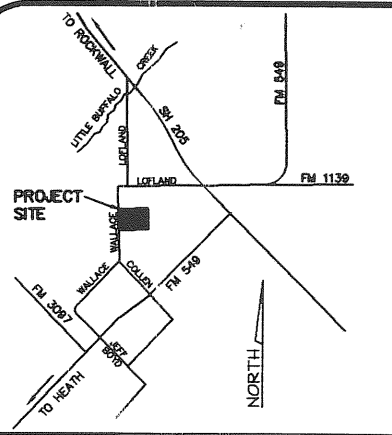


"THE NEW HORIZON"

OAKS OF BUFFALO W



LOCATION MAP  
NO SCALE

**SITE CONSTRUCTION PLANS**  
**FOR**  
**THE OAKS OF**  
**BUFFALO WAY - PHASE II**  
**BLOCK A, LOTS 1-4**  
**IN THE**  
**CITY OF ROCKWALL, TEXAS**

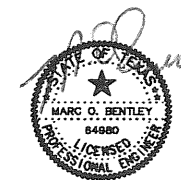
**NOT AS-BUILT  
PLANS.  
ENGINEER  
DIDN'T  
PROVIDE  
RECORD  
DRAWINGS TO**

SHEET INDEX

Sheet No.	Description
1	Cover Sheet
2	Preliminary Plat
C1	Paving Plan / Utility Plan
C2	Erosion Control



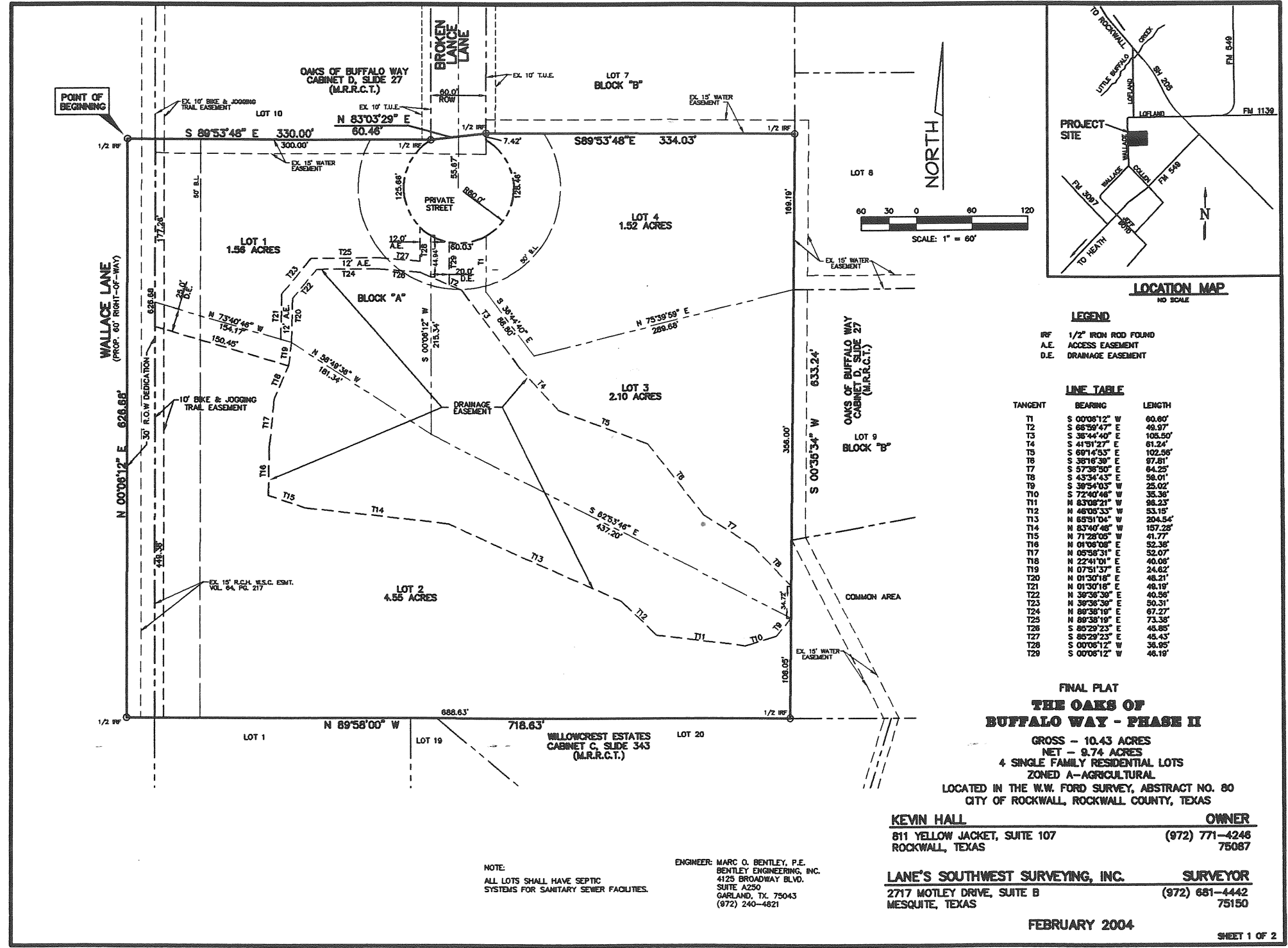
4125 BROADWAY BLVD.  
SUITE A250  
GARLAND, TEXAS 75043  
PH. 972.240.4821  
FAX. 972.240.0922



