

CONSTRUCTION PLANS

FOR

OFFICE PARK ON TOWNSEND DRIVE

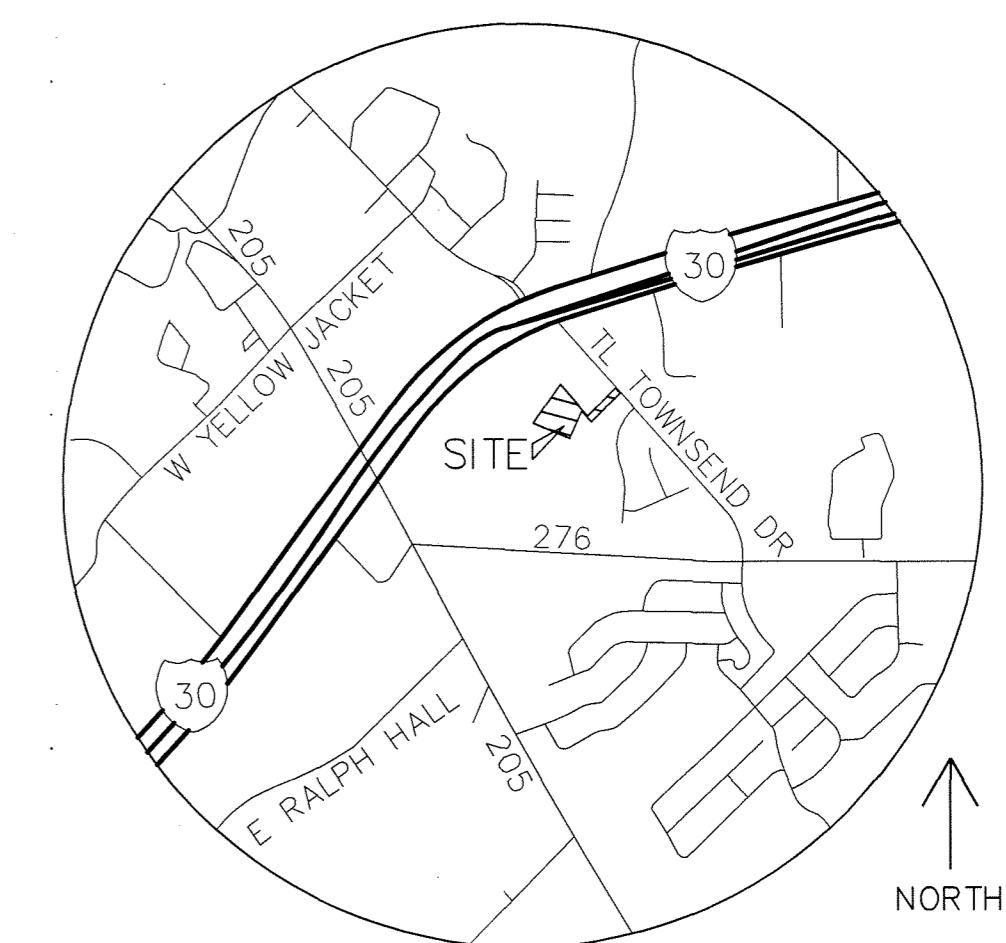
AN ADDITION TO
CITY OF ROCKWALL, TEXAS

Lot 3, Block A,
Platinum Storage Addition
1450 and 1460 S. TL
Townsend Drive

PLAN DRAWING INDEX

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REVISIONS		
REV. NO.	DATE	DESCRIPTION

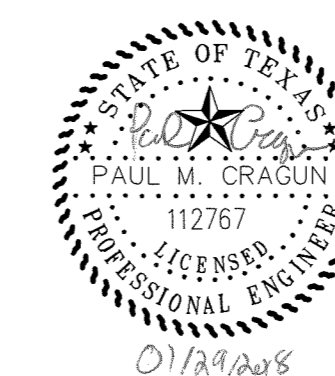


VICINITY MAP
NTS

ENGINEER:
CUMULUS DESIGN, INC.
P.O. BOX 2119
EULESS, TEXAS 76039
PH: 214-235-0367
Contact: PAUL CRAGUN
Email: PAUL@CUMULUSDESIGN.NET

OWNER:
RON VALK
1834 S FM 551
FATE, TX 75189
Phone: 469-250-1992
Email: Ron@ronvalk.com

PROBABLE START OF CONSTRUCTION:
October 2016



AS-BUILT

NOTE: THESE AS BUILT PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR AND A POST CONSTRUCTION SURVEY.

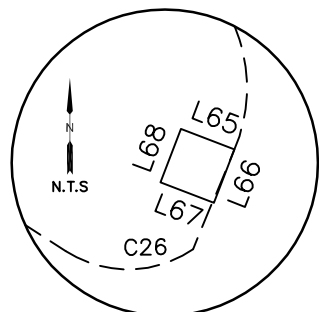
OFFICE PARK ON TOWNSEND DRIVE - PLATINUM STORAGE ADDITION

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	28.23'	29.28'	27.98'	N 28°59'51" W	59°25'34"
C2	38.53'	55.70'	50.97'	S 83°09'09" W	82°50'10"
C3	63.00'	90.07'	82.59'	S 82°57'23" W	81°54'59"
C4	63.00'	98.96'	89.10'	N 11°05'08" W	90°00'00"
C5	63.00'	98.96'	89.10'	N 78°54'52" E	90°00'00"
C6	63.00'	98.96'	89.10'	S 11°05'08" E	90°00'00"
C7	39.00'	61.26'	55.15'	S 11°05'08" E	90°00'00"
C8	43.76'	43.54'	41.76'	S 88°47'50" E	57°00'23"
C9	42.00'	28.10'	27.58'	N 41°47'55" E	38°20'02"
C10	42.00'	47.88'	45.33'	N 10°01'34" W	65°19'12"
C11	24.50'	36.57'	24.05'	N 20°57'52" E	38°23'16"
C12	42.00'	56.44'	52.29'	S 04°11'24" E	76°59'33"
C13	66.00'	75.24'	71.23'	S 10°01'34" E	65°19'12"
C14	66.00'	44.16'	43.34'	S 41°47'55" W	38°20'02"
C15	39.45'	44.49'	42.17'	S 28°27'56" W	64°36'51"
C16	39.00'	61.26'	55.15'	N 78°54'52" E	90°00'00"
C17	39.00'	61.26'	55.15'	S 11°05'08" E	90°00'00"
C18	39.00'	61.26'	55.15'	S 78°54'52" W	90°00'00"
C19	39.00'	61.26'	55.15'	N 11°05'08" W	90°00'00"
C20	50.00'	44.87'	43.38'	S 37°53'31" W	51°25'10"
C21	54.00'	29.04'	28.69'	S 48°11'38" W	30°48'56"
C22	54.00'	84.82'	76.37'	S 12°12'50" E	90°00'00"
C23	30.00'	21.75'	21.28'	S 36°26'36" E	41°32'27"
C24	30.00'	54.14'	47.09'	N 84°29'09" E	103°23'58"
C25	30.00'	47.12'	42.43'	N 12°12'50" W	90°00'00"
C26	30.00'	35.29'	33.29'	S 89°05'19" W	67°23'42"

LINE	BEARING	DISTANCE
L1	N 89°02'16" W	30.00'
L2	N 55°37'29" W	29.67'
L3	N 60°58'01" E	57.83'
L4	N 34°18'22" E	33.88'
L5	S 42°48'50" E	24.62'
L6	S 34°18'22" W	28.40'
L7	S 60°57'56" W	46.99'
L8	S 55°07'28" E	13.29'
L9	N 89°02'16" W	15.00'
L10	N 00°57'44" E	18.20'
L11	N 87°46'59" W	151.03'
L12	N 57°46'59" W	133.91'
L13	S 32°13'01" W	14.11'
L14	N 57°46'59" W	15.00'
L15	N 32°13'01" E	14.11'
L16	N 57°46'59" W	13.86'
L17	N 32°13'01" E	237.42'
L18	N 77°13'01" E	14.97'
L19	N 12°46'59" W	19.33'
L20	N 77°13'01" E	15.00'
L21	S 12°46'59" E	19.33'
L22	N 77°13'01" E	30.54'
L23	S 57°46'59" E	119.54'

LINE	BEARING	DISTANCE
L24	S 12°46'59" E	51.82'
L25	S 32°13'01" W	130.98'
L26	S 56°05'08" E	21.42'
L27	N 33°54'52" E	7.69'
L28	S 56°05'08" E	15.00'
L29	S 33°54'52" W	7.69'
L30	S 56°05'08" E	54.90'
L31	S 00°57'44" W	49.30'
L32	S 22°36'40" W	42.22'
L33	S 06°44'29" E	37.61'
L34	S 89°02'16" E	15.14'
L35	N 06°44'29" W	39.51'
L36	N 22°36'40" E	18.36'
L37	N 87°46'59" W	146.68'
L38	N 57°46'59" W	143.75'
L39	N 32°13'01" E	216.21'
L40	N 77°13'01" E	48.08'
L41	S 57°46'59" E	107.11'
L42	S 12°46'59" E	39.39'
L43	S 32°13'01" W	139.32'
L44	S 56°05'08" E	97.73'
L45	S 00°57'44" W	7.95'

LINE	BEARING	DISTANCE
L46	N 85°04'44" W	22.58'
L47	S 72°25'16" W	22.50'
L48	S 27°25'16" W	106.19'
L49	S 17°34'44" E	37.94'
L50	S 58°54'41" E	136.35'
L51	S 47°39'41" E	73.63'
L52	S 25°09'41" E	40.33'
L53	S 70°09'41" E	5.31'
L54	N 25°09'41" W	37.11'
L55	N 47°39'41" W	78.09'
L56	N 58°54'41" W	132.17'
L57	N 17°34'44" W	26.07'
L58	N 27°25'16" E	93.76'
L59	N 72°25'16" E	13.30'
L60	S 85°04'44" W	5.83'
L61	S 04°55'16" W	3.32'
L62	S 85°04'44" E	15.00'
L63	N 04°55'16" E	3.32'
L64	S 85°04'44" E	9.72'

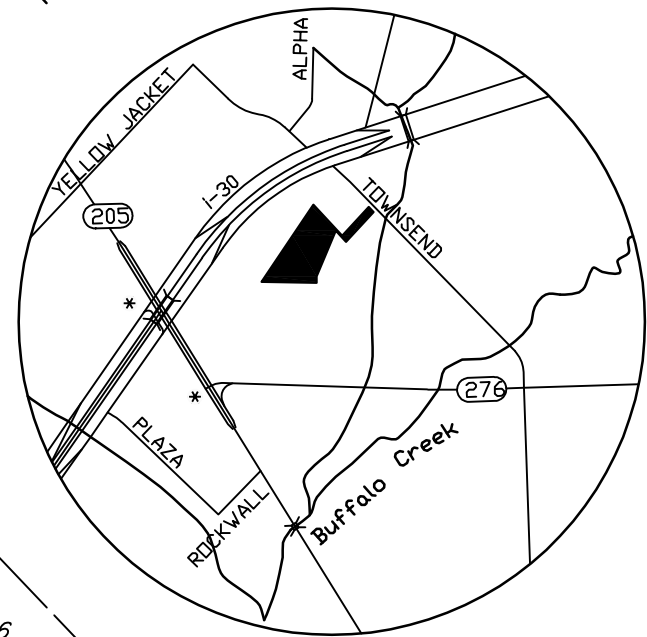
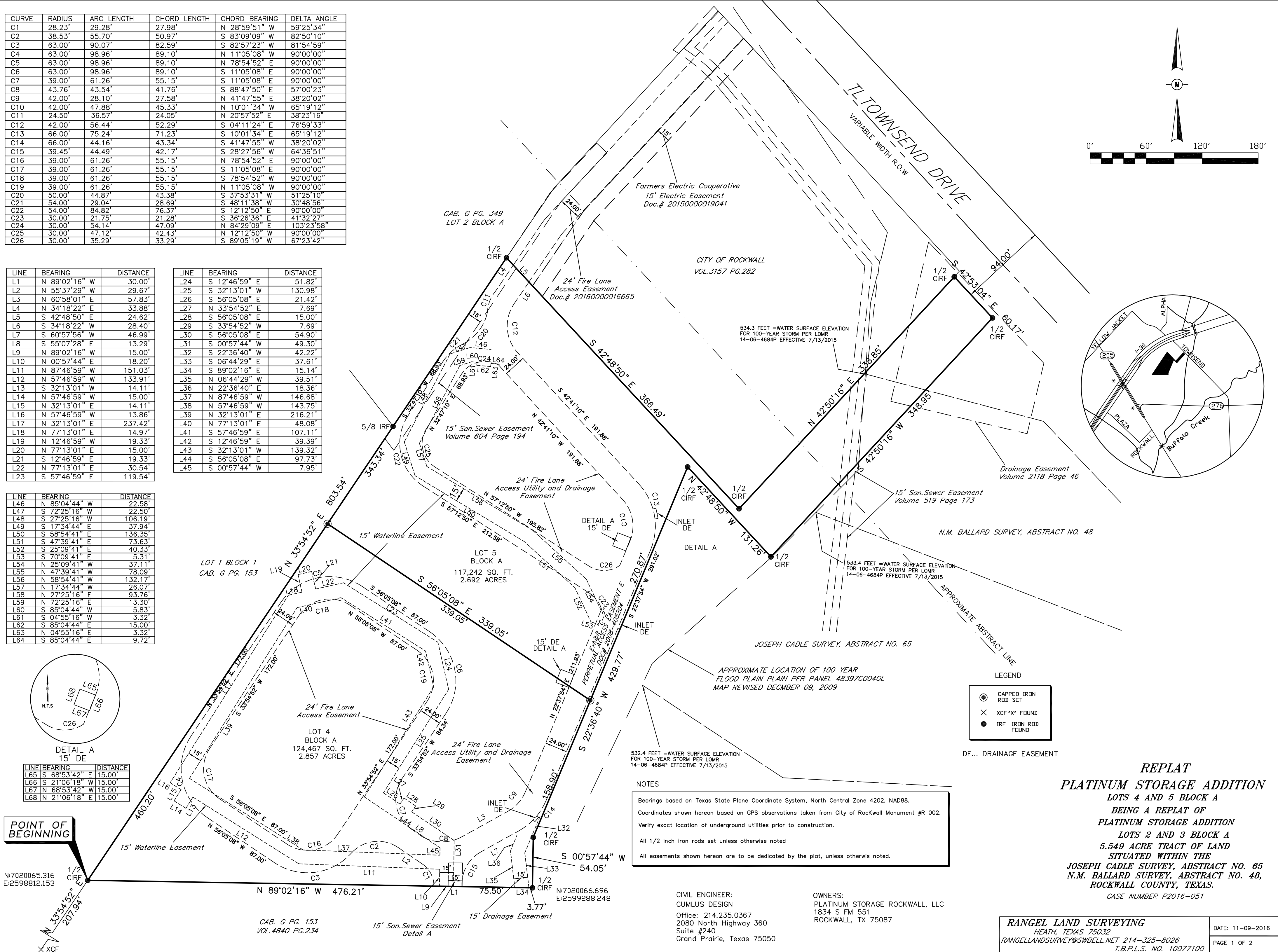


