACAD File:  
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- Revisions:
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  - 2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)
  - 3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)
  - 4 - 10/18/2016 - As-Built

Sheet Title:  
**GRADING PLAN**  
**C-103**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION



"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."

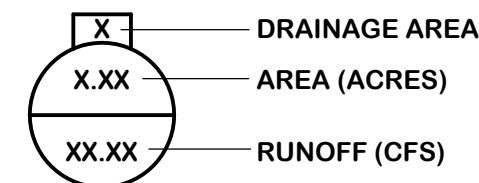
ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL AND N.C.T.C.O.G. (3rd EDITION) SPECIFICATIONS, STANDARDS, AND DETAILS. CITY OF ROCKWALL AMENDMENTS TO N.C.T.C.O.G. SHALL GOVERN.

IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

CITY OF ROCKWALL BENCH MARKS

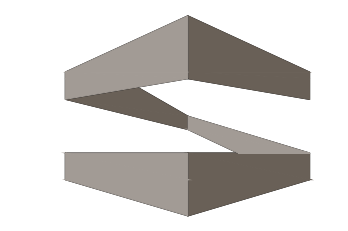
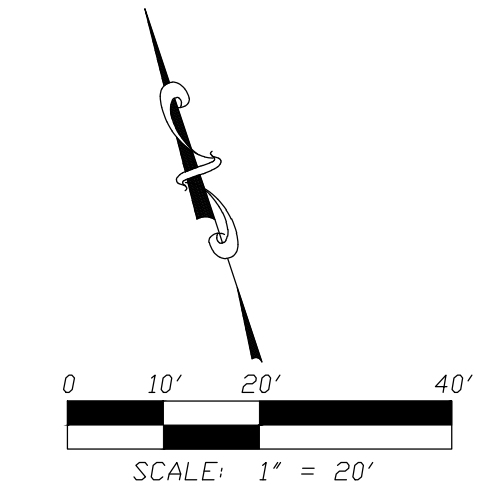
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 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

**NOTE:**  
 THE AREA ALREADY ACCOUNTED FOR WITH THE EXISTING DETENTION POND (ALDI DEVELOPMENT) IS 0.72 ACRE. THE PROPOSED DRAINAGE DESIGN IS BASED ON ALDI PRIOR DEVELOPMENT AND C.O.R. EXISTING ROADWAY DRAINAGE DESIGNS



**Pre-Development Drainage Calculations**

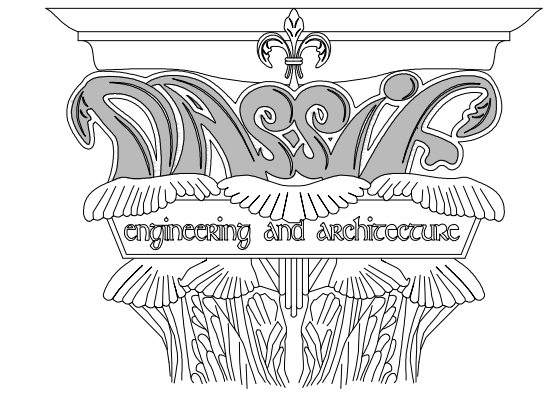
Drainage Area	Area (acres)	Runoff Coefficient	Time of Concentration (minutes)	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year	Drains To:
	A	C	Tc	I100	Q100	
1	0.36	0.35	20	8.30	1.05	Summer Lee Dr.
2	0.41	0.35	20	8.30	1.19	Detention Pond
3	0.16	0.35	20	8.30	0.46	Alley
4	0.51	0.35	20	8.30	1.48	Alley
5	0.17	0.35	20	8.30	0.49	Oak Dr.
<b>Totals</b>	<b>1.61</b>				<b>4.68</b>	



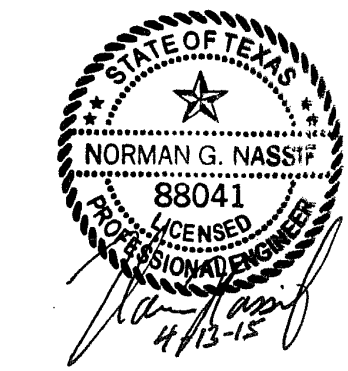
**STROHMEYER**  
 ARCHITECTS INC.

Consultants:

Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
 TBAE Registration No. : BR400  
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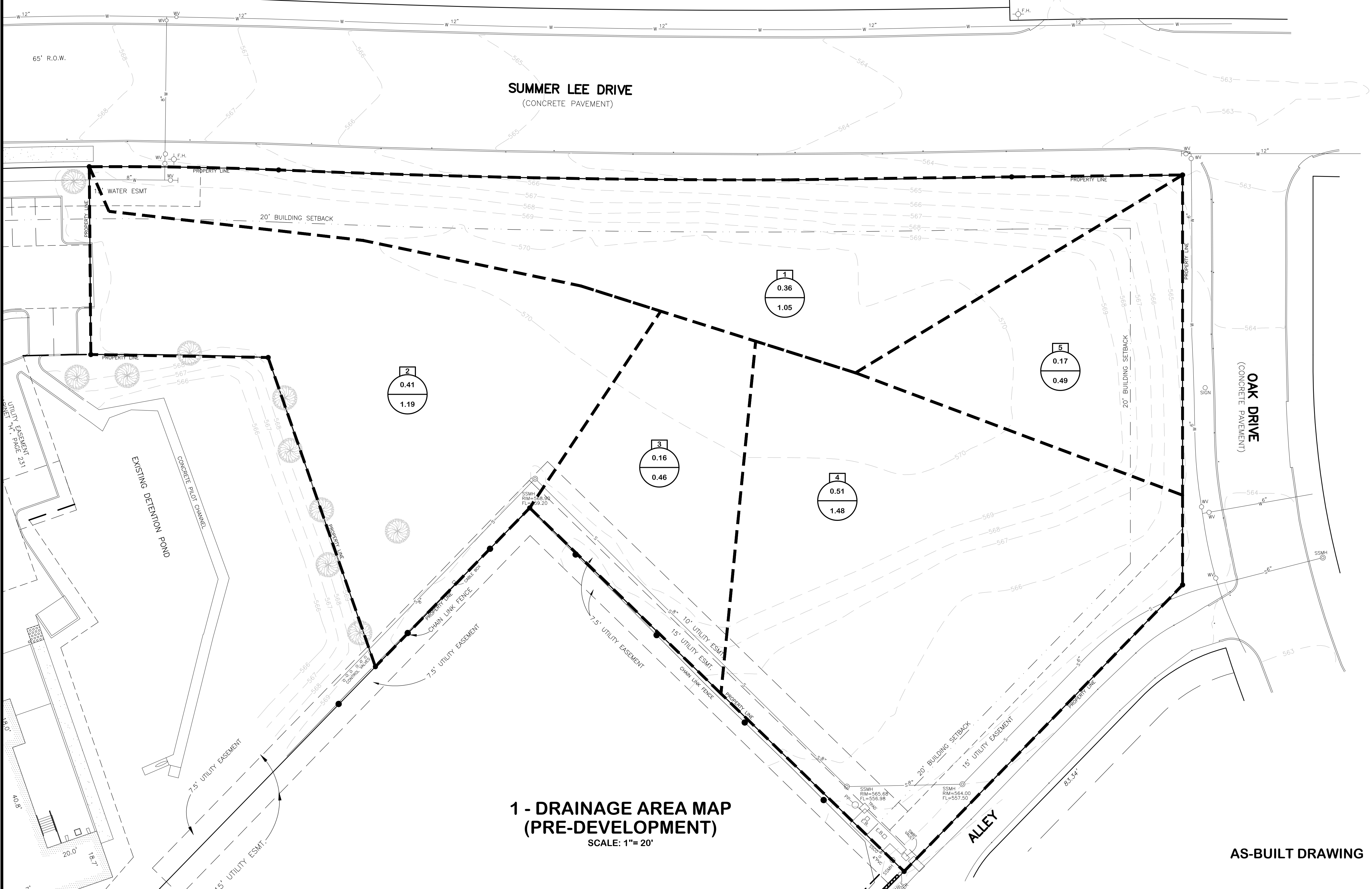
**ORTHOPAEDIC SPECIALISTS OF DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
 Drawing Date: 4/13/2015  
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 Checked:  
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 4 - 10/18/2016 - As-Builts

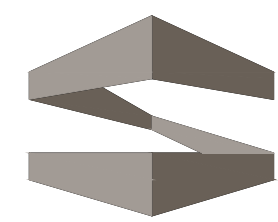
Sheet Title:  
**DRAINAGE AREA MAP PRE-DEVELOPMENT**  
**C-104**



**1 - DRAINAGE AREA MAP (PRE-DEVELOPMENT)**  
 SCALE: 1"= 20'

AS-BUILT DRAWING

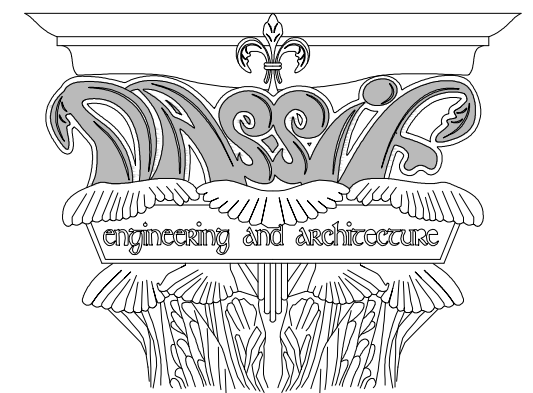
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**STROHMEYER**  
ARCHITECTS INC.

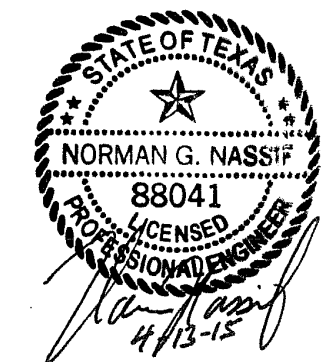
Consultants:

Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
TBAE Registration No. : BR400

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SPECIALISTS  
OF  
DALLAS**

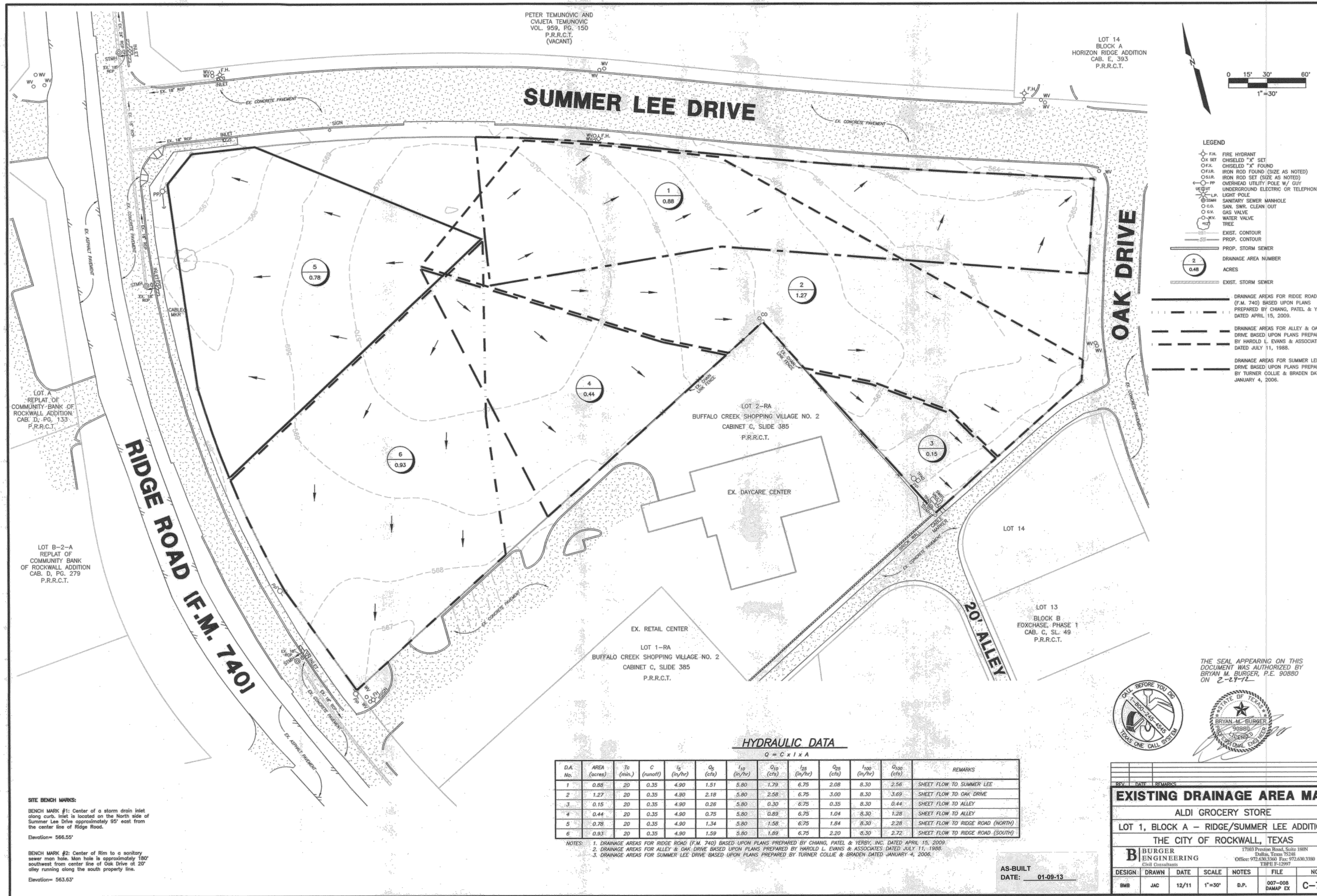
ROCKWALL, TX 75032

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Sheet Title:  
**DRAINAGE AREA MAP  
ALDI PRE-DEVELOPMENT  
C-104A**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

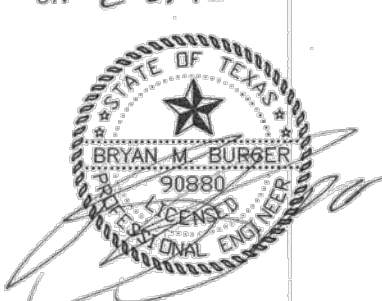


**HYDRAULIC DATA**  
 $Q = C \times I \times A$

D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	I <sub>3</sub> (in/hr)	Q <sub>3</sub> (cfs)	I <sub>10</sub> (in/hr)	Q <sub>10</sub> (cfs)	I <sub>15</sub> (in/hr)	Q <sub>15</sub> (cfs)	I <sub>30</sub> (in/hr)	Q <sub>30</sub> (cfs)	REMARKS
1	0.88	20	0.35	4.90	1.51	5.80	1.79	6.75	2.08	8.30	2.56	SHEET FLOW TO SUMMER LEE
2	1.27	20	0.35	4.90	2.18	5.80	2.58	6.75	3.00	8.30	3.69	SHEET FLOW TO OAK DRIVE
3	0.15	20	0.35	4.90	0.28	5.80	0.30	6.75	0.35	8.30	0.44	SHEET FLOW TO ALLEY
4	0.44	20	0.35	4.90	0.75	5.80	0.89	6.75	1.04	8.30	1.28	SHEET FLOW TO ALLEY
5	0.78	20	0.35	4.90	1.34	5.80	1.58	6.75	1.84	8.30	2.28	SHEET FLOW TO RIDGE ROAD (NORTH)
6	0.93	20	0.35	4.90	1.59	5.80	1.89	6.75	2.20	8.30	2.72	SHEET FLOW TO RIDGE ROAD (SOUTH)

NOTES:  
1. DRAINAGE AREAS FOR RIDGE ROAD (F.M. 7401) BASED UPON PLANS PREPARED BY CHANG, PATEL & YERBY, INC. DATED APRIL 15, 2009.  
2. DRAINAGE AREAS FOR ALLEY & OAK DRIVE BASED UPON PLANS PREPARED BY HAROLD L. EVANS & ASSOCIATES DATED JULY 11, 1988.  
3. DRAINAGE AREAS FOR SUMMER LEE DRIVE BASED UPON PLANS PREPARED BY TURNER COLLIE & BRADEN DATED JANUARY 4, 2006.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY BRYAN M. BURGER, P.E. 90880 ON 2-29-12



**EXISTING DRAINAGE AREA MAP**  
ALDI GROCERY STORE  
LOT 1, BLOCK A - RIDGE/SUMMER LEE ADDITION  
THE CITY OF ROCKWALL, TEXAS

**BURGER ENGINEERING**  
17103 Preston Road, Suite 180N  
Dallas, Texas 75238  
Office: 972.630.3300 Fax: 972.630.3380  
TIFFI F-12997

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BMB	JAC	12/11	1"=30'	D.P.	007-008 DAMAP EX	C-7.1

AS-BUILT  
DATE: 01-08-13

THIS DRAWING IS PROVIDED FOR ESTABLISHMENT OF EXISTING DRAINAGE CONDITIONS FOR REFERENCE ONLY - NOT TO SCALE

**SITE BENCH MARKS:**  
BENCH MARK #1: Center of a storm drain inlet along curb. Inlet is located on the North side of Summer Lee Drive approximately 95' east from the center line of Ridge Road.  
Elevation= 566.55'  
BENCH MARK #2: Center of rim to a sanitary sewer man hole. Man hole is approximately 190' southwest from center line of Oak Drive at 20' alley running along the south property line.  
Elevation= 563.63'

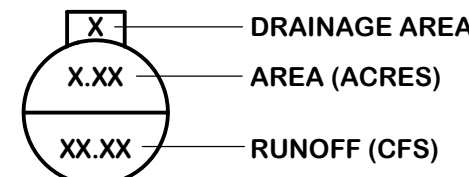
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IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A)

CITY OF ROCKWALL BENCH MARKS

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 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017