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARC O. BENTLEY, P.E. NO. 64980 ON 4/20/04

APRIL 2004

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PROVIDE  
RECORD  
DRAWINGS TO**



**LEGEND**

IRF 1/2" IRON ROD FOUND  
A.E. ACCESS EASEMENT  
D.E. DRAINAGE EASEMENT

**LINE TABLE**

TANGENT	BEARING	LENGTH
T1	S 00°08'12" W	60.60'
T2	S 68°58'47" E	49.97'
T3	S 38°44'40" E	105.50'
T4	S 41°51'27" E	61.24'
T5	S 69°14'33" E	102.56'
T6	S 38°16'38" E	97.61'
T7	S 57°38'50" E	64.25'
T8	S 43°34'43" E	58.01'
T9	S 39°54'03" W	25.02'
T10	S 72°40'48" W	35.36'
T11	N 83°08'21" W	98.23'
T12	N 48°05'33" W	53.15'
T13	N 65°51'04" W	204.54'
T14	N 83°40'48" W	157.28'
T15	N 71°28'05" W	41.77'
T16	N 01°08'08" E	52.38'
T17	N 05°58'31" E	52.07'
T18	N 22°41'01" E	40.06'
T19	N 07°51'37" E	24.62'
T20	N 01°30'18" E	48.21'
T21	N 01°30'18" E	48.19'
T22	N 38°38'38" E	40.56'
T23	N 38°38'38" E	50.31'
T24	N 89°38'19" E	67.27'
T25	N 89°38'19" E	73.38'
T26	S 85°29'23" E	48.85'
T27	S 85°29'23" E	48.43'
T28	S 00°08'12" W	36.85'
T29	S 00°08'12" W	48.19'

**FINAL PLAT  
THE OAKS OF  
BUFFALO WAY - PHASE II**

GROSS - 10.43 ACRES  
NET - 9.74 ACRES  
4 SINGLE FAMILY RESIDENTIAL LOTS  
ZONED A-AGRICULTURAL  
LOCATED IN THE W.W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**KEVIN HALL** OWNER  
811 YELLOW JACKET, SUITE 107 (972) 771-4246  
ROCKWALL, TEXAS 75087

**LANE'S SOUTHWEST SURVEYING, INC.** SURVEYOR  
2717 MOTLEY DRIVE, SUITE B (972) 681-4442  
MESQUITE, TEXAS 75150

NOTE:  
ALL LOTS SHALL HAVE SEPTIC  
SYSTEMS FOR SANITARY SEWER FACILITIES.