LINE	BEARING	DISTANCE
L65	S 68°53'42" E	15.00'
L66	S 21°06'18" W	15.00'
L67	N 68°53'42" W	15.00'
L68	N 21°06'18" E	15.00'

POINT OF BEGINNING

N:7020065.316
E:2598812.153

CAB. G PG. 153
VOL. 4840 PG. 234



- LEGEND
- CAPPED IRON ROD SET
 - × XCF "X" FOUND
 - IRF IRON ROD FOUND
 - DE... DRAINAGE EASEMENT

NOTES

Bearings based on Texas State Plane Coordinate System, North Central Zone 4202, NAD88.
Coordinates shown hereon based on GPS observations taken from City of Rockwall Monument #R 002.
Verify exact location of underground utilities prior to construction.

All 1/2 inch iron rods set unless otherwise noted

All easements shown hereon are to be dedicated by the plat, unless otherwise noted.

CIVIL ENGINEER:
CUMULS DESIGN
Office: 214.235.0367
2080 North Highway 360
Suite #240
Grand Prairie, Texas 75050

OWNERS:
PLATINUM STORAGE ROCKWALL, LLC
1834 S FM 551
ROCKWALL, TX 75087

RANGEL LAND SURVEYING
HEATH, TEXAS 75032
RANGELANDSURVEY@SWBELL.NET 214-325-8026
T.B.P.L.S. NO. 10077100

DATE: 11-09-2016
PAGE 1 OF 2

REPLAT
PLATINUM STORAGE ADDITION
LOTS 4 AND 5 BLOCK A
BEING A REPLAT OF
PLATINUM STORAGE ADDITION
LOTS 2 AND 3 BLOCK A
5.549 ACRE TRACT OF LAND
SITUATED WITHIN THE
JOSEPH CADLE SURVEY, ABSTRACT NO. 65
N.M. BALLARD SURVEY, ABSTRACT NO. 48,
ROCKWALL COUNTY, TEXAS.
CASE NUMBER P2016-051

STATE OF TEXAS:
COUNTY OF ROCKWALL:

WHEREAS PLATINUM STORAGE ROCKWALL, LLC. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Being a 5.549 acre of land situated in the JOSEPH CADLE SURVEY, ABSTRACT NO. 65 and the N.M. BALLARD SURVEY, ABSTRACT NO. 48, in the City of Rockwall, Rockwall County, Texas and being a portion of a 65.96 acre tract of land recorded in Volume 4663, Page 281 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:

Point of Beginning at a 5/8 inch iron rod found for the northerly northwest corner of Lot 1,Block 1 of Rockwall Centre Corners Addition according to the plat recorded in Cabinet G, Slide 299 of the Plat Records of Rockwall County, Texas and being located in the southeasterly line of Lot1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 of the Plat Records of Rockwall County, Texas, from which a found score X bears S 33°54' 52" W a distance of 207.94 feet;

THENCE N 33°54'52" E with said southeasterly line and passing a 5/8 inch iron at 585.86 feet and continuing a total distance of 803.54 feet to a set 1/2 iron rod with cap in the west line of City of Rockwall tract according to deed recorded in Volume 3157, Page 282 of the Official Public Records of Rockwall County, Texas;

THENCE S 42°48'50" E with said tract, a distance of 366.49 feet to a set 1/2 iron rod with cap from which a iron rod bears S 59°51'53" E, a distance of 3.02 feet;

THENCE N 42°50'16" E, a distance of 338.85 feet to a set 1/2 iron rod with cap from which a iron rod bears N 58°19 '35" E, a distance of 8.64 feet found in the south line of Townsend Road a variable width right of way;

THENCE S 42°53'04" E, a distance of 60.17 feet to a set 1/2 iron rod with cap;

THENCE S 42°50'16" W, a distance of 348.95 feet a set 1/2 iron rod with cap;

THENCE N 42°48'50" W, a distance of 131.26 feet a set 1/2 iron rod with cap;

THENCE S 22°36'40" W, a distance of 429.77 feet a set 1/2 iron rod with cap;

THENCE S 00°57'44" W, a distance of 54.05 feet a set 1/2 iron rod with cap in the north line of the aforementioned Lot 1 Block 1from which a 5/8 inch iron found for corner bears S 88°50'40E, a distance of 139.33 feet;

THENCE N 89°02'16" W, a distance of 476.21 feet to the POINT OF BEGINNING containing 241,709 square feet or 5.549 acres.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as the Platinum Storage Addition subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the Platinum Storage Addition subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Development Process Guidelines (Updates 2012) Page 99 of 154 Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

REPRESENTATIVE _____

OWNERS:
PLATINUM STORAGE ROCKWALL, LLC
1834 S FM 551
ROCKWALL, TX 75087

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____

Notary Public in and for the State of Texas

My Commission Expires:

Signature of Party with Mortgage or Lien Interest

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, RUDY RANGEL, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

RUDY RANGEL
REGISTERED PUBLIC SURVEYOR NO.5664

DATE: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared

_____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____

Notary Public in and for the State of Texas

My Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20____. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____

Mayor

City of Rockwall City Secretary

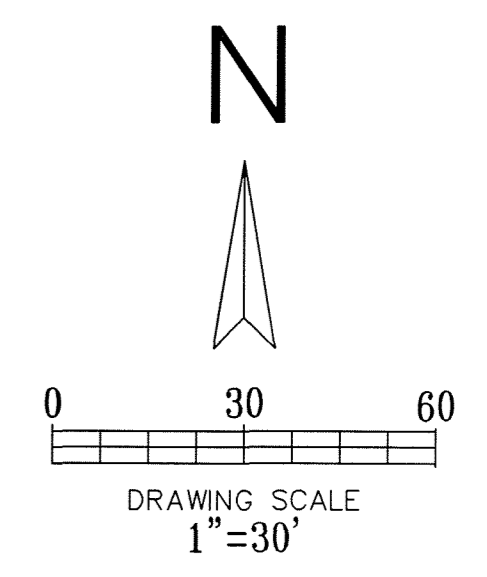
City Engineer

REPLAT
PLATINUM STORAGE ADDITION
LOTS 4 AND 5 BLOCK A
BEING A REPLAT OF
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LOTS 2 AND 3 BLOCK A
5.549 ACRE TRACT OF LAND
SITUATED WITHIN THE
JOSEPH CADLE SURVEY, ABSTRACT NO. 65
N.M. BALLARD SURVEY, ABSTRACT NO. 48,
ROCKWALL COUNTY, TEXAS.
CASE NUMBER P2016-051

THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 01/29/18.

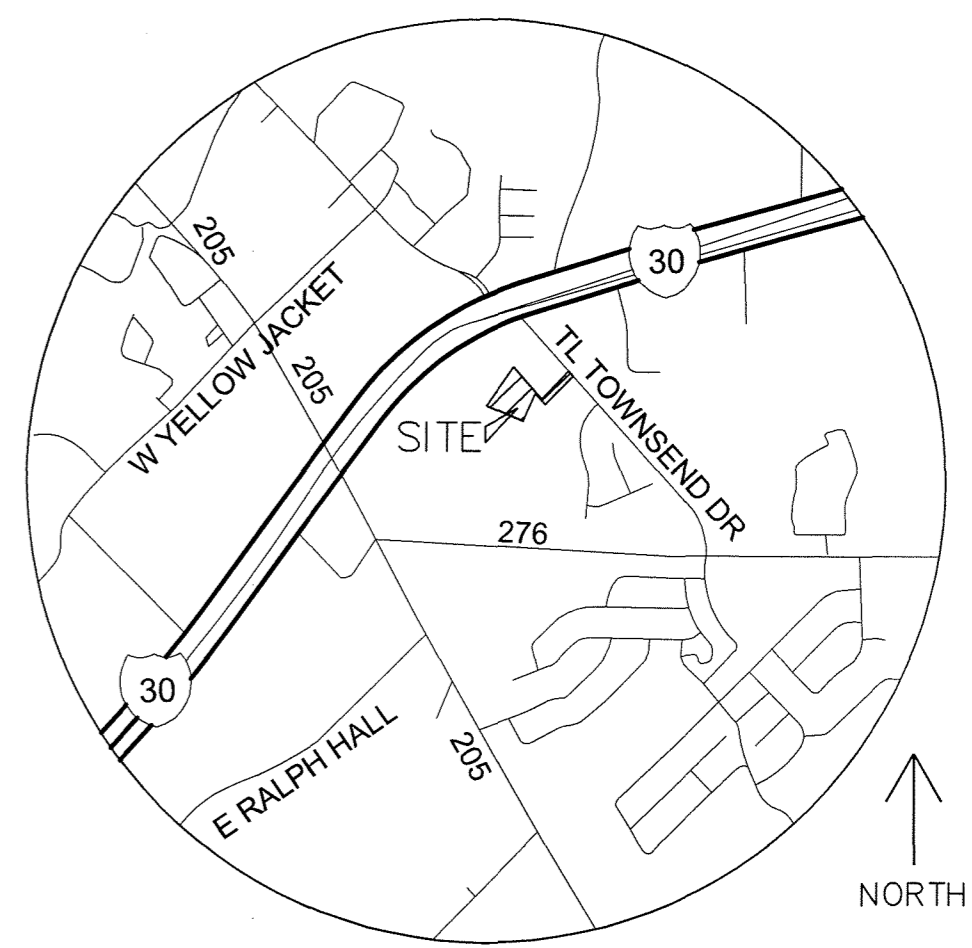
SITE PLAN
 OFFICE PARK ON TOWNSEND DRIVE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PLOT DATE	01/29/18
DRAWING SCALE	1" = 30'
PROJECT NUMBER	CD15034
SHEET NUMBER	SP



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PROPOSED BARRIER FREE RAMP
 - PARKING SPACES IN A ROW
 - PROPOSED LANDSCAPING
 - 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX)
 - 6"-8" PROPOSED PAVEMENT 4,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX) FIRELANES SHALL BE A MINIMUM OF 7" THICK.
 - 7" 3600 MINIMUM PSI REINFORCED CONCRETE ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 6.5 SACK MIX) (PROPOSED FIRE LANE)

- SITE NOTES:**
- THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 - THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 - DETENTION HAS BEEN PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
 - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 - THE MECHANICAL EQUIPMENT SHALL BE ROOF OR GROUND MOUNTED AND BE SCREENED FROM PUBLIC VIEW.