**Summer Lee Drive**  
Pre versus Post-Development Drainage Calculations

Drainage Area	Area (acres)	Runoff Coefficient	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year
A	C	I100	Q100	
Pre-Development Based on ALDI & City Street Drainage				
ALDI 1	0.88	0.25	8.30	2.56
Total Pre-Development				2.56
Post-Development				
ORTHO 1	0.09	0.90	9.80	0.79
ORTHO 2	0.03	0.90	9.80	0.26
ORTHO 3	0.02	0.90	9.80	0.18
Total Post-Development				1.23
Net Result (Decrease)				1.32

**Post-Development Drainage Calculations**

Drainage Area	Area (acres)	Runoff Coefficient	Time of Concentration (minutes)	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year	Drains To:
A	C	Tc	I100	Q100		
1	0.09	0.90	10	9.80	0.79	Summer Lee Dr.
2	0.03	0.90	10	9.80	0.26	Summer Lee Dr.
3	0.02	0.90	10	9.80	0.18	Summer Lee via Oak Dr.
4	0.14	0.90	10	9.80	1.23	Oak Dr.
5	0.16	0.90	10	9.80	1.41	Alley
6	0.06	0.90	10	9.80	0.53	Drain Curb Opening 1; Det. Pond
7	0.08	0.90	10	9.80	0.71	Drain Curb Opening 2; Det. Pond
8	0.10	0.90	10	9.80	0.88	Drain Curb Opening 3; Det. Pond
9	0.18	0.90	10	9.80	1.59	Curb Inlet 2; 18" HDPE; Det. Pond
10	0.17	0.90	10	9.80	1.50	Curb Inlet 3; 18" HDPE; Det. Pond
11	0.32	0.90	10	9.80	2.82	Roof Drain; Curb Inlet 1; 18" HDPE; D.P.
12	0.12	0.90	10	9.80	1.06	Curb Inlet 1; 18" HDPE; Det. Pond
13	0.14	0.90	10	9.80	1.23	Detention Pond Area
<b>Totals</b>	<b>1.61</b>				<b>14.20</b>	

**Oak Drive**  
Pre versus Post-Development Drainage Calculations

Drainage Area	Area (acres)	Runoff Coefficient	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year
A	C	I100	Q100	
Pre-Development Based on ALDI & City Street Drainage				
ALDI 2	1.27	0.35	8.30	3.69
Total Pre-Development				3.69
Post-Development				
ORTHO 4	0.14	0.90	9.80	1.23
Total Post-Development				1.23
Net Result (Decrease)				2.45



Consultants:  
Nassif Engineering & Architecture, LLC



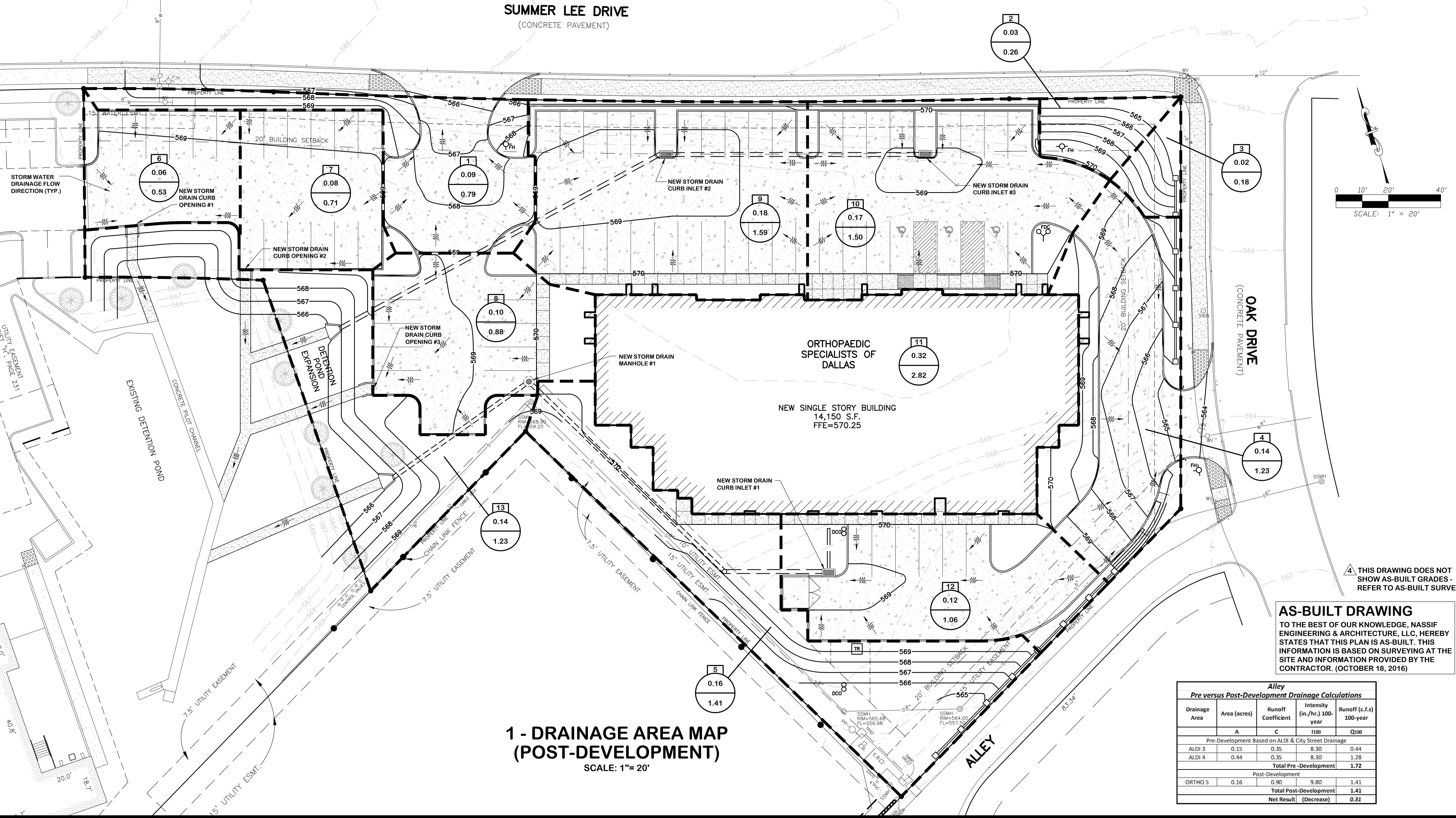
TXBPE Registration No. : F-16335  
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 ROCKWALL, TX 75032

Project Number: 15-117  
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 4 - 10/18/2016 - As-Built

Sheet Title:  
**DRAINAGE AREA MAP POST-DEVELOPMENT**  
**C-105**



**AS-BUILT DRAWING**  
 TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)

**Alley**  
Pre versus Post-Development Drainage Calculations

Drainage Area	Area (acres)	Runoff Coefficient	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year
A	C	I100	Q100	
Pre-Development Based on ALDI & City Street Drainage				
ALDI 3	0.15	0.35	8.30	0.44
ALDI 4	0.44	0.35	8.30	1.28
Total Pre-Development				1.72
Post-Development				
ORTHO 5	0.16	0.90	9.80	1.41
Total Post-Development				1.41
Net Result (Decrease)				0.31

**1 - DRAINAGE AREA MAP (POST-DEVELOPMENT)**  
 SCALE: 1"= 20'

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

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IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOD PLAN. (MAP ZONE A).

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ELEVATION= 581.017'

GPS CONTROL MONUMENT #R014, NAD83:  
NORTHING= 7007583.687  
EASTING= 2589828.481  
ELEVATION= 581.017'

**ELEVATION SYMBOL LEGEND**

- TG: TOP OF GRATE, FRAME OR COVER ELEVATION
- GL: GUTTER FLOW LINE ELEVATION
- FL: PAVEMENT FLOW LINE ELEVATION
- INV: PIPE INVERT ELEVATION

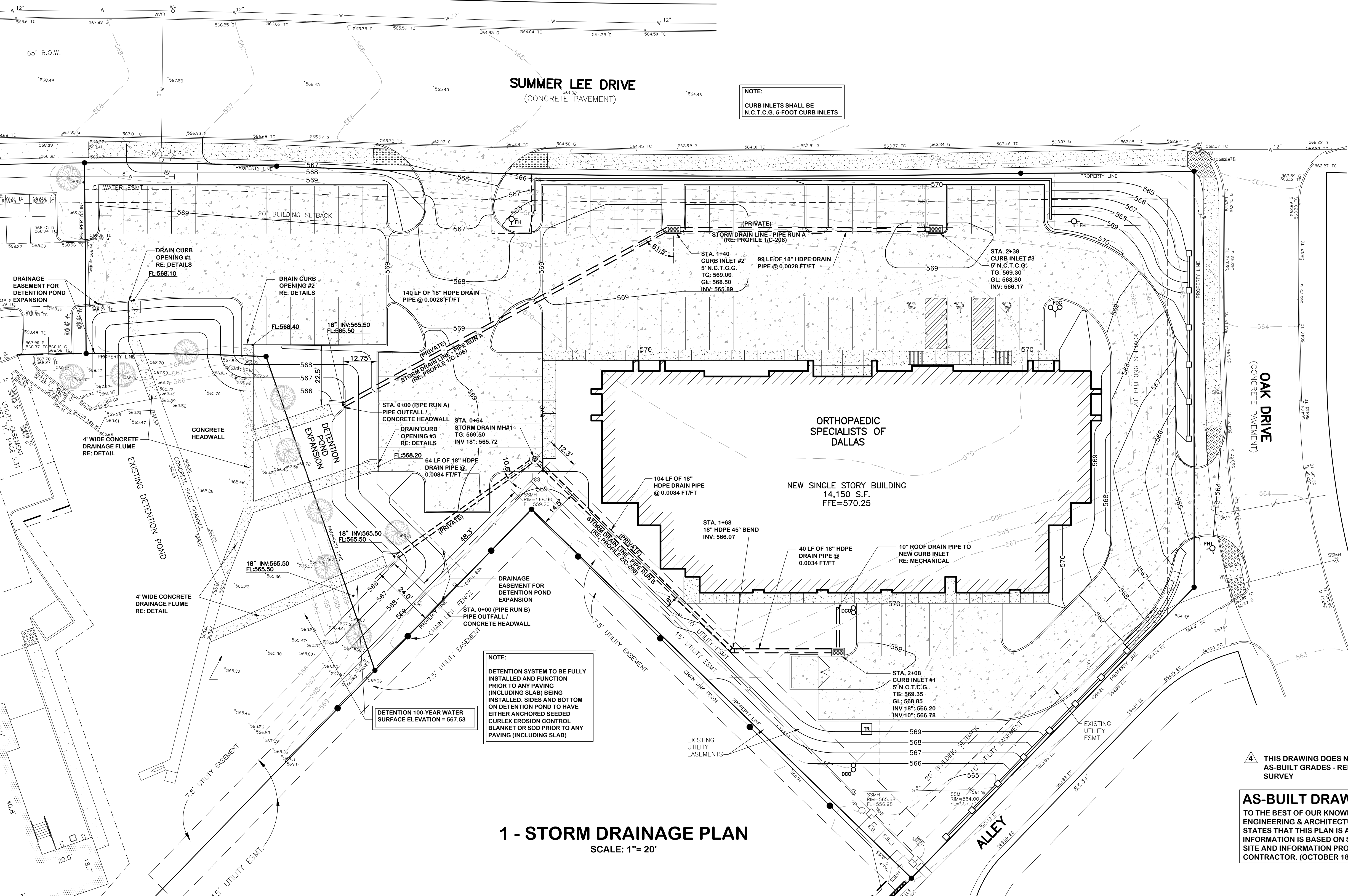
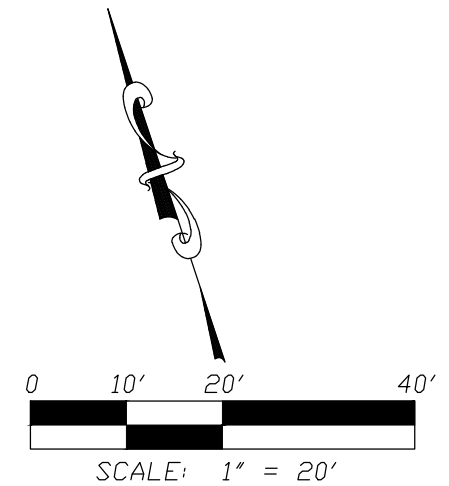
**HDPE PIPE**

HDPE PIPE SHALL BE ADS, INC. N-12 WT "WATER TIGHT FITTINGS" OR PRIOR APPROVED EQUAL.  
RE: DWG. C-206 FOR STORM DRAIN DETAILS

**DRAIN CURB OPENING #1 (TO DETENTION POND)**  
Concrete Drainage Flume:  
4 ft wide with 6" high side curbs  
COLLECTION FROM DRAINAGE AREA 6  
Q = 0.53 cfs  
MANNING EQUATION FOR OPEN CHANNEL FLOW IN A RECTANGULAR CHANNEL  
 $Q = (1.49/n)(b^2/3)(y/b+2y)^{3/2}(s^{1/2})$   
Q = 0.53  
n = 0.013  
b = 4 ft  
y = solving for  
S = 0.20 (5:1)  
Ymax = 0.5 ft (6" curb)  
Ymin = 0.038 ft (or 7/16")  
Ymax > Ymin

**DRAIN CURB OPENING #2 (TO DETENTION POND)**  
Concrete Drainage Flume:  
4 ft wide with 6" high side curbs  
COLLECTION FROM DRAINAGE AREA 7  
Q = 0.71 cfs  
MANNING EQUATION FOR OPEN CHANNEL FLOW IN A RECTANGULAR CHANNEL  
 $Q = (1.49/n)(b^2/3)(y/b+2y)^{3/2}(s^{1/2})$   
Q = 0.71  
n = 0.013  
b = 4 ft  
y = solving for  
S = 0.20 (5:1)  
Ymax = 0.5 ft (6" curb)  
Ymin = 0.045 ft (or 9/16")  
Ymax > Ymin

**DRAIN CURB OPENING #3 (TO DETENTION POND)**  
Concrete Drainage Flume:  
4 ft wide with 6" high side curbs  
COLLECTION FROM DRAINAGE AREA 8  
Q = 0.88 cfs  
MANNING EQUATION FOR OPEN CHANNEL FLOW IN A RECTANGULAR CHANNEL  
 $Q = (1.49/n)(b^2/3)(y/b+2y)^{3/2}(s^{1/2})$   
Q = 0.88  
n = 0.013  
b = 4 ft  
y = solving for  
S = 0.20 (5:1)  
Ymax = 0.5 ft (6" curb)  
Ymin = 0.05 ft (or 5/8")  
Ymax > Ymin



**1 - STORM DRAINAGE PLAN**  
SCALE: 1" = 20'

**AS-BUILT DRAWING**  
TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)



Consultants:  
Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
TBAE Registration No. : BR400  
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Sheet Title:  
**STORM DRAINAGE PLAN**

**C-106**

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EASTING= 2589828.481 EASTING= 2589828.481  
ELEVATION= 581.017' ELEVATION= 581.017'

**Orthopaedic Specialists 5 Year Storm Detention Calculations**  
Modified Rational Method - HYDRO-35

Existing Detention Pond Conditions		Existing Allowable Release	
Q100 yr	0.82	cfs	

Drainage Area to Detention Pond	
Description	Area (ac)
ALDI Drainage Areas: 2-4	1.29
Orthopaedic Drainage Areas: 6-13	1.17
<b>Total Area</b>	<b>2.46</b>

Onsite Proposed Conditions	
Area	2.46 acres
Time (Tc)	10 minutes
C value	0.90
I-5yr	6.36 in/hr
Q5 yr	14.08 cfs

Per City of Rockwall Storm Drainage Design Manual  
Developed Runoff

Developed Runoff per Storm Event (Per City of Rockwall Chart - Figure 1)				
Time (min.)	I-5 yr	C value	Area (ac)	Runoff (cfs)
10	6.36	0.90	2.46	14.08
15	5.48	0.90	2.46	12.09
20	4.87	0.90	2.46	10.78
30	4.10	0.90	2.46	9.08
40	3.55	0.90	2.46	7.86
50	3.08	0.90	2.46	6.82
60	2.69	0.90	2.46	5.96
70	2.49	0.90	2.46	5.51
80	2.28	0.90	2.46	5.05
90	2.10	0.90	2.46	4.65
100	1.96	0.90	2.46	4.34
110	1.78	0.90	2.46	3.94
120	1.60	0.90	2.46	3.54
130	1.42	0.90	2.46	3.14

Inflow per Storm Event			
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)	
10	14.08	8,449	
15	12.09	10,880	
20	10.78	12,938	
30	9.08	16,339	
40	7.86	18,863	
50	6.82	20,457	
60	5.96	21,440	
70	5.51	23,154	
80	5.05	24,230	
90	4.65	25,107	
100	4.34	26,037	
110	3.94	26,010	
120	3.54	25,505	
130	3.14	24,522	

Outflow per Storm Event			
Storm Event	Time	Release	Outflow (ft <sup>3</sup> /s)
10	20	0.82	492
15	25	0.82	615
20	30	0.82	738
30	40	0.82	984
40	50	0.82	1,230
50	60	0.82	1,476
60	70	0.82	1,722
70	80	0.82	1,968
80	90	0.82	2,214
90	100	0.82	2,460
100	110	0.82	2,706
110	120	0.82	2,952
120	130	0.82	3,198
130	140	0.82	3,444

Detention Volume			
Storm Event	Inflow	Outflow	Storage (ft <sup>3</sup> )
10	8,449	492	7,957
15	10,880	615	10,265
20	12,938	738	12,201
30	16,339	984	15,355
40	18,863	1,230	17,633
50	20,457	1,476	18,981
60	21,440	1,722	19,718
70	23,154	1,968	21,186
80	24,230	2,214	22,016
90	25,107	2,460	22,647
100	26,037	2,706	23,331
110	26,010	2,952	23,058
120	25,505	3,198	22,307
130	24,522	3,444	21,078