ENGINEER: MARC Q. BENTLEY, P.E.  
BENTLEY ENGINEERING, INC.  
4125 BROADWAY BLVD.  
SUITE A250  
GARLAND, TX 75043  
(972) 240-4621

FEBRUARY 2004

**NOT AS-BUILT  
PLANS.  
ENGINEER  
DIDN'T  
PROVIDE  
RECORD  
DRAWINGS TO**

**Owners Certificate**

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEING a 10.43 acre tract of land out of the W.W. FORD SURVEY, ABSTRACT NO. 80, in Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the centerline intersection of Wallace Lane (50-foot R.O.W.), said point also being on the south line of The Oaks of Buffalo Way, an addition to the City of Rockwall as recorded in Cabinet D, Slide 27, Map Records of Rockwall County, Texas;

THENCE S 89deg 53min 48sec E along Lot 10, Block B of The Oaks of Buffalo Way addition, a distance of 330.00 feet to a 1/2 inch iron rod found at the southeast corner of said Lot 10, said point also being in the west line of Broken Lance Lane;

THENCE N 83deg 03min 29sec E, a distance of 60.46 feet to a 1/2 inch iron rod found at the southwest corner of Lot 7, Block B of The Oaks Of Buffalo Way;

THENCE S 89deg 53min 48sec E along said Lot 7, Block B of The Oaks of Buffalo Way addition, a distance of 334.03 feet to a 1/2 inch iron rod found at the southeast corner of said Lot 7.

THENCE S 00deg 36min 34sec W along the west line of Lots 8 & 9, Block B of The Oaks of Buffalo Way addition, a distance of 633.24 feet to a 1/2 inch iron rod found on the north line of Willowcrest Estates as recorded in Cabinet "C", Slide 343 of the Map Records of Rockwall County, Texas;

THENCE N 89deg 58min 00sec W along the north line of said Willowcrest Estates, a distance of 718.63 feet to a 1/2 inch rod found for a corner in the center line of Wallace Lane;

THENCE N 00deg 06min 12sec E along said center line, a distance of 626.68 feet to the PLACE OF BEGINNING and containing 10.432 acres of land, more or less.

**SURVEYOR'S CERTIFICATE**

KNOW ALL MEN BY THESE PRESENTS:

THAT I, J. L. Lane, R.P.L.S., do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision.



"Preliminary, this document shall not be recorded for any purpose"

J. L. Lane  
Registered Professional Land Surveyor No. 2509

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEFORE ME, the undersigned authority, on this day personally appeared J.L. Lane, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

\_\_\_\_\_  
Notary Public in and for the State of Texas  
My Commission Expires: \_\_\_\_\_

**RECOMMENDED FOR FINAL APPROVAL**

\_\_\_\_\_  
Planning and Zoning Commission Date \_\_\_\_\_

\_\_\_\_\_  
City Engineer, City of Rockwall Date \_\_\_\_\_

**APPROVED**

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2004.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred twenty (120) days from said date of approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

\_\_\_\_\_  
Mayor, City of Rockwall City Secretary, City of Rockwall

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as THE OAKS OF BUFFALO WAY - PHASE II subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in THE OAKS OF BUFFALO WAY - PHASE II subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drainage improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; My successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

KEVIN HALL

By: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

\_\_\_\_\_  
Notary Public in and for the State of Texas  
My Commission Expires: \_\_\_\_\_