VICINITY MAP
 NTS

BENCHMARK
 NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
 ELEVATION= 539.71

NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE 130 EB SERVICE ROAD AND TOWNSEND ROAD.
 ELEVATION= 537.64

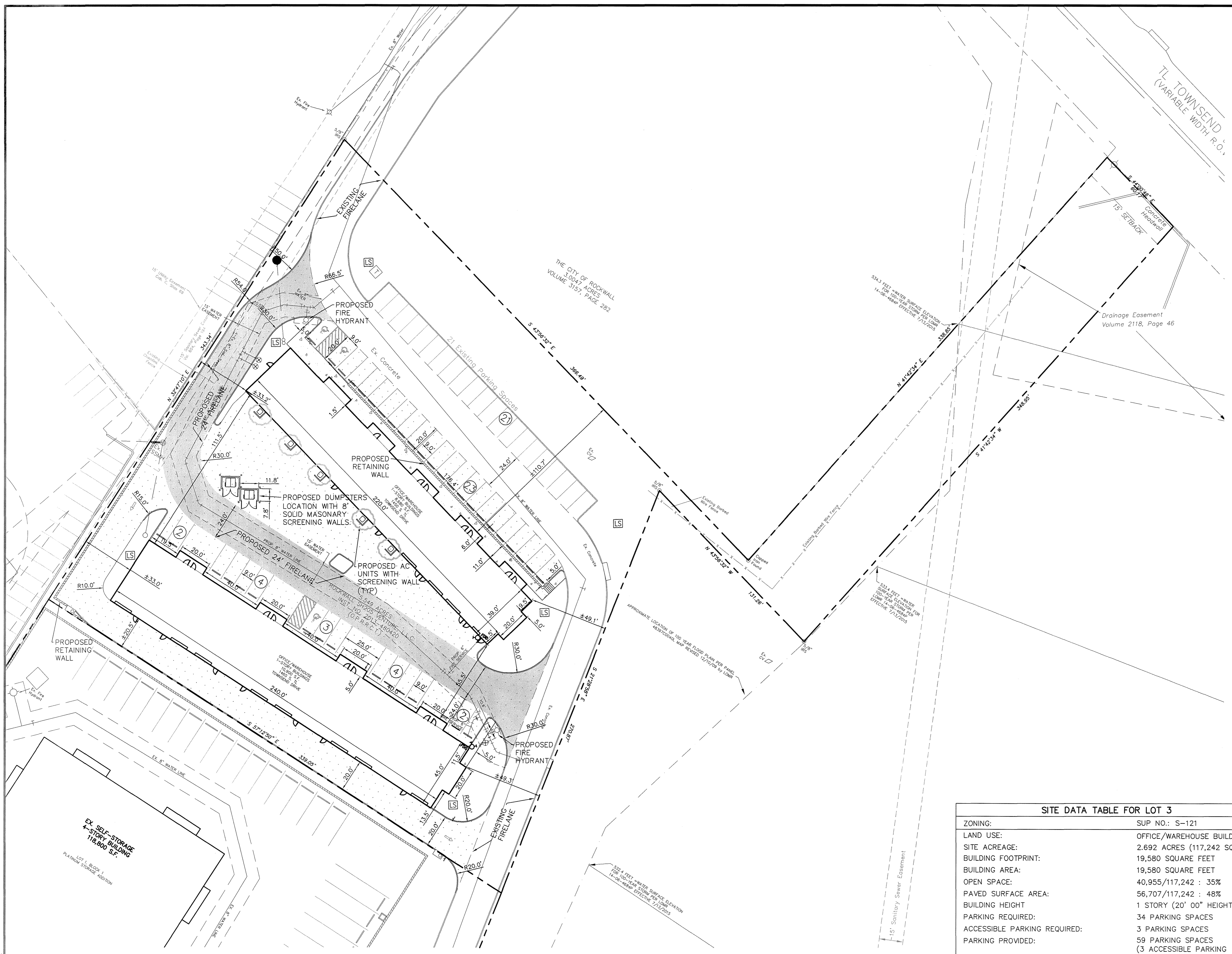
CITY OF ROCKWALL CONTROL MONUMENT #19
 ELEVATION= 600.68

SITE DATA TABLE FOR LOT 3

ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	19,580 SQUARE FEET
BUILDING AREA:	19,580 SQUARE FEET
OPEN SPACE:	40,955/117,242 : 35%
PAVED SURFACE AREA:	56,707/117,242 : 48%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)

REVISIONS

REV NO.	DATE	DESCRIPTION
1	1/09/2018	ADDED AC UNITS BEHIND BUILDING A



AS-BUILT

NOTE: THESE AS BUILT PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR AND A POST CONSTRUCTION SURVEY.

ENGINEER:
 CUMULUS DESIGN, INC.
 P.O. BOX 2119
 EULESS, TEXAS 76039
 PH: 214-235-0367
 CONTACT: PAUL CRAGUN
 EMAIL: PAUL@CUMULUSDESIGN.NET

OWNER:
 RON VALK
 1834 S FM 551
 FATE, TX 75189

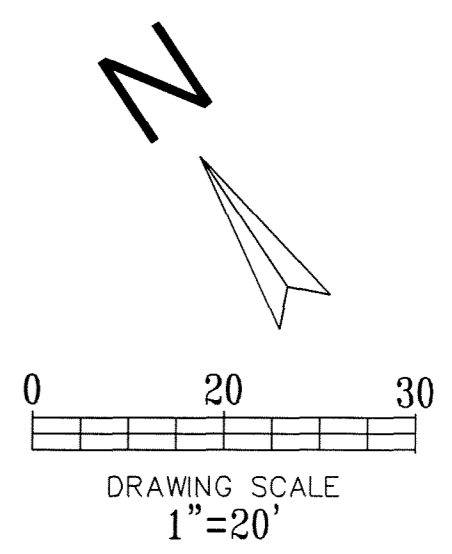
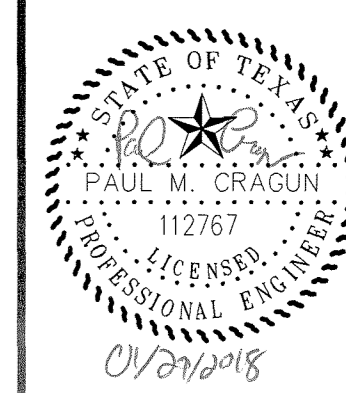
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

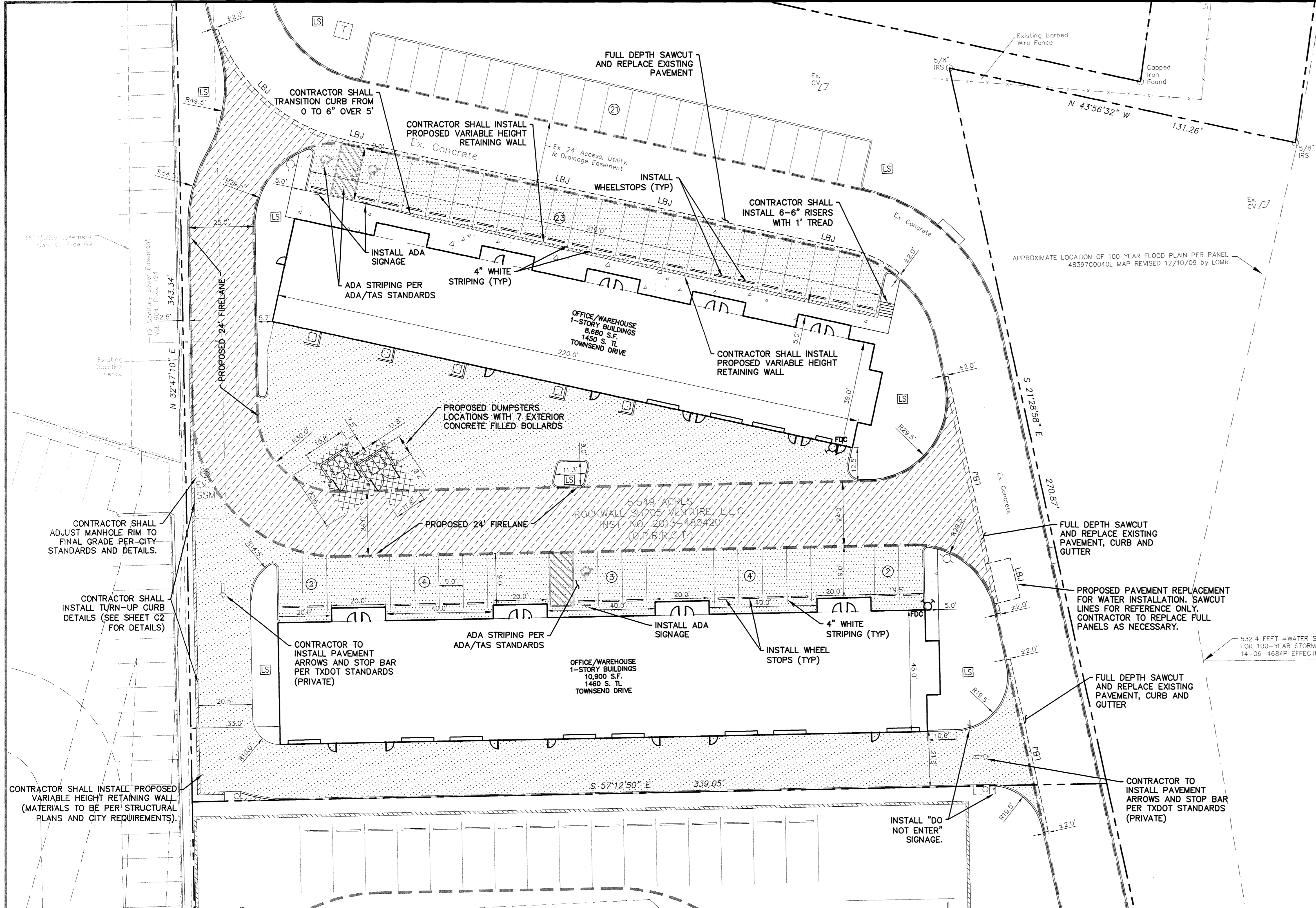
CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

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- LEGEND**
- EXISTING CURB
 - - - PROPOSED CURB
 - LBJ — CONSTRUCT LONGITUDINAL BUTT JOINT
 - ⊙ — PROPOSED PARKING SPACES IN A ROW
 - BFR — PROPOSED BARRIER FREE RAMP
 - LS — PROPOSED LANDSCAPING AREA
 - - - PROPOSED FIRELANE
 - - - PROPOSED FULL-DEPTH SAWCUT
 - ▭ — 4" 3600 PSI REINFORCED CONCRETE PAVEMENT ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 6.5 SACK MIX)
 - ▨ — 6" 3600 PSI REINFORCED CONCRETE PAVEMENT ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 6.5 SACK MIX)
 - ▧ — 7" 3600 PSI REINFORCED CONCRETE ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 6.5 SACK MIX)
 - ▩ — 8" 3600 PSI REINFORCED CONCRETE PAVEMENT ON 6" PREPARED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 6.5 SACK MIX)

- GENERAL NOTES:**
1. ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA/SITE.
 4. THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVING.
 5. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT AND MEET CITY REQUIREMENTS.
 6. FIRE LANES SHALL BE STRIPED IN ACCORDANCE WITH THE CITY REQUIREMENTS. (IF ANY)
 7. ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 8. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 9. SLOPE WITHIN THE HANDICAP PARKING AND STRIPED AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 10. ALL CURB RADII ARE 1.5' UNLESS OTHERWISE SPECIFIED (EXCEPT FOR AT END OF PARKING SPACES AND FLUMES WHERE THE RADII IS 0').
 11. CONTRACTOR TO REFERENCE ARCHITECT/LANDSCAPE PLANS FOR ANY SPECIAL PATTERN/STAINS OR ANY OTHER PAVEMENT DETAILS.
 12. CONTRACTOR SHALL INSTALL MASONRY WALL AND GATES PER THE PLANS AND DIRECTION OF THE ARCHITECT.
 13. NO SAND IS ALLOWED UNDER VEHICULAR PAVING OR SIDEWALK.
 14. CONTRACTOR TO REFERENCE DETAIL SHEET (PAVEMENT & SIDEWALK DETAILS) FOR ONSITE PAVING.
 15. ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STANDARD DENSITY USING SHEEP'S FOOT ROLLER



!!! CAUTION !!!
UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

AS-BUILT

NOTE: THESE AS BUILT PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR AND A POST CONSTRUCTION SURVEY.