Detention Volume Required (ft<sup>3</sup>)  
**23,331**

**Orthopaedic Specialists 10 Year Storm Detention Calculations**  
Modified Rational Method - HYDRO-35

Existing Detention Pond Conditions		Existing Allowable Release	
Q100 yr	0.92	cfs	

Drainage Area to Detention Pond	
Description	Area (ac)
ALDI Drainage Areas: 2-4	1.29
Orthopaedic Drainage Areas: 6-13	1.17
<b>Total Area</b>	<b>2.46</b>

Onsite Proposed Conditions	
Area	2.46 acres
Time (Tc)	10 minutes
C value	0.90
I-10yr	7.29 in/hr
Q10 yr	16.14 cfs

Per City of Rockwall Storm Drainage Design Manual  
Developed Runoff

Developed Runoff per Storm Event (Per City of Rockwall Chart - Figure 1)				
Time (min.)	I-10 yr	C value	Area (ac)	Runoff (cfs)
10	7.29	0.90	2.46	16.14
15	6.28	0.90	2.46	13.86
20	5.60	0.90	2.46	12.40
30	4.74	0.90	2.46	10.49
40	4.10	0.90	2.46	9.08
50	3.60	0.90	2.46	7.97
60	3.20	0.90	2.46	7.08
70	2.85	0.90	2.46	6.31
80	2.67	0.90	2.46	5.91
90	2.46	0.90	2.46	5.45
100	2.29	0.90	2.46	5.07
110	2.05	0.90	2.46	4.54
120	1.80	0.90	2.46	3.99
130	1.55	0.90	2.46	3.43

Inflow per Storm Event			
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)	
10	16.14	9,684	
15	13.86	12,474	
20	12.40	14,878	
30	10.49	18,890	
40	9.08	21,786	
50	7.97	23,911	
60	7.08	25,505	
70	6.31	26,502	
80	5.91	28,375	
90	5.45	29,411	
100	5.07	30,420	
110	4.54	29,955	
120	3.99	28,693	
130	3.43	26,767	

Outflow per Storm Event			
Storm Event	Time	Release	Outflow (ft <sup>3</sup> /s)
10	20	0.92	552
15	25	0.92	690
20	30	0.92	828
30	40	0.92	1,104
40	50	0.92	1,380
50	60	0.92	1,656
60	70	0.92	1,932
70	80	0.92	2,208
80	90	0.92	2,484
90	100	0.92	2,760
100	110	0.92	3,036
110	120	0.92	3,312
120	130	0.92	3,588
130	140	0.92	3,864

Detention Volume			
Storm Event	Inflow	Outflow	Storage (ft <sup>3</sup> )
10	9,684	552	9,132
15	12,474	690	11,784
20	14,878	828	14,050
30	18,890	1,104	17,786
40	21,786	1,380	20,406
50	23,911	1,656	22,255
60	25,505	1,932	23,573
70	26,502	2,208	24,294
80	28,375	2,484	25,891
90	29,411	2,760	26,651
100	30,420	3,036	27,384
110	29,955	3,312	26,643
120	28,693	3,588	25,105
130	26,767	3,864	22,903

Detention Volume Required (ft<sup>3</sup>)  
**27,384**

**Orthopaedic Specialists 25 Year Storm Detention Calculations**  
Modified Rational Method - HYDRO-35

Existing Detention Pond Conditions		Existing Allowable Release	
Q100 yr	1.28	cfs	

Drainage Area to Detention Pond	
Description	Area (ac)
ALDI Drainage Areas: 2-4	1.29
Orthopaedic Drainage Areas: 6-13	1.17
<b>Total Area</b>	<b>2.46</b>

Onsite Proposed Conditions	
Area	2.46 acres
Time (Tc)	10 minutes
C value	0.90
I-25yr	8.01 in/hr
Q25 yr	17.73 cfs

Per City of Rockwall Storm Drainage Design Manual  
Developed Runoff

Developed Runoff per Storm Event (Per City of Rockwall Chart - Figure 1)				
Time (min.)	I-25 yr	C value	Area (ac)	Runoff (cfs)
10	8.01	0.90	2.46	17.73
15	6.89	0.90	2.46	15.25
20	6.23	0.90	2.46	13.79
30	5.25	0.90	2.46	11.62
40	4.55	0.90	2.46	10.07
50	4.04	0.90	2.46	8.94
60	3.54	0.90	2.46	7.84
70	3.28	0.90	2.46	7.26
80	3.00	0.90	2.46	6.84
90	2.79	0.90	2.46	6.18
100	2.60	0.90	2.46	5.76
110	2.40	0.90	2.46	5.31
120	2.20	0.90	2.46	4.87
130	2.00	0.90	2.46	4.43

Inflow per Storm Event			
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)	
10	17.73	10,640	
15	15.25	13,729	
20	13.79	16,552	
30	11.62	20,922	
40	10.07	24,177	
50	8.94	26,834	
60	7.84	28,215	
70	7.26	30,500	
80	6.84	31,882	
90	6.18	33,356	
100	5.76	34,538	
110	5.31	35,070	
120	4.87	35,070	
130	4.43	34,538	

Outflow per Storm Event			
Storm Event	Time	Release	Outflow (ft <sup>3</sup> /s)
10	20	1.28	768
15	25	1.28	960
20	30	1.28	1,152
30	40	1.28	1,536
40	50	1.28	1,920
50	60	1.28	2,304
60	70	1.28	2,688
70	80	1.28	3,072
80	90	1.28	3,456
90	100	1.28	3,840
100	110	1.28	4,224
110	120	1.28	4,608
120	130	1.28	4,992
130	140	1.28	5,376

Detention Volume			
Storm Event	Inflow	Outflow	Storage (ft <sup>3</sup> )
10	10,640	768	9,872
15	13,729	960	12,769
20	16,552	1,152	15,400
30	20,922	1,536	19,386
40	24,177	1,920	22,257
50	26,834	2,304	24,530
60	28,215	2,688	25,527
70	30,500	3,072	27,428
80	31,882	3,456	28,426
90	33,356	3,840	29,516
100	34,538	4,224	30,314
110	35,070	4,608	30,462
120	35,070	4,992	30,078
130	34,538	5,376	29,162

Detention Volume Required (ft<sup>3</sup>)  
**30,462**

**Orthopaedic Specialists 100 Year Storm Detention Calculations**  
Modified Rational Method - HYDRO-35

Existing Detention Pond Conditions		Existing Allowable Release	
Q100 yr	1.82	cfs	

Drainage Area to Detention Pond	
Description	Area (ac)
ALDI Drainage Areas: 2-4	1.29
Orthopaedic Drainage Areas: 6-13	1.17
<b>Total Area</b>	<b>2.46</b>

Onsite Proposed Conditions	
Area	2.46 acres
Time (Tc)	10 minutes
C value	0.90
I-100yr	9.80 in/hr
Q100 yr	21.70 cfs

Per City of Rockwall Storm Drainage Design Manual  
Developed Runoff

Developed Runoff per Storm Event (Per City of Rockwall Chart - Figure 1)				
Time (min.)	I-100 yr	C value	Area (ac)	Runoff (cfs)
10	9.80	0.90	2.46	21.70
15	9.00	0.90	2.46	19.93
20	8.40	0.90	2.46	18.60
30	6.90	0.90	2.46	15.28
40	5.80	0.90	2.46	12.84
50	5.00	0.90	2.46	11.07
60	4.45	0.90	2.46	9.85
70	4.00	0.90	2.46	8.86
80	3.75	0.90	2.46	8.30
90	3.50	0.90	2.46	7.75
100	3.25	0.90	2.46	7.20
110	3.00	0.90	2.46	6.64
120	2.75	0.90	2.46	6.09
130	2.50	0.90	2.46	5.54

Inflow per Storm Event			
Storm Event	Runoff	Inflow (ft <sup>3</sup> /s)	
10	21.70	13,018	
15	19.93	17,933	
20	18.60	22,317	



\*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.\*

ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL AND N.C.T.C.O.G. (3rd EDITION) SPECIFICATIONS, STANDARDS, AND DETAILS. CITY OF ROCKWALL AMENDMENTS TO N.C.T.C.O.G. SHALL GOVERN.

IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

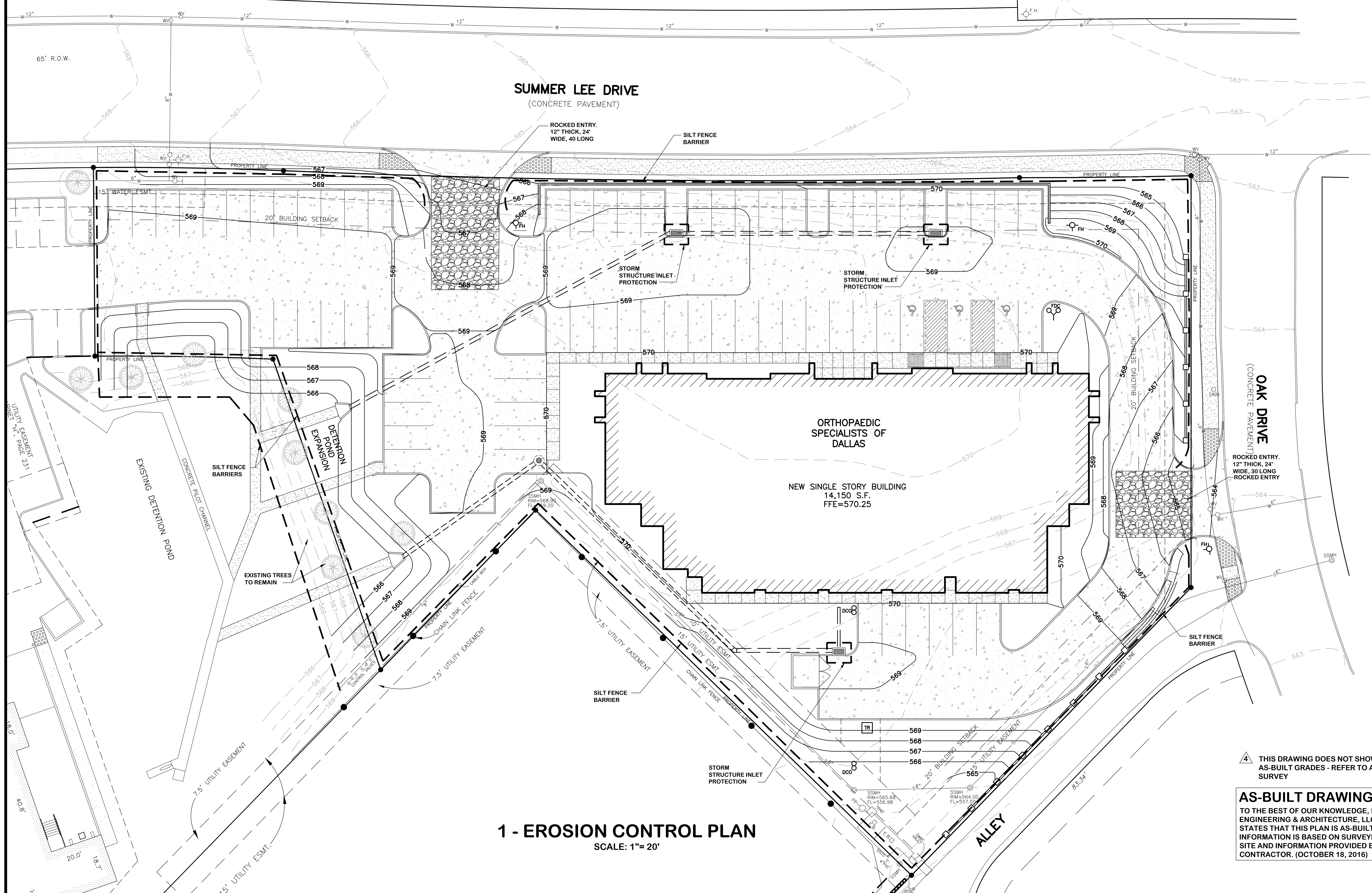
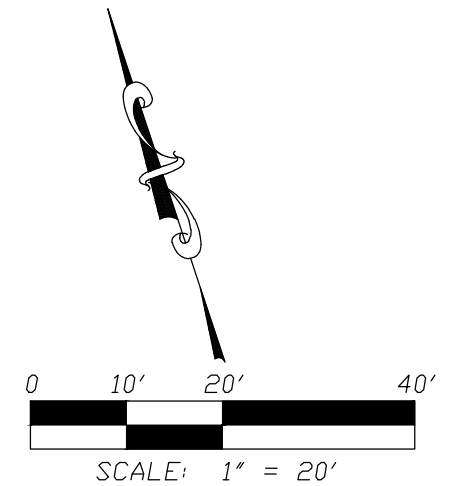
CITY OF ROCKWALL BENCH MARKS

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'  
 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

DEVELOPER / OWNER:  
 NORTH DALLAS ROCKWALL LAND INVESTORS, LLC  
 1005 W RALPH HALL PARKWAY, SUITE 227  
 ROCKWALL, TX 75032

SITE ACREAGE: 1.61 ACRES  
 LIMITS OF CONSTRUCTION / DISTURBED AREAS: 1.68 ACRES

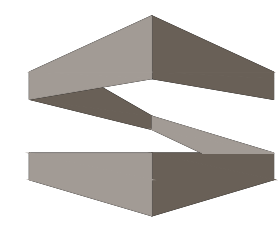
ENGINEER:  
 NASSIF ENGINEERING & ARCHITECTURE, LLC  
 270 BLANCHARD ROAD  
 NATCHITOCHEES, LA 71457  
 NORMAN NASSIF  
 (318) 527-4409



**1 - EROSION CONTROL PLAN**  
 SCALE: 1"= 20'

THIS DRAWING DOES NOT SHOW AS-BUILT GRADES - REFER TO AS-BUILT SURVEY

**AS-BUILT DRAWING**  
 TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)



**STROHMEIER**  
 ARCHITECTS INC.

Consultants:

Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
 TBAE Registration No. : BR400  
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**ORTHOPAEDIC SPECIALISTS OF DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
 Drawing Date: 4/13/2015  
 Drawn:  
 Checked:  
 Scale: AS SHOWN  
 ACAD File:  
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- Revisions:
- 1 - 5/26/2015 - Revisions per City of Rockwall Review (4/20/2015)
  - 2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)
  - 3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)
  - 4 - 10/18/2016 - As-Built

Sheet Title:  
**EROSION CONTROL PLAN**

**C-109**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."

ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL AND N.C.T.C.O.G. (3rd EDITION) SPECIFICATIONS, STANDARDS, AND DETAILS. CITY OF ROCKWALL AMENDMENTS TO N.C.T.C.O.G. SHALL GOVERN.

IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

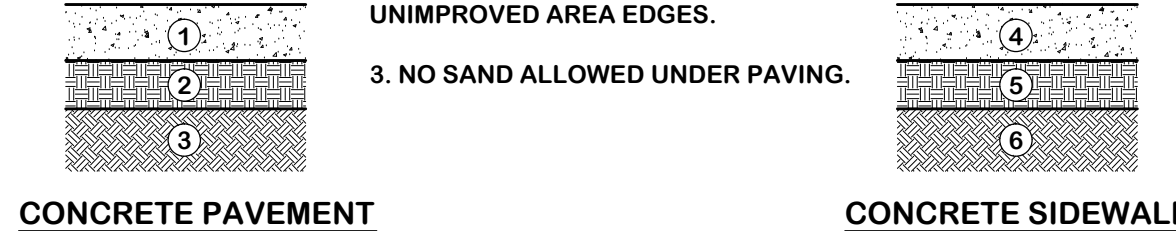
CITY OF ROCKWALL BENCH MARKS

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

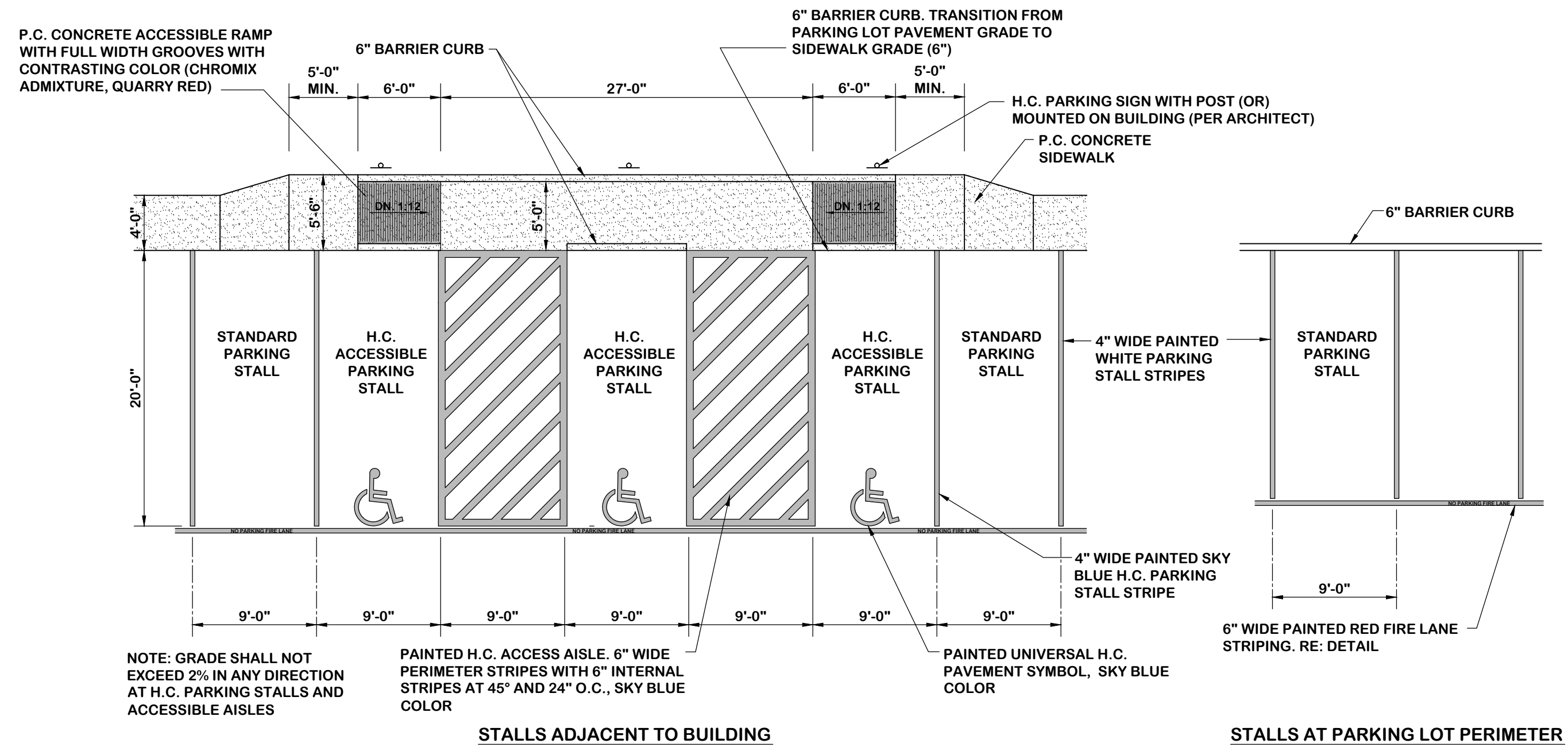
**NOTES:**

- PAVEMENT, BASE & SUB-BASE REQUIREMENTS SHALL BE IN STRICT ACCORD WITH THE GEOTECHNICAL RECOMMENDATIONS PREPARED FOR THIS PROJECT.
- BASE MATERIALS SHALL EXTEND A MINIMUM OF 6" BEYOND PAVEMENT / UNIMPROVED AREA EDGES.
- NO SAND ALLOWED UNDER PAVING.