**FINAL PLAT  
THE OAKS OF  
BUFFALO WAY - PHASE II**

GROSS - 10.43 ACRES  
NET - 9.74 ACRES

4 SINGLE FAMILY RESIDENTIAL LOTS  
ZONED A-AGRICULTURAL

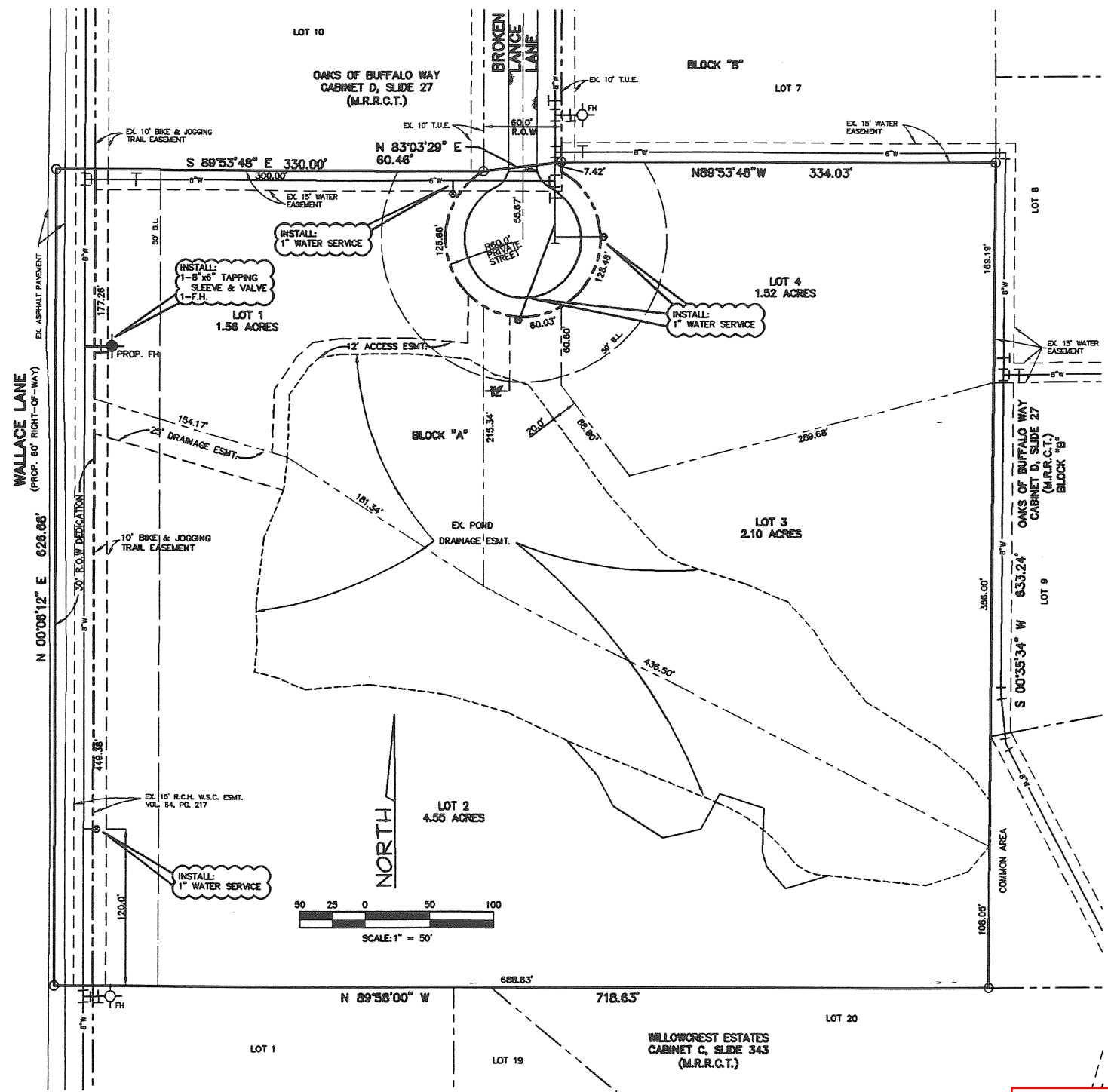
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CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**KEVIN HALL** OWNER  
811 YELLOW JACKET, SUITE 107 (972) 771-4246  
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ENGINEER: MARC O. BENTLEY, P.E.  
BENTLEY ENGINEERING, INC.  
4125 BROADWAY BLVD.  
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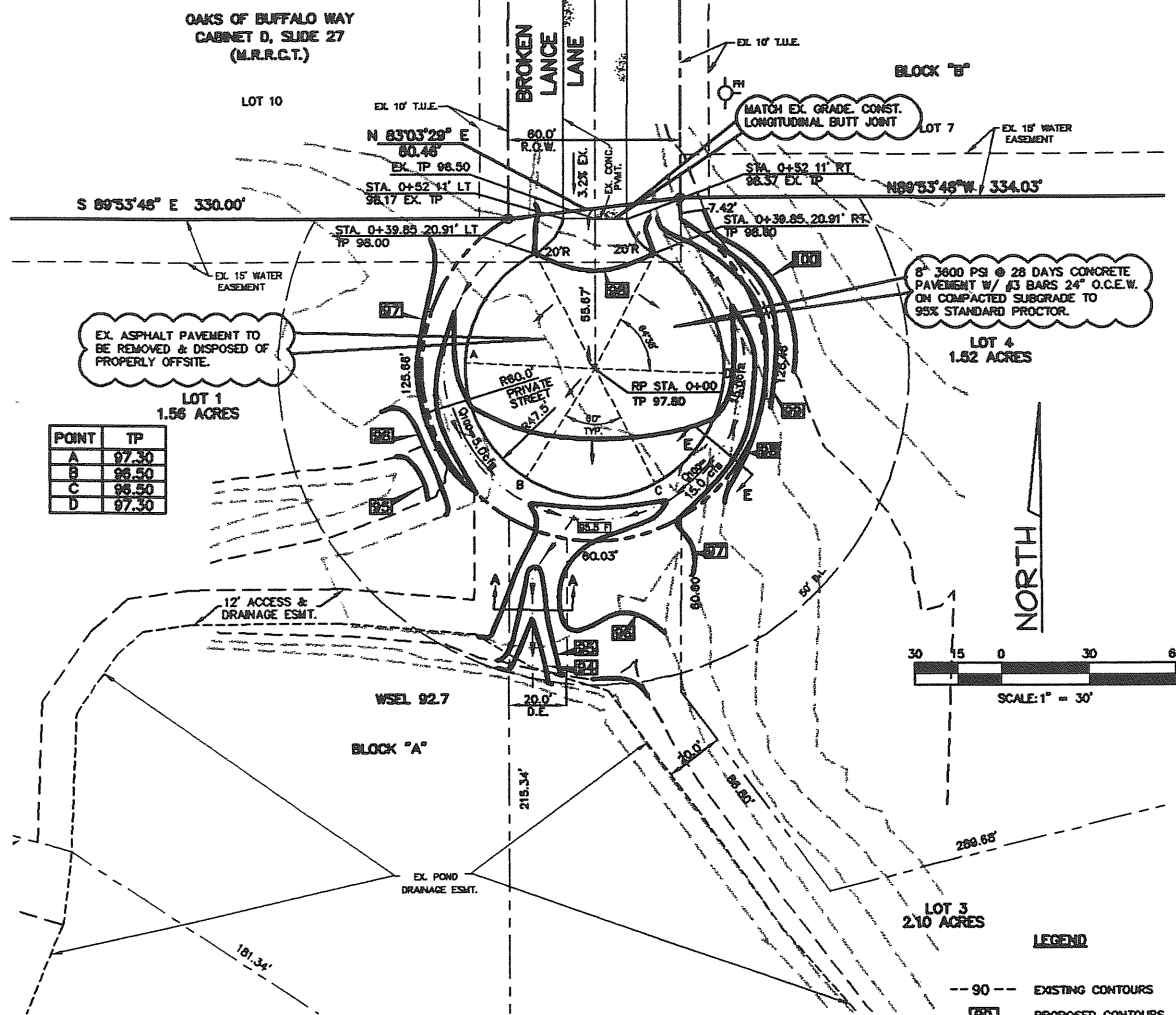
FEBRUARY 2004