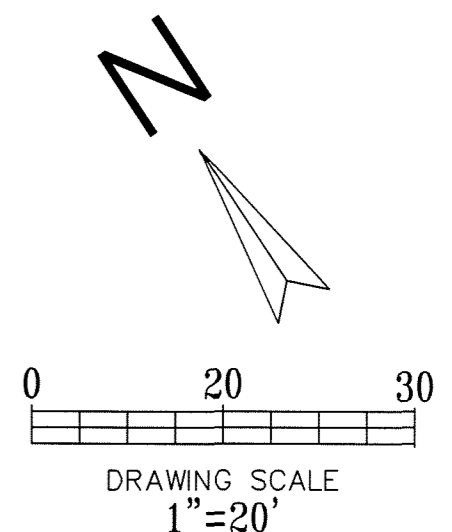
REVISIONS		
REV. NO.	DATE	DESCRIPTION

BENCHMARK
 NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
 ELEVATION= 539.71
 NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE 130 EB SERVICE ROAD AND TOWNSEND ROAD.
 ELEVATION= 537.64
 CITY OF ROCKWALL CONTROL MONUMENT #19
 ELEVATION= 600.68

CASE #SP2016-014

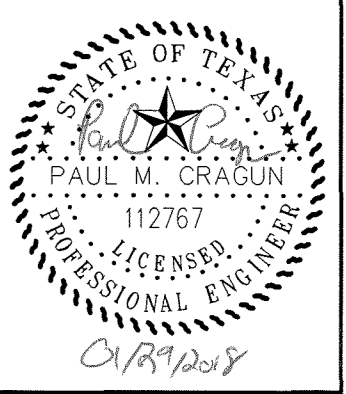
THE CITY OF ROCKWALL
3.0047 ACRES
VOLUME 3157, PAGE 282

- LEGEND**
- - - - - EXISTING CURB
 - - - - - PROPOSED CURB
 - - - - - EXISTING CONTOUR
 - - - - - PROPOSED CONTOUR
 - - - - - EXISTING SPOT ELEVATION
 - - - - - PROPOSED SPOT ELEVATION
 - - - - - PROPOSED VALLEY
 - - - - - PROPOSED RIDGE
 - - - - - DIRECTIONAL FLOW ARROW
 - TC - - - - TOP OF CURB
 - GS - - - - GROUND SURFACE AT WALL
 - TW - - - - TOP OF WALL

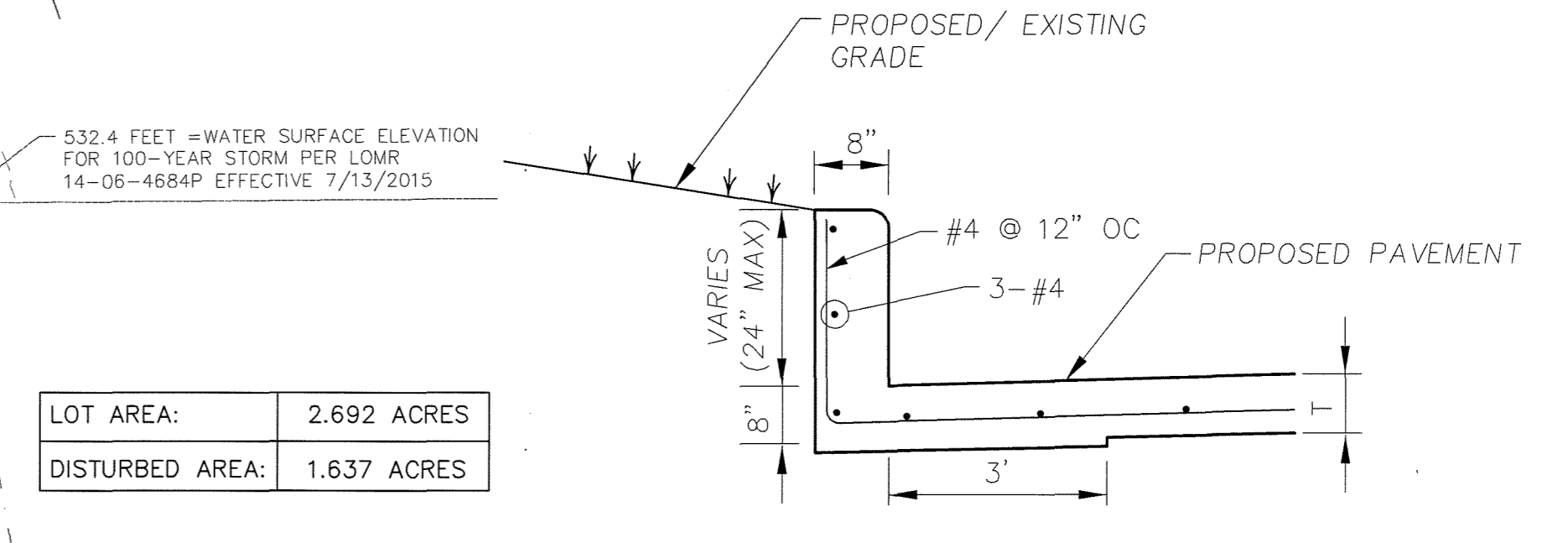
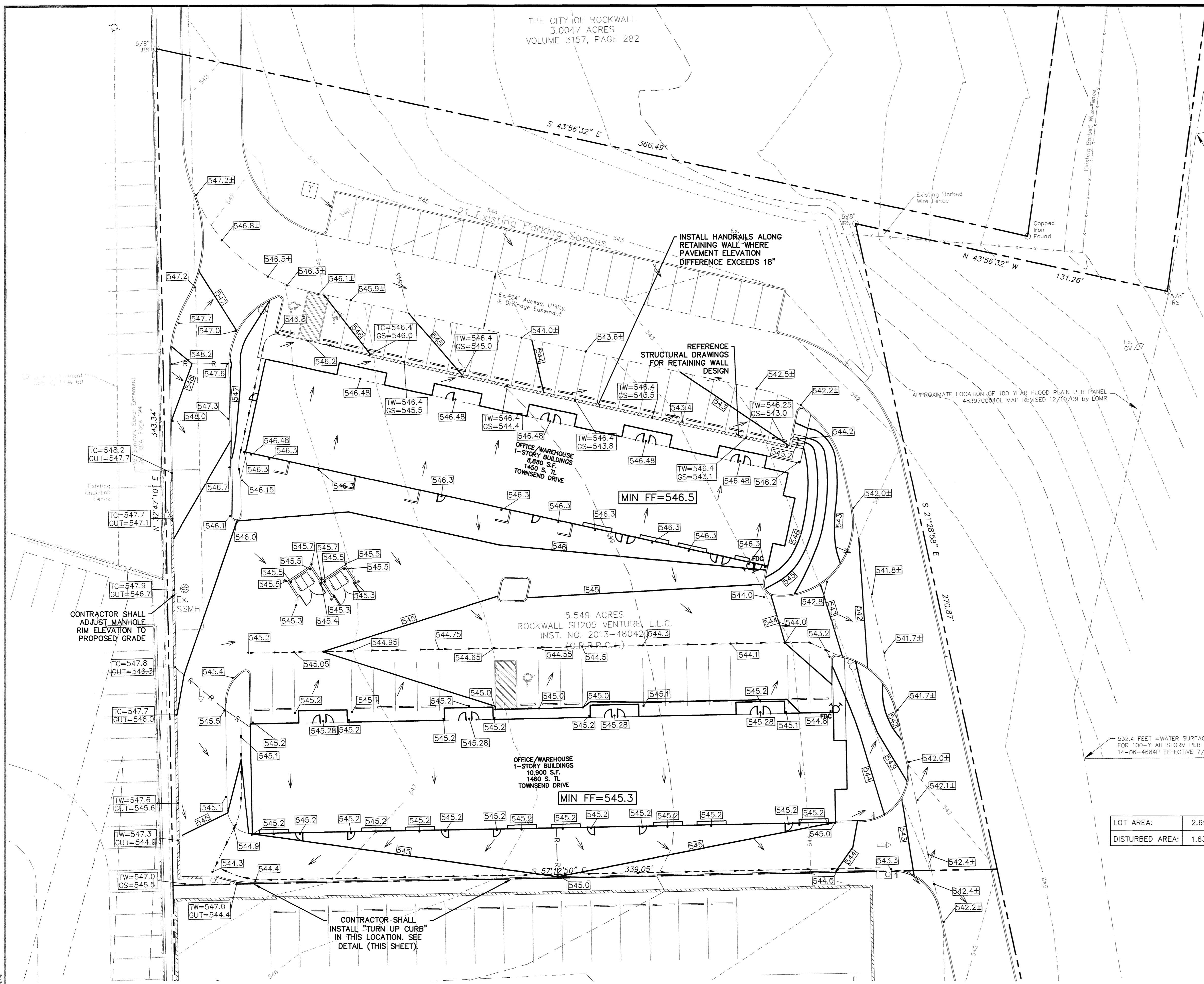


- GRADING GENERAL NOTES:**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS. ALL CONSTRUCTION SHALL ALSO BE IN ACCORDANCE WITH THE NORTH CENTRAL TEXAS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 3RD EDITION.
 2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNDER THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL THE PERMITTING AUTHORITIES.
 3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION.
 4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
 5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND/OR ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION.
 7. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
 9. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
 10. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
 11. ALL SIDEWALK SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 12. SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
 13. SLOPE IN NON-PAVED (LANDSCAPE) AREAS SHALL NOT EXCEED 4:1.
 14. CROSSLOPE OF PEDESTRIAN ROUTE DRIVES (BETWEEN BARRIER FREE RAMPS) SHALL NOT EXCEED 2% FOR A WIDTH THAT AT LEAST MATCHES THE SIDEWALK WIDTH AT EACH LOCATION.
 15. NO PART (FOOTINGS, TIE BACKS, ETC.) OF THE RETAINING WALL OR SCREENING FENCE SHALL BE OFFSITE OR IN AN EASEMENT.
 16. ALL FILL TO BE COMPACTED TO A MINIMUM OF 95% STANDARD DENSITY USING A SHEEP'S FOOT ROLLER.

Cumulus Design
DESIGN
Firm #14810
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Tel. 214.235.0367



GRADING PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



TURN UP CURB DETAIL
N.T.S.

!!! CAUTION !!!
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AS-BUILT

NOTE: THESE AS BUILT PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR AND A POST CONSTRUCTION SURVEY.

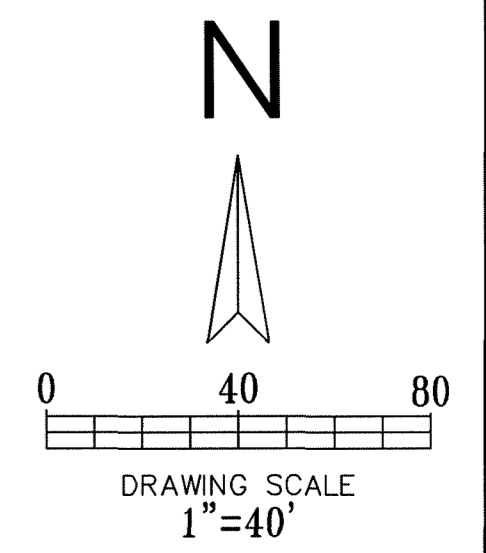
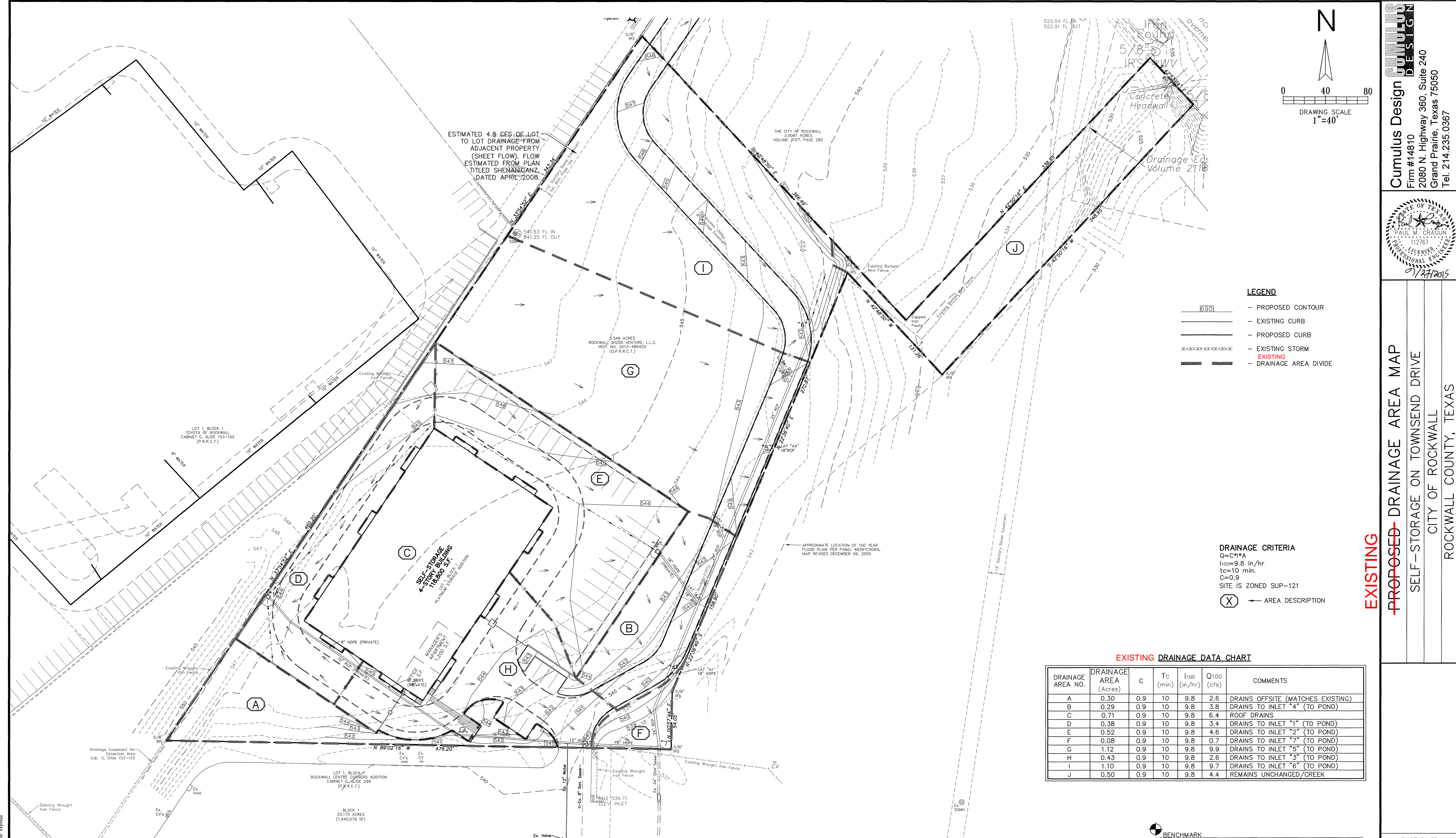
REVISIONS		
REV NO.	DATE	DESCRIPTION