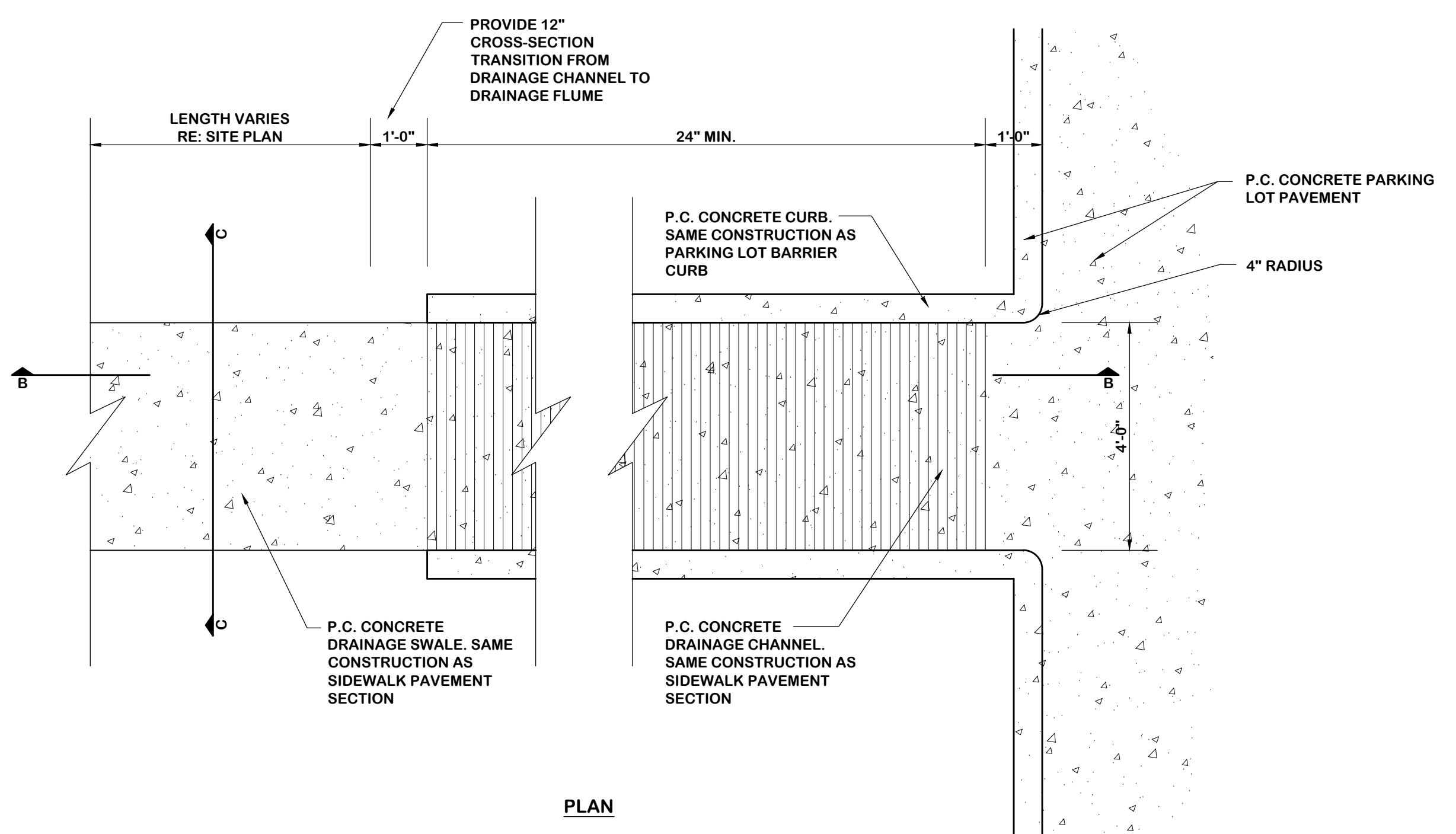


- CONCRETE PAVEMENT**
- 6" THICK PAVEMENT: P.C. CONCRETE (6.5 SACK MIX), 3,600 PSI COMPRESSIVE STRENGTH AT 28-DAYS WITH #3 BARS AT 24" O.C.E.W.
  - 6" MIN. THICK BASE: CUT AREAS: SCARIFY & COMPACT SELECT FILL TO 95% STANDARD PROCTOR AT ±2% OPTIMUM MOISTURE CONTENT. FILL AREAS: COMPACT SELECT FILL IN 8" MAXIMUM LOOSE LIFTS, AND TOP 6" TO 95% STANDARD PROCTOR AT ±2% OPTIMUM MOISTURE CONTENT.
  - SUB-BASE: PROOF ROLL SUB-BASE WITH LOADED TRUCK AND REMOVE AND REPLACE ANY SOFT AREAS IN ACCORDANCE WITH BASE REQUIREMENTS LISTED UNDER NO. 2 THIS DETAIL.
- CONCRETE SIDEWALK**
- 4" THICK SIDEWALK: P.C. CONCRETE (6.5 SACK MIX), 3,600 PSI COMPRESSIVE STRENGTH AT 28-DAYS WITH #3 BARS AT 18" O.C.E.W.
  - BASE: CUT AREAS: COMPACT BASE MATERIAL TO 95% STANDARD PROCTOR AT ±2% OPTIMUM MOISTURE CONTENT. FILL AREAS: COMPACT SELECT FILL IN 8" MAXIMUM LOOSE LIFTS, AND TOP 4" TO 95% STANDARD PROCTOR AT ±2% OPTIMUM MOISTURE CONTENT.
  - SUB-BASE: REMOVE AND REPLACE ANY SOFT AREAS IN ACCORDANCE WITH BASE REQUIREMENTS (FILL AREAS) LISTED UNDER NO. 5 THIS DETAIL.

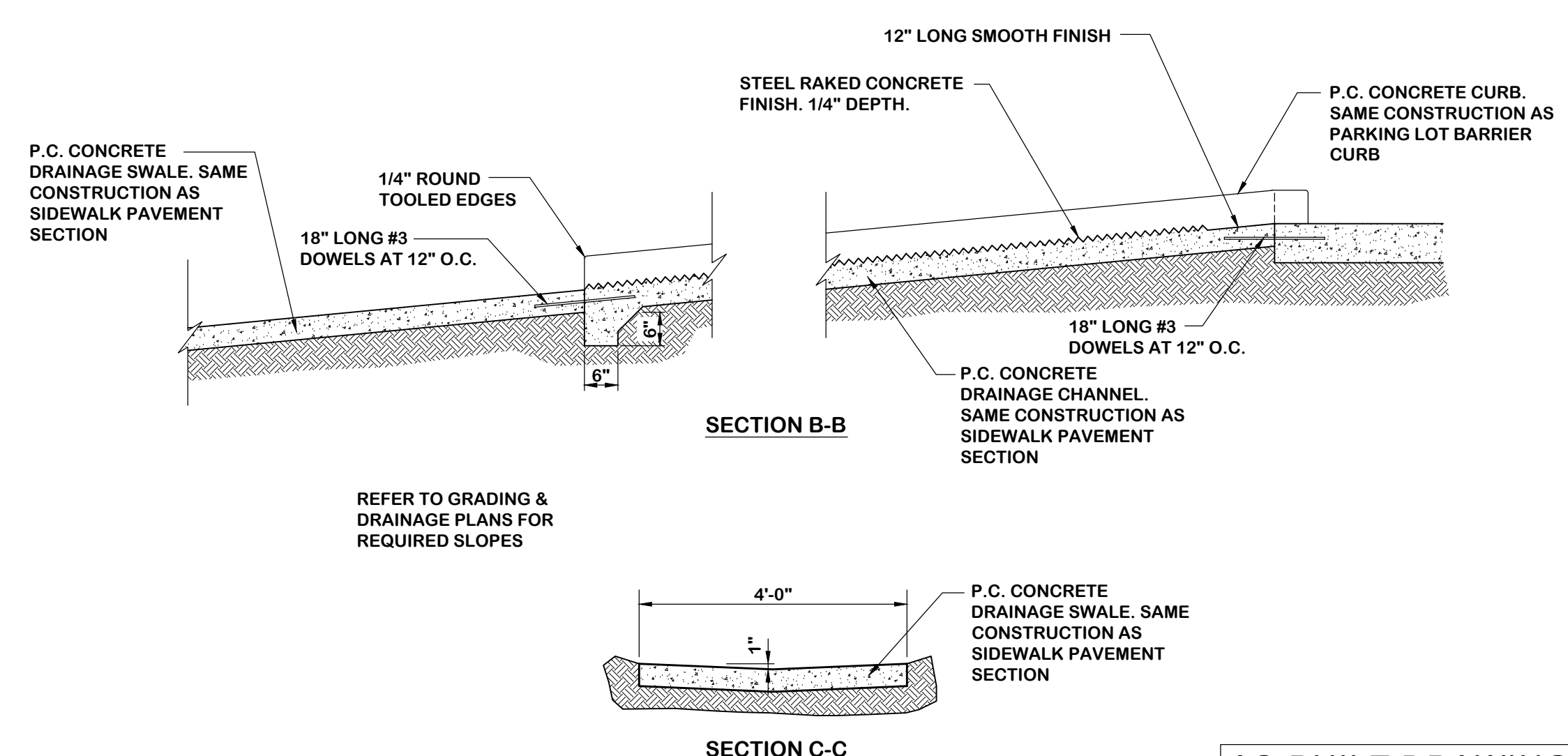
**2 - PAVEMENT SECTION DETAILS**  
SCALE: N.T.S.



**1 - H.C. ACCESSIBLE & STANDARD PARKING STALL DETAILS**  
SCALE: 1/8" = 1'-0"

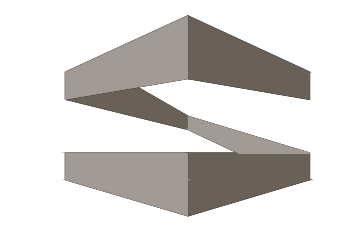


**3 - CURBED DRAINAGE OUTLET DETAILS**  
SCALE: 1/2" = 1'-0"



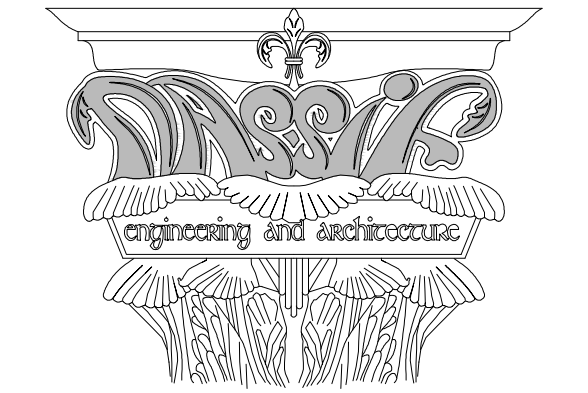
**AS-BUILT DRAWING**

TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)



**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
TBAE Registration No. : BR400  
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**ORTHOPAEDIC SPECIALISTS OF DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
Drawing Date: 4/13/2015  
Drawn:  
Checked:  
Scale: AS SHOWN  
ACAD File:  
Copyright 2015 Strohmeier Architects, Inc.

Revisions:

1 - 5/26/2015 - Revisions per City of Rockwall Review (4/20/2015)
2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)
3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)
4 - 10/18/2016 - As-Built

Sheet Title: **DETAILS PAVEMENT & PAINTED STRIPING C-201**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION



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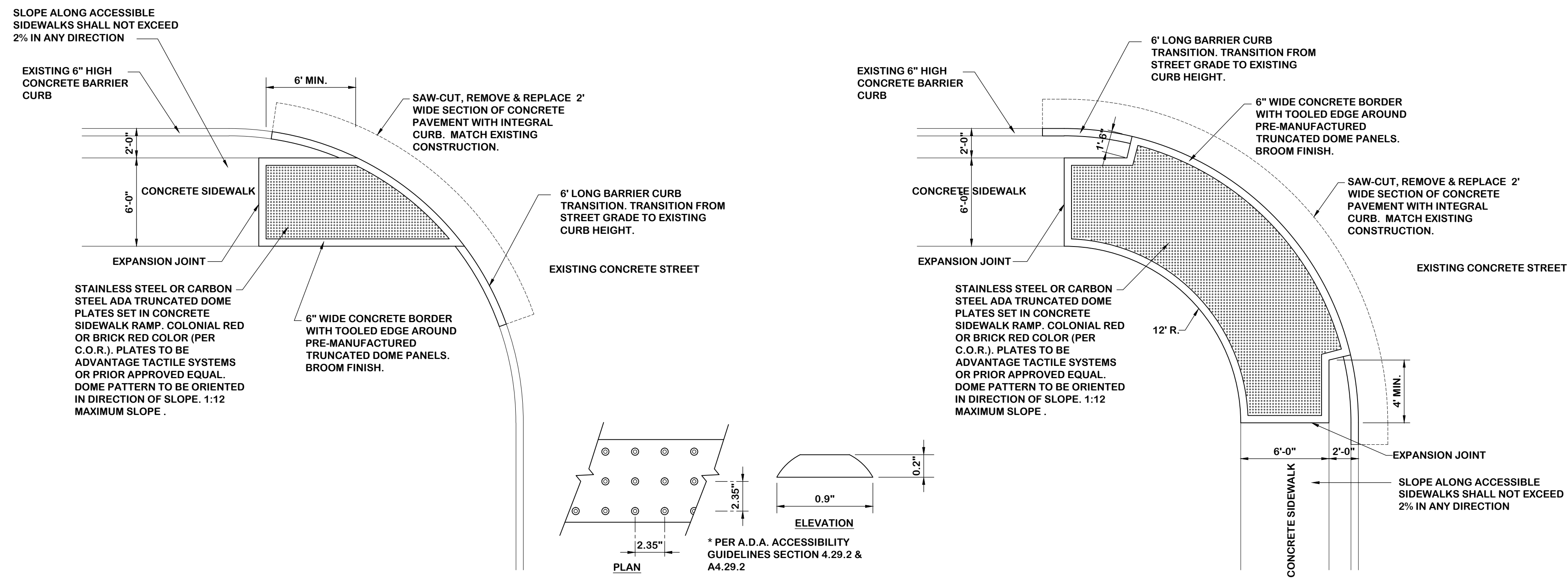
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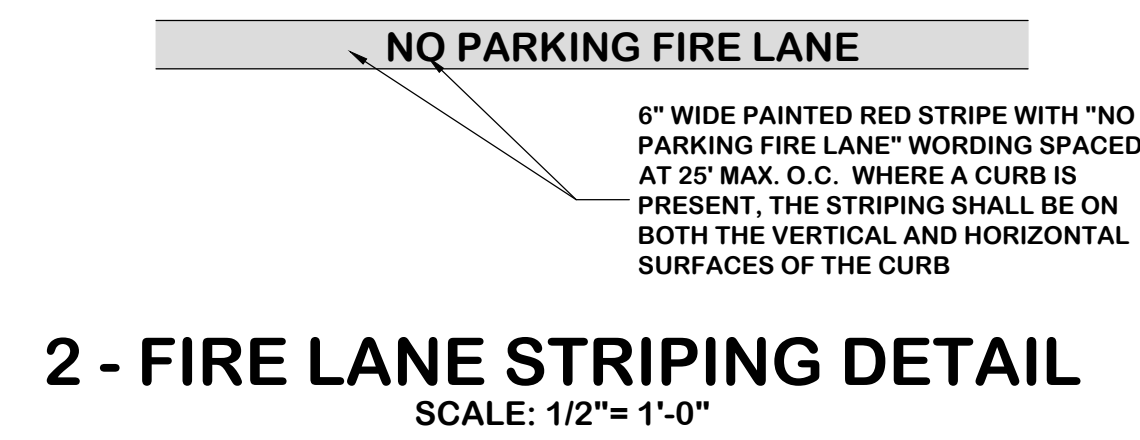
CITY OF ROCKWALL BENCH MARKS

GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'

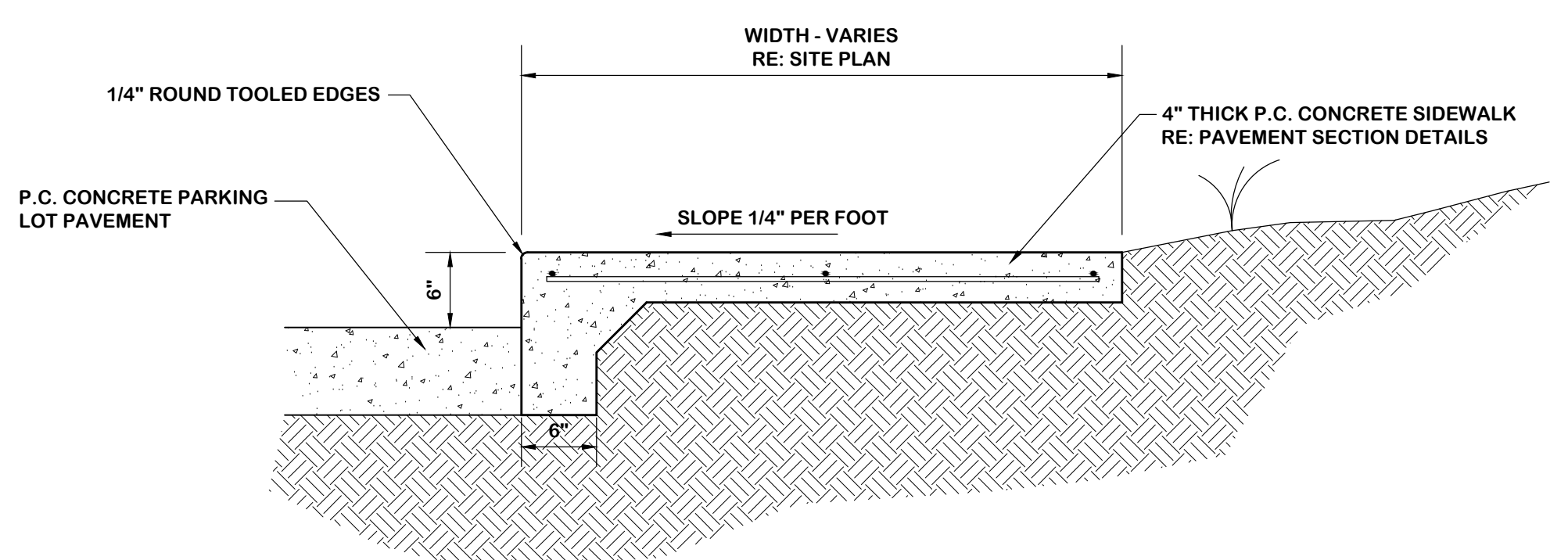
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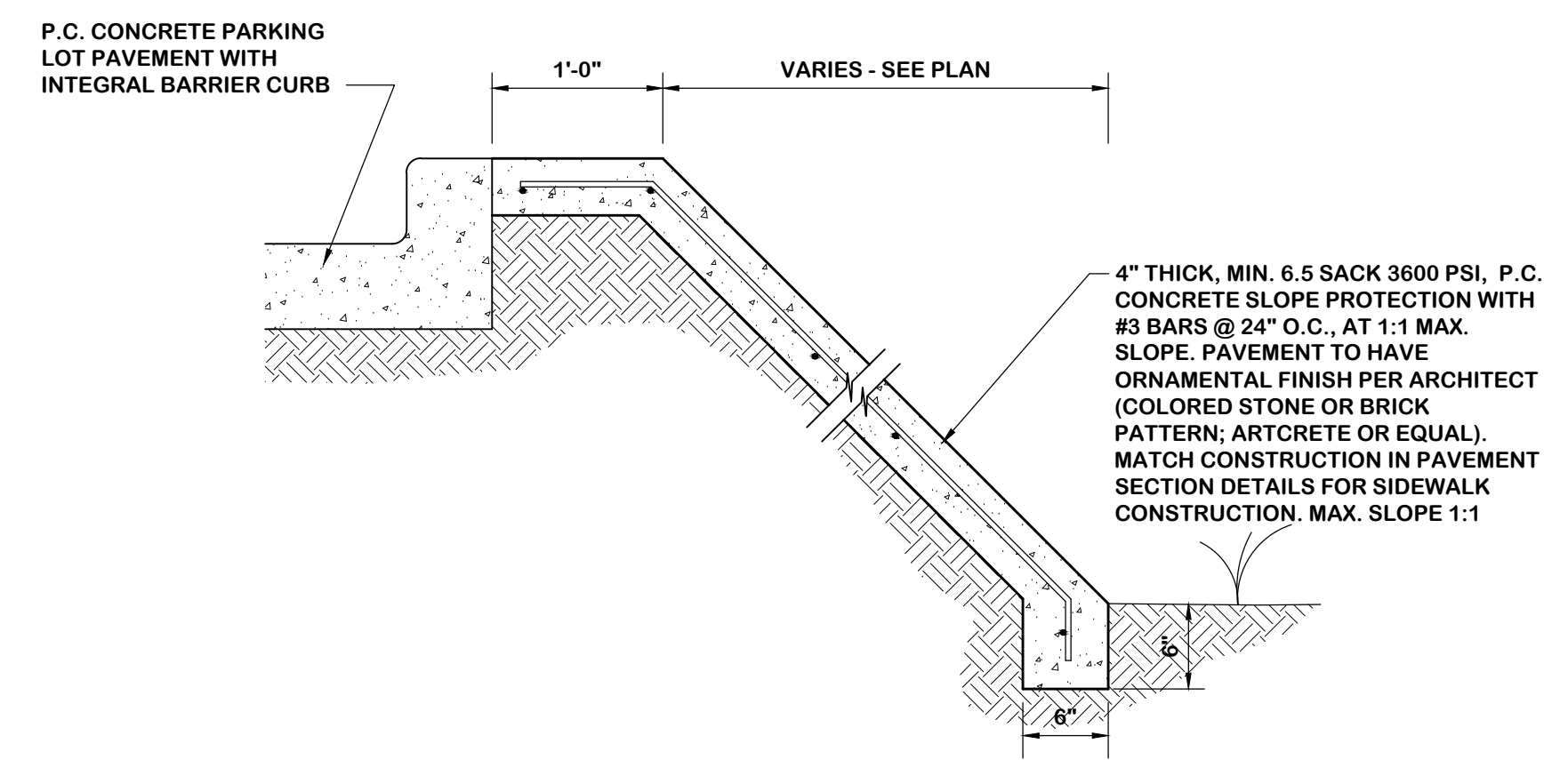
**1 - BARRIER FREE CURB RAMPS AT ROADSIDE SIDEWALKS**  
SCALE: 3/16"= 1'-0"



**2 - FIRE LANE STRIPING DETAIL**  
SCALE: 1/2"= 1'-0"



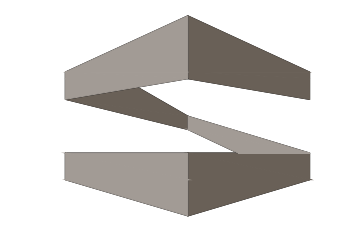
**3 - SIDEWALK WITH INTEGRAL BARRIER CURB DETAIL**  
SCALE: 1"= 1'-0"



**4 - CONCRETE SLOPE PROTECTION PAVEMENT DETAIL**  
SCALE: 1"= 1'-0"

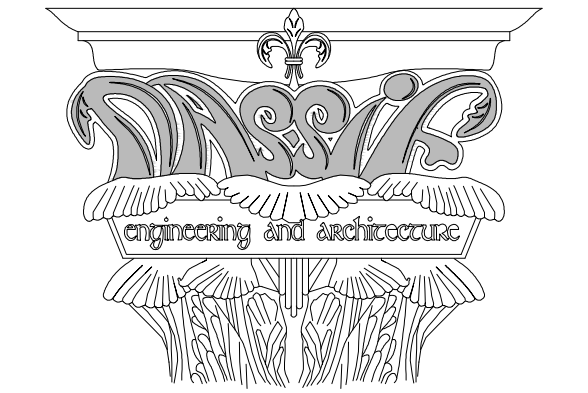
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**STROHMEYER**  
ARCHITECTS INC.

Consultants:  
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**ORTHOPAEDIC SPECIALISTS OF DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
Drawing Date: 4/13/2015  
Drawn:  
Checked:  
Scale: AS SHOWN  
ACAD File:  
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Revisions:  
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4 - 10/18/2016 - As-Built

Sheet Title: **DETAILS PAVEMENT & PAINTED STRIPING C-202**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

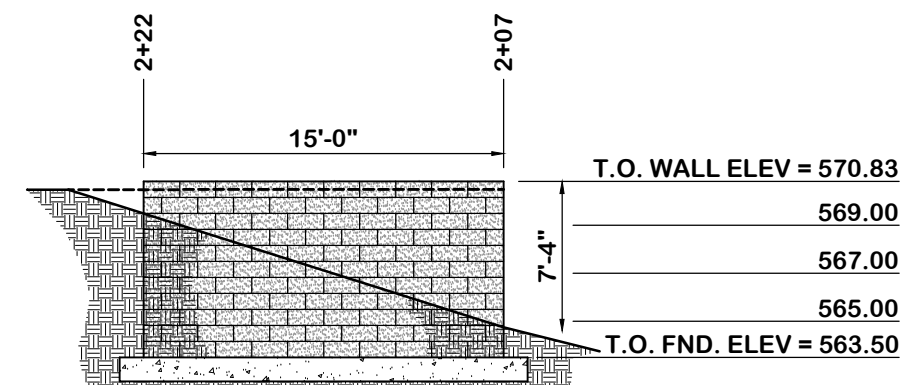
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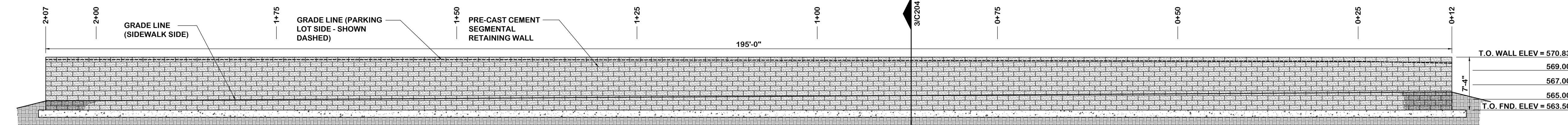
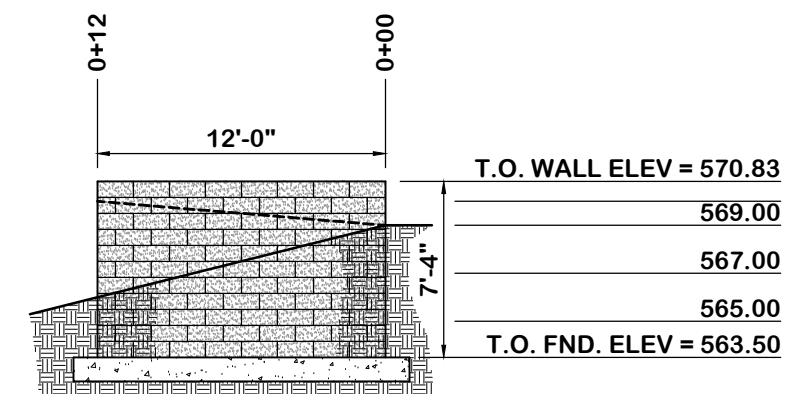
IN ACCORDANCE WITH FIRM MAP 48397C0040L, PANEL 0040L, DATED SEPTEMBER 26, 2008, THIS PROJECT IS NOT LOCATED IN A 100-YEAR FLOOR PLAN. (MAP ZONE A).

CITY OF ROCKWALL BENCH MARKS

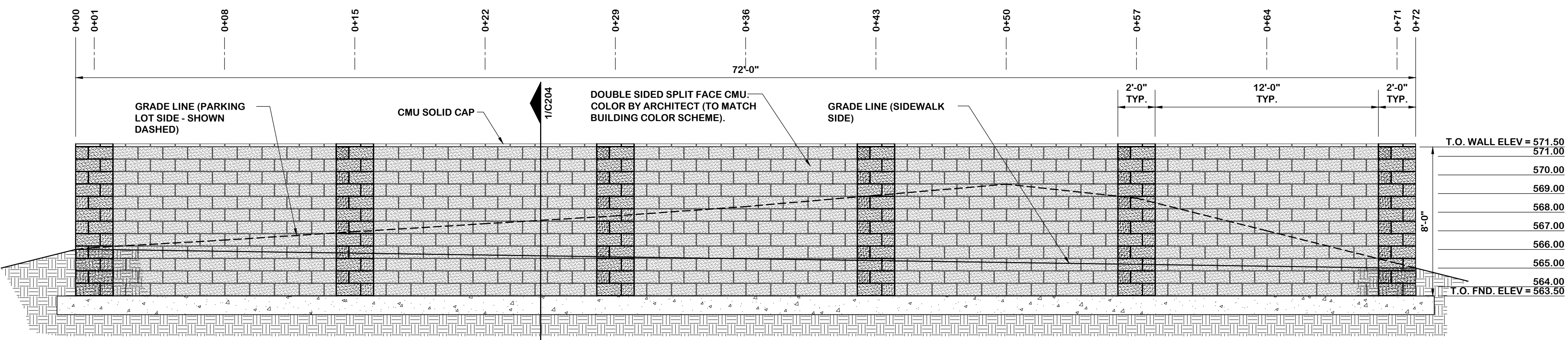
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 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017'



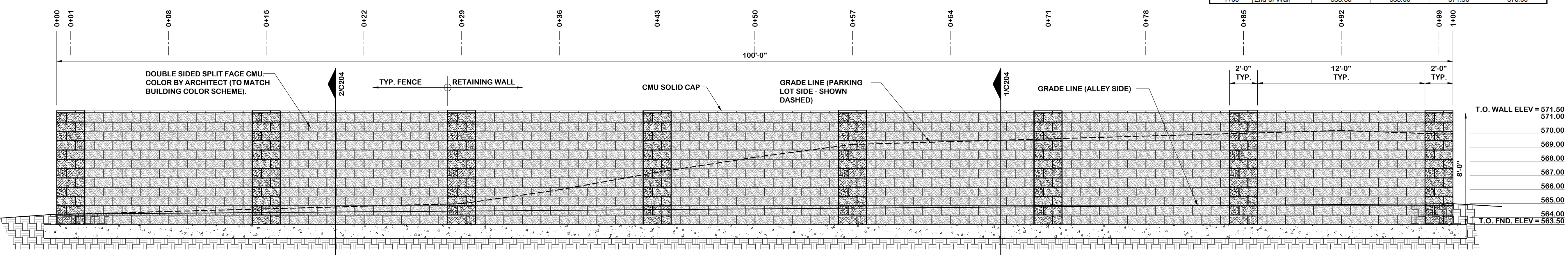
WALL A SEGMENTAL RETAINING WALL					
Station	Description	T.O.F.	F.G. Exterior (Sidewalk & Landscaping Areas)	T.O.W.	F.G. Interior (Parking Lot Side)
0+00	End of Wall	563.50	569.00	570.83	569.00
0+12	Corner	563.50	566.00	570.83	570.00
0+25		563.50	565.92	570.83	570.25
0+50		563.50	565.78	570.83	570.25
0+75		563.50	565.60	570.83	570.25
1+00		563.50	565.44	570.83	570.25
1+25		563.50	565.29	570.83	570.25
1+50		563.50	565.12	570.83	570.50
1+75		563.50	564.96	570.83	570.50
2+00		563.50	564.80	570.83	570.50
2+07	Corner	563.50	564.75	570.83	570.50
2+22	End of Wall	563.50	569.50	570.83	570.00



**1 - ELEVATION  
SEGMENTAL RETAINING WALL  
(WALL A - ALONG SUMMER LEE DRIVE)**  
SCALE: 1/8"= 1'-0"



**2 - ELEVATION  
CMU RESIDENTIAL SCREEN & RETAINING WALL  
(WALL B - ALONG OAK DRIVE)**  
SCALE: 1/4"= 1'-0"



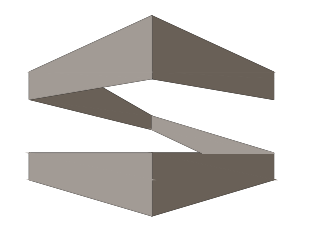
**3 - ELEVATION  
CMU RESIDENTIAL SCREEN & RETAINING WALL  
(WALL C - ALONG ALLEY)**  
SCALE: 1/4"= 1'-0"

WALL B RESIDENTIAL SCREENING & RETAINING WALL					
Station	Description	T.O.F.	F.G. Exterior (Out Street Sidewalk Side)	T.O.W.	F.G. Interior (Parking Lot Side)
0+00	End of Wall	563.50	566.00	571.50	566.00
0+01	CL Column	563.50	566.00	571.50	566.10
0+08	CL Wall Seg	563.50	565.90	571.50	566.50
0+15	CL Column	563.50	565.80	571.50	566.95
0+22	CL Wall Seg	563.50	565.70	571.50	567.38
0+29	CL Column	563.50	565.60	571.50	567.80
0+36	CL Wall Seg	563.50	565.50	571.50	568.30
0+43	CL Column	563.50	565.40	571.50	568.90
0+50	CL Wall Seg	563.50	565.30	571.50	569.50
0+57	CL Column	563.50	565.20	571.50	569.75
0+64	CL Wall Seg	563.50	565.10	571.50	567.00
0+71	CL Column	563.50	565.00	571.50	565.25
0+72	End of Wall	563.50	565.00	571.50	565.00