**UTILITY PLAN**

- GENERAL NOTES**
- All work shall be in accordance with City of Rockwall Standard Detail Sheets.
  - One year maintenance bonds on water and sewer to be furnished by the contractor.
  - Engineering department is to be notified 48 hours prior to any construction.
  - All water lines to have 42 inch minimum cover or as required to clear other utilities.
  - Water mains shall be Class 200, DR-14, sizes 4" to 15".
  - Fire hydrants shall be Mueller No. 24015 or equal.
  - Manhole rings and covers shall be 400# or better on.
  - Contractor shall use PVC SDR 35 Sewer pipe. PVC pipe shall have a maximum deflection of 5% (as per City of Rockwall Specifications).
  - Valves shall be resilient seat gate valves.
  - Trench excavation for trenches 5 feet or more in depth shall be in accordance with all provisions of Part 1926, Subpart P - Excavations, Trenching and shoring of the Occupational Safety and Health's Standards and Interpretations. It shall be the responsibility of the Contractor to conform to the above stated provisions and to supply Trench Safety Plans if required by the City.
  - The locations of all utilities indicated on the plans are taken from available public records. The exact location and depth of all utilities indicated must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
  - It shall be the responsibility of the Contractor to protect all existing utilities in the construction of this project. Any utilities damaged during the construction of this project shall be repaired at the Contractor's expense.
  - All lots shall have Septic Systems for sanitary sewer facilities.