BENCHMARK
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ELEVATION= 537.64
CITY OF ROCKWALL CONTROL MONUMENT #19
ELEVATION= 600.68

CASE #SP2016-014

PLOT DATE	01/29/18
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CD15034
SHEET NUMBER	C2

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- LEGEND**
- PROPOSED CONTOUR
 - EXISTING CURB
 - PROPOSED CURB
 - EXISTING STORM
 - EXISTING
 - DRAINAGE AREA DIVIDE

DRAINAGE CRITERIA
 $Q=C \cdot I \cdot A$
 $I_{100}=9.8$ in/hr
 $t_c=10$ min.
 $C=0.9$
 SITE IS ZONED SUP-121
 (X) ← AREA DESCRIPTION

EXISTING DRAINAGE DATA CHART

DRAINAGE AREA NO.	DRAINAGE AREA (Acres)	c	Tc (min)	I100 (in/hr)	Q100 (cfs)	COMMENTS
A	0.30	0.9	10	9.8	2.6	DRAINS OFFSITE (MATCHES EXISTING)
B	0.29	0.9	10	9.8	3.8	DRAINS TO INLET "4" (TO POND)
C	0.71	0.9	10	9.8	6.4	ROOF DRAINS
D	0.38	0.9	10	9.8	3.4	DRAINS TO INLET "1" (TO POND)
E	0.52	0.9	10	9.8	4.6	DRAINS TO INLET "2" (TO POND)
F	0.08	0.9	10	9.8	0.7	DRAINS TO INLET "7" (TO POND)
G	1.12	0.9	10	9.8	9.9	DRAINS TO INLET "5" (TO POND)
H	0.43	0.9	10	9.8	2.6	DRAINS TO INLET "3" (TO POND)
I	1.10	0.9	10	9.8	9.7	DRAINS TO INLET "6" (TO POND)
J	0.50	0.9	10	9.8	4.4	REMAINS UNCHANGED/CREEK

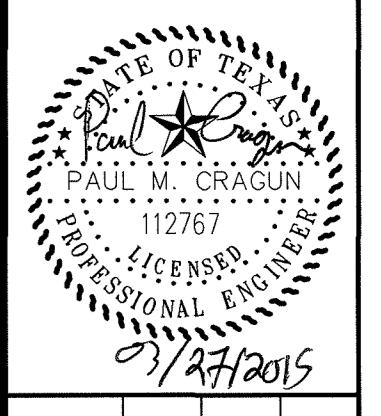
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REVISIONS		
REV NO.	DATE	DESCRIPTION

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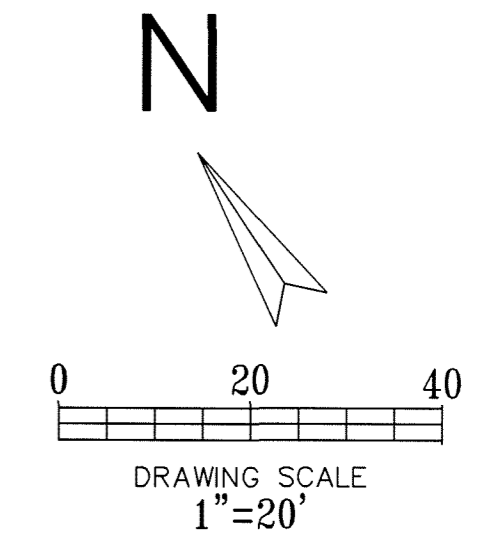
EXISTING
PROPOSED DRAINAGE AREA MAP
 SELF-STORAGE ON TOWNSEND DRIVE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PLOT DATE	03/27/15
DRAWING SCALE	1" = 40'
PROJECT NUMBER	CD14111
SHEET NUMBER	6

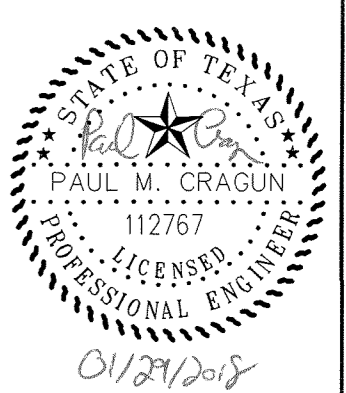
CASE #SP2014-033

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THE CITY OF ROCKWALL
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Grand Prairie, Texas 75050
Tel. 214.235.0367



PROPOSED DRAINAGE AREA MAP
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

- LEGEND**
- PROPOSED CONTOUR
 - EXISTING CURB
 - PROPOSED CURB
 - EXISTING STORM
 - PROPOSED STORM
 - DRAINAGE AREA DIVIDE

DRAINAGE CRITERIA
 $Q=C*I*A$
 $I_{100}=9.8$ in/hr
 $t_c=10$ min.
 $C=0.9$

(X) ← AREA DESCRIPTION

PROPOSED DRAINAGE DATA CHART

DRAINAGE AREA NO.	DRAINAGE AREA (Acres)	C	T _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	COMMENTS
A	0.75	0.9	10	9.8	6.6	DRAINS TO EX. CURB INLET "1"
B	1.00	0.9	10	9.8	8.8	DRAINS TO EX. CURB INLET "2"
C	0.50	0.9	10	9.8	4.4	REMAINS UNCHANGED/CREEK
D	0.25	0.9	10	9.8	2.2	DRAINS TO 5" CURB INLET "3"
E	0.19	0.9	10	9.8	1.7	DRAINS TO 5" CURB INLET "4"

BENCHMARK
NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
ELEVATION= 539.71

NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE 130 EB SERVICE ROAD AND TOWNSEND ROAD.
ELEVATION= 537.64

CITY OF ROCKWALL CONTROL MONUMENT #19
ELEVATION= 600.68

AS-BUILT

REVISIONS		
REV NO.	DATE	DESCRIPTION

NOTE: THESE AS BUILT PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR AND A POST CONSTRUCTION SURVEY.

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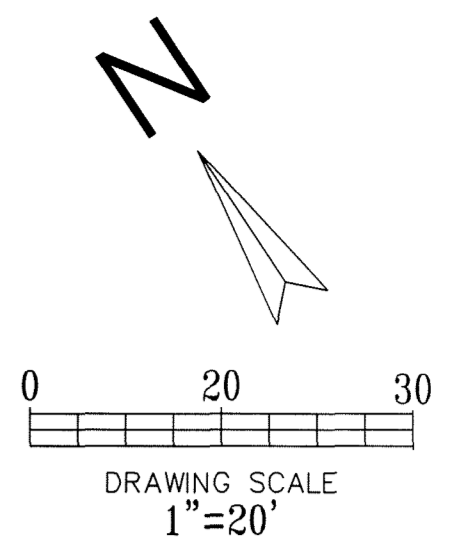
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CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

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THE CITY OF ROCKWALL
3.0047 ACRES
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533.4 FEET = WATER SURFACE ELEVATION FOR 100-YEAR STORM PER LOMR 14-06-4684P EFFECTIVE 7/13/2015

- LEGEND**
- EXISTING CURB
 - - - PROPOSED CURB
 - ==== PROPOSED STORM PIPE
 - ==== EXISTING STORM PIPE
 - - - PROPOSED WASTEWATER PIPE
 - - - EXISTING WASTEWATER PIPE
 - - - PROPOSED WATER PIPE
 - - - EXISTING WATER PIPE

GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARD CONSTRUCTION DETAILS AND NCTCOG 3RD EDITION EXCEPT AS NOTED HEREIN OR APPROVED BY THE CITY.
 2. PRIVATE STORM SEWER PIPE 15" AND SMALLER SHALL BE SDR-35 PVC, ADS N-12 DRAINAGE PIPE OR APPROVED EQUAL. ALL STORM SEWER PIPE 18" AND LARGER SHALL BE CLASS IV RCP AND SHALL BE MAINTAINED AND REPLACED BY THE PROPERTY OWNER.
 3. ALL DRAINAGE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4200 PSI MINIMUM 7.0 SACK AT 28 DAYS IF PRE-CAST, 7.5 SACK IF CAST IN PLACE.
 4. ALL PRECAST BOX CULVERTS, DRAINAGE STRUCTURES AND RCP WILL REQUIRE A CERTIFICATION FROM THE MANUFACTURER THAT THE PRODUCT MEETS THE DESIGN REQUIREMENTS AND 28 DAY COMPRESSIVE STRENGTH.
 5. CONTRACTOR SHALL HAVE A TRENCH SAFETY PLAN AND A TRAFFIC CONTROL PLAN (IF REQUIRED) AT THE TIME OF PRE-CONSTRUCTION MEETING.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
 7. CONSTRUCTION SHALL BEGIN AT DOWNSTREAM END OF PROJECT AND CONTINUE UPSTREAM WITH PIPE GROOVES FACING UPSTREAM.
 8. CONTRACTOR SHALL PROTECT ALL UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
 9. THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 10. ALL TRENCH BACKFILL FOR PUBLIC STORM SEWER SHALL BE COMPACTED TO 95% AS REQUIRED BY THE CITY.
 11. ALL MATERIAL, LABOR, ETC FOR STORM SEWER CONSTRUCTION TO BE PROVIDED BY CONTRACTOR.
 12. ALL CATCH BASINS AND HEADWALLS TO BE PRECAST CONCRETE STRUCTURES OR APPROVED EQUAL.
 13. ALL STORM SEWER TO BE PLACED ON 1.0% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- NOTE:**
DETENTION HAS BEEN PROVIDED BY THE NEIGHBORS TO THE SOUTH (COSTCO). 2-18" CONNECTION POINTS WERE PROVIDED WHEN THE ADJOINING DEVELOPMENT WAS BUILT. THE REGIONAL DETENTION PLAN WAS PREPARED BY CPH ENGINEERING, INC. AND DATED JUNE 19, 2008.

INLET CAPACITY CALCULATIONS

INLET NO.	INLET SIZE (ft)	C	H* (ft)	W (ft)	L (ft)	Q100 (cfs)	QCAP (cfs)	EQUATION
1	10" CURB INLET	0.6	0.5	0.5	10	8.8	17.0	$Q=(C(WL)(2gH)^{.5})$
2	5" CURB INLET	0.6	0.5	0.5	5	6.6	8.5	$Q=(C(WL)(2gH)^{.5})$
3	5" CURB INLET	0.6	0.5	0.5	5	1.7	8.5	$Q=(C(WL)(2gH)^{.5})$
4	5" CURB INLET	0.6	0.5	0.5	5	2.2	8.5	$Q=(C(WL)(2gH)^{.5})$

ORIFICE EQUATION IS USED TO DETERMINE THE INLET CAPACITIES.
*DEPTH OF WATER MEASURED FROM THE CENTROID OF THE OPENING.
W AND L DESCRIBE INLET OPENING DIMENSIONS.