WALL C RESIDENTIAL SCREENING & RETAINING WALL					
Station	Description	T.O.F.	F.G. Exterior (Alley Side)	T.O.W.	F.G. Interior (Parking Lot Side)
0+00	End of Wall	563.50	564.25	571.50	564.25
0+01	CL Column	563.50	564.25	571.50	564.25
0+08	CL Wall Seg	563.50	564.19	571.50	564.44
0+15	CL Column	563.50	564.13	571.50	564.63
0+22	CL Wall Seg	563.50	564.07	571.50	564.82
0+29	CL Column	563.50	564.00	571.50	565.00
0+36	CL Wall Seg	563.50	564.00	571.50	566.00
0+43	CL Column	563.50	564.10	571.50	567.25
0+50	CL Wall Seg	563.50	564.20	571.50	568.33
0+57	CL Column	563.50	564.30	571.50	569.25
0+64	CL Wall Seg	563.50	564.40	571.50	569.45
0+71	CL Column	563.50	564.50	571.50	569.65
0+78	CL Wall Seg	563.50	564.60	571.50	569.85
0+85	CL Column	563.50	564.70	571.50	570.05
0+92	CL Wall Seg	563.50	564.80	571.50	570.25
0+99	CL Column	563.50	564.90	571.50	570.00
1+00	End of Wall	563.50	565.00	571.50	570.00

THIS DRAWING DOES NOT INDICATE AS-BUILT GRADES - REFER TO AS-BUILT SURVEY

**AS-BUILT DRAWING**  
TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)



**STROHMEYER**  
ARCHITECTS INC.

Consultants:

Nassif Engineering & Architecture, LLC



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TBAE Registration No. : BR400  
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**ORTHOPAEDIC  
SPECIALISTS  
OF  
DALLAS**  
ROCKWALL, TX 75032

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Sheet Title: **DETAILS  
CMU RESIDENTIAL SCREEN  
& RETAINING WALLS  
C-203**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

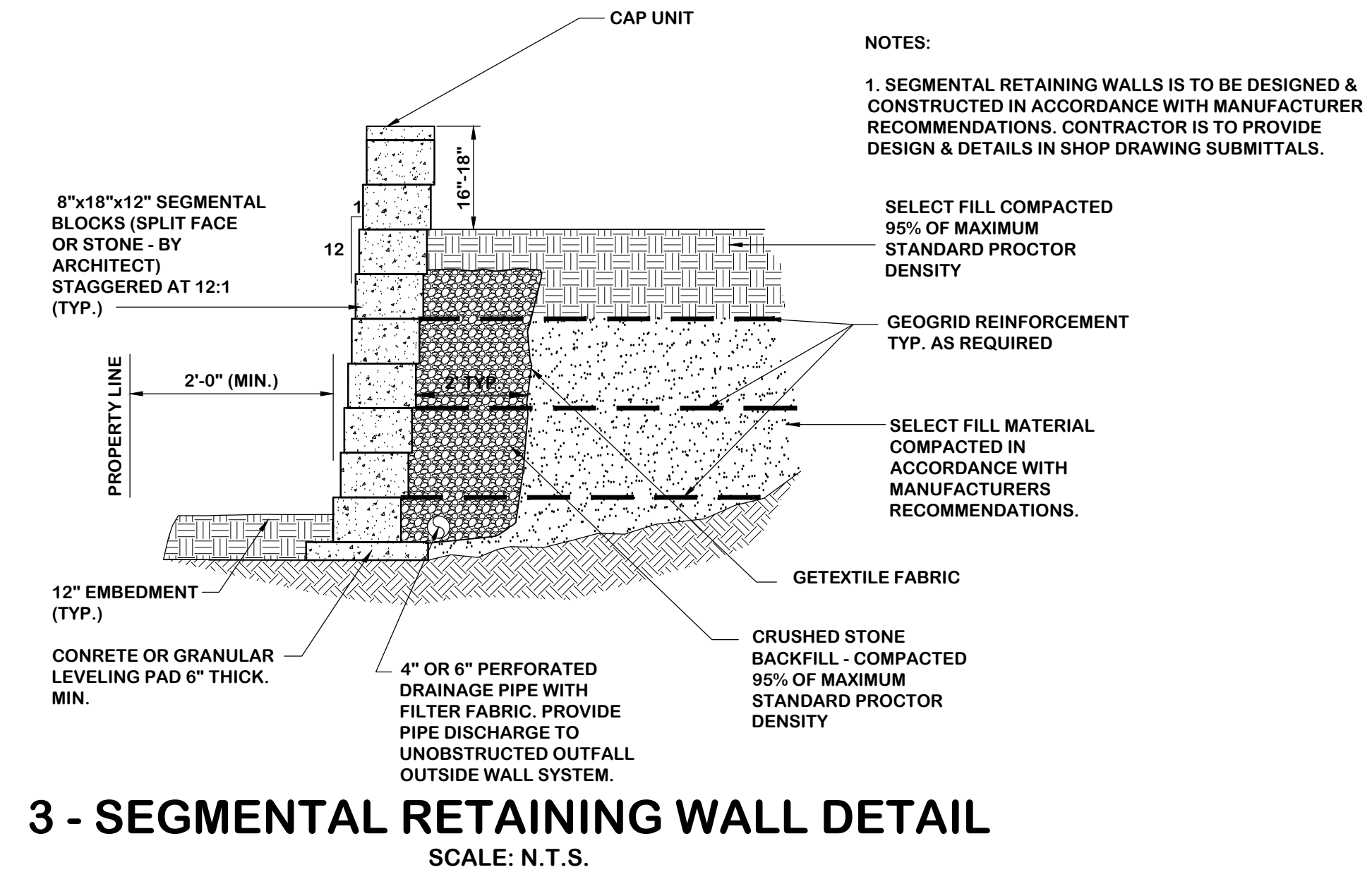
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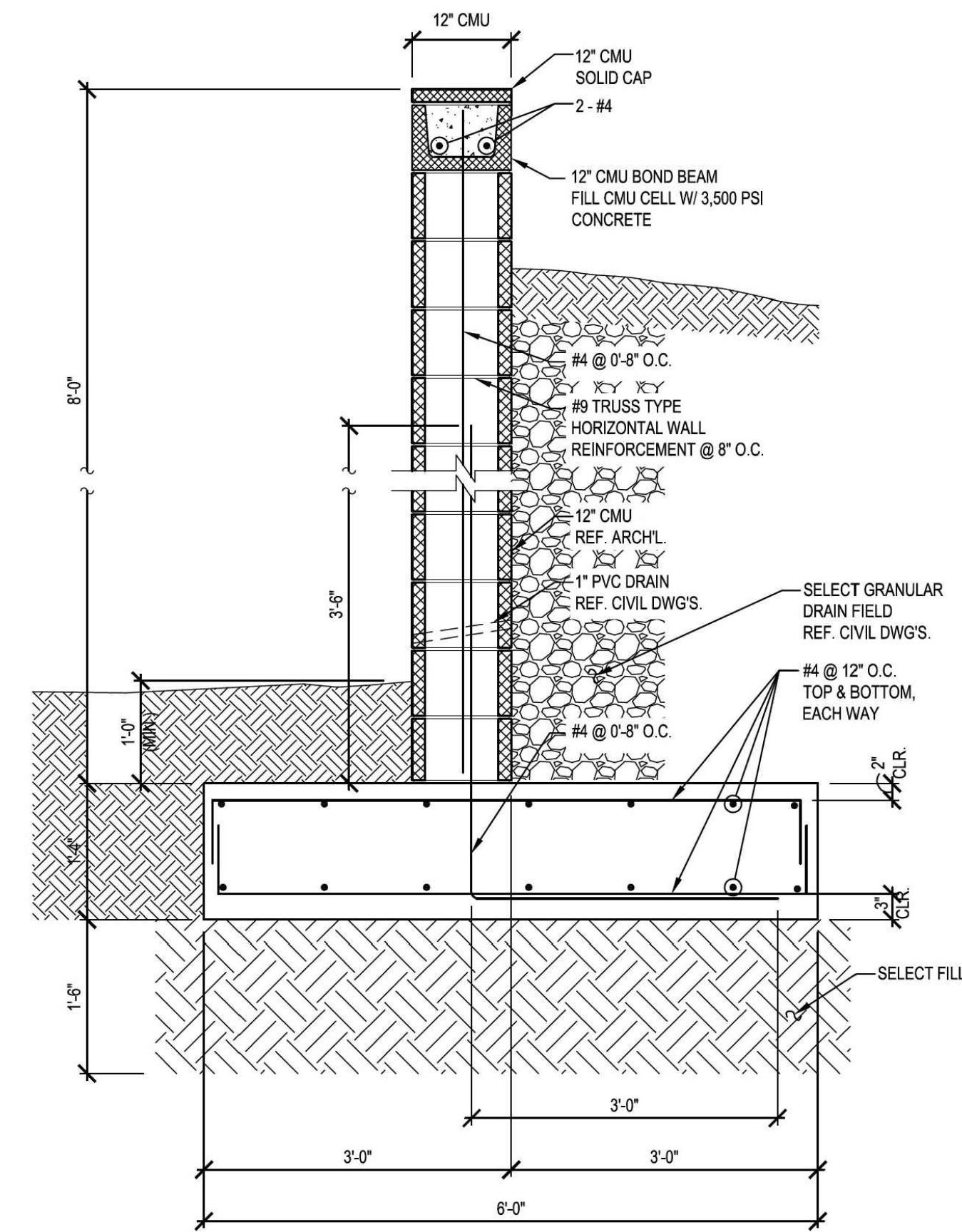
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CITY OF ROCKWALL BENCH MARKS

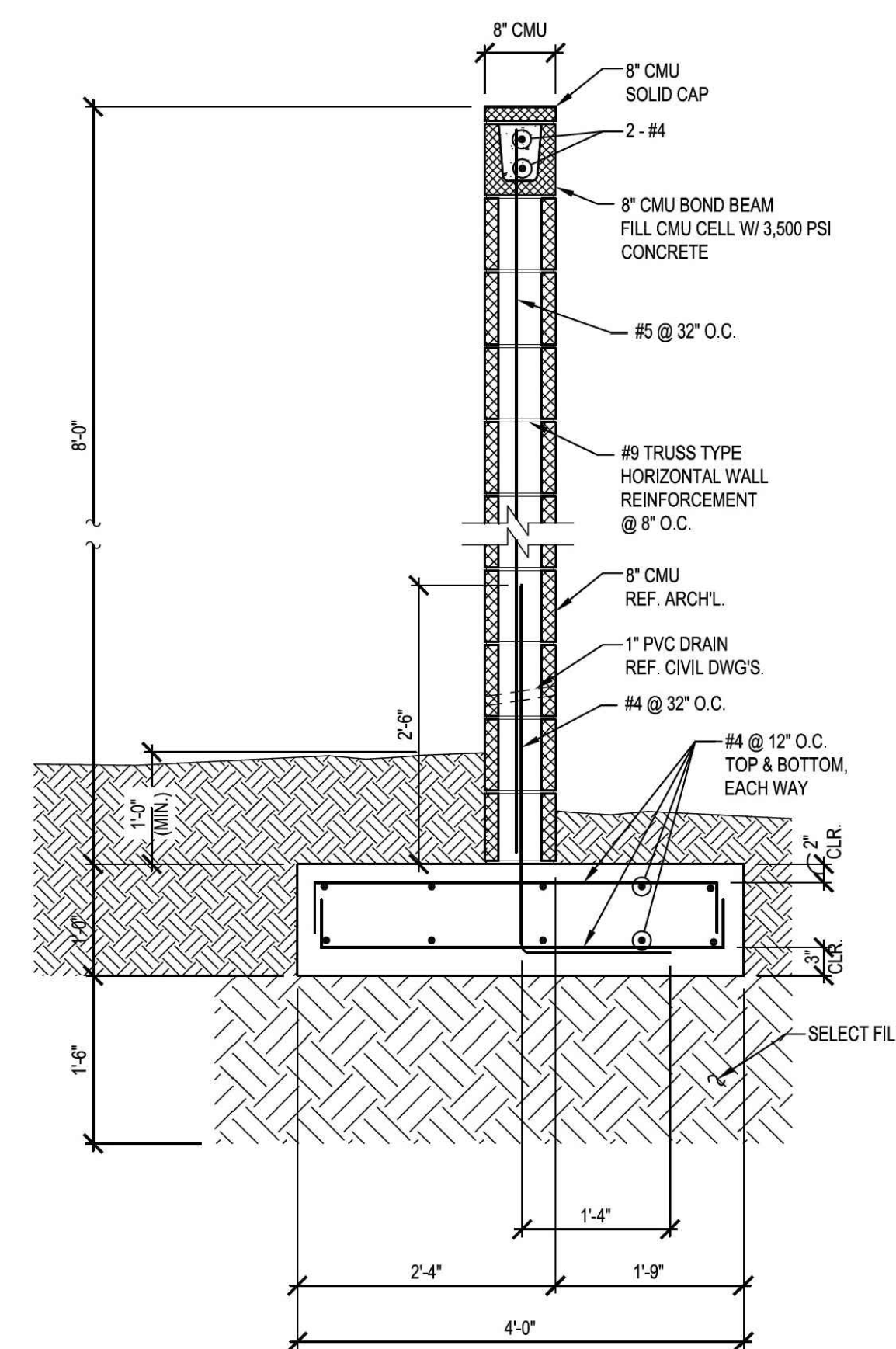
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 GPS CONTROL MONUMENT #R014, NAD83: NORTHING= 7007583.687 EASTING= 2589828.481 ELEVATION= 581.017



**3 - SEGMENTAL RETAINING WALL DETAIL**  
SCALE: N.T.S.



**1 - SECTION**  
**SPLIT FACE 12\"/>**



**2 - SECTION**  
**SPLIT FACE 8\"/>**

**AS-BUILT DRAWING**  
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Consultants:  
Nassif Engineering & Architecture, LLC



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**ORTHOPAEDIC SPECIALISTS OF DALLAS**  
ROCKWALL, TX 75032

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Sheet Title: **DETAILS CMU RESIDENTIAL SCREEN & RETAINING WALLS C-204**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

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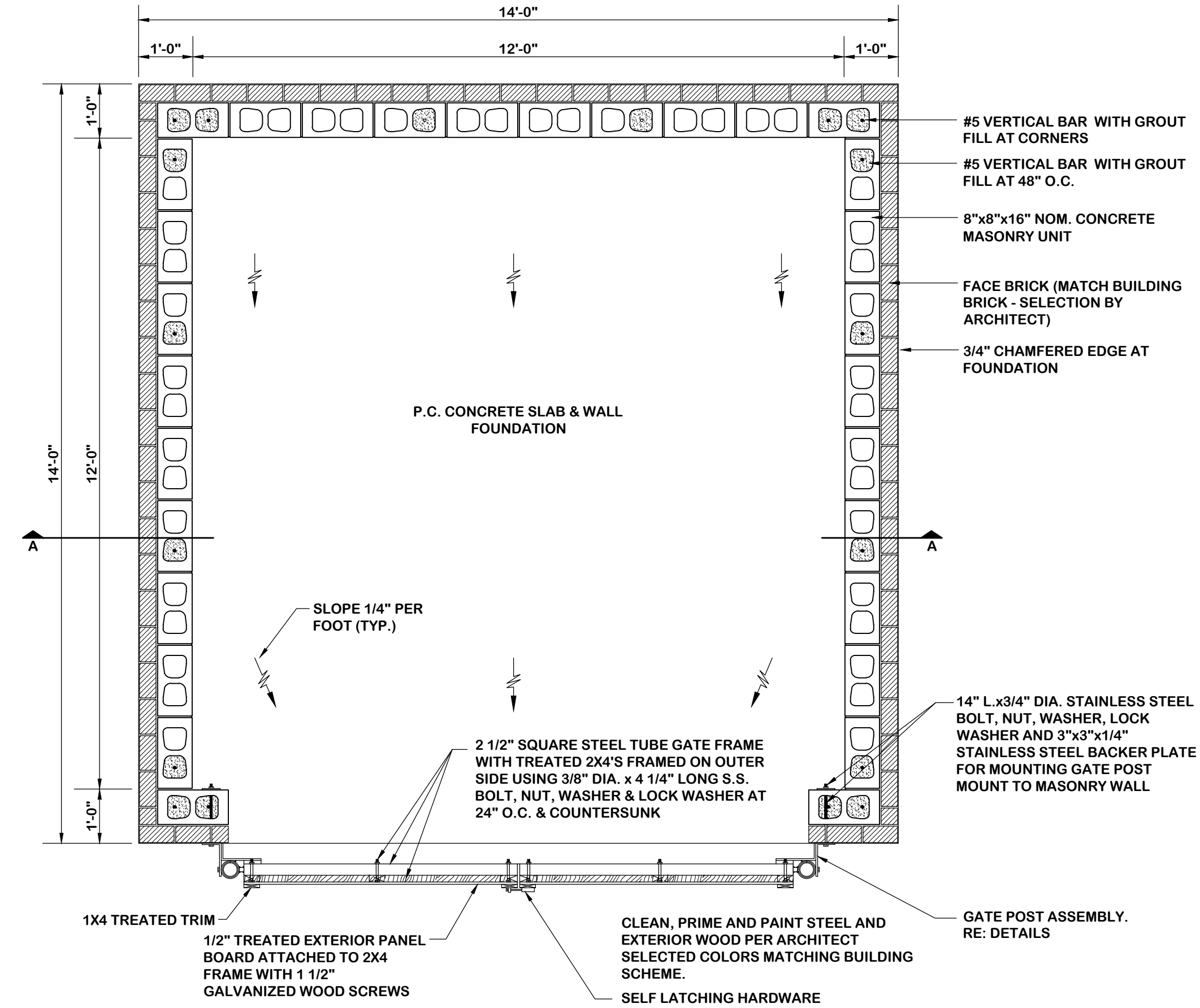
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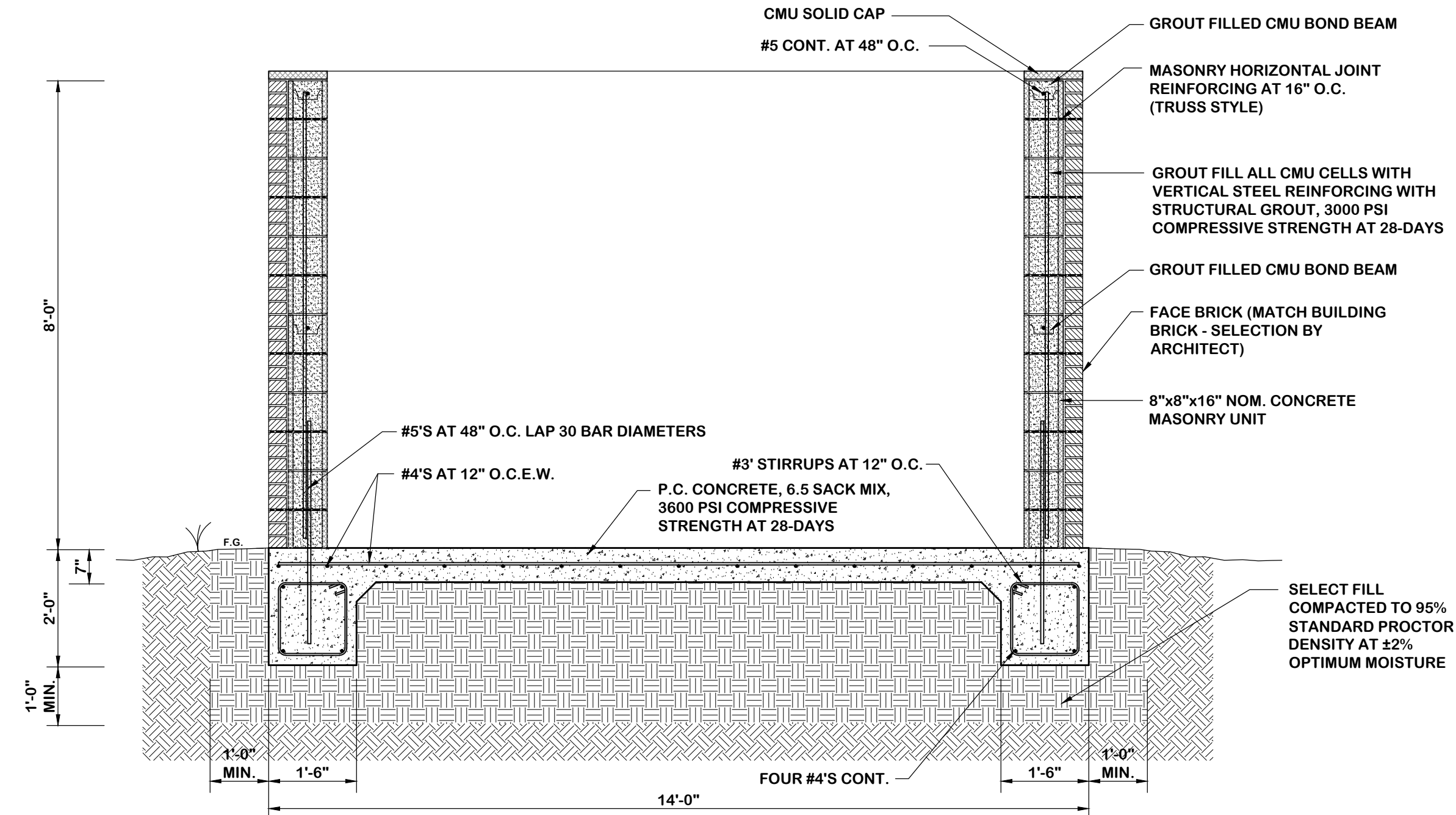
CITY OF ROCKWALL BENCH MARKS