**NOT AS-BUILT  
PLANS.  
ENGINEER  
DIDN'T  
PROVIDE  
RECORD  
DRAWINGS TO**



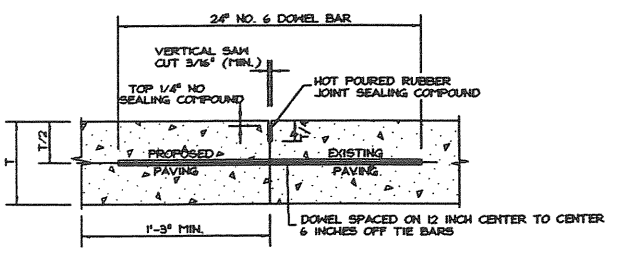
**PAVING PLAN**

**GRADING GENERAL NOTES**

- All work shall be in accordance with these plans and City of Rockwall Standard Detail Sheets.
- All proposed contours are approximate. Proposed spot elevations and designated gradient are to be used in the event of any discrepancies.
- The General Contractor and all subcontractors shall verify the suitability of all existing and proposed site conditions including grades and dimensions before commencement of any construction. In the event of any conflict and prior to commencement of any construction, immediately notify Engineer. Minor adjustments of finished grade to accomplish spot drainage are acceptable.
- All spot elevations are top of pavement or gutter. To obtain top of curb elevation, add 0.5 feet.
- Ground shall be scarified prior to placing any fill.
- Fill shall be placed in accordance with the geotechnical investigation and soils report recommendations and in compliance with City of Rockwall Ordinances.
- It is the responsibility of the Contractor to locate and/or establish a benchmark prior to construction and maintain the benchmark during construction.
- The locations of all utilities indicated on the plans are taken from available public records. The exact location and depth of all utilities indicated must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- All fill shall be compacted with sheepfoot roller.

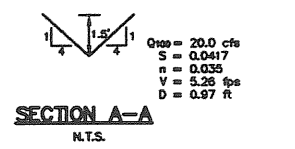
- LEGEND**
- 90 --- EXISTING CONTOURS
  - 100 --- PROPOSED CONTOURS
  - 70 60.1 --- EX. SPOT ELEVATION
  - 100 100.1 --- PROP. SPOT ELEVATION
  - --- FLOW DIRECTION
  - --- VALLEY
  - --- DRAINAGE DIVIDE
  - TP --- TOP OF PAVEMENT
  - F --- FINISHED GRADE

- CULVERTS**
- CULVERTS SHALL BE INSTALLED AS FOLLOWS:
- | LOT   | SIZE |
|-------|------|
| LOT 1 | 18"  |
| LOT 3 | 21"  |
| LOT 4 | 21"  |
- ALL CULVERTS SHALL BE CLASS III RCP WITH SLOPED HEADWALLS ON BOTH ENDS.



**LONGITUDINAL BUTT JOINT**

NOTE: DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.



**SECTION A-A**

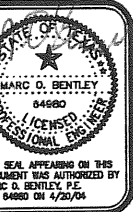
N.T.S.

**TYPICAL SECTION E-E**

N.T.S.

BENCHMARK: TOP OF 1/2" IRON ROD, SAID ROD BEING THE NORTHWEST PROPERTY CORNER. ROD IS LOCATED ON THE WEST SIDE OF WALLACE LANE. ASSUMED PLAN ELEV. = 99.21 ACTUAL ELEV. = 561.62