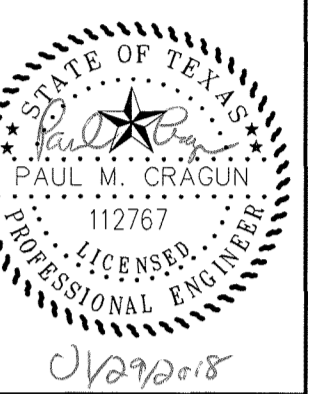
BENCHMARK

NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
ELEVATION= 539.71

NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE 130 EB SERVICE ROAD AND TOWNSEND ROAD.
ELEVATION= 537.64

CITY OF ROCKWALL CONTROL MONUMENT #19
ELEVATION= 600.68

Cumulus Design
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Grand Prairie, Texas 75050
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STORM SEWER PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLOT DATE
01/29/18
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CD15034
SHEET NUMBER
C4

CASE #SP2016-014

AS-BUILT

NOTE: THESE AS BUILT PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY THE CONTRACTOR AND A POST CONSTRUCTION SURVEY.

REVISIONS		
REV NO.	DATE	DESCRIPTION

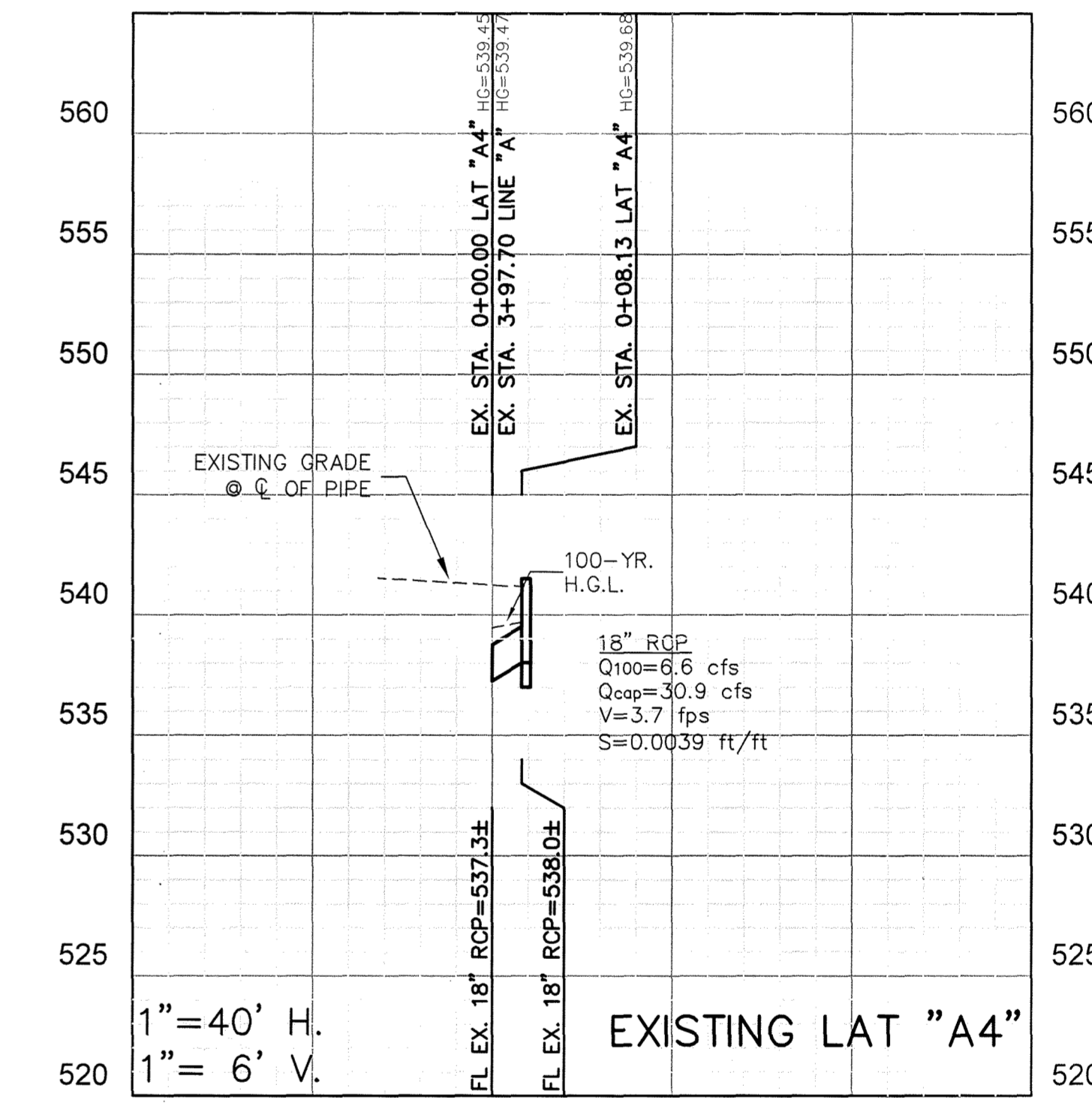
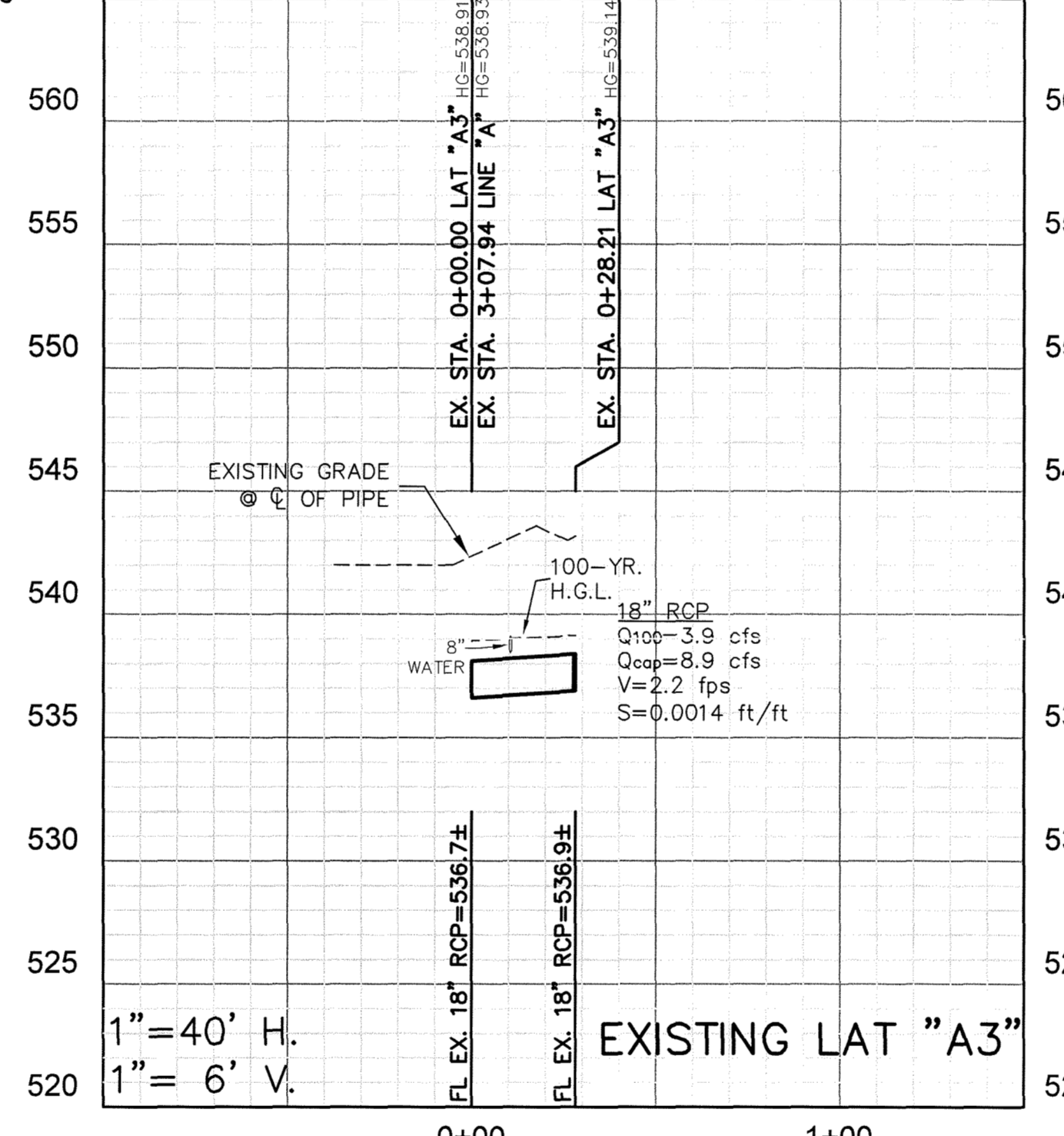
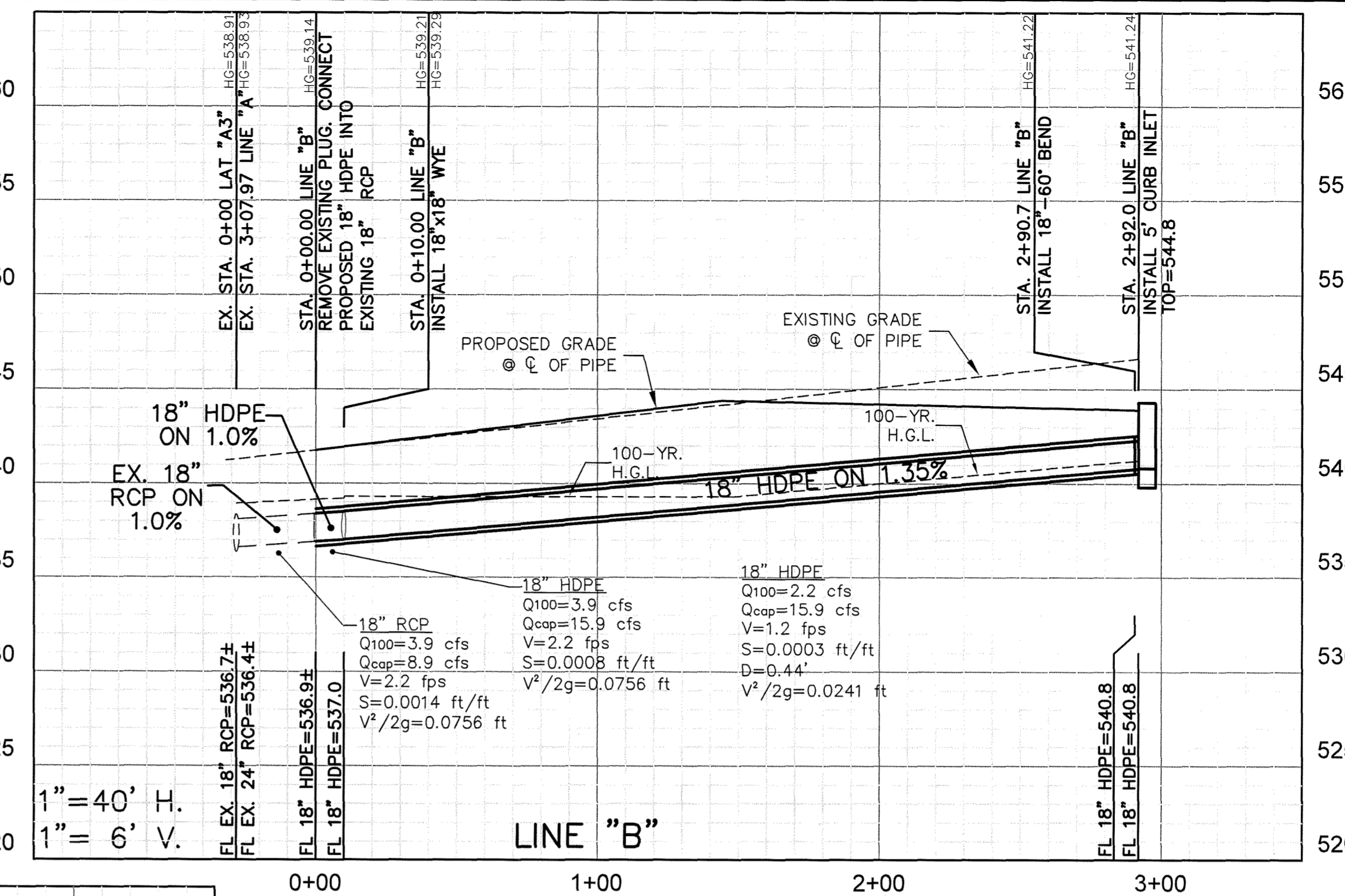
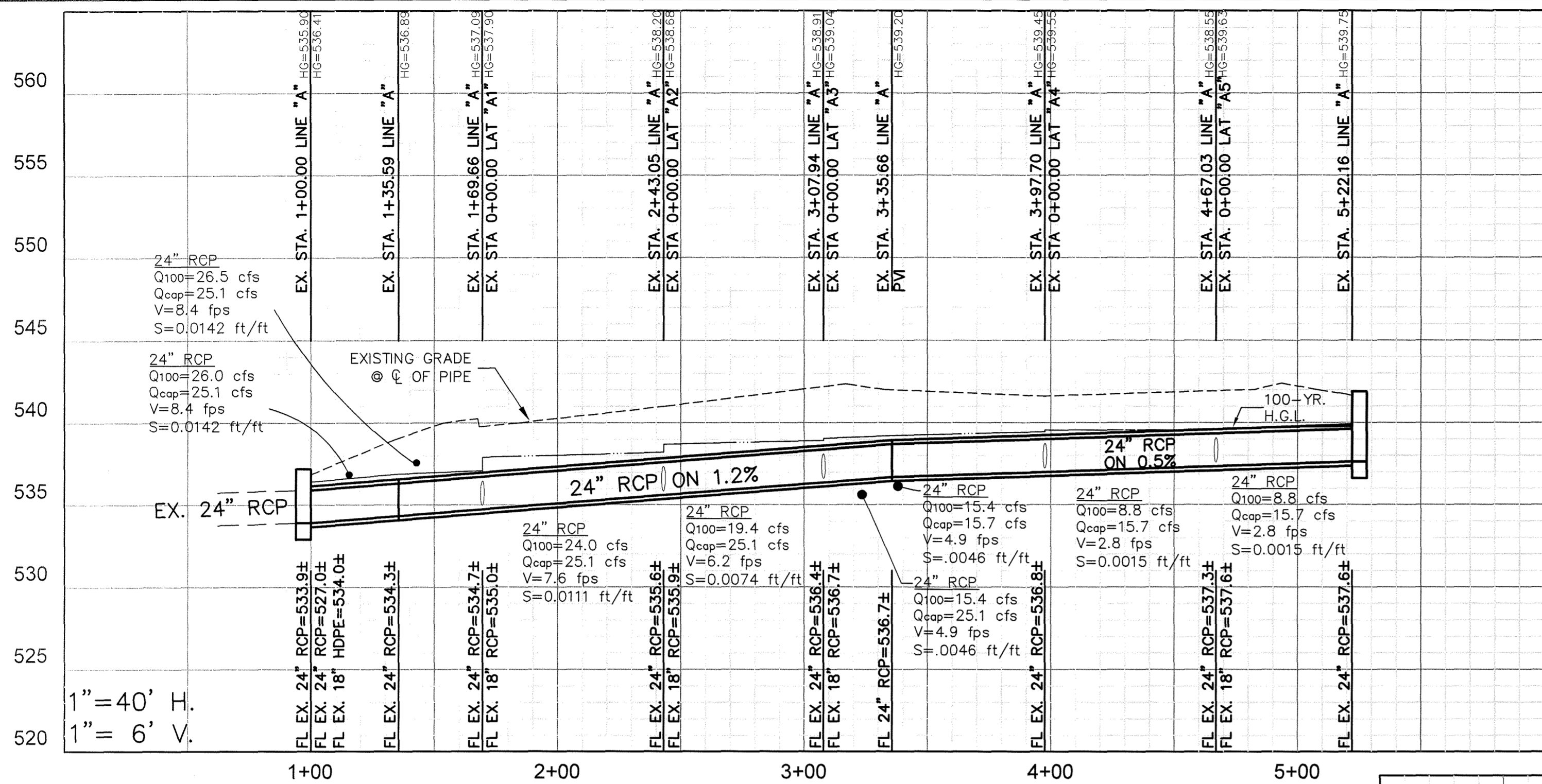
!!! CAUTION !!!
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CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