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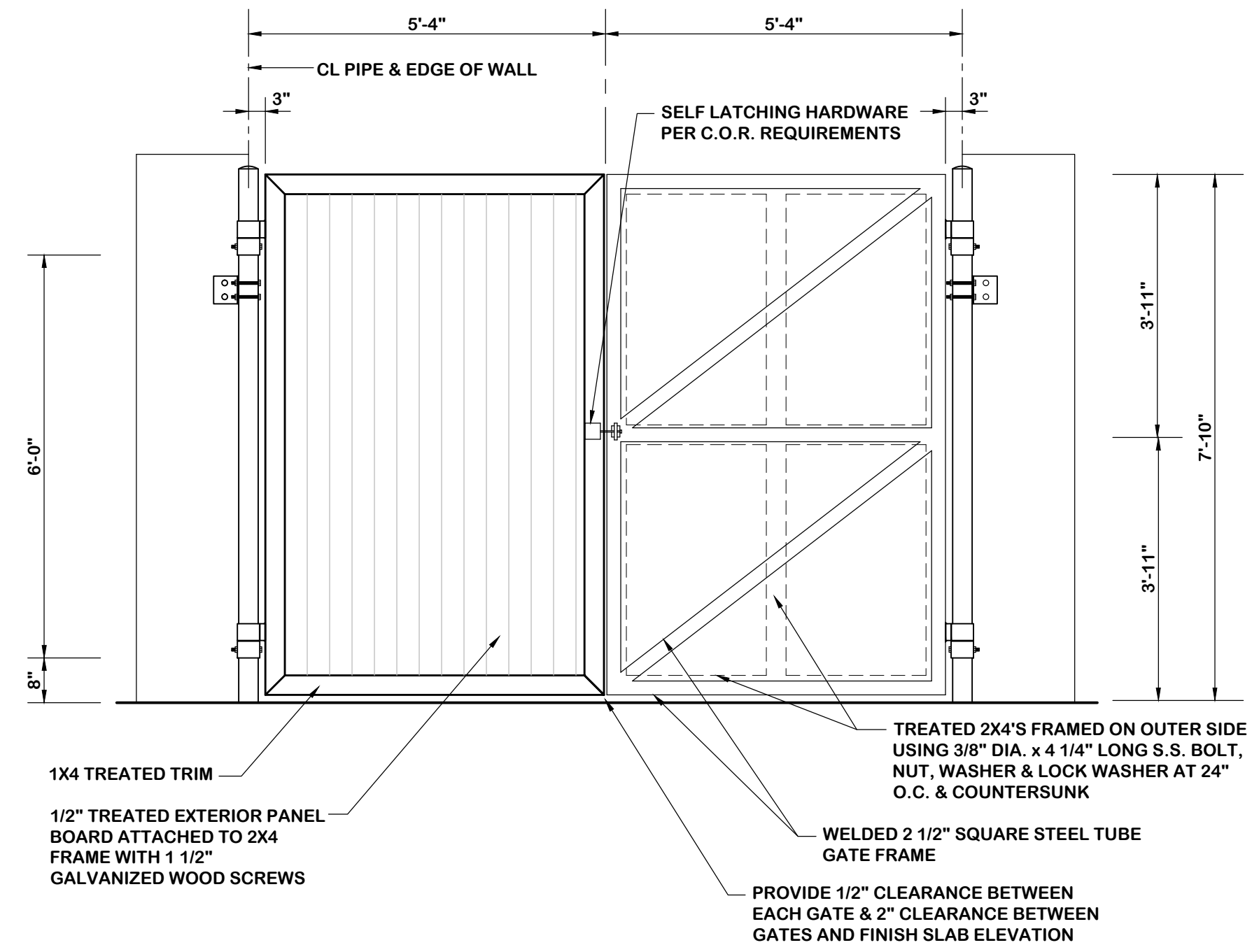
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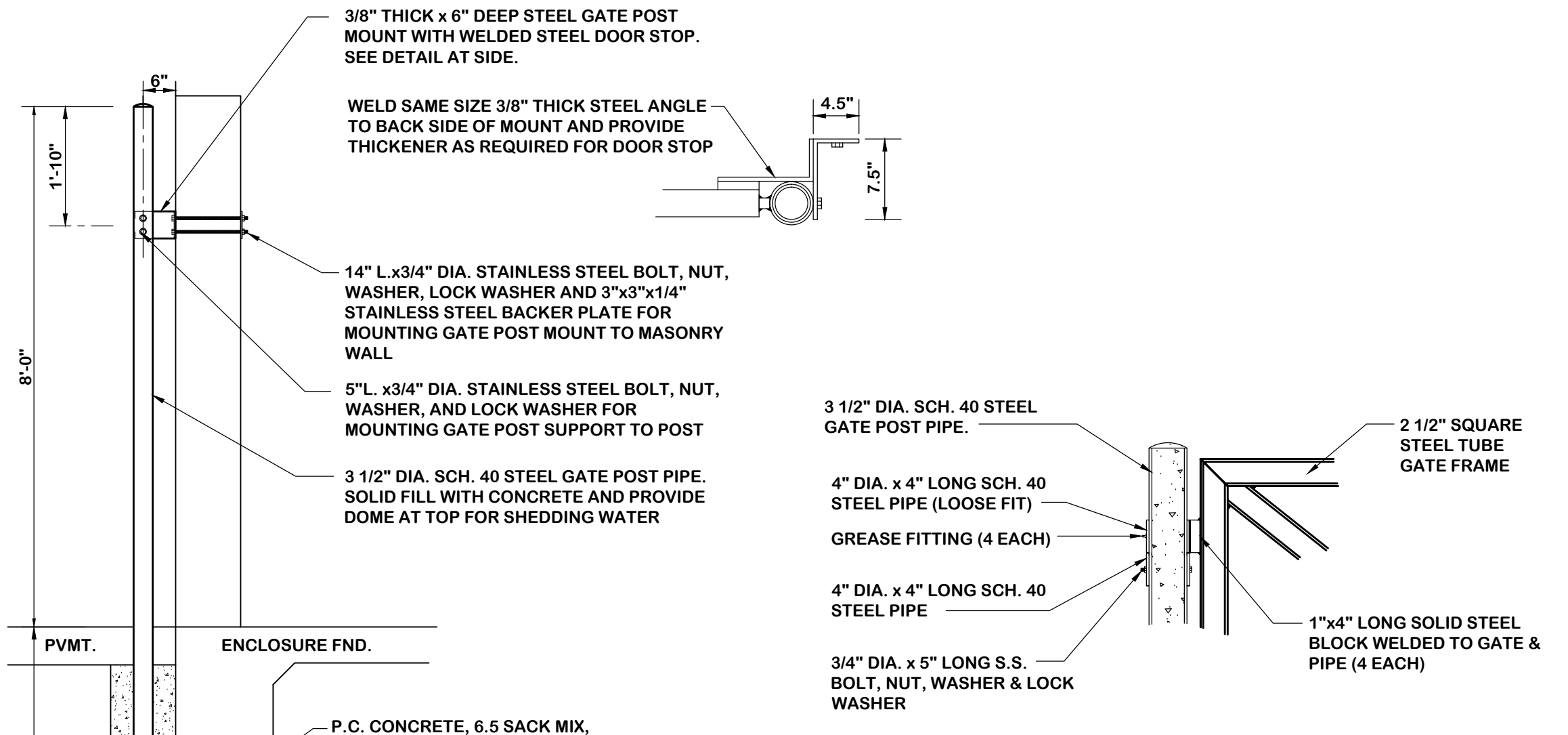
**1 - DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/2"= 1'-0"



**2 - DUMPSTER ENCLOSURE SECTION A-A**  
SCALE: 1/2"= 1'-0"

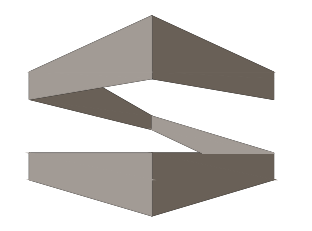


**3 - GATE ELEVATION**  
SCALE: 1/2"= 1'-0"



**4 - POST / GATE HINGE DETAIL**  
SCALE: N.T.S.

**AS-BUILT DRAWING**  
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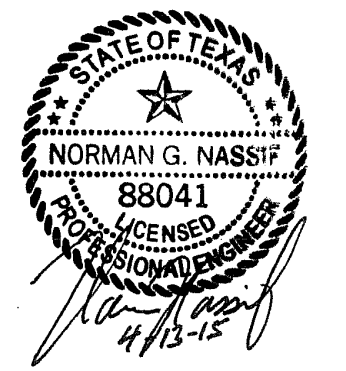


**STROHMEIER**  
ARCHITECTS INC.

Consultants:  
Nassif Engineering & Architecture, LLC



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**ORTHOPAEDIC SPECIALISTS OF DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
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Sheet Title:  
**DETAILS DUMPSTER ENCLOSURE C-205**

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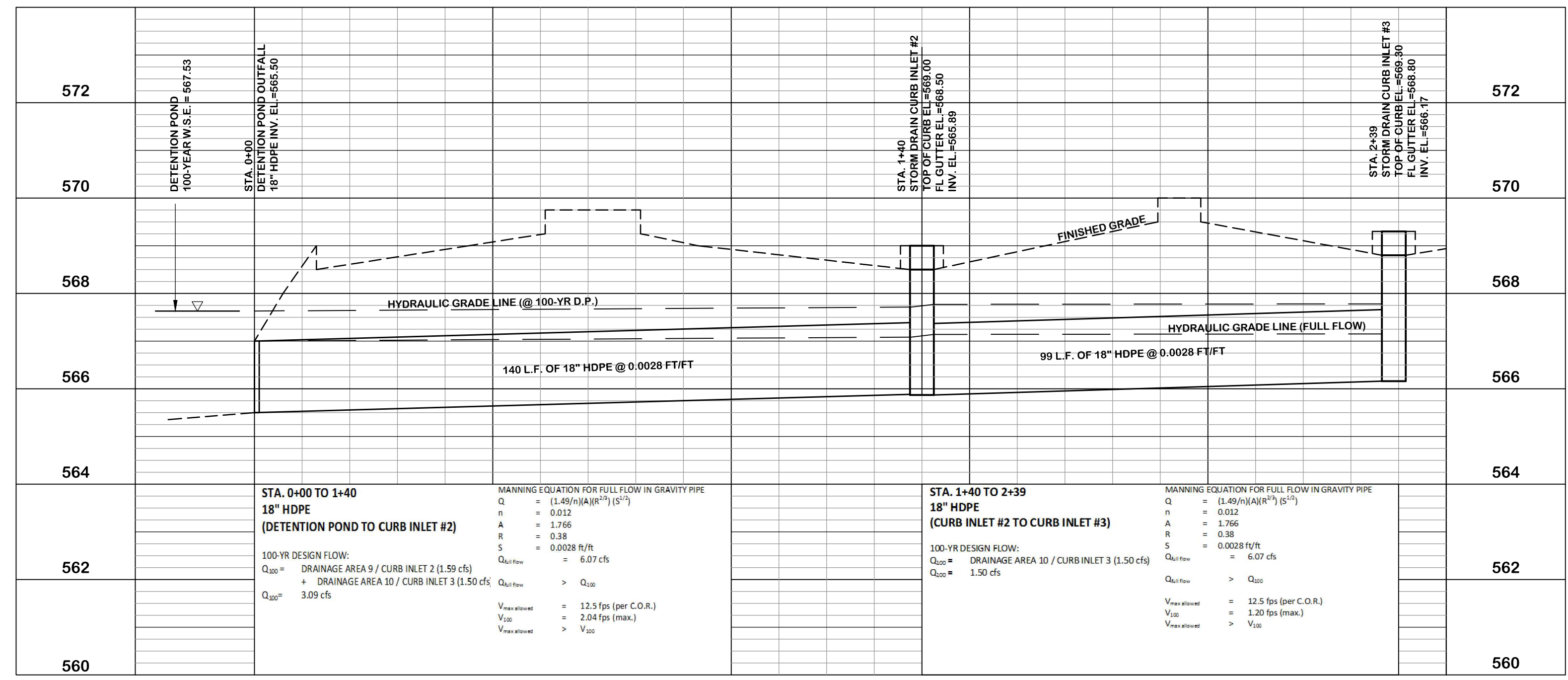
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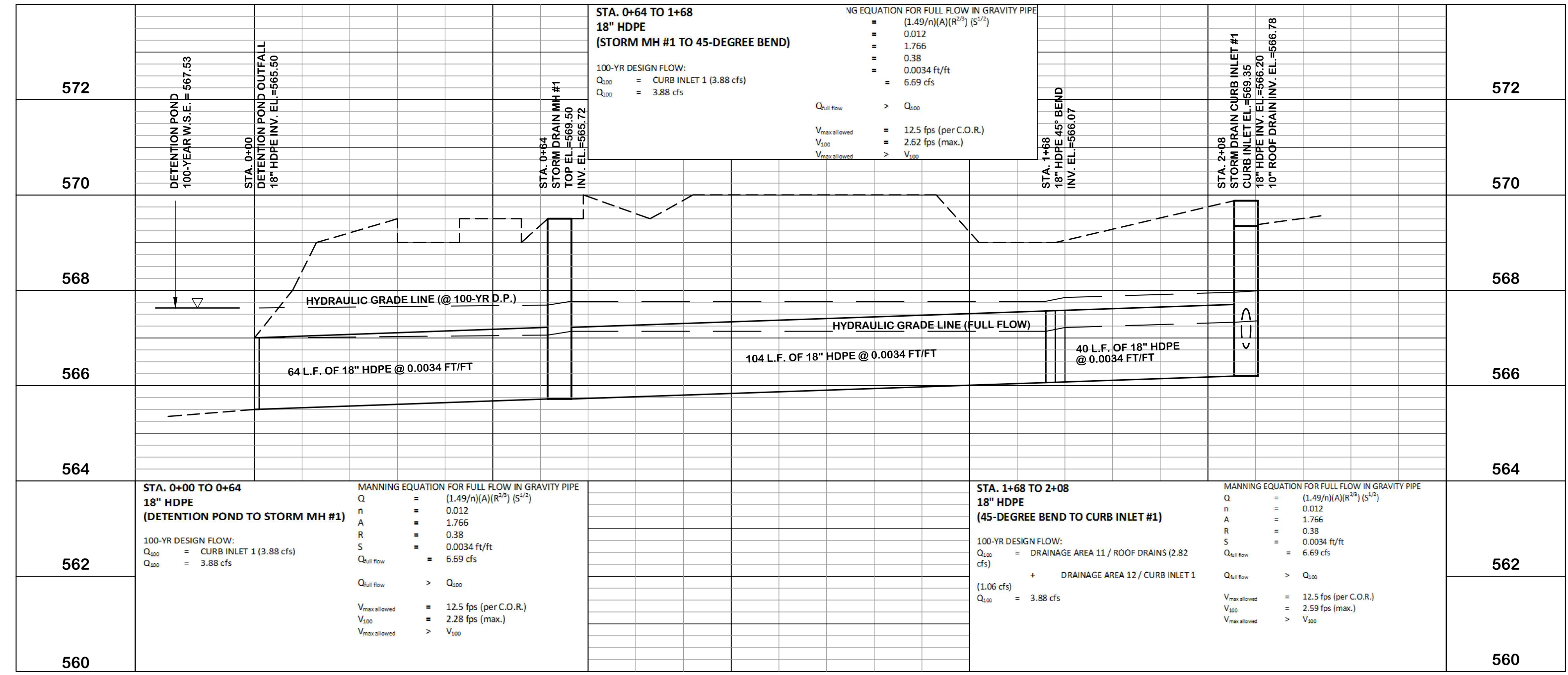
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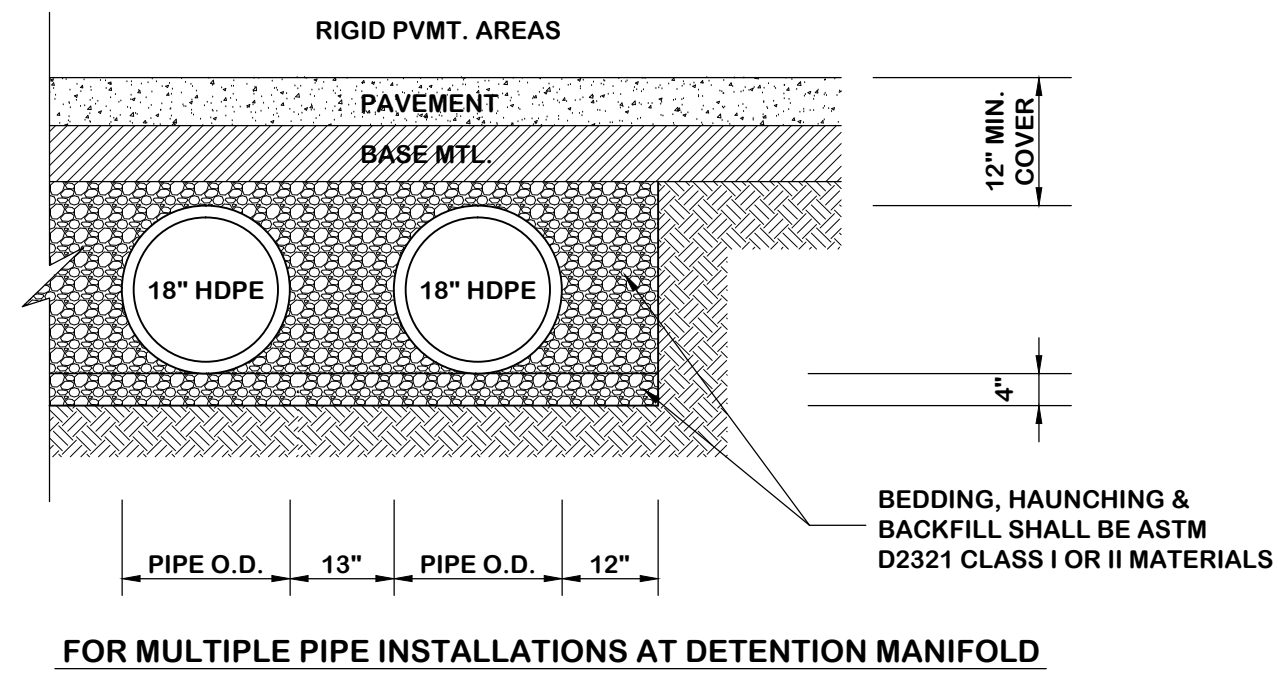