4125 BROADWAY BLVD.  
GUILDFORD, TEXAS 75043  
PH: 972.240.4681  
FAX: 972.240.0922



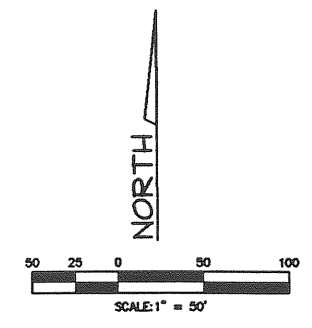
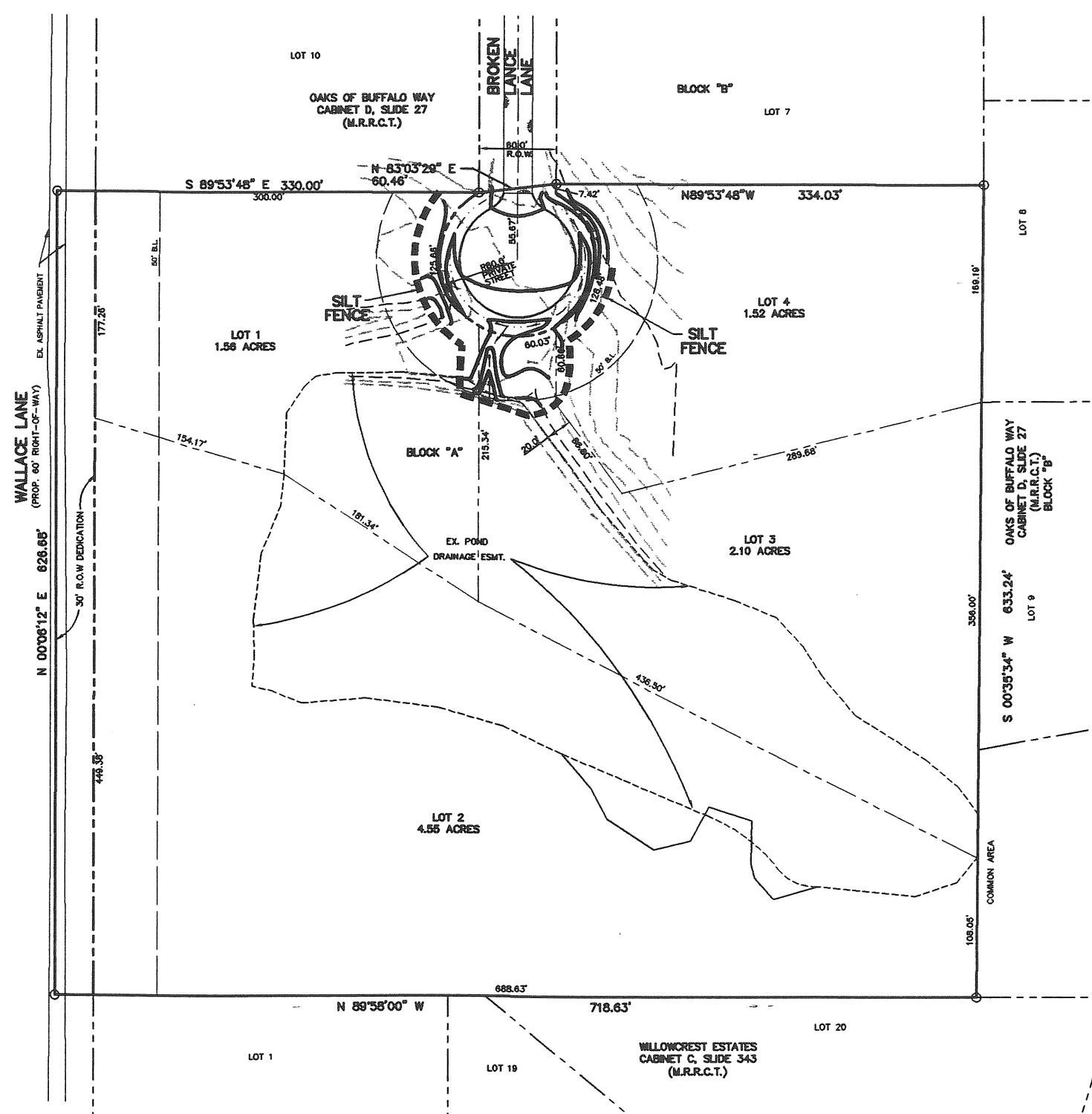
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARC D. BENTLEY, P.E. LICENSE NO. 04690 ON 4/26/04