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STORM SEWER CALCULATIONS

UPSTREAM STATION	DOWNSTREAM STATION	DISTANCE (ft)	AREA NO.	TOTAL AREA (Acres)	PICKED UP (Acres)	C	CA	ACCUMULATED CA	Tc (Min)	DESIGN STORM (Years)	I (in/hr)	Q (cfs)	S	PIPE SIZE (in)	VELOCITY (fps)	HEAD LOSS (ft)	FLOW TIME (Min)	TIME AT D/S (Min)	VELOCITY HEAD (ft)	HYDRAULIC GRADE UPSTREAM	HYDRAULIC GRADE DOWNSTREAM	PROPOSED GRADE
LINE A																						
5+22.16	4+67.03	55.13	B	1.00	1.00	0.9	0.90	0.90	10	100	9.80	8.8	0.0015	24	2.8	0.12	0.33	10.33	0.12	539.75	539.63	541.8
4+67.03	3+97.70	69.33	-	-	-	-	-	0.90	10	100	9.80	8.8	0.0015	24	2.8	0.12	0.41	10.41	0.00	539.55	539.55	541.9
3+97.70	3+35.66	62.04	A	0.75	0.75	0.9	0.68	1.58	10	100	9.80	15.4	0.0046	24	4.9	0.37	0.21	10.21	0.25	539.45	539.20	540.9
3+35.66	3+07.94	27.72	PVI	-	-	-	-	1.58	10	100	9.80	15.4	0.0046	24	4.9	0.37	0.09	10.09	0.00	539.04	539.04	542.0
3+07.94	2+43.05	64.89	D,E	0.44	0.44	0.9	0.40	1.98	10	100	9.80	19.4	0.0074	24	6.2	0.60	0.17	10.17	0.23	538.91	538.68	542.0
2+43.05	1+69.66	73.39	Ex. E	0.52	0.52	0.9	0.47	2.45	10	100	9.80	24.0	0.0111	24	7.6	0.90	0.16	10.16	0.30	538.20	537.90	541.0
1+69.66	1+35.59	34.07	Ex. B	0.29	0.29	0.9	0.26	2.71	10	100	9.80	26.5	0.0142	24	8.4	1.10	0.07	10.07	0.20	537.09	536.89	539.6
1+35.59	1+00.00	35.59	BEND	-	-	-	-	2.71	10	100	9.80	26.5	0.0142	24	8.4	1.10	0.07	10.07	0.00	536.41	536.41	539.0
1+00.00	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	535.90	-	-
LINE B																						
2+92.00	2+90.70	1.30	D	0.25	0.25	0.9	0.23	0.23	10	100	9.80	2.2	0.0003	18	1.2	0.02	0.02	10.02	0.02	541.24*	541.22*	544.3
2+90.70	0+10.00	280.70	BEND	-	-	-	-	0.23	10	100	9.80	2.2	0.0003	18	1.2	0.02	3.90	13.90	0.00	541.22*	539.29	544.4
0+10.00	0+00.00	10.00	E	0.19	0.19	0.9	0.17	0.40	10	100	9.80	3.9	0.0008	18	2.2	0.08	0.08	10.08	0.06	539.21	538.15	543.3
0+00.00	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	539.14	-	-
LAT 'A3'																						
0+28.21	0+00.00	28.21	D,E	0.44	0.44	0.9	0.40	0.40	10	100	9.80	3.9	0.0008	18	2.2	0.08	0.21	10.21	0.21	539.14	538.93	542.4
0+00.00	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	538.91	-	-
LAT 'A4'																						
0+08.13	0+00.00	08.13	A	0.75	0.75	0.9	0.68	0.68	10	100	9.80	6.6	0.0023	18	3.7	0.21	0.04	10.04	0.21	539.68	539.47	540.9
0+00.00	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	539.45	-	-

AS-BUILT

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REVISIONS		
REV. NO.	DATE	DESCRIPTION

NOTES:
*PIPE IS IN PARTIAL FLOW. HYDRAULIC GRADE IS AT WATER SURFACE ELEVATION.

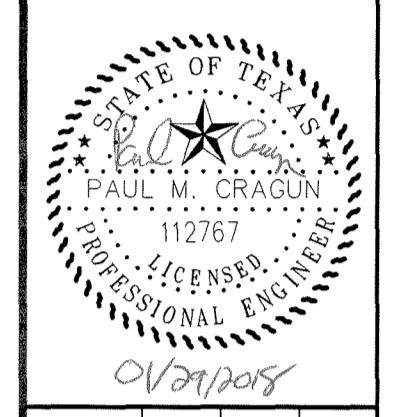
BENCHMARK
NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.
ELEVATION = 539.71

NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE 130 EB SERVICE ROAD AND TOWNSEND ROAD.
ELEVATION = 537.64

CITY OF ROCKWALL CONTROL MONUMENT #19
ELEVATION = 600.68

CASE #SP2016-014

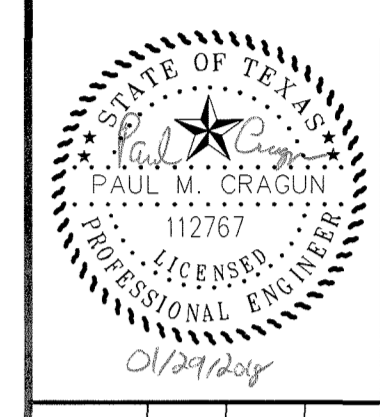
Cumulus Design
Firm #14810
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



STORM SEWER PROFILE & CALCULATIONS
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLOT DATE	01/29/18
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CD15034
SHEET NUMBER	C5

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WATER & SANITARY SEWER PLAN
 OFFICE PARK ON TOWNSEND DRIVE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PLOT DATE	01/29/18
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CD15034
SHEET NUMBER	C6

LEGEND

- EXISTING CURB
- - - PROPOSED CURB
- PROPOSED SANITARY SEWER PIPE
- - - EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT
- - - PROPOSED WATER PIPE
- EXISTING WATER PIPE
- PROPOSED STORM SEWER PIPE
- - - EXISTING STORM PIPE

DRAWING SCALE
1" = 20'

- GENERAL NOTES:**
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS AND NCTCOG 3RD EDITION STANDARDS EXCEPT AS NOTED HEREIN OR APPROVED BY THE CITY AND NCTCOG 3RD EDITION.
 - CONTRACTOR SHALL HAVE A TRENCH SAFETY PLAN AND A TRAFFIC CONTROL PLAN (IF REQUIRED) AT THE TIME OF PRE-CONSTRUCTION MEETING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
 - THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 - SEE MEP PLANS FOR EXACT LOCATION AND ELEVATION OF UTILITIES AT THE BUILDING.
 - ALL TRENCH BACKFILL FOR PUBLIC UTILITIES SHALL BE COMPACTED TO 95% AS REQUIRED BY THE CITY.
 - THE CONTRACTOR SHALL INSTALL CONCRETE ENCASUREMENT AROUND SANITARY SEWER LINES OR WATER LINES AT STORM SEWER CROSSINGS, WHEN THERE IS LESS THAN A TWO FOOT CLEARANCE BETWEEN THE LINE AND THE STORM SEWER. THE ENCASUREMENT SHALL BE 10 L.F., CENTERED AT THE CROSSING.
 - A POSITIVE CUT-OFF AT THE BUILDING LINE IS REQUIRED FOR ALL UTILITY TRENCHES TO PREVENT WATER MIGRATION.
 - CONTRACTOR SHALL COORDINATE WITH FIRE DEPARTMENT PRIOR TO REMOVING FIRE LANE FOR WATER LINE CONNECTION AND OTHER PAVING WORK.
 - ALL WATER LINE PIPES SHALL BE DR 14 CLASS 200 PER THE CITY OF ROCKWALL'S REQUIREMENTS.
 - CONTRACTOR SHALL INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, SERVICE AND 250'.
 - CONTRACTOR SHALL INSTALL GREEN EMS DISKS ON THE SEWER LINE AT EVERY CHANGE IN DIRECTION, MANHOLE, CLEANOUT, AND SERVICE CONNECTION.
 - DURING THE CONSTRUCTION OF THIS PROJECT, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE CITY BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE, WHICH ARE MADE DURING THE BIDDING PHASE, WILL HAVE NO BEARING ON THE DECISION.
 - ANY TEST THAT FAILS TO MEET CITY REQUIREMENTS SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE. THE CITY WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
 - ALL MATERIALS, CONSTRUCTION, TESTING AND WORKMANSHIP SHALL CONFORM TO THE CITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS, 3RD EDITION, EXCEPT AS NOTED HEREIN AND APPROVED BY THE CITY.
 - ALL TAPPING SLEEVES, VALVES AND VALVE BOXES, FITTINGS AND THRUST BLOCKING SHALL BE PER THE CITY'S DESIGN AND SPECIFICATIONS.
 - CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, WYES, BENDS, CROSSES, AND FIRE HYDRANTS PER THE CITY STANDARDS. ALL CONCRETE FOR CLOSING SHALL BE MINIMUM 2000 PSI CONCRETE. POLYETHYLENE WRAP SHALL BE INSTALLED AROUND ALL DUCTILE IRON FITTINGS AND VALVES. THE WRAP SHALL HAVE AN 8 MIL. THICKNESS AND BE WRAPPED AND HELD IN PLACE BY 2" WIDE PLASTIC BACKED ADHESIVE TAPE (POLYKEN 900, SCOTCHCRAP NO. 50 OR CITY APPROVED EQUAL). THE WRAP SHALL BE INSTALLED WITHOUT BREAKS, TEARS, OR HOLES IN THE FILM.
 - ALL WATER LINES SHALL BE STERILIZED AND PRESSURE TESTED TO 200 PSI FOR A 3-HOUR CONTINUOUS PERIOD. ALL TESTING AND STERILIZATION SHALL MEET OR EXCEED NCTCOG SPECIFICATIONS.
 - ALL SANITARY SEWER PIPES 4" TO 15" SHALL BE PVC SDR 35 MEETING ASTM D3034 AND HAVE RUBBER GASKET JOINTS. ALL SANITARY SEWER PIPES 18" AND LARGER SHALL BE PVC MEETING ASTM F679.
 - ALL SANITARY SEWER LINES SHALL BE TESTED FOR INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH CITY STANDARDS. TV INSPECTIONS, LOW PRESSURE AIR TESTING, VACUUM TESTING OF THE MANHOLES, AND MANDREL TESTING ARE REQUIRED ON ALL SEWER LINES.
 - FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
 - ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
 - CONTRACTOR SHALL INSTALL 20 LF OF CONCRETE ENCASUREMENT CENTERED ON UTILITY CROSSING PER CITY AND NCTCOG STANDARDS AND DETAIL