**1 - STORM DRAIN PIPE PROFILE (PIPE RUN A) - (PRIVATE)**  
**(DETENTION POND TO GRATED INLET #2)**  
 SCALE: HORZ: 1"= 20'  
 VERT: 1"= 2'

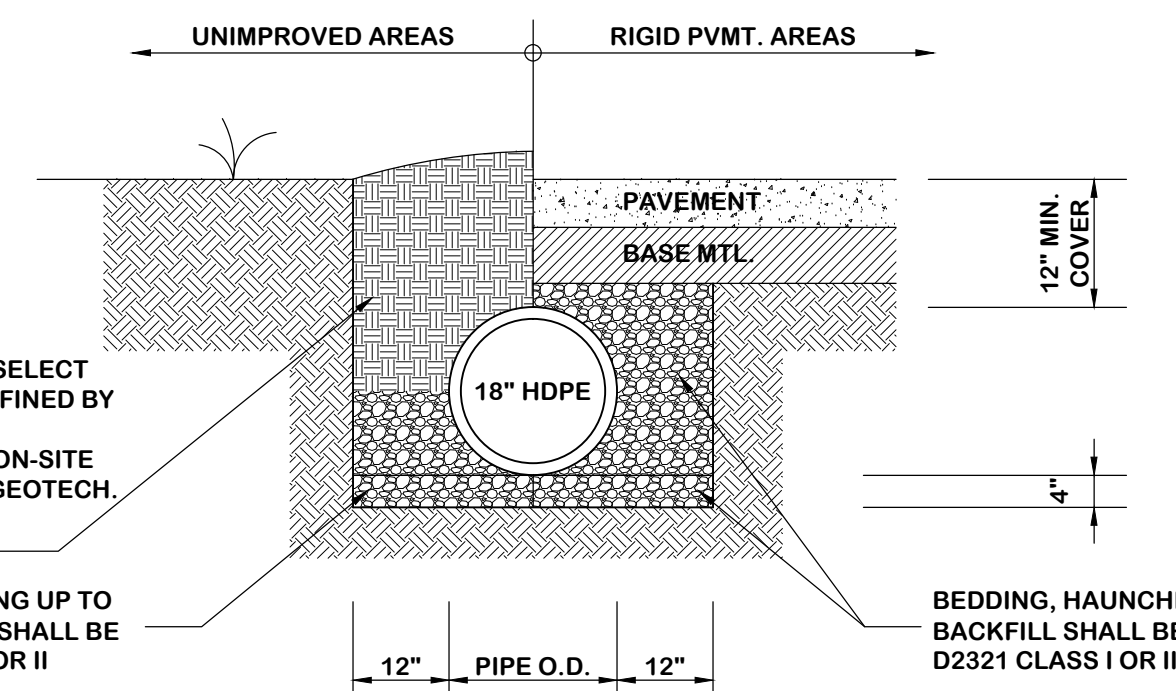


**2 - STORM DRAIN PIPE PROFILE (PIPE RUN B) - (PRIVATE)**  
**(DETENTION POND TO CURB INLET #1)**  
 SCALE: HORZ: 1"= 20'  
 VERT: 1"= 2'

- STORM DRAIN PIPE NOTES:**
1. HDPE PIPE SHALL BE ADS, INC. N-12 WT "WATER TIGHT FITTINGS" OR PRIOR APPROVED EQUAL.
  2. HDPE PIPE SHALL BE COMPACTED TO SPRING LINE OF PIPE IN 6" MAX. LOOSE LIFTS SEQUENTIALLY ON EACH SIDE OF PIPE TO INSURE OVAL DEFLECTION (ELLIPSING) DOES NOT OCCUR. AT ALL DEFORMED PIPE, BACKFILL AND DAMAGED PIPE SHALL BE REMOVED AND REPLACED.
  3. DEPENDING ON EXISTING SOILS AT HDPE PIPE INSTALLATIONS, A GEOTEXTILE FABRIC MAY BE REQUIRED TO PREVENT MIGRATION OF NATIVE SOIL FINES INTO BACKFILL MATERIALS.
  4. AT ALL UNSTABLE TRENCH BOTTOMS, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIALS AND REPLACE WITH SELECT FILL, COMPACTED TO 95% STANDARD PROCTOR DENSITY AT 2% OPTIMUM MOISTURE. THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL WITH PRIOR ENGINEER APPROVAL ONLY.



FOR MULTIPLE PIPE INSTALLATIONS AT DETENTION MANIFOLD



FOR SINGLE PIPE INSTALLATIONS

**3 - STORM DRAIN PIPE GENERAL NOTES & TRENCH DETAILS**  
 SCALE: 1/2"= 1'-0"

**AS-BUILT DRAWING**

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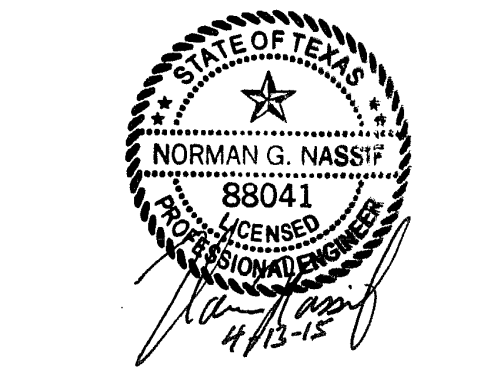
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Consultants:  
 Nassif Engineering & Architecture, LLC



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Sheet Title:  
**DETAILS STORM DRAINAGE C-206**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION

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CITY OF ROCKWALL BENCH MARKS

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ELEVATION= 581.017'

**LANDSCAPING GENERAL NOTES:**

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

**IMPERVIOUS AREA / LANDSCAPING CALCULATION:**

IMPERVIOUS AREA: 32,012 S.F.  
 REQUIREMENT: IF IMPERVIOUS AREA IS GREATER THAN 20,000 S.F., 1 TREE REQUIRED PER 10 PARKING SPACES  
 71 PARKING SPACES  
 7 TREES REQUIRED; 10 PROVIDED

**LEGEND**

- CANOPY TREE
- ORNAMENTAL TREE
- ⊗ SHRUB
- ⊙ GROUND COVER
- ⊕ PERENNIAL
- BG BERMUDA GRASS

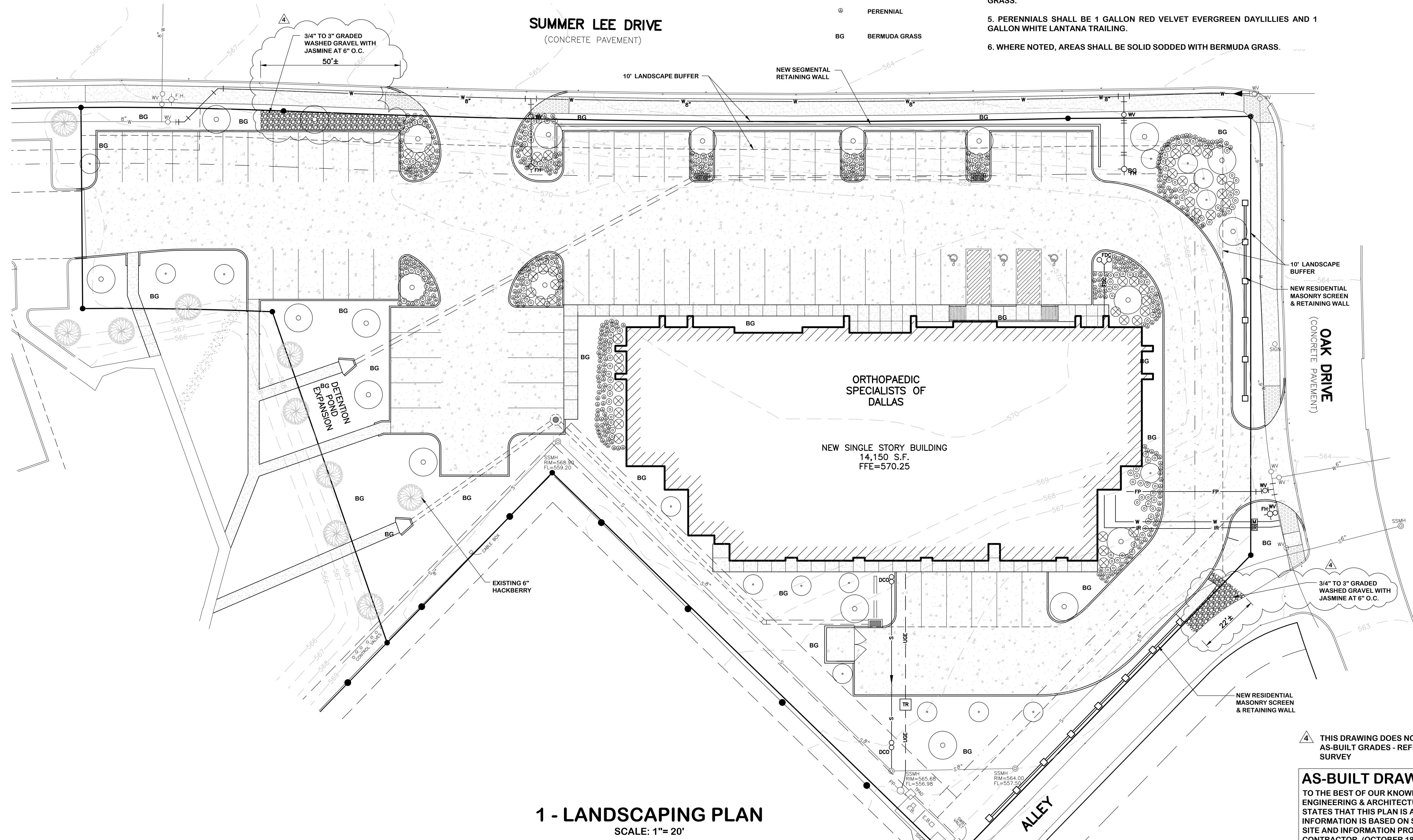
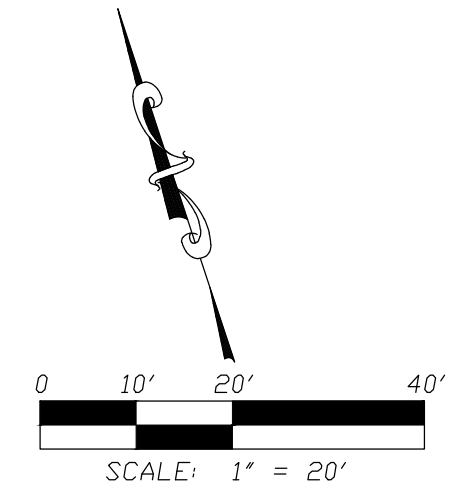
**LANDSCAPING GENERAL REQUIREMENTS AND SCHEDULE:**

ROCKWELL CODE OF ORDINANCES, ARTICLE VIII - LANDSCAPING STANDARDS  
 LAND DEVELOPMENT DISTRICT: PD-9

REQUIREMENT: 15% TOTAL SITE TO BE LANDSCAPED. SITE AREA = 70,132 S.F.;  
 LANDSCAPING AREA REQUIRED = 10,520 S.F.; LANDSCAPING AREA PROVIDED = 13,220 S.F.

**SITE LANDSCAPING REQUIREMENTS & SCHEDULE:**

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 3" CALIPER, 60 GALLON, 12'-14" HEIGHT.
2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10" HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUICHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



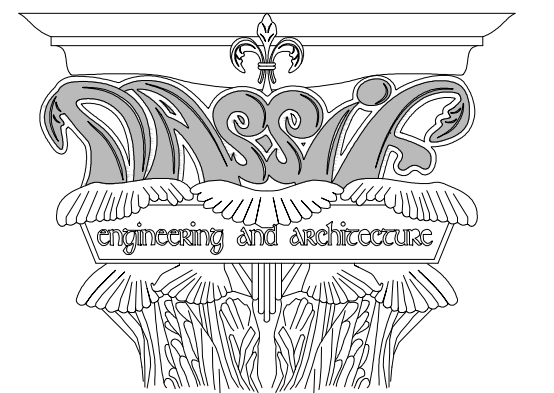
**1 - LANDSCAPING PLAN**  
 SCALE: 1"= 20'

**AS-BUILT DRAWING**  
 TO THE BEST OF OUR KNOWLEDGE, NASSIF ENGINEERING & ARCHITECTURE, LLC, HEREBY STATES THAT THIS PLAN IS AS-BUILT. THIS INFORMATION IS BASED ON SURVEYING AT THE SITE AND INFORMATION PROVIDED BY THE CONTRACTOR. (OCTOBER 18, 2016)



Consultants:

Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335  
 TBAE Registration No. : BR400

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**ORTHOPAEDIC SPECIALISTS OF DALLAS**

ROCKWALL, TX 75032

Project Number: 15-117  
 Drawing Date: 4/13/2015  
 Drawn:  
 Checked:  
 Scale: AS SHOWN  
 ACAD File:  
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- Revisions:
- 1 - 5/26/2015 - Revisions per City of Rockwall Review (4/20/2015)
  - 2 - 6/18/2015 - Revisions per City of Rockwall Review (6/10/2015)
  - 3 - 7/1/2015 - Revisions per City of Rockwall Review (6/30/2015)
  - 4 - 10/18/2016 - As-Built

Sheet Title:  
**LANDSCAPING PLAN**  
**LS-101**

C.O.R. CASE # SP2015-003 - TRACT 2, BLOCK A, LOT 2, PARCEL 4763-000A-002-00-0R, RIDGE / SUMMER LEE ADDITION