**PAVING PLAN / UTILITY PLAN**  
THE OAKS OF BUFFALO WAY - PHASE II  
CITY OF ROCKWALL, TEXAS

No.	Date	Revision

Scale: N/A  
File Name: oakwalla  
Date: FEB. 2004  
Project No: 24107

Sheet **C1**

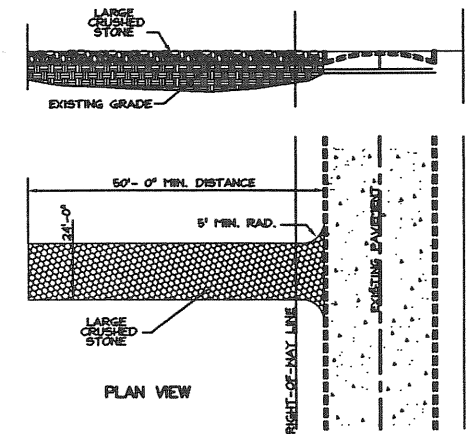
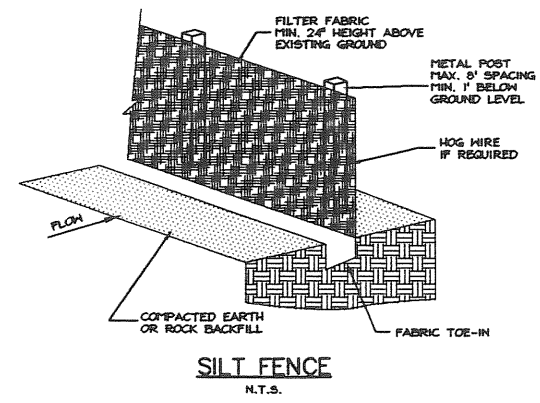


**EROSION CONTROL SPECIFICATIONS**

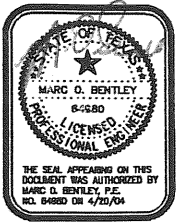
1. The Contractor shall provide and maintain erosion control devices in the areas indicated on the Erosion Control Plan or any other areas as directed by the Owner's representative.
2. The Electrical Utility, Natural Gas, Telephone, and Cable TV Contractor shall re-establish any previously established erosion control measure or device that is disturbed by their construction, including vegetative cover.
3. Site entry and exit locations shall be maintained in a condition which will prevent tracking or flowing of sediment onto public roadways. All sediment spilled, dropped, washed or tracked onto a public roadway must be removed immediately. When washing is required to remove sediment from an entrance to a public roadway, it shall be done on an area stabilized with crushed stone which drains into an approved sediment basin. All fines imposed for tracking onto public roads shall be paid by the Contractor.
4. Temporary seeding or other method of stabilization shall be initiated within 14 days of the last disturbance on any area of the site, unless additional construction on the area is expected within 21 days of the last disturbance.
5. Upon completion of final grading by Paving and Grading Contractor, all areas not otherwise permanently stabilized shall be seeded and maintained until a uniform coverage of 75 - 80% minimum density, as determined by the City's representative, is achieved.
6. Erosion control devices may be added or reduced in the field as directed by the Owner's representative or as required by the City of Rockwall.
7. Contractor shall install and use a temporary pit or basin for on-site disposal of concrete waste from mixing drums and chutes. Waste material will not be discharged to vacant lots, streets and drainage right-of-ways, etc.
8. If pumps are used to remove water from excavated areas, filter the discharge to remove sediment and other pollutants before the water leaves the site.
9. MAINTENANCE - Erosion controls shall be repaired or replaced as inspection deems necessary or as directed by the Owner's representative. Accumulated silt at any erosion control device shall be removed when it reaches a depth of 6", and shall be distributed on site in a manner not contributing to additional siltation. Contractor shall inspect erosion devices within 24 hours after a storm event of 1/2 inch or greater.
10. The Contractor is responsible for re-establishing any erosion control device which he disturbs. Each Contractor shall notify the Owner's representative of any deficiencies in the established erosion control measures which may lead to unauthorized discharge of storm water pollution, sedimentation, or other pollutants. Unauthorized pollutants include, but are not limited to, excess concrete dumping or concrete residue, paints, solvents, grease, fuel and lube oil, pesticides, and solid waste materials.

**NOTE: EX. 22' CONCRETE STREET SHALL SERVE AS STABILIZED ENTRANCE FOR THIS SITE.**  
**CONTRACTOR SHALL CLEAN EXISTING STREET EACH DAY OF CONSTRUCTION ACTIVITIES.**  
**SHOULD CONTRACTOR NOT BE ALLOWED TO USE EXISTING STREET. CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE PER DETAIL THIS SHEET ENTRANCE TO BE LOCATED WHERE FEASIBLE.**

**NOT AS-BUILT PLANS. ENGINEER DIDN'T PROVIDE RECORD DRAWINGS TO**



**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.



**EROSION CONTROL**  
**THE OAKS OF BUFFALO WAY - PHASE II**  
**CITY OF ROCKWALL, TEXAS**

No.	Date	Revision

Scale: 1"=50'  
 File Name: oaks2a  
 Date: FEB. 2004  
 Project No.: 24107