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 ELEVATION= 537.64
 CITY OF ROCKWALL CONTROL MONUMENT #19
 ELEVATION= 600.68

CASE #SP2016-014

REVISIONS	
REV NO.	DESCRIPTION

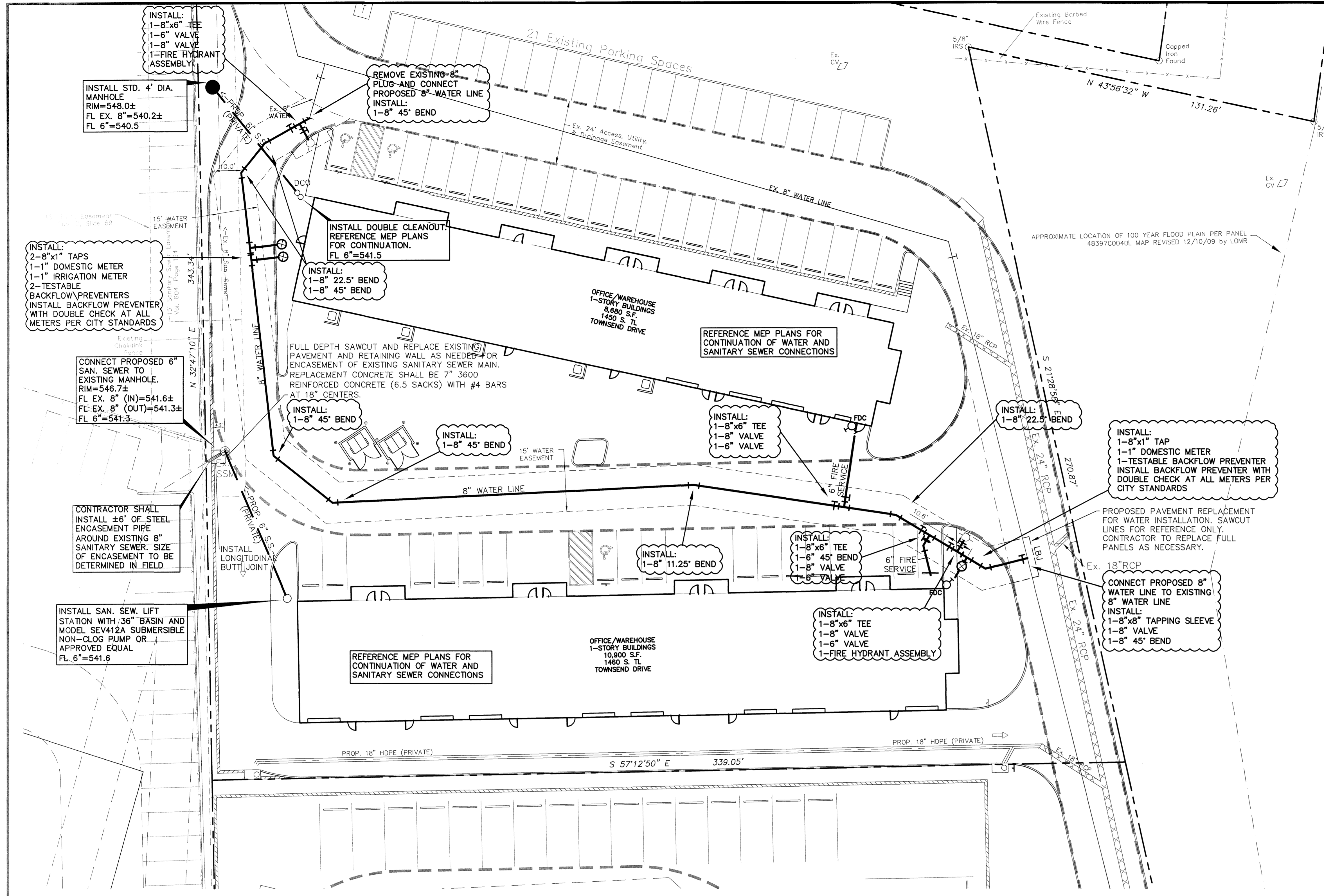
AS-BUILT

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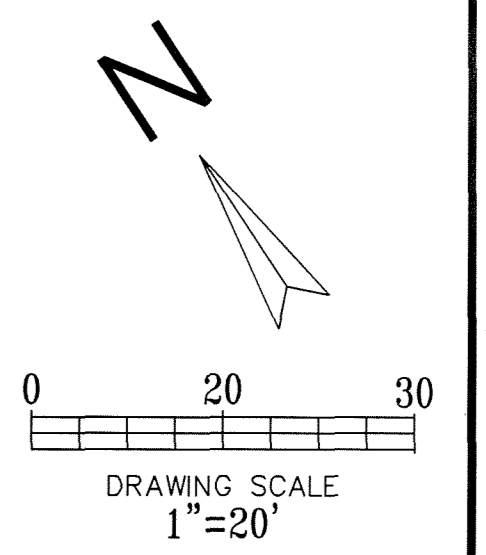


NOTE: A SEPARATE PERMIT IS REQUIRED FROM THE FIRE DEPARTMENT FOR THE FIRE SPRINKLER LINE.

ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.

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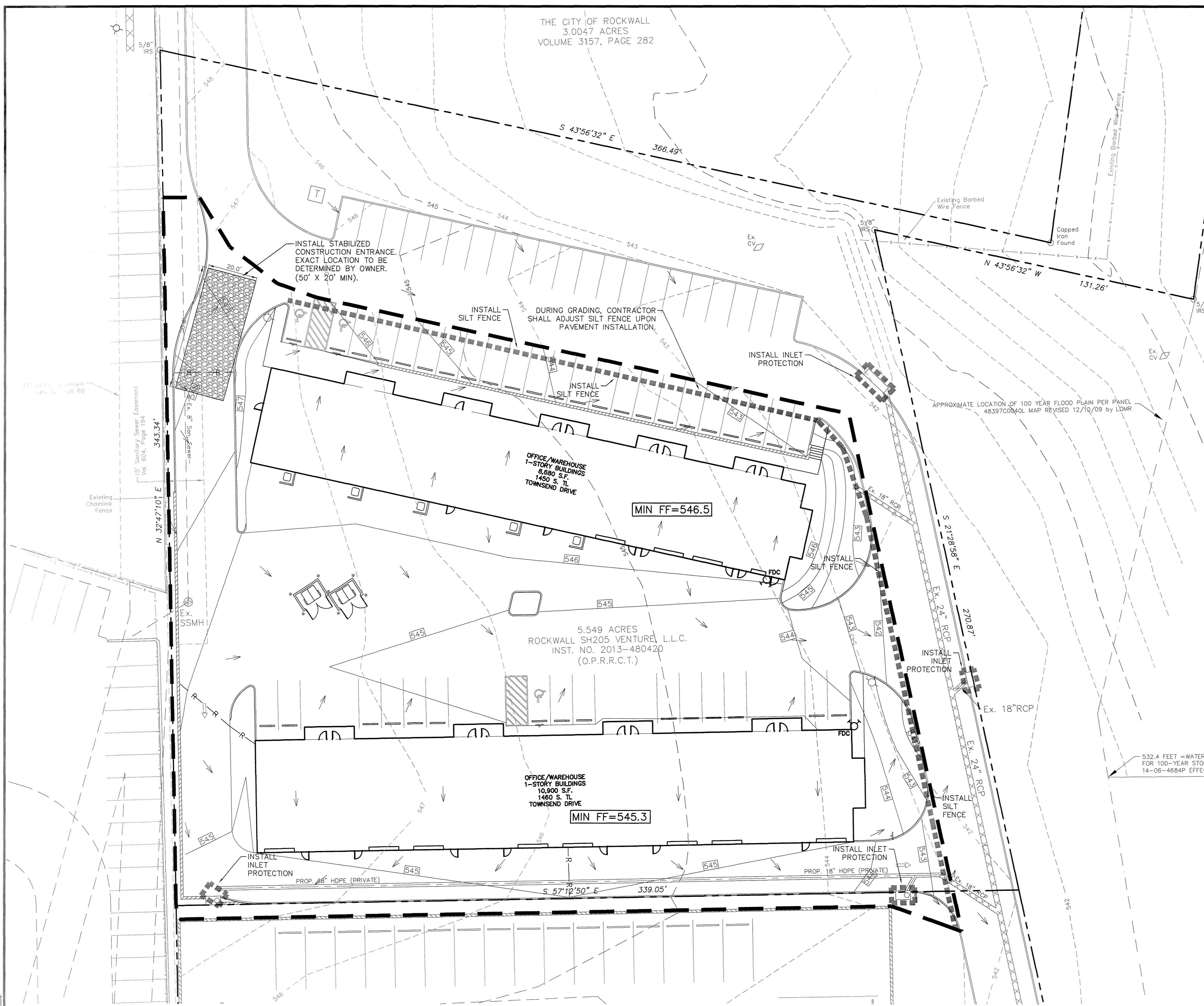
THE CITY OF ROCKWALL
3.0047 ACRES
VOLUME 3157, PAGE 282



- LEGEND**
- - - - - EXISTING CURB
 - - - - - PROPOSED CURB
 - - - - - EXISTING CONTOUR
 - - - - - PROPOSED CONTOUR
 - - - - - EXISTING FENCE
 - - - - - PROPOSED FENCE
 - - - - - PROPOSED FLOW ARROW
 - - - - - SILT FENCE
 - - - - - LIMITS OF CONSTRUCTION
 - - - - - INLET PROTECTION
 - - - - - CONSTRUCTION ENTRANCE

GENERAL NOTES:

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENT FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) IF REQUIRED.
6. REFERENCE LANDSCAPE PLAN FOR TREE PROTECTION INFORMATION (IF ANY)
7. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.



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ENGINEER:
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PH: 214-235-0367
CONTACT: PAUL CRAGUN
EMAIL: PAUL@CUMULUSDESIGN.NET

OWNER:
RON VALK
1834 S FM 551
FATE, TX 75189

AS-BUILT

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LOT AREA:	2.692 ACRES
DISTURBED AREA:	1.637 ACRES

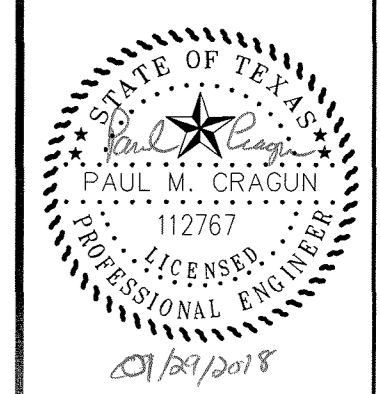
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ELEVATION= 600.68

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Grand Prairie, Texas 75050
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EROSION CONTROL PLAN
OFFICE PARK ON TOWNSEND DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLOT DATE	01/29/18
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CD15034
SHEET NUMBER	C7

CASE #SP2016-014

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